

VICINITY MAP C-20

SCALE: 1" = 750'

ZONING SU-2 / MIXED USE

LEGAL DESCRIPTION

TRACTS A AND B, MARK 3S HOLLY DEVELOPMENT FILED ON 03-01-2007, PLAT BOOK 2007C, PAGE 49; TOGETHER WITH LOTS 8 AND THE WEST-HALF OF 9, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 FILED ON 09-10-1931, PLAT BOOK D, PAGE 121.

SITE DEVELOPMENT PLAN FOR SUBDIVISION NOTES

- 1 THE SITE INCLUDES PROPOSED TRACT A-1. AMENDED FROM PREVIOUS TRACTS A AND B.
- 2 PROPOSED / EXISTING USES
A. BUILDING "A" - ELEMENTARY SCHOOL (EXISTING)
B. BUILDING "B" - DAYCARE (EXISTING)
C. BUILDING "C" - DAYCARE (PROPOSED)
- 3 PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS AND INTERNAL CIRCULATION REQUIREMENTS WILL BE AS SHOWN HEREON. ACCESS TO PROPOSED TRACT A-1 WILL BE AS SHOWN HEREON; 2 FULL ACCESS POINTS TO HOLLY
- 4 MAXIMUM BUILDING HEIGHT = 36 FT
- 5 MINIMUM SETBACKS SHALL BE 10'
- 6 MAXIMUM FLOOR AREA RATIO = 0.30
- 7 APPLICABLE SECTOR PLAN IS LA CUEVA SECTOR DEVELOPMENT PLAN (LCSDP). DEVELOPMENT PLAN SHALL COMPLY WITH THE "COMMON DESIGN REGULATIONS FOR ALL SU-2 ZONED PROPERTIES AND RT DEVELOPMENT IN THE RD ZONE" IN THE LCSDP.
- 8 PROPOSED WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED UNDER CITY WORK ORDER.

PROJECT NUMBER: 1005237
 APPLICATION NUMBER: 17 EPC-40033

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

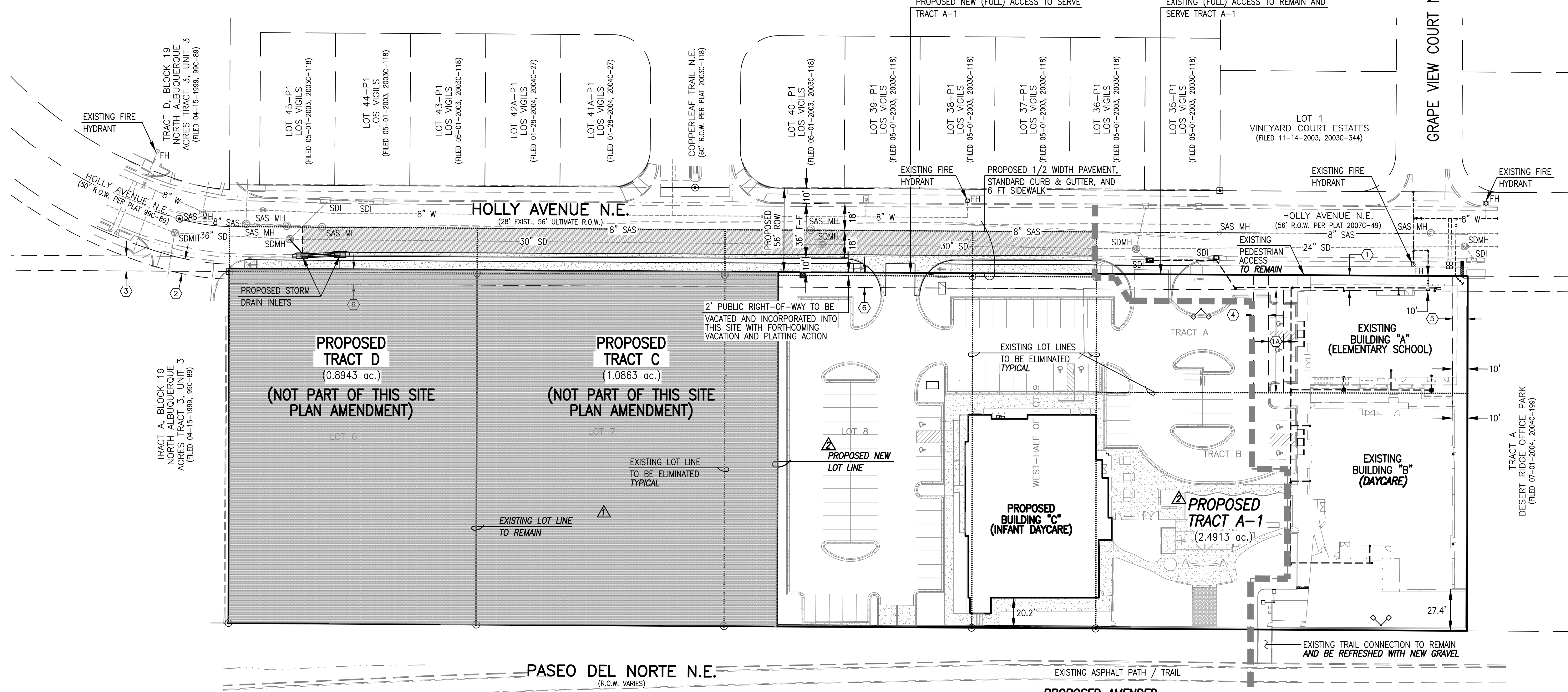
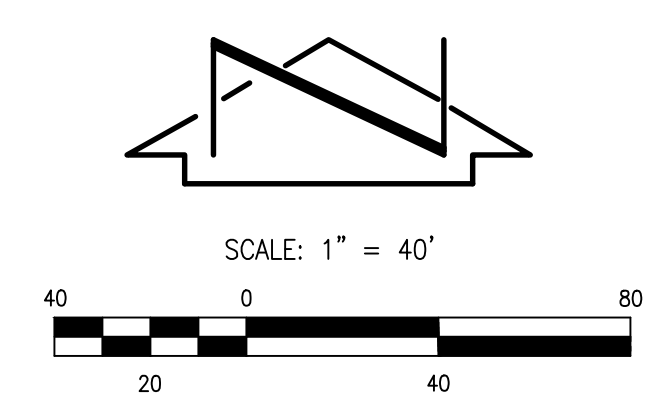
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
SOLID WASTE MANAGEMENT	Date
FIRE MARSHAL	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1A	SITE PLAN FOR SUBDIVISION (2017 AMENDMENT)
2A	CONCEPTUAL GRADING AND DRAINAGE PLAN
1	SITE PLAN FOR SUBDIVISION (DRB APPROVED PLAN)
2	CONCEPTUAL UTILITY PLAN (DRB APPROVED PLAN)



8/2/2017
 V2 8/24/17
 V3 9/25/17



KEYED EASEMENT NOTES

- EASEMENTS - EXISTING**
- 1 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2007C-49
 - 1A PORTION OF 1 TO BE VACATED BY FORTHCOMING ACTION
 - 2 10' PUBLIC ACCESS AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-89
 - 3 10' PNM OVERHEAD EASEMENT GRANTED BY PLAT 99C-89
 - 4 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)
 - 5 10' PRIVATE WATER LINE EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)
- EASEMENT - PROPOSED**
- 6 10' PUBLIC UTILITY EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION

SITE DEVELOPMENT PLAN FOR SUBDIVISION NOTES

THE PROPOSED SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDMENT IS FOR PROPOSED TRACT A-1. THIS IS AN AMENDMENT AND EXPANSION TO THE SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR EXISTING TRACTS A AND B - THE CURRENT MONTESSORI ONE PRESCHOOL AND ELEMENTARY SCHOOL CAMPUS. PROPOSED TRACTS C AND D ARE NOT PART OF THIS SITE DEVELOPMENT PLAN. REFER TO SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR MARK 3S HOLLY DEVELOPMENT - WEST FOR PROPOSED TRACTS C AND D.

AFTER SEVERAL YEARS OF SUCCESSFUL OPERATION AND GROWTH, MONTESSORI ONE PLANS TO EXPAND THEIR SITE AND ADD A THIRD BUILDING DEDICATED FOR INFANTS. THEY HAVE ACQUIRED ADDITIONAL PROPERTY TO THE WEST OF THE CURRENT SITE, AND ARE PROPOSING NEW BUILDING CONSTRUCTION ALONG WITH SITE PARKING, ACCESS, AND CIRCULATION IMPROVEMENTS.

THE MAIN ELEMENT OF THE PROPOSED EXPANSION IS A NEW 11,000 SF BUILDING DEDICATED TO AN INFANT DEVELOPMENT PROGRAM DESIGNED TO SERVE APPROXIMATELY 24 CHILDREN. THE EXPANSION WILL INCLUDE A NEW DRIVE ENTRANCE, NEW PAVED PARKING AND LANDSCAPING. A NEW PLAYGROUND WILL BE CONSTRUCTED BETWEEN THE PROPOSED BUILDING AND THE EXISTING BUILDING TO THE EAST, DISPLACING EXISTING PARKING. TO MAINTAIN CIRCULATION, THERE WILL BE MODIFICATIONS TO THE EXISTING SITE PARKING. THE EXISTING SITE WALL ALONG PASEO DEL NORTE WILL BE EXTENDED AND MODIFIED.

THIS IS AN INFILL PROJECT, WITH THE NEW EXPANSION REPLACING THE PREVIOUS LANDSCAPE RETAIL AND STORAGE YARD. THE SITE WILL BE SERVED BY EXISTING PUBLIC WATER, SANITARY SEWER AND STORM DRAIN FACILITIES IN HOLLY AVE N.E. CONSTRUCTED BY PREVIOUS PROJECTS. THE LAST REMAINING TEMPORARY SECTION OF HOLLY WILL BE PAVED WITH PERMANENT PAVEMENT AND CURB AND GUTTER BY THIS PROJECT.

NOTE:
 THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY PREPARED BY THIS FIRM, NMPS 11184, DATED 01/10/2017 (2016.059.1).
 UNLESS OTHERWISE NOTED THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1), ALSO A PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 05/16/2017 (2016.059.2), AND ALSO A TOPOGRAPHIC SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 10/24/2006 (2006.070.1), AND ALSO THE RECORD DRAWINGS PREPARED BY THIS FIRM, NMPE 13676, DATED 09/27/2007 (2006.070.9).

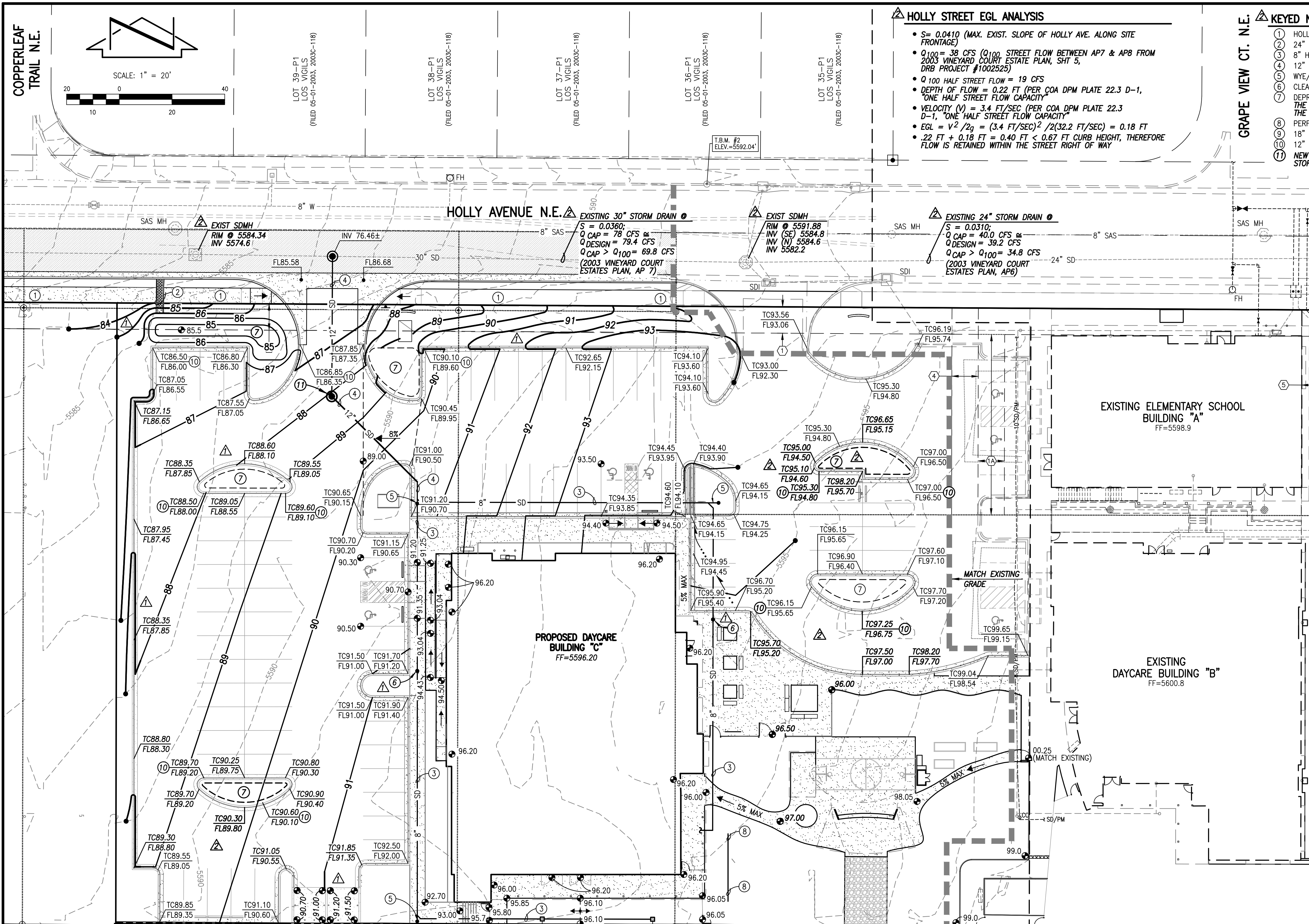
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HIGH MESA Consulting Group
 Engineers, Surveyors & Subcontract Utility Consultants

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
 Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesag.com

**SITE DEVELOPMENT PLAN FOR SUBDIVISION (2017 AMENDMENT)
 MARK 3S HOLLY DEVELOPMENT**

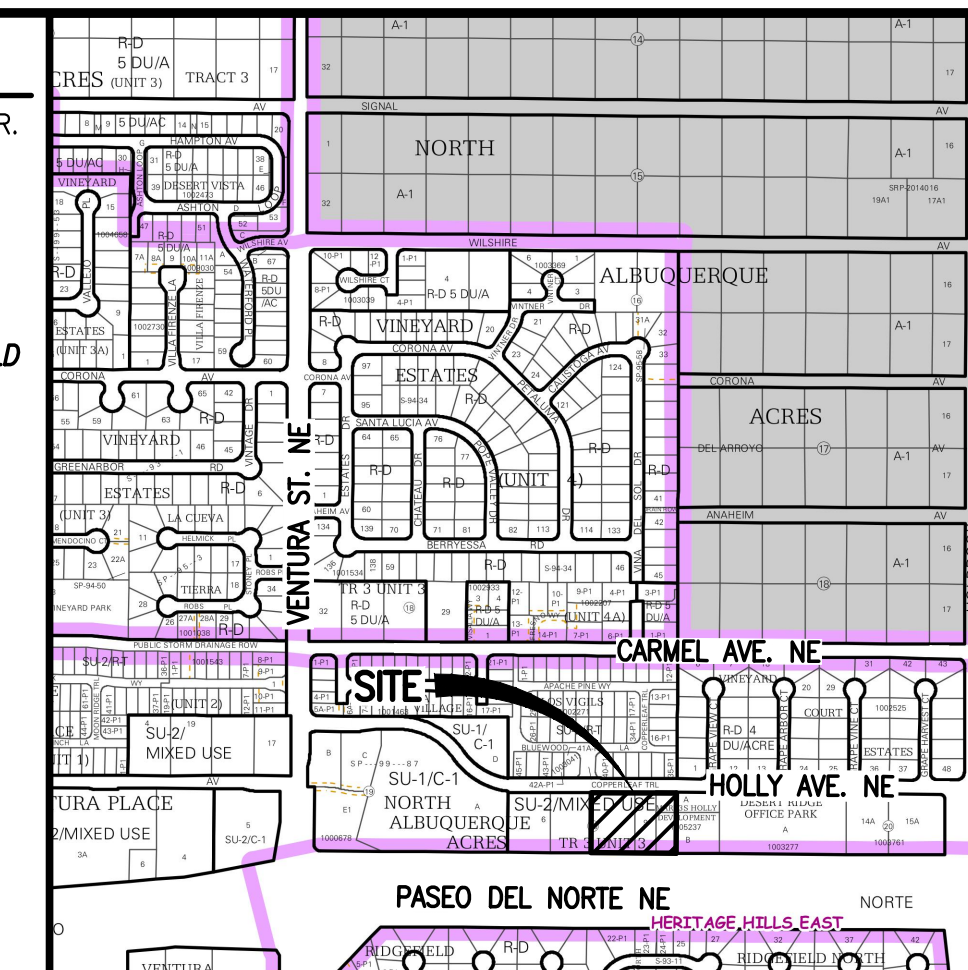
DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
R.J.C.	8/17	G.M.	STAFF INITIAL REVIEW COMMENTS	2017.014.2
J.Y.R./T.N.T.	9/17	G.M.	ADDRESS EPC CONDITIONS	DATE 09-2017
G.M.				SHEET 1A OF



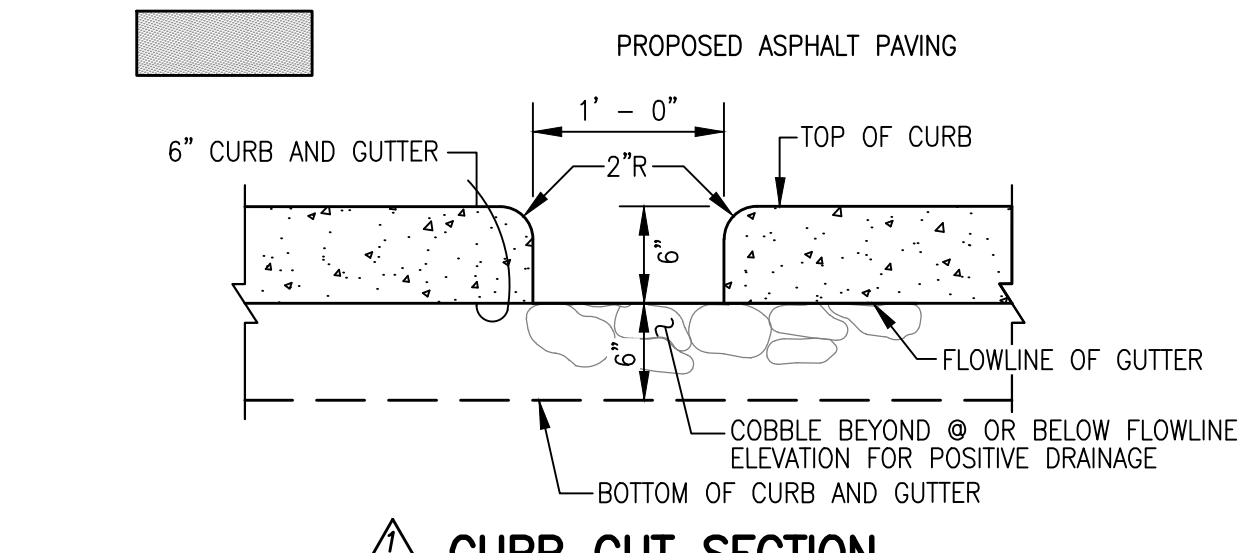
HOLLY STREET EGL ANALYSIS

- S = 0.0410 (MAX. EXIST. SLOPE OF HOLLY AVE. ALONG SITE FRONTAGE)
- Q₁₀₀ = 38 CFS (Q₁₀₀ STREET FLOW BETWEEN AP7 & AP8 FROM 2003 VINEYARD COURT ESTATE PLAN, SHIT 5, DRB PROJECT #1002525)
- Q₁₀₀ HALF STREET FLOW = 19 CFS
- DEPTH OF FLOW = 0.22 FT (PER COA DPM PLATE 22.3 D-1, "ONE HALF STREET FLOW CAPACITY")
- VELOCITY (V) = 3.4 FT/SEC (PER COA DPM PLATE 22.3 D-1, "ONE HALF STREET FLOW CAPACITY")
- EGL = V² / 2g = (3.4 FT/SEC)² / (2 * 32.2 FT/SEC) = 0.18 FT
- 22 FT + 0.18 FT = 0.40 FT < 0.67 FT CURB HEIGHT, THEREFORE FLOW IS RETAINED WITHIN THE STREET RIGHT OF WAY

- KEYED NOTES:**
- HOLLY IMPROVEMENTS TO BE CONSTRUCTED BY CITY WORK ORDER.
 - 24" SIDEWALK CULVERT PER COA STD DWG 2236.
 - 8" HDPE (SMOOTH INTERIOR) STORM DRAIN.
 - 12" HDPE (SMOOTH INTERIOR) STORM DRAIN.
 - WYE/BEND COMBINATION WITH CLEANOUT TO GRADE. CLEANOUT TO GRADE.
 - DEPRESSED LANDSCAPING FOR WATER QUALITY, INTENDED TO HOLD THE BOTH PERCENTILE STORM EVENT (26 IN) = 900 CF TO THE MAXIMUM EXTENT PRACTICABLE.
 - PERFORATED PIPE WRAPPED WITH FILTER FABRIC.
 - 18" STORM INLET
 - 12" CURB OPENING
 - NEW STORM WATER QUALITY MANHOLE (ADS ENVIROHOOD STORAGE/RECEPTOR OR APPROVED EQUIVALENT)



- LEGEND**
- INV INVERT
 - TA TOP OF ASPHALT PAVEMENT
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - + 95.05 EXISTING SPOT ELEVATION
 - 89.00 PROPOSED SPOT ELEVATION
 - EXISTING FLOWLINE
 - PROPOSED FLOWLINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING DIRECTION OF FLOW
 - PROPOSED DIRECTION OF FLOW
 - RIGHT OF WAY LINE
 - PUBLIC EASEMENT LINE
 - HIGH POINT / DIVIDE
 - RETAINING WALL
 - LOT LINE TO BE REMOVED
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVING



CONCEPTUAL DRAINAGE NARRATIVE

THIS PROJECT IS AN EXPANSION TO AN EXISTING MONTESSORI SCHOOL AND DAYCARE FACILITY. THE EXPANSION AREA WAS CURRENTLY DEVELOPED AS A LANDSCAPING MATERIALS RETAIL AND STORAGE YARD. THE SITE DRAINS FROM SOUTHEAST TO NORTHWEST TO HOLLY AVE NE. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE WILL BE CONTINUED FREE DISCHARGE TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN HOLLY THAT WERE DESIGNED, SIZED AND CONSTRUCTED TO ACCEPT 4.68 CFS PER ACRE FROM THIS SITE BASED ON THE FOLLOWING PLANS PREPARED BY THIS OFFICE FOR THIS SITE AND SURROUNDING AREAS:

LDMR FOR NORTH DOMINGO BACA ARROYO CARMEL AVENUE STORM DRAIN EXTENSION (HMCG 12/08/2003) APPROVED BY FEMA 03/23/2004.

DRAINAGE REPORT FOR LOS VIGILS SUBDIVISION (HMCG 12/31/2002, C20/D41).

GRADING AND DRAINAGE PLAN FOR DESERT RIDGE OFFICE PARK (HMCG C20/D51).

DRAINAGE REPORT FOR VINEYARD COURT ESTATES (HMCG 08/21/2003)

GRADING AND DRAINAGE PLANS FOR HOLLY MARK 3S DEVELOPMENT (HMCG 02/05/2007 AND 05/11/2015).

AS WITH THE PREVIOUS PHASES, SITE ROOF DRAINAGE WILL BE PIPED TO A DIRECT STORM DRAIN CONNECTION; HOWEVER IT WILL FIRST BE ROUTED THROUGH A STORM WATER QUALITY MANHOLE TO TREAT FIRST FLUSH. SITE RUNOFF WILL BE DIRECTED TO LANDSCAPED AREAS DEPRESSED TO RETAIN THE BOTH PERCENTILE FIRST FLUSH FOR WATER QUALITY. NO RETENTION PONDING FOR DISCHARGE CONTROL IS REQUIRED OR PROPOSED BEYOND FIRST FLUSH PROVISIONS.

- KEYED EASEMENT NOTES**
- EASEMENTS - EXISTING
- 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2007C-49
 - PORTION OF (1) TO BE VACATED BY FORTHCOMING ACTION
 - 10' PUBLIC ACCESS AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-89
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- EASEMENT - PROPOSED
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NOTE:

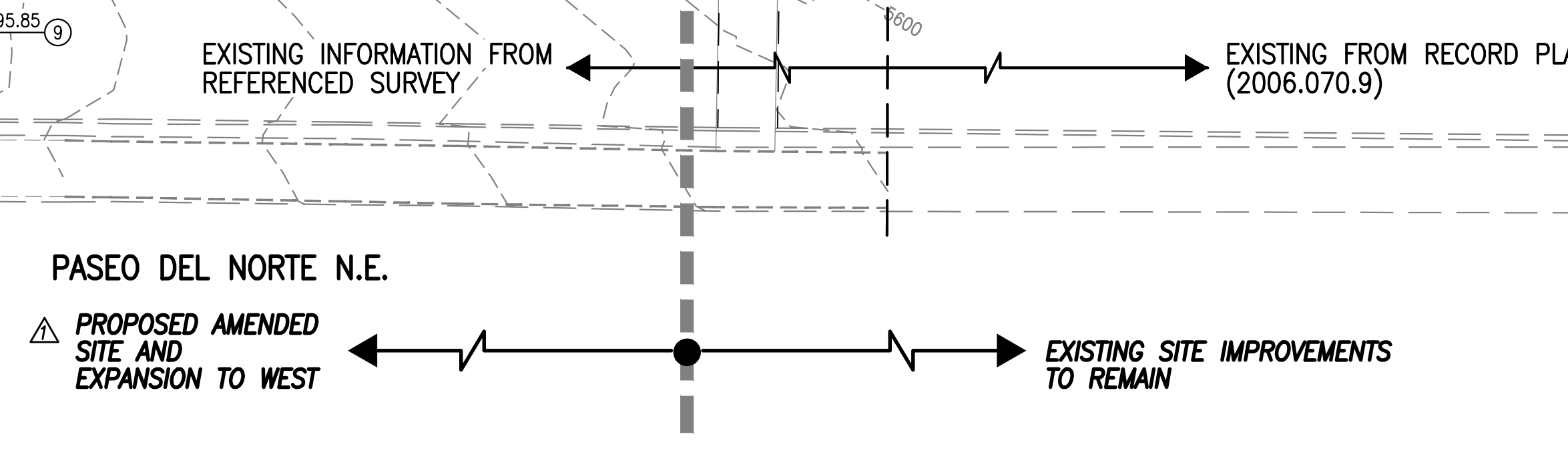
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ZONING
SU-2 / MIXED USE

LEGAL DESCRIPTION
TRACTS A AND B, MARK 3S HOLLY DEVELOPMENT FILED ON 03-01-2007, PLAT BOOK 2007C, PAGE 49; TOGETHER WITH LOT 8 AND THE WEST HALF OF 9, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 FILED ON 9-10-1931, PLAT BOOK D, PAGE 121.

TEMPORARY BENCHMARK #2 (T.B.M.)
A MAG NAIL W/WASHER SET IN THE TOP OF A CONCRETE CURB, IN THE NORTHEASTERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET.
ELEVATION = 5592.04 FEET (NAVD 88)



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CONCEPTUAL GRADING AND DRAINAGE PLAN
MARK 3S HOLLY DEVELOPMENT

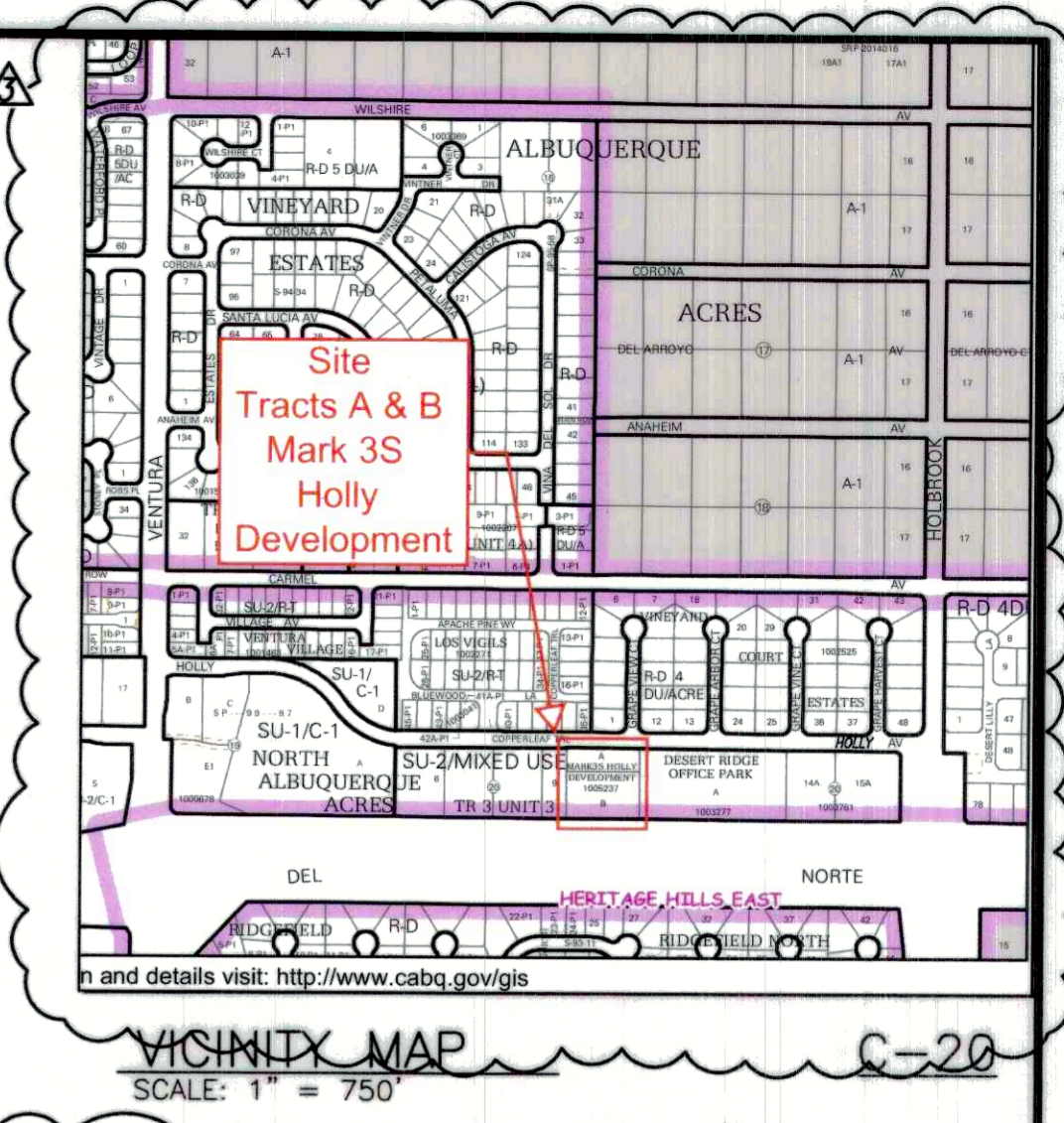
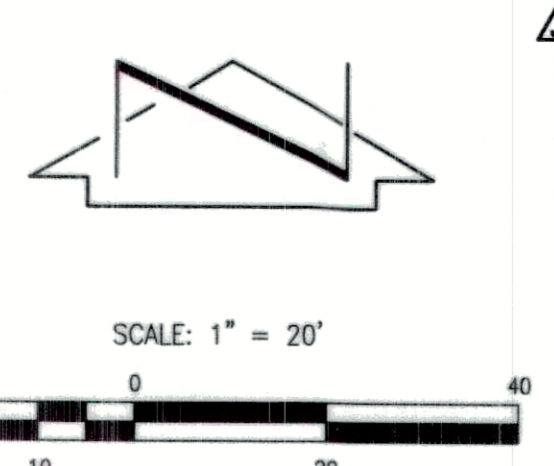
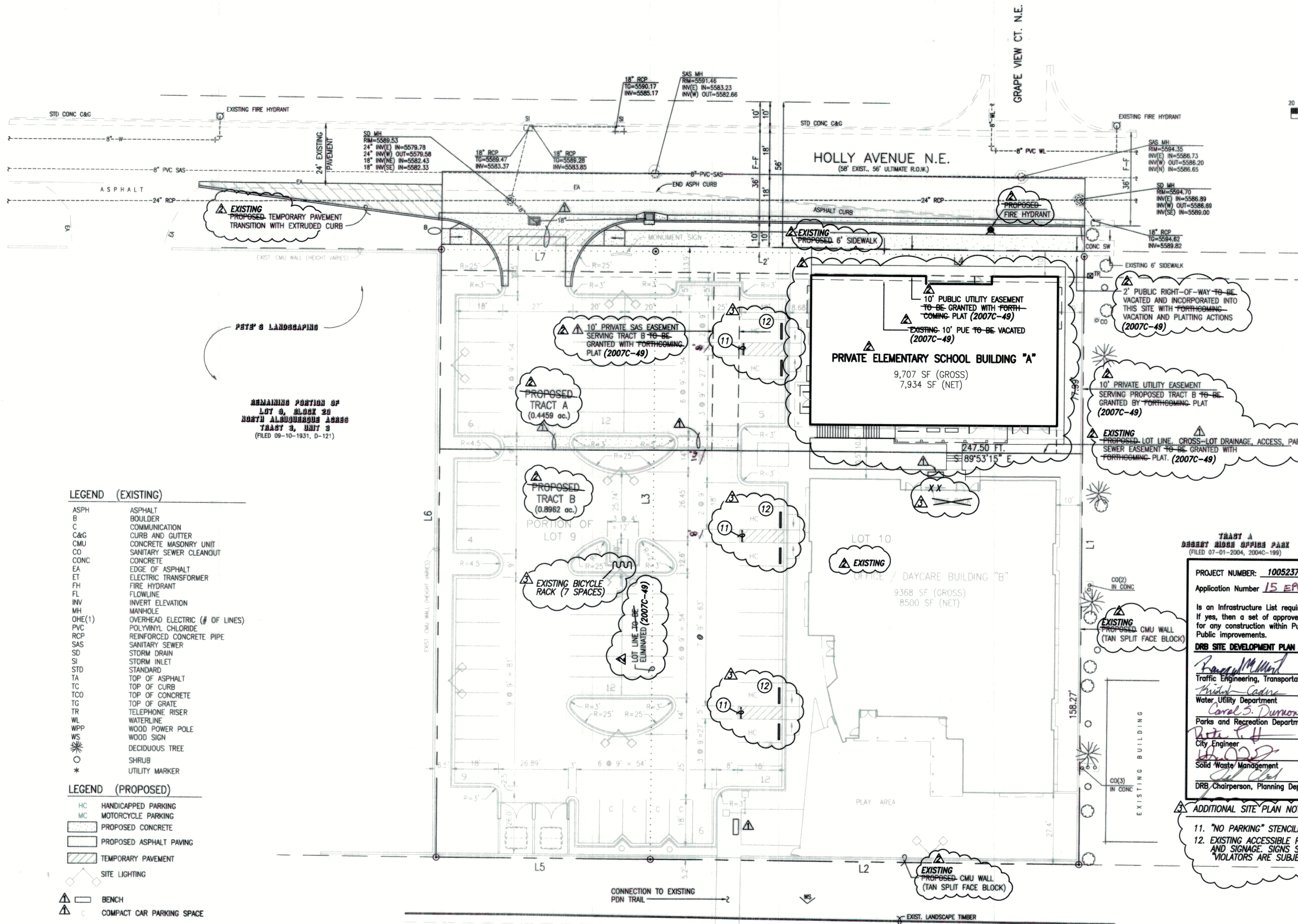
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J.Y.R./T.N.T.	9/17	G.M.	ADDRESS EPC CONDITIONS	09-2017
G.M.				SHEET 2A OF

8/2/2017
V2 8/24/17
V3 9/25/17

J. GRAEME MEANS
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
13676

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 Plot Time: 12:30 pm

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LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.
TRACTS "A" AND "B", MARK 3S HOLLY DEVELOPMENT (2007C-49)

ZONING:
 SU-2/MIXED USE

PROJECT NUMBER: 1005237
 Application Number: 06 EPC - 01580

Is an Infrastructure List required? () Yes (X) No
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	2/21/07
Water Utility Department	2/21/07
Parks and Recreation Department	2/21/07
City Engineer	2/21/07
Solid Waste Management	2/21/07
DRB Chairperson, Planning Department	2/21/07

PROJECT NUMBER: 1005237
 Application Number: 15 EPC 40013

Is an Infrastructure List required? () Yes (X) No
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	4/3/15
Water Utility Department	4/3/15
Parks and Recreation Department	4/3/15
City Engineer	6-3-15
Solid Waste Management	6-3-15
DRB Chairperson, Planning Department	6-3-15

This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

- SITE PLAN NOTES**
- SETBACKS SHALL BE AS SHOWN HEREON (10' MINIMUM)
 - TOTAL SQUARE FOOTAGE: 74,298 SF LEASABLE=19,075 SF
 - NET LEASABLE AREA = 12,890 SF 16,434 SF
 - REQUIRED PARKING = 4 SPACES/200 SF LEASABLE AREA = 64 SPACES
 - PARKING PROVIDED = 66 SPACES FOR CARS + 3 SPACES FOR MOTORCYCLES
 - ACCESSIBLE PARKING REQUIRED = 4 (6 PROVIDED)
 - VEHICLE SPACES REQUIRED = 1/20 VEHICLES SPACES = 4 (6 PROVIDED)
 - MOTORCYCLE PARKING REQUIRED = 3 (3 PROVIDED)
 - MAX BUILDING HEIGHT = 36 FEET
 - MAX F.A.R. = 0.33
- * UPDATED PARKING REQUIREMENTS**
 BUILDING "B" OFFICE/DAYCARE (EXISTING) SPACE/200 SF LEASABLE=43 SPACES
 BUILDING "A" PRIVATE ELEMENTARY SCHOOL SPACE PER EMPLOYEE=10 SPACES FOR UP TO 10 EMPLOYEES
 TOTAL REQUIRED=53 SPACES

- ADDITIONAL SITE PLAN NOTES**
- "NO PARKING" STENCILED PER 66-1-4.1.B, NMSA 1978.
 - EXISTING ACCESSIBLE PARKING SPACES WITH WHEELSTOPS AND SIGNAGE. SIGNS SHALL HAVE ADDED LANGUAGE THAT VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.

LEGEND (EXISTING)

- ASPH ASPHALT
- B BOULDER
- C COMMUNICATION
- C&G CURB AND GUTTER
- CMU CONCRETE MASONRY UNIT
- CO SANITARY SEWER CLEANOUT
- CONC CONCRETE
- EA EDGE OF ASPHALT
- ET ELECTRIC TRANSFORMER
- EH FIRE HYDRANT
- FL FLOWLINE
- INV INVERT ELEVATION
- MH MANHOLE
- OHE(1) OVERHEAD ELECTRIC (# OF LINES)
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- SAS SANITARY SEWER
- SD STORM DRAIN
- SI STORM INLET
- STD STANDARD
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TG TOP OF GRATE
- TR TELEPHONE RISER
- WL WATERLINE
- WPP WOOD POWER POLE
- WS WOOD SIGN
- DECIDUOUS TREE
- SHRUB
- UTILITY MARKER

LEGEND (PROPOSED)

- HC HANDICAPPED PARKING
- MC MOTORCYCLE PARKING
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- TEMPORARY PAVEMENT
- SITE LIGHTING
- BENCH
- COMPACT CAR PARKING SPACE

EXISTING BOUNDARY TABLE

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
L6	N 00°06'45" E	236.16'
L7	S 89°39'42" E	82.50'

NOTE:
 ALL SITE PAVING IMPROVEMENTS AND PUBLIC STREET IMPROVEMENTS WERE CONSTRUCTED IN 2007 AND ARE NOW EXISTING, NO NEW PAVING IMPROVEMENTS ARE PROPOSED WITH THIS AMENDMENT.

**SITE PLAN FOR SUBDIVISION
 MARK 3S HOLLY DEVELOPMENT**

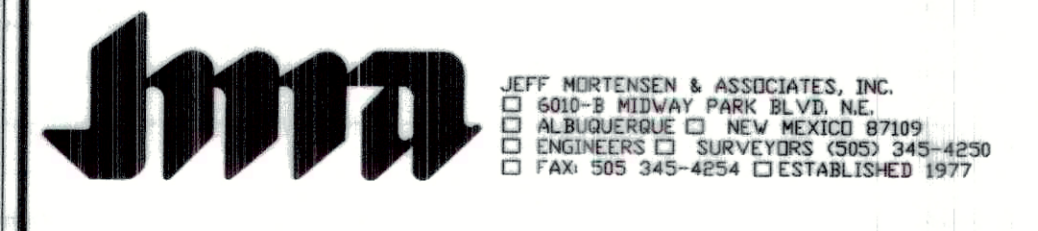
INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	SITE PLAN FOR SUBDIVISION
2	CONCEPTUAL UTILITY PLAN



10/31/06
 02/05/07
 03/31/2015
 04/30/2015

2015.012.1



DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS	2006-070-2
DRWN BY	03/15	G.M.	ELEMENTARY SCHOOL AMENDMENT	DATE 10-2006
APPROVED BY	04/15	G.M.	ADDRESS PRELIMINARY REVIEW COMMENTS	SHEET 1

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 File Name: 15012CURPR1.DWG Plot Time: 12:19 pm



JEFF MORTENSEN & ASSOCIATES, INC.
 6018-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (060) 349-4250
 FAX: 505 345-4254 ESTABLISHED 1977

**CONCEPTUAL UTILITY PLAN
 MARK 3S HOLLY DEVELOPMENT**

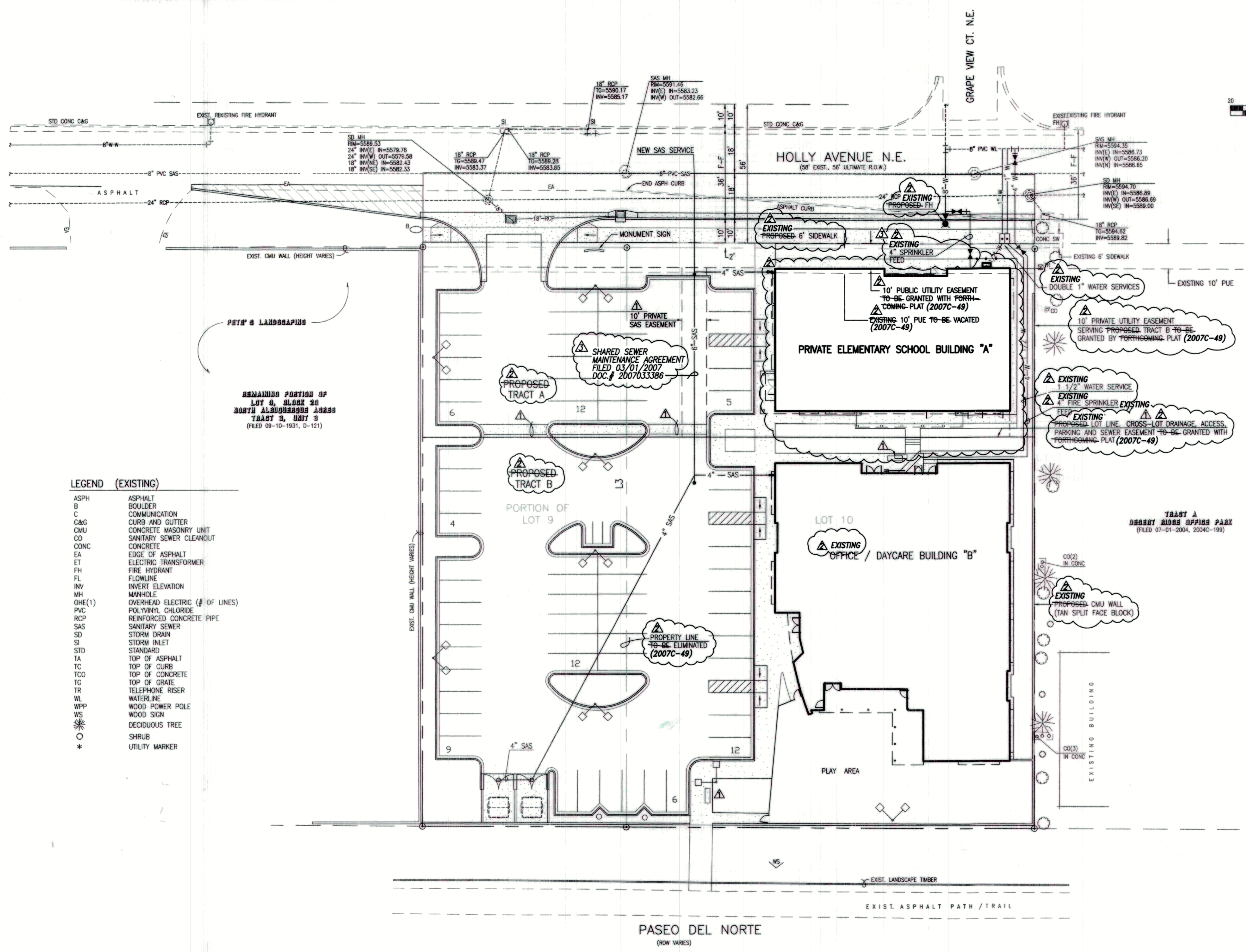
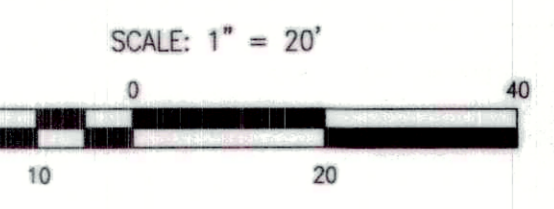
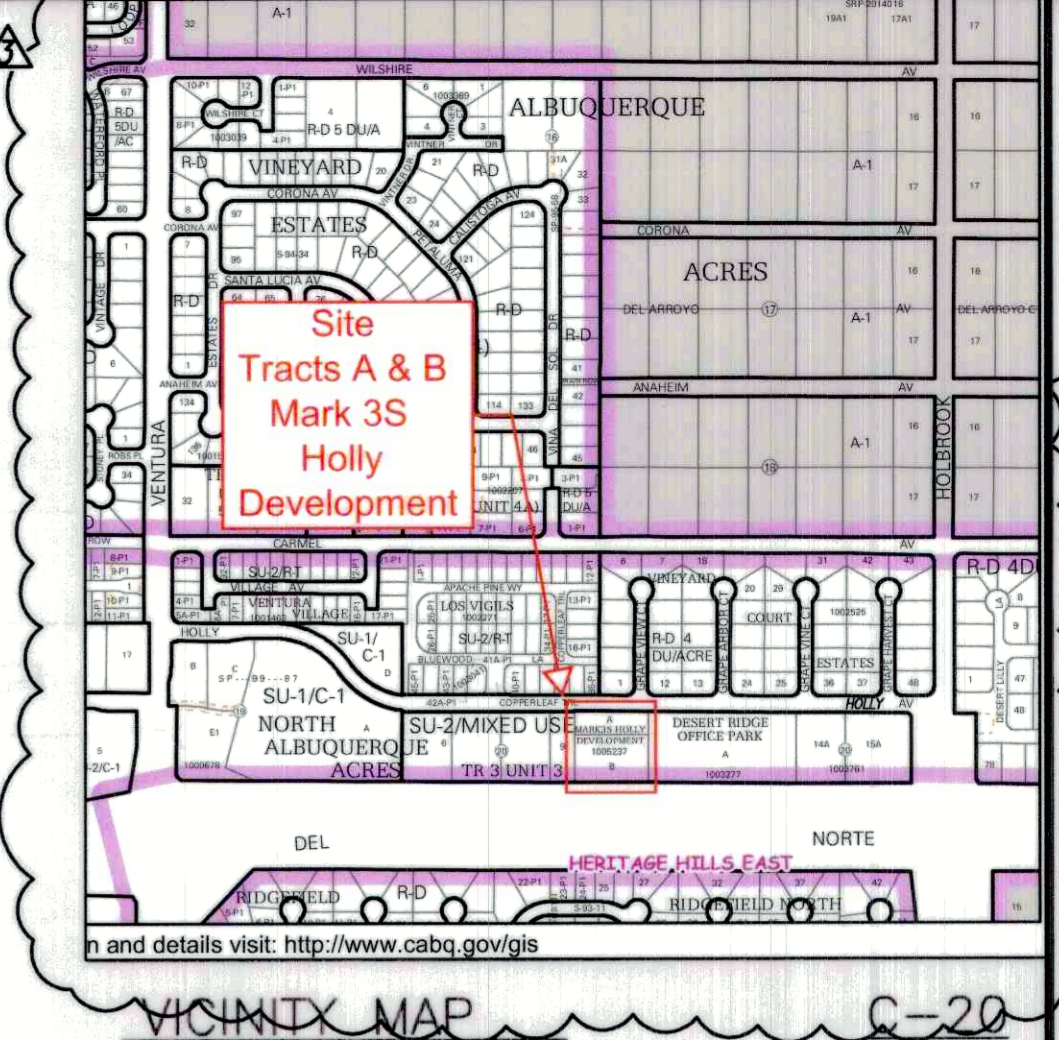
DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS	2006.070.2
RRW/JLP	03/15	G.M.	ELEMENTARY SCHOOL AMENDMENT	DATE 10-2006
G.M.	04/15	G.M.	ADDRESS PRELIMINARY REVIEW COMMENTS	SHEET 2

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J. GRAEME MEANS
 REGISTERED PROFESSIONAL ENGINEER
 3678
 02/05/07
 03/31/2015
 04/30/2015
 10/31/06

2015.012.1

LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 20, North-Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 124; as amended by the following:
TRACTS "A" AND "B", MARK 3S HOLLY DEVELOPMENT (2007C-49)



REMAINING PORTION OF
 LOT 9, BLOCK 20
 NORTH ALBUQUERQUE ACRES
 TRACT 3, UNIT 3
 (FILED 09-10-1931, D-121)

- LEGEND (EXISTING)**
- ASPH ASPHALT
 - B BOULDER
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 - CMU SANITARY SEWER CLEANOUT
 - CO CONCRETE
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 - ET ELECTRIC TRANSFORMER
 - FH FIRE HYDRANT
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 - INV INVERT ELEVATION
 - MH MANHOLE
 - OHE(1) OVERHEAD ELECTRIC (# OF LINES)
 - PVC POLYVINYL CHLORIDE
 - RCP REINFORCED CONCRETE PIPE
 - SD SANITARY SEWER
 - SD STORM DRAIN
 - SI STORM INLET
 - STD STANDARD
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TCO TOP OF CONCRETE
 - TG TOP OF GRATE
 - TR TELEPHONE RISER
 - WL WATERLINE
 - WPP WOOD POWER POLE
 - WS WOOD SIGN
 - * DECIDUOUS TREE
 - SHRUB
 - UTILITY MARKER

EXIST. CMU WALL (HEIGHT VARIES)

EXIST. LANDSCAPE TIMBER
 EXIST. ASPHALT PATH / TRAIL

PASEO DEL NORTE
 (ROW VARIES)