

VICINITY MAP C-20
SCALE: 1" = 750'

PLAT OF
**TRACTS A AND B,
MARK3S HOLLY DEVELOPMENT**
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

MARK3S, INC.
OWNER
PROJECTED
SEC. 17, T 11 N, R 4 E, N.M.P.M.
LOCATION
MARK3S HOLLY DEVELOPMENT
SUBDIVISION

2007033385
6816392
Page: 1 of 3
03/01/2007 11:38A
Maggie Toulouse Bern. Co. PLRT R 17.00 BK-2887C Pg-49

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1005237
APPLICATION NUMBER 06DRB-01758, 06DRB-01759, 06DRB-01760
07DRB-00178

- APPROVALS:
- Sheran Matson* 03/01/07
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
 - Roger A. Shea* 2/21/07
WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
 - Bradley L. Byles* 2/21/07
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE
 - Bradley L. Byles* 2/21/07
A.M.A.F.C.A. DATE
 - APL* 2-21-07
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
 - Christina Dandora* 2/21/07
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
 - W. B. Hat* 2-12-07
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE
 - Scott McDaniel* 3-1-07
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
 - Leah G. Mink* 2-22-07
P.N.M. ELECTRIC SERVICES DATE
 - Darrell Salih* 2/27/07
QWEST TELECOMMUNICATIONS DATE
 - Leah G. Mink* 2-22-07
P.N.M. GAS SERVICES DATE
 - Yonnie Buba* 2-27-07
COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

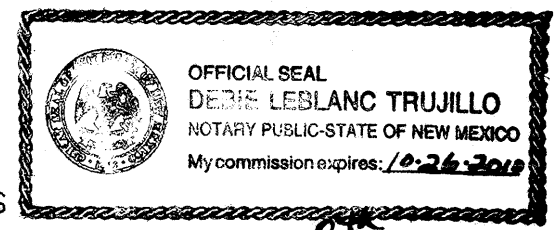
DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising the East Half of Lot 9 and all of Lot 10, Block 20, North Albuquerque Acres, Tract 3, Unit 3, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121, and being more particularly described as follows:

Beginning at the southeast corner of the parcel herein described, being the southeast corner of said Lot 10, also being the southwest property corner of Tract A, Desert Ridge Office Park, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 01, 2004, Book 2004C, Page 199, and also being a point on the north right-of-way line of Paseo Del Norte N.E., whence the City of Albuquerque Control Monument "1-B20" bears N 39°58'07" W a distance of 6615.00 feet; thence N 89°38'16" W a distance of 247.50 feet along said north right-of-way line to the southwest corner of the parcel herein described, being the mid point on the south boundary line of said Lot 9, thence N 00°06'45" E a distance of 264.11 feet to the northwest corner of the parcel herein described, being the projected mid point on the north boundary line of said Lot 9, also being a point on the centerline of Holly Avenue N.E.; thence S 89°39'42" E a distance of 247.50 feet along said centerline to the northeast corner of the parcel herein described, being the projected northeast corner of said Lot 10; thence S 00°06'45" W a distance of 264.21 feet to the point of beginning and containing 1.5009 acres more or less.

DEDICATION AND FREE CONSENT
The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby dedicate to the City of Albuquerque in fee simple the public street rights-of-way and grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

Amit Patel 2/8/07
Amit Patel, President
MARK3S, Inc. Date



ACKNOWLEDGEMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
This instrument was acknowledged before me on this 08 day of February, 2007, by Amit Patel, President, MARK3S, Inc.
Deris Leslanc Trujillo
Notary Public

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPCS: 102006441405740123
PROPERTY OWNER OF RECORD: MARK3S INC
BERNALILLO COUNTY TREASURER'S OFFICE:
F. J. Jones 3-1-07

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



02-07-07
Date



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2006.070.4 PREPLAT

PLAT OF
TRACTS A AND B, MARK3S HOLLY DEVELOPMENT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007



COUNTY CLERK FILING DATA

Notes:

1. A boundary survey was performed in September, 2006. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 17, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "1-B20".
5. Record bearings and distances are shown in parenthesis.
6. No street mileage was created by this plat.
7. The purpose of this plat is to:
 - a. Eliminate the interior property lines to create 1 (one) tract from Lots 10 and the east half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3
 - b. Grant the necessary public utility, private waterline, private sanitary sewer, private drainage and reciprocal private access and parking easements, as shown.
 - c. Vacate the public utility easement as shown (06DRB-01759).
 - d. Incorporate the vacation of a portion of the public rights-of-way of Holly Avenue N.E. (06DRB-01758), as shown.
 - e. Dedicate in fee simple the half-width for Holly Avenue (0.1588 AC. ±), as shown.
8. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of North Albuquerque Acres, Tract 3, Unit 3, filed 09-10-1931, Book D, Page 121, Records of Bernalillo County, New Mexico.
 - b. Plat of Desert Ridge Office Park, filed 07-01-2004, Book 2004C, Page 199, Records of Bernalillo County, New Mexico.
 - c. ALTA/ACSM Land Title Survey, Portion of Lot 9 and Lot 10, Block 20, North Albuquerque Acres, Tract 3, Unit 3, prepared by Harris Surveying, Inc. certified 03-08-2006 (unrecorded).
 - d. Warranty Deed, filed 04-25-2006, Book A115, Page 8179, Doc. #2006058366, Records of Bernalillo County, New Mexico.
 - e. Policy of Title Insurance No. M1-774492 (File No. 774492-AL01, LSA) prepared by First American Title Insurance Company dated 04-25-2006.
 - f. Boundary and Topographic Survey of Lot 10 and the East Half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3 prepared by this firm certified 10-25-2006 (unrecorded).
9. Gross subdivision acreage = 1.5009 acres.
10. Current Zoning on site is SU-2/Mixed Use, based upon review of the City of Albuquerque Zone Atlas.
11. The easterly half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3 was conveyed by Warranty Deed filed 09-11-1978, Book D71-A, Page 732, Doc. #78 66898, Records of Bernalillo County, New Mexico, and executed on 01-27-1965.

KEYED NOTES

VACATED PUBLIC RIGHT-OF-WAY AND PUBLIC EASEMENT

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY DOCUMENT FILED 03-08-2005, BOOK A93, PAGE 2007, DOC. #2005032213, VACATED BY 06DRB-01759
- ② SOUTH 2' OF HOLLY AVENUE N.E., VACATED BY 06DRB-01758

NEW EASEMENTS

- ③ 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
- ④ 10' PRIVATE WATER LINE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.
- ⑤ 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.
- ⑥ A NON-SPECIFIC PRIVATE DRAINAGE EASEMENT ON TRACT A IS GRANTED BY THIS PLAT TO SERVE TRACT B FOR THE PURPOSE OF ACCEPTING DEVELOPED RUNOFF FROM TRACT B IN ACCORDANCE WITH THE GRADING AND DRAINAGE PLAN PREPARED BY THIS FIRM DATED 02-05-2007. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.
- ⑦ A RECIPROCAL PRIVATE ACCESS AND PARKING EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS A AND B TO ALLOW FREE TRAFFIC CIRCULATION AND SHARED PARKING BETWEEN THE TWO AFOREMENTIONED TRACTS. THE LIMITS OF THIS EASEMENT SHALL BE DEFINED BY THE PARKING AND ACCESS COMPONENTS DEPICTED BY THE SITE PLAN FOR BUILDING PERMIT PREPARED BY THIS FIRM DATED 02-05-2007. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNERS.

EXISTING EASEMENT - OFFSITE

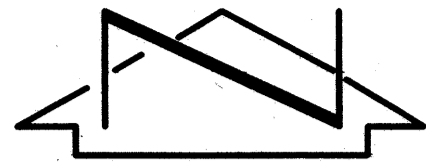
- ⑧ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2004C-199

MONUMENTS

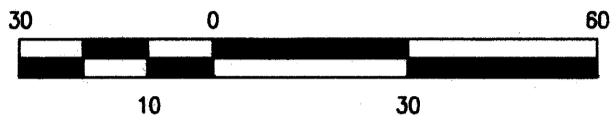
- (A) FOUND CHISELED "+" IN CONCRETE SIDEWALK
- (B) FOUND #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (C) FOUND #4 REBAR, ILLEGIBLE CAP, NOT HONORED (N 89°21'58" W 1.66')
- (D) FOUND #4 REBAR W/CAP STAMPED "LS 8667", NOT HONORED (N 88°12'53" W 1.20')
- (E) FOUND #4 REBAR W/CAP STAMPED "LS 7907", TAGGED W/WASHER STAMPED "NMPS 11184"
- (F) FOUND #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (G) FOUND #4 REBAR W/CAP STAMPED "LS 8667", NOT HONORED (N 00°25'18" E 1.14')
- (H) FOUND #4 REBAR W/CAP STAMPED "LS 8667", NOT HONORED (N 00°32'28" E 1.43')
- (J) FOUND #4 REBAR, ILLEGIBLE CAP, TAGGED W/WASHER STAMPED "NMPS 11184"
- (K) SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (L) CALCULATED POSITION, POINT NOT SET



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS SURVEYORS (SOS) 345-4250
 JOB #2006.070.4 PREPLAT



SCALE: 1" = 30'



PLAT OF TRACTS A AND B, MARK3S HOLLY DEVELOPMENT

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

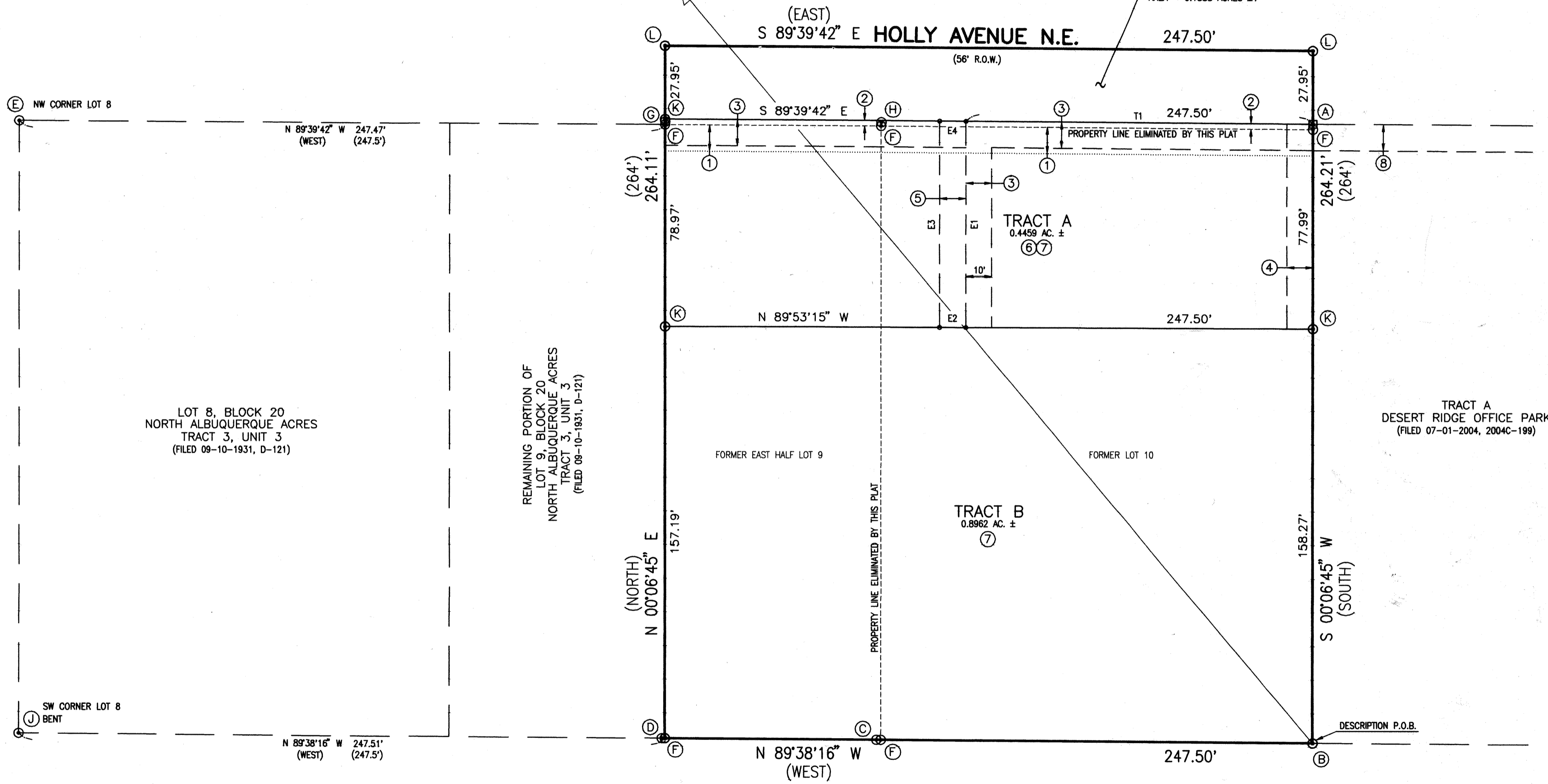
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Page: 3 of 3
03/01/2007 11:38A
Maggie Toulouse Bern. Co. PLRT R 17.00 BK-2067C Pg-49

COUNTY CLERK FILING DATA

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "1-B20"
X=410,237.56
Y=1,524,092.46
COMBINED FACTOR=0.99964740
DELTA ALPHA=-00°10'23"
ELEVATION=5474.510' (NGVD 29)

N 30°38'07" W (GRID)
89°15'00" (GROUND)

PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE TO THE CITY OF ALBUQUERQUE BY THIS PLAT. AREA = 0.1588 ACRES ±.



LOT 8, BLOCK 20
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 09-10-1931, D-121)

REMAINING PORTION OF
LOT 9, BLOCK 20
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 09-10-1931, D-121)

TRACT A
DESERT RIDGE OFFICE PARK
(FILED 07-01-2004, 2004C-199)

EASEMENT TABLE

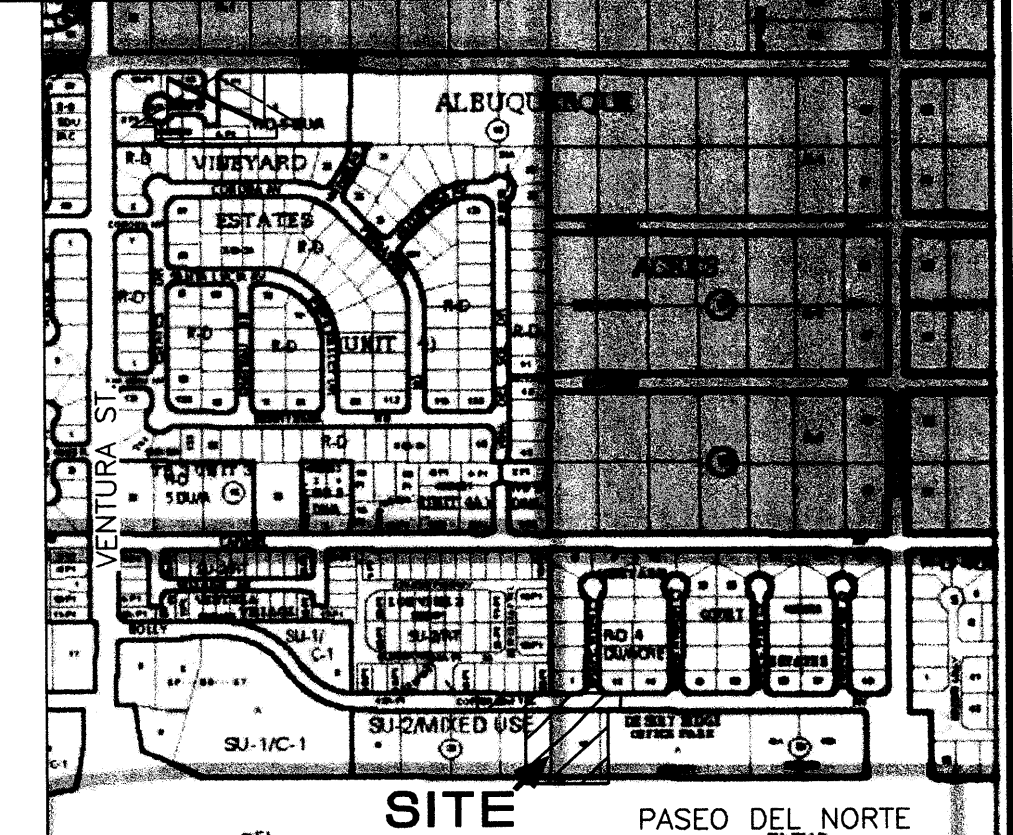
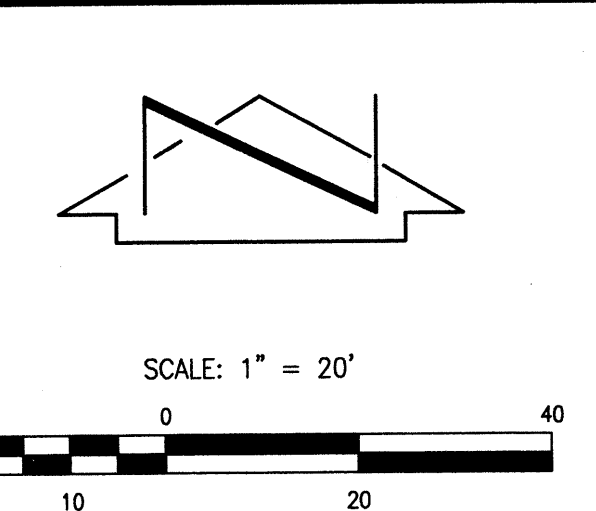
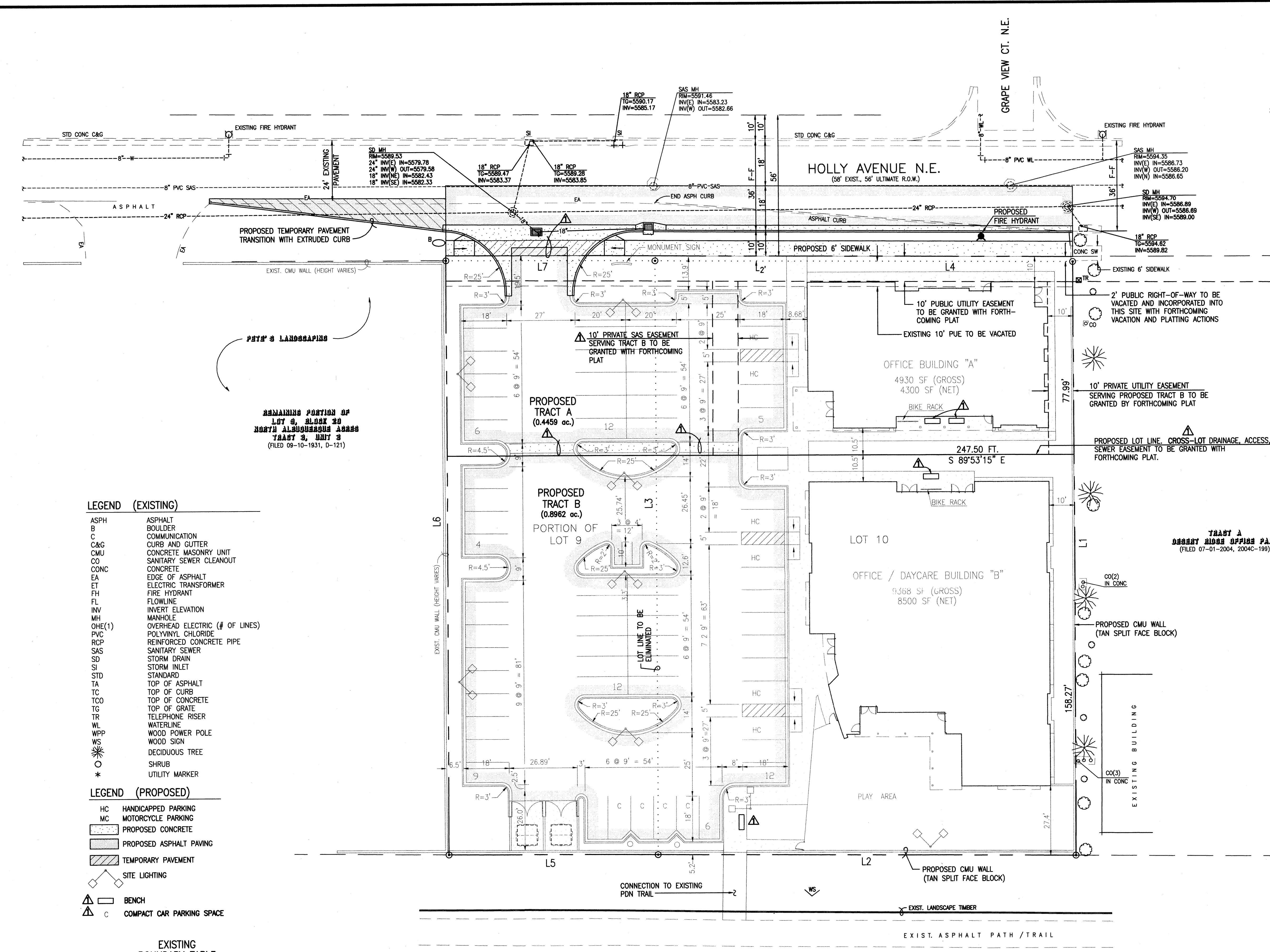
LINE	DIRECTION	DISTANCE
E1	S 00°06'45" W	78.52'
E2	N 89°53'15" W	10.00'
E3	N 00°06'45" E	78.56'
E4	S 89°39'42" E	10.00'

PASEO DEL NORTE N.E.
(R.O.W. VARIES)



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2006.070.4 PREPLAT

File Path: E:\WORK\2007\02-05-2007
 Plot Date: 02-05-2007
 File Name: 607025ST.DWG
 Plot Time: 09:08 am



PRELIMINARY PLAT
 APPROVED BY DRB
 SCALE 1" = 750'
 C-20

LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.

ZONING:
 SU-2/MIXED USE

PROJECT NUMBER: 1005237
 Application Number 06 EPC - 01580

Is an Infrastructure List required? (X) Yes () No
 If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer <i>Michael Holton</i>	Date 01/10/07
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

- SITE PLAN NOTES**
- SETBACKS SHALL BE AS SHOWN HEREON (10' MINIMUM)
 - TOTAL SQUARE FOOTAGE: 14,298 SF
 - NET LEASABLE AREA = 12,800 SF
 - REQUIRED PARKING = 1 SPACE/200 SF LEASABLE AREA = 64 SPACES
 - PARKING PROVIDED = 66 SPACES FOR CARS + 3 SPACES FOR MOTORCYCLES
 - ACCESSIBLE PARKING REQUIRED = 4 (6 PROVIDED)
 - BICYCLE SPACES REQUIRED = 1/20 VEHICLES SPACES = 4 (8 PROVIDED)
 - MOTORCYCLE PARKING REQUIRED = 3 (3 PROVIDED)
 - MAX BUILDING HEIGHT = 36 FEET
 - MAX F.A.R. = 0.30

- LEGEND (EXISTING)**
- ASPH ASPHALT
 - B BOULDER
 - C COMMUNICATION
 - C&G CURB AND GUTTER
 - CMU CONCRETE MASONRY UNIT
 - CO SANITARY SEWER CLEANOUT
 - CONC CONCRETE
 - EA EDGE OF ASPHALT
 - ET ELECTRIC TRANSFORMER
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - INV INVERT ELEVATION
 - MH MANHOLE
 - OHE(1) OVERHEAD ELECTRIC (# OF LINES)
 - PVC POLYVINYL CHLORIDE
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - SD STORM DRAIN
 - SI STORM INLET
 - STD STANDARD
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TCO TOP OF CONCRETE
 - TG TOP OF GRATE
 - TR TELEPHONE RISER
 - WL WATERLINE
 - WPP WOOD POWER POLE
 - WS WOOD SIGN
 - WS DECIDUOUS TREE
 - SHRUB SHRUB
 - UTILITY MARKER
- LEGEND (PROPOSED)**
- HC HANDICAPPED PARKING
 - MC MOTORCYCLE PARKING
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVING
 - TEMPORARY PAVEMENT
 - SITE LIGHTING
 - BENCH
 - COMPACT CAR PARKING SPACE

EXISTING BOUNDARY TABLE

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
L6	N 00°06'45" E	236.16'
L7	S 89°39'42" E	82.50'

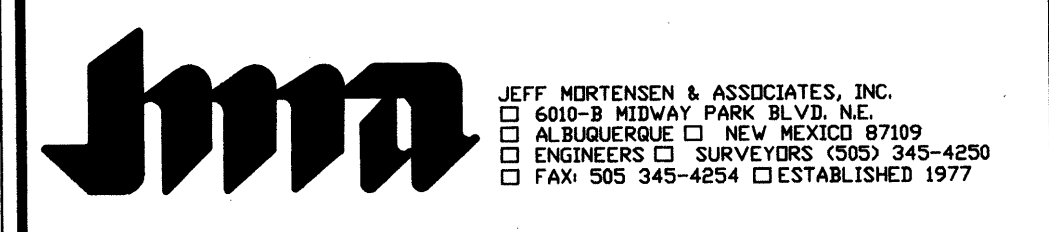
**SITE PLAN FOR SUBDIVISION
 MARK 3S HOLLY DEVELOPMENT**

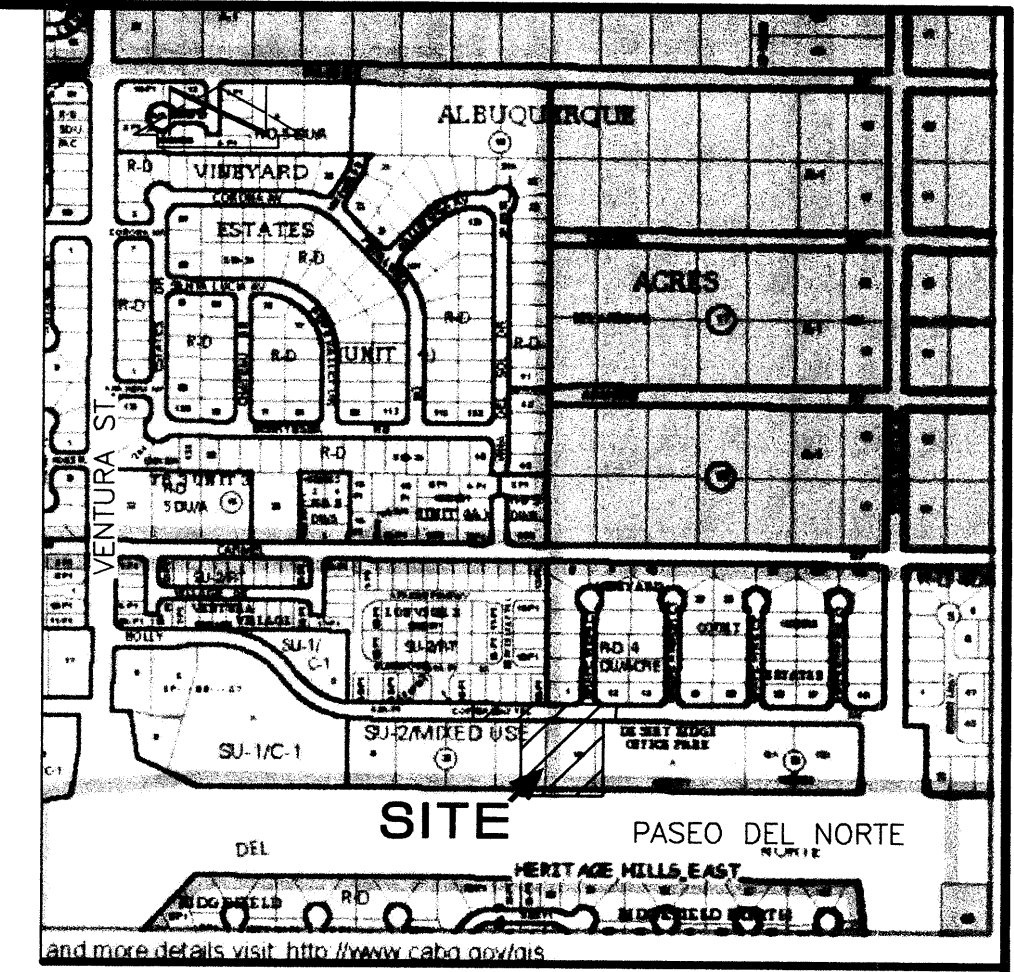
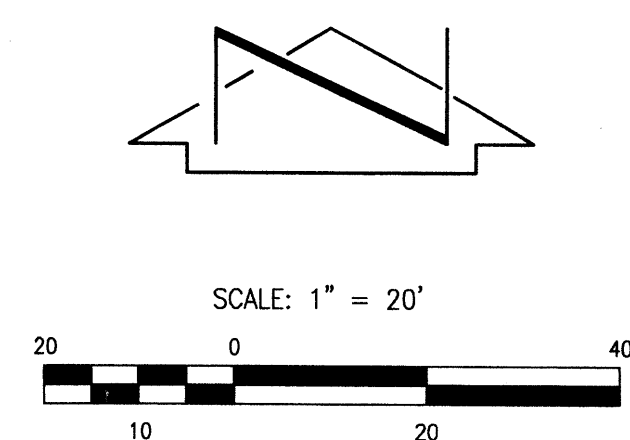
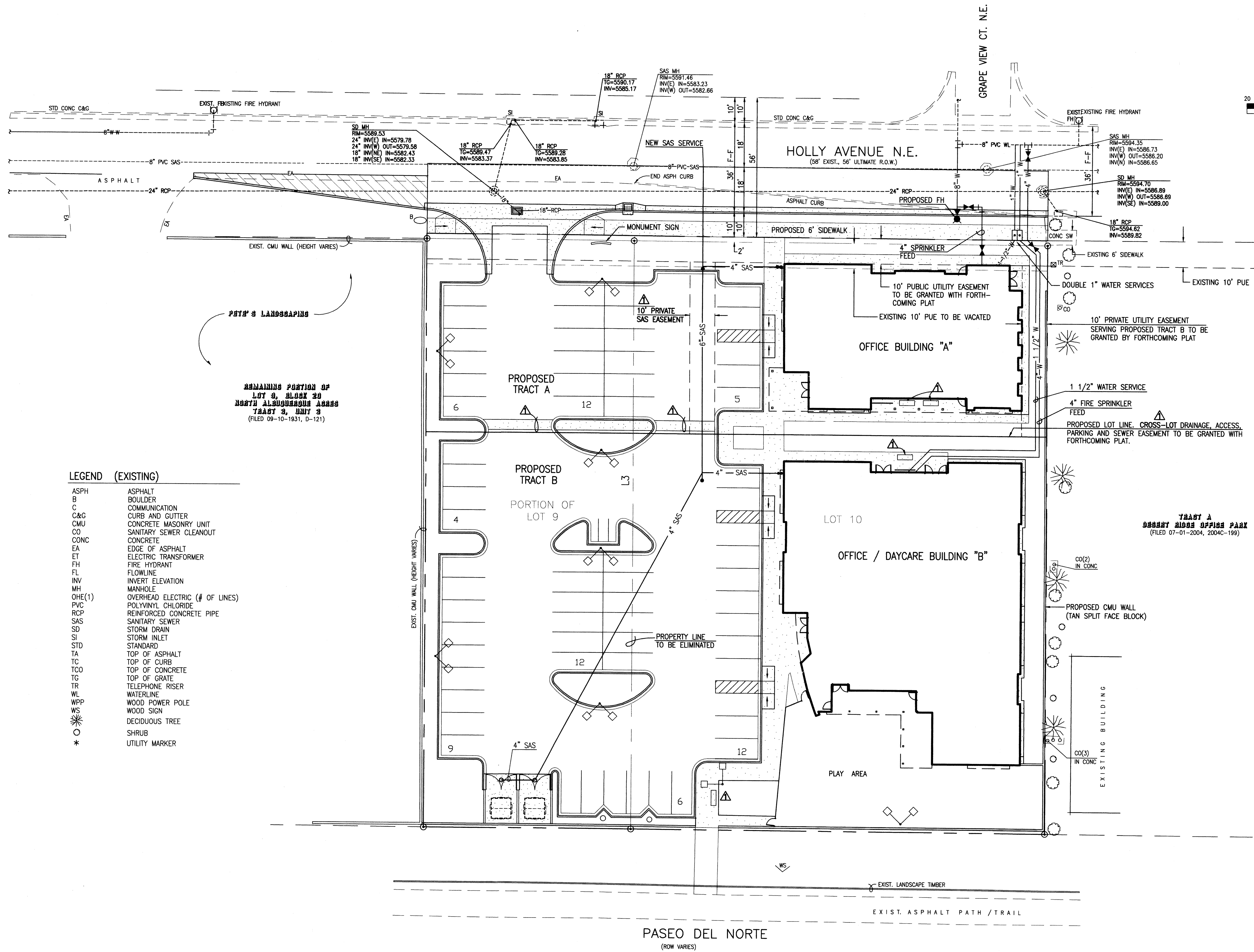
INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	SITE PLAN FOR SUBDIVISION
2	CONCEPTUAL UTILITY PLAN

J. GRAEME MEANS
 (13676)
 PROFESSIONAL ENGINEER
 10/31/06
 02/05/07

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS	2006.070.2
DRAWN BY		RRW/JLP		DATE
APPROVED BY		G.M.		10-2006
				SHEET 1 OF 2





VICINITY MAP
SCALE: 1" = 750' C-20

LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.

REMAINING PORTION OF LOT 9, BLOCK 20 NORTH ALBUQUERQUE ACRES TRACT 3, UNIT 3 (FILED 09-10-1931, D-121)

PETS' & LANDSCAPING

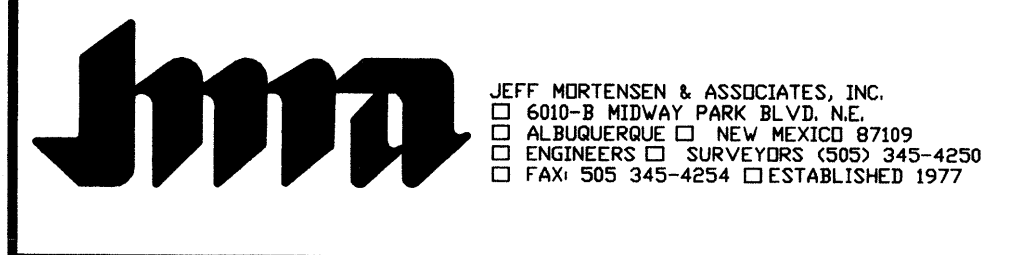
LEGEND (EXISTING)

- ASPH ASPHALT
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- WL WATERLINE
- WPP WOOD POWER POLE
- WS WOOD SIGN
- DECIDUOUS TREE
- SHRUB
- * UTILITY MARKER

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J. GRAEME MEANS
 NEW MEXICO
 LICENSED PROFESSIONAL ENGINEER
 02/05/07 10/31/06

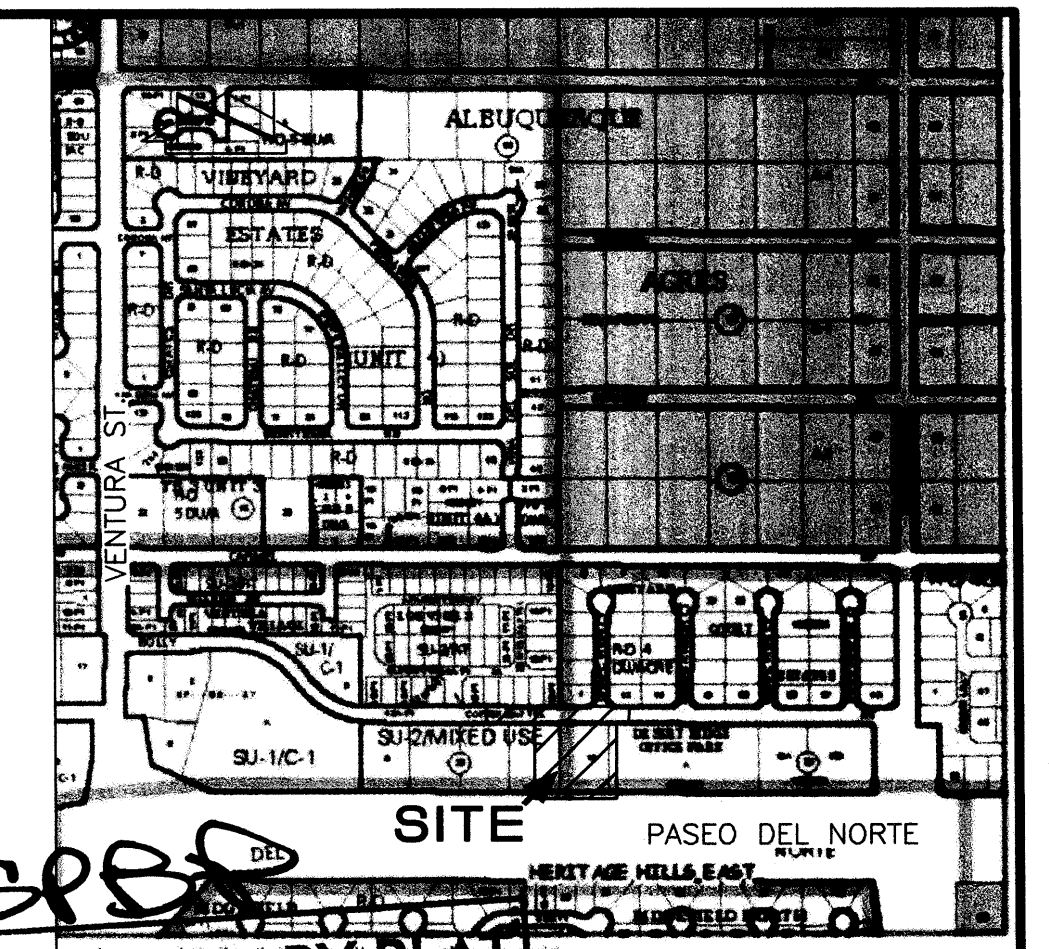
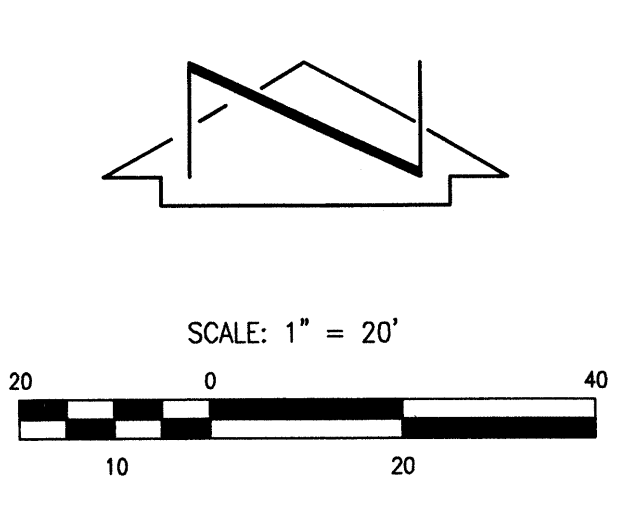
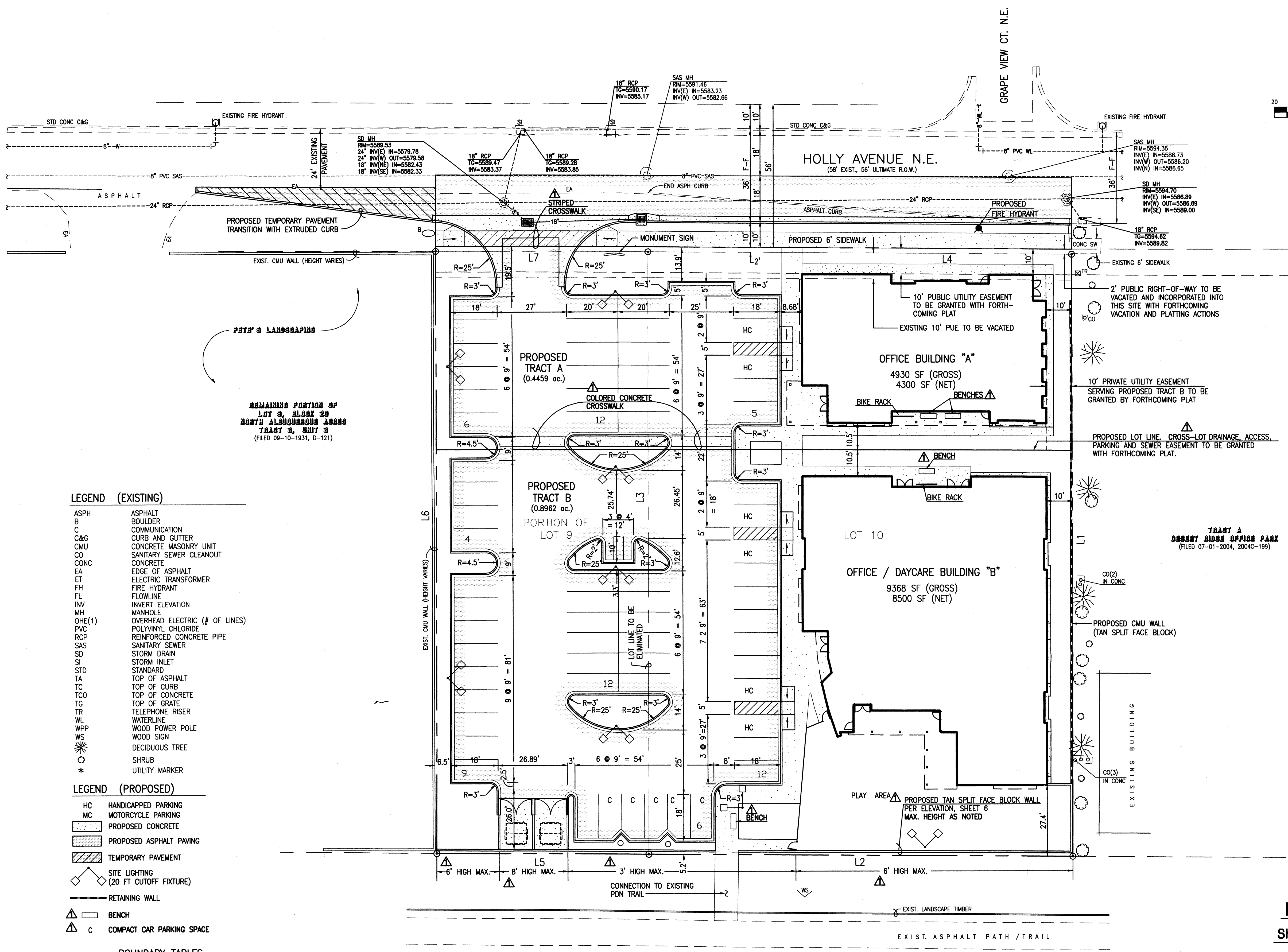
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 Plot Date: 02-05-2007
 Plot Time: 09:03 am



CONCEPTUAL UTILITY PLAN
 MARK 3S HOLLY DEVELOPMENT

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	RRW/JLP	1	01/07	G.M.	ADDRESS EPC COMMENTS	2006.070.2
APPROVED BY	G.M.					DATE
						10-2006
						SHEET
						2 OF 2

Plot Date: 02-05-2007
 Plot Time: 08:59 am
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 Plot Name: 60702SPR.LDWG



PRELIMINARY APPROVAL
APPROVED BY MARB
 LEGON DESIGN
 C-20
 Let copies of EPC approved SDP for BP

ZONING:
 SU-2 MIXED USE

PROJECT NUMBER: 1005237
 Application Number 06 EPC - 01581

Is an Infrastructure List required? (X) Yes () No
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DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
<i>Michael Holton</i>	2/9/07
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

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 - TOTAL SQUARE FOOTAGE: 14,298 SF
 - NET LEASABLE AREA = 12,800 SF
 - REQUIRED PARKING = 1 SPACE/200 SF LEASABLE AREA = 64 SPACES
 - PARKING PROVIDED = 66 SPACES FOR CARS + 3 SPACES FOR MOTORCYCLES
 - ACCESSIBLE PARKING REQUIRED = 4 (6 PROVIDED)
 - BICYCLE SPACES REQUIRED = 1/20 VEHICLES SPACES = 4 (8 PROVIDED)
 - MOTORCYCLE PARKING REQUIRED = 3 (3 PROVIDED)
 - ROOF EQUIPMENT SHALL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA QUEVA SECTOR DEVELOPMENT PLAN DESIGN GUIDELINE 11R-3
 - SIGN LIGHTING SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.
 - ANY LIGHTING WITHIN 100' OF A RESIDENTIALLY ZONED PROPERTY SHALL BE A MAXIMUM OF 16 FT IN HEIGHT PER ZONING CODE SECTION 14-16-3-9(F).

- LEGEND (EXISTING)**
- ASPH ASPHALT
 - B BOULDER
 - C COMMUNICATION
 - C&G CURB AND GUTTER
 - CMU CONCRETE MASONRY UNIT
 - CO SANITARY SEWER CLEANOUT
 - CONC CONCRETE
 - EA EDGE OF ASPHALT
 - ET ELECTRIC TRANSFORMER
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - INV INVERT ELEVATION
 - MH MANHOLE
 - OHE(1) OVERHEAD ELECTRIC (# OF LINES)
 - PVC POLYVINYL CHLORIDE
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - SD STORM DRAIN
 - SI STORM INLET
 - STD STANDARD
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TCO TOP OF CONCRETE
 - TG TOP OF GRATE
 - TR TELEPHONE RISER
 - WL WATERLINE
 - WPP WOOD POWER POLE
 - WS WOOD SIGN
 - WS DECIDUOUS TREE
 - * SHRUB
 - UTILITY MARKER
- LEGEND (PROPOSED)**
- HC HANDICAPPED PARKING
 - MC MOTORCYCLE PARKING
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVING
 - TEMPORARY PAVEMENT
 - SITE LIGHTING (20 FT CUTOFF FIXTURE)
 - RETAINING WALL
 - BENCH
 - COMPACT CAR PARKING SPACE

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
L6	N 00°06'45" E	236.16'
L7	S 89°39'42" E	82.50'

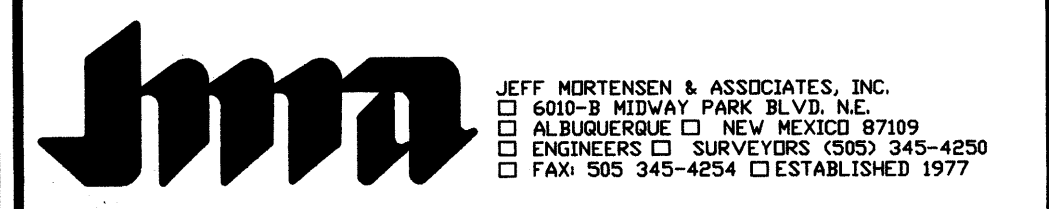
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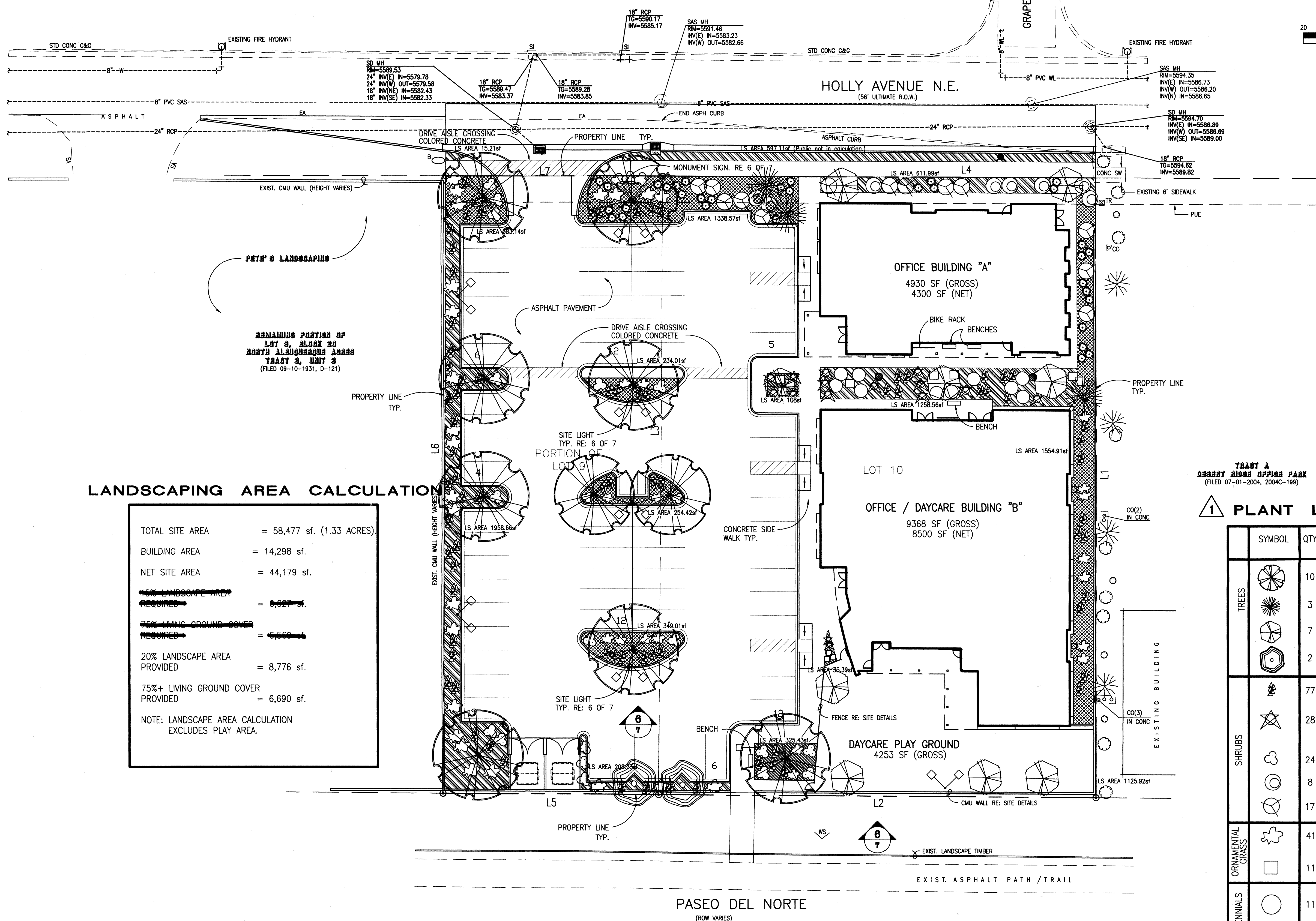
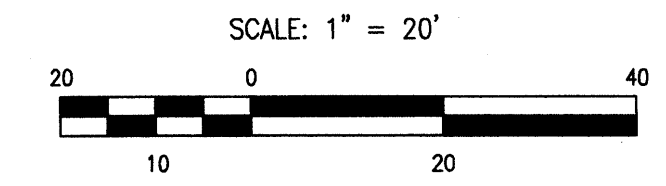
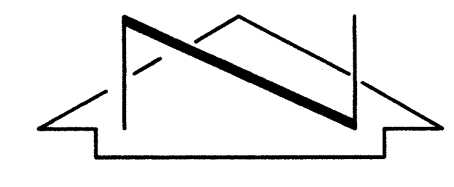
SHEET	DESCRIPTION
1	SITE PLAN
2	LANDSCAPING PLAN
3	PRELIMINARY GRADING PLAN
4	BUILDING EXTERIOR ELEVATIONS
5	BUILDING EXTERIOR ELEVATIONS
6	SITE DETAILS
7	CONCEPTUAL UTILITY PLAN

ATB PLAN REVISIONS
 2-8-07
 Hydrants + access
 J. GRAEME MEANS
 NEW MEXICO
 (13676)
 PROFESSIONAL ENGINEER
 10/31/06
 02/05/07

**SITE PLAN FOR BUILDING PERMIT
 MARK 3S HOLLY DEVELOPMENT**

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	RRW/JLP	1	01/07	G.M.	ADDRESS EPC COMMENTS	2006.070.2
APPROVED BY	G.M.					DATE
						10-2006
						SHEET 1 OF 7





LANDSCAPING NOTES:

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS, MARK 3S.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE OWNERS. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

IRRIGATION NOTES

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS AND PERENNIALS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEM TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS (MARK 3S).

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

LANDSCAPING AREA CALCULATION

TOTAL SITE AREA	=	58,477 sf. (1.33 ACRES)
BUILDING AREA	=	14,298 sf.
NET SITE AREA	=	44,179 sf.
60% LANDSCAPE AREA REQUIRED	=	26,907 sf.
60% LIVING GROUND COVER REQUIRED	=	26,907 sf.
20% LANDSCAPE AREA PROVIDED	=	8,776 sf.
75%+ LIVING GROUND COVER PROVIDED	=	6,690 sf.
NOTE: LANDSCAPE AREA CALCULATION EXCLUDES PLAY AREA.		

TRACT 1
DESERT RIDGE OFFICE PARK
(FILED 07-01-2004, 2004C-199)

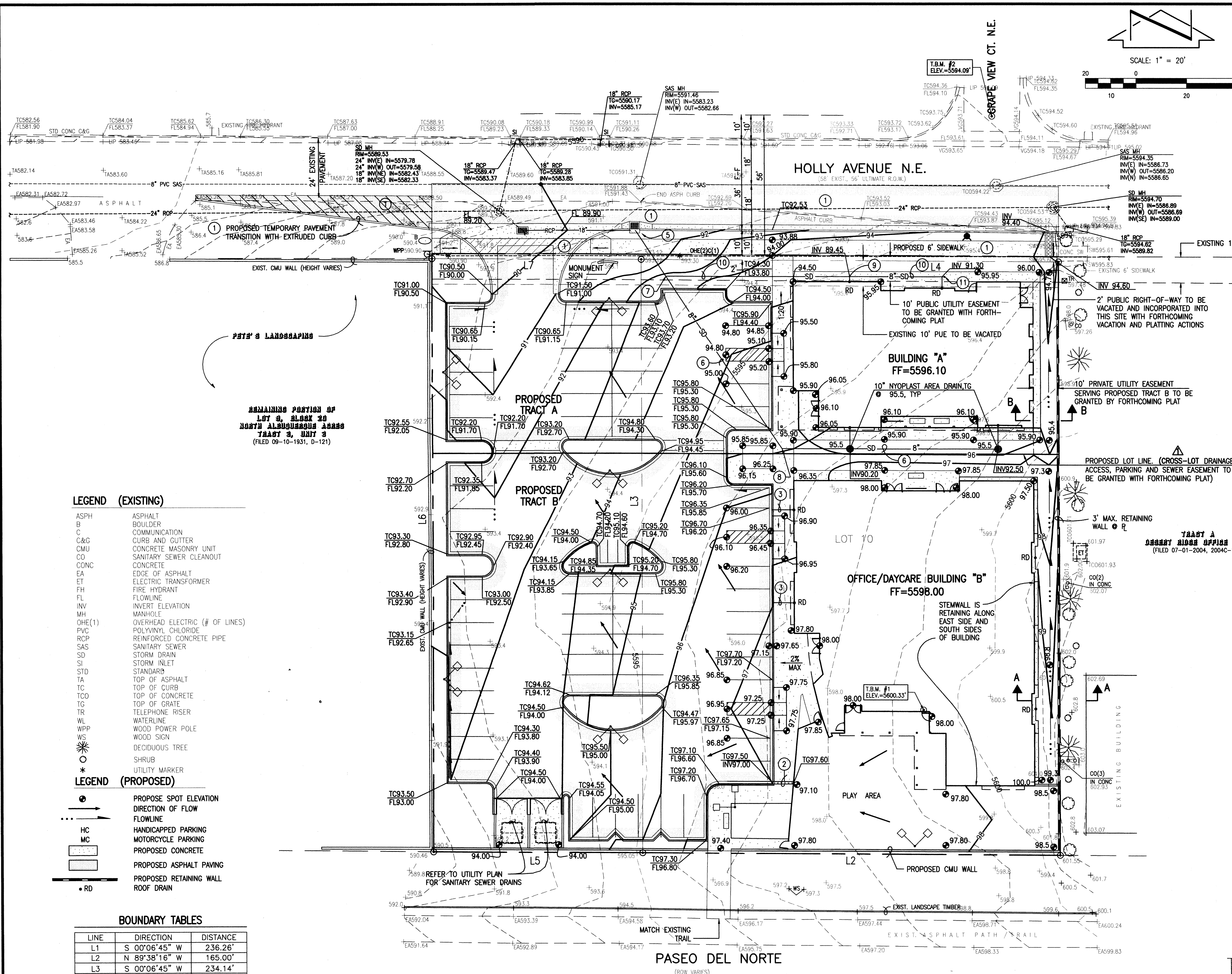
PLANT LEGEND

	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	H	W	WATER REQUIREMENTS	INSTALLED SIZE
TREES		10	QUERCUS TEXANA	RED TEXAS OAK	35'	30'	MEDIUM WATER USE	24" BOX MULTI TRUNK
		3	PINUS EDULIS	PINON	25'	20'	MEDIUM WATER USE	8" - 9" B+B
		7	VITEX AGUS-CASTUS	CHASTE TREE	20'	15'	LOW WATER USE	24" BOX MULTI TRUNK
SHRUBS		2	CHITALPA TASHKENTENSIS	CHITALPA	30'	20'	LOW WATER USE	2" CALIPER
		77	ROSMARINUS OFFICINALIS 'ARP'	ROSEMARY	3'	4'	LOW WATER USE	1 GALLON OR 5 GALLON
		28	ROSMARINUS OFFICINALIS 'HUNINGTON CARPET' OR 'PROSTRATA'	ROSEMARY	1'	3'	LOW WATER USE	1GALLON
		24	ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	2'	2'	LOW WATER USE	1GALLON
		8	ARTEMISIA CANA	SILVER SAGE	6'	4'	LOW WATER USE	1GALLON
		17	CHRYSOTHAMNUS NAUSEOSUS	DWARF CHAMISA	2'	3'	LOW WATER USE	1GALLON
ORNAMENTAL GRASS		41	MISCANTHUS SINENSIS 'PURPURASCENS'	AUTUMN MAIDEN GRASS	5'	4'	MEDIUM WATER USE	5 GALLON
		11	MUHLENBERGIA RIGENS	DEER GRASS	3'	3'	LOW WATER USE	1 GALLON
PERENNIALS		11	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	1.5'	1.5'	LOW WATER USE	1GALLON
		34	SANTOLINA VIRENS	GREEN SANTOLINA	2'	3'	LOW WATER USE	1GALLON
MULCH			3/4" GRAVEL GROUND COVER					
			CRUSHER FINES GROUND COVER					
		4038 SF	SANTA FE NATIVE GRASS SEED MIX.					

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 Plot Time: 08:53 am
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LANDSCAPE PLAN
MARK 3S HOLLY DEVELOPMENT

DESIGNED BY	B.G.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	RRW / B.G.	1	1/25/07	BG	REVISIONS PER EPC APPROVAL CONDITIONS.	2006.070.2
APPROVED BY	G.M.					DATE 09-2006
						SHEET 2 OF 7



LEGAL DESCRIPTION:
 LOT 10 AND THE EAST HALF OF LOT 9, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931, BOOK D, PAGE 121.

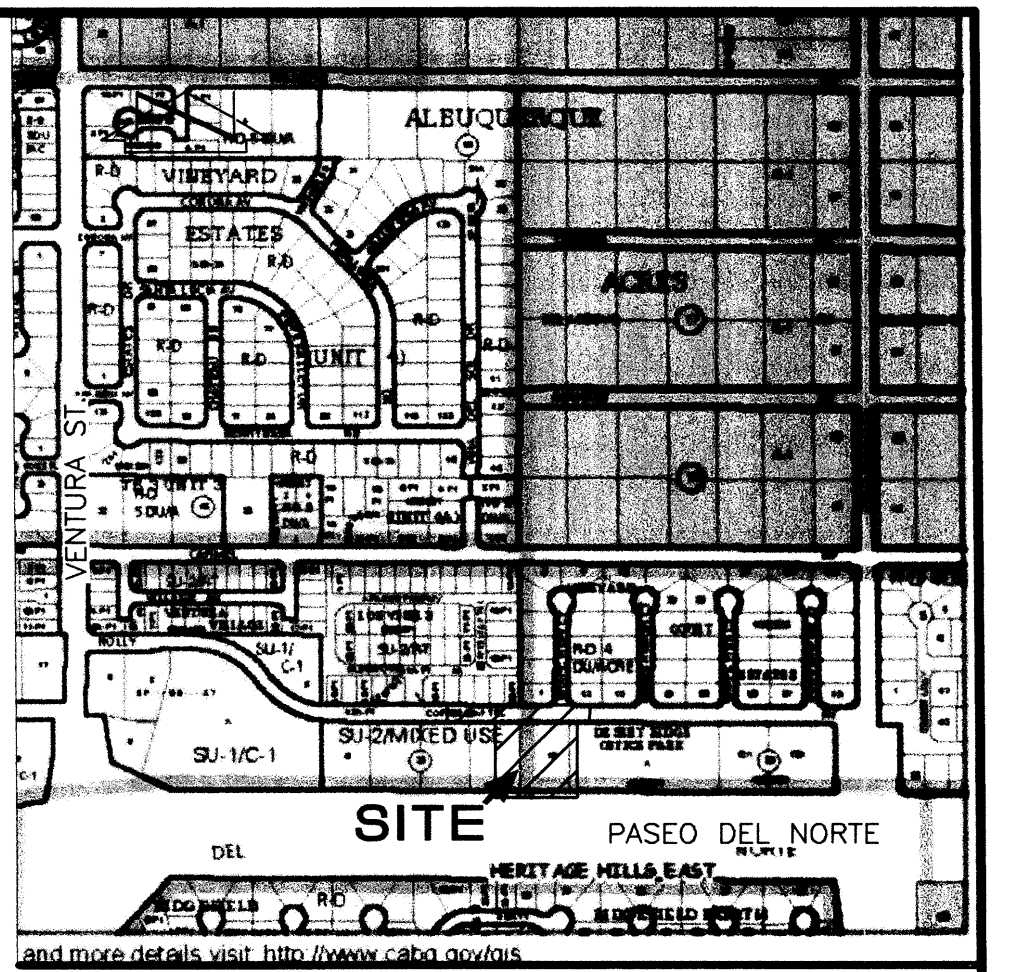
PROJECT BENCHMARK
 STANDARD ACS BRASS TABLE STAMPED, "1-B20", SET IN TOP OF A CONCRETE POST, AT THE NORTHEAST INTERSECTION OF BARSTOW STREET AND MODESTO AVENUE. ELEVATION = 5474.51 FEET (NGVD 1929)

T.B.M. #1
 REBAR #5 WITH CAP STAMPED, "JMA CONTROL NMPS 11184", AS SHOWN ON THIS SHEET. ELEVATION = 5800.33 FEET (NGVD 1929)

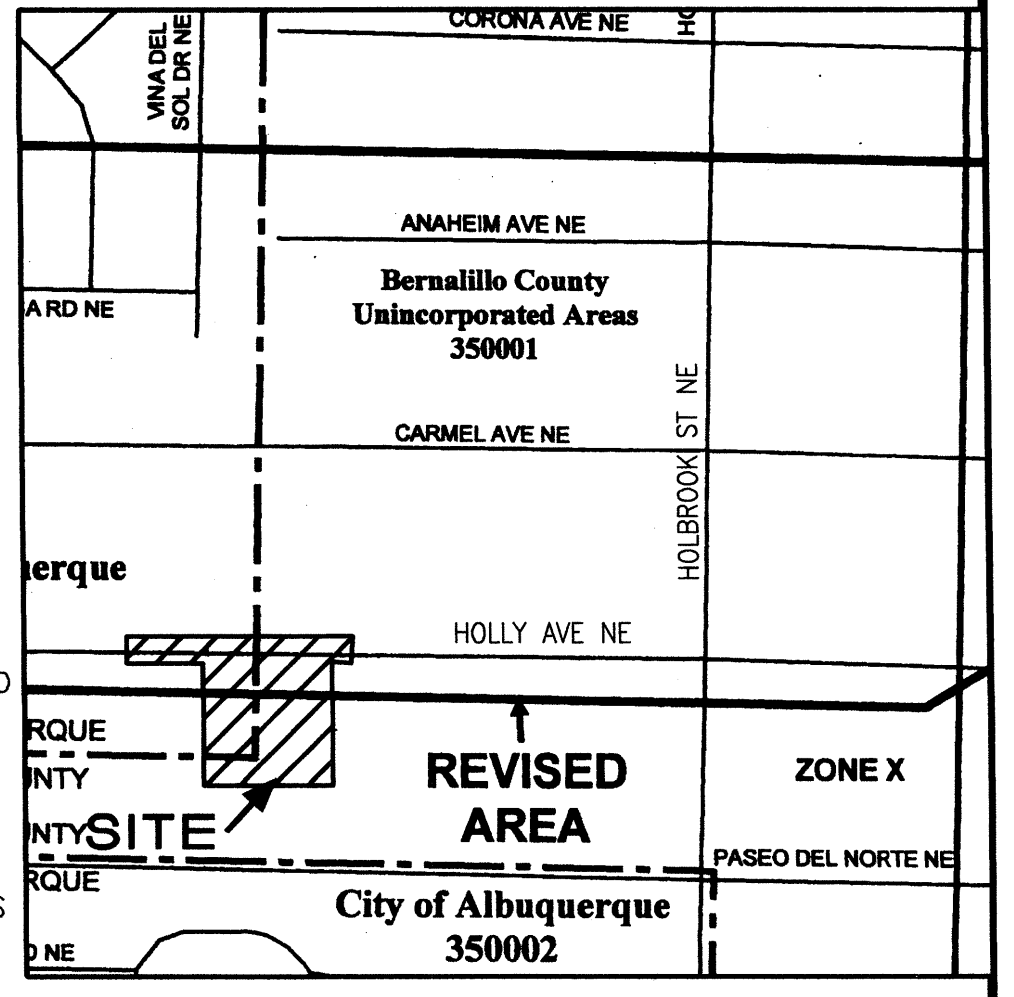
T.B.M. #2
 ALUMINUM CAP STAMPED, "PLS #11184", AS SHOWN ON THIS SHEET. ELEVATION = 5594.09 FEET (NGVD 1929)

CONSTRUCTION NOTES:

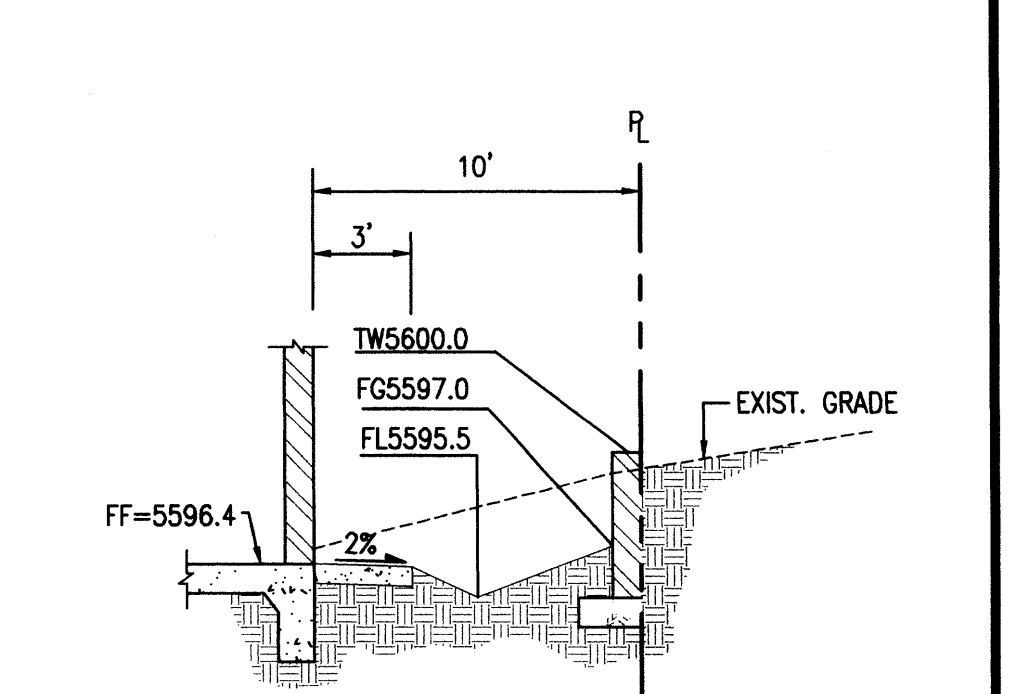
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY. SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.



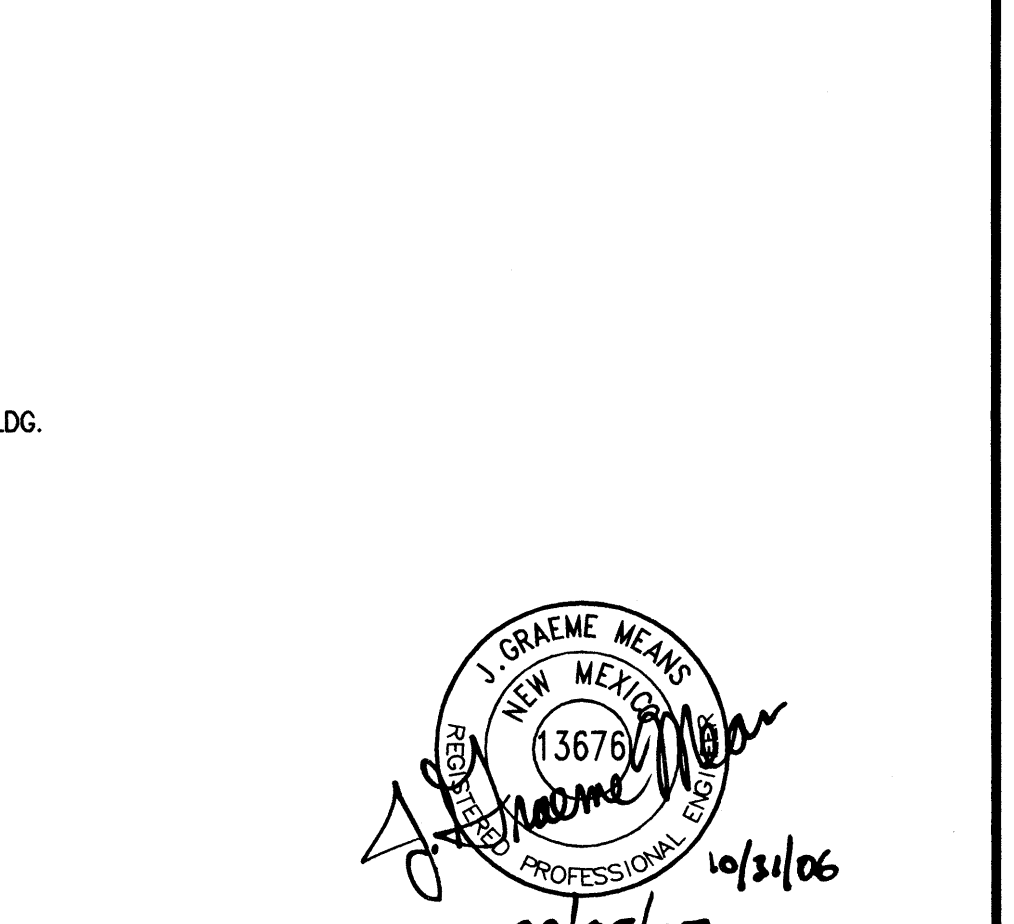
VICINITY MAP
 SCALE: 1" = 750'



F.I.R.M. PANEL 142 OF 825
 SCALE: 1" = 500' REVISED 3/23/2004



SECTION B-B
 SCALE: 1" = 6'



SECTION A-A
 SCALE: 1" = 6'

LEGEND (EXISTING)

- ASPH ASPHALT
- B BORDER
- C COMMUNICATION
- C&G CURB AND GUTTER
- CMU CONCRETE MASONRY UNIT
- CO SANITARY SEWER CLEANOUT
- CONC CONCRETE
- EA EDGE OF ASPHALT
- ET ELECTRIC TRANSFORMER
- FH FIRE HYDRANT
- FL FLOWLINE
- INV INVERT ELEVATION
- MH MANHOLE
- OHE(1) OVERHEAD ELECTRIC (# OF LINES)
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- SAS SANITARY SEWER
- SD STORM DRAIN
- SI STORM INLET
- STD STANDARD
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TG TOP OF GRATE
- TR TELEPHONE RISER
- WL WATERLINE
- WPP WOOD POWER POLE
- WS WOOD SIGN
- DECIDUOUS TREE DECIDUOUS TREE
- SHRUB SHRUB
- UTILITY MARKER UTILITY MARKER

LEGEND (PROPOSED)

- PROPOSE SPOT ELEVATION
- DIRECTION OF FLOW
- FLOWLINE
- HC HANDICAPPED PARKING
- MC MOTORCYCLE PARKING
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- PROPOSED RETAINING WALL
- ROOF DRAIN

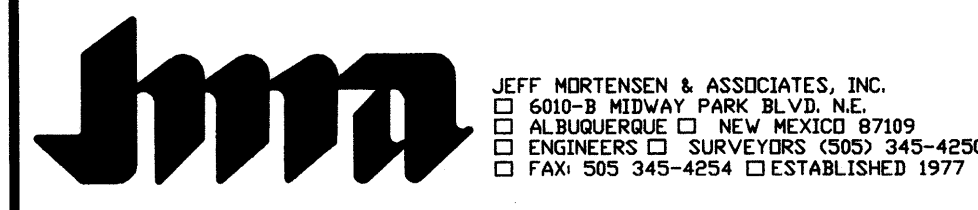
BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
L6	N 00°06'45" E	236.16'
L7	S 89°39'42" E	82.50'

This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

- KEYED NOTES**
- HOLLY AVENUE N.E. IMPROVEMENTS TO BE CONSTRUCTED BY CITY WORK ORDER
 - CONSTRUCT 12" SIDEWALK CULVERT PER COA STD DWG 2236
 - DAYLIGHT ROOF DRAIN THROUGH CURB
 - 24" SIDEWALK CULVERT BY CITY WORK ORDER
 - CONNECTION TO STORM INLET BY S0#19 PERMIT. INV 85.00
 - INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN @ S = 0.04 (4%)
 - INSTALL 8" HDPE WYE, INV 85.80
 - INSTALL 8" HDPE WYE W/ CLEANOUT TO GRADE. INV 89.10
 - INSTALL 8" WYE, CONNECT TO ROOF DRAIN
 - INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN @ S = 0.0500 (5%)
 - INSTALL CLEANOUT TO GRADE

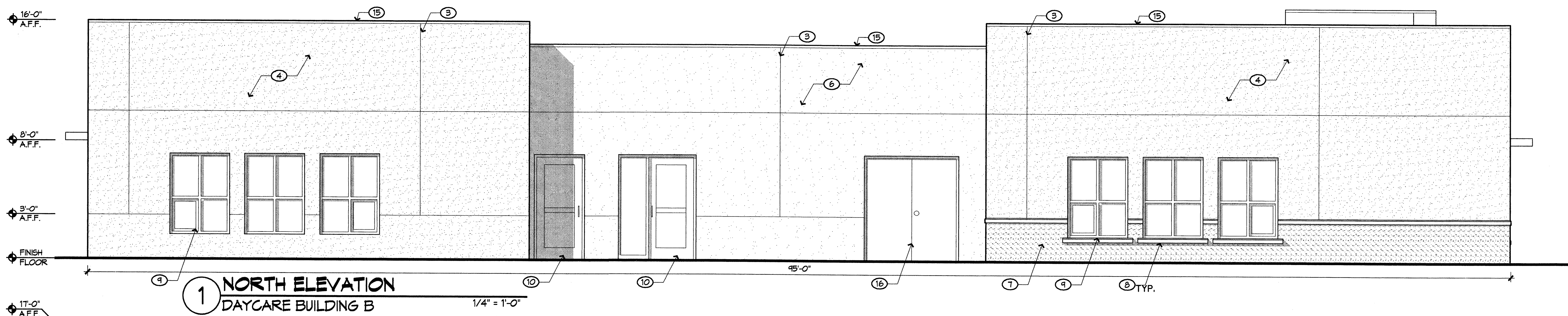
GRADING PLAN
MARK 3S HOLLY DEVELOPMENT



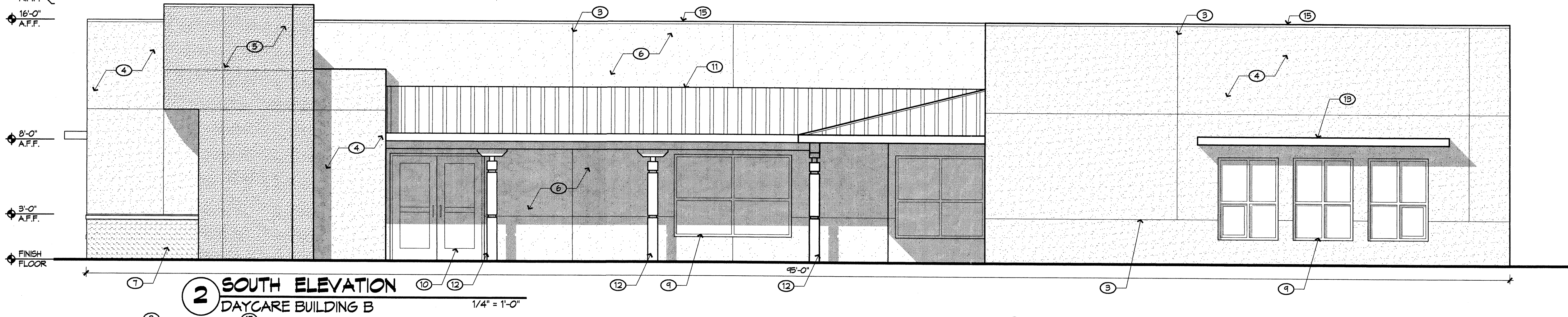
JEFF NORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS CSD 245-4250
 FAX 505 345-4254 ESTABLISHED 1977

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS, ADDED DETAIL FOR CONSTRUCTION	2006.070.2/6
DRAWN BY		RRW/JLP		DATE
APPROVED BY		G.M.		10-2006
				SHEET 3 OF 7

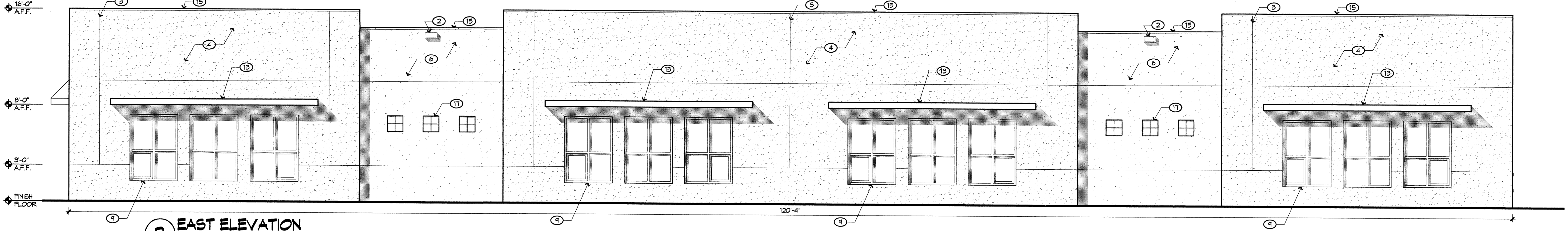
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1 NORTH ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"



2 SOUTH ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"

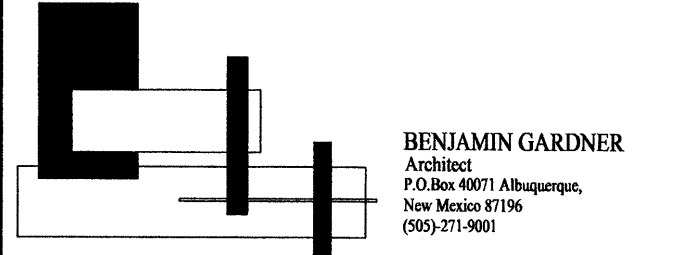
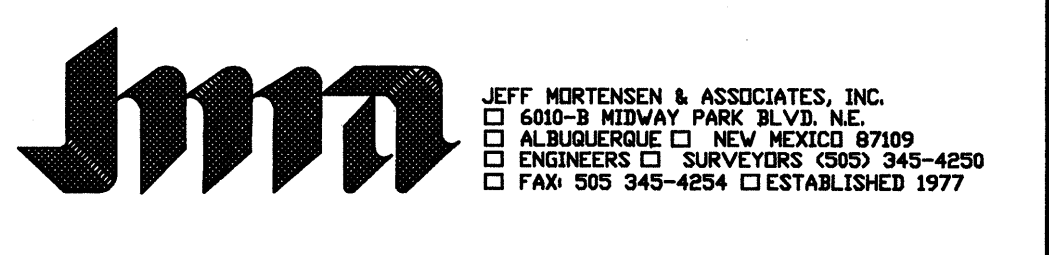
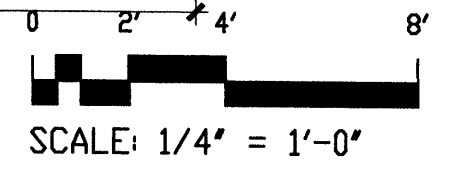


3 EAST ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"



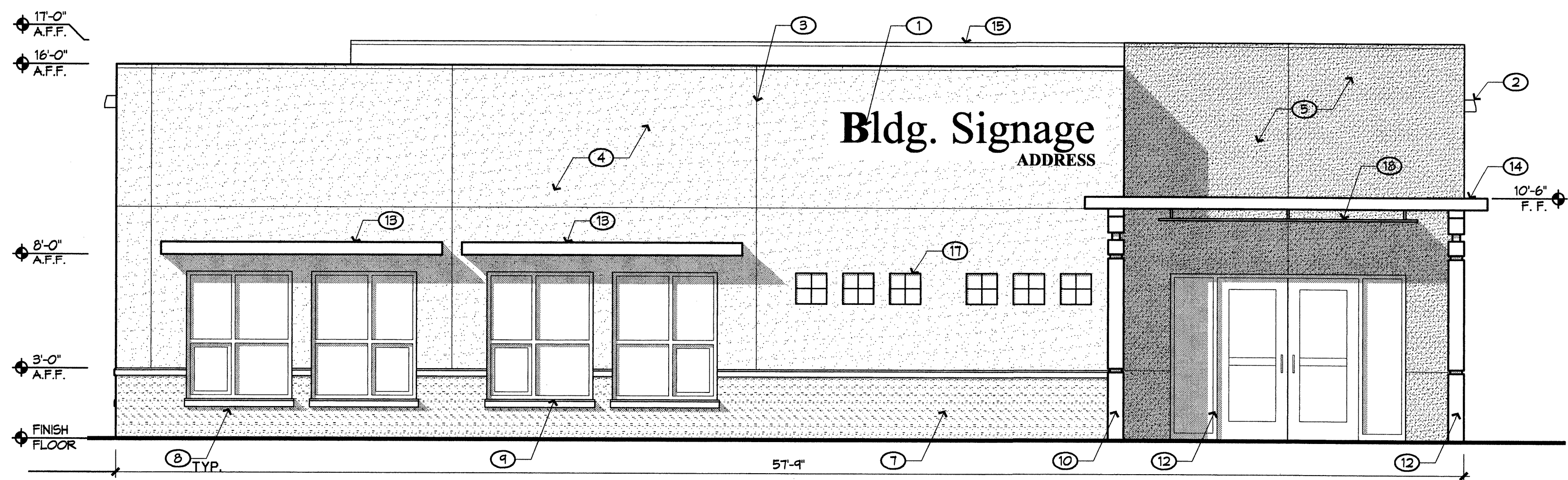
4 WEST ELEVATION
DAYCARE BUILDING B
1/4" = 1'-0"

- GENERAL NOTES:**
A. ALL ROOF EQUIPMENT WILL BE SHIELDED FROM VIEW AND SHALL COMPLY WITH LA CUEVA SECTOR DEVELOPMENT PLAN GUIDELINE 11R-3
- KEYED NOTES:**
- PIN MOUNTED METAL BUILDING LETTERS/SIGNAGE TYPICAL. PRIMARY TITLE 16" TALL. SECONDARY TITLE 6" TALL. MEDIUM BRONZE COLOR.
 - OVERFLOW SCUPPER TYPICAL. PAINTED TO MATCH ADJACENT STUCCO.
 - STUCCO CONTROL JOINT TYPICAL.
 - STUCCO, COLOR = EL REY BUFF (TAN) COLOR #2847 (ROYAL FINISH)
 - STUCCO, COLOR = EL REY MERLOT RED (DARK RED) COLOR # 2008-10 (COURSE FINISH)
 - STUCCO, COLOR = EL REY RIO BRAVO (BROWN) COLOR #2475 (COURSE FINISH)
 - STACKED CULTURED STONE VENEER.
 - PRE-CAST INTEGRALLY COLORED CONCRETE WINDOW SILL. COLOR TO COMPLEMENT STONE VENEER.
 - ANODIZED ALUMINUM WINDOWS. MEDIUM BRONZE FINISH WITH BLUE GREEN TINTED GLAZING.
 - ANODIZED ALUMINUM STOREFRONT. MEDIUM BRONZE FINISH WITH BLUE GREEN GLAZING.
 - FACTORY FINISHED METAL ROOFING PANELS. MEDIUM BRONZE COLOR.
 - DECORATIVE STEEL COLUMNS AND STEEL CORBELS. PAINT FINISH, OFF WHITE COLOR (CI. OLD NAVAO COLOR).
 - STEEL SUNSHADE. OFF WHITE COLOR (CI. OLD NAVAO COLOR).
 - NOT USED.
 - PAINTED METAL COPING. COLOR TO MATCH ADJACENT STUCCO.
 - PAINTED HOLLOW METAL MECHANICAL ROOM DOOR. MEDIUM BRONZE PAINT FINISH.
 - CLEAR GLASS BLOCK.
 - PAINTED METAL 5' TALL PLAY AREA FENCE. COLOR MEDIUM BRONZE.

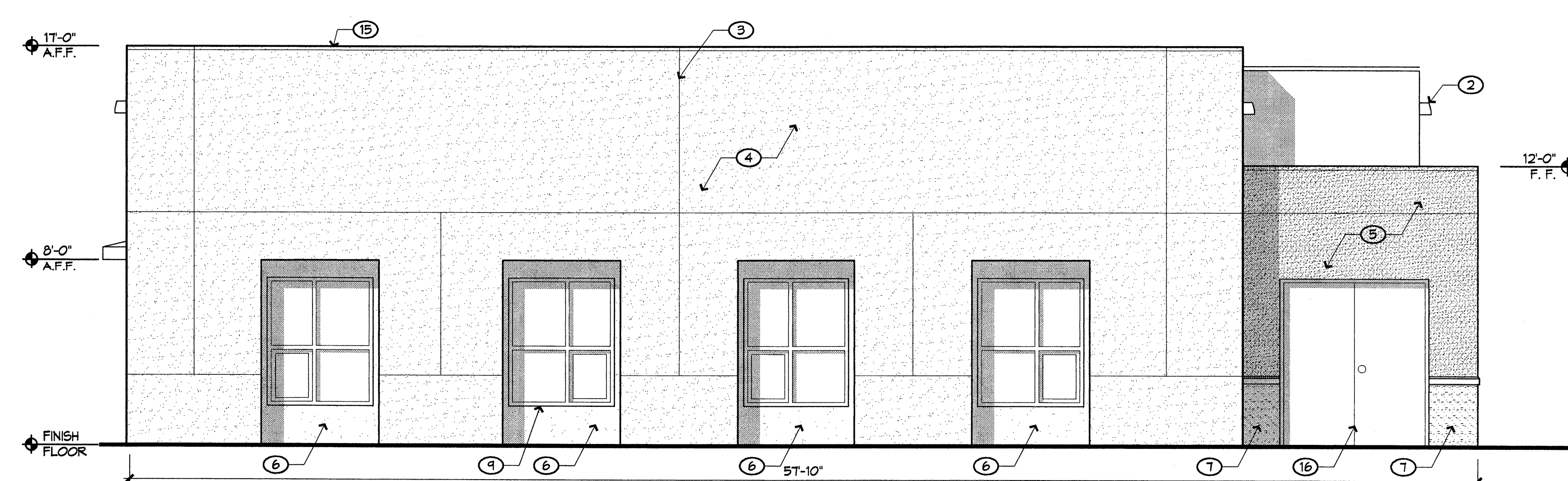


ELEVATIONS BUILDING B
MARK 3S HOLLY DEVELOPMENT

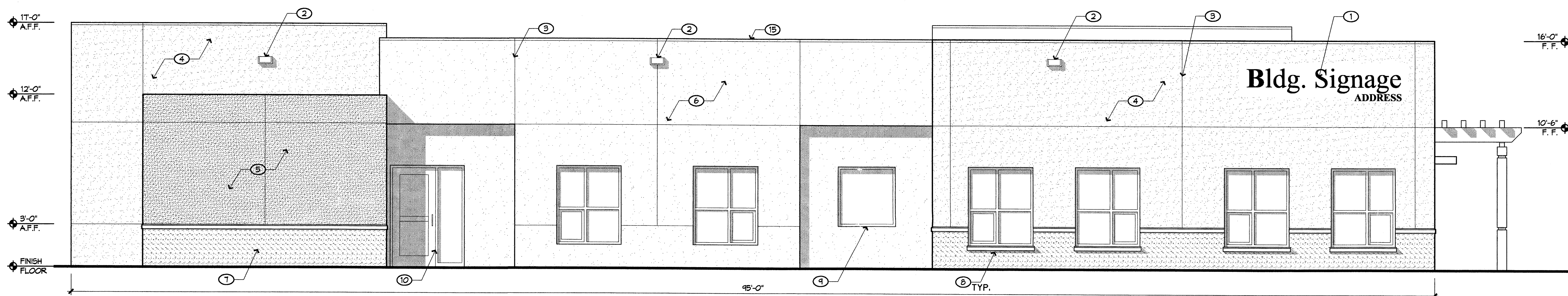
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DRAWN BY	T.N.	1	1/25/07	B.G.	REVISIONS PER EPC APPROVAL CONDITIONS.	2006.070.2
APPROVED BY						DATE
						10-2006
						SHEET
						4 OF 7



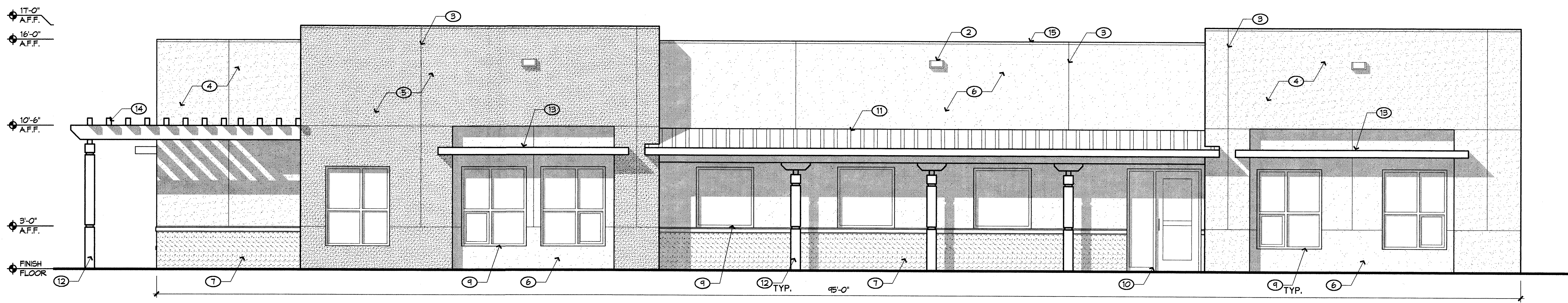
1 WEST ELEVATION
OFFICE BUILDING A
1/4" = 1'-0"



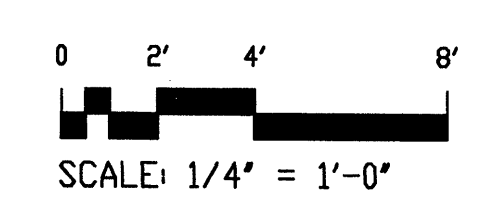
2 EAST ELEVATION
OFFICE BUILDING A
1/4" = 1'-0"



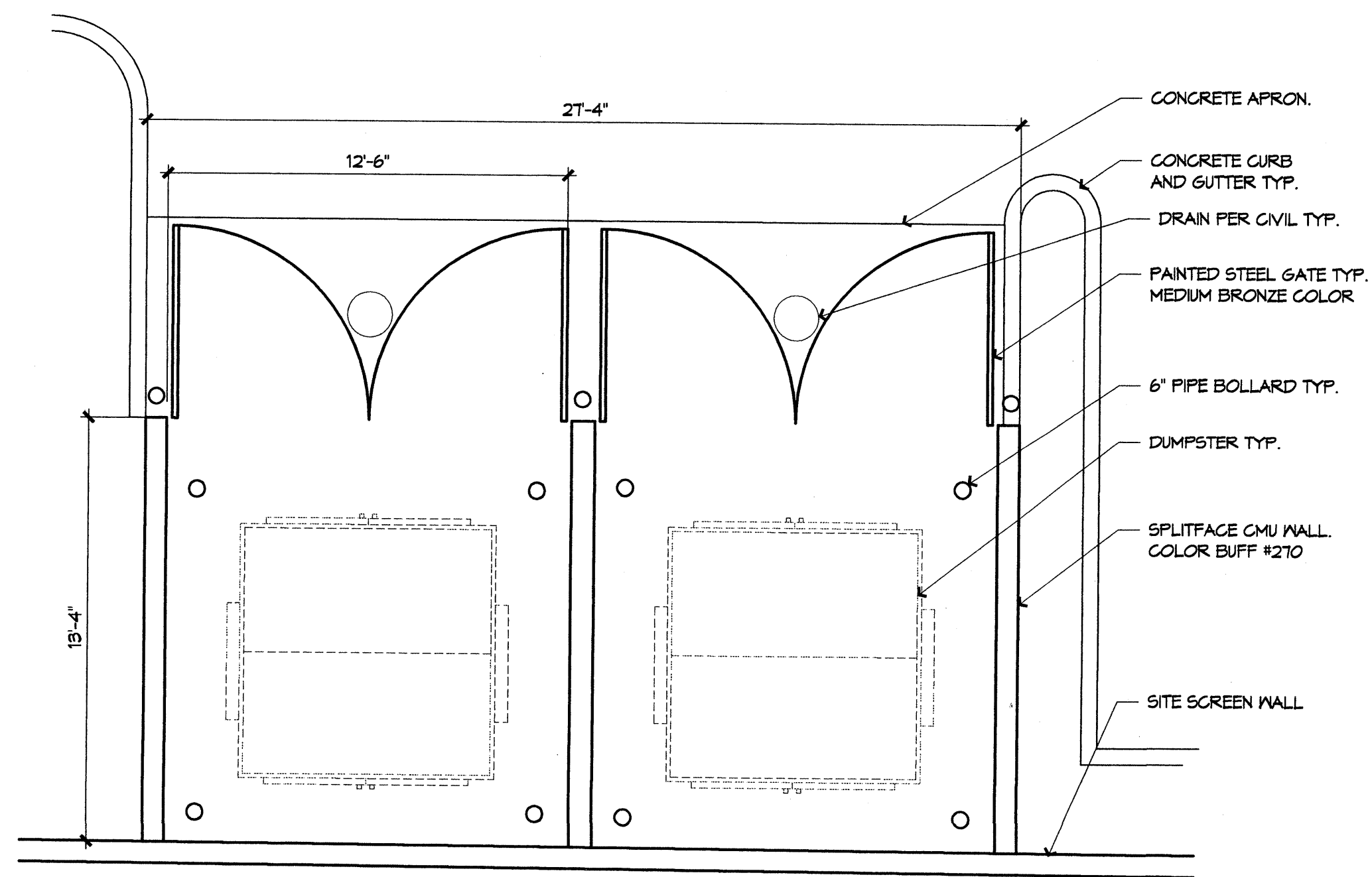
3 NORTH ELEVATION
OFFICE BUILDING A (HOLLY)
1/4" = 1'-0"



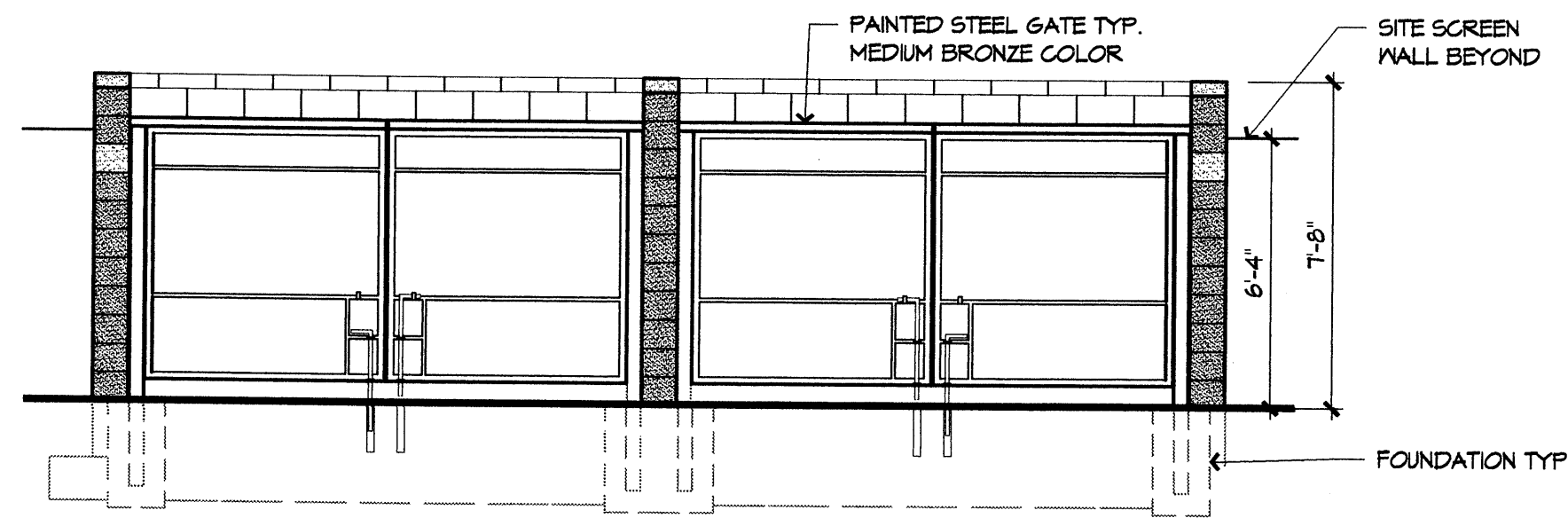
- GENERAL NOTES:**
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1. PIN MOUNTED METAL, BUILDING LETTERS/SIGNAGE TYPICAL. PRIMARY TITLE 16" TALL, SECONDARY TITLE 6" TALL. MEDIUM BRONZE COLOR.
 2. OVERFLOW SCUPPER TYPICAL. PAINTED TO MATCH ADJACENT STUCCO.
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 4. STUCCO, COLOR = EL REY BUFF (LIGHT TAN) COLOR #2847 (ROYAL FINISH)
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 6. STUCCO, COLOR = EL REY RIO BRAVO (BROWN) COLOR #2475 (COURSE FINISH)
 7. STACKED CULTURED STONE VENEER.
 8. PRE-CAST INTEGRALLY COLORED CONCRETE WINDOW SILL. COLOR TO COMPLEMENT STONE VENEER.
 9. ANODIZED ALUMINUM WINDOWS, MEDIUM BRONZE FINISH WITH BLUE GREEN TINTED GLAZING.
 10. ANODIZED ALUMINUM STOREFRONT, MEDIUM BRONZE FINISH WITH BLUE GREEN GLAZING.
 11. FACTORY FINISHED METAL ROOFING PANELS, MEDIUM BRONZE COLOR.
 12. DECORATIVE STEEL COLUMNS AND STEEL CORBELS. PAINT FINISH, OFF WHITE COLOR (CL. OLD NAVAJO COLOR).
 13. STEEL SUNSHADE, OFF WHITE COLOR (CL. OLD NAVAJO COLOR).
 14. NOT USED
 15. PAINTED METAL COPING, COLOR TO MATCH ADJACENT STUCCO.
 16. PAINTED HOLLOW METAL MECHANICAL ROOM DOOR. MEDIUM BRONZE PAINT FINISH.
 17. CLEAR GLASS BLOCK.
 18. PAINTED METAL 5' TALL PLAY AREA FENCE. COLOR MEDIUM BRONZE.



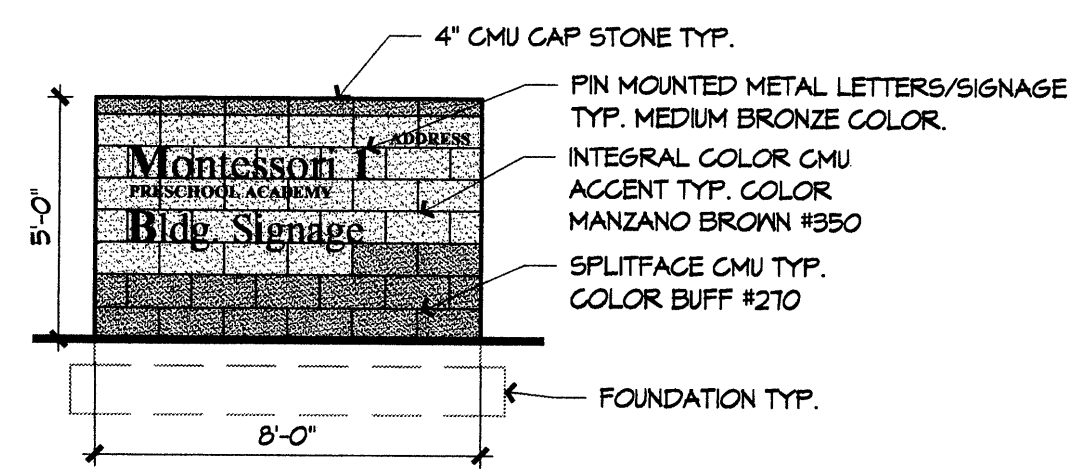
DESIGNED BY	B.G.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	T.M.	1	1/25/07	B.G.	REVISIONS PER EPC APPROVAL CONDITIONS.	2006.070.2
APPROVED BY						DATE
						10-2006
						SHEET
						5 OF 7



1 REFUSE ENCLOSURE
PLAN
1/4" = 1'-0"

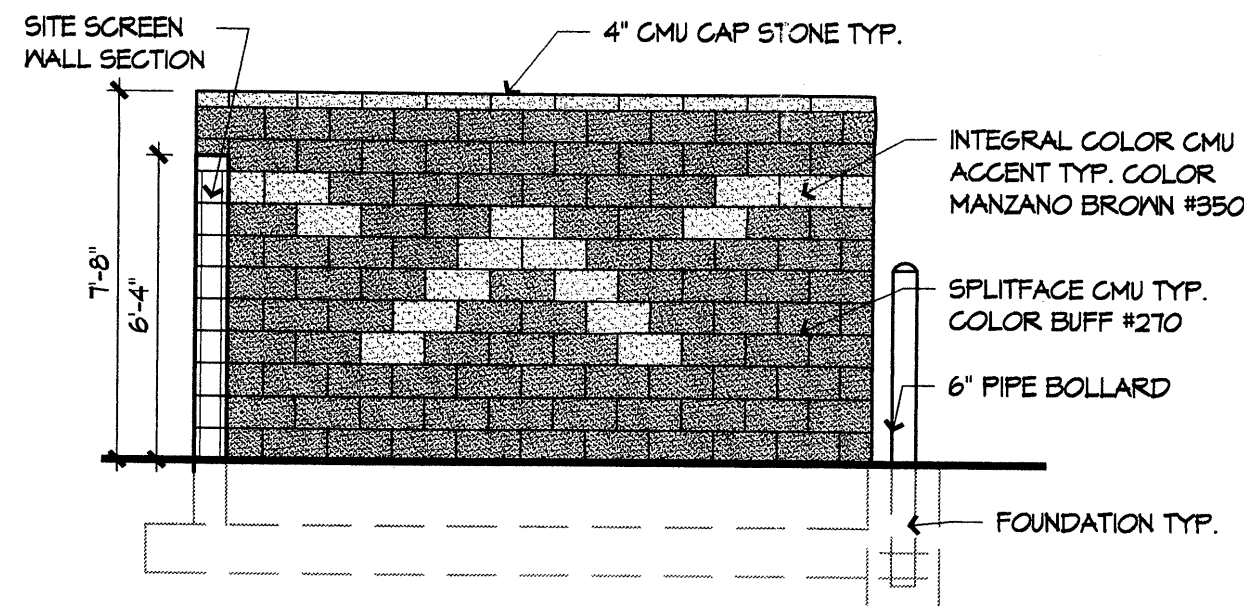


2 REFUSE ENCLOSURE
FRONT ELEVATION
1/4" = 1'-0"



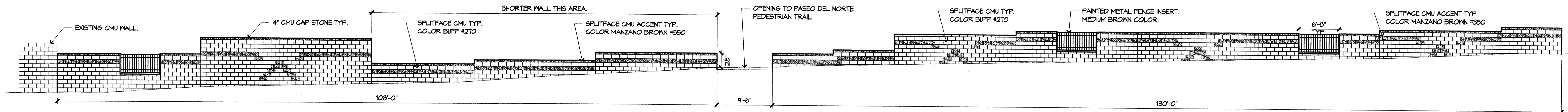
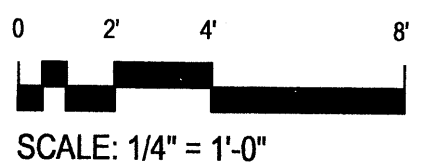
3 MONUMENT SIGN
ELEVATION
1/4" = 1'-0"

NOTE: SIGN = 40 SF.



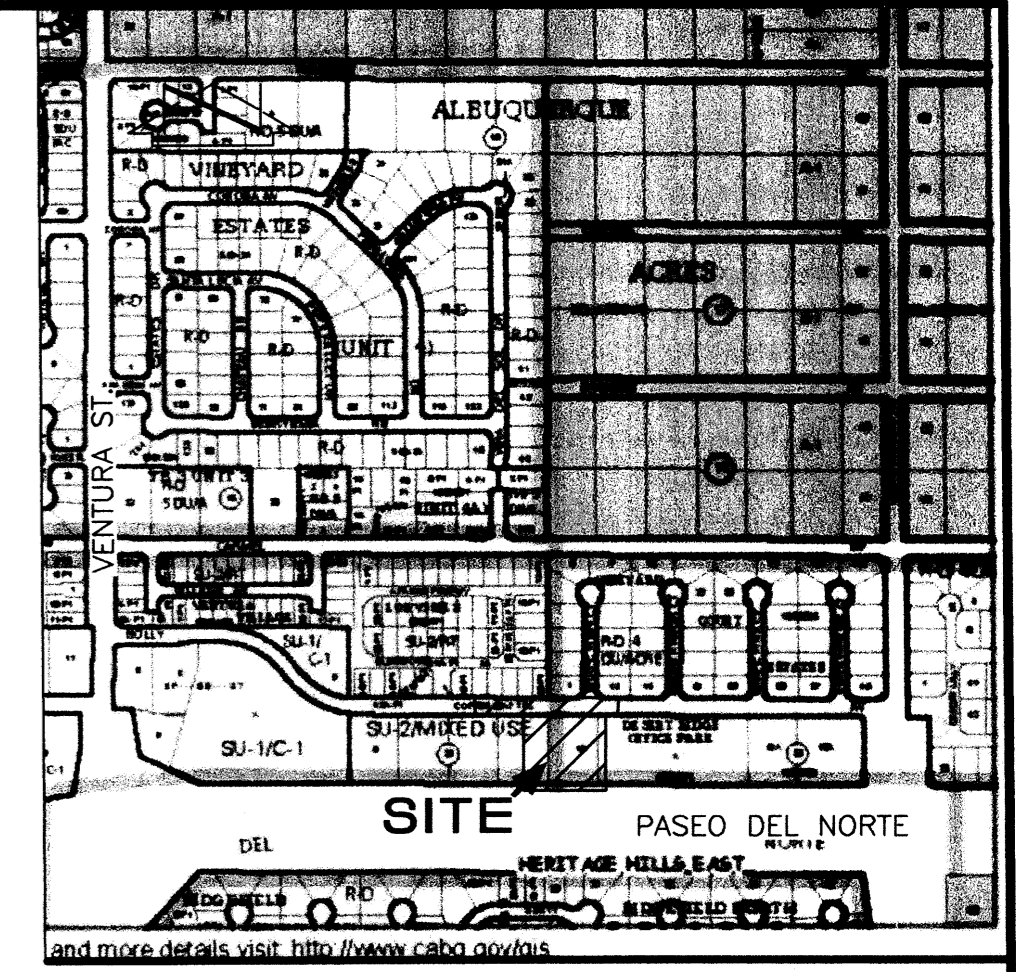
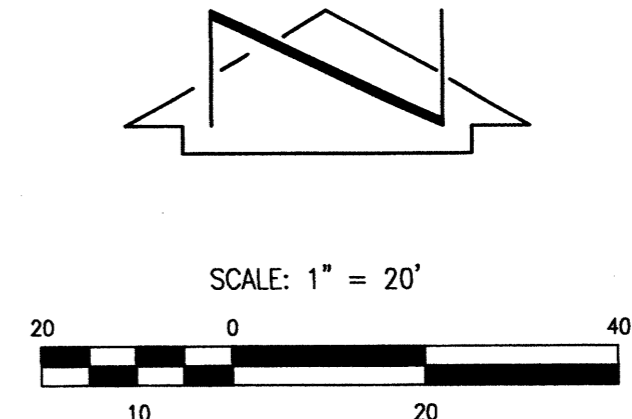
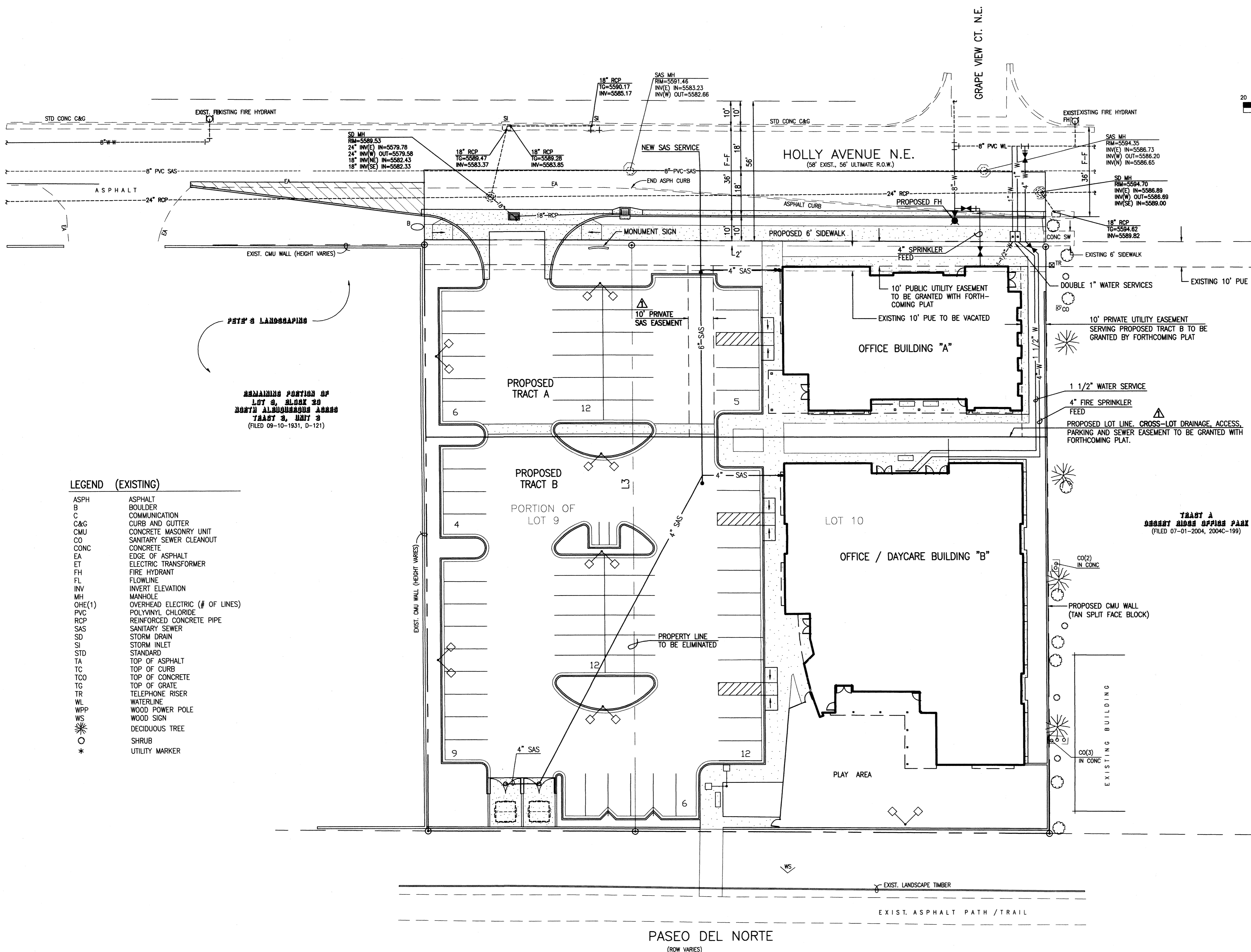
4 REFUSE ENCLOSURE
SIDE ELEVATIONS TYPICAL
1/4" = 1'-0"

5 SITE POLE LIGHTS
CUTSHEETS
NOTE: POLES = 20' TALL.
NTS



6 CMU SCREEN WALL
PASEO DEL NORTE ELEVATION.
1/8" = 1'-0"

DESIGNED BY	B.G.	NO.	DATE	BY	REVISIONS	JOB NO.	2006.070.2
DRAWN BY	T.N.	1	1/25/07	BG	REVISIONS PER EPC APPROVAL CONDITIONS.	DATE	10-2006
APPROVED BY						SHEET	6 OF 7



C-20

LEGAL DESCRIPTION:
 Lot 10 and the east half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121.

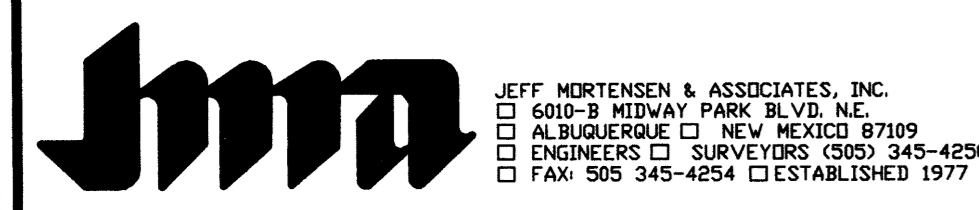
- LEGEND (EXISTING)**
- ASPH ASPHALT
 - B BOULDER
 - C COMMUNICATION
 - C&G CURB AND GUTTER
 - CMU CONCRETE MASONRY UNIT
 - CO SANITARY SEWER CLEANOUT
 - CONC CONCRETE
 - EA EDGE OF ASPHALT
 - ET ELECTRIC TRANSFORMER
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - INV INVERT ELEVATION
 - MH MANHOLE
 - OHE(1) OVERHEAD ELECTRIC (# OF LINES)
 - PVC POLYVINYL CHLORIDE
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - SD STORM DRAIN
 - SI STORM INLET
 - STD STANDARD
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TCO TOP OF CONCRETE
 - TG TOP OF GRATE
 - TR TELEPHONE RISER
 - WL WATERLINE
 - WPP WOOD POWER POLE
 - WS WOOD SIGN
 - DECIDUOUS TREE
 - SHRUB
 - * UTILITY MARKER

REMAINING PORTION OF
 LOT 9 ALONG 20
 NORTH ALBUQUERQUE AVENUE
 TRACT 3, UNIT 3
 (FILED 09-10-1931, D-121)

PT'S & LANDSCAPING

TRACT A
 666666 OFFICE PARK
 (FILED 07-01-2004, 2004C-199)

File Path: E:\WORK\2007\07\02\PRE1.DWG
 Plot Date: 02-05-2007
 Plot Time: 08:48 am

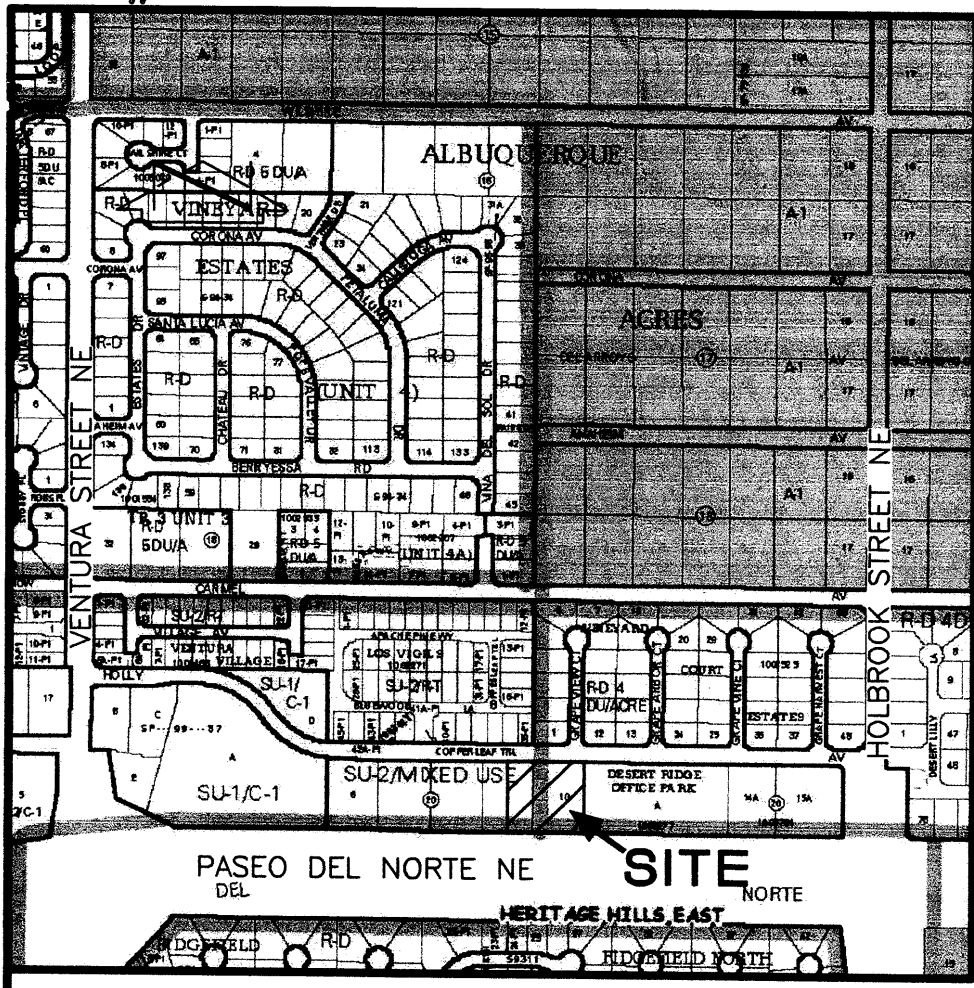


**CONCEPTUAL UTILITY PLAN
 MARK 3S HOLLY DEVELOPMENT**

This is not a boundary survey; data is shown for orientation only. The boundary information depicted by this plan is based upon the boundary survey prepared by JMA, NMPS no. 11184, dated 10/24/2006. Topographic survey information is based upon a topographic survey prepared by JMA, on 10/24/2006, NMPS no.11184.

10/31/06
 02/05/2007

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2006.070.2
DRAWN BY	RRW/JLP	1	01/07	G.M.	ADDRESS EPC COMMENTS	DATE	10-2006
APPROVED BY	G.M.					SHEET	7 OF 7



VICINITY MAP

SCALE: 1" = 750'

C-20

DEDICATION AND FREE CONSENT

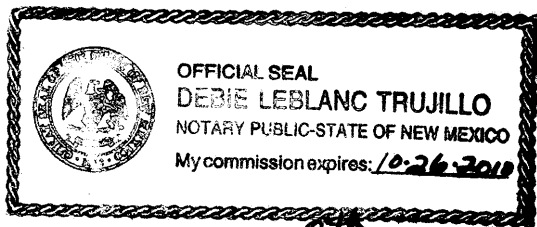
The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby dedicate to the City of Albuquerque in fee simple the public street rights-of-way and grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

Amit Patel
Amit Patel, President
MARK3S, Inc.

2/8/07
Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS



This instrument was acknowledged before me on this 8th day of February, 2007, by Amit Patel, President, MARK3S, Inc.

Debie LeBlanc Trujillo
Notary Public

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

PLAT OF
**TRACTS A AND B,
MARK3S HOLLY DEVELOPMENT**
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

MARK3S, INC.
OWNER
PROJECTED
SEC. 17, T 11 N, R 4 E, N.M.P.M.
LOCATION
MARK3S HOLLY DEVELOPMENT
SUBDIVISION

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1005237

APPLICATION NUMBER 06DRB-01758, 06DRB-01759, 06DRB-01760

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

J. B. Hart
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO 2-12-07 DATE

REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____

P.N.M. ELECTRIC SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

P.N.M. GAS SERVICES _____ DATE _____

COMCAST CABLE VISION OF NEW MEXICO, INC. _____ DATE _____

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMP# 11184



02-07-07
Date



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2006.070.4 PREPLAT

PLAT OF
TRACTS A AND B, MARK3S HOLLY DEVELOPMENT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007

COUNTY CLERK FILING DATA

Notes:

1. A boundary survey was performed in September, 2006. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 17, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "1-B20".
5. Record bearings and distances are shown in parenthesis.
6. No street mileage was created by this plat.
7. The purpose of this plat is to:
 - a. Eliminate the interior property lines to create 1 (one) tract from Lots 10 and the east half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3
 - b. Grant the necessary public utility, private waterline, private sanitary sewer, private drainage and reciprocal private access and parking easements, as shown.
 - c. Vacate the public utility easement as shown (06DRB-01759).
 - d. Incorporate the vacation of a portion of the public rights-of-way of Holly Avenue N.E. (06DRB-01758), as shown.
 - e. Dedicate in fee simple the half-width for Holly Avenue (0.1588 AC. ±), as shown.
8. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of North Albuquerque Acres, Tract 3, Unit 3, filed 09-10-1931, Book D, Page 121, Records of Bernalillo County, New Mexico.
 - b. Plat of Desert Ridge Office Park, filed 07-01-2004, Book 2004C, Page 199, Records of Bernalillo County, New Mexico.
 - c. ALTA/ACSM Land Title Survey, Portion of Lot 9 and Lot 10, Block 20, North Albuquerque Acres, Tract 3, Unit 3, prepared by Harris Surveying, Inc. certified 03-08-2006 (unrecorded).
 - d. Warranty Deed, filed 04-25-2006, Book A115, Page 8179, Doc. #2006058366, Records of Bernalillo County, New Mexico.
 - e. Policy of Title Insurance No. M1-774492 (File No. 774492-AL01, LSA) prepared by First American Title Insurance Company dated 04-25-2006.
 - f. Boundary and Topographic Survey of Lot 10 and the East Half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3 prepared by this firm certified 10-25-2006 (unrecorded).
9. Gross subdivision acreage = 1.5009 acres.
10. Current Zoning on site is SU-2/Mixed Use, based upon review of the City of Albuquerque Zone Atlas.
11. The easterly half of Lot 9, Block 20, North Albuquerque Acres, Tract 3, Unit 3 was conveyed by Warranty Deed filed 09-11-1978, Book D71-A, Page 732, Doc. #78 66898, Records of Bernalillo County, New Mexico, and executed on 01-27-1965.

KEYED NOTES

VACATED PUBLIC RIGHT-OF-WAY AND PUBLIC EASEMENT

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY DOCUMENT FILED 03-08-2005, BOOK A93, PAGE 2007, DOC. #2005032213, VACATED BY 06DRB-01759
- ② SOUTH 2' OF HOLLY AVENUE N.E., VACATED BY 06DRB-01758

NEW EASEMENTS

- ③ 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
- ④ 10' PRIVATE WATER LINE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.
- ⑤ 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.
- ⑥ A NON-SPECIFIC PRIVATE DRAINAGE EASEMENT ON TRACT A IS GRANTED BY THIS PLAT TO SERVE TRACT B FOR THE PURPOSE OF ACCEPTING DEVELOPED RUNOFF FROM TRACT B IN ACCORDANCE WITH THE GRADING AND DRAINAGE PLAN PREPARED BY THIS FIRM DATED ____-____-2007. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.
- ⑦ A RECIPROCAL PRIVATE ACCESS AND PARKING EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS A AND B TO ALLOW FREE TRAFFIC CIRCULATION AND SHARED PARKING BETWEEN THE TWO AFOREMENTIONED TRACTS. THE LIMITS OF THIS EASEMENT SHALL BE DEFINED BY THE PARKING AND ACCESS COMPONENTS DEPICTED BY THE SITE PLAN FOR BUILDING PERMIT PREPARED BY THIS FIRM DATED ____-____-2007. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNERS.

EXISTING EASEMENT - OFFSITE

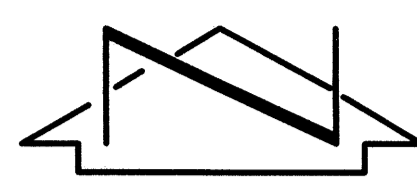
- ⑧ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2004C-199

MONUMENTS

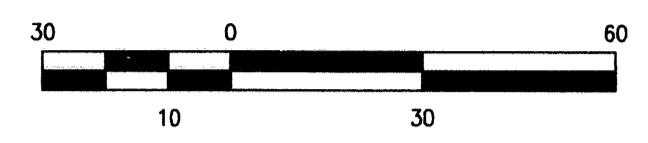
- (A) FOUND CHISELED "+" IN CONCRETE SIDEWALK
- (B) FOUND #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (C) FOUND #4 REBAR, ILLEGIBLE CAP, NOT HONORED (N 89°21'58" W 1.66')
- (D) FOUND #4 REBAR W/CAP STAMPED "LS 8667", NOT HONORED (N 88°12'53" W 1.20')
- (E) FOUND #4 REBAR W/CAP STAMPED "LS 7907", TAGGED W/WASHER STAMPED "NMPS 11184"
- (F) FOUND #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (G) FOUND #4 REBAR W/CAP STAMPED "LS 8667", NOT HONORED (N 00°25'18" E 1.14')
- (H) FOUND #4 REBAR W/CAP STAMPED "LS 8667", NOT HONORED (N 00°32'28" E 1.43')
- (J) FOUND #4 REBAR, ILLEGIBLE CAP, TAGGED W/WASHER STAMPED "NMPS 11184"
- (K) SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (L) CALCULATED POSITION, POINT NOT SET



JEFF MORTENSEN & ASSOCIATES, INC.
 □ 6010-B MIDWAY PARK BLVD. N.E.
 □ ALBUQUERQUE □ NEW MEXICO 87109
 □ ENGINEERS □ SURVEYORS (505) 345-4250
 JOB #2006.070.4 PREPLAT



SCALE: 1" = 30'



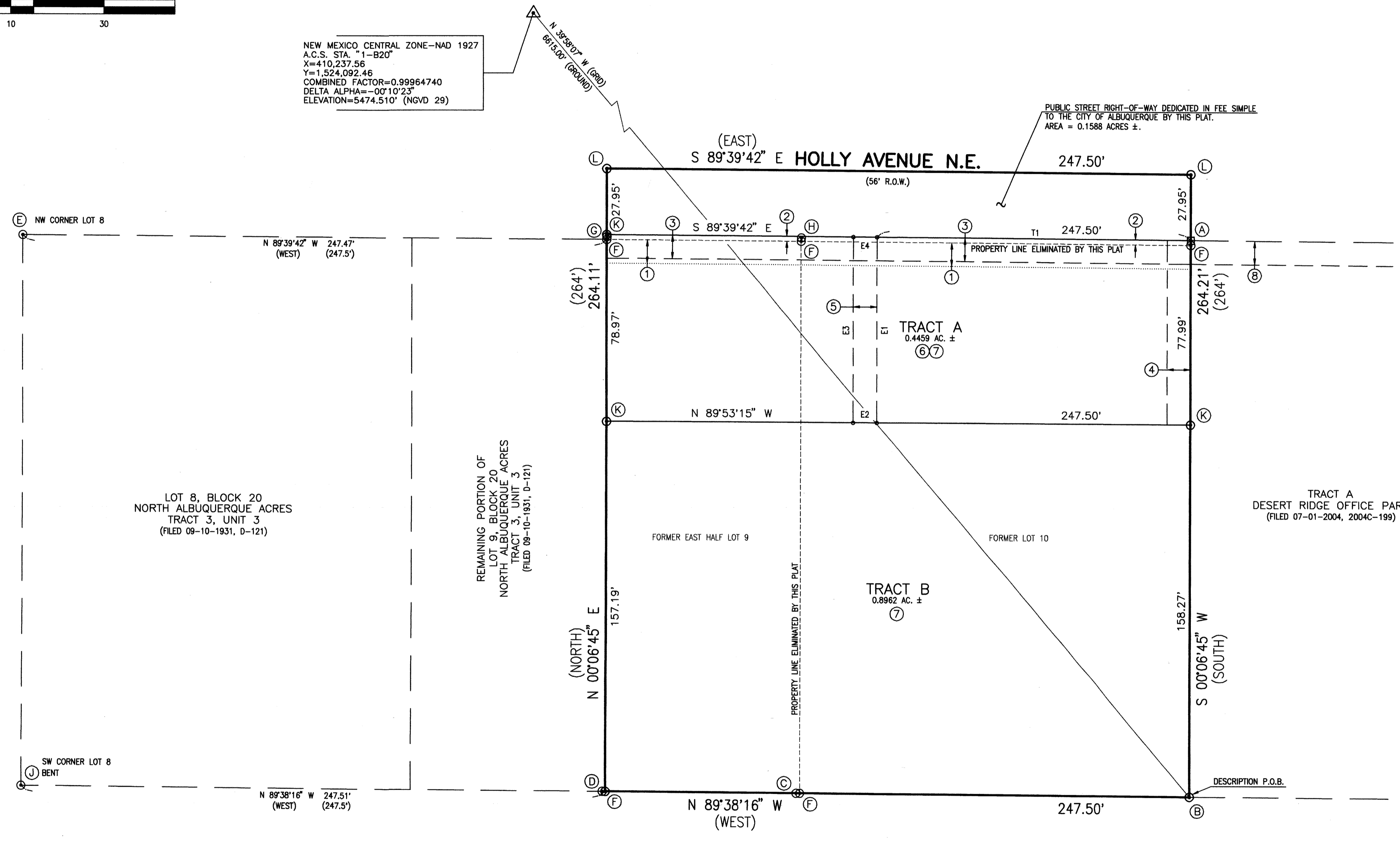
PLAT OF TRACTS A AND B, MARK3S HOLLY DEVELOPMENT

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

COUNTY CLERK FILING DATA

NEW MEXICO, CENTRAL ZONE--NAD 1927
A.C.S. STA. "1-B20"
X=410,237.56
Y=1,524,092.46
COMBINED FACTOR=0.99964740
DELTA ALPHA=-00°10'23"
ELEVATION=5474.510' (NGVD 29)

PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE
TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
AREA = 0.1588 ACRES ±.



LOT 8, BLOCK 20
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 09-10-1931, D-121)

REMAINING PORTION OF
LOT 9, BLOCK 20
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 09-10-1931, D-121)

TRACT A
DESERT RIDGE OFFICE PARK
(FILED 07-01-2004, 2004C-199)

EASEMENT TABLE

LINE	DIRECTION	DISTANCE
E1	S 00°06'45" W	78.52'
E2	N 89°53'15" W	10.00'
E3	N 00°06'45" E	78.56'
E4	S 89°39'42" E	10.00'

PASEO DEL NORTE N.E.
(R.O.W. VARIES)



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