

GENERAL NOTES:

1. A Site Development Plan for the residential areas has been submitted in conjunction with this Site Plan for Subdivision. Subsequent Site Plans for Building Permit shall be submitted to the Environmental Planning Commission for the commercial pad sites.
2. Minor amendments to this Site Development Plan shall be approved administratively by the Planning Director, in compliance with the City Comprehensive Zoning Code, Section 14-16-2-22 (A)(6) SU-1 Special Use Zone.
3. The 4.3 acres of the development are allocated for commercial development. Four commercial parcels are proposed. The users envisioned for the parcels would involve sit down restaurants, service retail, financial facility and drive-up fast food. These users will support the adjacent residential hotel and athletic facilities.
4. This site has been restricted to a maximum of two drive-throughs, with no more than one being a drive-through restaurant. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard.

5. Zoning for the commercial area is SU-1 for C-2 Permissive Uses with restrictions. The following land uses from the C-2 Permissive Uses as contained in the Comprehensive City Zoning Code, Section 14-16-2-17, have been determined to be incompatible with the vision for this project and shall not be allowed:
 - Freestanding Cell Towers or Antennas
 - Vehicle Sales, Rental Service, Repair, Storage
 - Package Alcohol Sales for Off Premise Consumption
 - Gasoline, Oil, & Liquefied Petroleum Gas Retailing
 - Off Premise Signs including Billboards
 - Drive-In Restaurant
 - School
 - Parking Lot
 - Storage Structure
 - Storage Yard
 - Uses/Activities in a Tent
 - Circus or Carnival
6. This site is within a proposed Metropolitan Redevelopment Area.
7. Cross access easement is required to be part of the subdivision plat.
8. Approval of Gibson Blvd. access by the TCC was made on September 14, 2007.

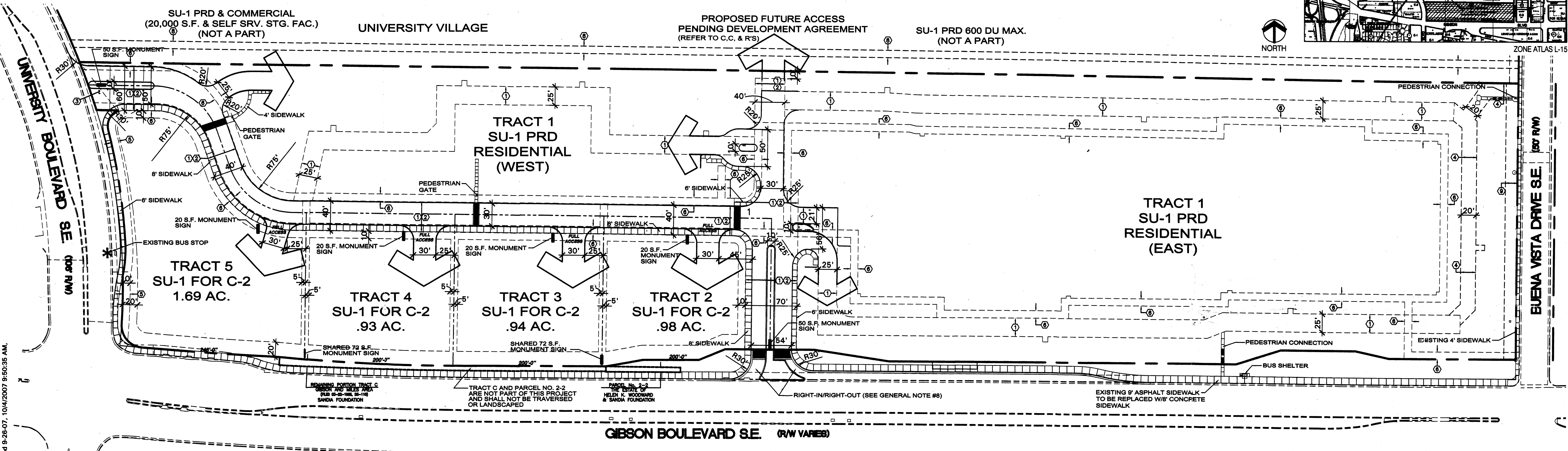
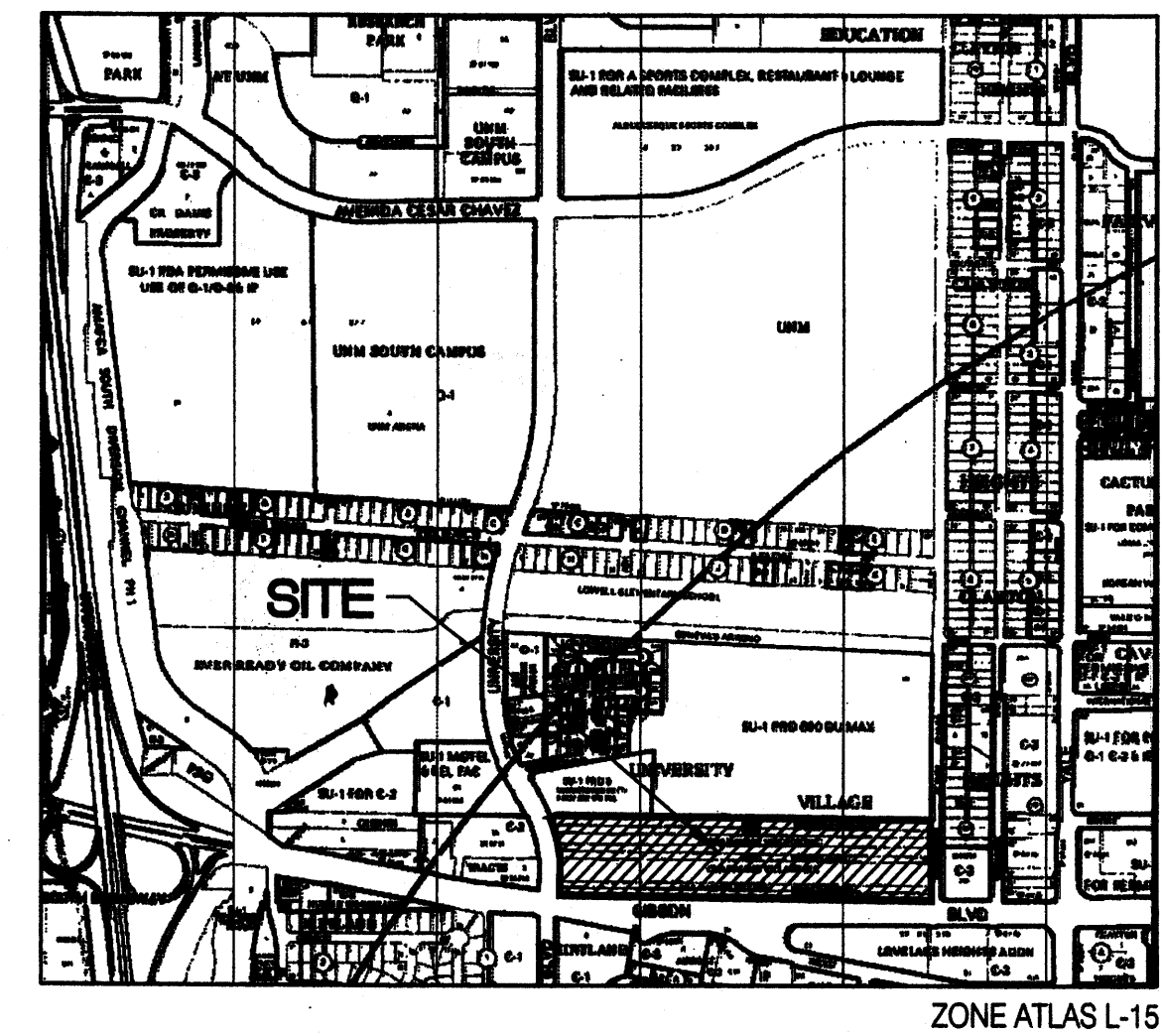
PROPOSED EASEMENTS

- ① City of Albuquerque Public Waterline and Sewer Easements
 - ② Private Access Easement and Private Drainage Easement
 - ③ Public Roadway and Sidewalk Easement
 - ④ City of Albuquerque Public Waterline Easement
 - ⑤ 10' Qwest Corporation Easement
 - ⑥ 10' Public Utility Easement
 - ⑦ ⑧ Offsite Easements
 - ⑨ Public Service Company Easement
- Easement beneficiaries and maintenance / operations responsibilities shall be determined by the forthcoming platting action.

SITE LEGEND

- - - - - Proposed Property Line
- Proposed Curb
- ↕ Vehicle Ingress/Egress

SITE VICINITY



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION

The Site: Tracts 1 through 5 of the Broadstone Towne Center Subdivision located on the northeast corner of University and Gibson Boulevards. The site consists of approximately 16.76 acres.

Land Use: SU-1 PRD is on 12.2 acres - 240 total multi-family residential units organized in two areas. The western portion of the residential development contains 60 units arranged in 8 free-standing buildings. The eastern portion of the residential development contains 180 units in 16 free-standing buildings.

The gross density of the residential portion of the development is 19.76 du/acre. Both residential areas are gated and will have common use of a pool, a clubhouse, an exercise facility, and common areas.

SU-1 for C-2 Permissive Uses with exclusions is on the remaining 4.54 acres of the site adjacent to Gibson Boulevard. The commercial portion of the development will contain four commercial pad sites.

Pedestrian and Vehicular Ingress and Egress:

Vehicular Access
Vehicular access to the site will be from the south side of the property from Gibson Boulevard, designated a limited access roadway, and from the west side of the property from University Boulevard, designated a minor arterial. The Gibson access point will be a right-in, right-out turn movement only. The University access point will be right-in/ right-out.

Pedestrian Access/Circulation:
Six foot public sidewalks on both University and Gibson will provide pedestrian connectivity to the site. A 8 foot sidewalk is provided along the private access road and pedestrian connections are provided to Buena Vista, Gibson (in the vicinity of the future bus stop) and between the residential and commercial areas.

Transit Access:
The City Transit Department's 16/18 bus route provides service along Gibson and University Boulevards. There is a bus stop located along University Boulevard and a future bus stop will be located along Gibson Boulevard

Internal Circulation:
Primary access at University and Gibson Boulevards are indicated on the site plan. Conceptual locations, widths, and configurations for the access points at the commercial pad sites have been identified and will be indicated on future Site Plans for Building Permit submitted to the City Engineer. Internal sidewalks are provided throughout the site and between all buildings and parking areas as shown on the site plan.

Building Heights and Setbacks:
Maximum building height is 40 feet. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.

Setbacks:
-Gibson and University-20 foot minimum
-Internal roads- 10 foot maximum; 0 foot minimum
-Internal side yards- 5 feet

Maximum FAR:
Per the South Yale Interim Development Area Design Standards, the minimum Floor Area Ratio (FAR) for the entire 16.76 acre property shall be .5 and the maximum FAR shall be 2.0. The minimum gross density for Tract 1 shall be between 10 du/ac and 30 du/ac.

Landscape Plan:
The Landscape Plan (See sheet 2) provides landscaping along the public rights-of-way and along the internal drives. Design Standards (See sheet 3) provides the parameters for landscape within the commercial area.

PROJECT NUMBER: 1005243
Application Number: 06EPC-04892, 07DKB-70314

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 18, 2007 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? (X) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Mc & Co</i>	10/31/07
Traffic Engineering, Transportation Division	Date
<i>William G. Baskin</i>	10/31/07
Water Utility Department	Date
<i>Christina Sandoval</i>	10/31/07
Parks and Recreation Department	Date
<i>Bradley B. Brughman</i>	10/31/07
City Engineer	Date
<i>M. Matson</i>	10/31/07
DRB Chairperson, Planning Department	Date
<i>Catalina Lehner</i>	

SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

Prepared for:
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2415 E. Camelback, Suite 600
Phoenix, AZ 85016

Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC
High Mesa Consulting Group

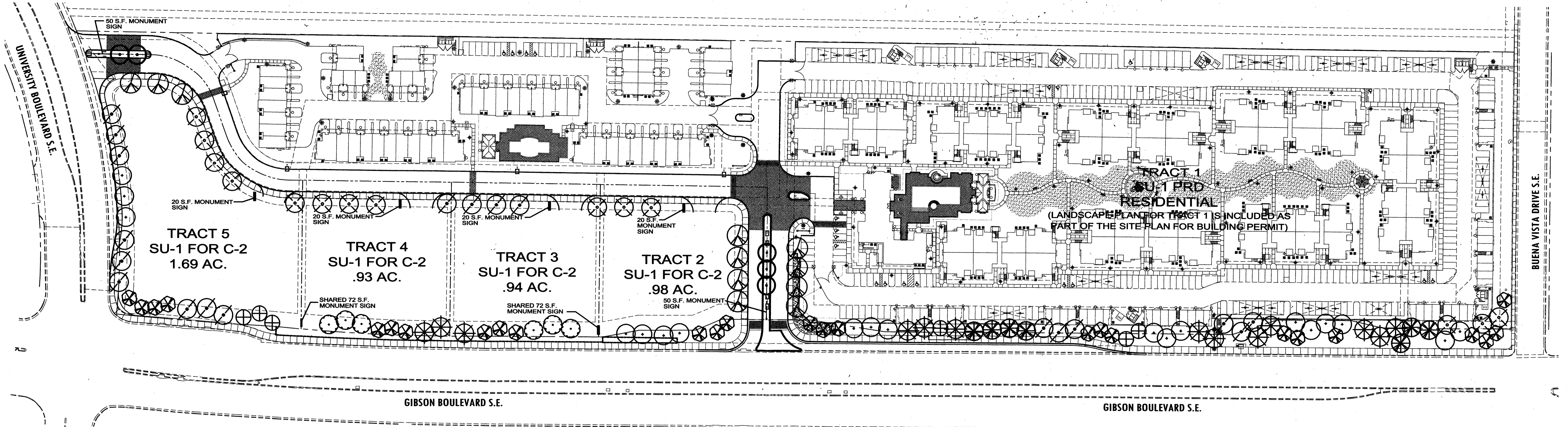
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CONSENSUS PLANNING

October 3, 2007

Sheet 1 of 3

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NOTE:
This Landscape Plan covers the perimeter of the site at Gibson and University Boulevards and the internal roadway along the commercial side.

LANDSCAPE DESIGN
Due to the scale of the 50th scale plan, specific shrub species are not identified by symbol. Please see the enlarged typical area plans at the bottom of the sheet. These enlargements illustrate the design intent and intensity of plant materials. The Landscape Plan associated with this Site Plan for Subdivision addresses the landscape areas along Gibson Boulevard, University Boulevard, and the internal street as illustrated. A separate Site Plan for Building Permit for Tract 1 (residential) is being submitted simultaneous to this submittal and addresses the landscape for that area in more detail. The actual provided quantity will be sufficient to meet the design intent and landscape coverage requirements of the City Zoning Code.

MULCHES
All shrub planting areas shall be top dressed with 7/8" Santa Fe Brown Rock Mulch. 2" - 4" Ironstone Cobble will be used as an accent mulch in certain areas.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be sized and designed to sufficiently irrigate turf areas and tree, shrub and groundcover planting areas.

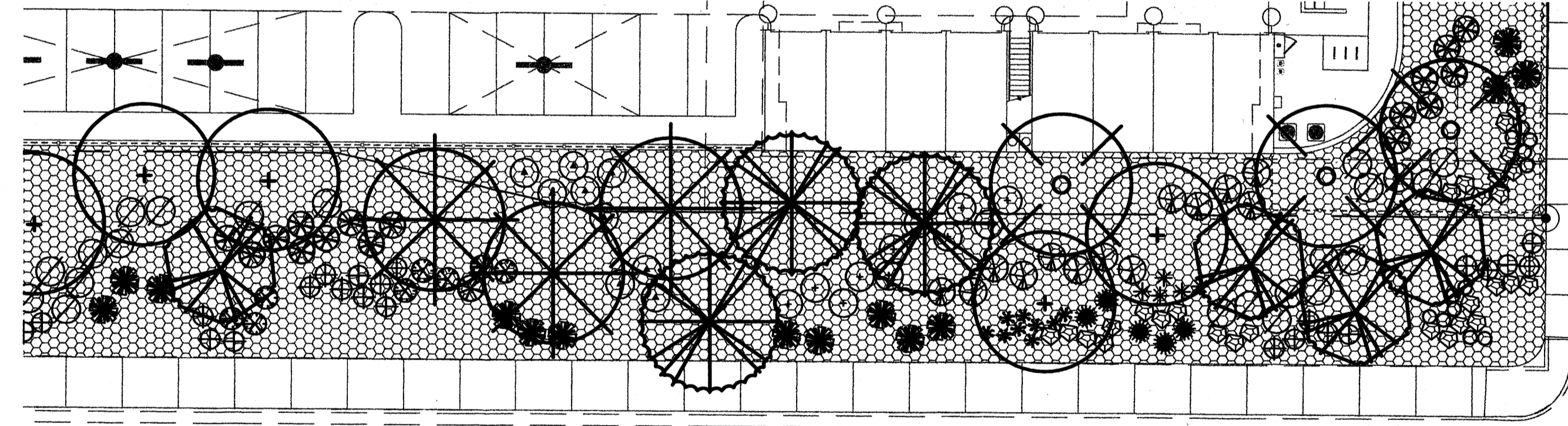
MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for Broadstone Towne Center shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area (see Park Blend Sod under Landscape Palette).

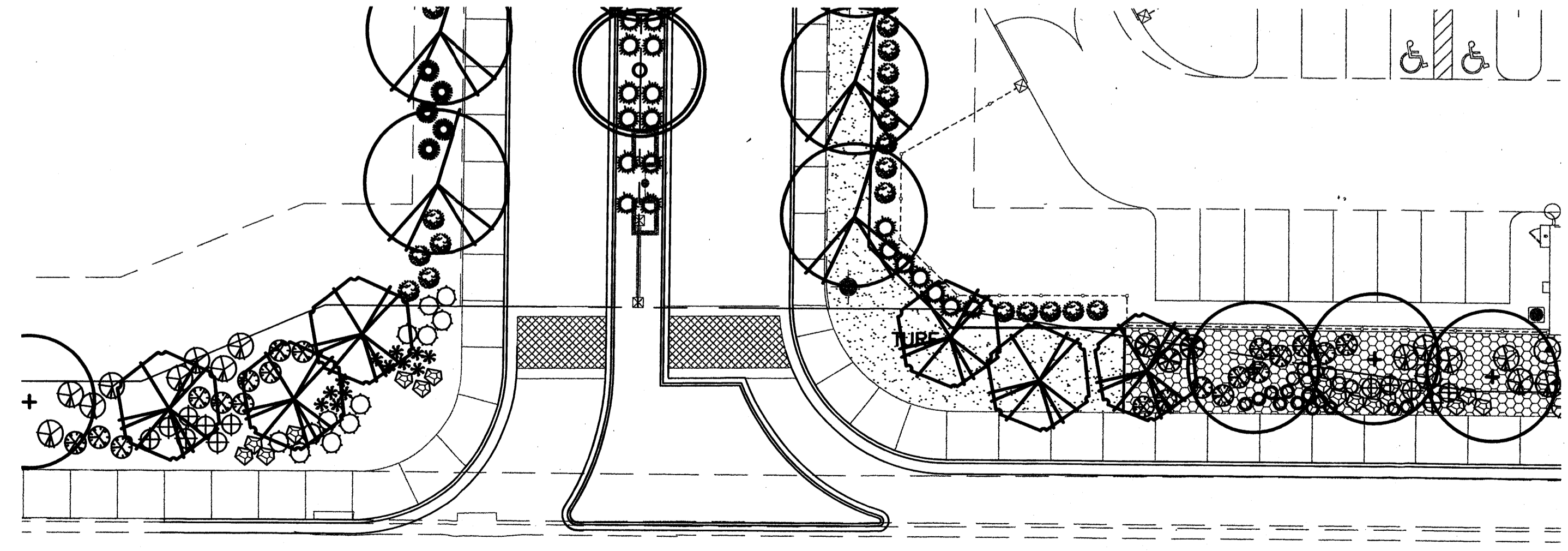
LANDSCAPE PALETTE

Qty	Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
Trees					
28	⊗	Chitalpa tashkentensis 'Pink Dawn' / Chitalpa	2' B&B	20' x 25' Low+	
21	⊗	Koeberuteria paniculata / Goldenrain Tree	2' B&B	25' x 25' Medium	
19	⊗	Pistacia chinensis / Chinese Pistache	2' B&B	60' x 60' Medium	
13	⊗	Pinus nigra / Austrian Pine	8' B&B	35' x 25' Medium	
6	⊗	Quercus fusiformis / Escarpment Live Oak	2' B&B	25' x 25' Medium	
11	⊗	Robinia x ambigua / Purple Robe Locust	2' B&B	40' x 30' Medium	
14	⊗	Celtis pallida / Desert Hackberry	2' B&B	40' x 40' Low	
6	⊕	Vitex agnus-castus / Chaste Tree	15 Gal.	20' x 20' Medium	
5	⊗	Chilopsis linearis / Desert Willow	2' B&B	20' x 25' Low+	
7	⊗	Prosopis velutina / Velvet Mesquite	5 Gal.	20' x 25' Low	
Shrubs/Groundcovers					
	○	Artemisia X Powis Castle / Powis Castle Sage	1 Gal.	24' x 48' Low +	
	⊗	Caryopteris clandonensis / Blue Mist	5 Gal.	48' x 48' Medium	
	⊗	Chrysothamnus nauseosus / Chamaisa	5 Gal.	60' x 60' Low	
	⊗	Cytisus x 'Lena' / Lena's Broom	1 Gal.	36' x 42' Low +	
	⊗	Ericameria laricifolia / Dwarf Turpentine Bush	1 Gal.	36' x 48' Low +	
	⊗	Erysimum linifolium / Wallflower Bowles Mauve	5 Gal.	24' x 36' Medium	
	⊗	Fallugia paradoxa / Apache Plume	5 Gal.	60' x 60' Low	
	⊗	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	5 Gal.	24' x 36' Medium	
	⊗	Perovskia atriplicifolia / Russian Sage	1 Gal.	60' x 60' Medium	
	⊗	Buddleia 'Lochinch' / Lavender Butterfly Bush	5 Gal.	48' x 36' Medium	

Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
⊗	Raphiolepis indica / India Hawthorn	5 Gal.	36' x 48' Medium	
⊗	Pinus trilobata / Three-leaf Sumac	5 Gal.	24' x 60' Low+	
⊗	Rosmarinus officinalis / Prostrate Rosemary	5 Gal.	24' x 60' Low+	
⊗	Salvia greggii / Cherry Sage	5 Gal.	36' x 36' Medium	
⊗	Verbena rigida / Sandpaper Verbena	1 Gal.	12' x 48' Low	
○	Ornamental Grasses Helictotrichon sempervirens / Blue Avena Grass	1 Gal.	24' x 12' Medium	
⊗	Muhlenbergia capillaries 'Regal Mist' / Mully Grass	5 Gal.	36' x 36' Medium	
*	Nassella tenuissima / Threadgrass	1 Gal.	24' x 24' Low+	
☀	Accents Dasylirion wheeleri / Sotol	5 Gal.	48' x 48' Low+	
*	Hesperaloe parviflora / Red/Yellow Flowering Yucca	1 Gal.	36' x 48' Low+	
⊗	Nolina microcarpa / Beargrass	5 Gal.	60' x 60' Low+	
⊗	Park Blend Sod (40% Tall Fescue, 40% Perennial Ryegrass, 20% Kentucky Bluegrass Sod)			
⊗	Seasonal Annuals			
⊗	Cobble Mulch 2"-4" Ironstone Cobble			
⊗	Moss Rock Boulders (3" average diameter)			



TYPICAL LANDSCAPE TREATMENT ALONG GIBSON BOULEVARD
SCALE: 1" = 20'



TYPICAL LANDSCAPE TREATMENT AT GIBSON BOULEVARD ENTRY DRIVE
SCALE: 1" = 20'

LANDSCAPE PLAN BROADSTONE TOWNE CENTER

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Scale 1" = 60'

CONSENSUS PLANNING
October 4, 2007
Sheet 2 of 3



BROADSTONE TOWNE CENTER DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The Design Standards shall be used to facilitate the design of buildings which respect the existing site conditions and the character and land uses of the adjacent properties and neighborhoods.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Broadstone Towne Center. These standards address future commercial projects.

Subsequent Site Plans for Building Permits shall be consistent with the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

A. SITE PLANNING

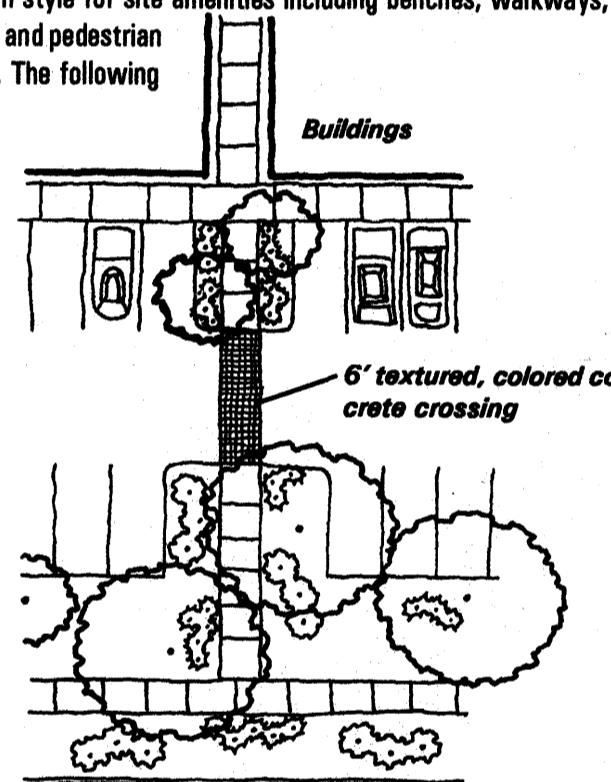
The following standards address the design of outdoor spaces within the commercial areas of Broadstone Towne Center:

- Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- Commercial development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- Each commercial parcel developer shall be required to provide a minimum outdoor plaza space of 300 sf. This area shall have a minimum of 25% shading, provided by a trellis, trees, or umbrellas. Each developer is responsible for providing pedestrian walkways around the building(s) and connecting the plaza area to adjacent developments.
- Drive-up and pick-up windows shall be oriented away from pedestrian areas and residentially zoned areas in accordance with Section 14-16-3-18(D)(5) of the Zoning Code. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard and located a minimum of 75 feet from residential uses.

B. PEDESTRIAN CIRCULATION

The goal for this property is to maintain a high quality and consistency in style for site amenities including benches, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems in order to provide a safe and pleasant environment. The following standards are intended to meet these goals:

- All pedestrian pathways through Broadstone shall be built to City standards.
- The walkway beginning at Gibson Boulevard and running north-south through the site, as well as the walkway running east-west along the internal access roadway, shall be 8 feet wide.
- All pedestrian paths shall be designed to be handicapped-accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design), except where topography makes this unfeasible.
- Pedestrian connections to buildings shall be provided in parking lots with greater than 50 spaces and shall connect to adjacent roadways, sidewalks, and pathways.
- Pedestrian crossings shall be a minimum of 8 feet wide and clearly demarcated with textured, colored concrete where they cross vehicular entrances and drive aisles.



PARKING - pedestrian crossings will be provided between parking areas and buildings

C. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. The intent is to minimize the visual impact of parking facilities. In order to lessen the visual impact, parking facilities shall be broken up into a series of smaller areas as feasible. In addition, the following guidelines shall be applied to parking area design:

- Handicapped parking spaces shall be provided adjacent to building entries.
- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas shall be designed to include a pedestrian link to buildings.
- Off-street parking areas shall be located to the rear or sides of buildings.
- In cases where parking is adjacent to roadways, landscaping for screening purposes shall be required. Screening walls shall be architecturally compatible with the surrounding buildings.
- Off-street parking requirements:
 - Retail and financial businesses shall be required to have five parking spaces per 1,000 sf of leased building area.
 - Sit down restaurants shall have 15 spaces per 1,000 sf of building area. Fast food restaurants shall have 10 spaces per 1,000 sf of building area.
 - One bicycle parking space shall be provided for every 20 parking spaces for cars.
 - Motorcycle parking for each of the commercial parcels shall be per Section 14-16-3-1 Off-Street Parking Regulations of the Comprehensive City Zoning Code.

D. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms and/or walls.

- Building setbacks for the commercial parcels include:
 - Gibson and University: 20 foot minimum
 - Internal roads: 10 foot maximum, 0 foot minimum
 - Internal side yards: 5 foot minimum

E. LANDSCAPE

The development of an overall landscape concept shall establish a framework that unifies the property and is appropriate for the nearby neighborhoods. The landscape design emphasizes low and medium water use plant materials. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies.

The following are minimum standards for the development of specific landscape plans:

- These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.
- Street trees shall be provided along roadways at a rate of one tree per 30 linear feet. They may be randomly or regularly placed.
- The developer/owner will be responsible for the installation and maintenance of the landscape on their property. All plant material, including street trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the property owner in a living, attractive condition.
- A minimum of 15 percent of the site area for commercial projects (minus the building square footage) shall be devoted to landscape materials.
- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- Landscape headers shall be used to separate any turf and groundcover areas.
- To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- Minimum plant sizes at time of installation shall be as follows:

Trees	1 1/2 inch caliper, or 10 to 12 feet in height
Shrubs & Groundcovers	1 gallon

 Turf grasses shall provide complete ground coverage within 1 growing season after installation.



PEDESTRIAN AREAS - Should include shade trees

F. ARCHITECTURE

The architectural design is intended to demonstrate a high quality aesthetic character throughout the property and shall respond to climate, views, solar access, and aesthetic considerations.

COMMERCIAL ARCHITECTURAL STYLE

The general architectural character for retail structures is to follow the mission style theme of the residential portions of the development. A concept elevation study for a small retail shops building is provided to illustrate the desired mission style architectural theme. Retail structures may be pitched or flat roofed. Pitched roof elements shall be roofed with the mission style tile units described in the color palette. Portals (covered walkways) and other building appendages may be roofed with mission style units. These roofs shall be shed type with the high point abutting the main building wall below the top of the parapet. Cornice treatment is to be used at top of parapet walls and at eaves of pitched roof elements.



The following are minimum architectural standards for the commercial development:

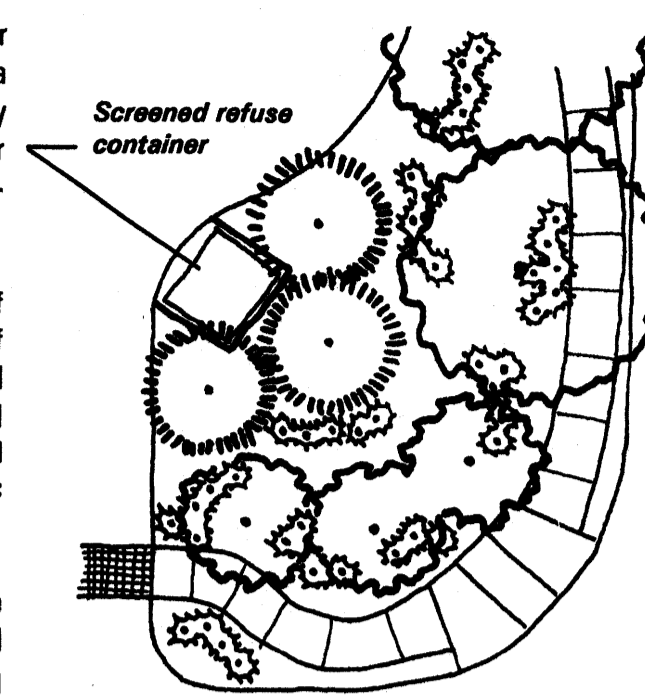
- Maximum building height is limited to 40 feet. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.
- Commercial buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed the allowable sign area of building wall. Illumination of awnings shall be from pendant mounted fixtures located above the awning. Accent colors on awnings shall be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.
- Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.
- No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings shall be made of cloth.
- Entryways to commercial buildings shall be clearly defined.
- No freestanding cell towers or antennas are allowed; rather antenna shall be integrated with the building architecture.
- Roofs may be flat, pitched (tile), or a combination of both and shall be made of non-reflective materials. Roof tile color shall be terra-cotta blend. Building finish will be stucco and color shall be taupe or sand; trim shall be brown.
- Generic franchise architecture is prohibited.

G. SCREENING / BUFFERING

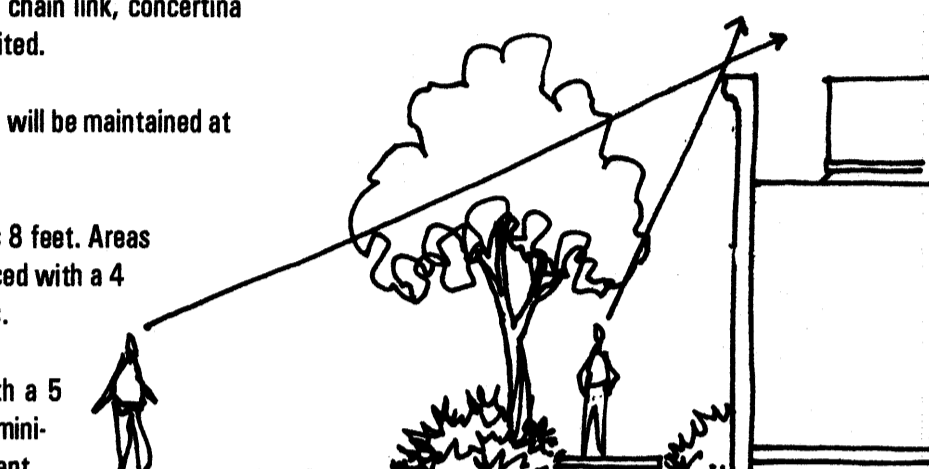
The effective use of screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and mechanical equipment is essential to limit their adverse visual impact on the property. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

Perimeter fencing is allowed on the property; however, the site designer shall lessen its visual impact through landscaping, meandering within a landscape area, or providing openings. Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls or these Design Standards as specified below.

- All mechanical/roof-top equipment shall be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical equipment can be observed from the residential area, horizontal screening per the conceptual sketch is required. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- Service areas such as refuse locations and compactors shall be screened from the view of the adjacent residential area, and public rights-of-way. Refuse enclosures shall be gated. Screening material shall match building wall color and material.
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Clear sight distances for safety purposes will be maintained at all driveway locations.
- The maximum height of retaining walls is 8 feet. Areas requiring greater retention shall be terraced with a 4 foot horizontal separation between walls.
- Drive-up windows shall be screened with a 5 foot high opaque wall and 5 foot wide (minimum) landscape area with evergreen plant materials on the pedestrian or residential side. A berm of the same height as the wall may be provided in lieu of the wall.



REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials



MECHANICAL SCREENING - should be screened from public view

H. LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- Site lighting for pad structures is to match the site lighting provided for the main commercial parking area.
- Commercial parking area lighting shall not exceed 20 feet from the top of the pole to finished grade. Parking lot lights within 100 feet of residential areas shall be a maximum of 18 feet high from finished grade to the top of the pole.
- Exposed, unshielded light fixtures are prohibited. All lamps shall be full cut-off fixtures with down lighting only.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permit.
- Area lighting shall be restricted to a maximum off-site luminance of 1,000 foot-lamberts from any point and maximum of 200 foot-lamberts from any residential property line.
- Accent lighting is permitted, however surface lighting is limited to an average of 2 foot-candles measured 4 feet from the surface level of any point on the building surface being illuminated. Building-mounted lights must point downward. Uplighting is prohibited.

I. UTILITIES

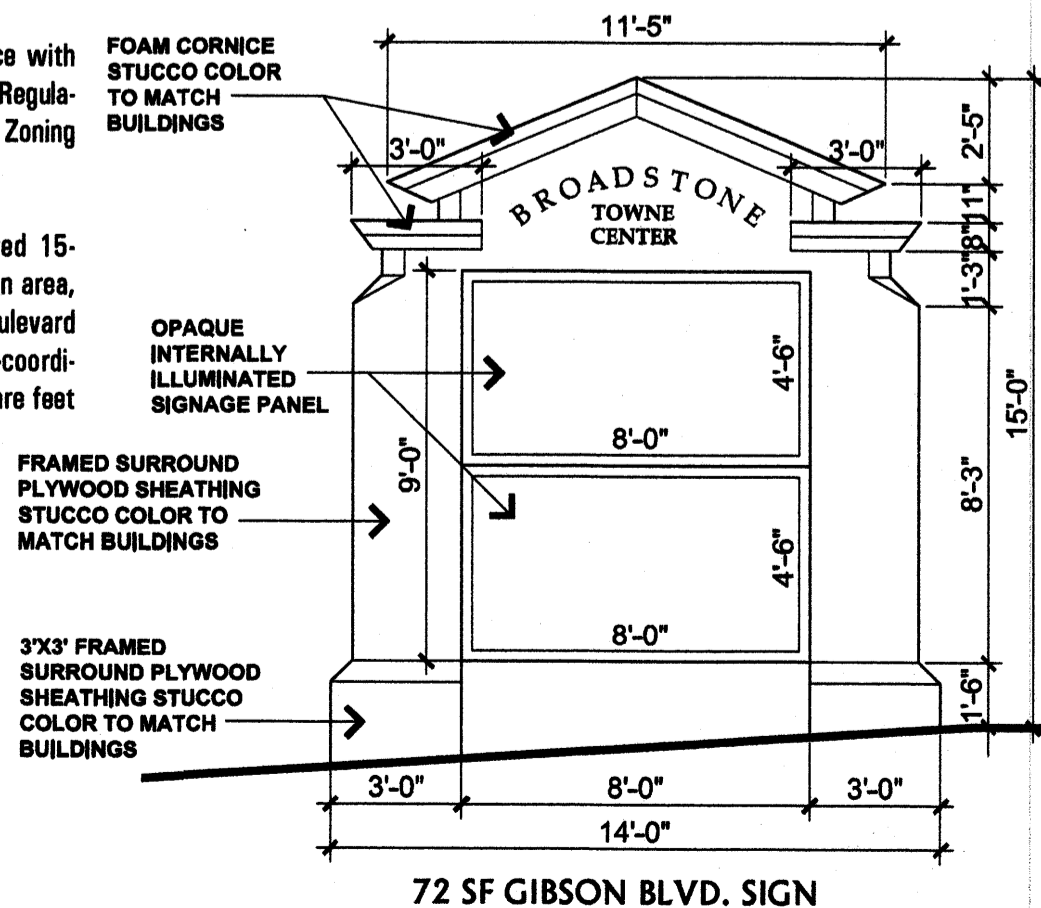
To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- When an above-ground back flow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

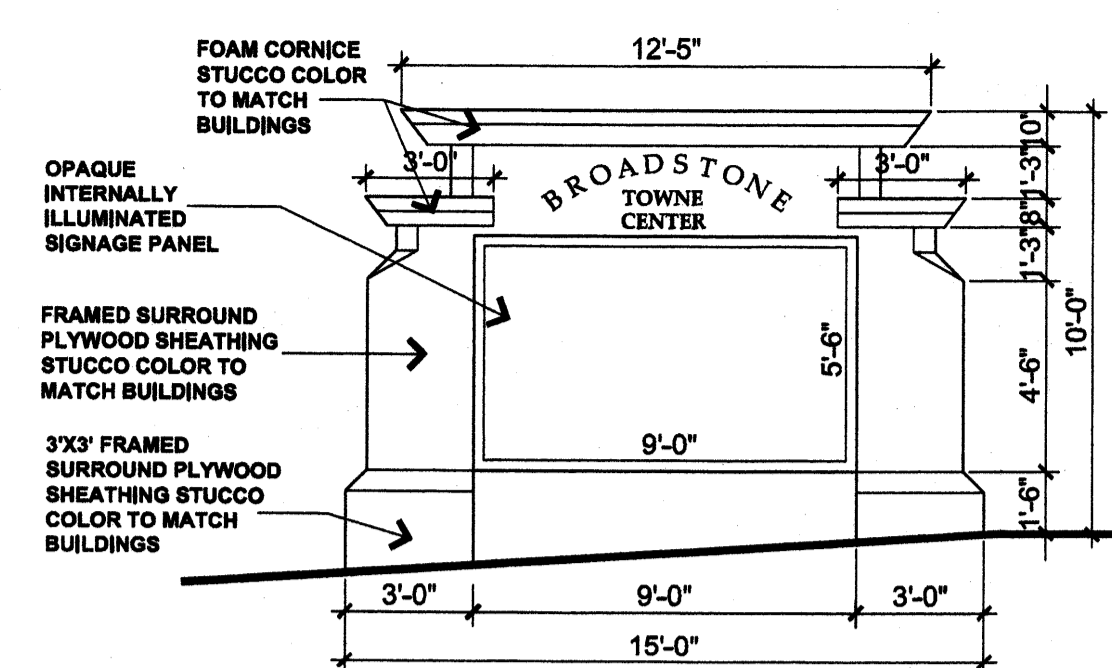
J. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within the Broadstone Towne Center. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

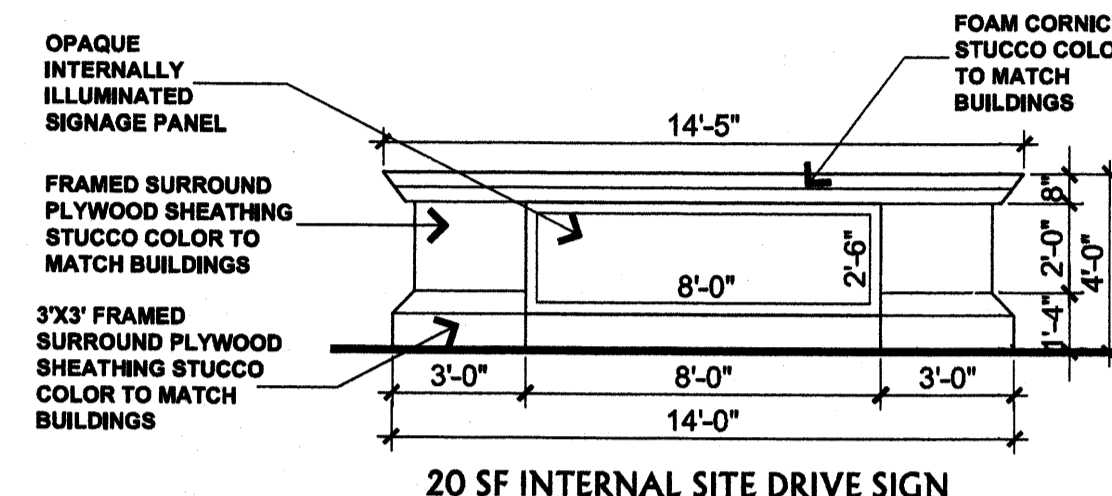
- All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code.
- Two architecturally-coordinated 15-foot tall signs, 72 square feet in area, are allowed for the Gibson Boulevard frontage. One architecturally-coordinated 10-foot tall sign, 50 square feet in area, is allowed on the University Boulevard frontage. Each building pad is permitted to have one 20 square foot monument sign adjacent to the internal site drive.



72 SF GIBSON BLVD. SIGN



50 SF UNIVERSITY BLVD. SIGN



20 SF INTERNAL SITE DRIVE SIGN

- All building-mounted signage shall be individual type lettering not to exceed 6 percent of each building elevation facade.

All signs shall be of individual letters. The following types of letters are acceptable:

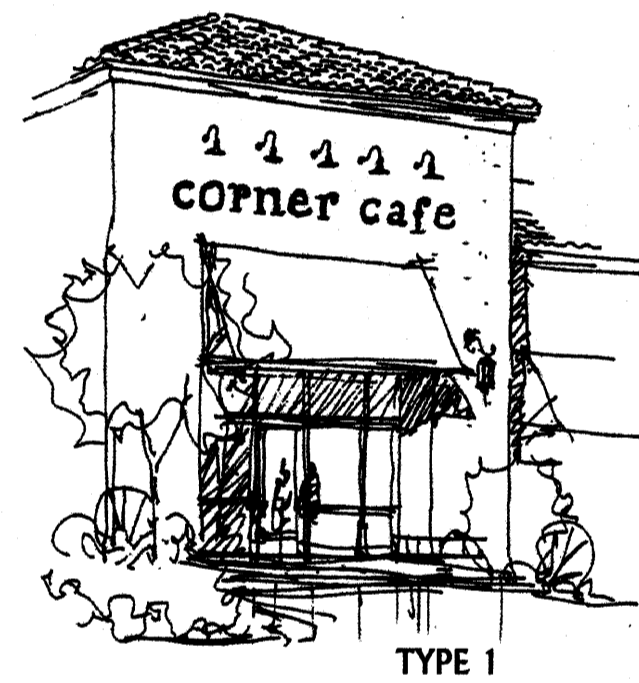
Type 1: Opaque lettering indirectly illuminated by goose neck type lighting

Type 2: Channel letters internally illuminated with letter sides to match letter face colors

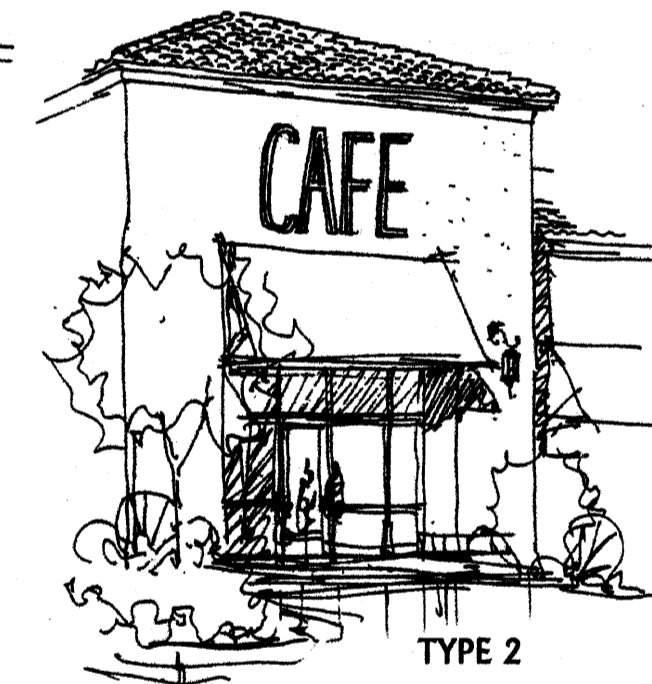
Type 3: Same as 2 except halo lit

Type 4: halo lit letters cut out of solid metal background spaced off the face of the building

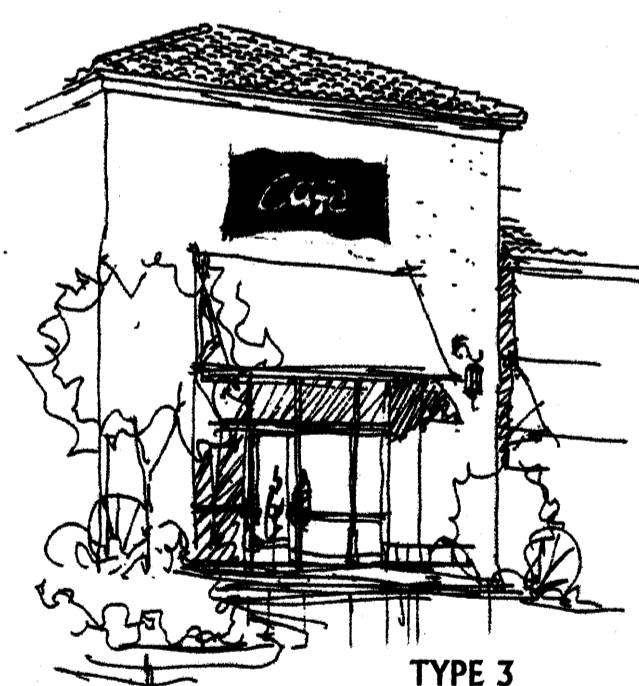
Can type signs are prohibited. Any special logos associated with a specific tenant shall be provided in a non-illuminated fashion for specific approval.



TYPE 1



TYPE 2



TYPE 3

BUILDING-MOUNTED SIGNS

SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 8501

Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC.
High Mesa Consulting Group

October 4, 2007

Sheet 3 of 3

GENERAL NOTES:

1. A Site Development Plan for the residential areas has been submitted in conjunction with this Site Plan for Subdivision. Subsequent Site Plans for Building Permit shall be submitted to the Environmental Planning Commission for the commercial pad sites.
2. Minor amendments to this Site Development Plan shall be approved administratively by the Planning Director, in compliance with the City Comprehensive Zoning Code, Section 14-16-2-22 (A)(6) SU-1 Special Use Zone.
3. The 4.3 acres of the development are allocated for commercial development. Four commercial parcels are proposed. The users envisioned for the parcels would involve sit down restaurants, service retail, financial facility and drive-up fast food. These users will support the adjacent residential hotel and athletic facilities.
4. This site has been restricted to a maximum of two drive-throughs, with no more than one being a drive-through restaurant. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard.

5. Zoning for the commercial area is SU-1 for C-2 Permissive Uses with restrictions. The following land uses from the C-2 Permissive Uses as contained in the Comprehensive City Zoning Code, Section 14-16-2-17, have been determined to be incompatible with the vision for this project and shall not be allowed:
 - Freestanding Cell Towers or Antennas
 - Vehicle Sales, Rental Service, Repair, Storage
 - Package Alcohol Sales for Off Premise Consumption
 - Gasoline, Oil, & Liquefied Petroleum Gas Retailing
 - Off Premise Signs including Billboards
 - Drive-In Restaurant
 - School
 - Parking Lot
 - Storage Structure
 - Storage Yard
 - Uses/Activities in a Tent
 - Circus or Carnival
6. This site is within a proposed Metropolitan Redevelopment Area.
7. Cross access easement is required to be part of the subdivision plat.
8. Approval of Gibson Blvd. access by the TCC was made on September 14, 2007.

EASEMENTS

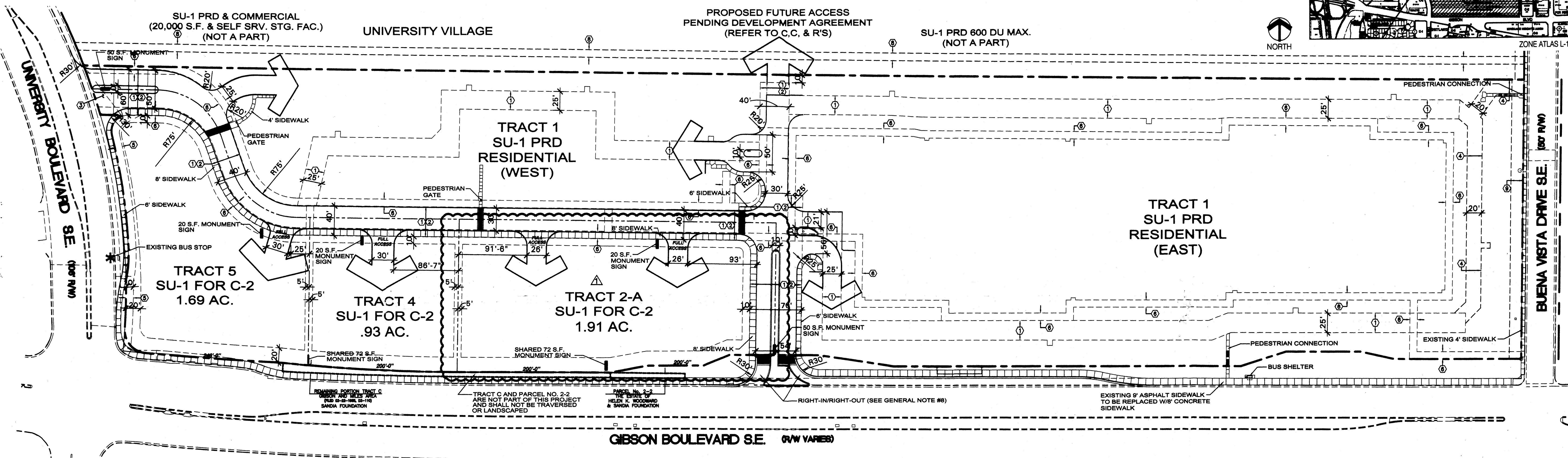
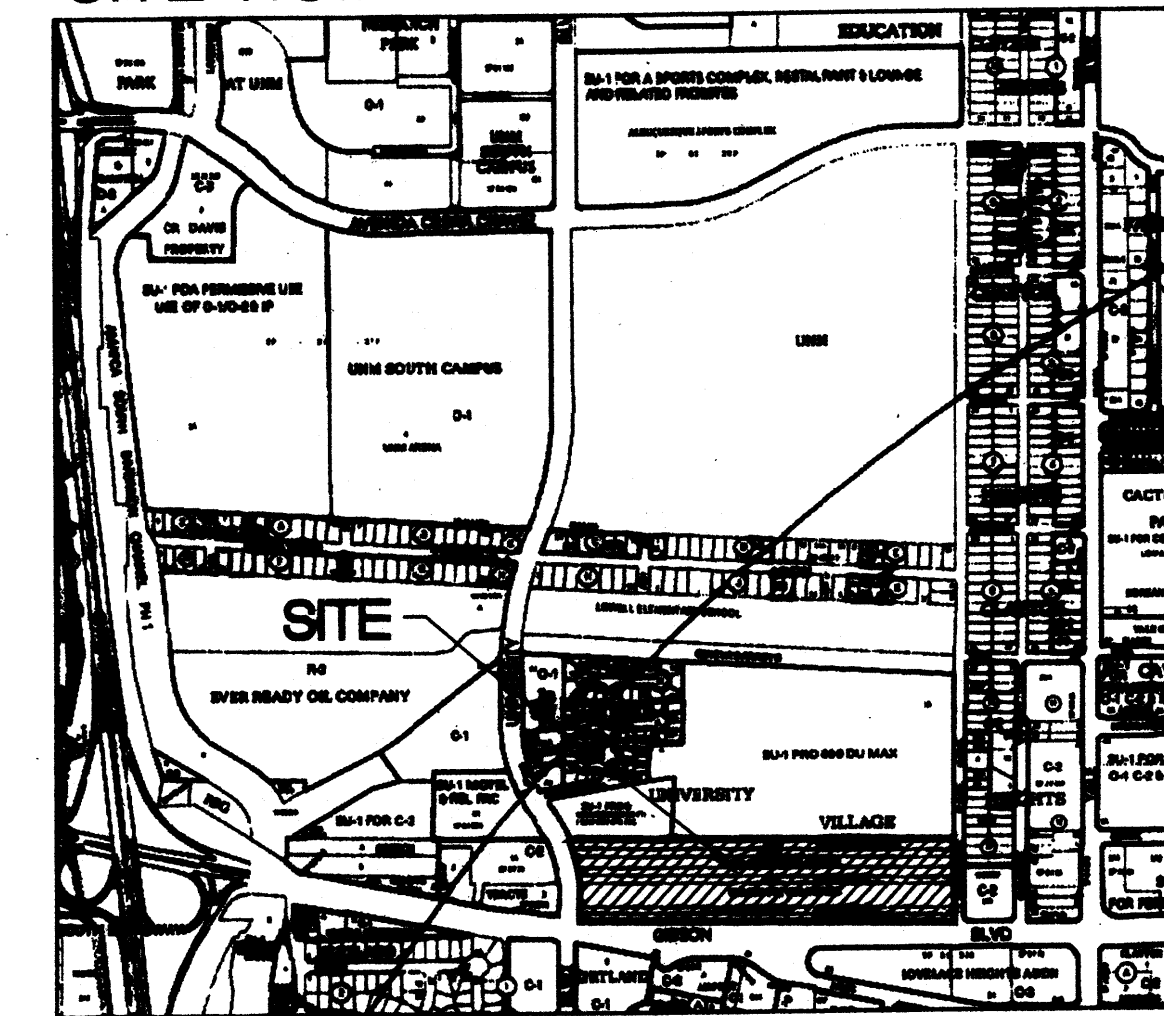
- ① City of Albuquerque Public Waterline and Sewer Easements
- ② Private Access Easement and Private Drainage Easement
- ③ Public Roadway and Sidewalk Easement
- ④ City of Albuquerque Public Waterline Easement
- ⑤ 10' Qwest Corporation Easement
- ⑥ 10' Public Utility Easement
- ⑦ ⑧ Offsite Easements
- ⑨ Public Service Company Easement

Easement beneficiaries and maintenance / operations responsibilities shall be determined by the forthcoming platting action.

SITE LEGEND

- - - - - Proposed Property Line
- Proposed Curb
- ↕ Vehicle Ingress/Egress

SITE VICINITY



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION

The Site: Tracts 1 through 5 of the Broadstone Towne Center Subdivision located on the northeast corner of University and Gibson Boulevards. The site consists of approximately 16.76 acres.

Land Use: SU-1 PRD is on 12.2 acres - 240 total multi-family residential units organized in two areas. The western portion of the residential development contains 60 units arranged in 8 free-standing buildings. The eastern portion of the residential development contains 180 units in 16 free-standing buildings.

The gross density of the residential portion of the development is 19.76 du/acre. Both residential areas are gated and will have common use of a pool, a clubhouse, an exercise facility, and common areas.

SU-1 for C-2 Permissive Uses with exclusions is on the remaining 4.54 acres of the site adjacent to Gibson Boulevard. The commercial portion of the development will contain four commercial pad sites.

Pedestrian and Vehicular Ingress and Egress:

Vehicular Access
Vehicular access to the site will be from the south side of the property from Gibson Boulevard, designated a limited access roadway, and from the west side of the property from University Boulevard, designated a minor arterial. The Gibson access point will be a right-in, right-out turn movement only. The University access point will be right-in/ right-out.

Pedestrian Access/Circulation:

Six foot public sidewalks on both University and Gibson will provide pedestrian connectivity to the site. A 8 foot sidewalk is provided along the private access road and pedestrian connections are provided to Buena Vista, Gibson (in the vicinity of the future bus stop) and between the residential and commercial areas.

Transit Access:

The City Transit Department's 16/18 bus route provides service along Gibson and University Boulevards. There is a bus stop located along University Boulevard and a future bus stop will be located along Gibson Boulevard

Internal Circulation:

Primary access at University and Gibson Boulevards are indicated on the site plan. Conceptual locations, widths, and configurations for the access points at the commercial pad sites have been identified and will be indicated on future Site Plans for Building Permit submitted to the City Engineer. Internal sidewalks are provided throughout the site and between all buildings and parking areas as shown on the site plan.

Building Heights and Setbacks:

Maximum building height is 40 feet. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.

Setbacks:

- Gibson and University-20 foot minimum
- Internal roads- 10 foot maximum; 0 foot minimum
- Internal side yards- 5 feet

Maximum FAR:

Per the South Yale Interim Development Area Design Standards, the minimum Floor Area Ratio (FAR) for the entire 16.76 acre property shall be .5 and the maximum FAR shall be 2.0. The minimum gross density for Tract 1 shall be between 10 du/ac and 30 du/ac.

Amendment to consolidate former Tracts 2 and 3 into Tract 2-A and relocate entry access points.

PROJECT NUMBER: 1005243
Application Number: 12EPC-04051

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated September 13, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	12-12-12
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	12-12-12
ABCWUA	Date
<i>[Signature]</i>	11-28-12
Parks and Recreation Department	Date
<i>[Signature]</i>	11-28-12
City Engineer	Date
Solid Waste Management	Date
<i>[Signature]</i>	12-13-12
DRB Chairperson, Planning Department	Date

Landscape Plan:

The Landscape Plan (See sheet 2) provides landscaping along the public rights-of-way and along the internal drives. Design Standards (See sheet 3) provides the parameters for landscape within the commercial area.

PROJECT NUMBER: 1005243
Application Number: 08EPC-04602, 07DRS-70314

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 18, 2007 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	10/31/07
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	10/31/07
Water Utility Department	Date
<i>[Signature]</i>	10/31/07
Parks and Recreation Department	Date
<i>[Signature]</i>	10/31/07
City Engineer	Date
<i>[Signature]</i>	10/31/07
DRB Chairperson, Planning Department	Date
<i>[Signature]</i>	

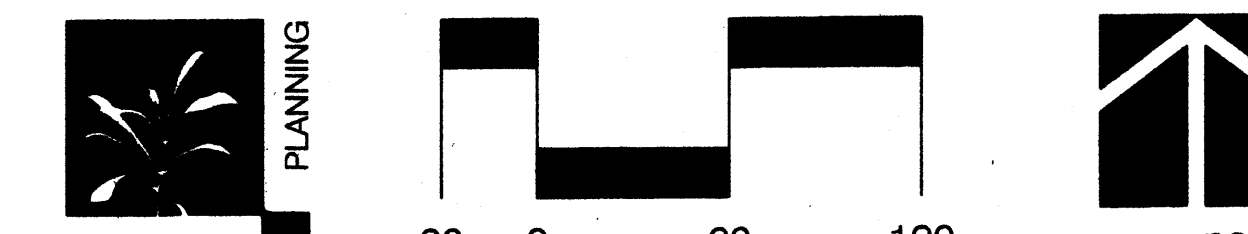
Amendment to consolidate former Tracts 2 and 3 into Tract 2-A and relocate entry access points.

SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 85016

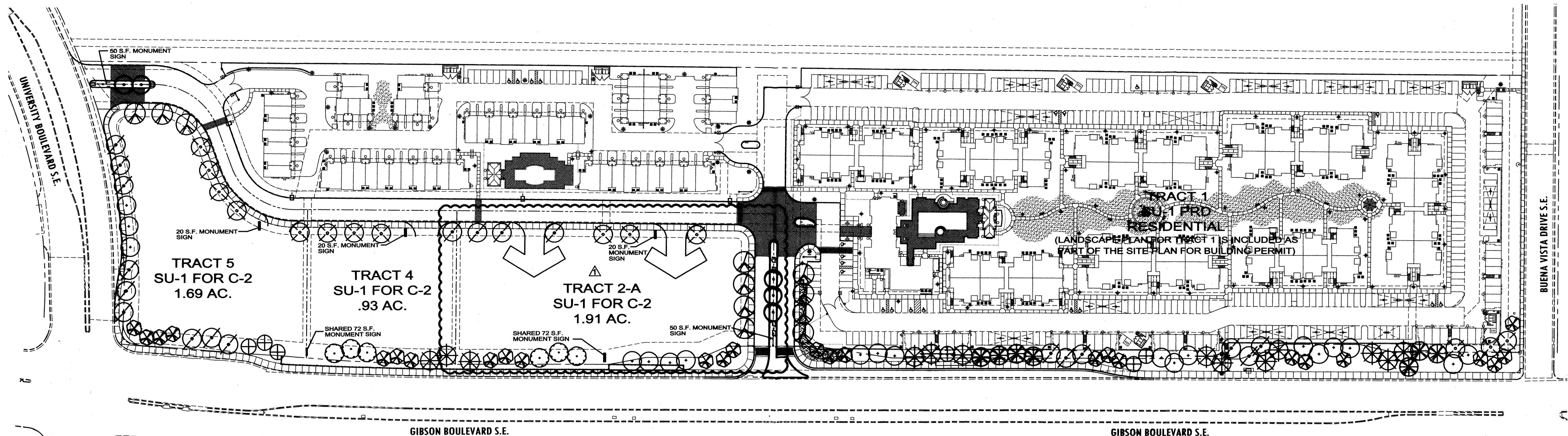
Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC
High Mesa Consulting Group

Scale 1" = 60'



October 3, 2007
October 23, 2012

1005243



NOTE:
This Landscape Plan covers the perimeter of the site at Gibson and University Boulevards and the internal roadway along the commercial side.

LANDSCAPE DESIGN
Due to the scale of the 50th scale plan, specific shrub species are not identified by symbol. Please see the enlarged typical area plans at the bottom of the sheet. These enlargements illustrate the design intent and intensity of plant materials. The Landscape Plan associated with this Site Plan for Subdivision addresses the landscape areas along Gibson Boulevard, University Boulevard, and the internal street as illustrated. A separate Site Plan for Building Permit for Tract 1 (residential) is being submitted simultaneous to this submittal and addresses the landscape for that area in more detail. The actual provided quantity will be sufficient to meet the design intent and landscape coverage requirements of the City Zoning Code.

MULCHES
All shrub planting areas shall be top dressed with 7/8" Santa Fe Brown Rock Mulch. 2" - 4" Ironstone Cobble will be used as an accent mulch in certain areas.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be sized and designed to sufficiently irrigate turf areas and tree, shrub and groundcover planting areas.

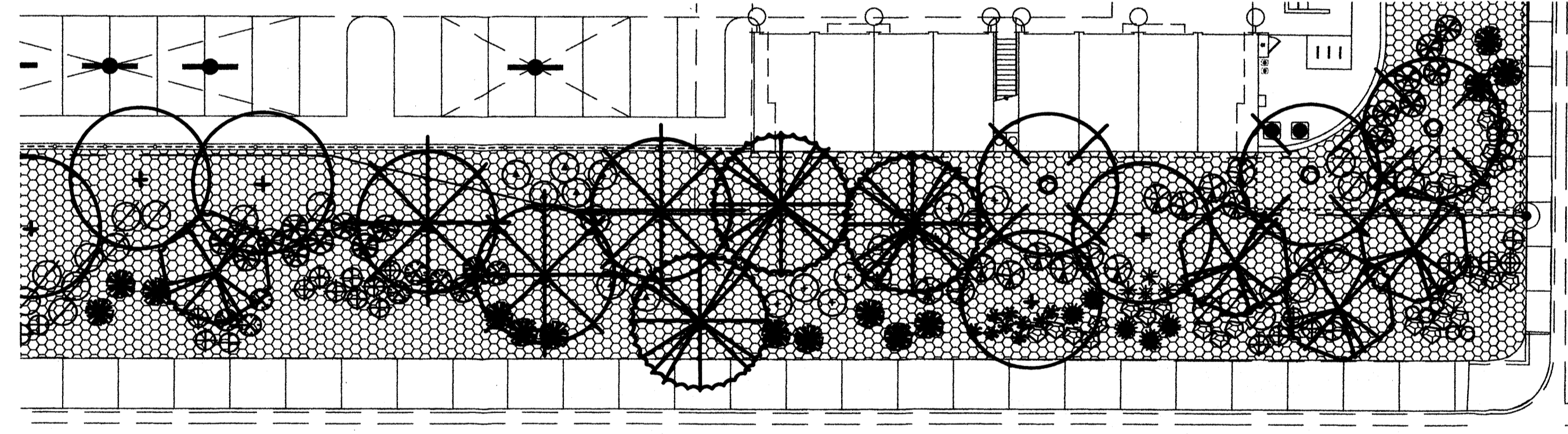
MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for Broadstone Towne Center shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area (see Park Blend Sod under Landscape Palette).

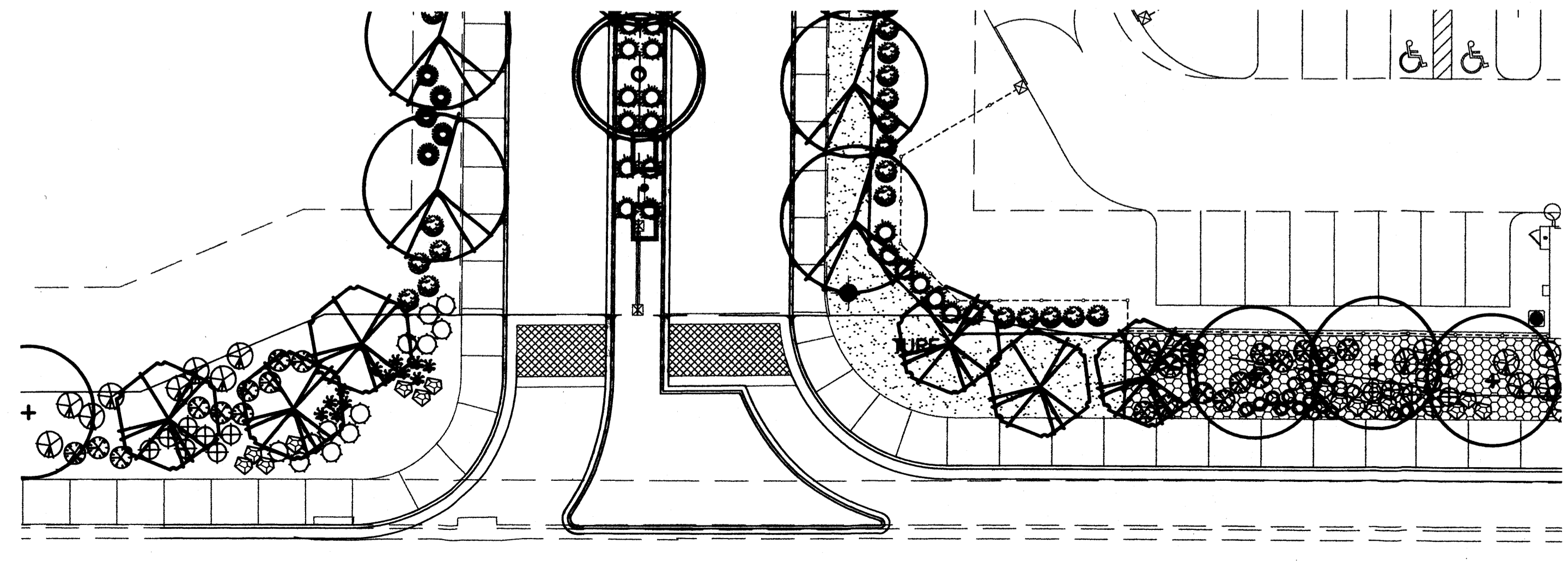
Note: landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutterform) will not be acceptable in this area.

LANDSCAPE PALETTE

Qty	Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
Trees					
28	⊗	Chitalpa tashkentensis 'Pink Dawn' Chitalpa	2" B&B	20' x 25' Low+	
21	⊗	Koeirouteria paniculata Goldenrain Tree	2" B&B	25' x 25' Medium	
19	⊗	Pistacia chinensis Chinese Pistache	2" B&B	60' x 60' Medium	
13	⊗	Pinus nigra Austrian Pine	8" B&B	35' x 25' Medium	
6	⊗	Quercus fusiformis Escarpment Live Oak	2" B&B	25' x 25' Medium	
11	⊗	Robinia x ambigua Purple Robe Locust	2" B&B	40' x 30' Medium	
14	⊗	Celtis pallida Desert Hackberry	2" B&B	40' x 40' Low	
6	⊕	Vitex agnus-castus Chaste Tree	15 Gal.	20' x 20' Medium	
5	⊗	Chilopsis linearis Desert Willow	2" B&B	20' x 25' Low+	
7	⊗	Prosopis velutina Velvet Mesquite	5 Gal.	20' x 25' Low	
Shrubs/Groundcovers					
	○	Artemesia X Powis Castle Powis Castle Sage	1 Gal.	24" x 48" Low +	
	⊗	Caryopteris clandonensis Blue Mist	5 Gal.	48" x 48" Medium	
	⊗	Chrysothamnus nauseosus Chamisa	5 Gal.	60" x 60" Low	
	⊗	Cytisus x 'Lena' Lena's Broom	1 Gal.	36" x 42" Low +	
	⊗	Ericameria laricifolia Dwarf Turpentine Bush	1 Gal.	36" x 48" Low +	
	⊗	Erysimum linifolium Wallflower Bowles' Mauve	5 Gal.	24" x 36" Medium	
	⊗	Fallugia paradoxa Apache Plume	5 Gal.	60" x 60" Low	
	⊗	Mahonia aquifolium 'Compacta' Compact Oregon Grape	5 Gal.	24" x 36" Medium	
	⊗	Perovskia atriplicifolia Russian Sage	1 Gal.	60" x 60" Medium	
	⊗	Buddleia 'Lochinch' Lavender Butterfly Bush	5 Gal.	48" x 36" Medium	
	⊗	Raphiolepis indica India Hawthorn	5 Gal.	36" x 48" Medium	
	⊗	Rhus trilobata Three-leaf Sumac	5 Gal.	24" x 60" Low+	
	⊗	Rosmarinus officinalis Prostrate Rosemary	5 Gal.	24" x 60" Low+	
	⊕	Salvia greggii Cherry Sage	5 Gal.	36" x 36" Medium	
	○	Verbena rigida Sandpaper Verbena	1 Gal.	12" x 48" Low	
	○	Ornamental Grasses Helictotrichon sempervirens Blue Avena Grass	1 Gal.	24" x 12" Medium	
	●	Muhlenbergia capillaries 'Regal Mist' Muhly Grass	5 Gal.	36" x 36" Medium	
	*	Nassella tenuissima Threadgrass	1 Gal.	24" x 24" Low+	
	☀	Accents Dasylirion wheeleri Sotol	5 Gal.	48" x 48" Low+	
	*	Hesperaloe parviflora Red/Yellow Flowering Yucca	1 Gal.	36" x 48" Low+	
	●	Nolina microcarpa Beargrass	5 Gal.	60" x 60" Low+	
	⊞	Park Blend Sod (40% Tall Fescue, 40% Perennial Rye, 20% Kentucky Bluegrass Sod)			
	▨	Seasonal Annuals			
	⊞	Cobble Mulch 2"-4" Ironstone Cobble			
	⊞	Moss Rock Boulders (3" average diameter)			



TYPICAL LANDSCAPE TREATMENT ALONG GIBSON BOULEVARD
SCALE: 1" = 20'

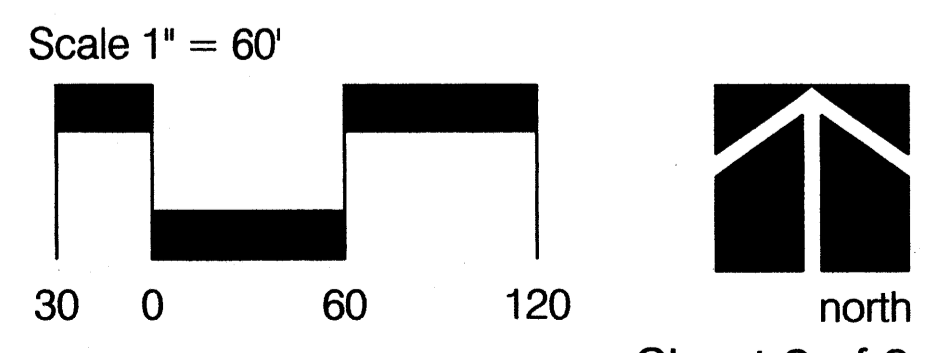


TYPICAL LANDSCAPE TREATMENT AT GIBSON BOULEVARD ENTRY DRIVE
SCALE: 1" = 20'

LANDSCAPE PLAN
BROADSTONE
TOWNE CENTER

Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 85016

Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC
High Mesa Consulting Group



October 4, 2007
October 23, 2012



BROADSTONE TOWNE CENTER DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The Design Standards shall be used to facilitate the design of buildings which respect the existing site conditions and the character and land uses of the adjacent properties and neighborhoods.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Broadstone Towne Center. These standards address future commercial projects.

Subsequent Site Plans for Building Permits shall be consistent with the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

A. SITE PLANNING

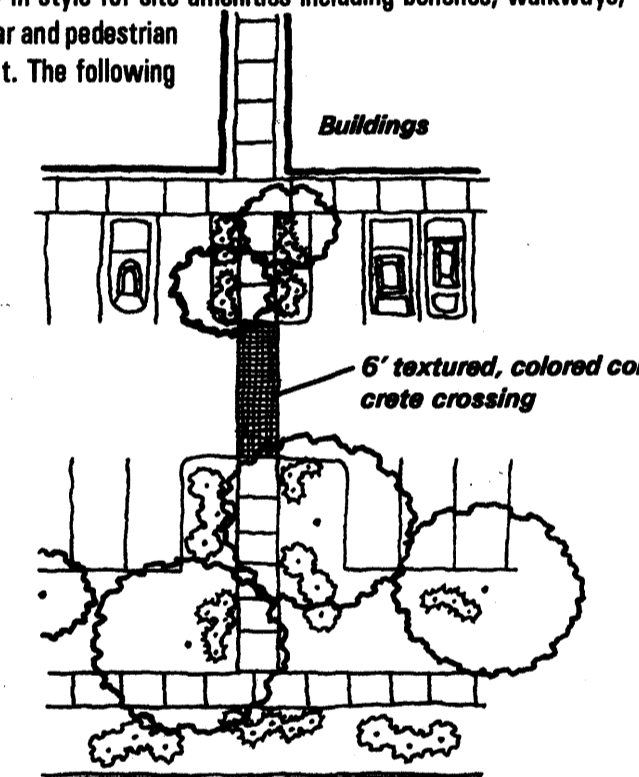
The following standards address the design of outdoor spaces within the commercial areas of Broadstone Towne Center:

- 1) Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- 2) Commercial development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- 3) Each commercial parcel developer shall be required to provide a minimum outdoor plaza space of 300 sf. This area shall have a minimum of 25% shading, provided by a trellis, trees, or umbrellas. Each developer is responsible for providing pedestrian walkways around the building(s) and connecting the plaza area to adjacent developments.
- 4) Drive-up and pick-up windows shall be oriented away from pedestrian areas and residentially zoned areas in accordance with Section 14-16-3-18(D)(6) of the Zoning Code. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard and located a minimum of 75 feet from residential uses.

B. PEDESTRIAN CIRCULATION

The goal for this property is to maintain a high quality and consistency in style for site amenities including benches, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems in order to provide a safe and pleasant environment. The following standards are intended to meet these goals:

- 1) All pedestrian pathways through Broadstone shall be built to City standards.
- 2) The walkway beginning at Gibson Boulevard and running north-south through the site, as well as the walkway running east-west along the internal access roadway, shall be 8 feet wide.
- 3) All pedestrian paths shall be designed to be handicapped-accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design), except where topography makes this unfeasible.
- 4) Pedestrian connections to buildings shall be provided in parking lots with greater than 50 spaces and shall connect to adjacent roadways, sidewalks, and pathways.
- 5) Pedestrian crossings shall be a minimum of 8 feet wide and clearly demarcated with textured, colored concrete where they cross vehicular entrances and drive aisles.



PARKING - pedestrian crossings will be provided between parking areas and buildings

C. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. The intent is to minimize the visual impact of parking facilities. In order to lessen the visual impact, parking facilities shall be broken up into a series of smaller areas as feasible. In addition, the following guidelines shall be applied to parking area design:

- 1) Handicapped parking spaces shall be provided adjacent to building entries.
- 2) Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- 3) Parking areas shall be designed to include a pedestrian link to buildings.
- 4) Off-street parking areas shall be located to the rear or sides of buildings.
- 5) In cases where parking is adjacent to roadways, landscaping for screening purposes shall be required. Screening walls shall be architecturally compatible with the surrounding buildings.
- 6) Off-street parking requirements:
 - Retail and financial businesses shall be required to have five parking spaces per 1,000 sf of leased building area.
 - Sit down restaurants shall have 15 spaces per 1,000 sf of building area. Fast food restaurants shall have 10 spaces per 1,000 sf of building area.
 - One bicycle parking space shall be provided for every 20 parking spaces for cars.
 - Motorcycle parking for each of the commercial parcels shall be per Section 14-16-3-1 Off-Street Parking Regulations of the Comprehensive City Zoning Code.

D. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms and/or walls.

- 1) Building setbacks for the commercial parcels include:
 - Gibson and University: 20 foot minimum
 - Internal roads: 10 foot maximum, 0 foot minimum
 - Internal side yards: 5 foot minimum

E. LANDSCAPE

The development of an overall landscape concept shall establish a framework that unifies the property and is appropriate for the nearby neighborhoods. The landscape design emphasizes low and medium water use plant materials. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies.

The following are minimum standards for the development of specific landscape plans:

- 1) These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.
- 2) Street trees shall be provided along roadways at a rate of one tree per 30 linear feet. They may be randomly or regularly placed.
- 3) The developer/owner will be responsible for the installation and maintenance of the landscape on their property. All plant material, including street trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the property owner in a living, attractive condition.
- 4) A minimum of 15 percent of the site area for commercial projects (minus the building square footage) shall be devoted to landscape materials.
- 5) Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- 6) All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- 7) Landscape headers shall be used to separate any turf and groundcover areas.
- 8) To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 9) 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- 10) An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- 11) Minimum plant sizes at time of installation shall be as follows:

Trees	1 1/2 inch caliper, or 10 to 12 feet in height
Shrubs & Groundcovers	1 gallon

 Turf grasses shall provide complete ground coverage within 1 growing season after installation.



PEDESTRIAN AREAS - should include shade trees

F. ARCHITECTURE

The architectural design is intended to demonstrate a high quality aesthetic character throughout the property and shall respond to climate, views, solar access, and aesthetic considerations.

COMMERCIAL ARCHITECTURAL STYLE

The general architectural character for retail structures is to follow the mission style theme of the residential portions of the development. A concept elevation study for a small retail shops building is provided to illustrate the desired mission style architectural theme. Retail structures may be pitched or flat roofed. Pitched roof elements shall be roofed with the mission style tile units described in the color palette. Portals (covered walkways) and other building appendages may be roofed with mission style units. These roofs shall be shed type with the high point abutting the main building wall below the top of the parapet. Cornice treatment is to be used at top of parapet walls and at eaves of pitched roof elements.



The following are minimum architectural standards for the commercial development:

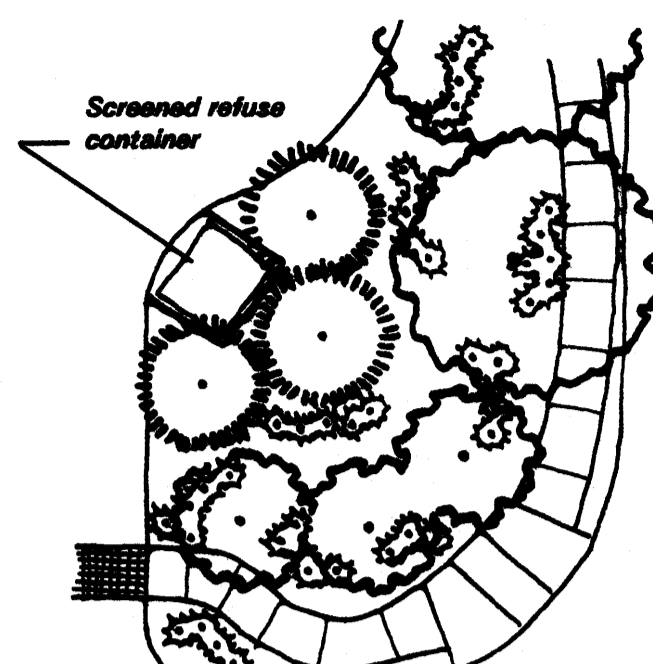
- 1) Maximum building height is limited to 40 feet. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.
- 2) Commercial buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- 3) Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed the allowable sign area of building wall. Illumination of awnings shall be from pendant mounted fixtures located above the awning. Accent colors on awnings shall be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.
- 4) Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.
- 5) No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings shall be made of cloth.
- 6) Entryways to commercial buildings shall be clearly defined.
- 7) No freestanding cell towers or antennas are allowed; rather antenna shall be integrated with the building architecture.
- 8) Roofs may be flat, pitched (tile), or a combination of both and shall be made of non-reflective materials. Roof tile color shall be terra-cotta blend. Building finish will be stucco and color shall be taupe or sand; trim shall be brown.
- 9) Generic franchise architecture is prohibited.

G. SCREENING / BUFFERING

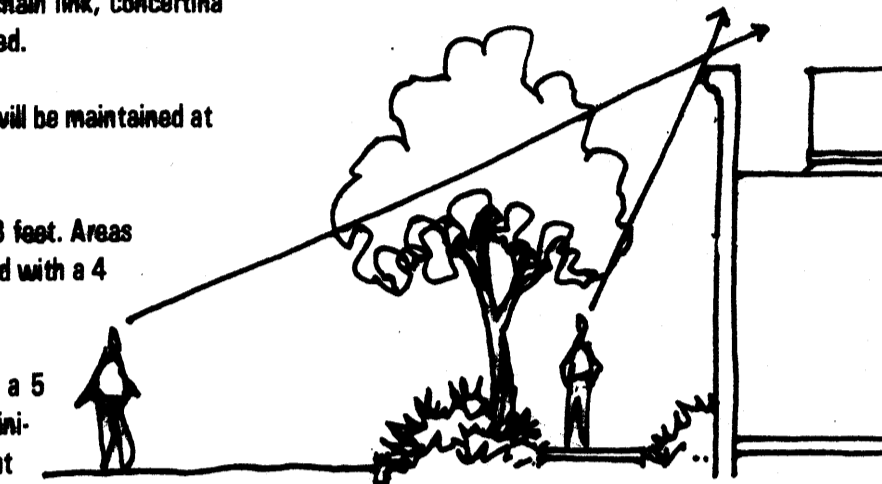
The effective use of screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and mechanical equipment is essential to limit their adverse visual impact on the property. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

Perimeter fencing is allowed on the property; however, the site designer shall lessen its visual impact through landscaping, meandering within a landscape area, or providing openings. Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls or these Design Standards as specified below.

- 1) All mechanical/roof-top equipment shall be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical equipment can be observed from the residential area, horizontal screening per the conceptual sketch is required. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- 2) Service areas such as refuse locations and compactors shall be screened from the view of the adjacent residential area, and public rights-of-way. Refuse enclosures shall be gated. Screening material shall match building wall color and material.
- 3) Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- 4) Clear sight distances for safety purposes will be maintained at all driveway locations.
- 5) The maximum height of retaining walls is 8 feet. Areas requiring greater retaining shall be terraced with a 4 foot horizontal separation between walls.
- 6) Drive-up windows shall be screened with a 5 foot high opaque wall and 5 foot wide (minimum) landscape area with evergreen plant materials on the pedestrian or residential side. A berm of the same height as the wall may be provided in lieu of the wall.



REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials



MECHANICAL SCREENING - should be screened from public view

H. LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- 1) All lighting shall comply with Section 14-16-3-8, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- 2) Site lighting for pad structures is to match the site lighting provided for the main commercial parking area.
- 3) Commercial parking area lighting shall not exceed 20 feet from the top of the pole to finished grade. Parking lot lights within 100 feet of residential areas shall be a maximum of 16 feet high from finished grade to the top of the pole.
- 4) Exposed, unshielded light fixtures are prohibited. All lamps shall be full cut-off fixtures with down lighting only.
- 5) Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- 6) The location of light fixtures shall be identified on subsequent Site Plans for Building Permit.
- 7) Area lighting shall be restricted to a maximum off-site luminance of 1,000 foot-lamberts from any point and maximum of 200 foot-lamberts from any residential property line.
- 8) Accent lighting is permitted, however surface lighting is limited to an average of 2 foot-candles measured 4 feet from the surface level of any point on the building surface being illuminated. Building-mounted lights must point downward. Up-lighting is prohibited.

I. UTILITIES

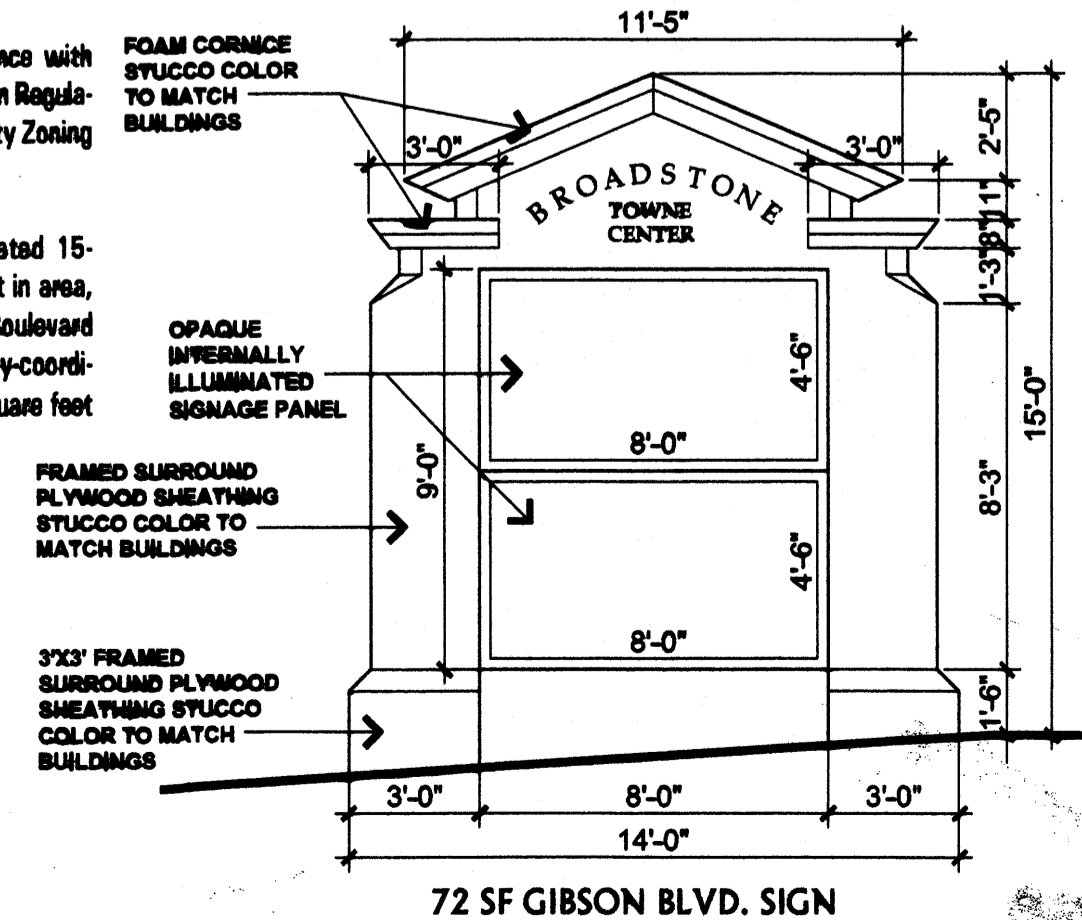
To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- 1) Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- 2) When an above-ground back flow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

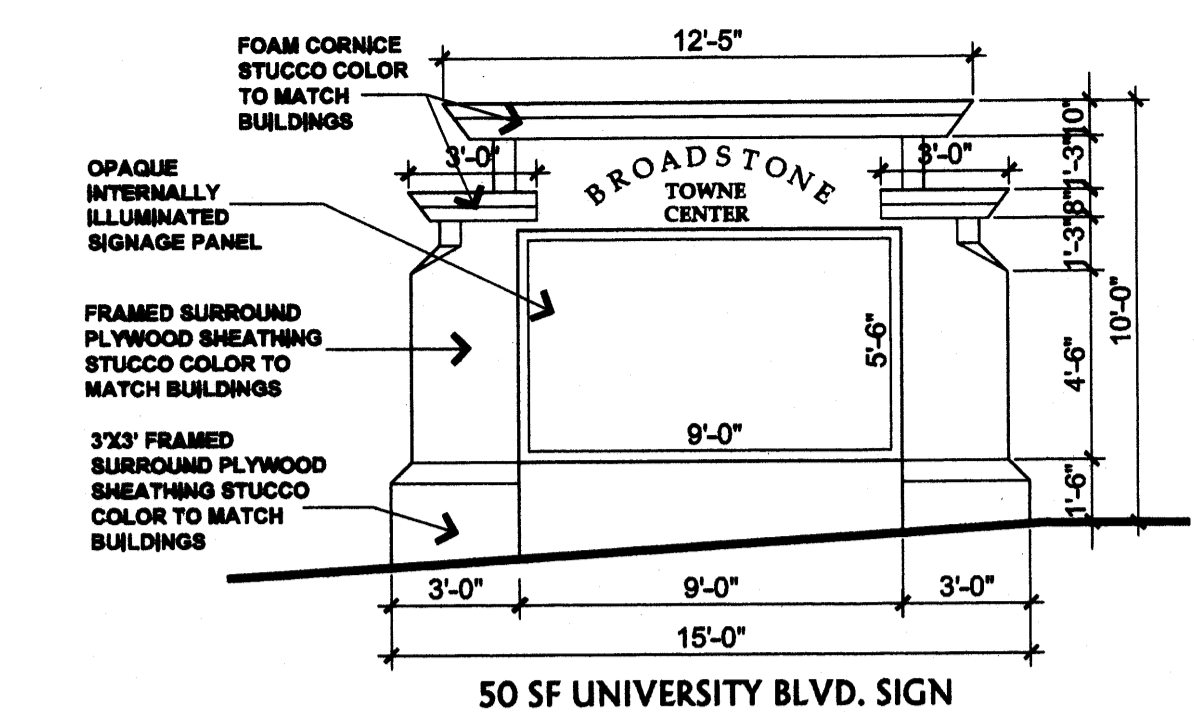
J. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within the Broadstone Towne Center. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

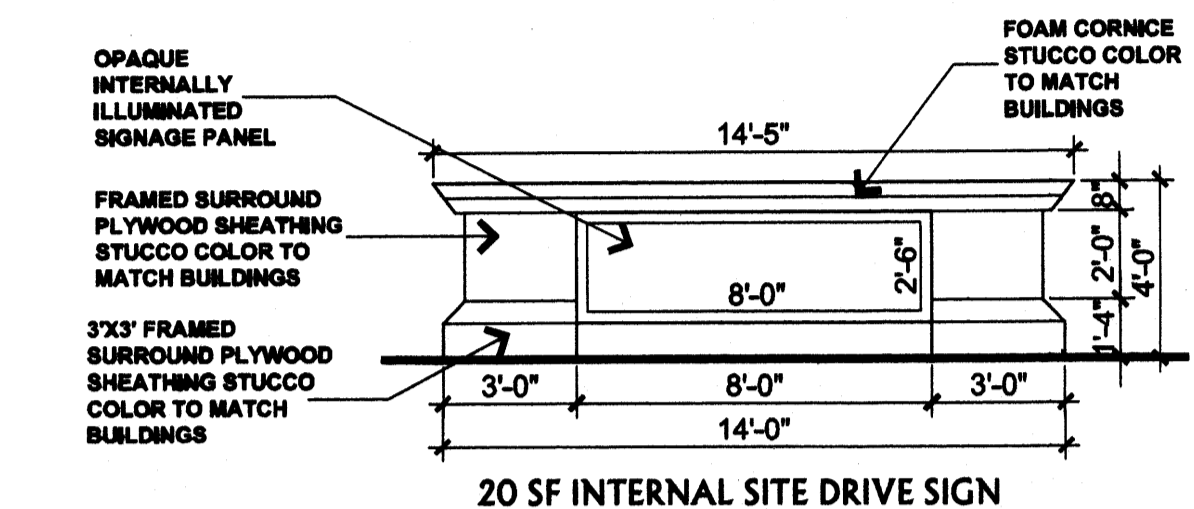
- 1) All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code.
- 2) Two architecturally-coordinated 15-foot tall signs, 72 square feet in area, are allowed for the Gibson Boulevard frontage. One architecturally-coordinated 10-foot tall sign, 50 square feet in area, is allowed on the University Boulevard frontage. Each building pad is permitted to have one 20 square foot monument sign adjacent to the internal site drive.



72 SF GIBSON BLVD. SIGN



50 SF UNIVERSITY BLVD. SIGN



20 SF INTERNAL SITE DRIVE SIGN

- 3) All building-mounted signage shall be individual type lettering not to exceed 8 percent of each building elevation facade.

All signs shall be of individual letters. The following types of letters are acceptable:

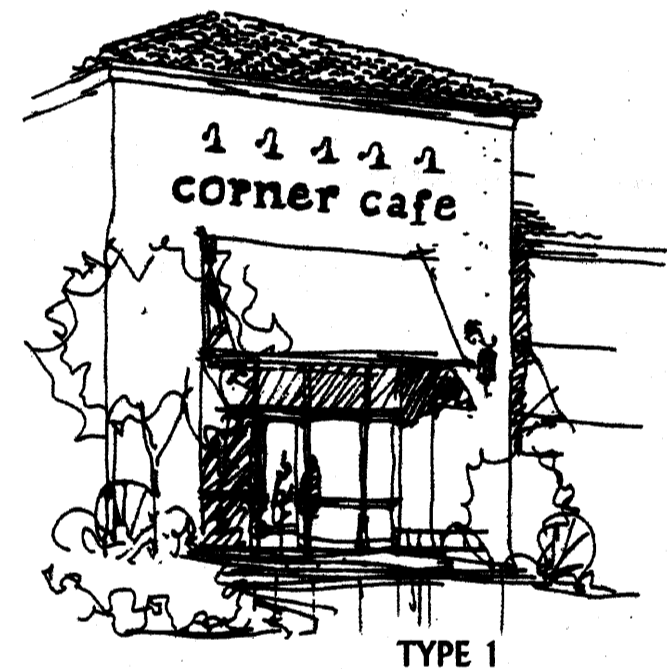
Type 1: Opaque lettering indirectly illuminated by goose neck type lighting

Type 2: Channel letters internally illuminated with letter sides to match letter face colors

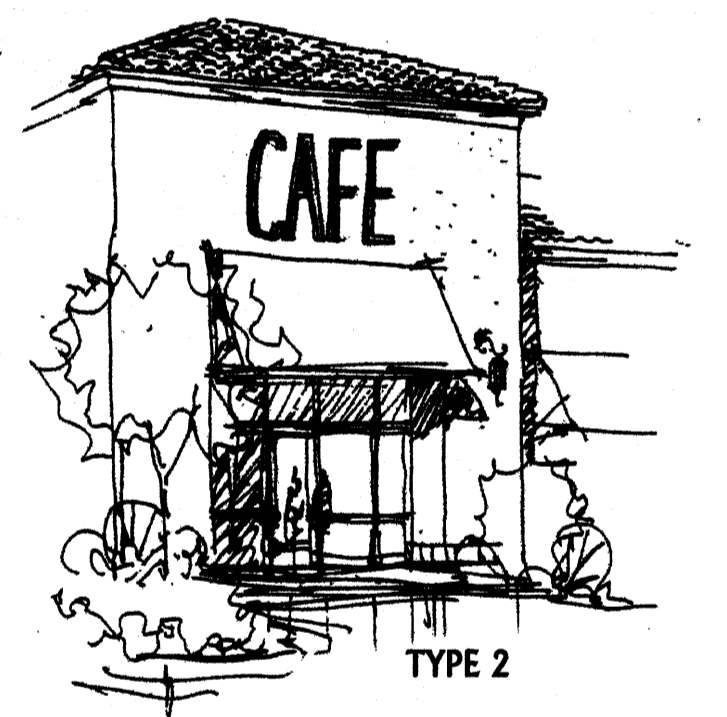
Type 3: Same as 2 except halo lit

Type 4: halo lit letters cut out of solid metal background spaced off the face of the building

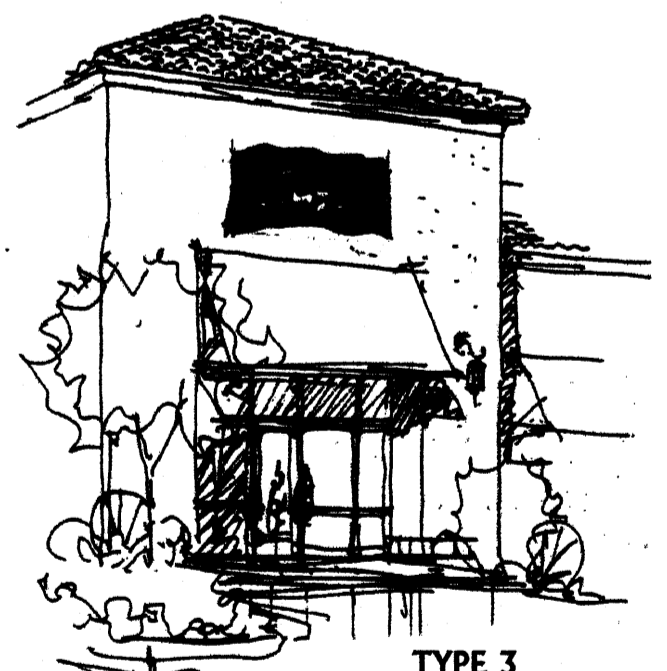
Can type signs are prohibited. Any special logos associated with a specific tenant shall be provided in a non-illuminated fashion for specific approval.



TYPE 1



TYPE 2



TYPE 3

BUILDING-MOUNTED SIGNS

SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 8501

Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
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October 4, 2007

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