

Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS NM47-10 AND NM47-13, AS SHOWN HEREON
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. GROSS AREA: 4.3249 ACRES
7. NUMBER OF EXISTING TRACTS: 2
8. NUMBER OF TRACTS CREATED: 1
9. PROPERTY IS ZONED SU-1.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO COUNTY TREASURERS OFFICE: _____

PLAT OF
 TRACT H-1-A
 GATEWAY INDUSTRIAL PARK
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTIONS 8 & 9, T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2007
 SHEET 1 OF 2

PRELIMINARY PLAT
 APPROVED BY DRB
 ON 6/20/07

LEGAL DESCRIPTION

Tracts lettered H-1 and K-1 plat of Tracts E-1, M-1, and K-1 GATEWAY INDUSTRIAL PARK Town of Albuquerque Grant, City of Albuquerque, as the same is shown and designated on said plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 17, 2005 in Book 2005C, page 345.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO COMBINE TWO (2) EXISTING TRACTS INTO ONE (1) NEW TRACT.

OWNER(S) SIGNATURE: MC DATE: 6/11/07
 OWNER(S) PRINT NAME: ROBYN HENRIKSSON
 ADDRESS: 2921 2ND NW ALBUQUERQUE NM 87107 TRACT: _____

ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11TH DAY OF JUNE, 2007.
 BY: ROBYN HENRIKSSON
 MY COMMISSION EXPIRES: 10/10/09
Sarah Amato
 NOTARY PUBLIC



CITY APPROVALS: PROJECT NO.: _____ APPLICATION NO. _____

J. B. Fial 6-12-07
 CITY SURVEYOR DATE

TRAFFIC ENGINEERING DATE

PARKS & RECREATION DEPARTMENT DATE

WATER UTILITIES DEPARTMENT DATE

A.M.A.F.C.A. DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

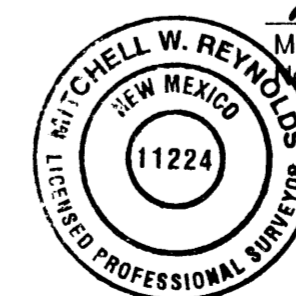
EASEMENT NOTES

- (A) Existing 10' PUE per plat of July 5, 2000, Book 2000C, page 173.
 - (B) Existing 10' Private Drainage Easement intended to benefit Tracts C through K. Each individual property owner shall be responsible for maintaining the portion of the Easement fronting Grantee's respective tract, Book 2000C, page 173.
 - (C) Existing Public Waterline and Sanitary Sewer Easement granted to the City of Albuquerque, Book 2000C, page 173.
 - (D) Existing private access easement intended to benefit existing Tracts A through M, including Tract C. Each individual property owner shall be responsible for maintaining the portion of the easement fronting respective Tract, Book 2000C, page 173.
 - (E) Private reciprocal access easement per plat filed October 17, 2005, Book 2005C, page 345, to benefit Tracts K-1, L and M, and is to be maintained by owner of Tract K-1.
 - (F) Private reciprocal access easement per plat filed October 17, 2005, Book 2005C, page 345, to benefit Tracts H-1 and E-1, and is to be maintained by owner of Tract H-1 and Tract E-1.
- A Reciprocal private cross-access easement exists across the original Tracts A through M and is to be maintained by said tract owners, Book 2000C, page 173.

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 06-11-07
 Mitchell W. Reynolds Date
 New Mexico Professional Surveyor, 11224

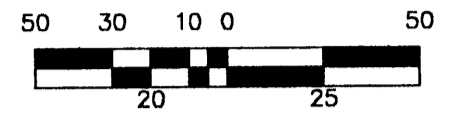


SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

T10N R3E SEC. 8 & 9

**PLAT OF
TRACT H-1-A
GATEWAY INDUSTRIAL PARK
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTIONS 8 & 9, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2007
SHEET 2 OF 2**



SCALE: 1" = 50'
PROJECT NO. 0608PB03
DRAWN BY EH
ZONE ATLAS: H-14-Z & H-15-Z



STATION: ACS NM47-10
X = 383387.65
Y = 1500747.69
GROUND TO GRID = 0.99967781
DELTA ALPHA = -00°13'28"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

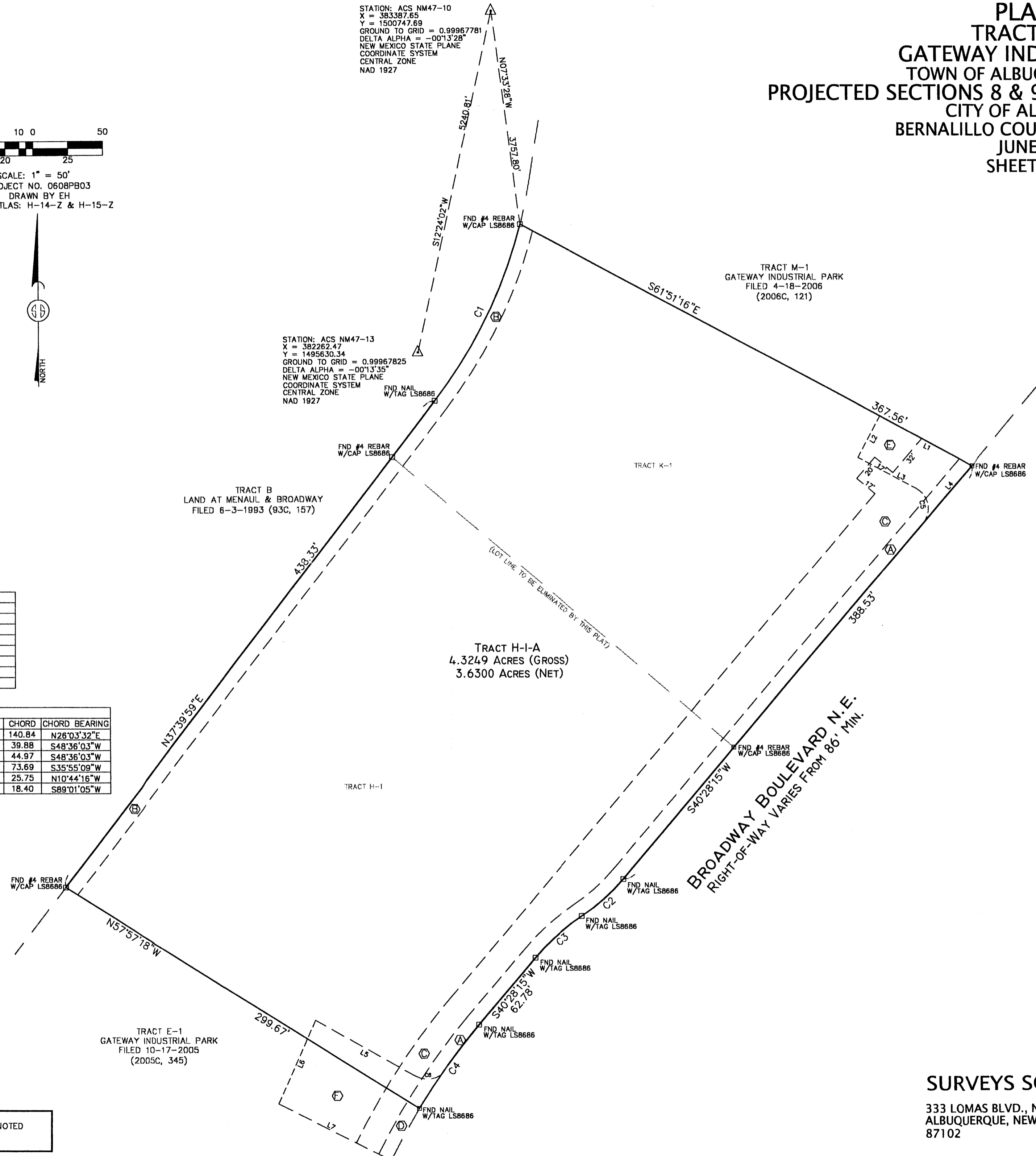
STATION: ACS NM47-13
X = 382262.47
Y = 1495630.34
GROUND TO GRID = 0.99967825
DELTA ALPHA = -00°13'35"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

LINE TABLE		
LINE	LENGTH	BEARING
L1	75.00	S61°51'16"E
L2	33.46	N28°08'44"E
L3	47.14	N61°51'16"W
L4	54.77	S40°28'15"W
L5	81.71	N60°41'16"W
L6	65.36	S24°02'43"W
L7	87.12	S63°01'39"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	141.81	350.00	23°12'53"	140.84	N26°03'32"E
C2	40.01	141.00	16°15'37"	39.88	S48°36'03"W
C3	45.12	159.00	16°15'37"	44.97	S48°36'03"W
C4	73.76	464.26	9°06'13"	73.69	S35°55'09"W
C5	29.52	16.54	102°14'01"	25.75	N10°44'16"W
C6	19.29	18.24	60°35'18"	18.40	S89°01'05"W

MONUMENT LEGEND

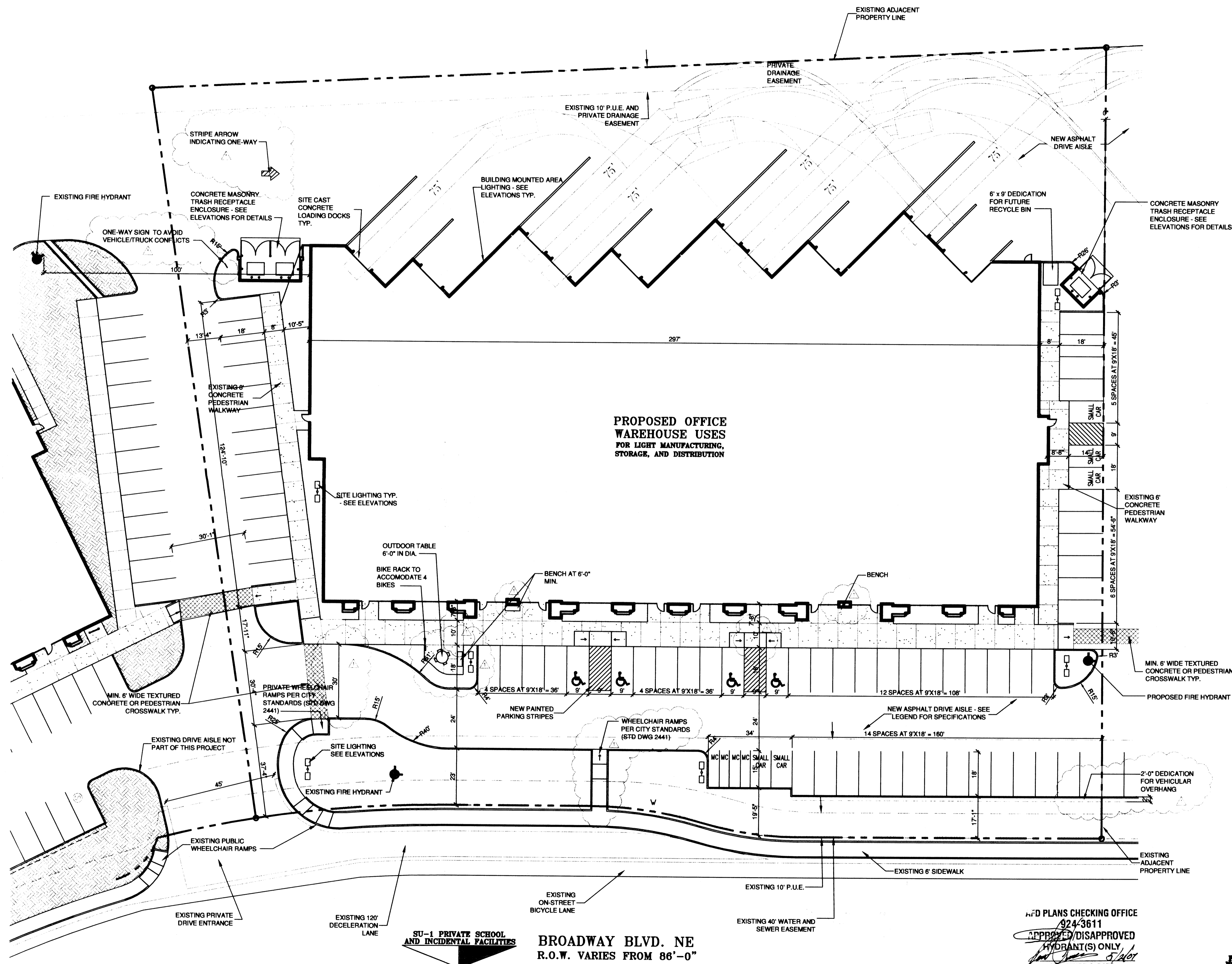
	- FOUND CONTROL STATION AS NOTED
	- FOUND MONUMENT AS NOTED



SURVEYS SOUTHWEST LTD.

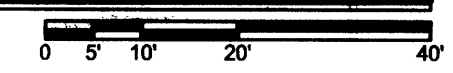
333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
87102

T10N R3E SEC. 8 & 9



SCALE: 1" = 20'-0"

SITE PLAN



SIGNATURE BLOCK

PROJECT NUMBER:
APPLICATION CASE NUMBER:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DBC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
WATER UTILITY DEVELOPMENT _____ DATE _____
PARKS & RECREATION DEPARTMENT _____ DATE _____
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA _____ DATE _____
ENVIRONMENTAL HEALTH DEPARTMENT (conditional) _____ DATE _____
Jac White 5-21-07
SOLID WASTE MANAGEMENT _____ DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

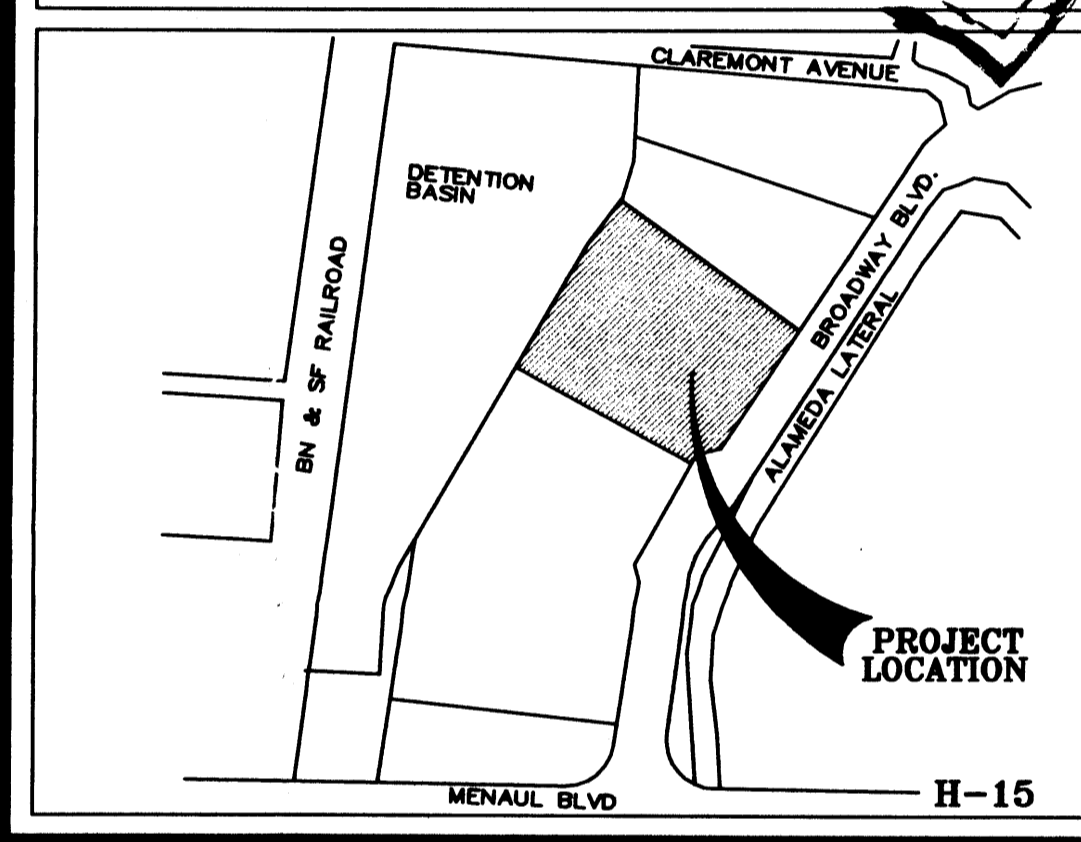


CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

VICINITY MAP



PROJECT INFORMATION

PROJECT: GATEWAY II INDUSTRIAL PARK
OWNER: MECH-CON INVESTMENTS
216 CLAREMONT NW
ALBUQUERQUE, NM 87107
ARCHITECT: CLAUDIO VIGIL ARCHITECTS
1801 RIO GRANDE BLVD. NW
ALBUQUERQUE, NM 87104
LEGAL DESCRIPTION: TRACT H-1
LAND AT BROADWAY AND MENAUL
ZONING ATLAS MAP: H-15
ZONING CLASSIFICATION: EXISTING: IP
PROPOSED: NO CHANGE
APPLICABLE BUILDING CODE: 2005 IBC
BUILDING TYPE: OFFICE/WAREHOUSE
CONSTRUCTION TYPE: TYPE IIB 100% SPRINKLED
OCCUPANCY GROUP: GROUP B, AND S-2
NUMBER OF FLOORS: ONE
GROSS SQUARE FOOTAGE: 31,581.75 WAREHOUSE (75%)
10,527.25 OFFICE (25%)
42,109 TOTAL SQ. FT.

ALLOWABLE AREA:
GROUP S-2 TYPE II-B = 26,000 SQ. FT. + 300% SPRINKLER INCREASE = 104,000 SQ. FT.
TOTAL PARKING/PAVED AREA:
OCCUPANT LOAD: OFFICE AREA: 10,527.25/100 = 105.27 OCCUPANTS
WAREHOUSE AREA: 31,581.75/500 = 63.16 OCCUPANTS
TOTAL = 168.43 OCCUPANTS

EXIT WIDTH REQUIRED: 169 x 2 = 33.8' = 3'-8"
EXIT WIDTH PROVIDED: 396'
NUMBER OF EXITS PROVIDED: ELEVEN
BUILDING HEIGHT ABOVE GRADE: 32'
PARKING ANALYSIS:
REQUIRED PARKING = 31,581.75 (WAREHOUSE)/2000 = 15.79 = 16 SPACES
REQUIRED PARKING = 10,527.25 (OFFICE) /200 = 52.65 = 53 SPACES
TOTAL PARKING REQUIRED = 169 SPACES
TOTAL PARKING SPACES PROVIDED
77 REGULAR + 4 H.C. + 5 SMALL CAR + 4 MOTORCYCLE = 70 PARKING SPACES
PARKING SPACES SIZES:
REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG
HANDICAP PARKING SPACE = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG
COMPACT PARKING SPACE = 8'-0" x 15'-0"

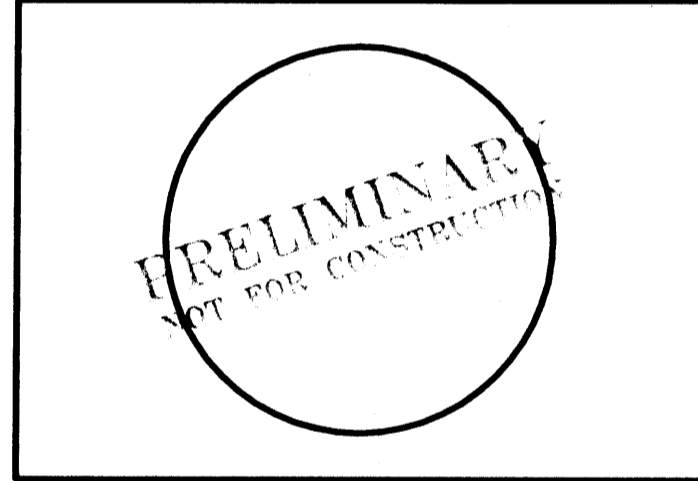
BICYCLE SPACES:
REQUIRED PARKING - 70/20 = 3.5 BICYCLES (4 SPACES)
TOTAL BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES

PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
[Signature]
SIGNATURE & DATE



CONSULTANTS

PROFESSIONAL SEAL



GATEWAY INDUSTRIAL PARK BUILDING II

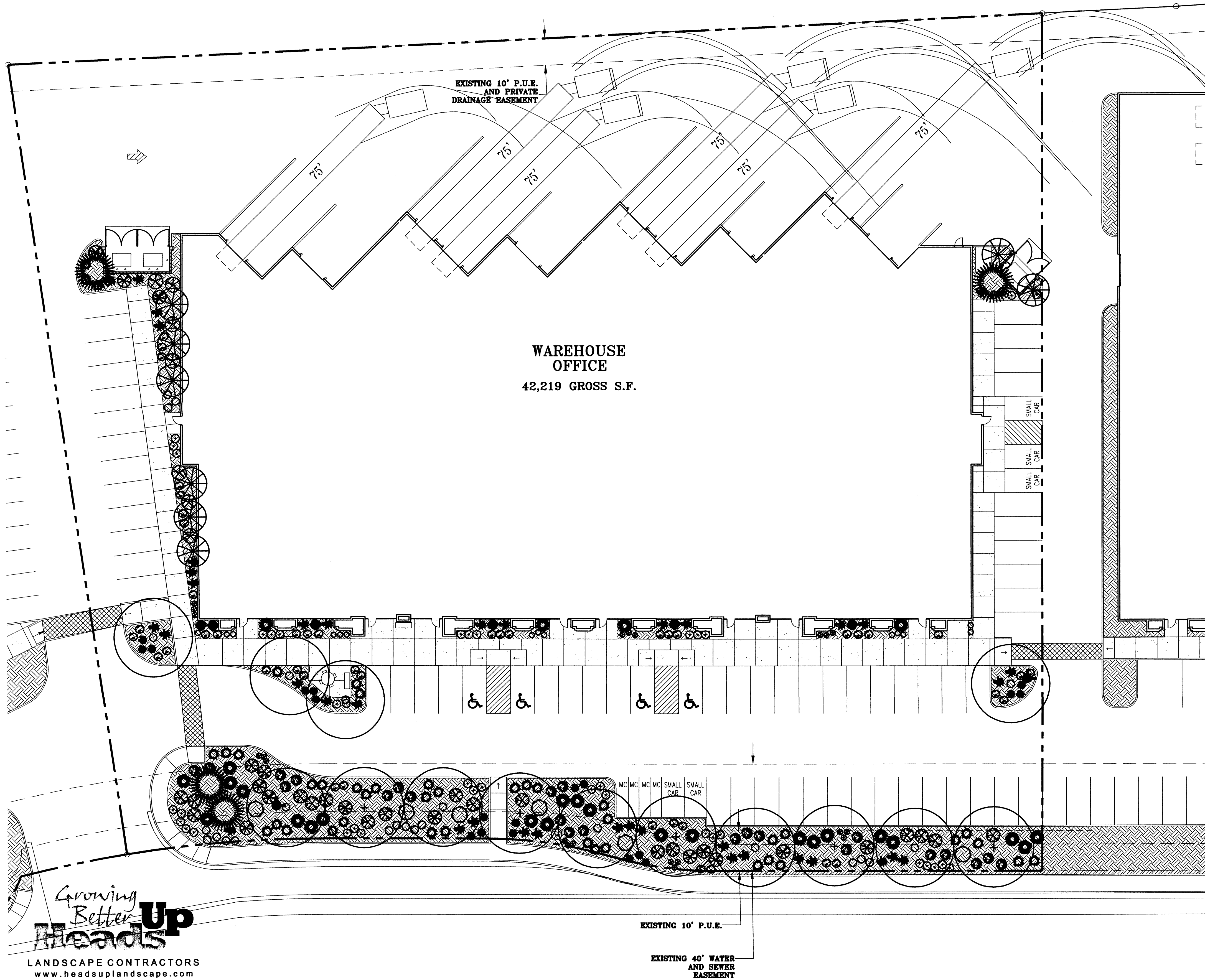
BROADWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
▲	5.14.07	EPC CONDITIONS

PROJECT NUMBER:	06065
DRAWING FILE:	
DRAWN BY:	JLF
CHECK BY:	
COPYRIGHT:	CLAUDIO VIGIL ARCHITECTS 2006
DATE:	OCTOBER 30, 2006

PRELIMINARY SITE PLAN FOR BUILDING PERMIT

SHEET NUMBER
C-101



WAREHOUSE OFFICE
42,219 GROSS S.F.

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use	Coverage
Trees					
5	●	<i>Pistacia chinensis</i> Chinese Pistache	2"	Medium+	
9	●	<i>Robinia ambigua</i> 'Purple Robe' Purple Robe Locust	2"	Medium+	
4	●	<i>Pinus eldarica</i> Afghan Pine	10'	Medium	
Shrubs/Groundcovers					
6	○	<i>Buddleia davidii</i> Butterfly Bush	5G	Medium	36SF X 6 = 216SF
13	⊗	<i>Chamaebatiaria millefolium</i> Fernbush	5G	Low	25SF X 13 = 325SF
45	○	<i>Callirhoe involucrata</i> Winecups	1G	Low+	8SF X 45 = 360SF
14	○	<i>Calylophus</i> sp. Sundrops	1G	Low	6SF X 14 = 84SF
8	⊗	<i>Chilopsis linearis</i> Desert Willow	5G	Medium	50SF X 8 = 400SF
19	●	<i>Achillea filipendulina</i> Moonshine Yarrow	1G	Medium	8SF X 19 = 152SF
23	●	<i>Caryopteris clandonensis</i> Blue Mist	5G	Medium	32SF X 23 = 736SF
7	⊗	<i>Artemisia tridentata</i> Big Sage	1G	Low+	18SF X 7 = 126SF
42	⊗	<i>Rhus aromatica</i> 'Grow Low' Grow Low Sumac	5G	Low +	50SF X 42 = 2100SF
16	○	<i>Lavandula angustifolia</i> English Lavender	1G	Low	12SF X 16 = 192SF
21	⊗	<i>Perovskia atriplicifolia</i> Russian Sage	1G	Medium	25SF X 25 = 625SF
39	⊗	<i>Rosmarinus officinalis</i> 'Arp' Arp Rosemary	5G	Low +	30SF X 39 = 1170SF
40	○	<i>Oenothera berlandieri</i> Mexican Evening Primrose	1G	Medium	25SF X 40 = 1000SF
21	⊗	<i>Hymenoxys argentea</i> Perky Sue	1G	Low	2SF X 21 = 42SF
Ornamental Grasses					
6	●	<i>Panicum virgatum</i> 'Shenandoah' Shenandoah Switchgrass	5G	Medium	20SF X 6 = 120SF
27	●	<i>Miscanthus sinensis</i> 'Gracillimus' Maiden Grass	5G	Medium	25SF X 27 = 675SF

TOTAL GROUNDCOVER SF REQ. 75% OF 10492SF= 7869SF
TOTAL GROUNDCOVER SF PROVIDED 8323SF (80%)

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
LOW OR MEDIUM WATER USE PLANTS
HIGH WATER USE TURF SHALL NOT BE USED

NOTE

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH CRUSHER FINES AT 2"-3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

SITE DATA

GROSS LOT AREA	112170	SF
LESS BUILDING(S)	42219	SF
NET LOT AREA	69951	SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA	10492	SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	10544	SF
	16	%

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET	12
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (49 SPACES/10)	5

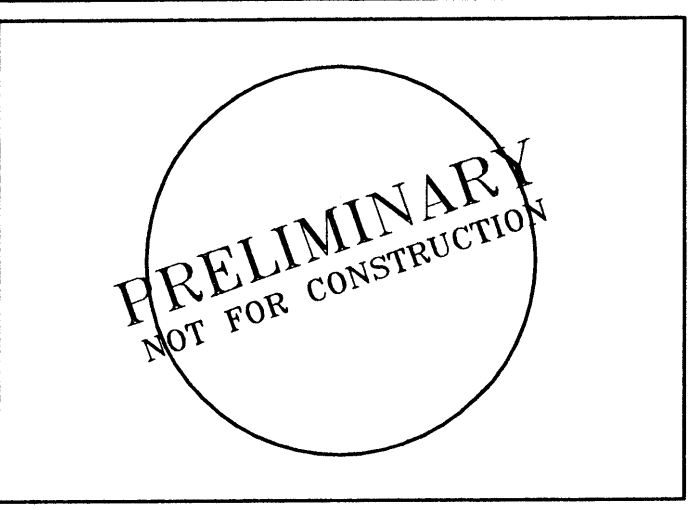


1801 Rio Grande Boulevard, N.W.
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CONSULTANTS

PROFESSIONAL SEAL



GATEWAY INDUSTRIAL PARK BUILDING II
BROADWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER:	06065
DRAWING FILE:	
DRAWN BY:	JJF
CHECK BY:	
COPYRIGHT:	CLAUDIO VIGIL ARCHITECTS 2006
DATE:	OCTOBER 30, 2006

SHEET TITLE
PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER
L-101

Growing Better Up Heads
LANDSCAPE CONTRACTORS
www.headsuplandscape.com

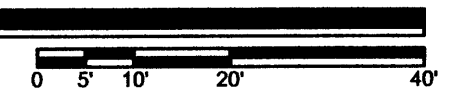
PO Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)

SU-1 PRIVATE SCHOOL
AND INCIDENTAL FACILITIES

BROADWAY BLVD. NE
R.O.W. VARIES FROM 86'-0"

SCALE: 1" = 20'-0"

LANDSCAPE PLAN



DRAINAGE PLAN

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED WEST OF BROADWAY BOULEVARD NORTH OF THE MENAUL BOULEVARD. THE SITE IS UNDEVELOPED AND SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 1.5%. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE WEST. THE EXISTING STREET BLOCKS THE FLOWS FROM THE NORTH AND EAST THE LAND TO THE SOUTH SLOPE TO THE EXISTING ASPHALT DRAINAGE CHANNEL ALONG THE WEST PROPERTY LINE. THEREFORE OFFSITE FLOWS ARE CONSIDERED NEGLIGIBLE.

THE PROPOSED DEVELOPMENT LIE WITHIN GATEWAY INDUSTRIAL PARK TRACT H-1 (PREVIOUSLY TRACTS H & I) A CONCEPTUAL MASTER DRAINAGE PLAN FOR THIS SITE WAS PREPARED BY MARK GOODWIN & ASSOCIATES. THE MASTER DRAINAGE PLAN ESTABLISHED UNRESTRICTED DISCHARGE OF DEVELOPED FLOWS INTO THE ADJACENT CITY DETENTION POND TO THE WEST.

THE PROPOSED IMPROVEMENTS CONSIST OF A NEW OFFICE BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED SITE IMPROVEMENTS ARE DRAIN TO THE EXISTING DRAINAGE CHANNEL ALONG THE WEST PROPERTY LINE. THE PROPOSED RATE OF DISCHARGE IS 11.5 CFS (4.5 CFS/ACRE).

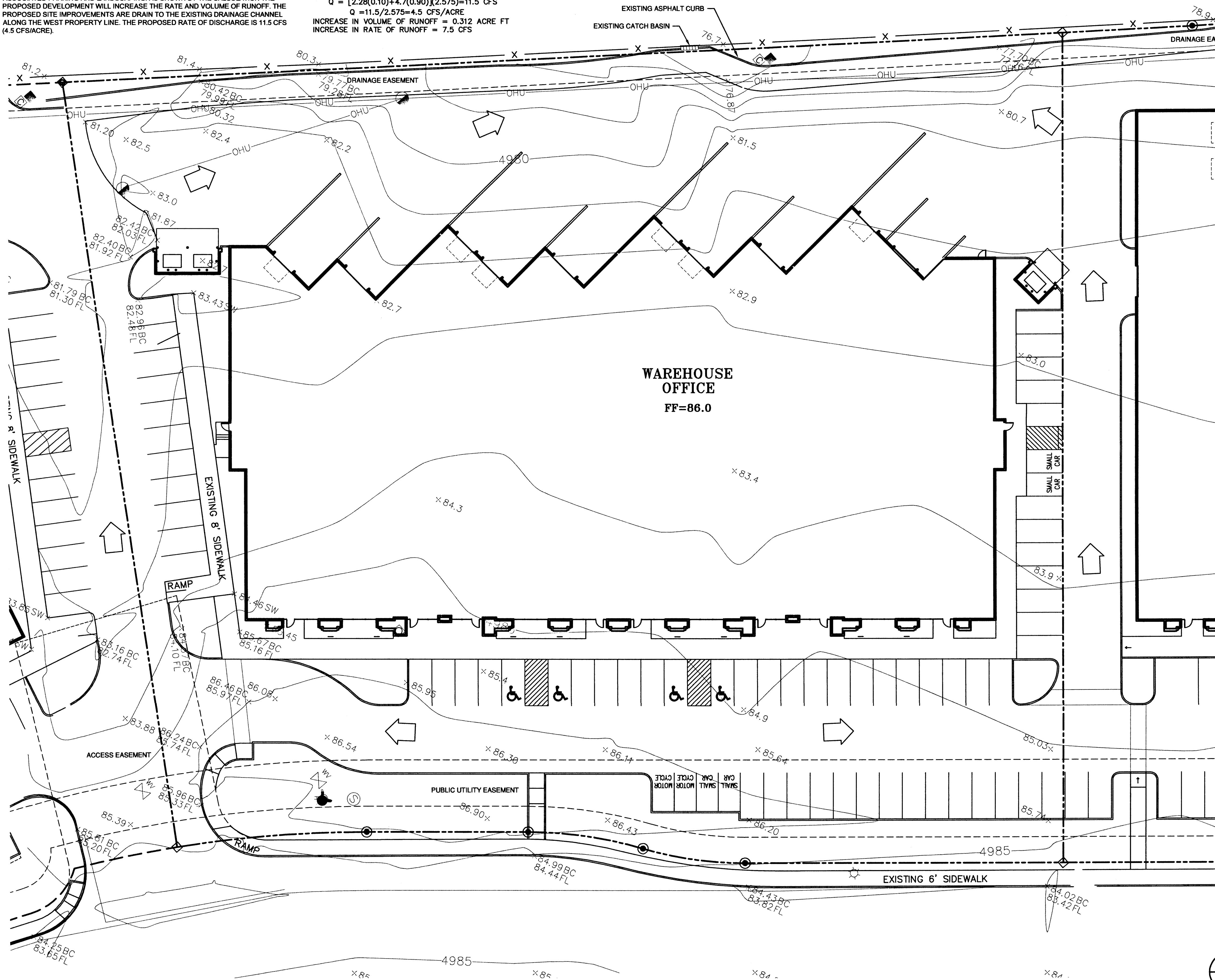
THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

CALCULATIONS
 PRECIPITATION ZONE = 2
 TOTAL SITE AREA = 2.575 ACRES

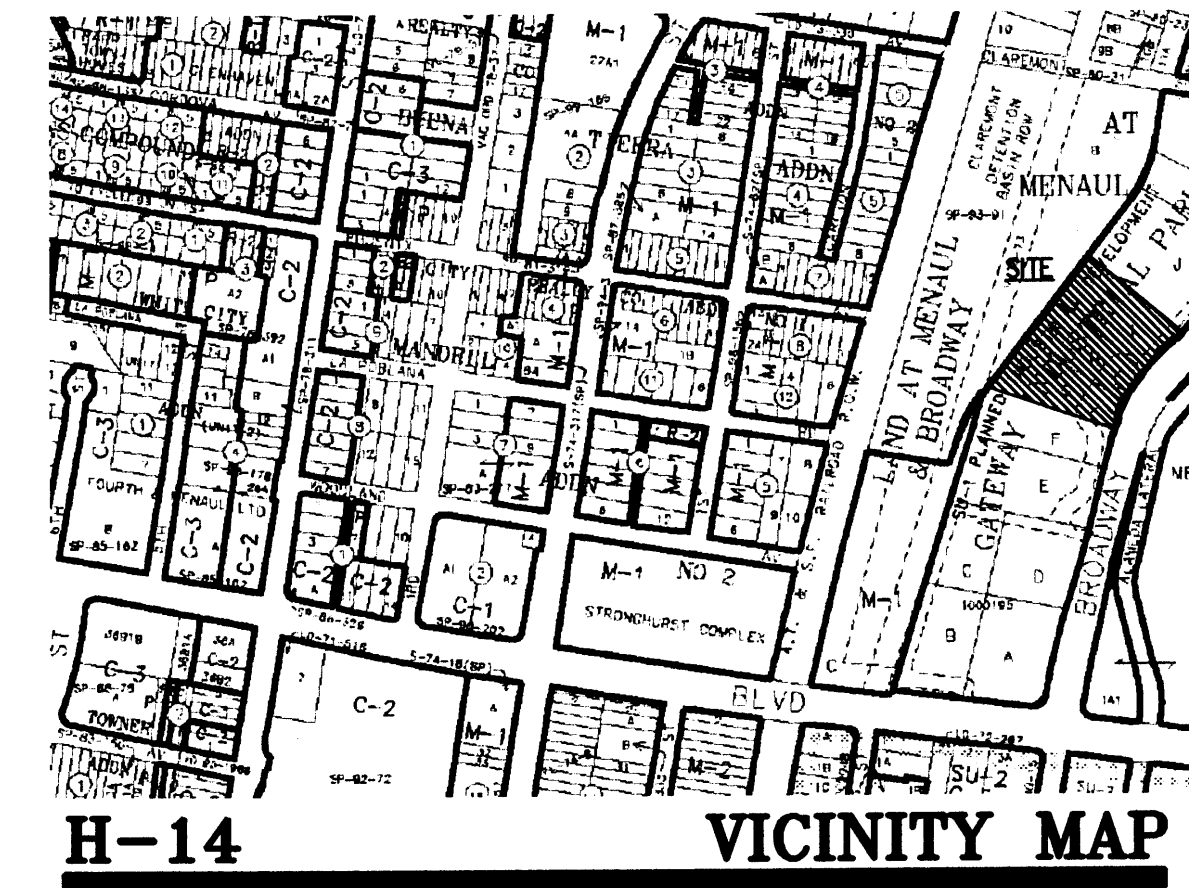
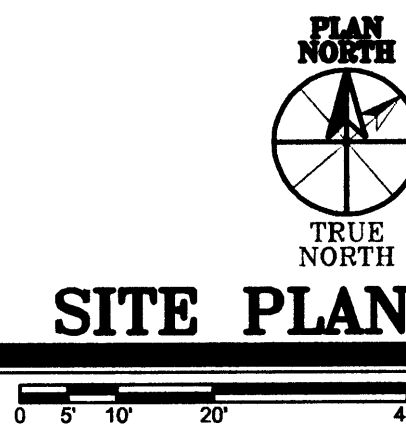
EXISTING CONDITIONS
 LAND TREATMENT A=100%
 E = 0.53(1.00) = 0.53 INCHES
 V = 0.53(2.575) / 12 = 0.114 ACRE FEET
 Q = 1.56(1.00) (2.275) = 4.0 CFS

DEVELOPED CONDITIONS
 LAND TREATMENT B=10% D=90%
 E = 0.78(0.10)+2.12(0.90) = 1.99 INCHES
 V = 1.99 (2.575) / 12 = 0.426 ACRE FEET
 Q = [2.28(0.10)+4.7(0.90)](2.575)=11.5 CFS

Q = 11.5/2.575=4.5 CFS/ACRE
 INCREASE IN VOLUME OF RUNOFF = 0.312 ACRE FT
 INCREASE IN RATE OF RUNOFF = 7.5 CFS



BROADWAY BLVD. NE
 R.O.W. VARIES FROM 86'-0"



PROJECT: GATEWAY INDUSTRIAL PARKS BUILDING II
 ADDRESS: BROADWAY BLVD., N.W.
 LEGAL DESCRIPTION: TRACT H-1 GATEWAY INDUSTRIAL PARK

CLAUDIO VIGIL ARCHITECTS

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 Albuquerque, New Mexico
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 Fax: (505) 842-1330

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CONSULTANTS

PROFESSIONAL SEAL

GATEWAY INDUSTRIAL PARK BUILDING II
 BROADWAY BLVD. NE
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06065
 DRAWING FILE: LH
 DRAWN BY: LH
 CHECK BY: -
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005
 DATE: SEPTEMBER 28, 2005

SHEET TITLE
PRELIMINARY GRADING PLAN

SHEET NUMBER
C-102



CLAUDIO VIGIL ARCHITECTS

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Albuquerque, New Mexico
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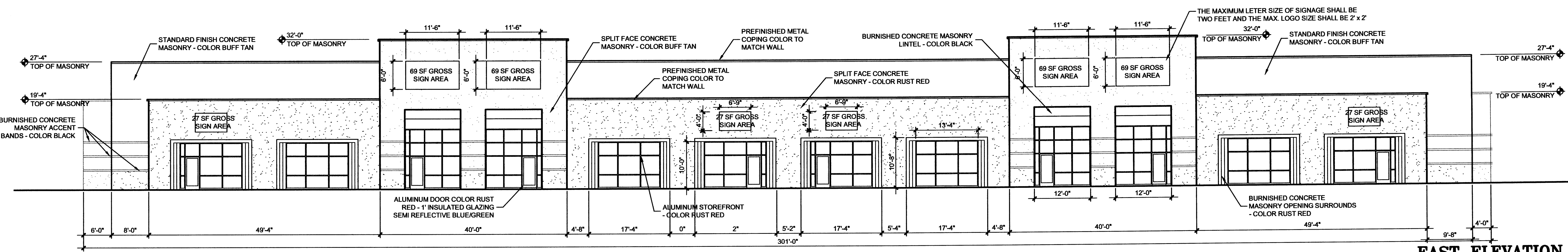
BROADWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
5.14.07		EPC CONDITIONS

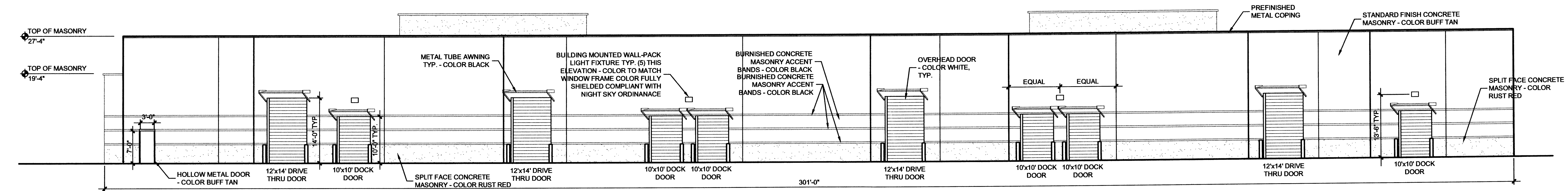
PROJECT NUMBER:	06065
DRAWING FILE:	06065-GTWY-A-201-EL
DRAWN BY:	JJF
CHECK BY:	-
COPYRIGHT:	CLAUDIO VIGIL ARCHITECTS 2006
DATE:	OCTOBER 30, 2006

SHEET TITLE
EXTERIOR ELEVATIONS

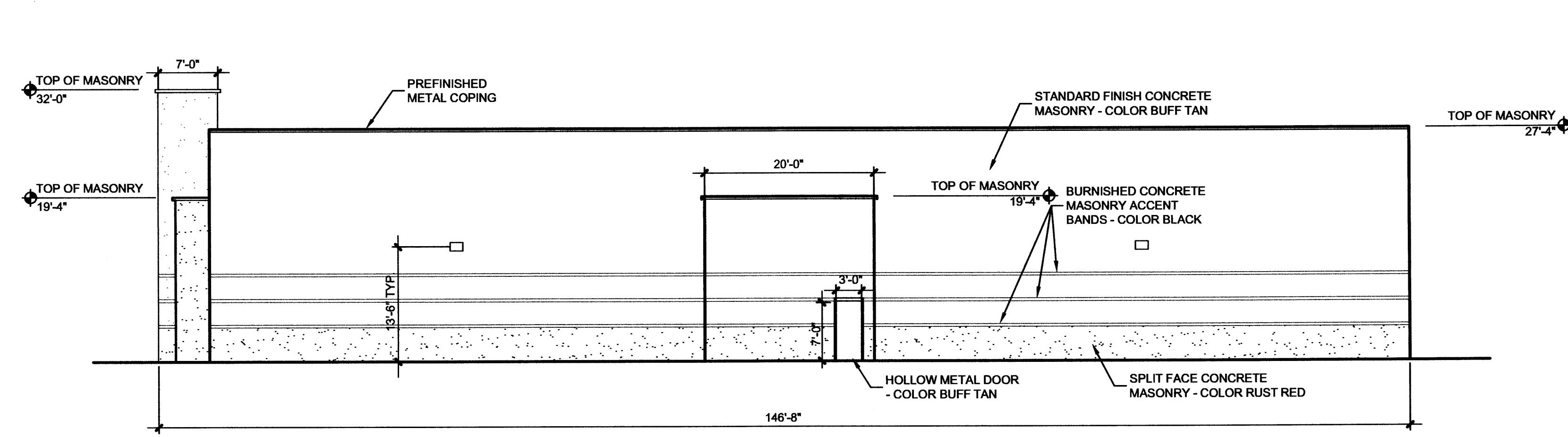
SHEET NUMBER
A-201



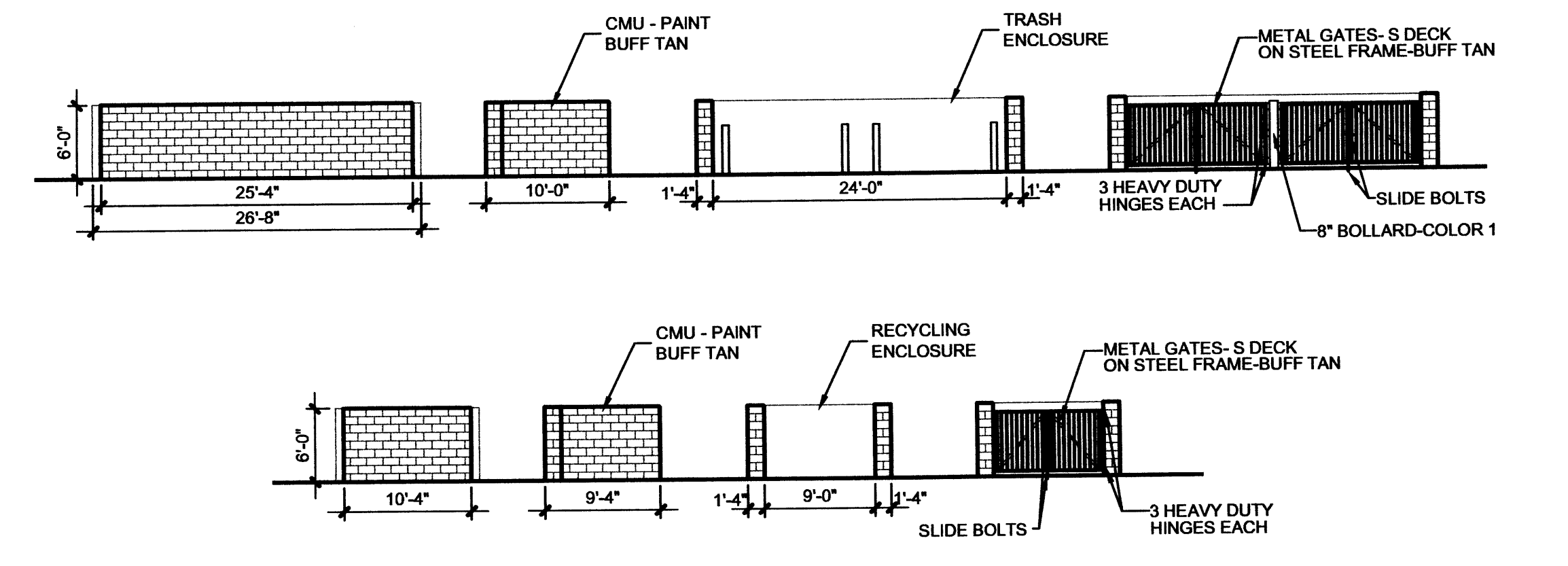
D-1 EAST ELEVATION
SCALE: 3/32" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22



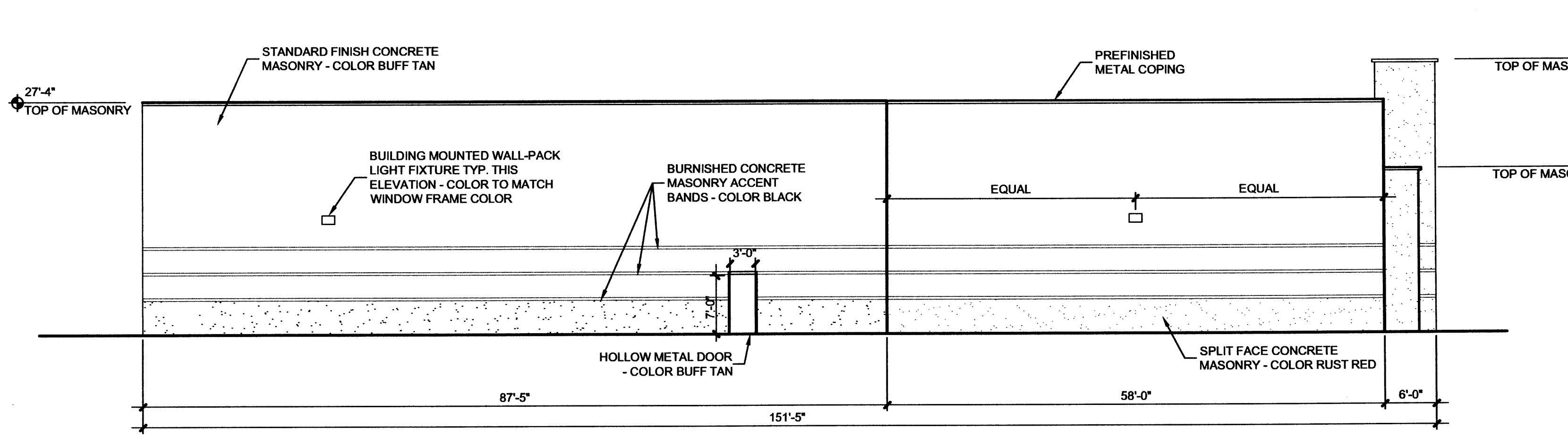
C-1 WEST ELEVATION
SCALE: 3/32" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22



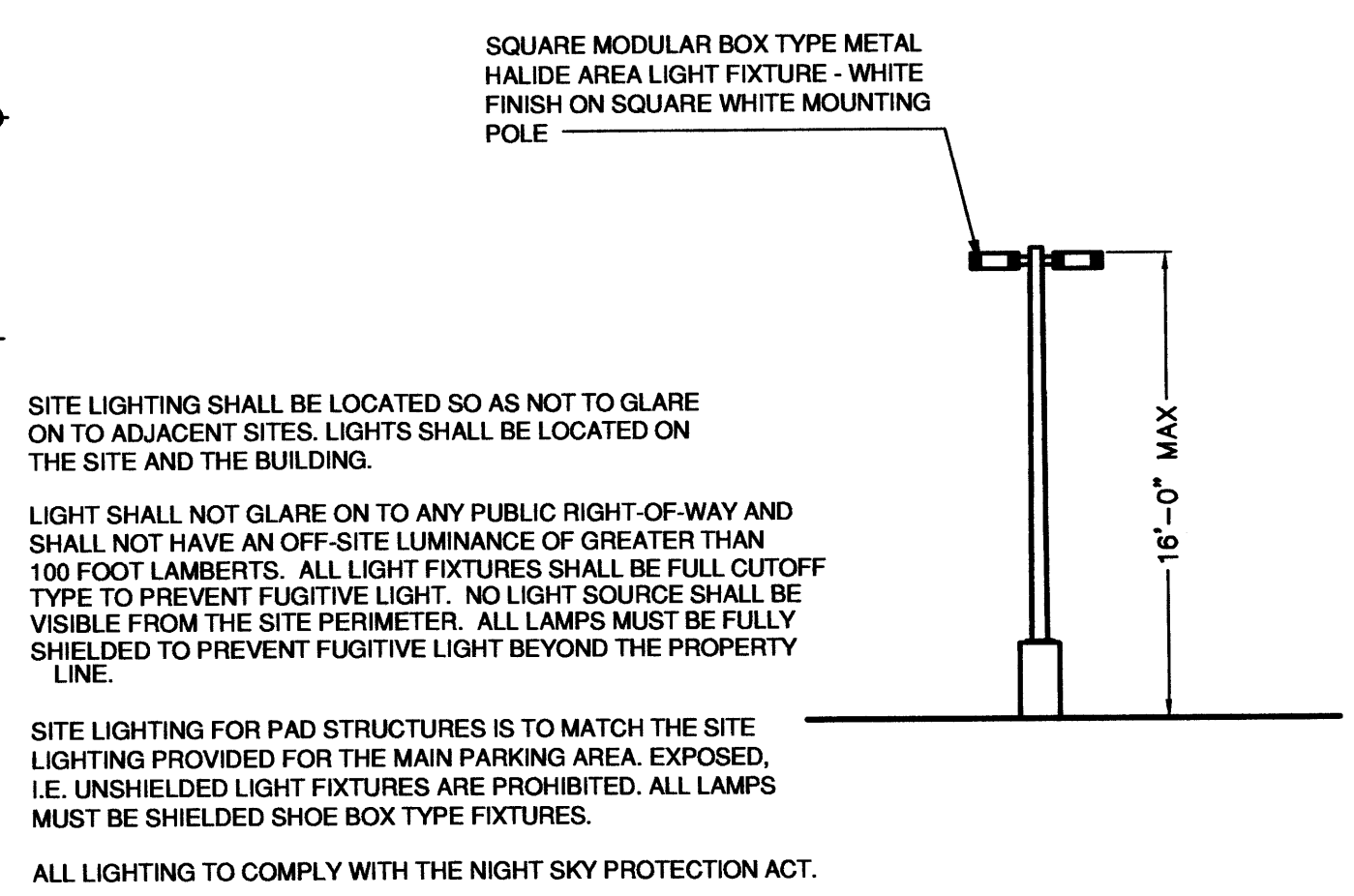
B-1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22



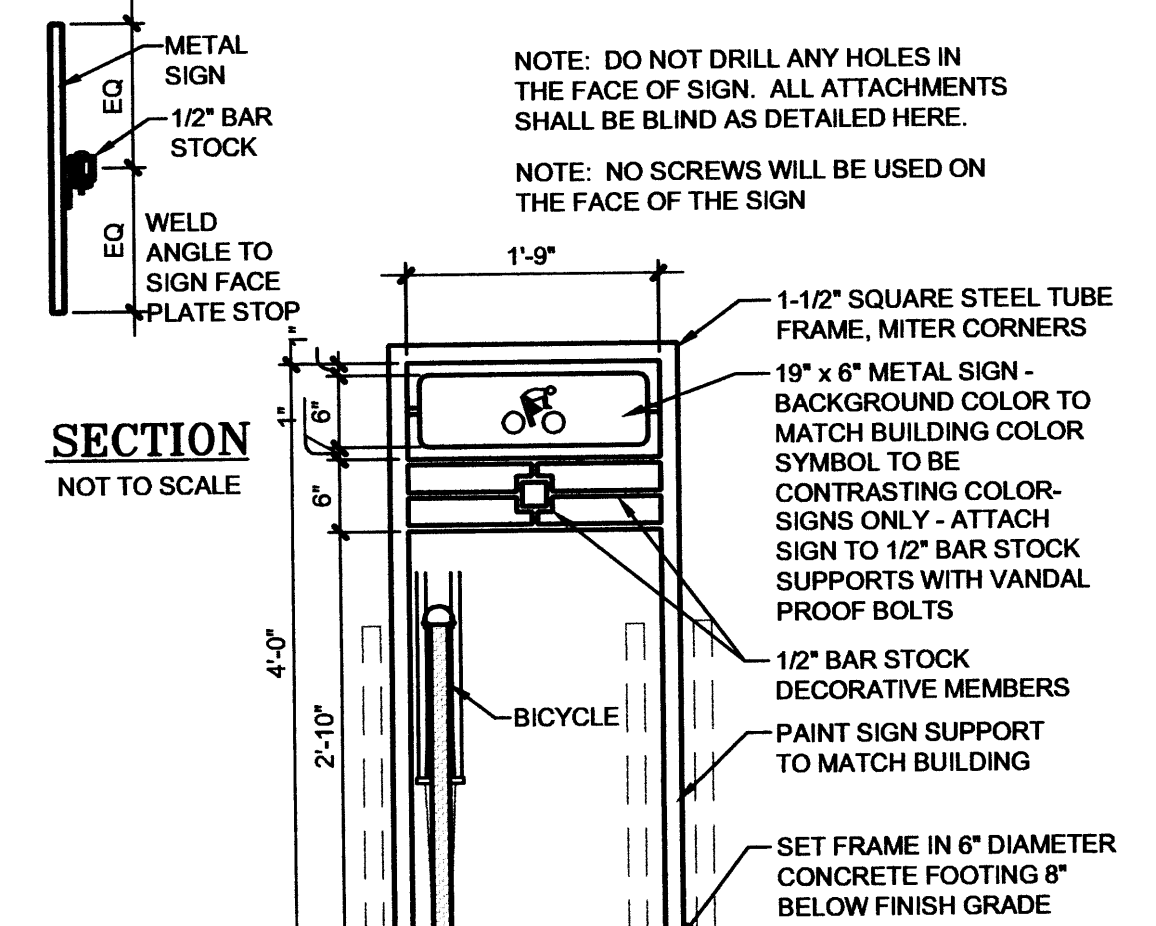
B4 TRASH ENCLOSURE ELEV.
SCALE: 3/32" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22



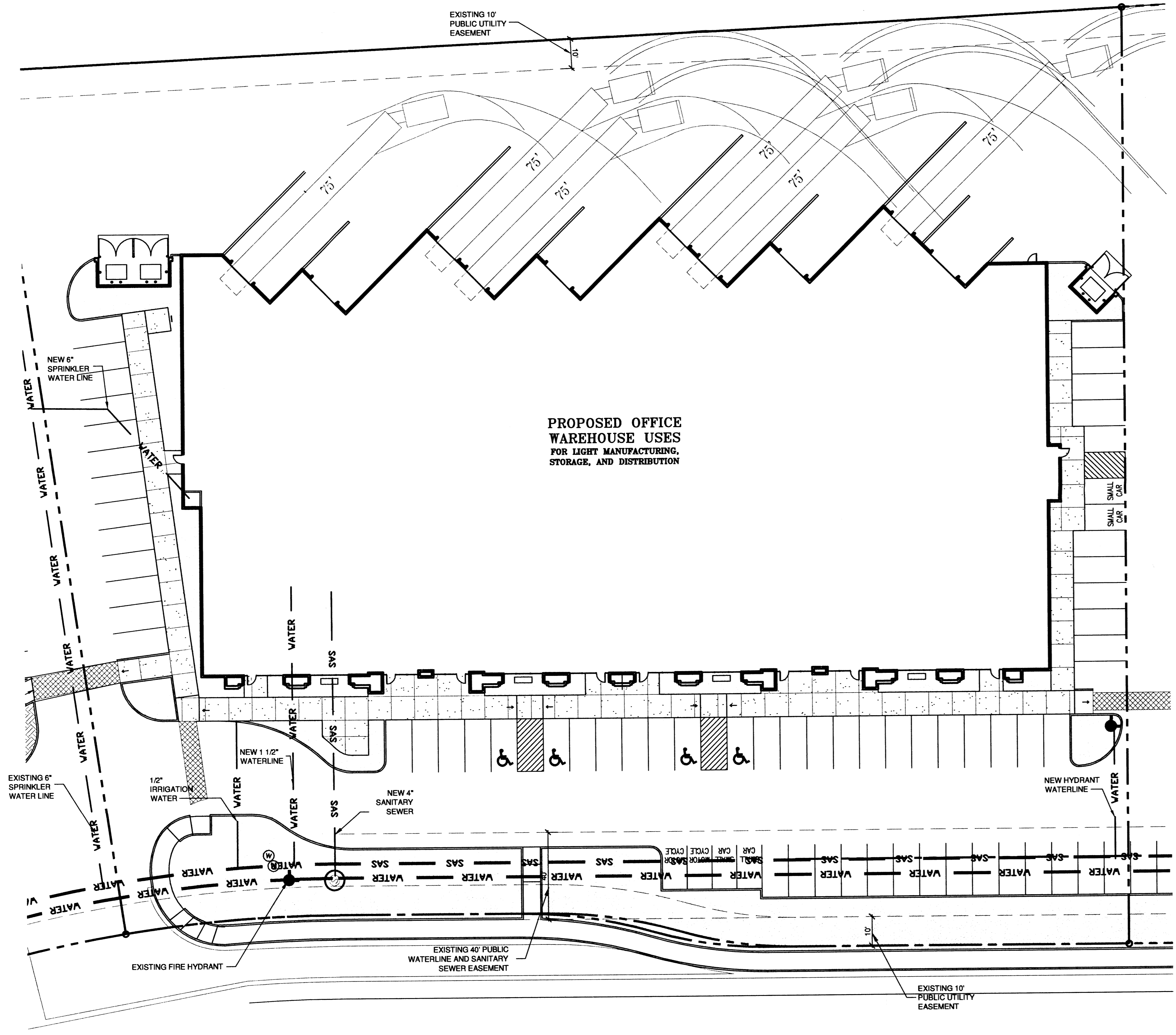
A-1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22



A-4 LIGHTING DETAIL
SCALE: N.T.S.



A-5 BIKE RACK
SCALE: 3/4" = 1'-0"
0 5 10 15 20 25 30



SIGNATURE BLOCK

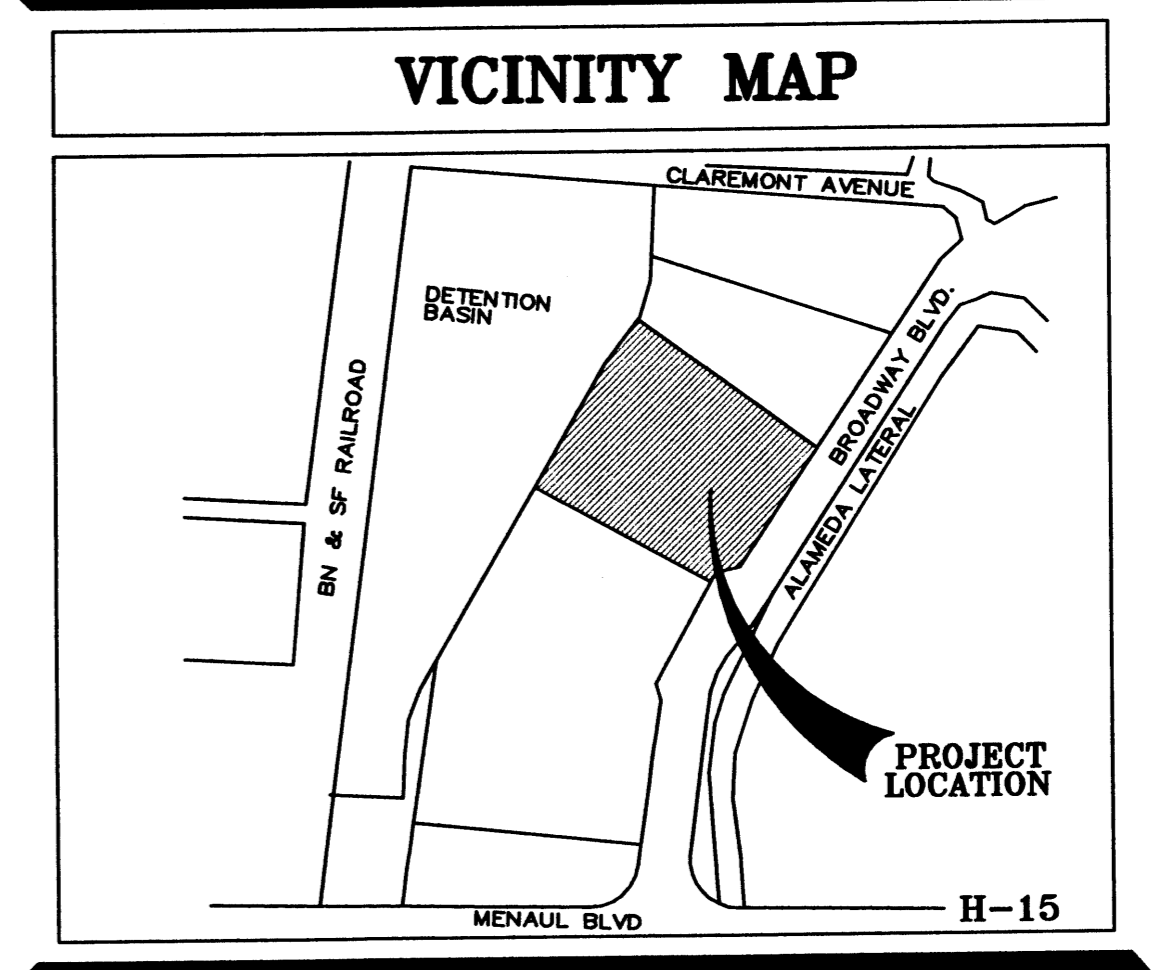
PROJECT NUMBER:
APPLICATION CASE NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED [] AND THE FINDINGS AND CONDITIONS OF THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEVELOPMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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CONSULTANTS

PROFESSIONAL SEAL

*FREELIMINARY
NOT FOR CONSTRUCTION*

**GATEWAY INDUSTRIAL PARK
BUILDING II**

BROADWAY BLVD. NE
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
	5.14.07	EPC CONDITIONS

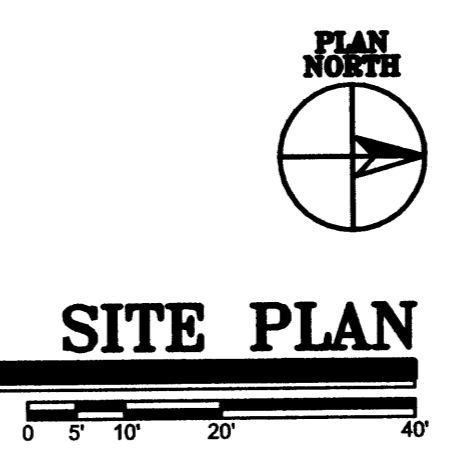
PROJECT NUMBER: 06065
DRAWING FILE:
DRAWN BY: J.J.F.
CHECK BY:
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2006
DATE: OCTOBER 30, 2006

SHEET TITLE
CONCEPTUAL UTILITY PLAN

SHEET NUMBER
C-101

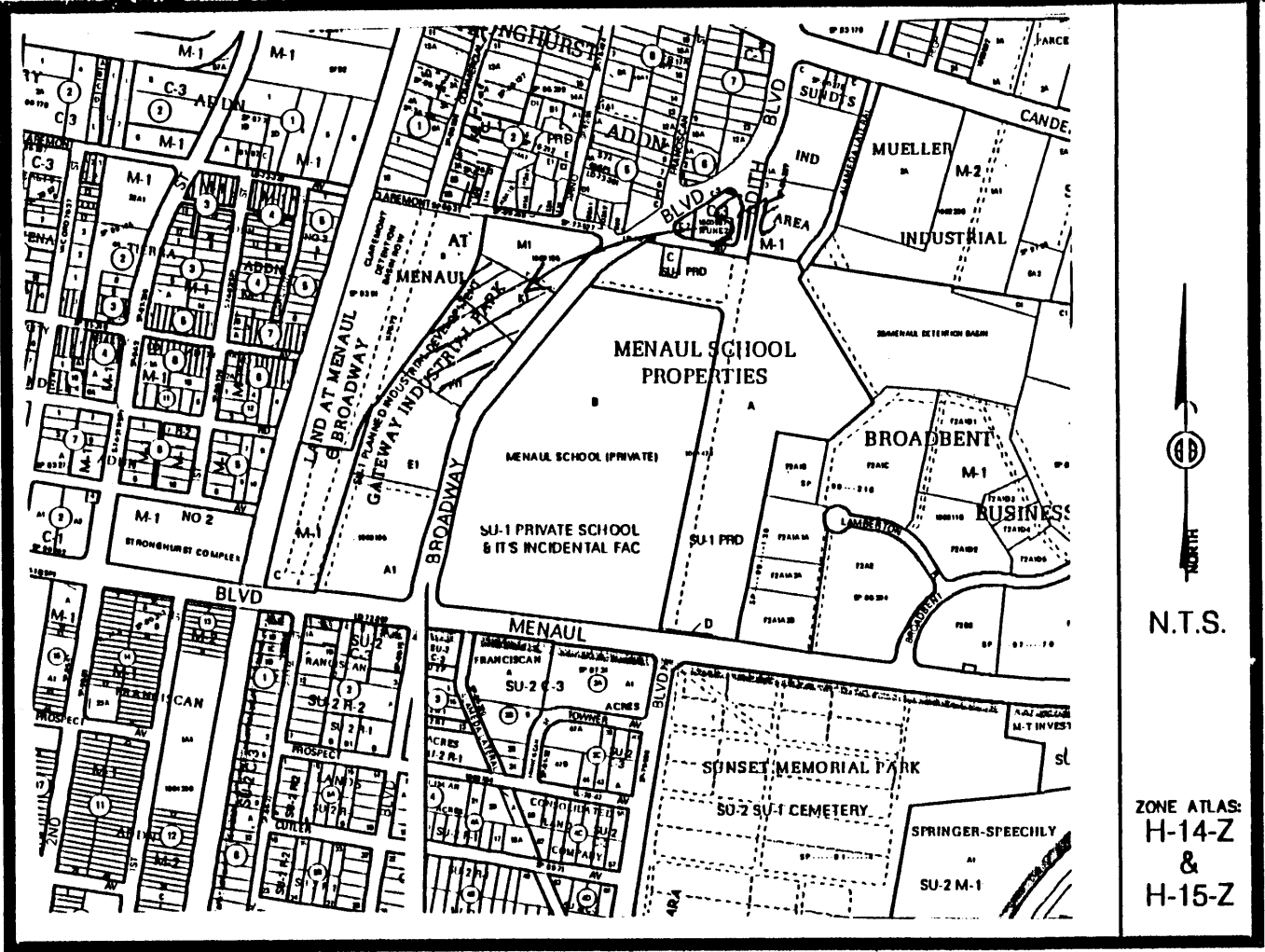
SU-1 PRIVATE SCHOOL AND INCIDENTAL FACILITIES

BROADWAY BLVD. NE
R.O.W. VARIES FROM 86'-0"



SCALE: 1" = 20'-0"

SITE PLAN



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS NM47-10 AND NM47-13, AS SHOWN HEREON
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. GROSS AREA: 4.3249 ACRES
7. NUMBER OF EXISTING TRACTS: 2
8. NUMBER OF TRACTS CREATED: 1
9. PROPERTY IS ZONED SU-1.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: 105159101242020301
 PROPERTY OWNER OF RECORD:
 MECH-CON INVESTMENTS LTD
 BERNALILLO COUNTY TREASURERS OFFICE:
 6/27/07

PLAT OF
 TRACT H-1-A
 GATEWAY INDUSTRIAL PARK
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTIONS 8 & 9, T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2007
 SHEET 1 OF 2

LEGAL DESCRIPTION
 Tracts lettered H-1 and K-1 plat of Tracts E-1, M-1, and K-1 GATEWAY INDUSTRIAL PARK Town of Albuquerque Grant, City of Albuquerque, as the same is shown and designated on said plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 17, 2005 in Book 2005C, page 345.

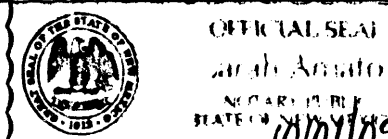
FREE CONSENT
 THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Doc# 2007093662
 Rpt #: 0003334 Page 2 of 2 06/27/2007 09:59 AM
 PLAT R: \$12.00 B: 20070 P: 0170 M: Toulouse, Bernalillo County

DISCLOSURE STATEMENT
 THE PURPOSE OF THIS PLAT IS TO COMBINE TWO (2) EXISTING TRACTS INTO ONE (1) NEW TRACT.

OWNER(S) SIGNATURE: MC DATE: 6/11/07
 OWNER(S) PRINT NAME: ROBYN HENDRICKSON
 ADDRESS: 2921 2ND NW ALBUQUAKE NM 87107 TRACT:

ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11TH DAY OF JUNE, 2007.
 BY: ROBYN HENDRICKSON
 MY COMMISSION EXPIRES: 10/01/09
Sarah Amato
 NOTARY PUBLIC

CITY APPROVALS: PROJECT NO.: 1005240 APPLICATION NO. 07228-70056

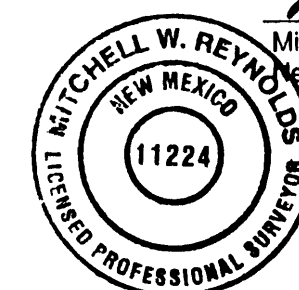
<u>[Signature]</u>	<u>6-12-07</u>
CITY SURVEYOR	DATE
<u>[Signature]</u>	<u>6-20-07</u>
TRAFFIC ENGINEERING	DATE
<u>Christina Sandoval</u>	<u>6/20/07</u>
PARKS & RECREATION DEPARTMENT	DATE
<u>[Signature]</u>	<u>6-20-07</u>
WATER UTILITIES DEPARTMENT	DATE
<u>Bradley A. Binjan</u>	<u>6/21/07</u>
A.M.A.F.C.A.	DATE
<u>[Signature]</u>	<u>6/20/07</u>
CITY ENGINEER	DATE
<u>[Signature]</u>	<u>6/20/07</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

- EASEMENT NOTES
- (A) Existing 10' PUE per plat of July 5, 2000, Book 2000C, page 173.
 - (B) Existing 10' Private Drainage Easement intended to benefit Tracts C through K. Each individual property owner shall be responsible for maintaining the portion of the Easement fronting Grantee's respective tract, Book 2000C, page 173.
 - (C) Existing Public Waterline and Sanitary Sewer Easement granted to the City of Albuquerque, Book 2000C, page 173.
 - (D) Existing private access easement intended to benefit existing Tracts A through M, including Tract C. Each individual property owner shall be responsible for maintaining the portion of the easement fronting respective Tract, Book 2000C, page 173.
 - (E) Private reciprocal access easement per plat filed October 17, 2005, Book 2005C, page 345, to benefit Tracts K-1, L and M, and is to be maintained by owner of Tract K-1.
 - (F) Private reciprocal access easement per plat filed October 17, 2005, Book 2005C, page 345, to benefit Tracts H-1 and E-1, and is to be maintained by owner of Tract H-1 and Tract E-1.
- A Reciprocal private cross-access easement exists across the original Tracts A through M and is to be maintained by said tract owners, Book 2000C, page 173.

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 06-11-07
 Mitchell W. Reynolds
 New Mexico Professional Surveyor, 11224
 Date

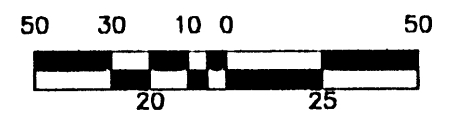


SURVEYS SOUTHWEST LTD.

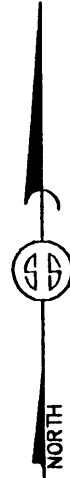
333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

T10N R3E SEC. 8 & 9

**PLAT OF
TRACT H-1-A
GATEWAY INDUSTRIAL PARK
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTIONS 8 & 9, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2007
SHEET 2 OF 2**



SCALE: 1" = 50'
PROJECT NO. 0608PB03
DRAWN BY EH
ZONE ATLAS: H-14-Z & H-15-Z



STATION: ACS NM47-10
X = 383387.65
Y = 1500747.69
GROUND TO GRID = 0.99967781
DELTA ALPHA = -00°13'28"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

STATION: ACS NM47-13
X = 382262.47
Y = 1495630.34
GROUND TO GRID = 0.99967825
DELTA ALPHA = -00°13'35"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

Doc# 2007093662
Rpt #: 0003334 Page: 2 of 2 06/27/2007 09:59 AM
PLAT R: \$12.00 B: 2007C P: 0170 M: Toulouse, Bernalillo County

TRACT M-1
GATEWAY INDUSTRIAL PARK
FILED 4-18-2006
(2006C, 121)

TRACT B
LAND AT MENAUL & BROADWAY
FILED 6-3-1993 (93C, 157)

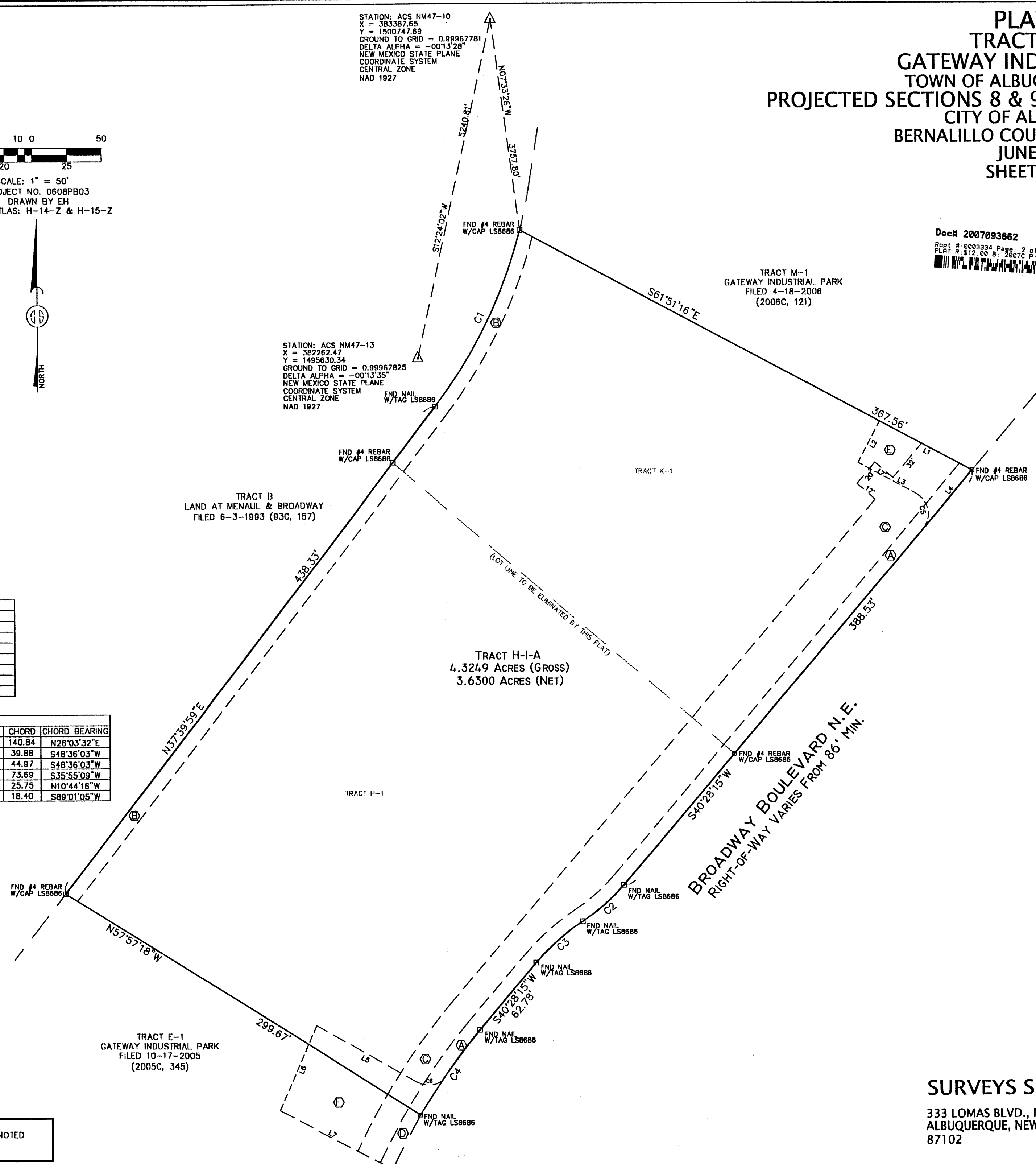
TRACT H-1-A
4.3249 ACRES (GROSS)
3.6300 ACRES (NET)

LINE TABLE		
LINE	LENGTH	BEARING
L1	75.00	S61°51'16"E
L2	33.46	N28°08'44"E
L3	47.14	N61°51'16"W
L4	54.77	S40°28'15"W
L5	81.71	N60°41'16"W
L6	65.36	S24°02'43"W
L7	87.12	S63°01'39"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	141.81	350.00	23°12'53"	140.84	N26°03'32"E
C2	40.01	141.00	16°15'37"	39.88	S48°36'03"W
C3	45.12	159.00	16°15'37"	44.97	S48°36'03"W
C4	73.76	464.26	9°06'13"	73.69	S35°55'09"W
C5	29.52	16.54	102°14'01"	25.75	N10°44'16"W
C6	19.29	18.24	60°35'18"	18.40	S89°01'05"W

MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306

T10N R3E SEC. 8 & 9