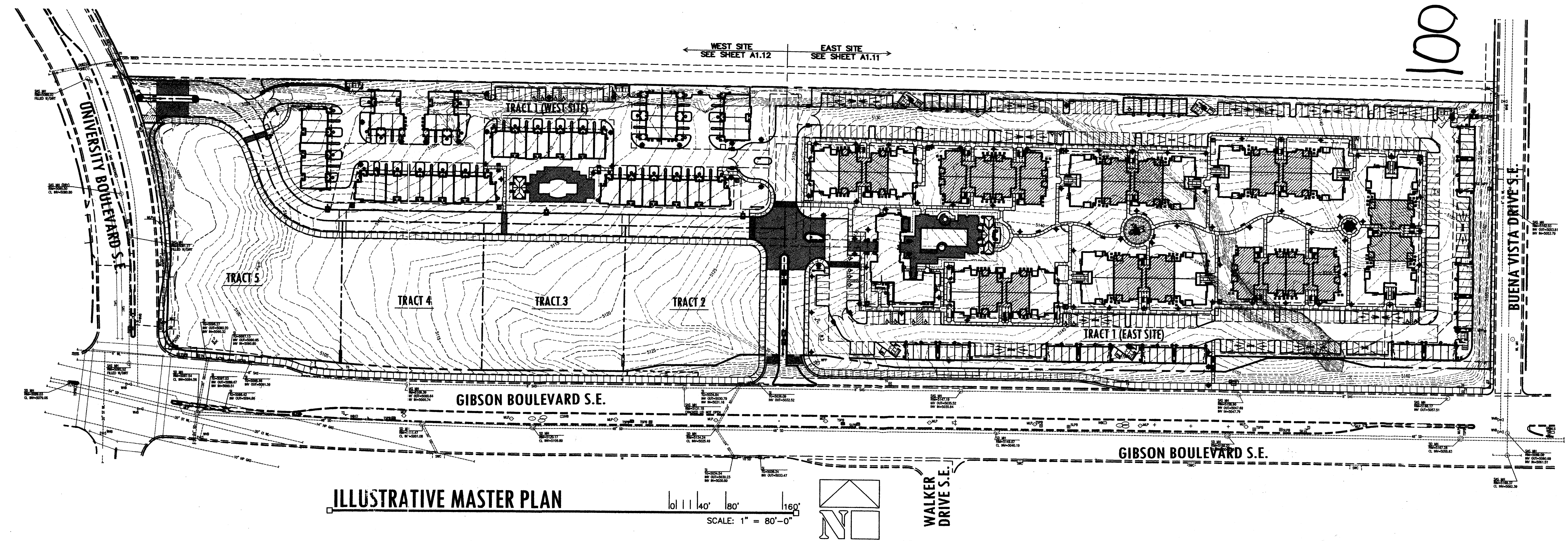


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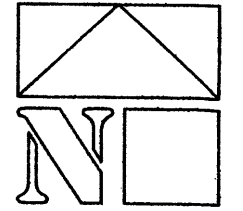


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ILLUSTRATIVE MASTER PLAN

SCALE: 1" = 80'-0"



WALKER DRIVE S.E.

SHEET INDEX

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- A1.11 EAST SITE PLAN / GARDEN STYLE APTS
- A1.12 WEST SITE PLAN / TOWNHOME STYLE APTS
- A1.20 SITE PLAN DETAILS
- A2.10 EAST SITE - REC/OFFICE BUILDING ELEVATIONS
- A2.11 EAST SITE - BUILDING TYPE 1 ELEVATIONS
- A2.12 EAST SITE - BUILDING TYPE 2 ELEVATIONS
- A2.13 EAST SITE - BUILDING TYPE 3 ELEVATIONS
- A2.14 EAST SITE - BUILDING TYPE 4 ELEVATIONS
- A3.2.12 WEST SITE - BUILDING 1 ELEVATIONS
- A3.2.23 WEST SITE - BUILDING 2 ELEVATIONS
- A3.2.32 WEST SITE - BUILDING 3 ELEVATIONS
- A3.2.43 WEST SITE - BUILDING 4 ELEVATIONS
- A3.2.52 WEST SITE - BUILDING 5 & 7 ELEVATIONS
- A3.2.53 WEST SITE - BUILDING 6 ELEVATIONS
- A3.2.73 WEST SITE - BUILDING 8 ELEVATIONS
- C1.10 EAST SITE - PRELIMINARY GRADING PLAN
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- C2.10 EAST SITE - CONCEPTUAL UTILITY PLAN
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- LP-1 LANDSCAPE PLAN
- LP-2 LANDSCAPE PLAN
- LP-3 LANDSCAPE PLAN
- LP-4 LANDSCAPE PLAN
- LP-5 LANDSCAPE CALCULATIONS
- LP-6 LANDSCAPE CALCULATIONS
- LD-1 DETAILS
- LD-2 DETAILS

DEVELOPMENT DATA

NET SITE AREA:

TRACT 1 (APARTMENTS)	12.2 ACRES (532,312 S.F.)
EAST SITE	8.7 ACRES (380,740 S.F.)
WEST SITE	3.5 ACRES (151,572 S.F.)
TRACT 2 (RETAIL)	0.98 ACRES (42,556 S.F.)
TRACT 3 (RETAIL)	0.94 ACRES (40,855 S.F.)
TRACT 4 (RETAIL)	0.93 ACRES (40,619 S.F.)
TRACT 5 (RETAIL)	1.68 ACRES (73,605 S.F.)

ZONING:

CURRENT: R-1
PROPOSED: TRACT 1 - "SU-1 PRD RESIDENTIAL"
TRACT 2, 3, 4 & 5 - "SU-1 FOR C-2"

BUILDING HEIGHT:

TRACT 1:
ALLOWED: 3/40 STORIES/FEET (BASED ON 10' SETBACK)

PROVIDED: 3/40 STORIES/FEET

DENSITY:

TRACT 1:
PROPOSED: 19.841 DU/ACRE 240 DU

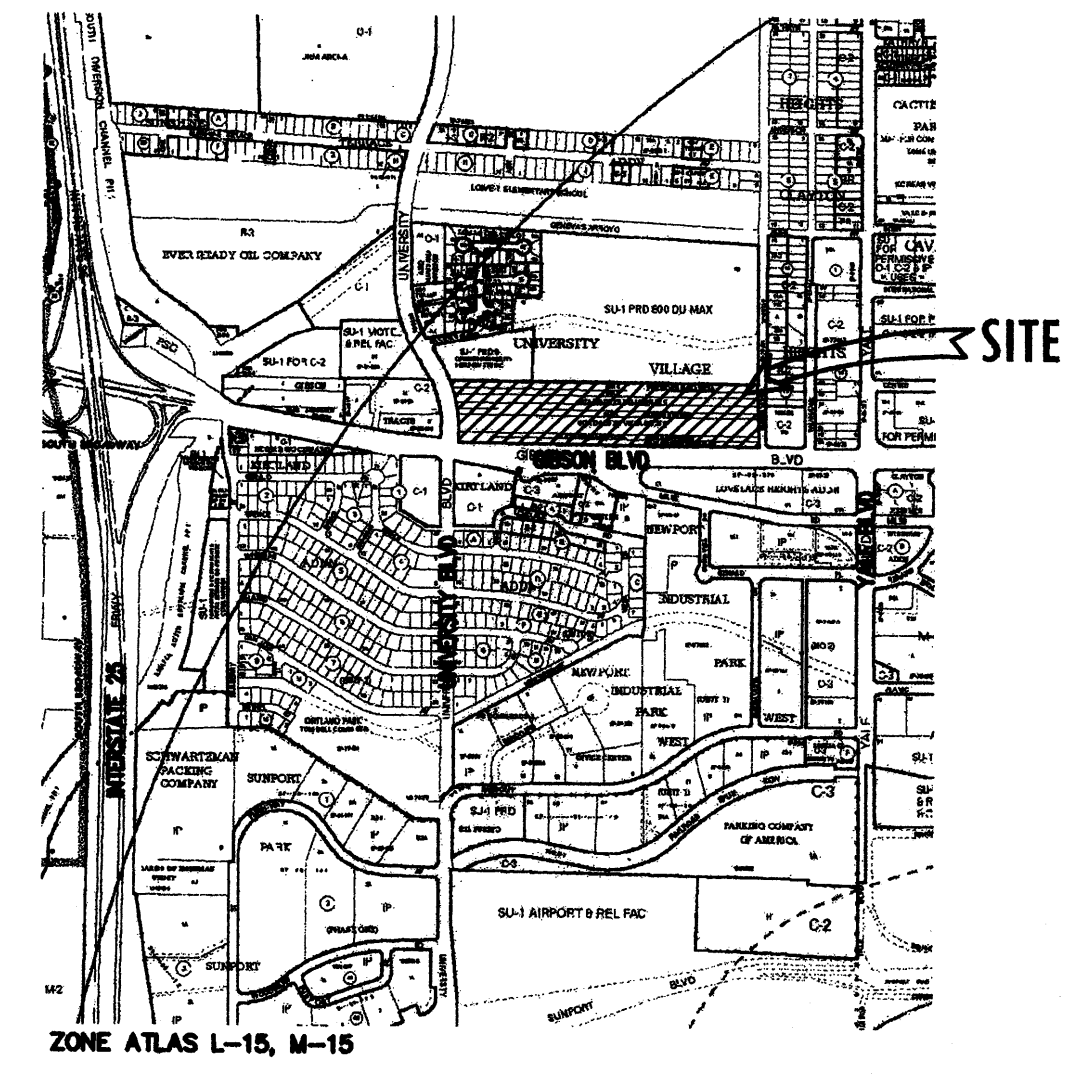
GENERAL NOTES:

- THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPLIES TO TRACT 1.
- EAST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
TYPE 1 - 20,821 SF TYPE 3 - 26,129 SF
TYPE 2 - 28,282 SF TYPE 4 - 3,798 SF
GARAGE - 1,876 SF REC/LEASING - 6,576 SF
- WEST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
BLDG 1 - 7,490 SF BLDG 5 - 7,725 SF
BLDG 2 - 19,540 SF BLDG 6 - 21,426 SF
BLDG 3 - 10,587 SF BLDG 7 - 7,725 SF
BLDG 4 - 18,805 SF BLDG 8 - 13,070 SF
- SHARE PRIVATE ACCESS PROVIDED BETWEEN ALL PARCELS PER PLAT.

SETBACKS PROVIDED:

EAST SITE:		SIDE (N)	REAR (E)	SIDE (S)	FRONT (W)
BUILDINGS		34'	25'	10'	NA
GARAGES		5'	NA	NA	NA
PARKING		6.5	30'	5'	NA

WEST SITE:		SIDE (N)	FRONT (E)	SIDE (S)	REAR (W)
BUILDINGS		10'	NA	NA	NA
PARKING		5'	NA	NA	NA



VICINITY MAP
NOT TO SCALE

PROJECT NUMBER: 1005243
Application Number: 06EPC-04593 07D26-7037

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 18, 2007 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

- | | |
|--|------------------|
| <i>[Signature]</i>
Traffic Engineering, Transportation Division | 10/31/07
Date |
| <i>[Signature]</i>
Water Utility Department | 10/31/07
Date |
| <i>[Signature]</i>
Parks and Recreation Department | 10/31/07
Date |
| <i>[Signature]</i>
City Engineer | 10/31/07
Date |
| N/A | |
| * Environmental Health Department (conditional) | Date |
| <i>[Signature]</i> (adjustments)
Solid Waste Management | 10/31/07
Date |
| <i>[Signature]</i>
ORB Chairperson, Planning Department | 10/31/07
Date |
| <i>[Signature]</i> | |

Contractor must verify all dimensions of project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other project, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.
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REVISIONS

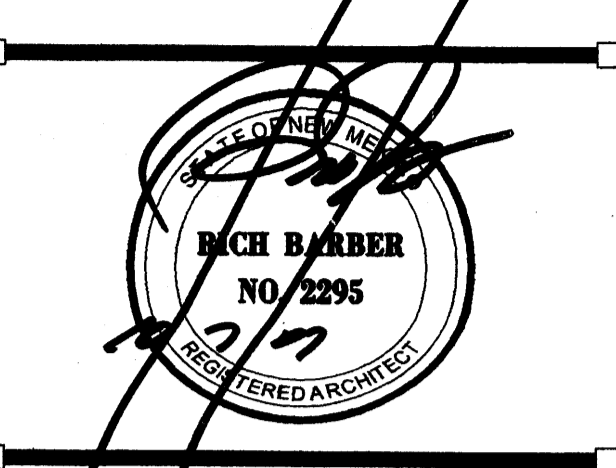
DATE: OCTOBER 08, 2007 ORB # 06-210

A1.10

ILLUSTRATIVE MASTER PLAN

BROADSTONE TOWNE CENTER

N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



Office of Rich Barber
Architecture, LLC

4530 North 40th Street
Phoenix, Arizona 85018
0:602-957-4530 F:602-957-4533
WorldHQ@ORBArch.com

EASEMENTS

- CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
- PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER, ALSO, A PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
- PUBLIC ROADWAY AND SIDEWALK EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT.
- CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY PLAT.
- 10' WEST CORPORATION EASEMENT TO BE GRANTED BY PLAT.
- 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
- 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270.
- 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2.
- LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 08-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007.

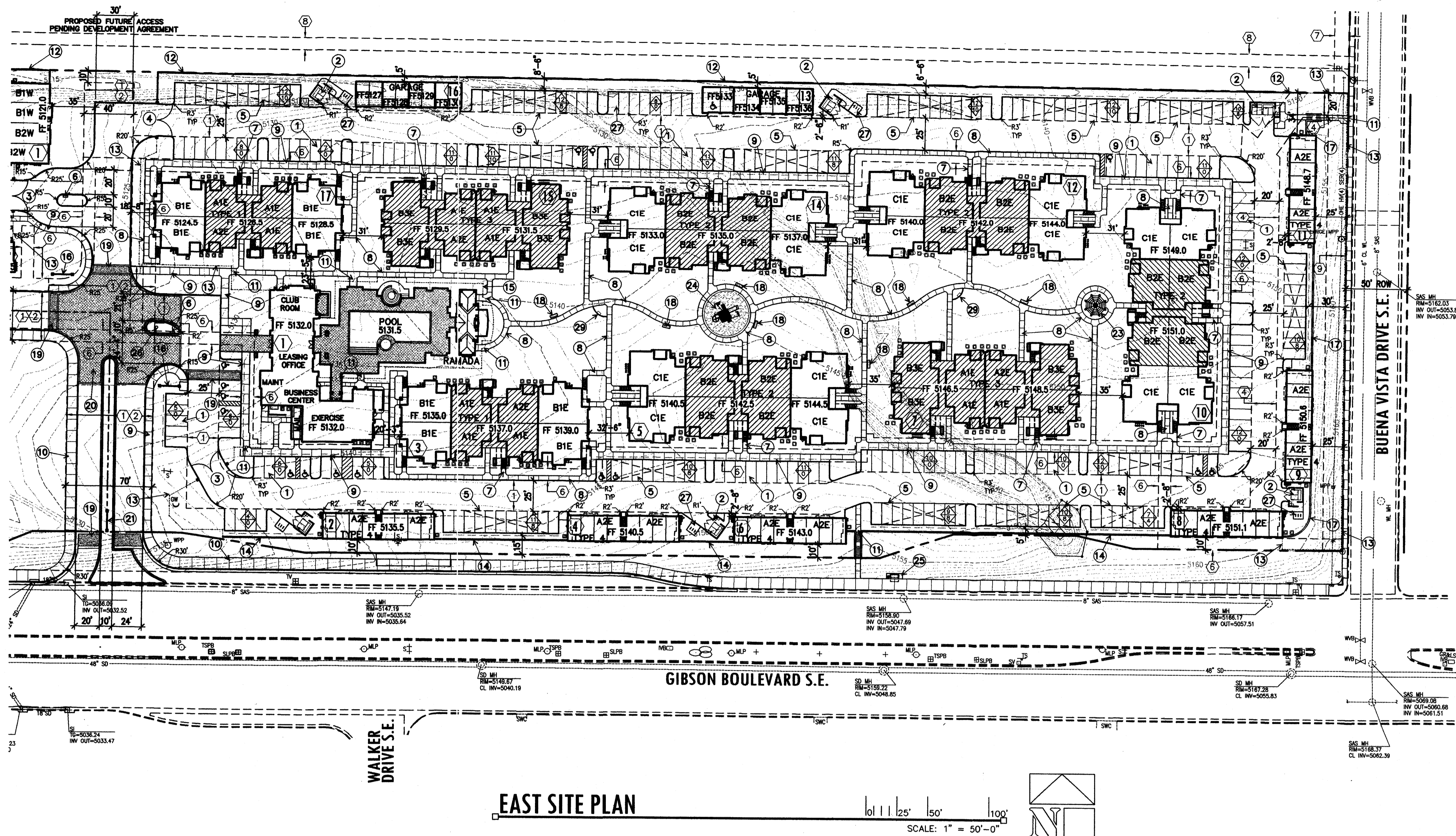
Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other project for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

REVISIONS

DATE: OCTOBER 08, 2007 ORB # 06-210

A1.11

SITE PLAN FOR BLDG. PERMITS
EAST SITE



LEGEND

- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- FIRE HYDRANT
- ◇ NO. OF PARKING SPACES
- ◇ NO. OF COVERED SPACES
- ♿ DENOTES ACCESSIBLE PARKING

LIGHTING LEGEND

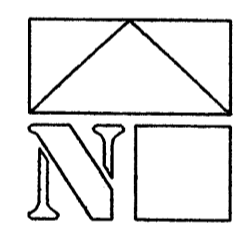
- SINGLE HEAD POLE MOUNTED FIXTURE, POLE MOUNTED AT +15' A.F.F.
- ◆ LOUVERED BOLLARD FIXTURE
- ♀ WALL MOUNTED FIXTURE, WALL MOUNTED AT +12' A.F.F.
- ♂ POLE MOUNTED FIXTURE, POLE MOUNTED AT +8' A.F.F.
- COVERED PARKING LIGHT FIXTURES 4' FLUORESCENT.
- ⊕ TRANSFORMER LOCATION.

KEYNOTES

- 8.5'x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL
- TRASH ENCLOSURE, SURROUNDED BY 6" CMU WALL, PAINT TO MATCH BUILDING, SEE DET. 1/A1.20
- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DET. A/LD-2
- RESIDENT ONLY REMOTE CONTROL ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DET. A/LD-2
- CARPORIT PARKING STRUCTURE.
- GATE CONTROL BOX.
- 3'-6" SIDEWALK AT STAIRS, TYPICAL.
- 4'-0" SIDEWALK.
- 6'-0" SIDEWALK.
- 8'-0" SIDEWALK.
- PEDESTRIAN GATE, SEE DET. C/LD-1
- PERIMETER MASONRY WALL (6' HT), SEE DET. B, C, D/LD-2
- PERIMETER FENCE, SEE DET. F/LD-1
- PERIMETER FENCE ON WALL, SEE DET. G/LD-2 F/LD-1
- POOL FENCE, SEE LANDSCAPE PLANS.
- INTERIOR PROJECT SIGN, LIMITED TO 16 FEET IN HEIGHT AND 24 S.F. OF SIGN FACE AREA, SEE DETAILS A, B/LD-1
- RETAINING WALL.
- BENCH.
- PEDESTRIAN CROSSING SHALL BE AT LEAST 6 FEET WIDE AND SHALL BE OF TEXTURED, COLORED CONCRETE.
- ENHANCED PAVING SHALL BE DEFINED AS TEXTURED, COLORED CONCRETE.
- MONUMENT SIGN, LIMITED TO 10 FEET IN HEIGHT AND 50 S.F. OF SIGN FACE AREA.
- MONUMENT SIGN, LIMITED TO 15 FEET IN HEIGHT AND 72 S.F. OF SIGN FACE AREA.
- OUTDOOR SHADE STRUCTURE WITH BENCH.
- CHILD'S PLAY AREA.
- BUS SHELTER PER CITY OF ALBUQUERQUE DRAWING 2535.04 WITH BENCH AND TRASH CAN.
- FLAG POLE.
- BICYCLE PARKING RACK FOR 8 BICYCLES.
- POLE MOUNTED CHARCOAL BBQ.
- BBQ LOCATION.

EAST SITE PLAN

SCALE: 1" = 50'-0"



DEVELOPMENT DATA

NET SITE AREA:

TRACT 1 (APARTMENTS)	12.2 ACRES (532,312 S.F.)
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WEST SITE	3.5 ACRES (151,572 S.F.)
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TRACT 3 (RETAIL)	0.94 ACRES (40,855 S.F.)
TRACT 4 (RETAIL)	0.93 ACRES (40,619 S.F.)
TRACT 5 (RETAIL)	1.69 ACRES (73,605 S.F.)

ZONING:

CURRENT: R-1
PROPOSED: TRACT 1 - "SU-1 PRD RESIDENTIAL"
TRACT 2, 3, 4 & 5 - "SU-1 FOR C-2"

BUILDING HEIGHT:

TRACT 1: 3/40 STORIES/FEET
ALLOWED: (BASED ON 10' SETBACK)
PROVIDED: 3/40 STORIES/FEET

DENSITY:

TRACT 1: 19.641 DU/ACRE 240 DU

- GENERAL NOTES:**
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GARAGE - 1,876 SF RIC/LEASING - 6,576 SF
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BLDG 2 - 19,540 SF BLDG 6 - 21,426 SF
BLDG 3 - 10,587 SF BLDG 7 - 7,725 SF
BLDG 4 - 18,805 SF BLDG 8 - 13,070 SF
 - SHARE PRIVATE ACCESS PROVIDED BETWEEN ALL PARCELS PER PLAT.

SETBACKS PROVIDED:

EAST SITE:		SIDE (N)				REAR (E)				SIDE (S)				FRONT (W)			
BUILDINGS	34'	25'	10'	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		
GARAGES	5'	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		
PARKING	6.5	30'	5'	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		

WEST SITE:		SIDE (N)				FRONT (E)				SIDE (S)				REAR (W)			
BUILDINGS	10'	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		
PARKING	5'	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		

EAST SITE UNIT MIX

LIVABLE STORAGE PAT/BAL	UNIT TYPE							UNITS/BLDG	NO. BLDGS	TOTAL UNITS	
	A1E	A2E	A3E	B1E	B2E	B3E	C1E				
BLDG TYPE 1	741	741	777	1,070	1,053	1,036	1,305	20	2	40	
BLDG TYPE 2	23	23	21	25	21	23	23	8	20	4	80
BLDG TYPE 3	9	3	2	12	12	12	12	24	2	48	
BLDG TYPE 4	68	68	65	60	63	60	70	2	8	12	
TOTAL	36	12	12	16	48	24	32		14	180	

WEST SITE UNIT MIX

LIVABLE STORAGE PAT/BAL	UNIT TYPE				UNITS/BLDG	NO. BLDGS	TOTAL UNITS
	A1W	B1W	B2W	C1W			
BLDG 1	868	1,231	1,231	1,532	4	1	4
BLDG 2	4	4	4	2	10	1	10
BLDG 3	8	6	4	10	10	1	10
BLDG 4	3	2	2	5	5	1	5
BLDG 5	4	5	2	11	11	1	11
BLDG 6	3	2	2	5	5	1	5
BLDG 7	4	3	3	7	7	1	7
TOTAL	14	24	18	4		8	60

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

SITE	SF REQ. PER DU	# OF TOTAL SF REQUIRED	TOTAL SF PROVIDED
EAST SITE			
1 BEDROOM	200	60	12,000
2 BEDROOM	250	88	22,000
2 BEDROOM	300	32	9,600
SUBTOTAL			43,600
WEST SITE			
1 BEDROOM	200	14	2,800
2 BEDROOM	250	42	10,500
2 BEDROOM	300	4	1,200
SUBTOTAL			14,500
BALCONIES (east & west site)			16,140
TOTAL (excess of 152,243 SF)	240	58,100	210,343

BICYCLE PARKING REQUIREMENTS:

REQUIRED: 1 BICYCLE FOR EVERY 2 DWELLING UNITS

EAST SITE

REQUIRED: 180 / 2 = 90 SPACES

PROVIDED:

GARAGE: 63
BICYCLE RACK: 30
TOTAL: 93 SPACES

WEST SITE

REQUIRED: 60 / 2 = 30 SPACES

PROVIDED:

GARAGE: 60
BICYCLE RACK: -
TOTAL: 60 SPACES

PARKING SPACE REQUIREMENTS

EAST SITE	UNIT	PARKING RATIO REQUIRED	PARKING SPACES	
				NO. OF UNITS
EAST SITE	UNIT A1E < 1,000 SF	36 - 1 BR / 1 BATH	1.5 / 1	54
	UNIT A2E < 1,000 SF	12 - 1 BR / 1 BATH	1.5 / 1	18
	UNIT A3E < 1,000 SF	12 - 1 BR / 1 BATH	1.5 / 1	18
	UNIT B1E > 1,000 SF	16 - 2 BR / 2 BATH	2 / 2	32
	UNIT B2E > 1,000 SF	48 - 2 BR / 2 BATH	2 / 2	96
	UNIT B3E > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2	48
	UNIT C1E > 1,000 SF	32 - 3 BR / 2 BATH	2 / 2	64
	Total Parking Spaces Required			330
	OPEN PARKING PROVIDED			163
	CARPORIT PARKING PROVIDED			118
GARAGE PARKING PROVIDED			63	
Total Parking Provided			344	
Accessible Parking Required				
OPEN ACCESSIBLE PARKING PROVIDED			12	
CARPORIT ACCESSIBLE PARKING PROVIDED			8	
GARAGE ACCESSIBLE PARKING PROVIDED			3	
Total Accessible Parking Provided			12	
WEST SITE				
WEST SITE	UNIT A1W < 1,000 SF	14 - 1 BR / 1 BATH	1.5 / 1	21
	UNIT B1W > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2	48
	UNIT B2W > 1,000 SF	18 - 2 BR / 2 BATH	2 / 2	36
	UNIT C1W > 1,000 SF	4 - 3 BR / 3 BATH	2 / 3	12
Total Parking Spaces Required			117	
OPEN PARKING PROVIDED			20	
GARAGE PARKING PROVIDED			60	
TANDEM GARAGE PARKING PROVIDED			46	
Total Parking Provided			126	
Accessible Parking Required				
OPEN ACCESSIBLE PARKING PROVIDED			8	
Total Accessible Parking Provided			8*	

* 4 ACCESSIBLE PARKING SPACES ARE PROVIDED AT THE CLUBHOUSE ON THE EAST SITE

PROJECT NUMBER: 1005243
Application Number: 06EPG-04683 07 DRB-70317

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 18, 2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

REARZ Traffic Engineering, Transportation Division 10/31/07 Date

William G. Packer Water Utility Department 10/31/07 Date

Christina Sandoval Parks and Recreation Department 10/31/07 Date

Bradley B. Bingham City Engineer 10/31/07 Date

V.A. * Environmental Health Department (conditional) Date

Michael Holten Solid Waste Management 10/31/07 Date

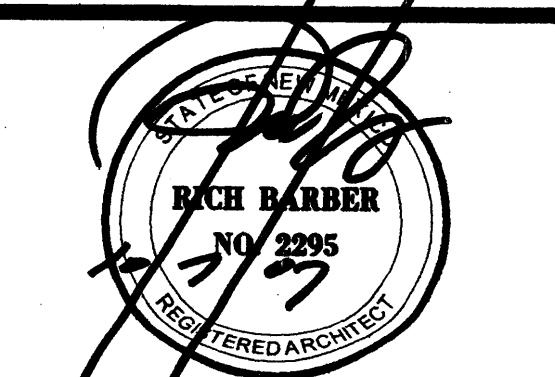
D. Watson DRB Chairperson, Planning Department 10/31/07 Date

Catalina Sehner

FILE: E:\Projects\JCA LLC\06-210\06-210-000005 - Broadstone at Towne Center\Construction Docs\200605.1.10 Site.dwg USER: raa DATE: Oct. 08. 2007 TIME: 01:39 pm

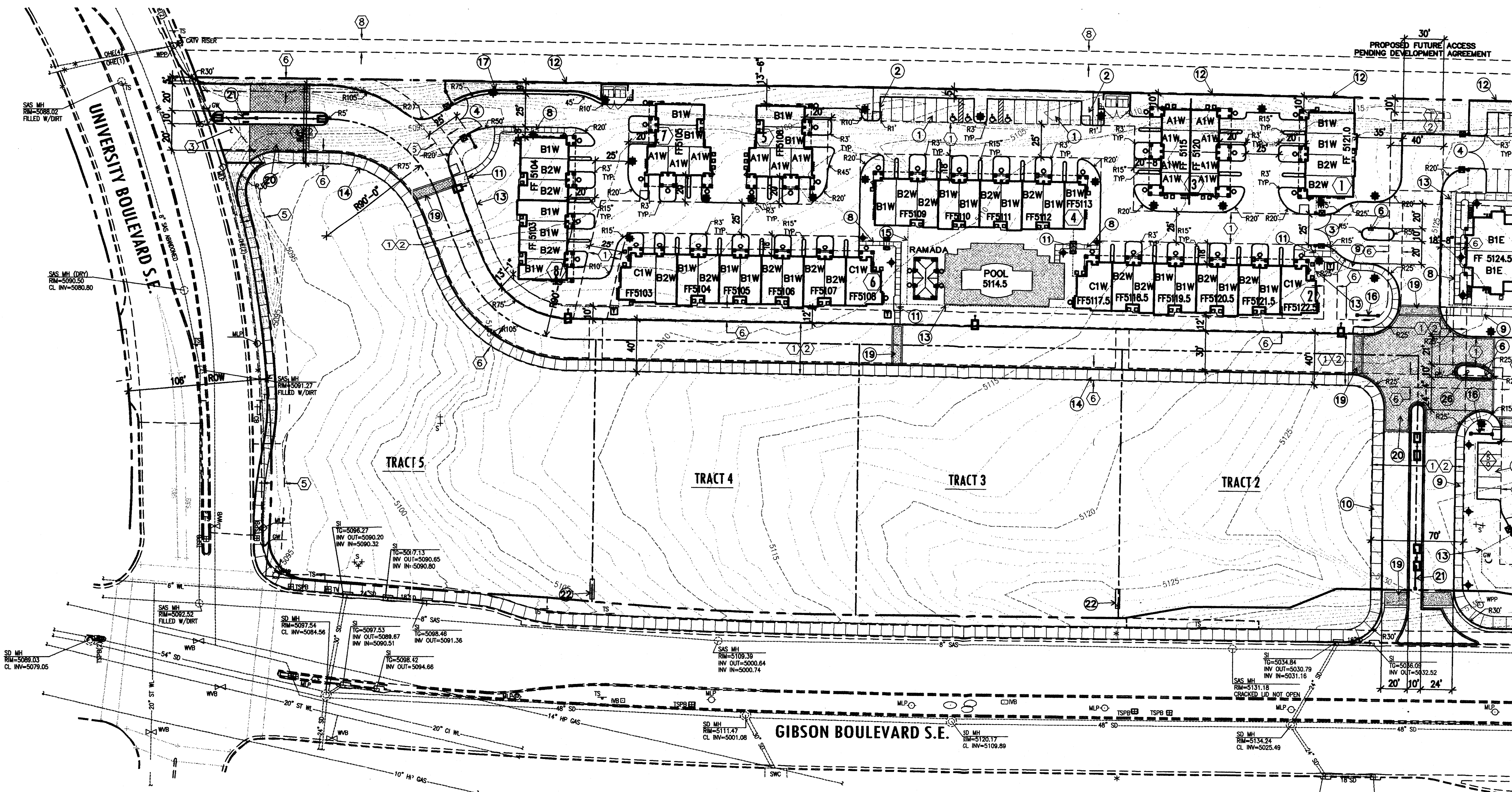
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ALBUQUERQUE, NEW MEXICO



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Architecture, LLC

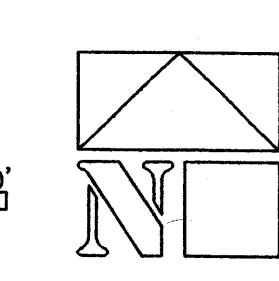
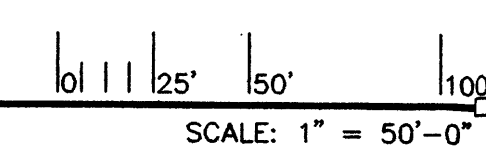
4530 North 40th Street
Phoenix, Arizona 85018
P: 602-957-4530 F: 602-957-4531
WorldHQ@ORBArch.com



- ### LEGEND
- DENOTES PROPERTY LINE
 - ① BUILDING NUMBER
 - TYPE 2 BUILDING TYPE
 - FIRE HYDRANT
 - ◇ NO. OF PARKING SPACES
 - NO. OF COVERED SPACES
 - ♿ DENOTES ACCESSIBLE PARKING
- ### LIGHTING LEGEND
- SINGLE HEAD POLE MOUNTED FIXTURE. POLE MOUNTED AT +15' A.F.F.
 - ◆ LOUVERED BOLLARD FIXTURE
 - WALL MOUNTED FIXTURE. WALL MOUNTED AT +12' A.F.F.
 - ⊕ POLE MOUNTED FIXTURE. POLE MOUNTED AT +8' A.F.F.
 - COVERED PARKING LIGHT FIXTURES 4' FLUORESCENT.
 - ⊞ TRANSFORMER LOCATION.

- ### KEYNOTES ①
1. 8.5'x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
 2. TRASH ENCLOSURE, SURROUNDED BY 6' CMU WALL, PAINT TO MATCH BUILDING, SEE DET.
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 4. CARPORT PARKING STRUCTURE.
 5. GATE CONTROL BOX.
 6. 3'-6" SIDEWALK AT STAIRS, TYPICAL.
 7. 4'-0" SIDEWALK.
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 9. 8'-0" SIDEWALK.
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 11. PERIMETER MASONRY WALL (6' HT), SEE DET. B, C, D/LD-2
 12. PERIMETER FENCE, SEE DET. F/LD-1
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 25. FLAG POLE.
 26. BICYCLE PARKING RACK FOR 6 BICYCLES.
 27. POLE MOUNTED CHARCOAL BBQ.
 28. BBQ LOCATION

WEST SITE PLAN



DEVELOPMENT DATA

NET SITE AREA:

TRACT 1 (APARTMENTS)	12.2 ACRES (532,312 S.F.)
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WEST SITE	3.5 ACRES (151,572 S.F.)
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TRACT 4 (RETAIL)	0.93 ACRES (40,819 S.F.)
TRACT 5 (RETAIL)	1.89 ACRES (73,805 S.F.)

ZONING:

CURRENT: R-1
PROPOSED: TRACT 1 - "SU-1 PRD RESIDENTIAL"
TRACT 2, 3, 4 & 5 - "SU-1 FOR C-2"

BUILDING HEIGHT:

TRACT 1:
ALLOWED: 3/40 STORIES/FEET (BASED ON 10' SETBACK)
PROVIDED: 3/40 STORIES/FEET

DENSITY:

TRACT 1:
PROPOSED: 19.641 DU/ACRE 240 DU

- GENERAL NOTES:**
1. THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPLIES TO TRACT 1.
 2. EAST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
TYPE 1 - 20,821 SF TYPE 3 - 28,129 SF
TYPE 2 - 26,282 SF TYPE 4 - 3,796 SF
GARAGE - 1,876 SF REC./LEASING - 6,576 SF
 3. WEST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
BLDG 1 - 7,490 SF BLDG 5 - 7,725 SF
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BLDG 3 - 10,587 SF BLDG 7 - 7,725 SF
BLDG 4 - 18,805 SF BLDG 8 - 13,070 SF
 4. SHARE PRIVATE ACCESS PROVIDED BETWEEN ALL PARCELS PER PLAT.

SETBACKS PROVIDED:

EAST SITE:		SIDE (N)	REAR (E)	SIDE (S)	FRONT (W)
BUILDINGS		34'	21'	10'	NA
GARAGES		5'	NA	NA	NA
PARKING		6.5'	30'	5'	NA

WEST SITE:		SIDE (N)	FRONT (E)	SIDE (S)	REAR (W)
BUILDINGS		10'	NA	NA	NA
PARKING		5'	NA	NA	NA

EAST SITE UNIT MIX

LIVABLE STORAGE	UNIT TYPE					UNITS/BLDG	NO. BLDGS	TOTAL UNITS
	A1E	A2E	A3E	B2E	B3E			
741	741	777	1,070	1,063	1,306			
23	23	21	25	21	23			
68	68	65	60	63	60	20	2	40
						8	20	4
						24	2	48
						2	6	12
TOTAL	36	12	12	16	48	24	32	14

WEST SITE UNIT MIX

LIVABLE STORAGE	UNIT TYPE				UNITS/BLDG	NO. BLDGS	TOTAL UNITS
	A1W	B1W	B2W	C1W			
868	1,231	1,231	1,532				
286	475	475	498				
56	56	56	129				
TOTAL	14	24	18	4	4	8	60

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

SITE	SF REQ. PER DU		# OF TOTAL SF PROVIDED	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
EAST SITE				
1 BEDROOM	200	60	12,000	
2 BEDROOM	250	88	22,000	
SUBTOTAL			43,600	140,130
WEST SITE				
1 BEDROOM	200	14	2,800	
2 BEDROOM	250	42	10,500	
2 BEDROOM	300	4	1,200	
SUBTOTAL			14,500	54,073
BALCONIES (east & west site)				16,140
TOTAL (excess of 152,243 SF)	240	58,100	210,343	

PARKING SPACE REQUIREMENTS

SITE	PARKING REQUIRED		PARKING SPACES
	REQUIRED	PROVIDED	
EAST SITE			
UNIT A1E < 1,000 SF	36 - 1 BR / 1 BATH	1.5 / 1	54
UNIT A2E < 1,000 SF	12 - 1 BR / 1 BATH	1.5 / 1	18
UNIT A3E < 1,000 SF	12 - 1 BR / 1 BATH	1.5 / 1	18
UNIT A3E > 1,000 SF	18 - 2 BR / 2 BATH	2 / 2	36
UNIT B2E > 1,000 SF	48 - 2 BR / 2 BATH	2 / 2	48
UNIT B3E > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2	48
UNIT C1E > 1,000 SF	32 - 3 BR / 2 BATH	2 / 2	64
Total Parking Spaces Required			330
OPEN PARKING PROVIDED			163
CARPORT PARKING PROVIDED			118
GARAGE PARKING PROVIDED			63
Total Parking Provided			344
Accessible Parking Required			12
OPEN ACCESSIBLE PARKING PROVIDED			8
CARPORT ACCESSIBLE PARKING PROVIDED			3
GARAGE ACCESSIBLE PARKING PROVIDED			1
Total Accessible Parking Provided			12
WEST SITE			
UNIT A1W < 1,000 SF	14 - 1 BR / 1 BATH	1.5 / 1	21
UNIT B1W > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2	48
UNIT B2W > 1,000 SF	18 - 2 BR / 2 BATH	2 / 2	36
UNIT C1W > 1,000 SF	4 - 3 BR / 3 BATH	2 / 3	12
Total Parking Spaces Required			117
OPEN PARKING PROVIDED			20
GARAGE PARKING PROVIDED			60
TANDEM GARAGE PARKING PROVIDED			46
Total Parking Provided			126
Accessible Parking Required			8
OPEN ACCESSIBLE PARKING PROVIDED			8*
Total Accessible Parking Provided			8*

BICYCLE PARKING REQUIREMENTS:

REQUIRED: 1 BICYCLE FOR EVERY 2 DWELLING UNITS

EAST SITE

REQUIRED: 180 / 2 = 90 SPACES

PROVIDED:

GARAGE: 63
BICYCLE RACK: 30
TOTAL: 93 SPACES

WEST SITE

REQUIRED: 60 / 2 = 30 SPACES

PROVIDED:

GARAGE: 60
BICYCLE RACK: -
TOTAL: 60 SPACES

EASEMENTS ①

- NEW EASEMENTS**
1. CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT. PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
 2. PUBLIC ROADWAY AND SIDEWALK EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT.
 3. CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY PLAT.
 4. 10' WEST CORPORATION EASEMENT TO BE GRANTED BY PLAT.
 5. 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
 6. 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
 7. 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MSC 156, PAGE 270.
 8. 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2.
 9. LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 08-11-1970, BOOK MSC 176, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007.

Contractor must verify all dimensions at project before proceeding with this work.

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NO.	DATE	DESCRIPTION

DATE: OCTOBER 08, 2007 ORB # 06-210

A1.12

SITE PLAN FOR BLDG. PERMITS
WEST SITE

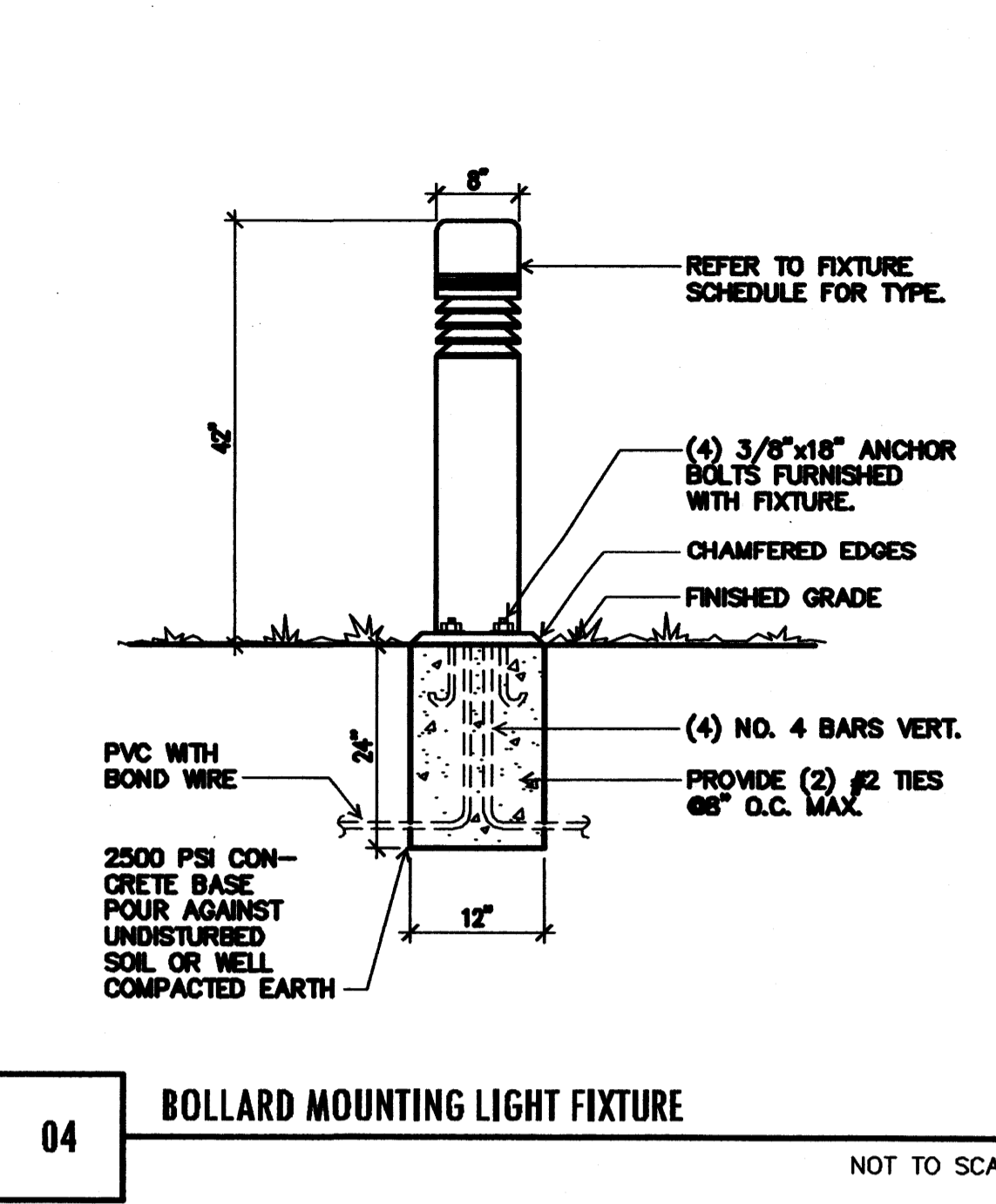
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BROADSTONE TOWNE CENTER

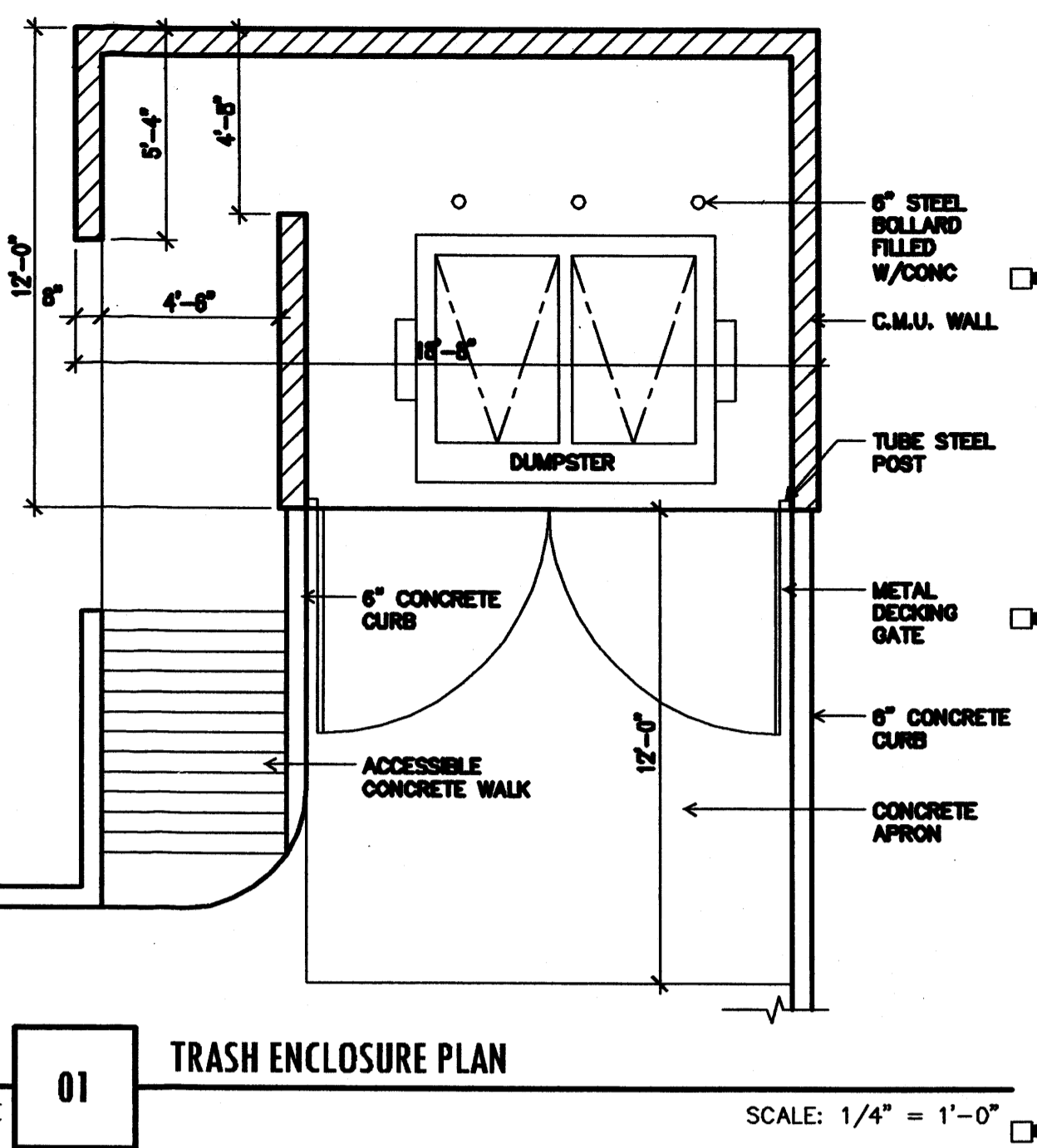
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ALBUQUERQUE, NEW MEXICO



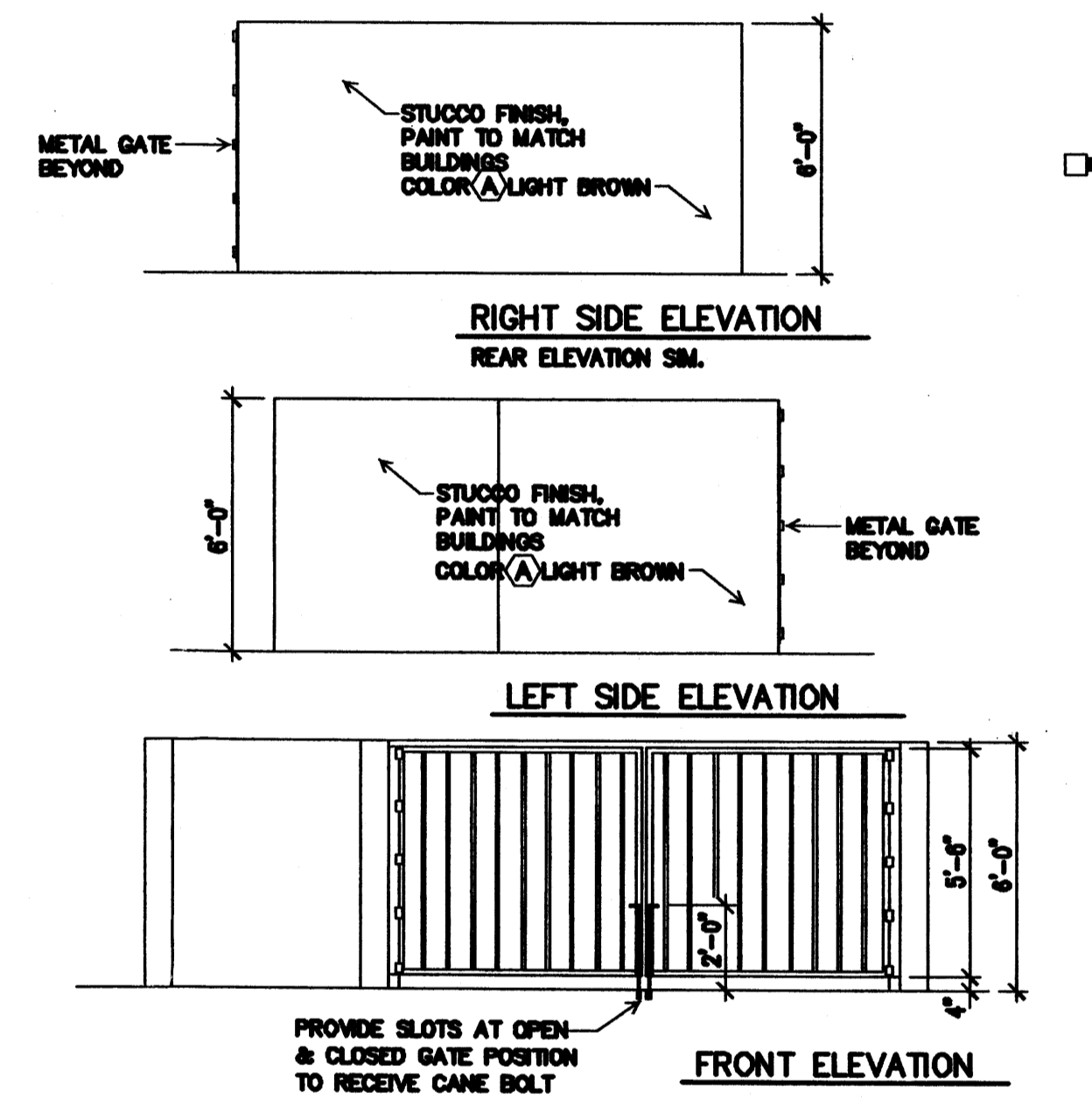
4530 North 40th Street
Phoenix, Arizona 85018
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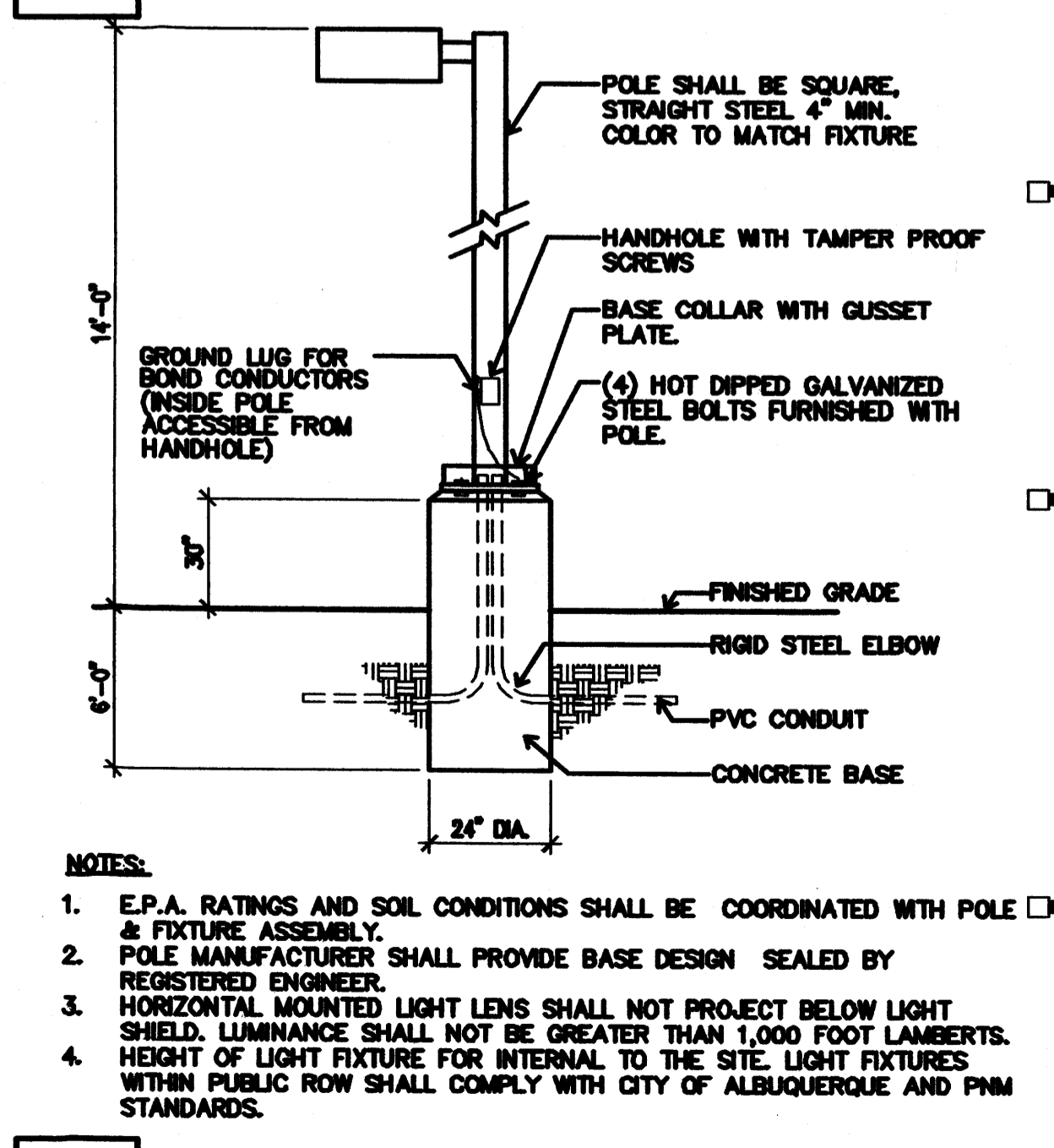
04 BOLLARD MOUNTING LIGHT FIXTURE NOT TO SCALE



01 TRASH ENCLOSURE PLAN SCALE: 1/4" = 1'-0"



02 TRASH ENCLOSURE ELEVATIONS SCALE: 1/4" = 1'-0"



03 LIGHT FIXTURE NOT TO SCALE

NOTES:
1. REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION. TYPICAL THESE DRAWINGS ARE ARCHITECTURAL ONLY.
2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.

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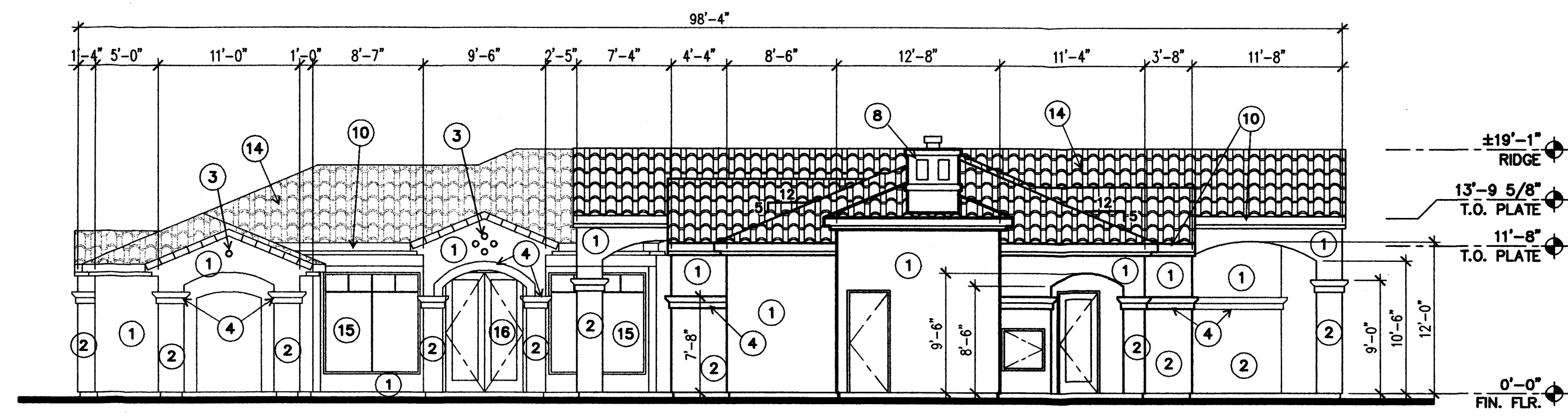
NO.	REVISIONS

DATE: OCTOBER 19, 2007 ORB # 06-210

A1.20

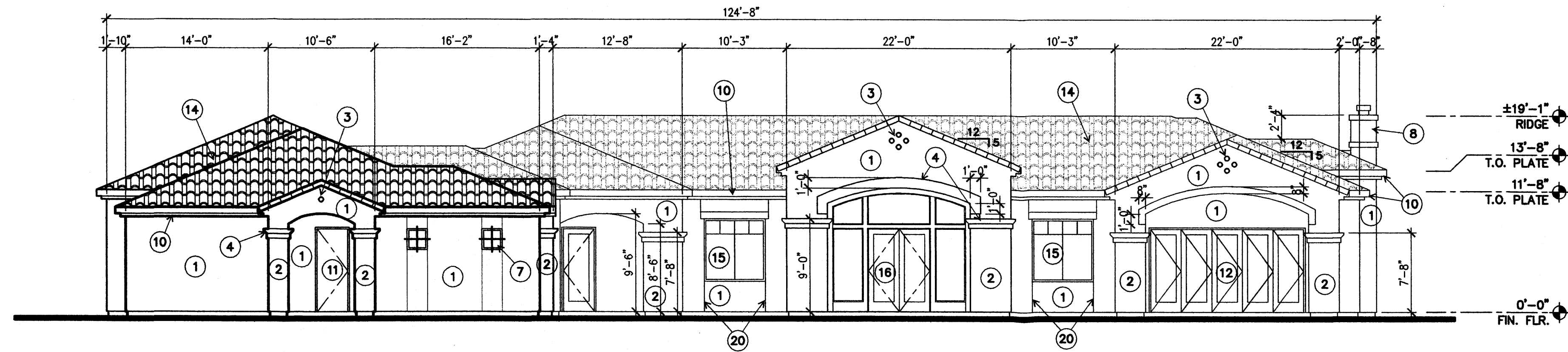
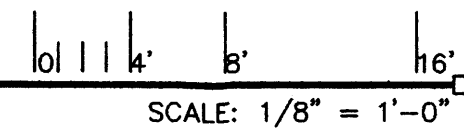
SITE PLAN DETAILS
01 - 15

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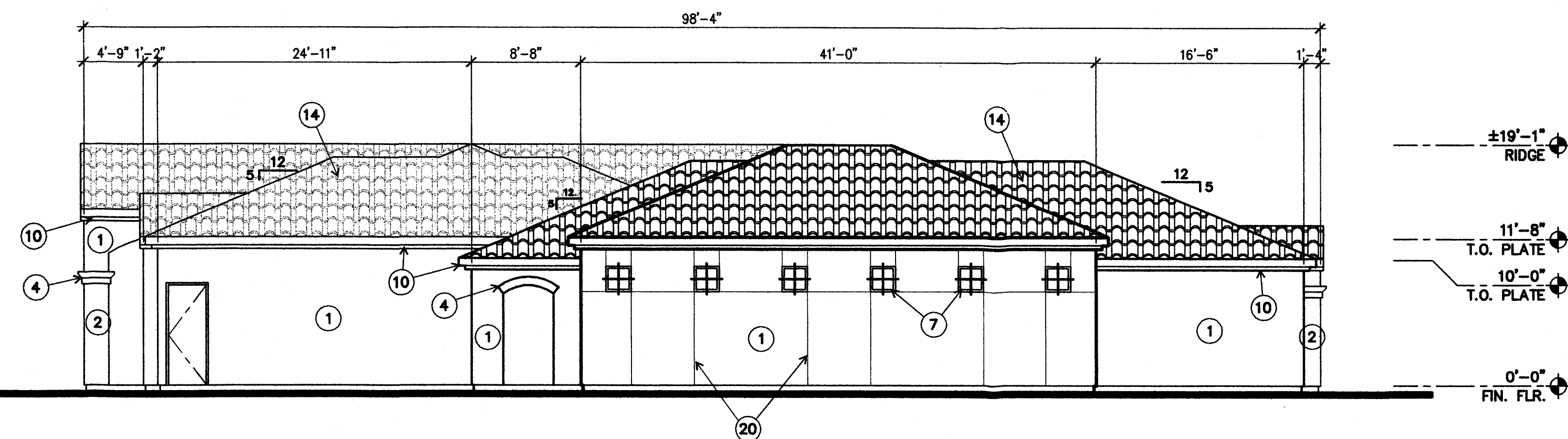
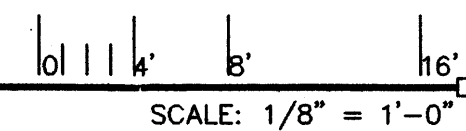
LEFT ELEVATION

REC/LEASING OFFICE



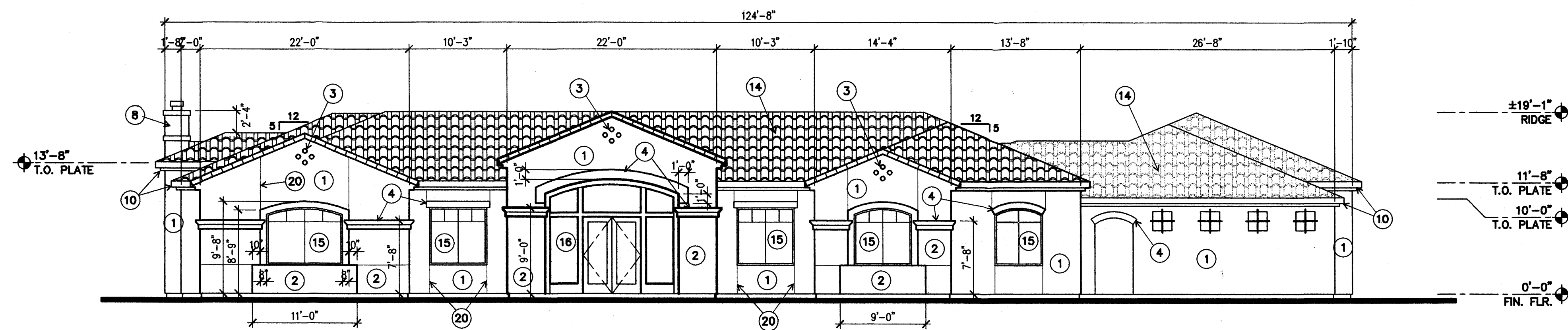
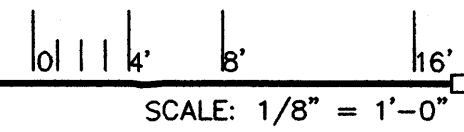
REAR ELEVATION

REC/LEASING OFFICE



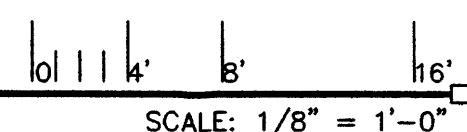
RIGHT ELEVATION

REC/LEASING OFFICE



FRONT ELEVATION

REC/LEASING OFFICE



KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (C) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (C) NANA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 BUILDING ADDRESS SIGN. REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 3088 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

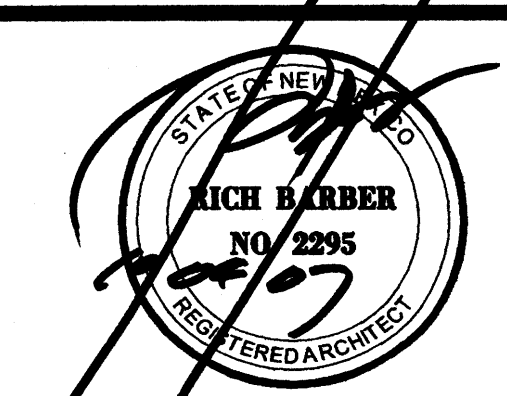
MATERIAL/COLOR KEY NOTES

	SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)	SCHEME 2 (BUILDINGS 3,7,12,13,15 & 16)
(A) STUCCO WALL	LIGHT BROWN	STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL	MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR	MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS	DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS	DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE	TERRACOTTA/BROWN BLEND	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND
(G) DUAL PANE ALUMINUM WINDOW	DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

**BROADSTONE
TOWNE CENTER**

N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



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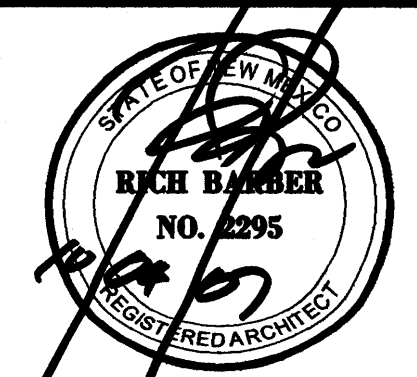
DATE: SEPTEMBER 28, 2007 ORB # 06-210

A2.10

REC/LEASING OFFICE
ELEVATIONS

BROADSTONE TOWNE CENTER

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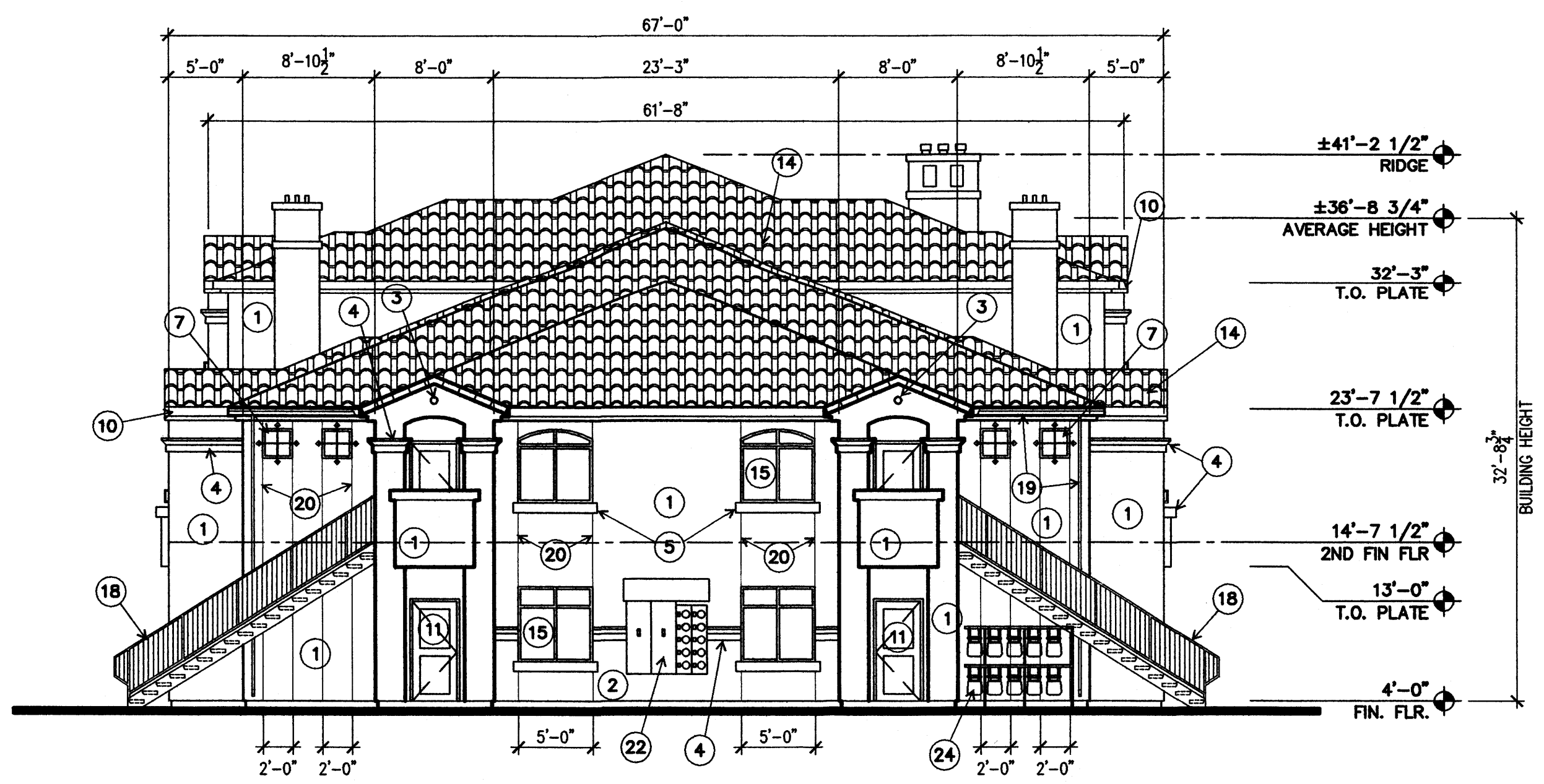


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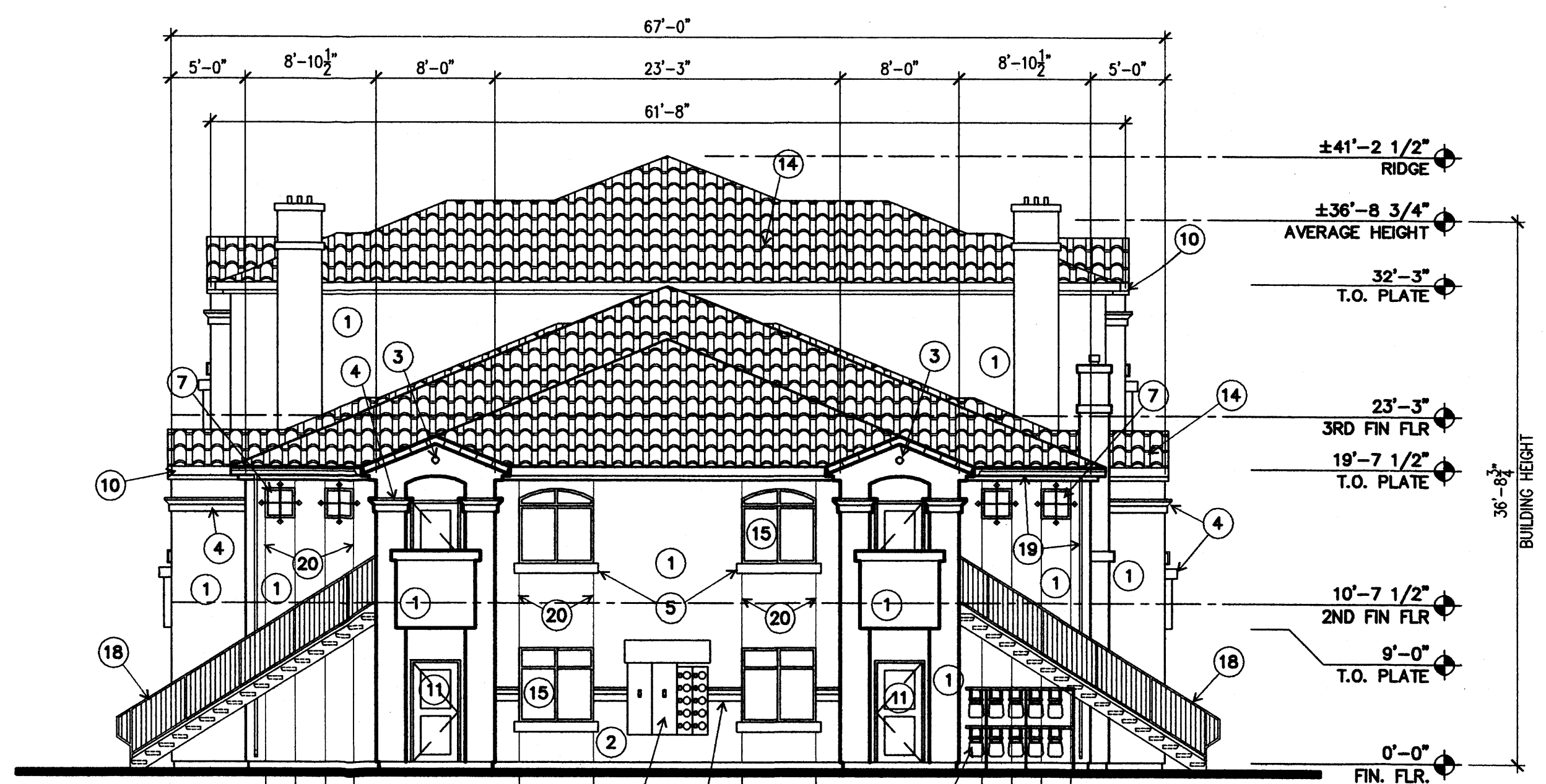
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KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) MAMA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED GUY SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 BUILDING ADDRESS SIGN. REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 3088 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING



LEFT ELEVATION
BUILDING TYPE 1 (BUILDING 17)
SCALE: 1/8" = 1'-0"

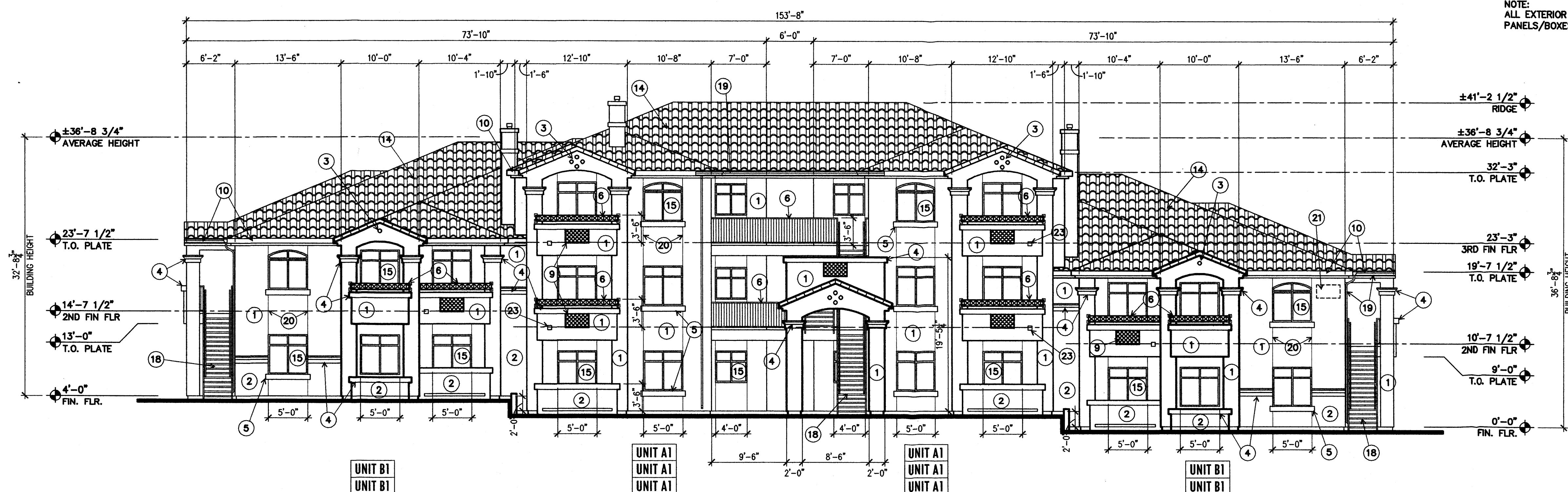


RIGHT ELEVATION
BUILDING TYPE 1 (BUILDING 17)
SCALE: 1/8" = 1'-0"

MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)	SCHEME 2 (BUILDINGS 3,7,12,13,15 & 16)
(A) STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



FRONT ELEVATION
BUILDING TYPE 1 (BUILDING 17)
SCALE: 1/8" = 1'-0"

REVISIONS

NO.	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB # 06-210

A2.11

EAST SITE
BLDG TYPE 1 ELEVATIONS

BROADSTONE TOWNE CENTER

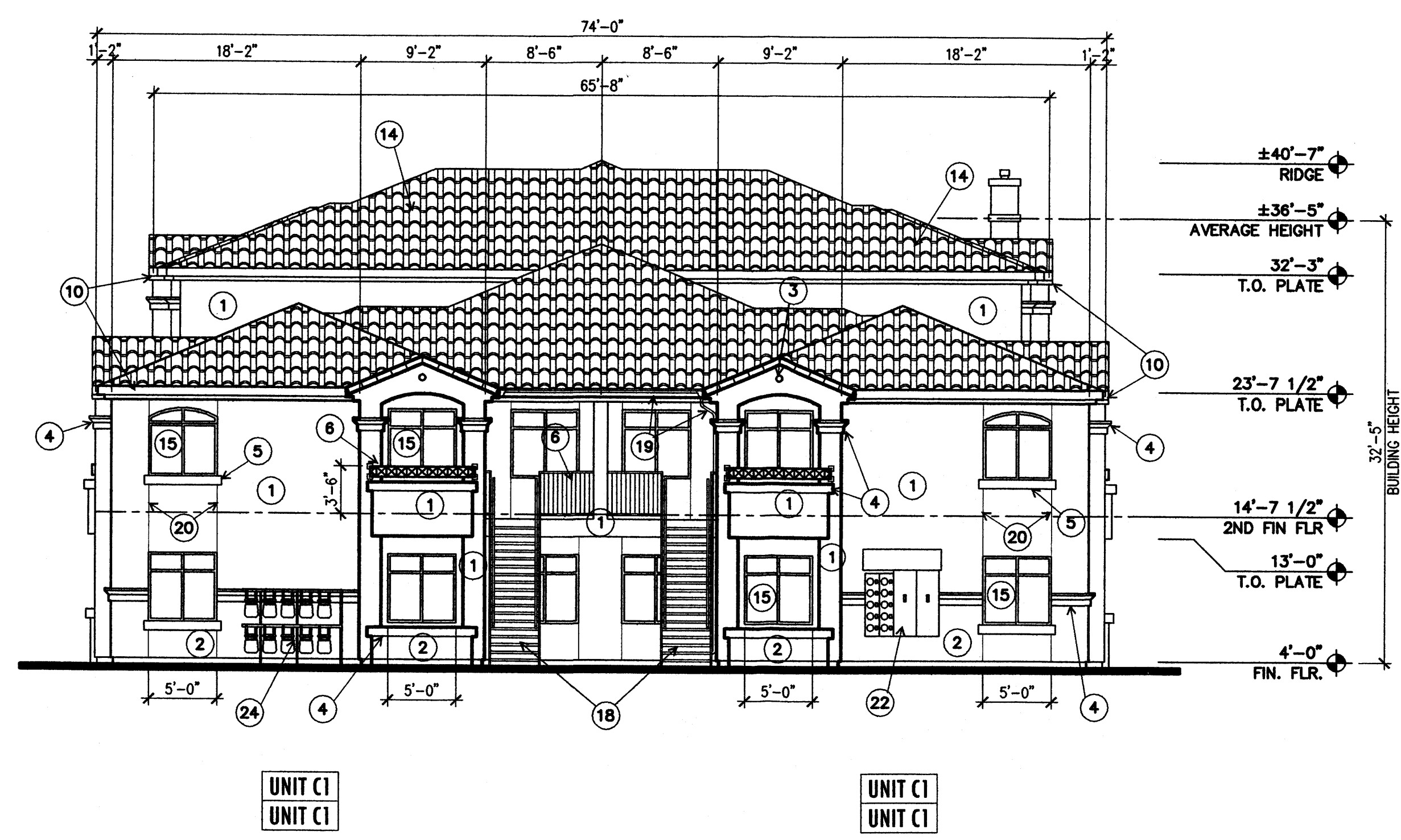
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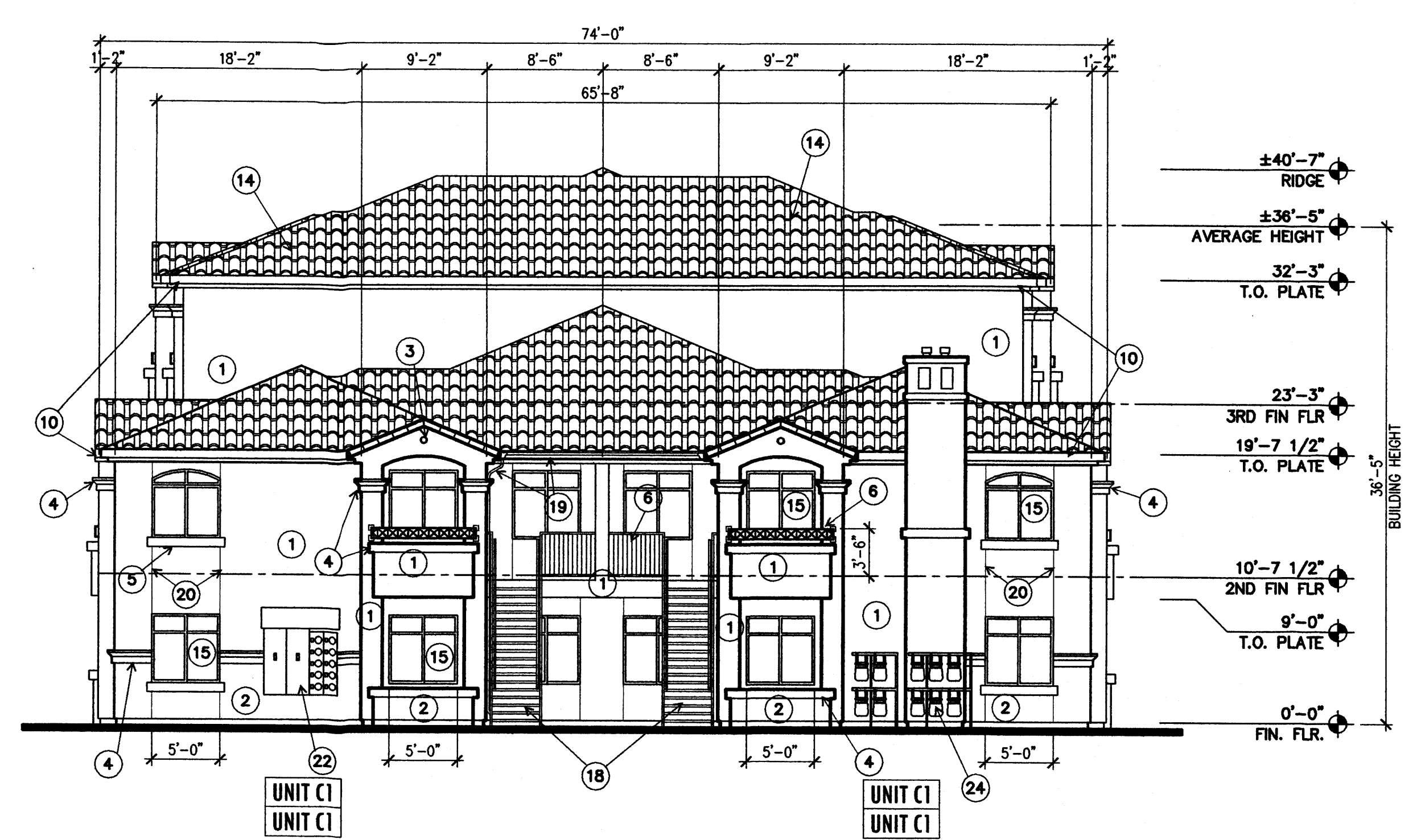
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- ### KEY NOTES
- 1 (A) STUCCO WALL
 - 2 (B) STUCCO WALL
 - 3 (D) CLAY PIPE
 - 4 (D) STUCCO TRIM
 - 5 (D) STUCCO WINDOW SILL
 - 6 (E) METAL RAILING
 - 7 (G) WINDOW WITH (E) IRON CROSS BAR
 - 8 (A) CHIMNEY
 - 9 (D) DECORATIVE PRECAST PANEL
 - 10 (D) STUCCO ROOF FASCIA
 - 11 (E) METAL ENTRY DOOR
 - 12 (G) MANA-WALL SYSTEM
 - 13 (C) METAL SECTIONAL GARAGE DOOR
 - 14 (F) ROOF TILE
 - 15 (G) ALUMINUM WINDOW
 - 16 (G) ALUMINUM STOREFRONT
 - 17 (B) STUCCO COVERED CMJ SCREEN WALL
 - 18 (E) PRECAST STAIR WITH METAL RAILING
 - 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
 - 20 (D) STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
 - 21 (B) BUILDING ADDRESS SIGN. REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
 - 22 (E) ELECTRIC SERVICE PANEL
 - 23 (A) BALCONY SCUPPER
 - 24 (A) GAS METERS LOCATION
 - 25 (B) 3088 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
 - 26 (B) 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING



LEFT ELEVATION

BUILDING TYPE 2 (BLDG 12 & 14, BLDG 5 SIM.) SCALE: 1/8" = 1'-0"



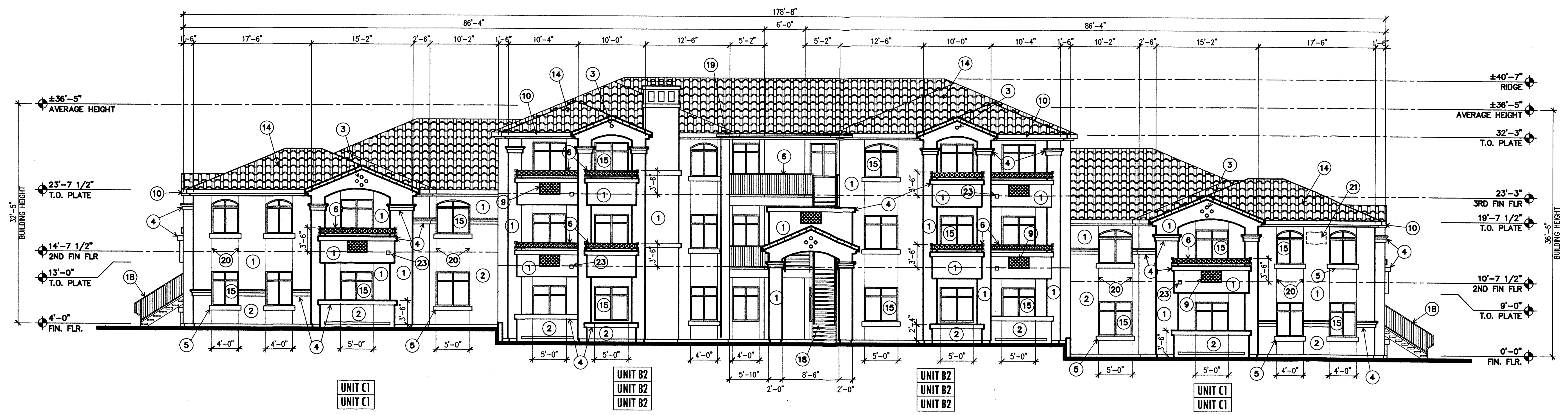
RIGHT ELEVATION

BUILDING TYPE 2 (BLDG 12 & 14, BLDG 5 SIM.) SCALE: 1/8" = 1'-0"

MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)	SCHEME 2 (BUILDINGS 3,7,12,13,15 & 16)
(A) STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



FRONT ELEVATION

BUILDING TYPE 2 (BLDG 12 & 14, BLDG 5 SIM.) SCALE: 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB # 06-210

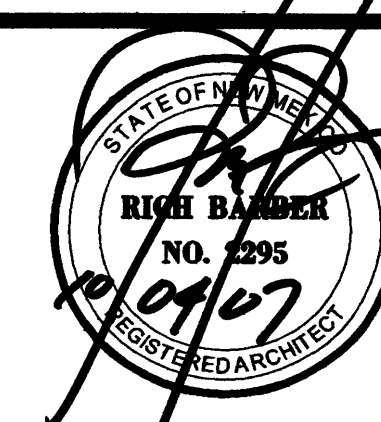
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EAST SITE
BLDG TYPE 2 ELEVATIONS

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BROADSTONE TOWNE CENTER

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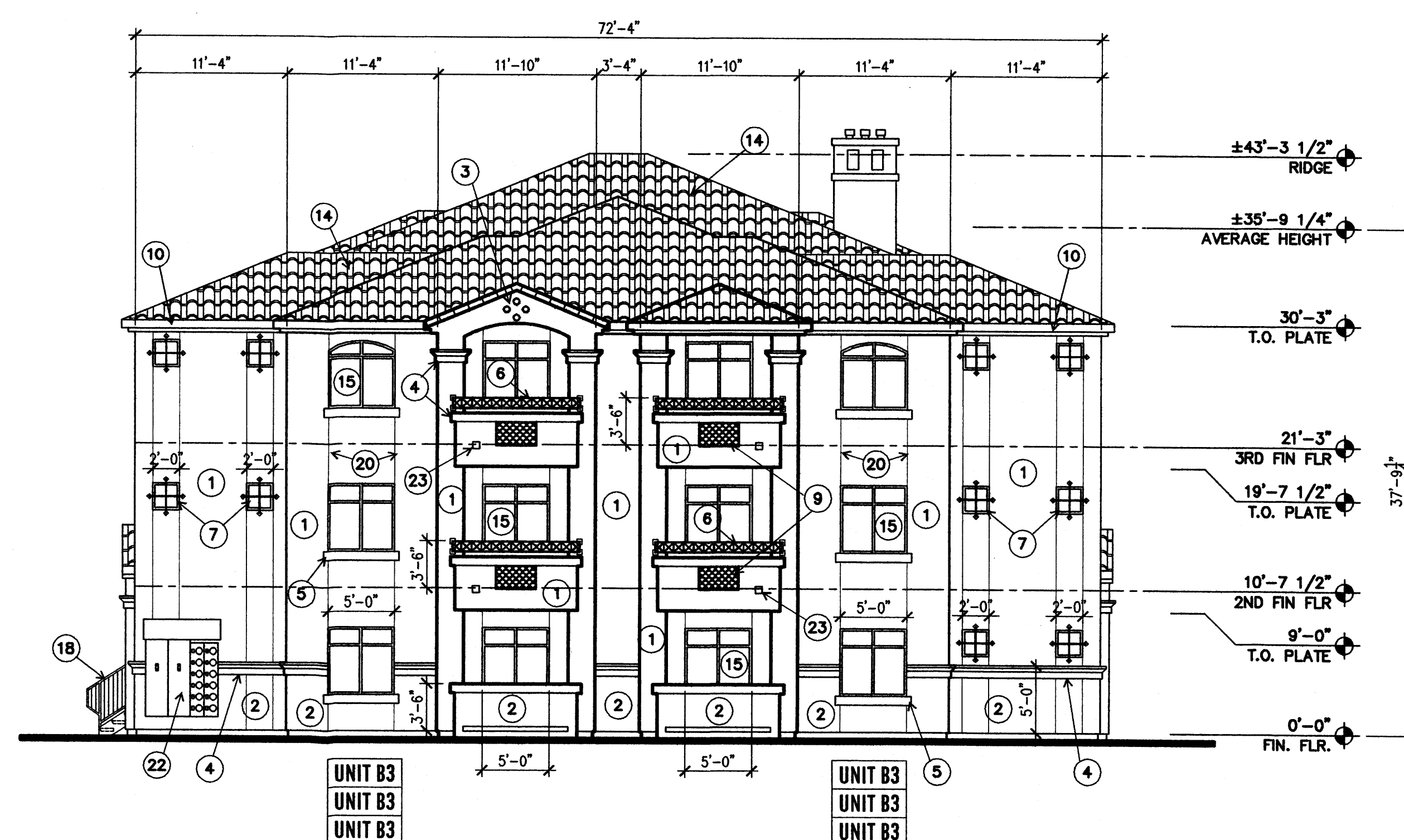
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LEFT ELEVATION

BUILDING TYPE 3 (BUILDING 15)

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

BUILDING TYPE 3 (BUILDING 15)

SCALE: 1/8" = 1'-0"

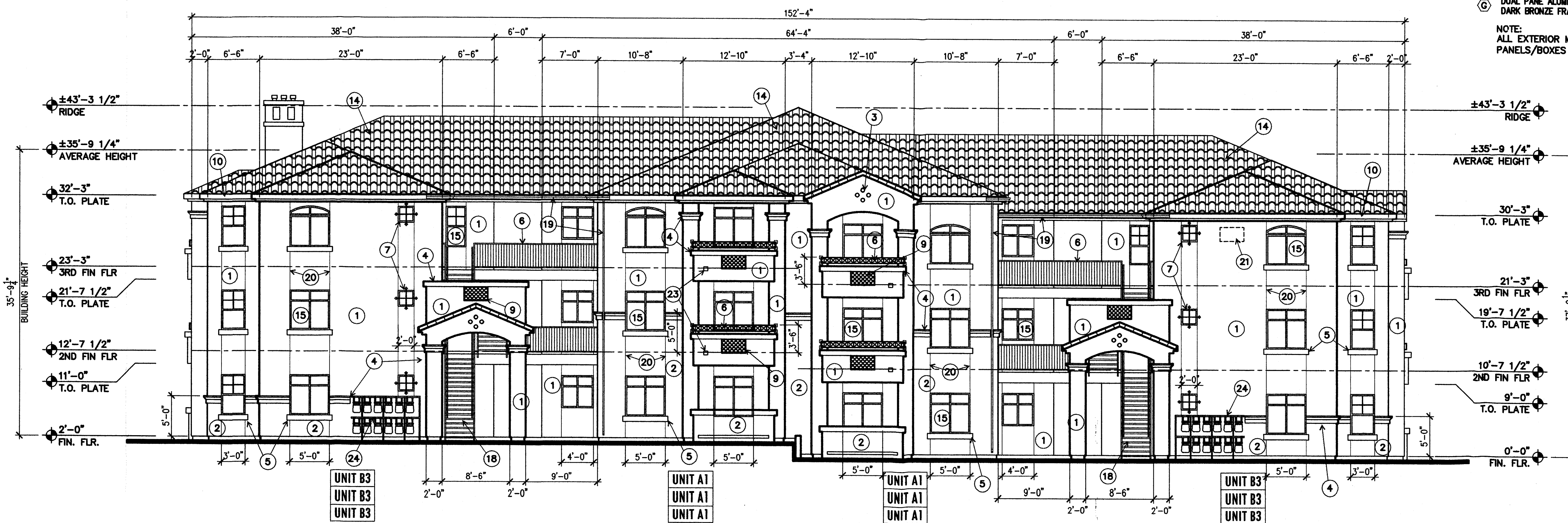
KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) MAMA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 (E) STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 (E) BUILDING ADDRESS SIGN, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 (E) ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 (E) GAS METERS LOCATION
- 25 (E) 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 (E) 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)		SCHEME 2 (BUILDINGS 3,7,12,13,15 & 16)	
(A) STUCCO WALL LIGHT BROWN	(A) STUCCO WALL BEIGE	(B) ACCENT STUCCO WALL MEDIUM BROWN	(B) ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	(C) GARAGE DOOR MEDIUM BROWN	(D) STUCCO TRIM & DOORS DARK BROWN	(D) STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	(E) IRON & ENTRY DOORS DARK BROWN	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME		

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



FRONT ELEVATION

BUILDING TYPE 3 (BUILDING 15)

SCALE: 1/8" = 1'-0"

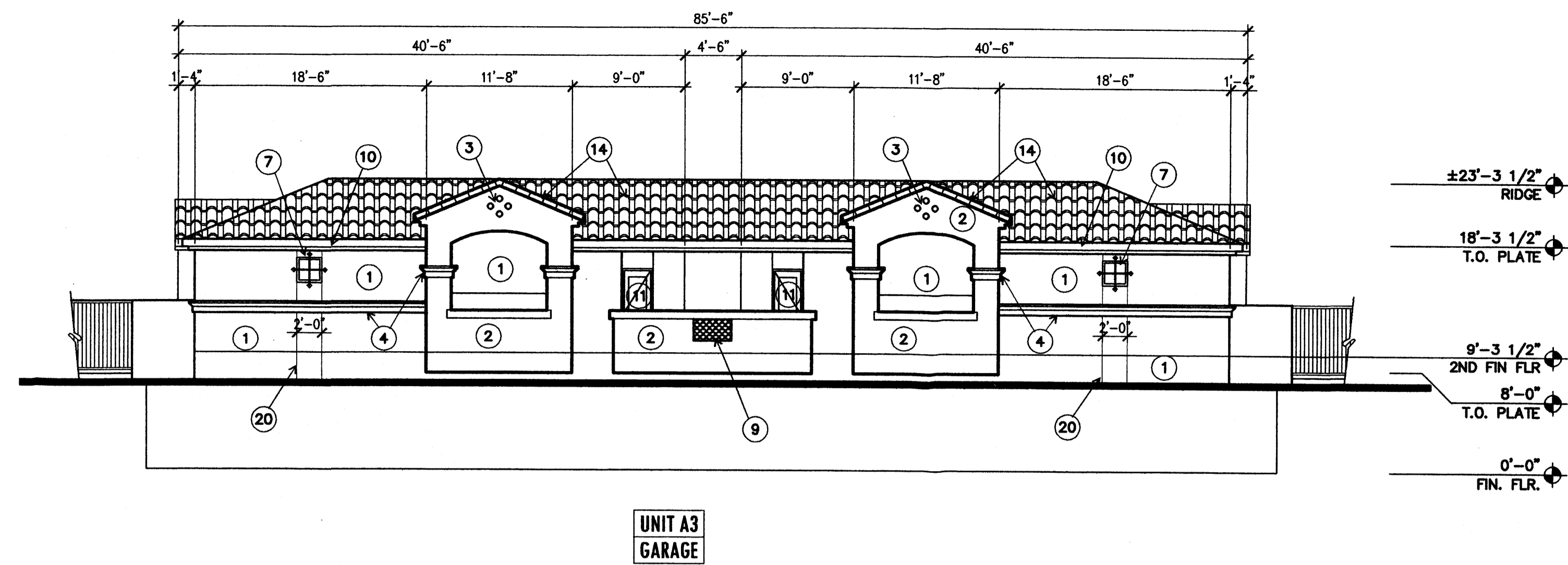
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NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB # 06-210

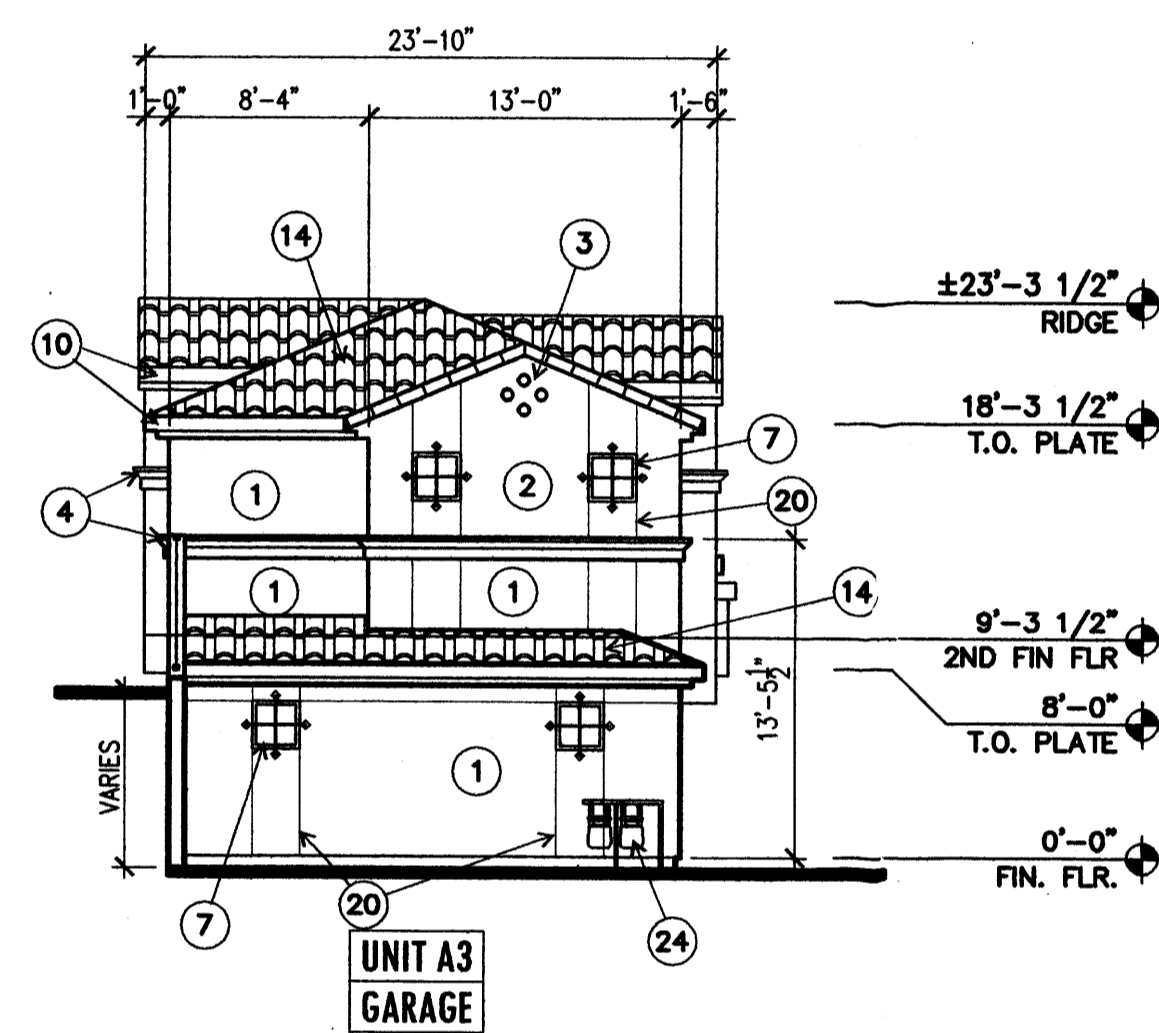
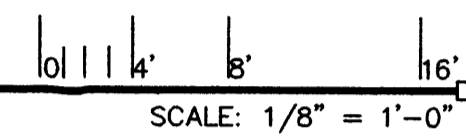
A2.13

EAST SITE
BLDG TYPE 3 ELEVATIONS



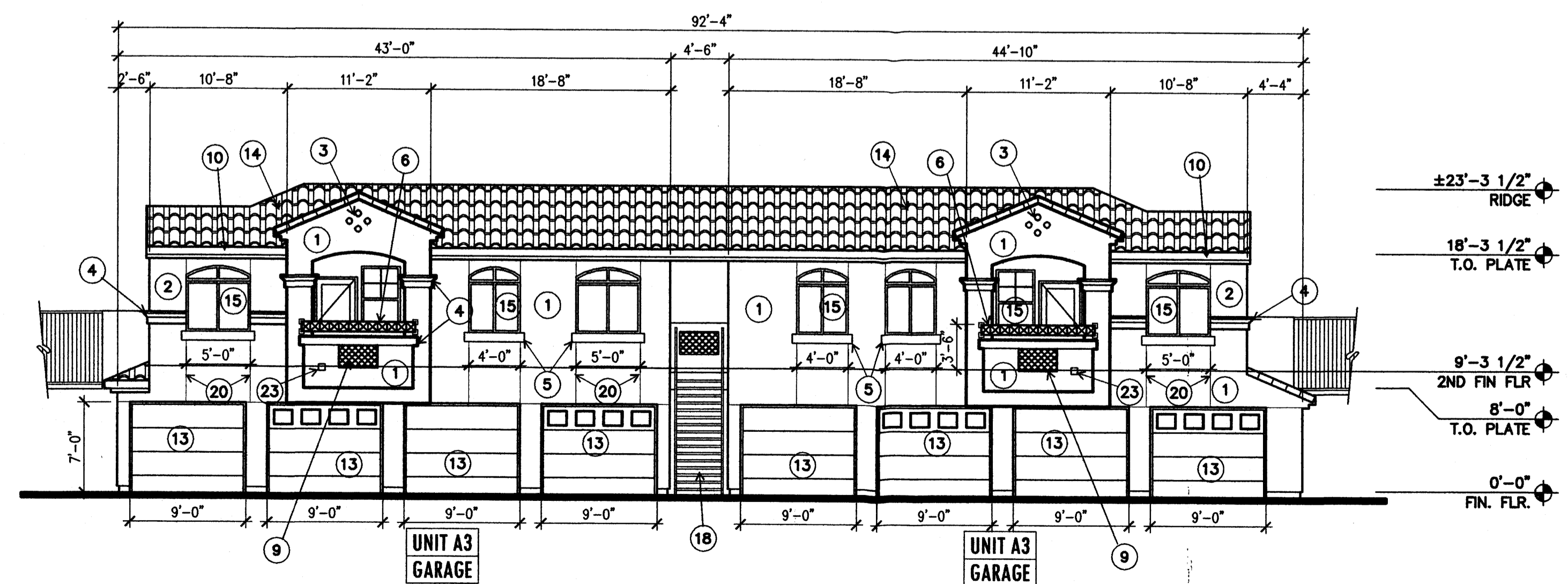
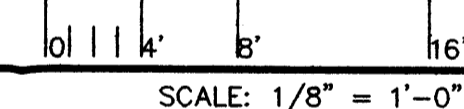
REAR ELEVATION

BUILDING TYPE 4



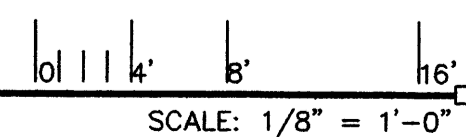
LEFT ELEVATION

BUILDING TYPE 4



FRONT ELEVATION

BUILDING TYPE 4



KEY NOTES

- 1) A) STUCCO WALL
- 2) B) STUCCO WALL
- 3) D) CLAY PIPE
- 4) D) STUCCO TRIM
- 5) D) STUCCO WINDOW SILL
- 6) E) METAL RAILING
- 7) G) WINDOW WITH E) IRON CROSS BAR
- 8) A) CHIMNEY
- 9) D) DECORATIVE PRECAST PANEL
- 10) D) STUCCO ROOF FASCIA
- 11) E) METAL ENTRY DOOR
- 12) G) NANA-WALL SYSTEM
- 13) C) METAL SECTIONAL GARAGE DOOR
- 14) F) ROOF TILE
- 15) G) ALUMINUM WINDOW
- 16) G) ALUMINUM STOREFRONT
- 17) B) STUCCO COVERED CMU SCREEN WALL
- 18) E) PRECAST STAIR WITH METAL RAILING
- 19) A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20) STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21) BUILDING ADDRESS SIGN, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22) ELECTRIC SERVICE PANEL
- 23) A) BALCONY SCUPPER
- 24) GAS METERS LOCATION
- 25) 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26) 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

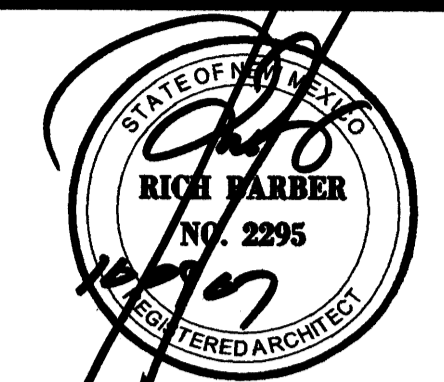
MATERIAL/COLOR KEY NOTES

	SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)	SCHEME 2 (BUILDINGS 3,7,12,13,15 & 16)
A)	STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE
B)	ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
C)	GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
D)	STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
E)	IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
F)	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND
G)	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

BROADSTONE TOWNE CENTER

N.E.C. UNIVERSITY AND GIBSON ROADS
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DATE: SEPTEMBER 28, 2007 ORB # 06-210

A2.14

EAST SITE
BLDG TYPE 4 ELEVATIONS

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KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) NANA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 BUILDING ADDRESS SIGN, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 2, 6 & 8)		SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)	
(A) STUCCO WALL LIGHT BROWN	(A) STUCCO WALL BEIGE	(B) ACCENT STUCCO WALL MEDIUM BROWN	(B) ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	(C) GARAGE DOOR MEDIUM BROWN	(D) STUCCO TRIM & DOORS DARK BROWN	(D) STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	(E) IRON & ENTRY DOORS DARK BROWN	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME		

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

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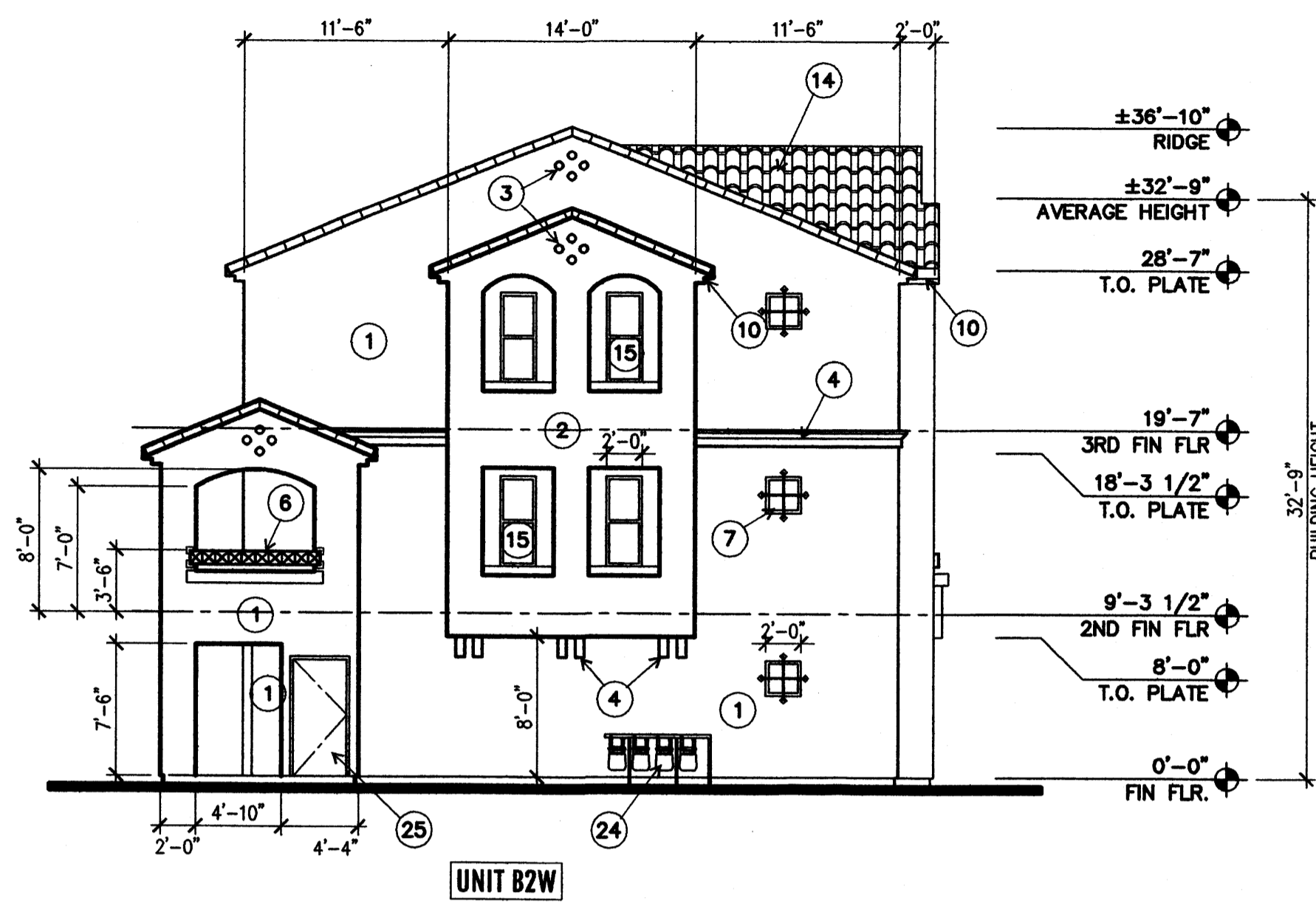
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NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB # 06.210

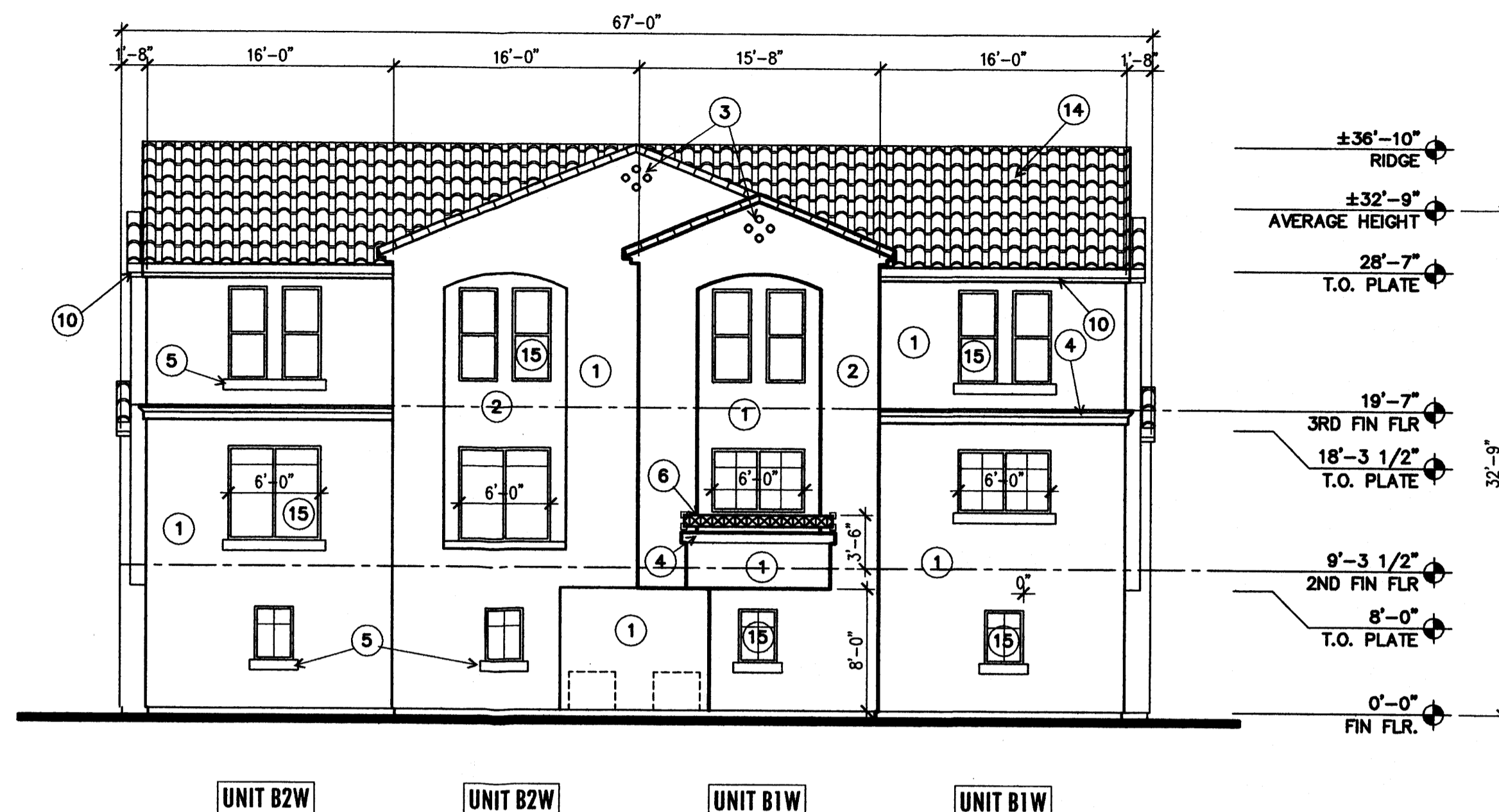
A3.2.12

WEST SITE
BUILDING 1 ELEVATIONS



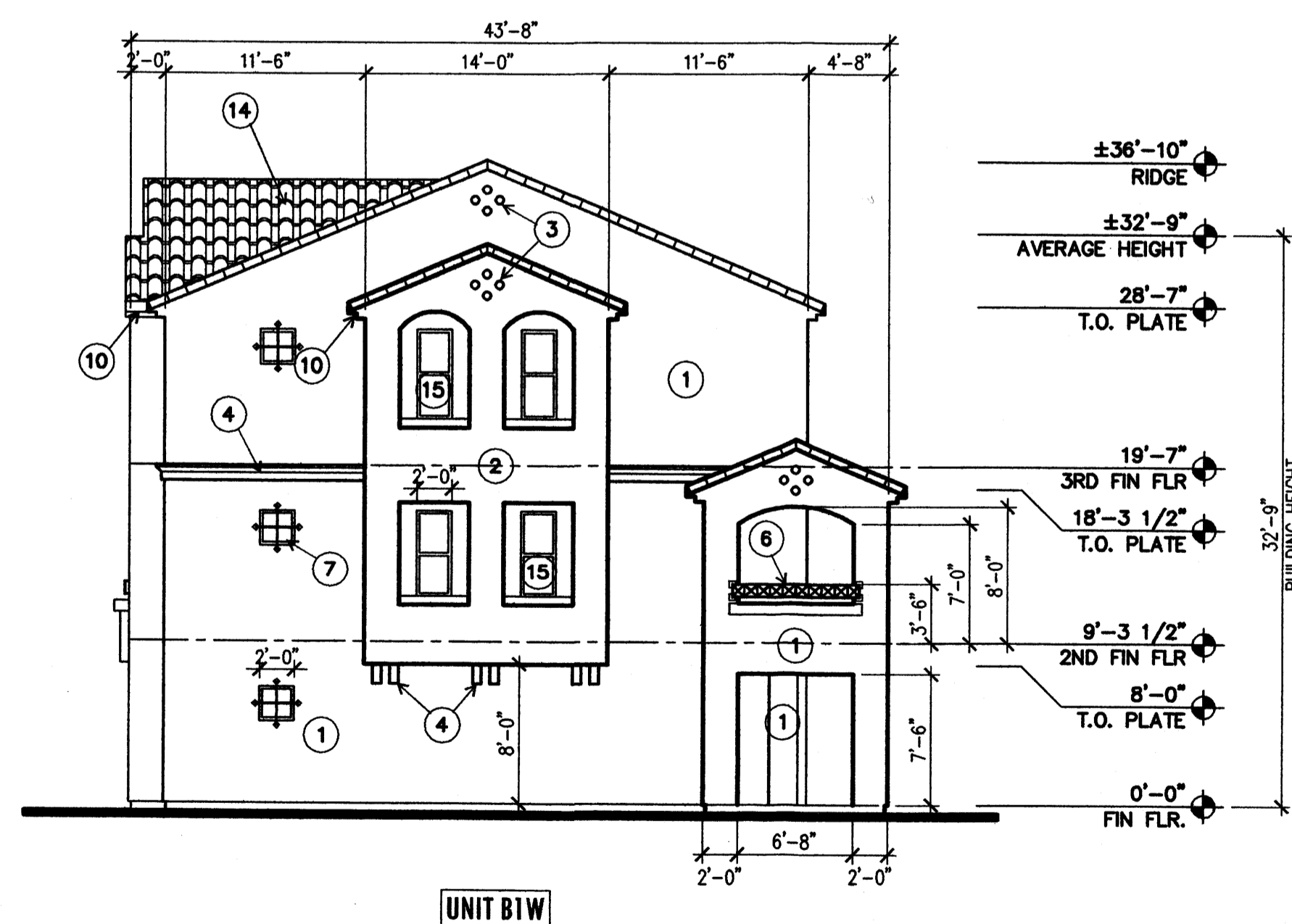
RIGHT ELEVATION

WEST SITE - BUILDING 1 SCALE: 1/8" = 1'-0"



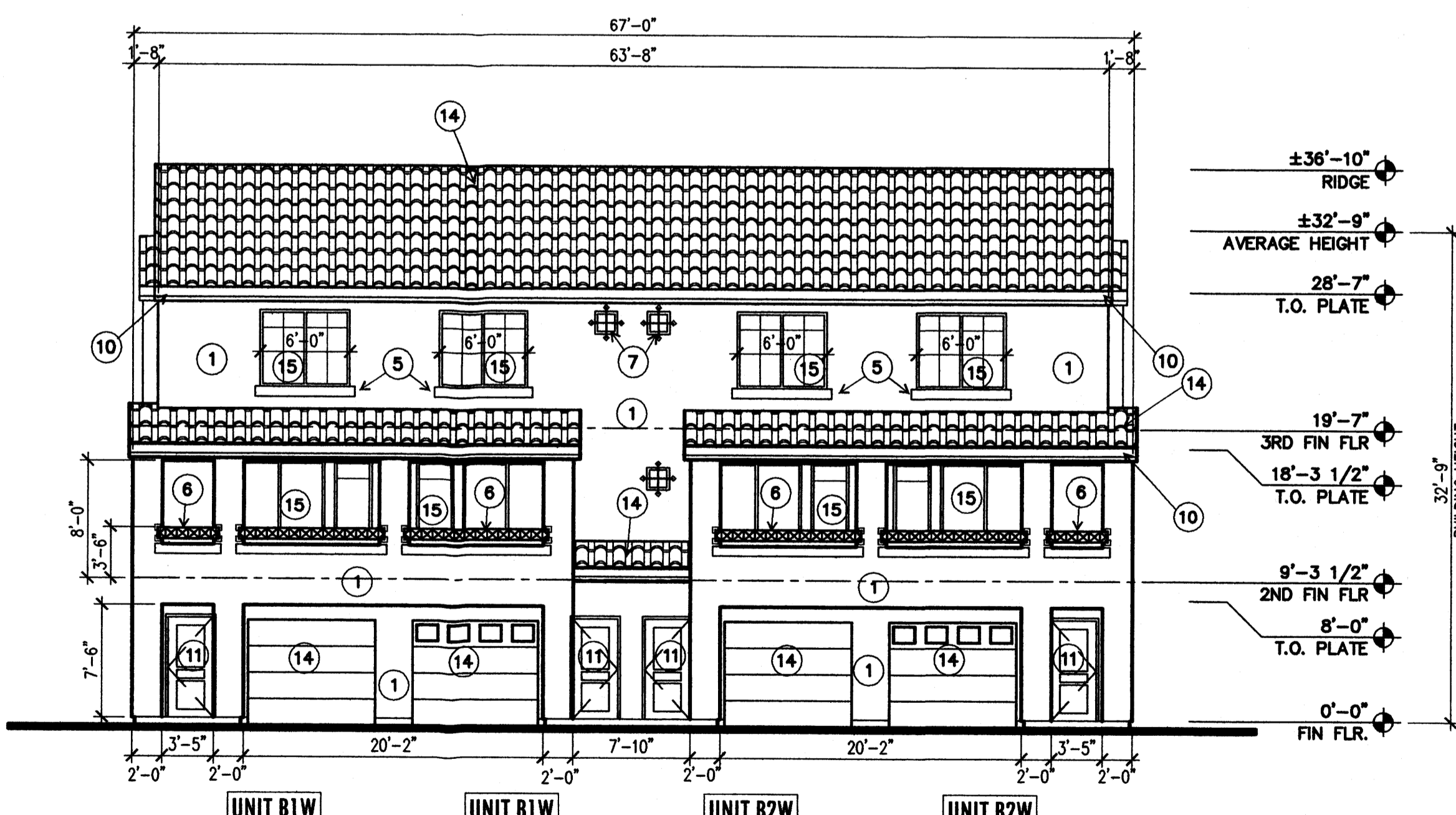
REAR ELEVATION

WEST SITE - BUILDING 1 SCALE: 1/8" = 1'-0"



LEFT ELEVATION

WEST SITE - BUILDING 1 SCALE: 1/8" = 1'-0"

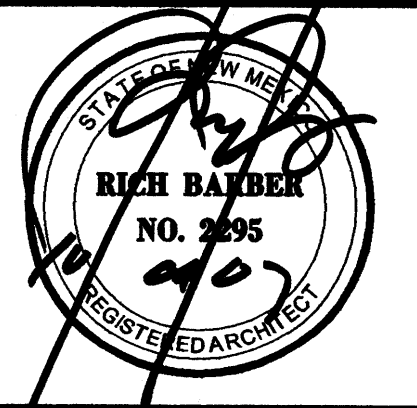


FRONT ELEVATION

WEST SITE - BUILDING 1 SCALE: 1/8" = 1'-0"

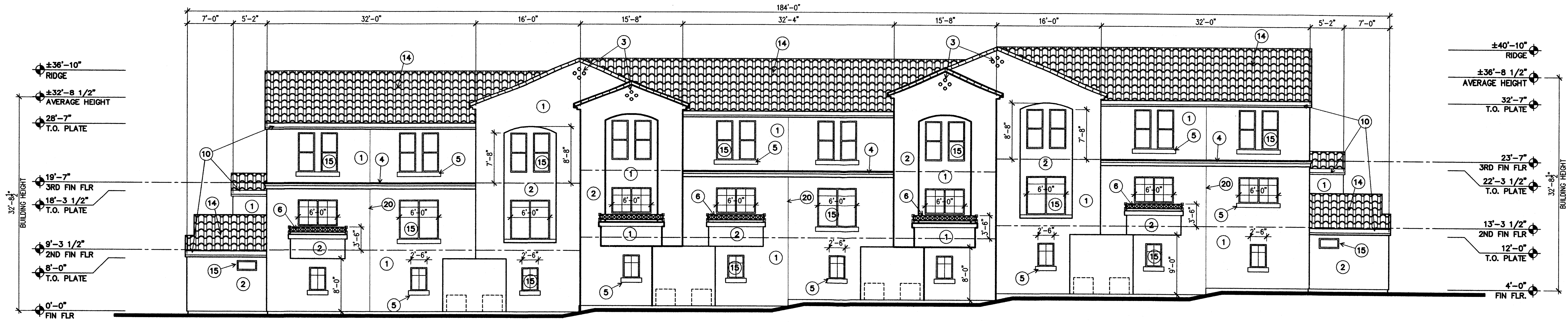
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REAR ELEVATION
WEST SITE - BUILDING 2
SCALE: 1/8" = 1'-0"

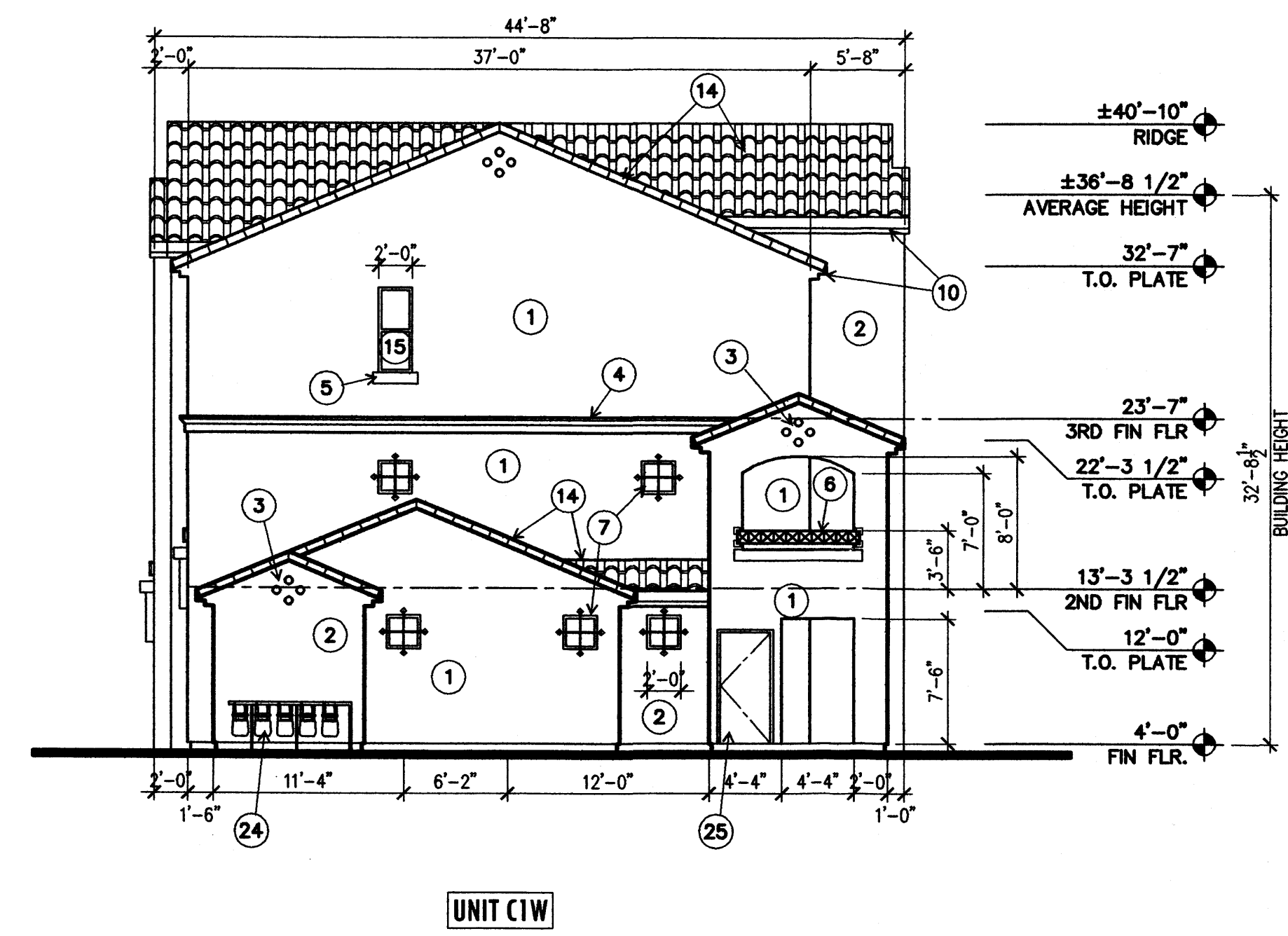
KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) NANA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN CUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 BUILDING ADDRESS SIGN. REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

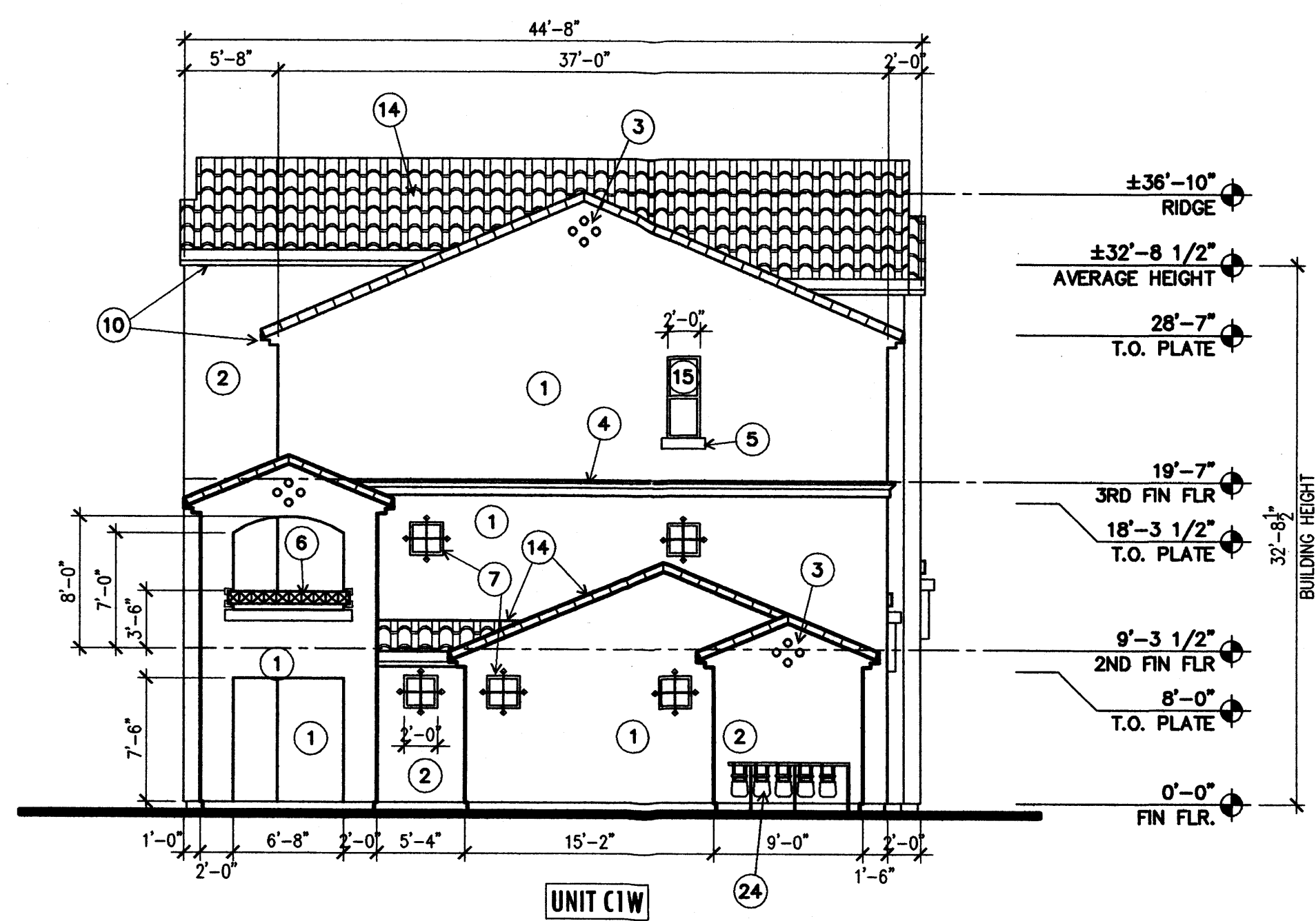
MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 2, 6 & 8)	SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)
(A) STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

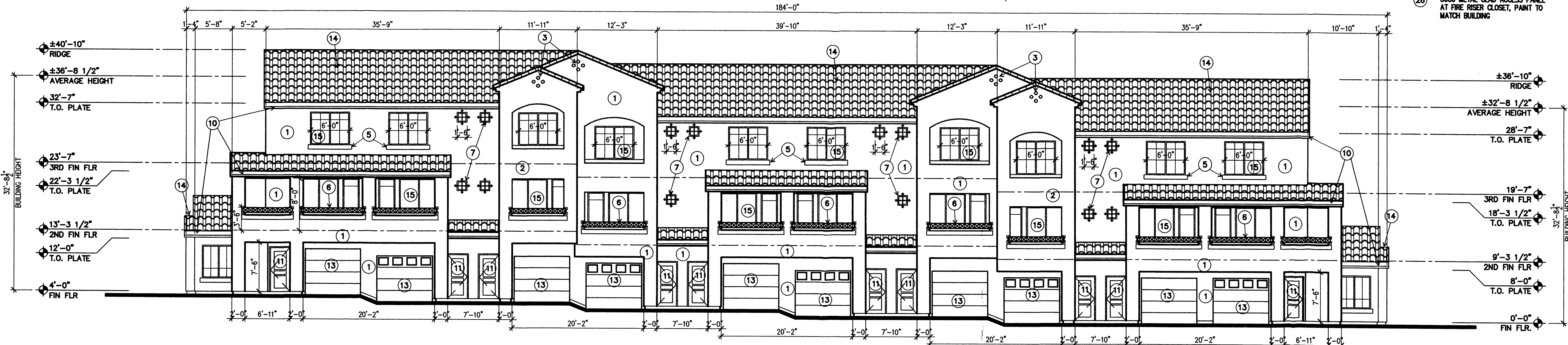
NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



LEFT ELEVATION
WEST SITE - BUILDING 2
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
WEST SITE - BUILDING 2
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
WEST SITE - BUILDING 2
SCALE: 1/8" = 1'-0"

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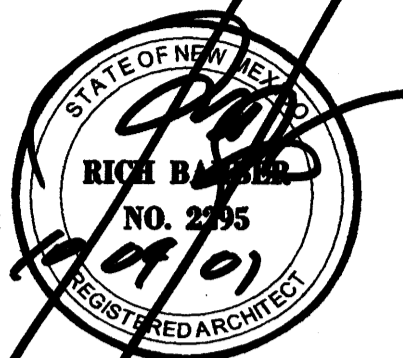
DATE: SEPTEMBER 28, 2007 ORB # 06-210

A3.2.23

WEST SITE
BUILDING 2 ELEVATIONS

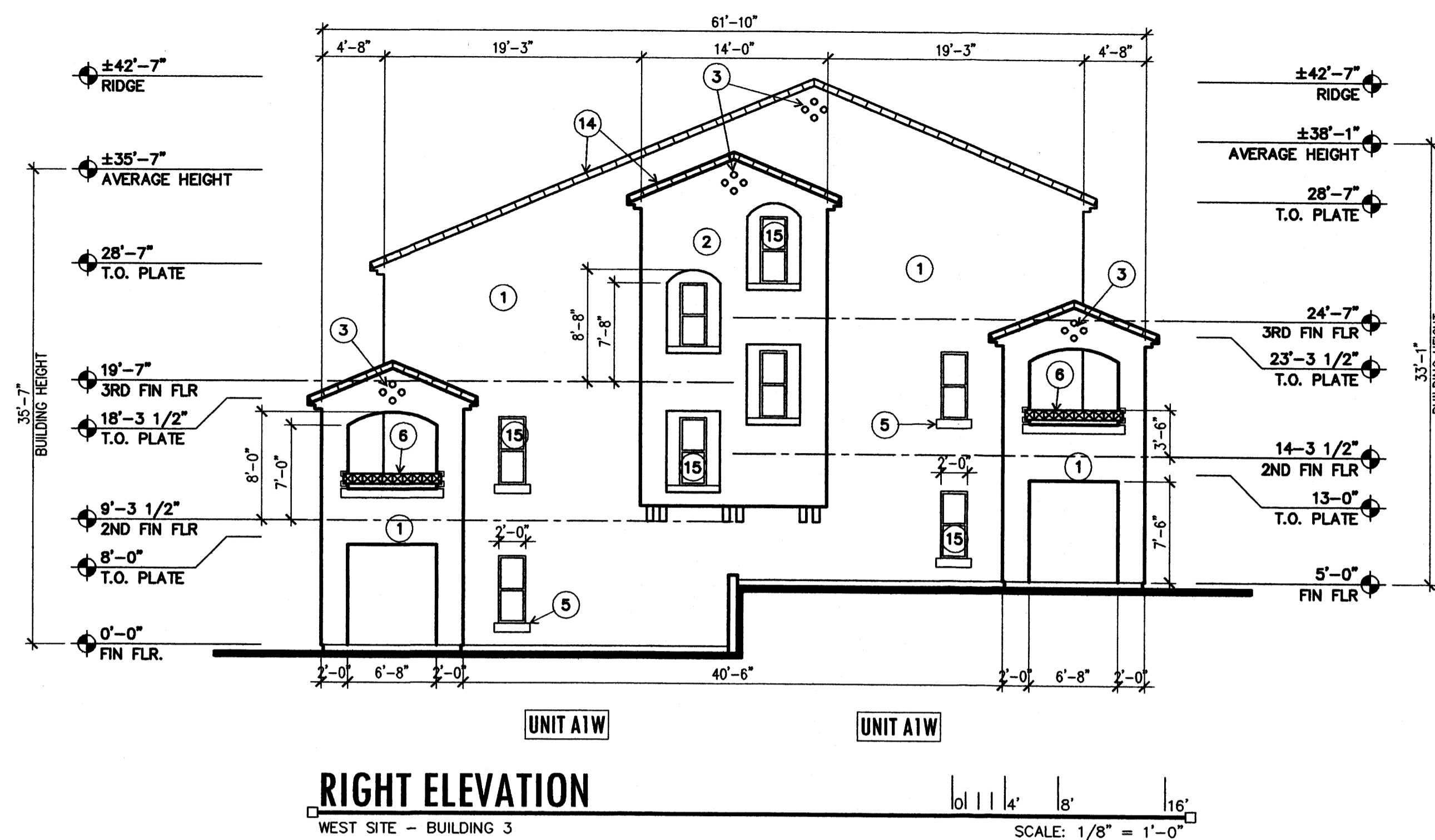
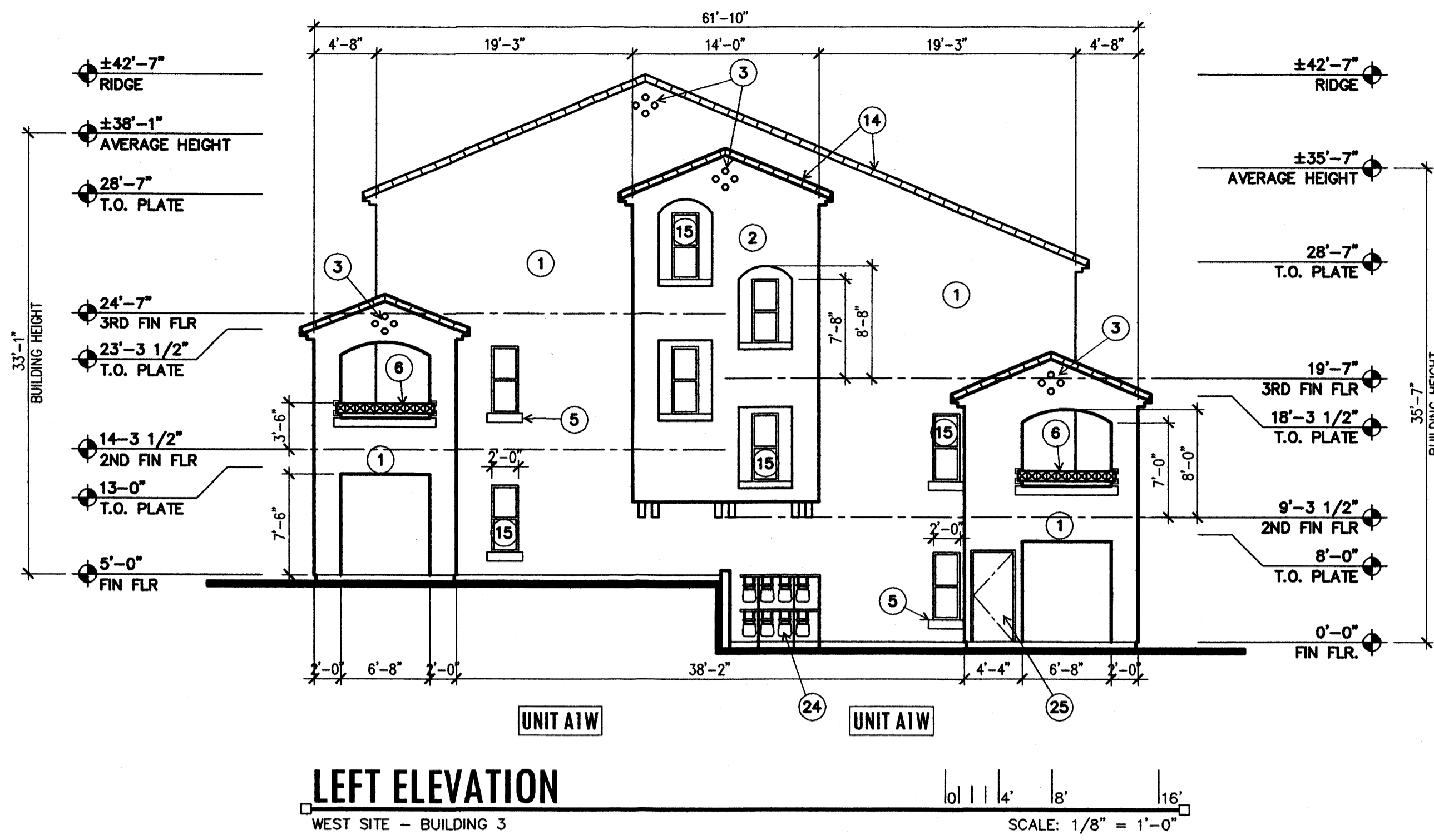
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MATERIAL/COLOR KEY NOTES	
SCHEME 1 (BUILDINGS 2, 6 & 8)	SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)
(A) STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

- KEY NOTES**
- (1) (A) STUCCO WALL
 - (2) (B) STUCCO WALL
 - (3) (D) CLAY PIPE
 - (4) (D) STUCCO TRIM
 - (5) (D) STUCCO WINDOW SILL
 - (6) (E) METAL RAILING
 - (7) (G) WINDOW WITH (E) IRON CROSS BAR
 - (8) (A) CHIMNEY
 - (9) (D) DECORATIVE PRECAST PANEL
 - (10) (D) STUCCO ROOF FASCIA
 - (11) (E) METAL ENTRY DOOR
 - (12) (C) MANA-WALL SYSTEM
 - (13) (C) METAL SECTIONAL GARAGE DOOR
 - (14) (F) ROOF TILE
 - (15) (G) ALUMINUM WINDOW
 - (16) (G) ALUMINUM STOREFRONT
 - (17) (B) STUCCO COVERED CALI SCREEN WALL
 - (18) (E) PRECAST STAIR WITH METAL RAILING
 - (19) (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
 - (20) STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
 - (21) BUILDING ADDRESS SIGN, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
 - (22) ELECTRIC SERVICE PANEL
 - (23) (A) BALCONY SCUPPER
 - (24) GAS METERS LOCATION
 - (25) 306B METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
 - (26) 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

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A3.2.32

WEST SITE
BUILDING 3 ELEVATIONS

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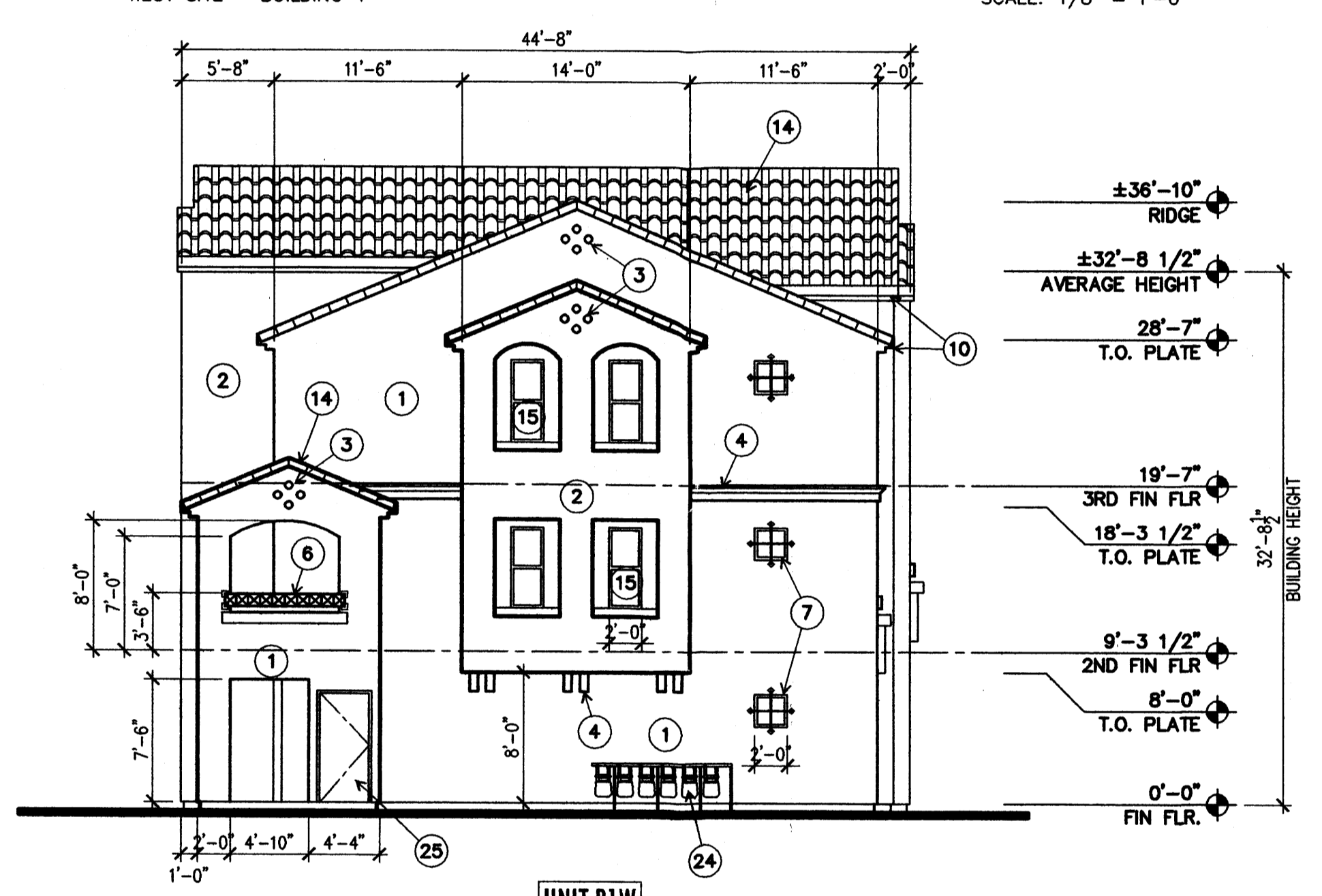
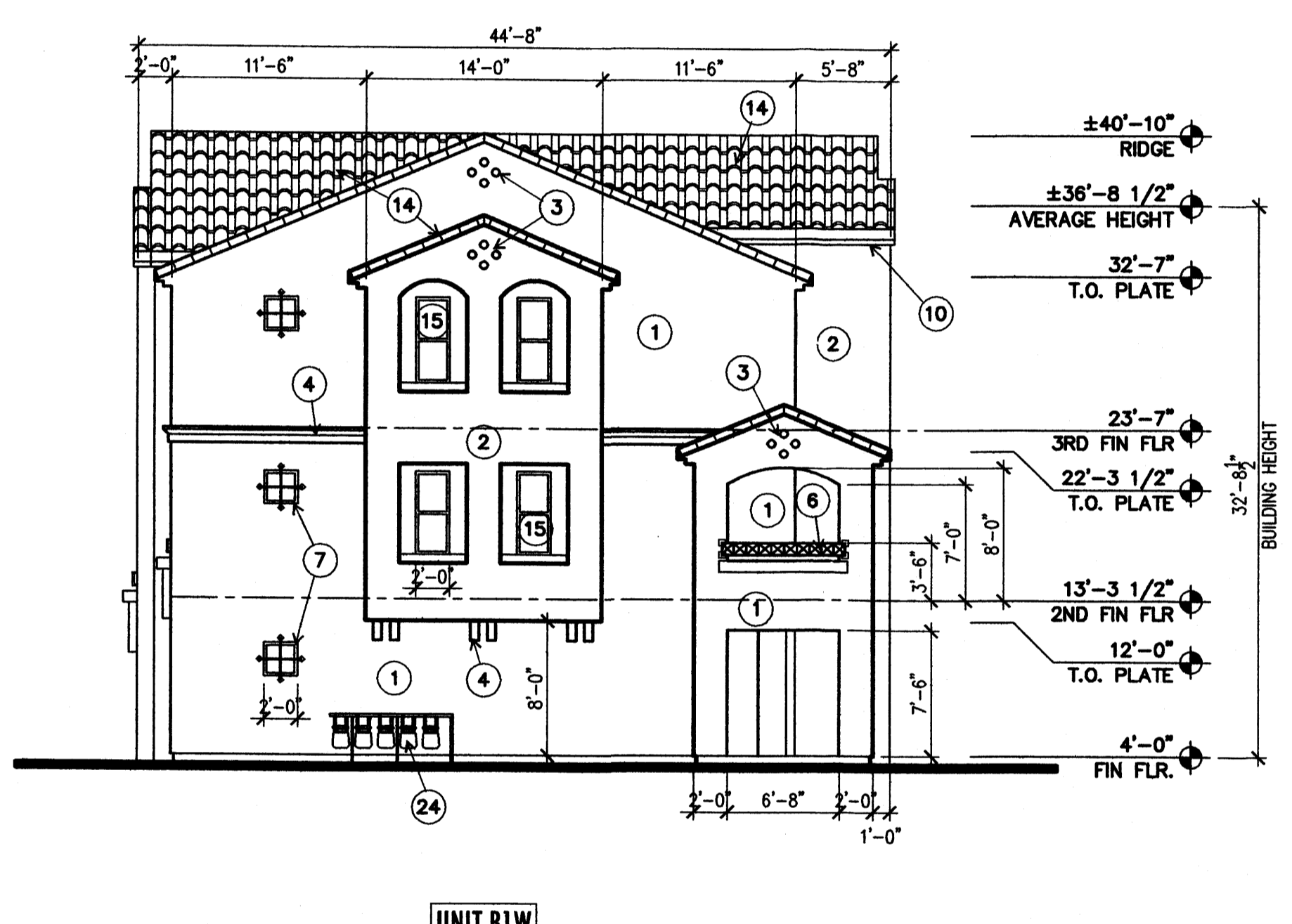
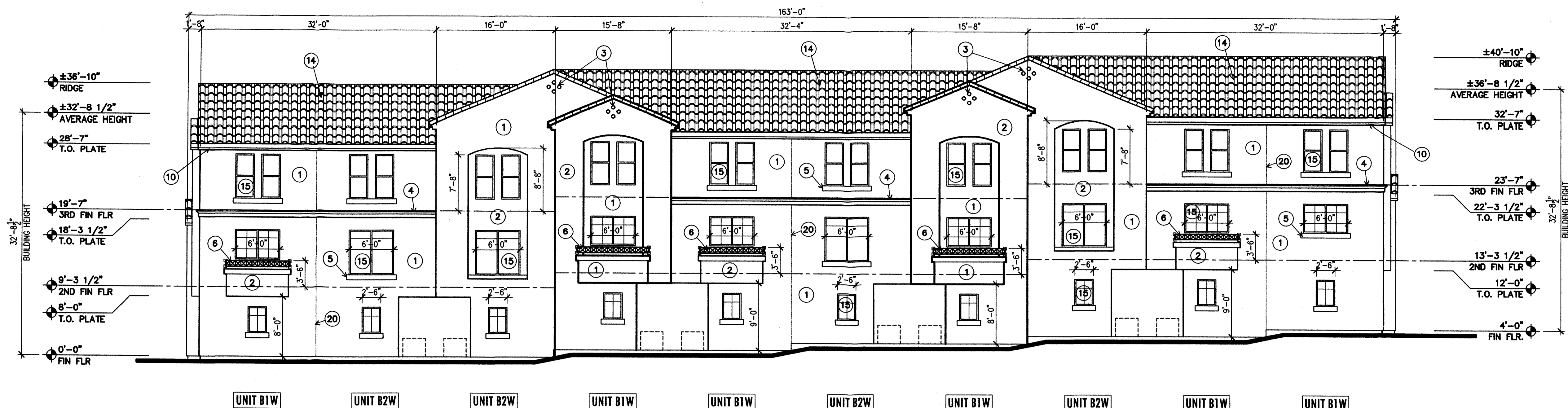
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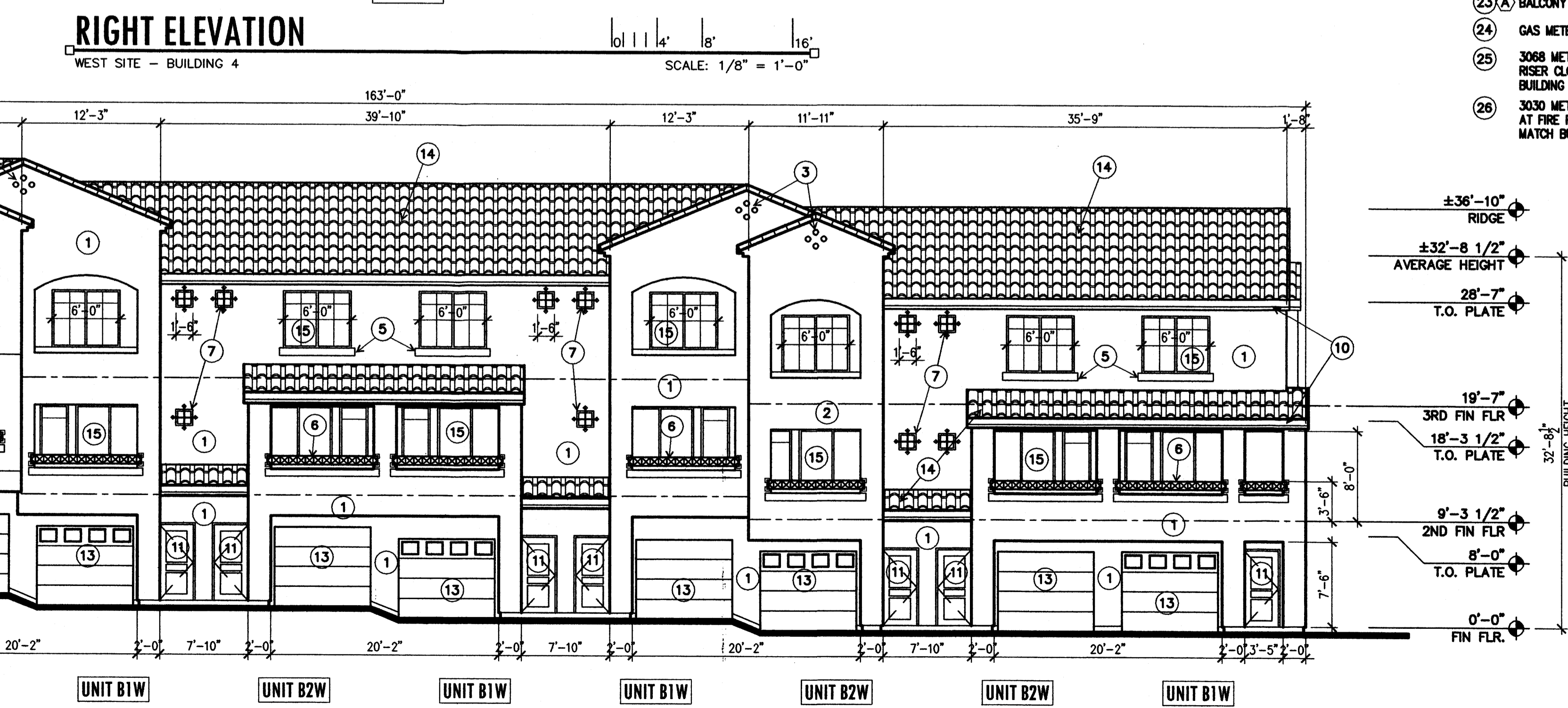
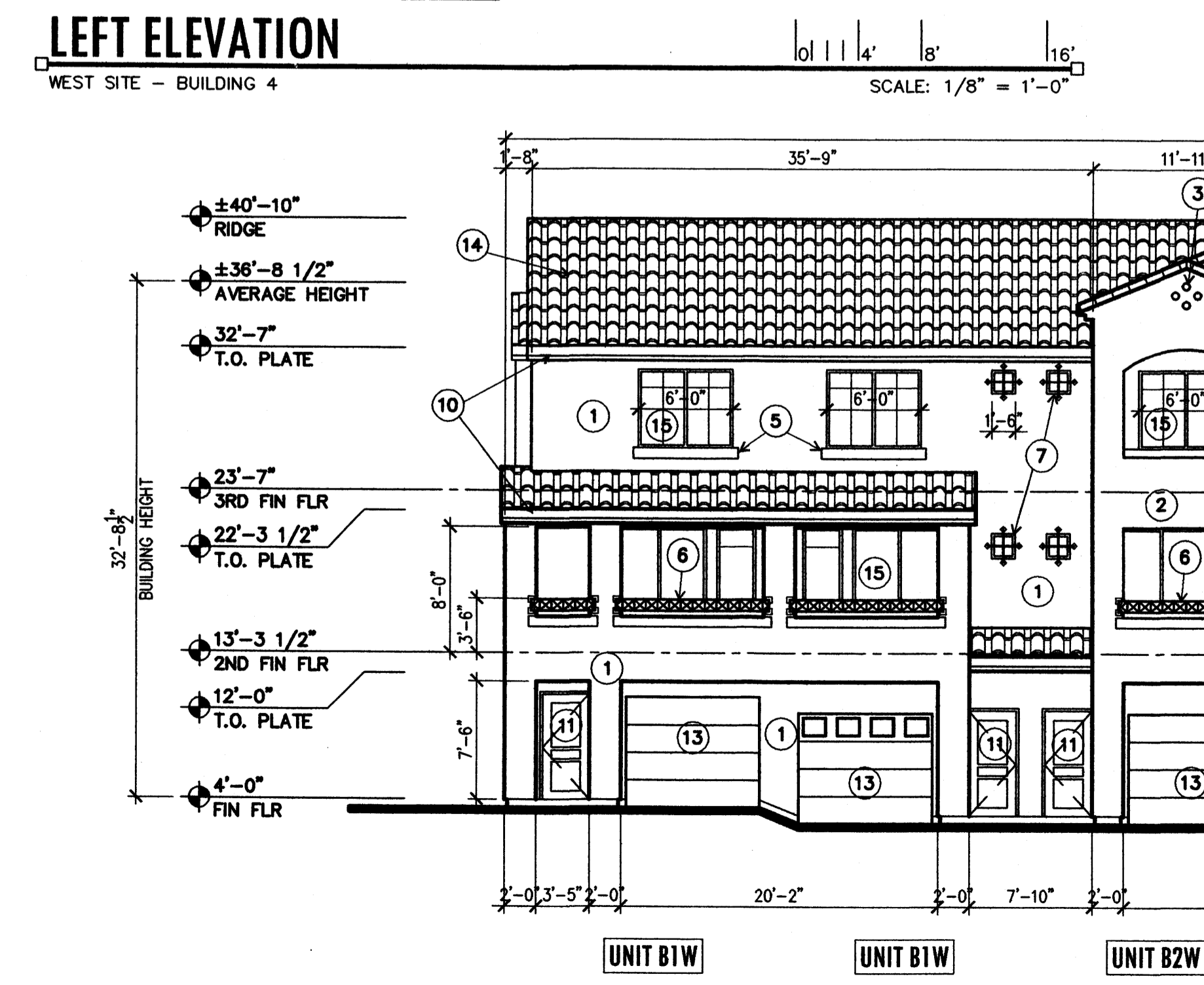


MATERIAL/COLOR KEY NOTES

	SCHEME 1 (BUILDINGS 2, 6 & 8)	SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)
(A)	STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE
(B)	ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C)	GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D)	STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E)	IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F)	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
(G)	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

- KEY NOTES**
- (A) STUCCO WALL
 - (B) STUCCO WALL
 - (C) CLAY PIPE
 - (D) STUCCO TRIM
 - (E) STUCCO WINDOW SILL
 - (F) METAL RAILING
 - (G) WINDOW WITH (E) IRON CROSS BAR
 - (A) CHIMNEY
 - (D) DECORATIVE PRECAST PANEL
 - (D) STUCCO ROOF FASCIA
 - (E) METAL ENTRY DOOR
 - (G) MANA-WALL SYSTEM
 - (C) METAL SECTIONAL GARAGE DOOR
 - (F) ROOF TILE
 - (G) ALUMINUM WINDOW
 - (G) ALUMINUM STOREFRONT
 - (B) STUCCO COVERED CMU SCREEN WALL
 - (E) PRECAST STAIR WITH METAL RAILING
 - (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
 - (20) STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
 - (21) BUILDING ADDRESS SIGN, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
 - (22) ELECTRIC SERVICE PANEL
 - (23) BALCONY SCUPPER
 - (24) GAS METERS LOCATION
 - (25) 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
 - (26) 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING



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NO.	DATE	DESCRIPTION

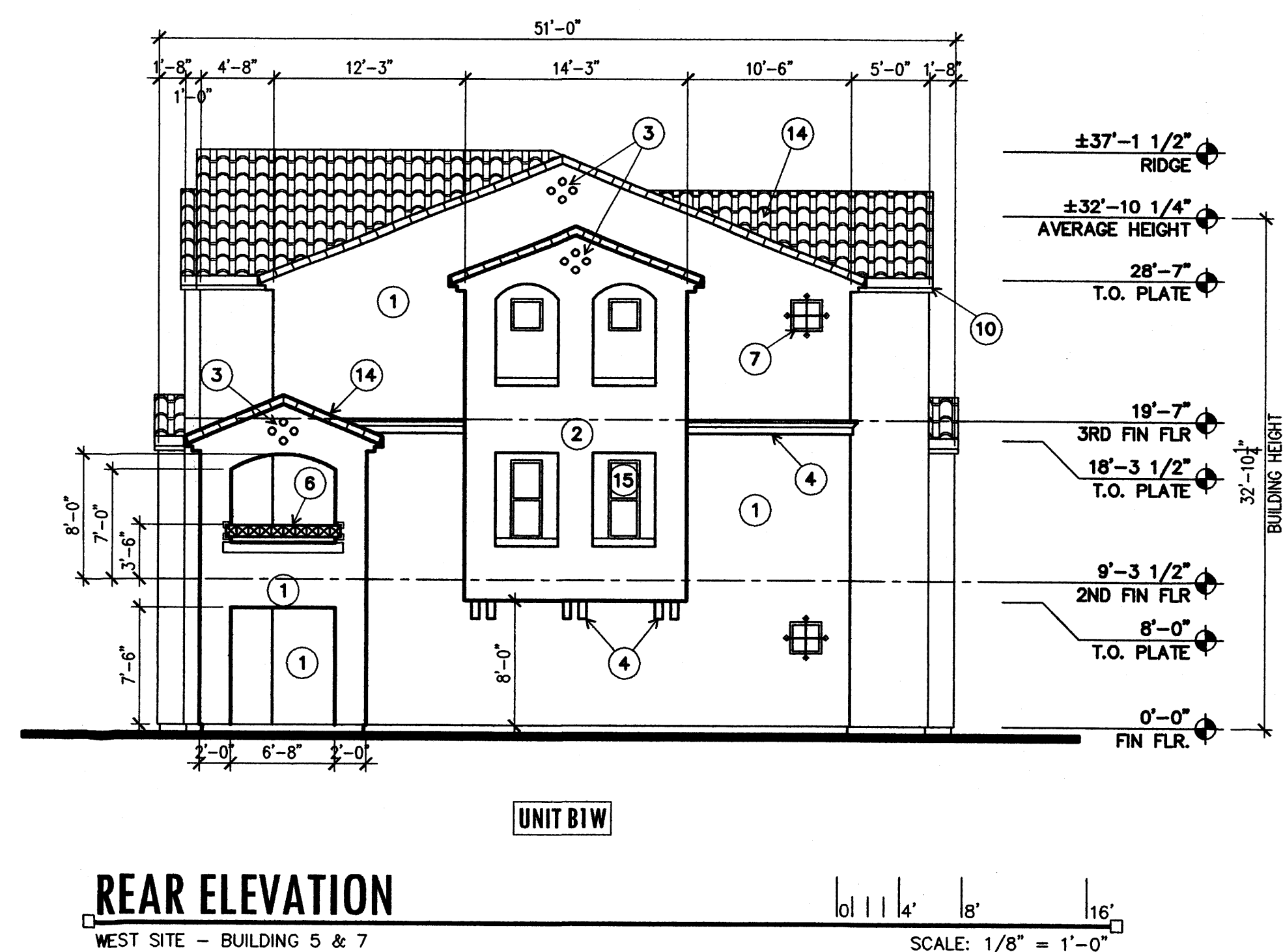
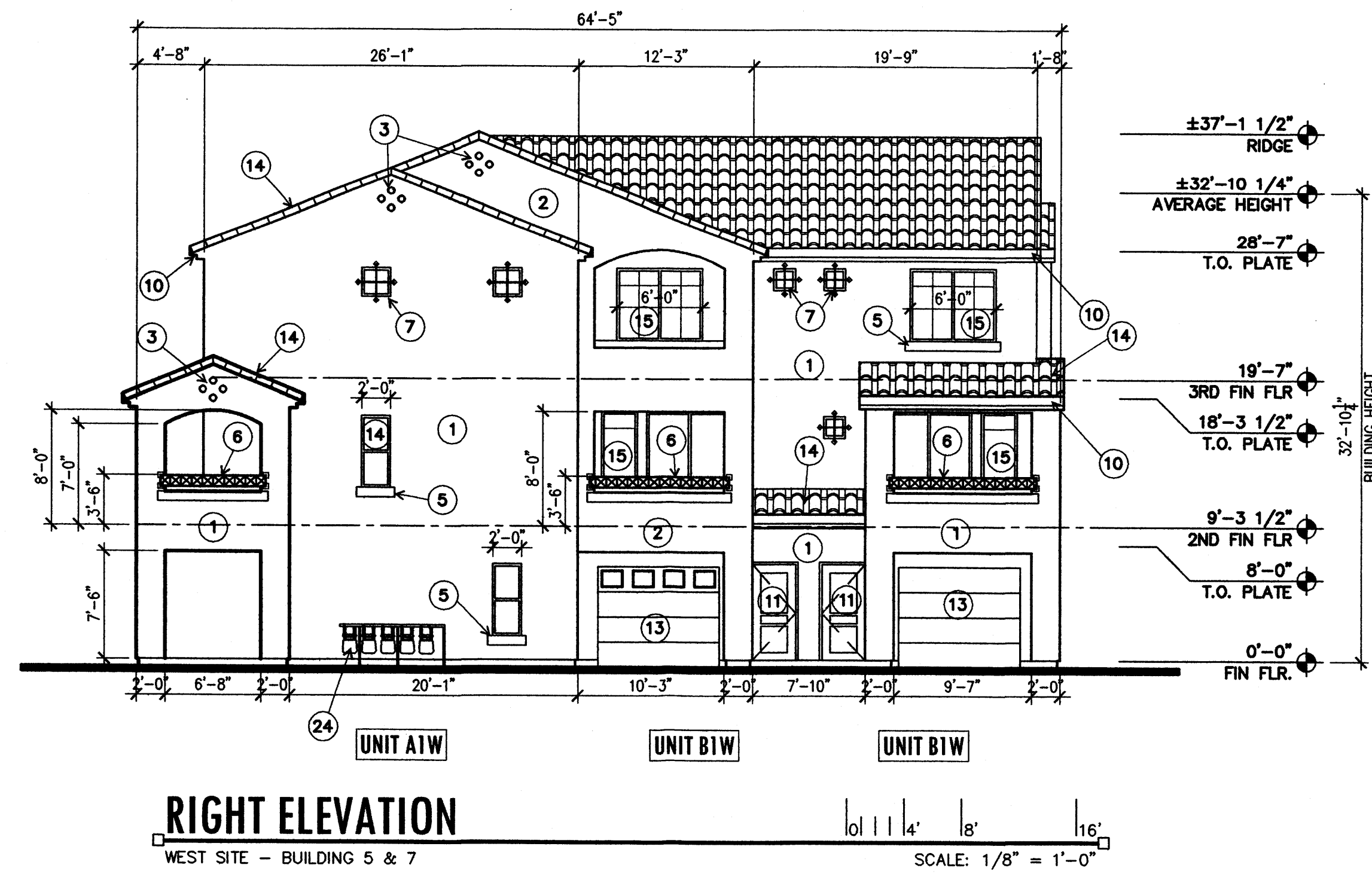
DATE: SEPTEMBER 28, 2007 ORB # 06-210

A3.2.43

WEST SITE
BUILDING 4 ELEVATIONS

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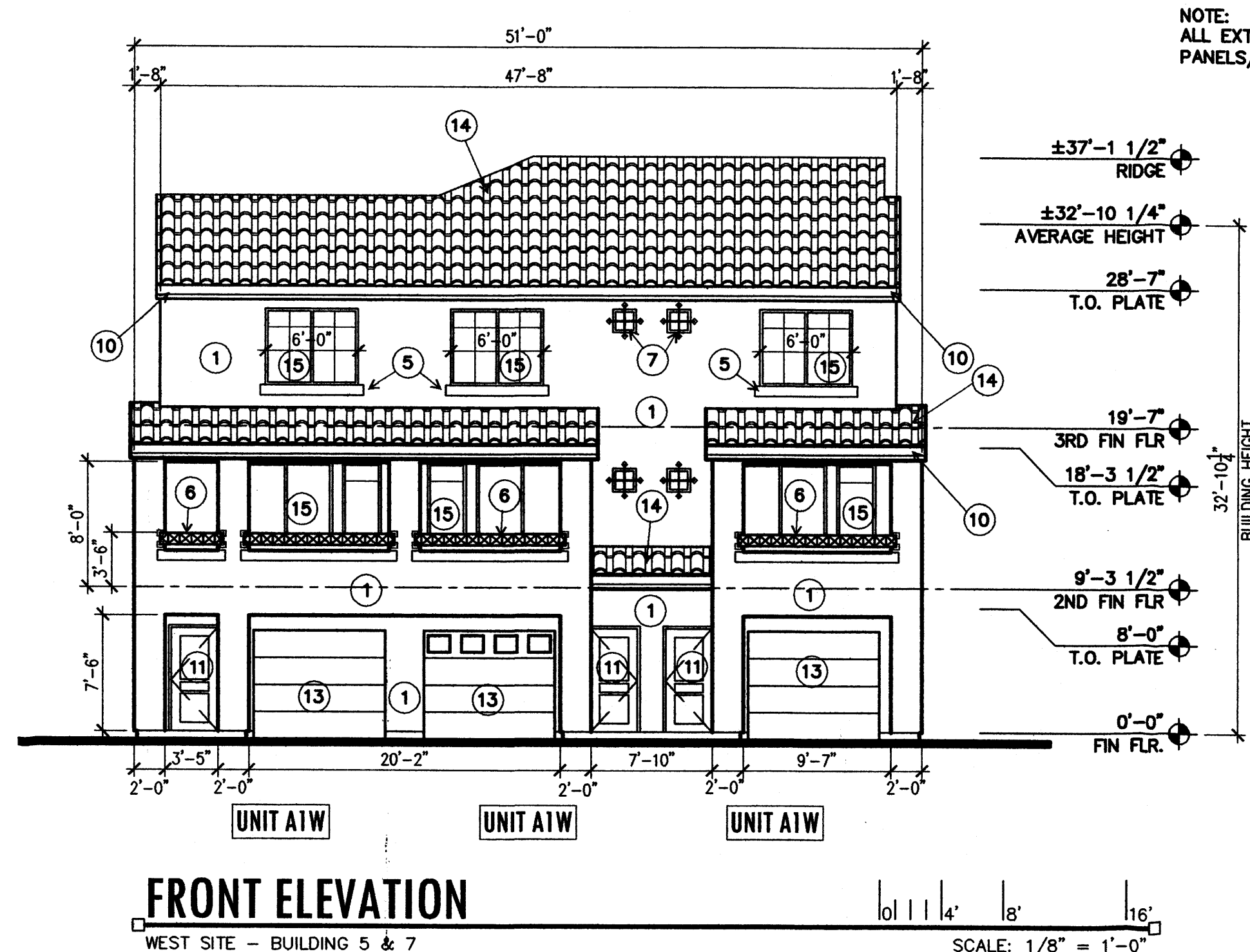
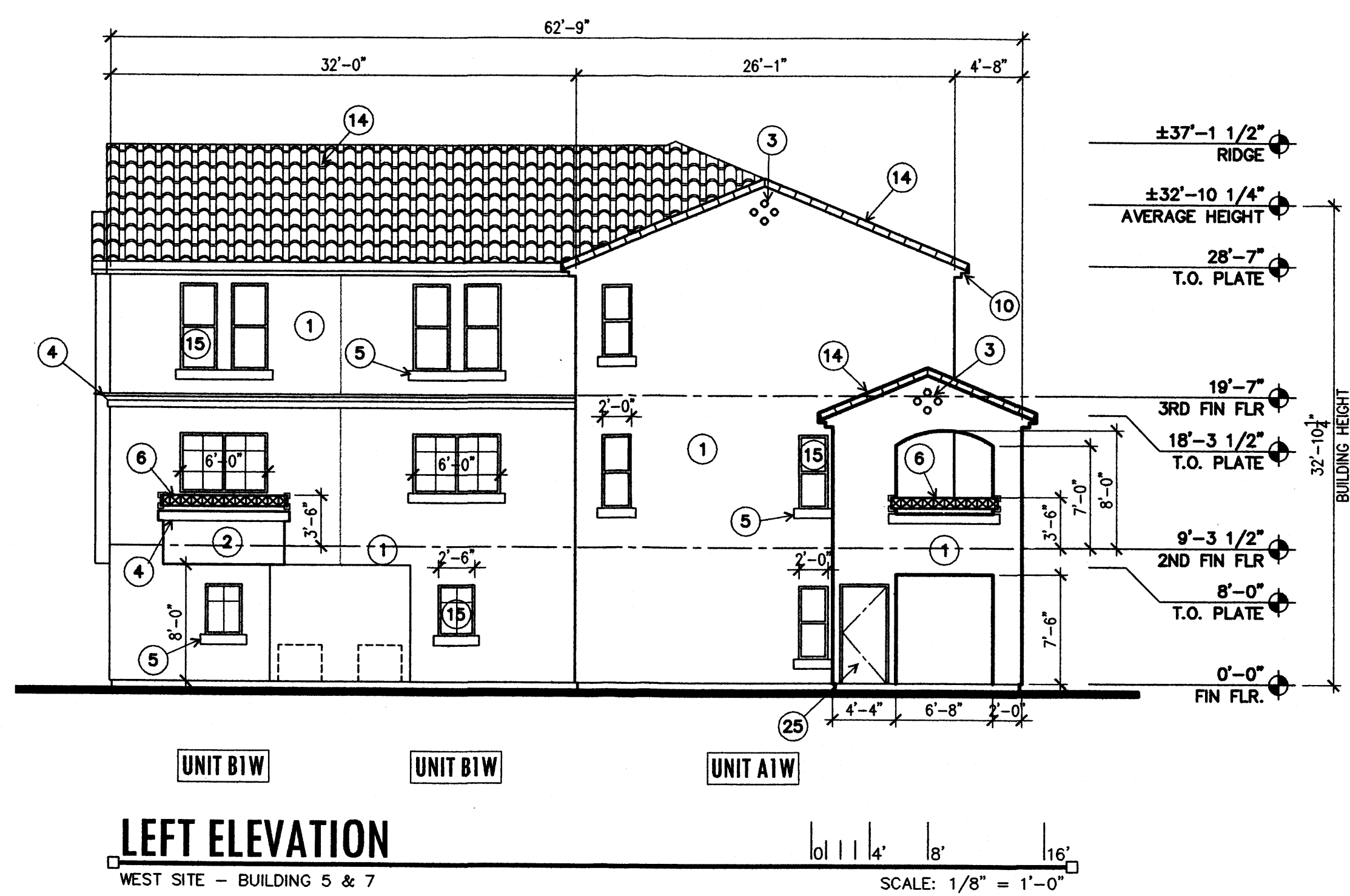


- KEY NOTES**
- 1 (A) STUCCO WALL
 - 2 (B) STUCCO WALL
 - 3 (D) CLAY PIPE
 - 4 (D) STUCCO TRIM
 - 5 (D) STUCCO WINDOW SILL
 - 6 (E) METAL RAILING
 - 7 (G) WINDOW WITH (E) IRON CROSS BAR
 - 8 (A) CHIMNEY
 - 9 (D) DECORATIVE PRECAST PANEL
 - 10 (D) STUCCO ROOF FASCIA
 - 11 (E) METAL ENTRY DOOR
 - 12 (G) NANA-WALL SYSTEM
 - 13 (C) METAL SECTIONAL GARAGE DOOR
 - 14 (F) ROOF TILE
 - 15 (G) ALUMINUM WINDOW
 - 16 (G) ALUMINUM STOREFRONT
 - 17 (B) STUCCO COVERED CMU SCREEN WALL
 - 18 (E) PRECAST STAIR WITH METAL RAILING
 - 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
 - 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
 - 21 BUILDING ADDRESS SIGN, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
 - 22 ELECTRIC SERVICE PANEL
 - 23 (A) BALCONY SCUPPER
 - 24 GAS METERS LOCATION
 - 25 3088 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
 - 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

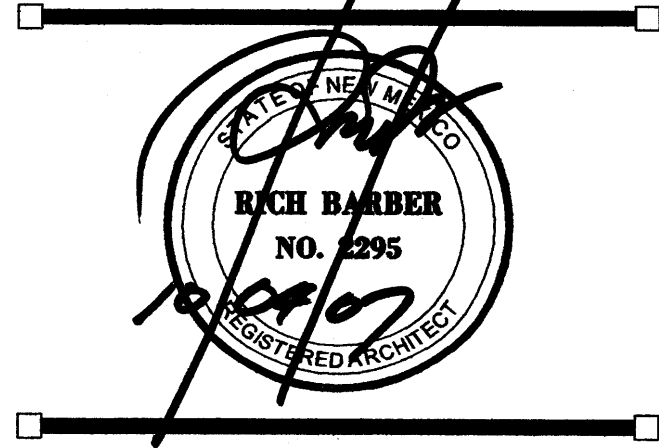
MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 2, 6 & 8)		SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)	
(A) STUCCO WALL LIGHT BROWN	(B) ACCENT STUCCO WALL MEDIUM BROWN	STUCCO WALL BEIGE	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	(D) STUCCO TRIM & DOORS DARK BROWN	GARAGE DOOR MEDIUM BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME		DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



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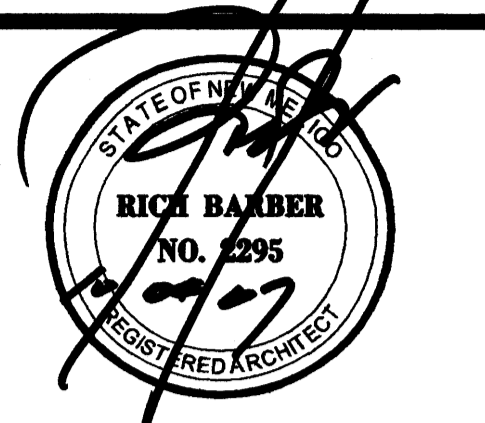
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DATE: SEPTEMBER 28, 2007 ORB # 06-210
A3.2.52
WEST SITE
BLDGs 5 & 7 ELEVATIONS

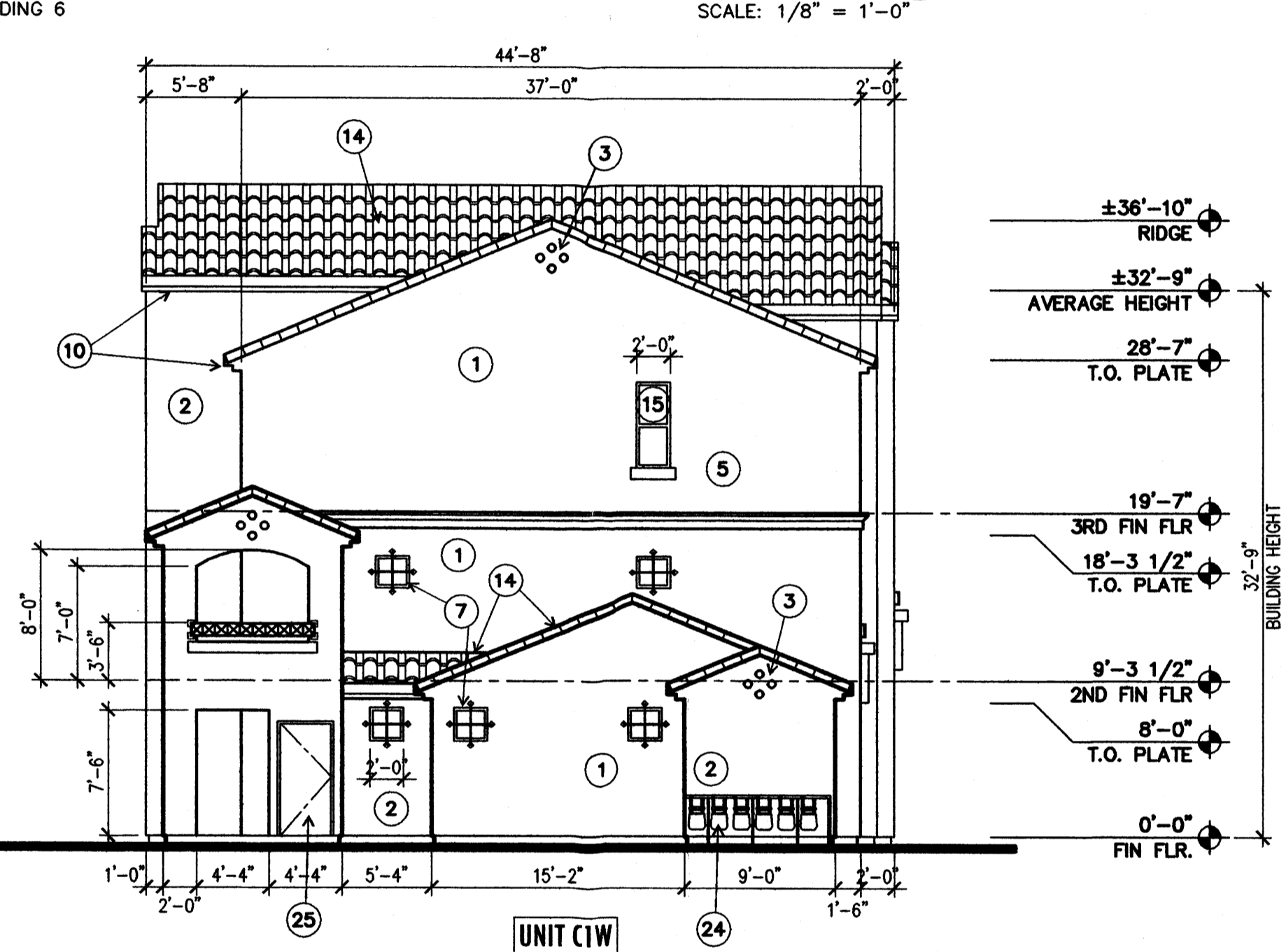
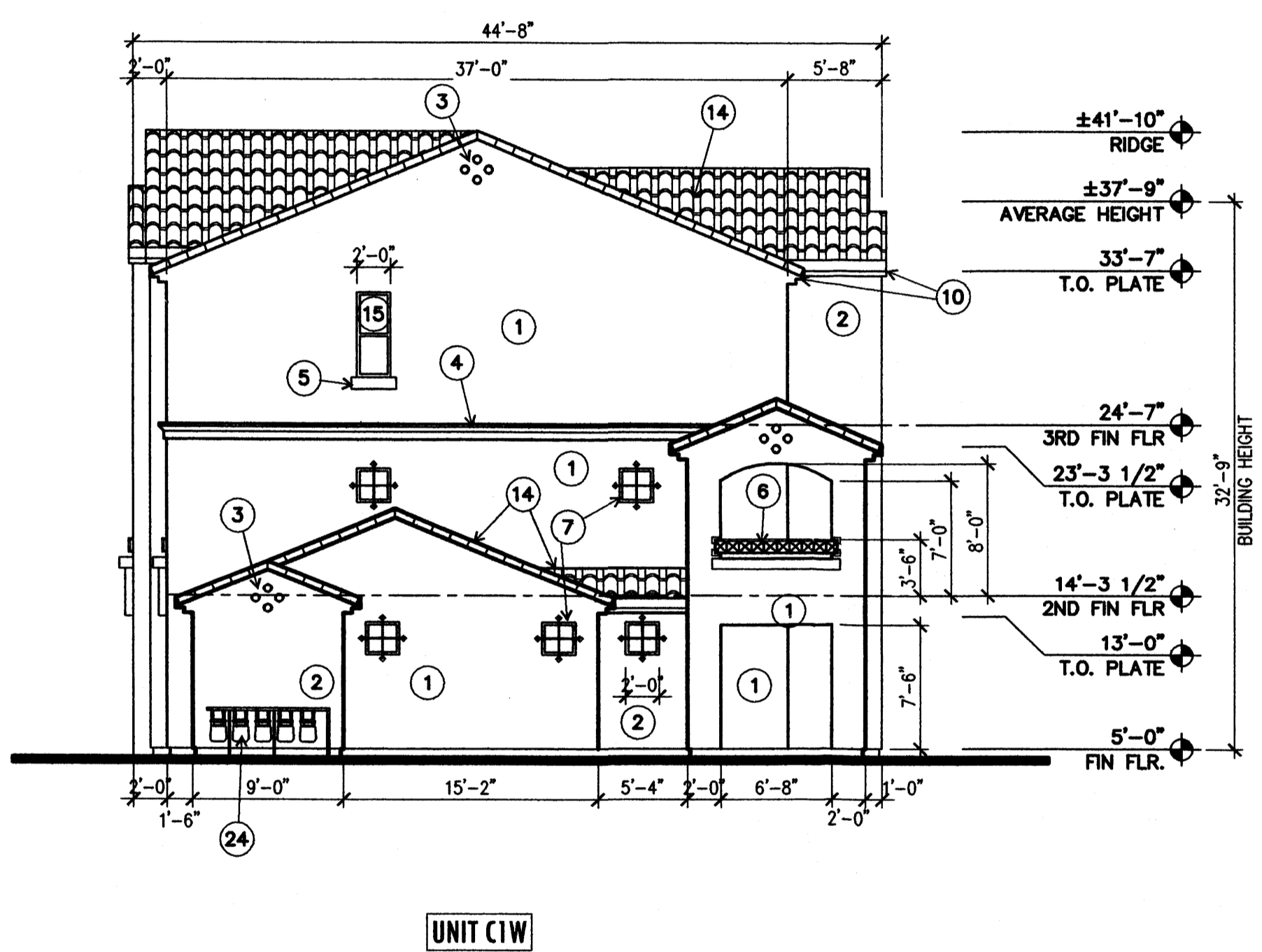
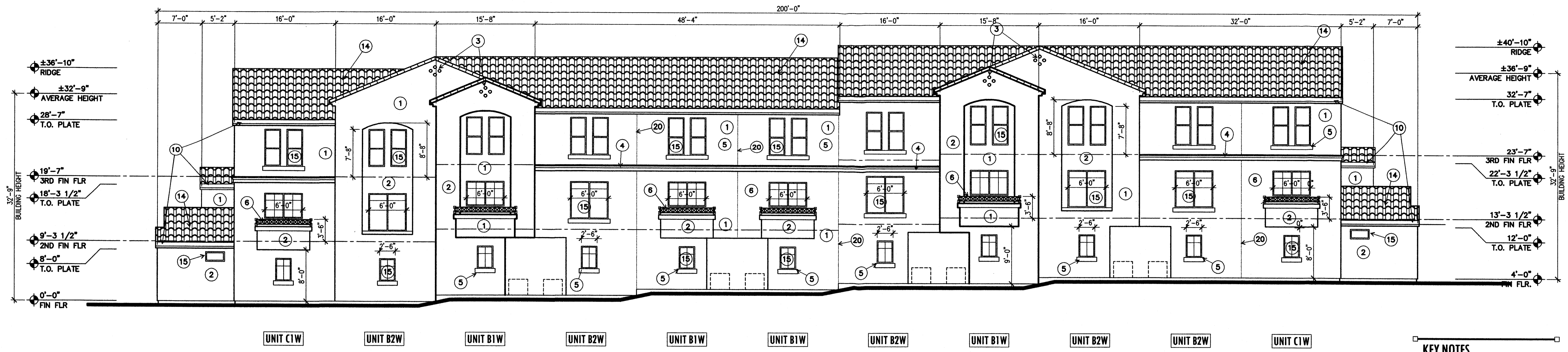
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MATERIAL/COLOR KEY NOTES

	SCHEME 1 (BUILDINGS 2, 6 & 8)	SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)
A	STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE
B	ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
C	GARAGE DOOR DARK BROWN	GARAGE DOOR MEDIUM BROWN
D	STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
E	IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
F	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
G	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

- KEY NOTES**
- (A) STUCCO WALL
 - (B) STUCCO WALL
 - (D) CLAY PIPE
 - (D) STUCCO TRIM
 - (D) STUCCO WINDOW SILL
 - (E) METAL RAILING
 - (G) WINDOW WITH (E) IRON CROSS BAR
 - (A) CHIMNEY
 - (D) DECORATIVE PRECAST PANEL
 - (D) STUCCO ROOF FASCIA
 - (E) METAL ENTRY DOOR
 - (C) NANA-WALL SYSTEM
 - (C) METAL SECTIONAL GARAGE DOOR
 - (F) ROOF TILE
 - (G) ALUMINUM WINDOW
 - (G) ALUMINUM STOREFRONT
 - (B) STUCCO COVERED CMU SCREEN WALL
 - (E) PRECAST STAIR WITH METAL RAILING
 - (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
 - (20) STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
 - (21) BUILDING ADDRESS SIGN, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
 - (22) ELECTRIC SERVICE PANEL
 - (23) BALCONY SCUPPER
 - (24) GAS METERS LOCATION
 - (25) 3088 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
 - (26) 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING



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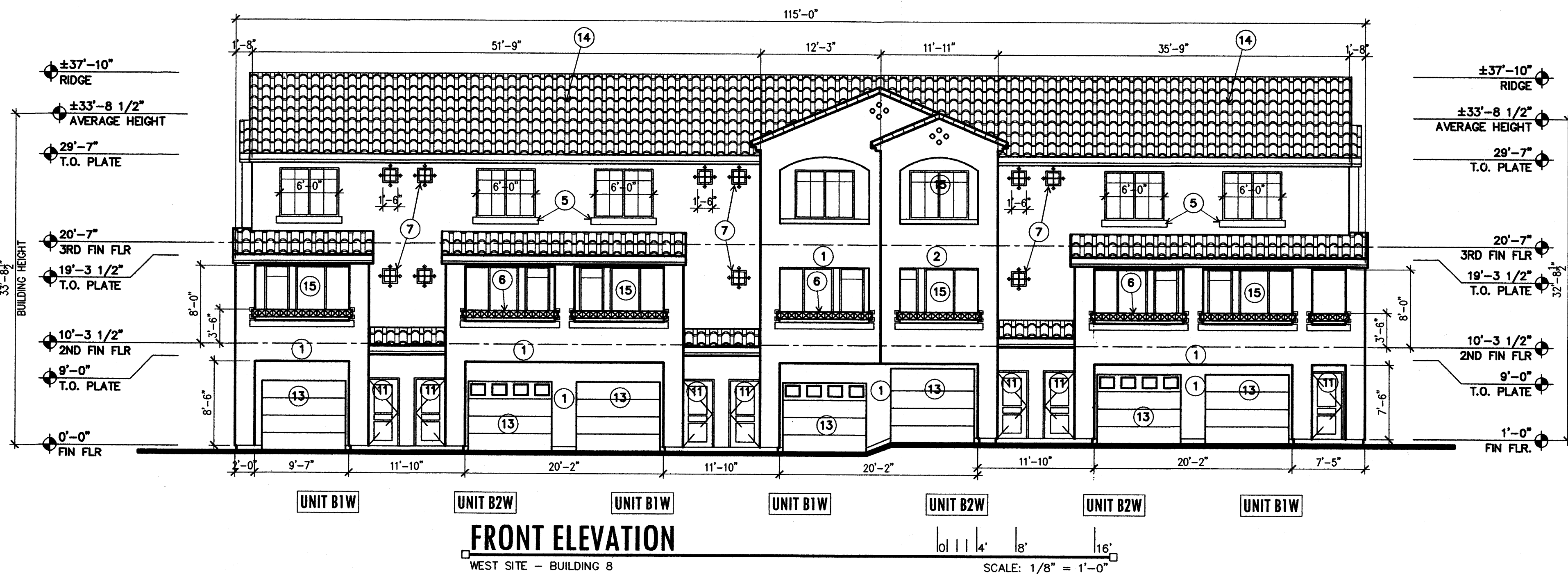
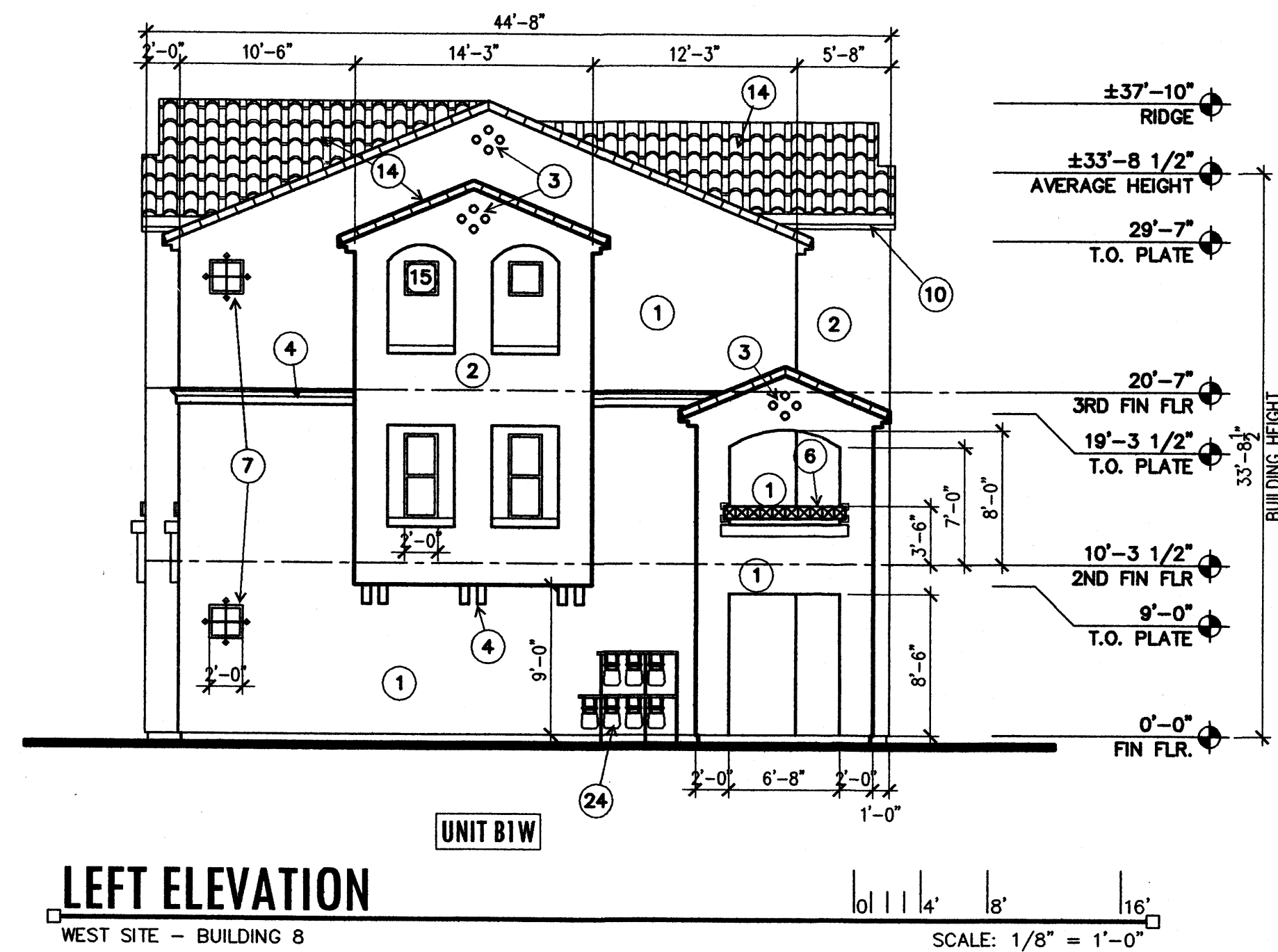
NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB # 06-210

A3.2.63
WEST SITE
BUILDING 6 ELEVATIONS

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MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 2, 6 & 8)		SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)	
(A)	STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE	
(B)	ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN	
(C)	GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN	
(D)	STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN	
(E)	IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN	
(F)	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	
(G)	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

KEY NOTES

- (1) (A) STUCCO WALL
- (2) (B) STUCCO WALL
- (3) (D) CLAY PIPE
- (4) (D) STUCCO TRIM
- (5) (D) STUCCO WINDOW SILL
- (6) (E) METAL RAILING
- (7) (G) WINDOW WITH (E) IRON CROSS BAR
- (8) (A) CHIMNEY
- (9) (D) DECORATIVE PRECAST PANEL
- (10) (D) STUCCO ROOF FASCIA
- (11) (E) METAL ENTRY DOOR
- (12) (G) NANA-WALL SYSTEM
- (13) (C) METAL SECTIONAL GARAGE DOOR
- (14) (F) ROOF TILE
- (15) (G) ALUMINUM WINDOW
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- (19) (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
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NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB# 06-210

A3.2.73

WEST SITE
BUILDING 8 ELEVATIONS

BROADSTONE TOWNE CENTER

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Atlanta, Georgia 30318
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Contact: Danny Powell

2006.003.1

REVISIONS

- △ ADDRESS EPC CONDITIONS 09/07
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DATE: SEPTEMBER, 2007 ORB # 06-210

C1.10

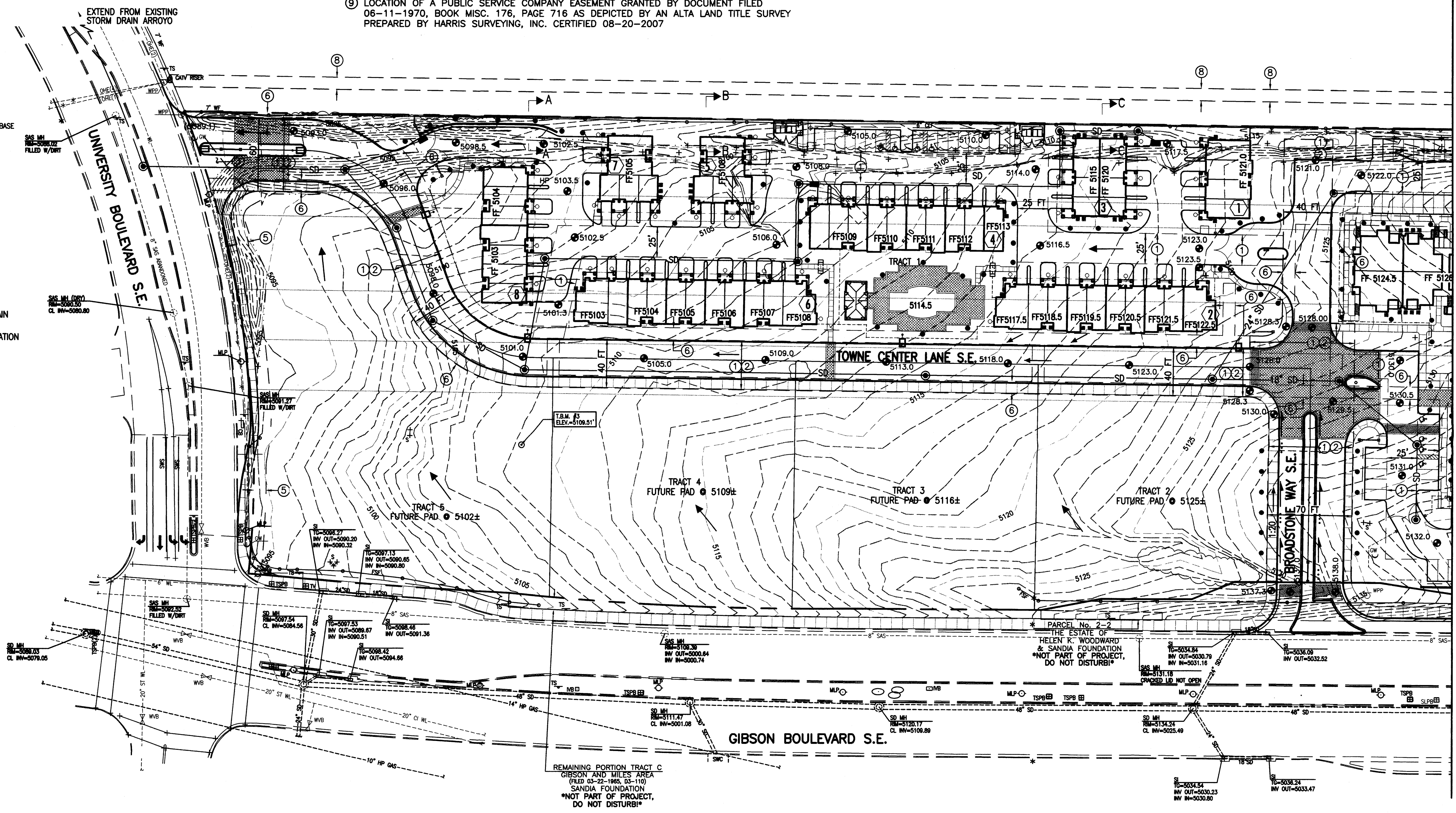
CONCEPTUAL GRADING PLAN
(WEST)

LEGEND

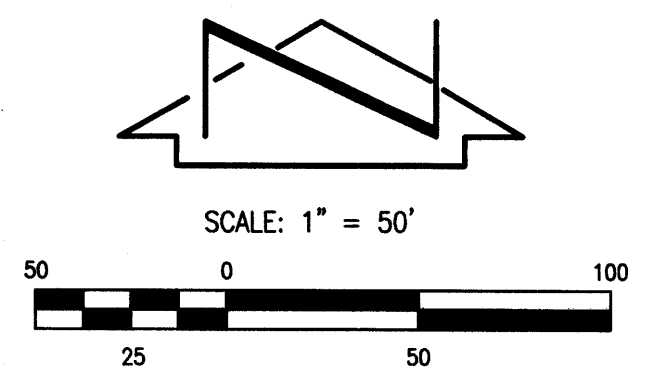
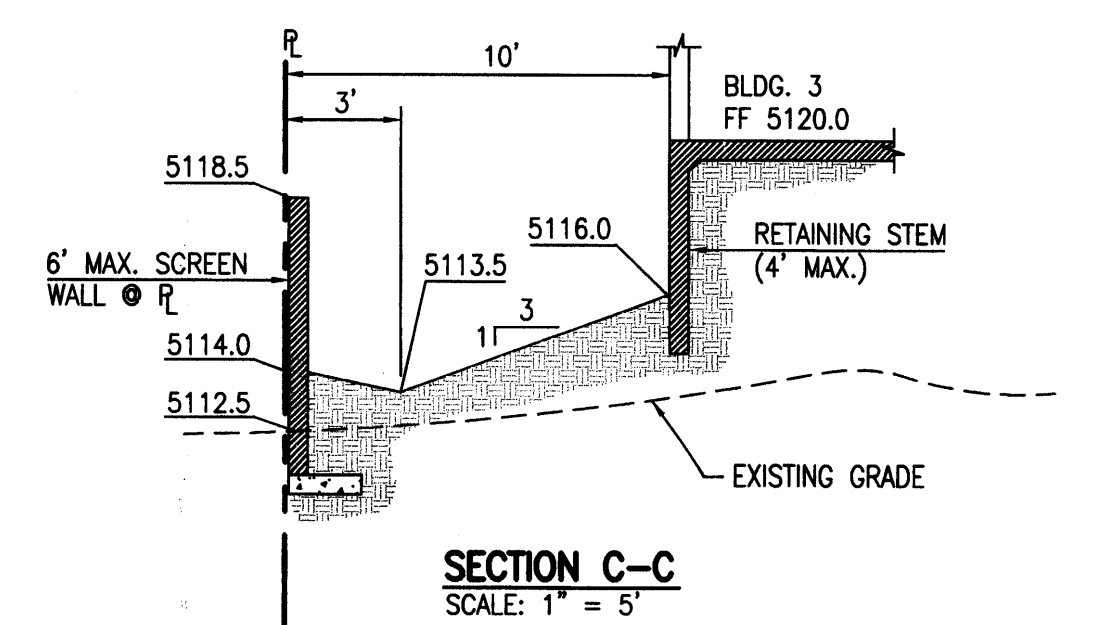
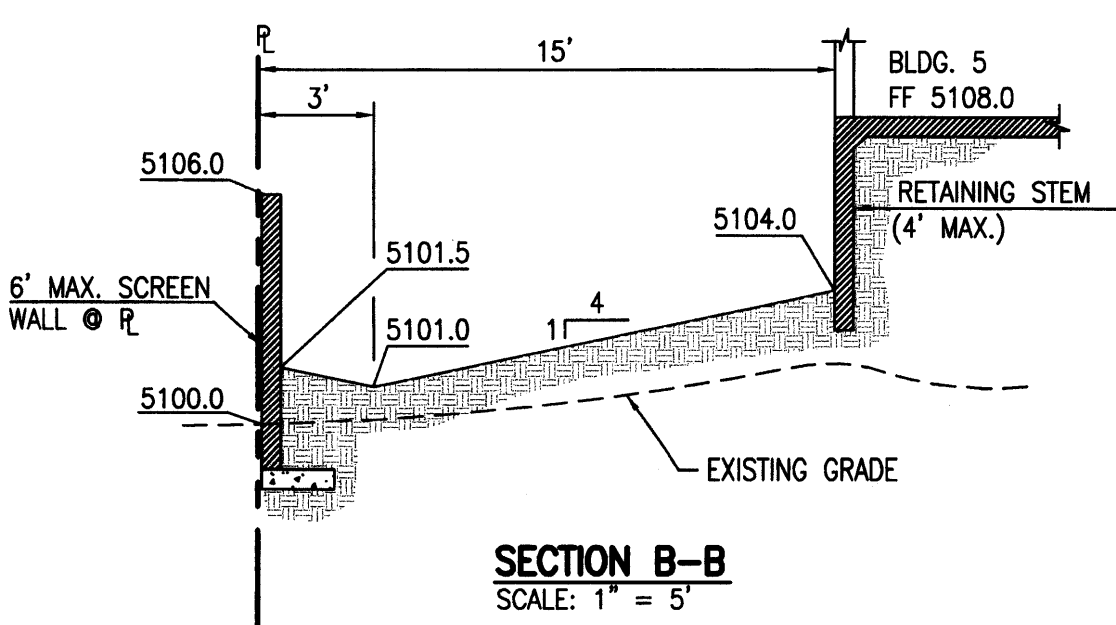
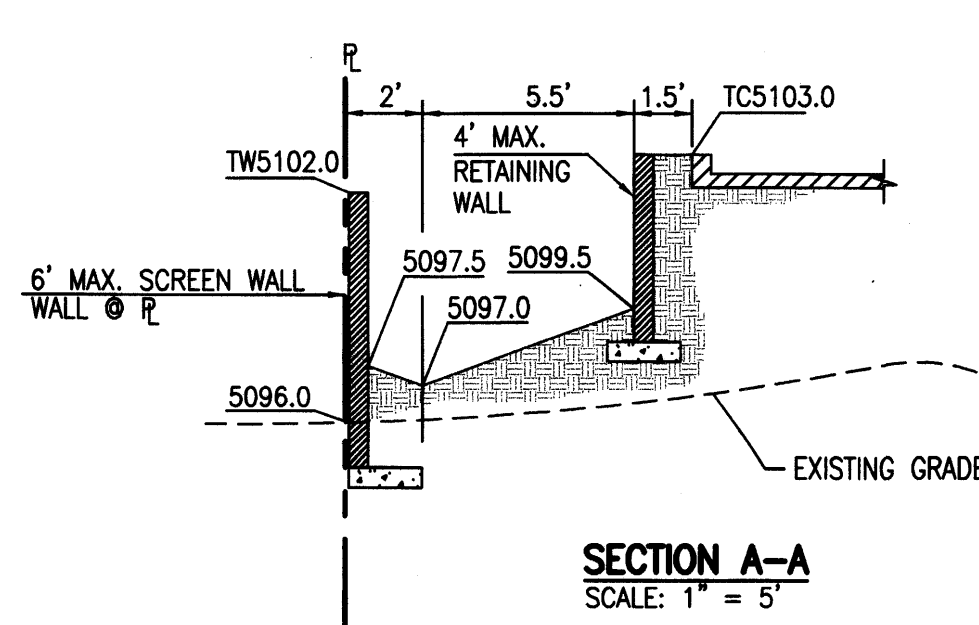
- ASPH ASPHALT
- C&G CURB AND GUTTER
- CATV CABLE TELEVISION
- CB CONCRETE BENCH
- CC CONCRETE CURB
- CDP CONCRETE DRIVEPAD
- CI CAST IRON
- CL CENTERLINE
- CMFA METAL PIPE IN REINFORCED CONCRETE
- CMU CONCRETE MASONRY UNIT
- CONC CONCRETE
- EXC EXPOSED CURB
- FH FIRE HYDRANT
- FL FLOWLINE
- FO FENCE OPENING
- GR GRAVEL
- GW GUY WIRE
- HP HIGH PRESSURE
- IB IRRIGATION VALVE BOX
- LS LANDSCAPED
- MCP METAL GUARD POST
- MH MANHOLE
- MPL METAL LIGHT POLE
- PATT PATTERN
- PG PEDESTRIAN GATE
- PCA PIPE GATE
- PMT PAVEMENT
- RCP REINFORCED CONCRETE PIPE
- SIGN SIGN
- SS SANITARY SEWER
- SD STORM DRAIN
- SI STORM INLET
- SLPB STREET LIGHTING PULLBOX
- ST STEEL
- STD STANDARD
- SV SPRINKLER VALVE
- SW SIDEWALK
- SWC SIDEWALK CULVERT
- SWS SOLID WHITE STRIPE
- TC TOP OF CURB
- TCAB TELEPHONE CABINET
- TCO TOP OF CONCRETE
- TC TOP OF GRATE
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGN
- TSMAB TRAFFIC SIGNAL MAST ARM BASE
- TSB TRAFFIC SIGNAL PULLBOX
- TV TELEPHONE VAULT
- VEG VEHICLE GATE
- VG VALLEY GUTTER
- WCR WOOD FENCE
- WR WHEELCHAIR RAMP
- WL WATERLINE
- WM WATER METER
- WPP WOOD POWER POLE
- WVB WATER VALVE BOX
- X-WALK CROSSWALK
- BOULDER BOULDER
- DECIDUOUS TREE DECIDUOUS TREE
- SHRUB SHRUB
- UTILITY MARKER UTILITY MARKER
- EXISTING FIRE HYDRANT EXISTING FIRE HYDRANT
- EXISTING GATE VALVE EXISTING GATE VALVE
- PROPOSED STORM DRAIN MANHOLE PROPOSED STORM DRAIN MANHOLE
- PROPOSED SPOT ELEVATION FLOWLINE PROPOSED SPOT ELEVATION FLOWLINE
- DIRECTION OF FLOW DIRECTION OF FLOW
- RETAINING WALL RETAINING WALL

KEYED NOTES

- ### NEW EASEMENTS
- 1 CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
 - 2 PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. ALSO, A PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
 - 3 PUBLIC ROADWAY AND SIDEWALK EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT.
 - 4 CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY PLAT.
 - 5 10' QWEST CORPORATION EASEMENT TO BE GRANTED BY PLAT.
 - 6 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
- ### EASEMENTS - OFFSITE
- 7 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270
 - 8 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2
- ### EASEMENT
- 9 LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 08-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007



FOR CONTINUATION, SEE SHEET C1.11



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PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

Plot Path: E:\M\2006\003\1\10\01-2007.DWG Plot Date: 10-01-2007 Plot Time: 3:02 pm File Name: GRADEWEST3.DWG

LEGEND

ASPH	ASPHALT
C&G	CURB AND GUTTER
CAV	CABLE TELEVISION
CB	CONCRETE BENCH
CC	CONCRETE CURB
CDP	CONCRETE DRIVEPAD
CI	CAST IRON
CL	CENTERLINE
CMFA	METAL PIPE IN REINFORCED CONCRETE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CXC	EXTRUDED CURB
EH	FIRE HYDRANT
FL	FLOWLINE
FO	FENCE OPENING
GR	GRAVEL
GW	GUY WIRE
HP	HIGH PRESSURE
IB	IRRIGATION VALVE BOX
LS	LANDSCAPED
MCP	METAL GUARD POST
MH	MANHOLE
M.P.	METAL LIGHT POLE
PATT	PATTERN
PG	PEDESTRIAN GATE
PGA	PIPE GATE
PMT	REINFORCED CONCRETE PIPE
RCP	REINFORCED CONCRETE PIPE
S	SIGN
SS	SANITARY SEWER
SD	STORM DRAIN
SLP	STORM INLET
SLPB	STREET LIGHTING PULLBOX
ST	STEEL
STD	STANDARD
SV	SPRINKLER VALVE
SW	SIDEWALK
SWC	SIDEWALK CULVERT
SWS	SOLID WHITE STRIPE
TC	TOP OF CURB
TCAB	TELEPHONE CABINET
TCO	TOP OF CONCRETE
TCG	TOP OF GRADE
TR	TRAFFIC SIGNAL
TRC	TRAFFIC SIGNAL
TRM	TRAFFIC SIGNAL MAST ARM BASE
TRSB	TRAFFIC SIGNAL PULLBOX
TV	TELEPHONE VAULT
VEG	VEHICLE GATE
VG	VALLEY GUTTER
WCR	WHEELCHAIR RAMP
WF	WOOD FENCE
WL	WATERLINE
WM	WATER METER
WPP	WOOD POWER POLE
WVB	WATER VALVE BOX
X-WALK	CROSSWALK
	BOULDER
	DECIDUOUS TREE
	SHRUB
	UTILITY MARKER
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED SPOT ELEVATION
	FLOWLINE
	DIRECTION OF FLOW
	RETAINING WALL

KEYED NOTES

NEW EASEMENTS

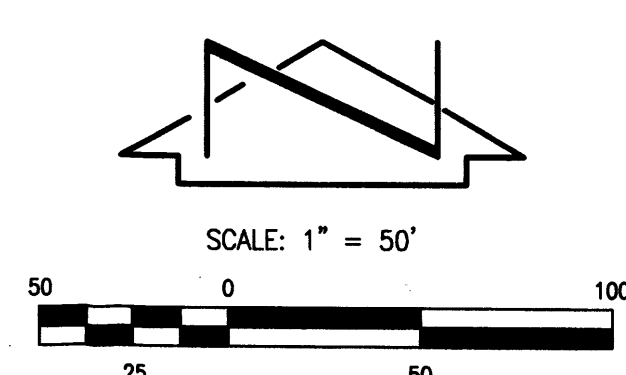
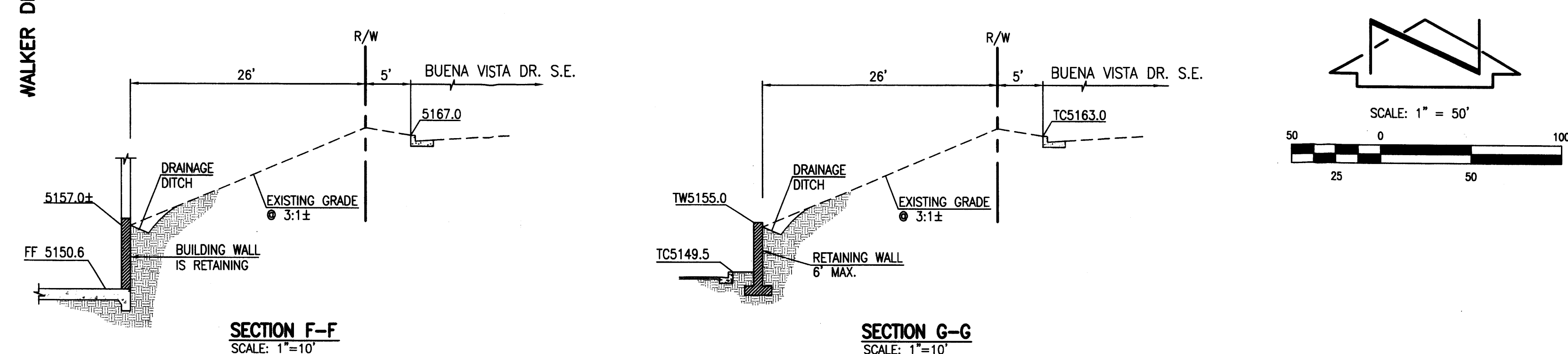
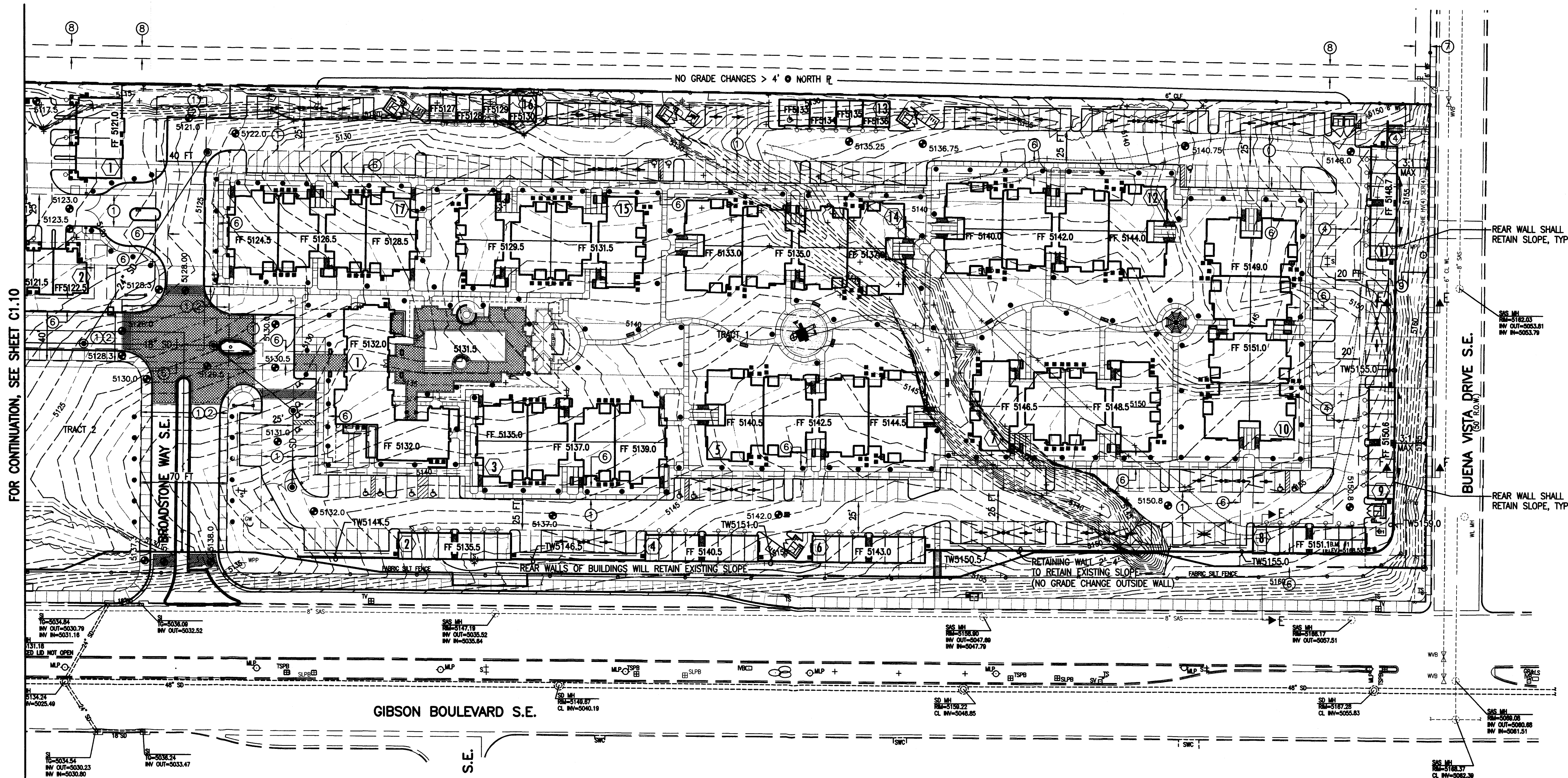
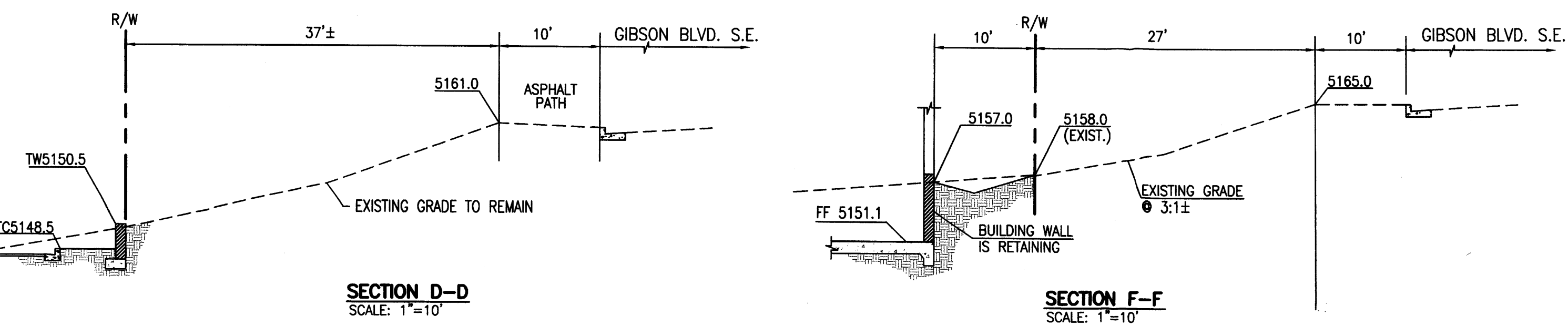
- CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
- PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. ALSO, A PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
- PUBLIC ROADWAY AND SIDEWALK EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT.
- CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY PLAT.
- 10' WEST CORPORATION EASEMENT TO BE GRANTED BY PLAT.
- 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.

EASEMENTS - OFFSITE

- 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270
- 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2

EASEMENT

- LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007



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Plot Name: GRADEAST2.DWG
Plot Date: 10-01-2007
Plot Time: 3:04 pm

BROADSTONE TOWNE CENTER
N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO

J. GRAEME MEANS
NEW MEXICO
13676
PROFESSIONAL
10/02/2007

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fax 404.352.2492
Contact: Danny Powell

2006.003.1

REVISIONS

1	ADDRESS EPC CONDITIONS 09/07

DATE: SEPTEMBER, 2007 ORB # 06-210

C1.11
CONCEPTUAL GRADING PLAN (EAST)

LEGEND

- ASPH ASPHALT
- C&G CURB AND GUTTER
- CAV CABLE TELEVISION
- CB CONCRETE BENCH
- CC CONCRETE CURB
- CCP CONCRETE DRIVEPAD
- CI CAST IRON CENTERLINE
- CMPA METAL PIPE IN REINFORCED CONCRETE
- CMU CONCRETE MASONRY UNIT
- CONC CONCRETE
- EXC EXTRUDED CURB
- FI FIRE HYDRANT
- FL FLOWLINE
- FO FENCE OPENING
- FR FLOWLINE
- GW GUY WIRE
- HP HIGH PRESSURE
- IBS IRRIGATION VALVE BOX
- LS LANDSCAPED
- MGP METAL GUARD POST
- MHP MANHOLE
- MPL METAL LIGHT POLE
- PAT PATTERN
- PGA PEDESTRIAN GATE
- PIG PIPE GATE
- PAV PAVEMENT
- RCCP REINFORCED CONCRETE PIPE
- S SIGN
- SAS SANITARY SEWER
- SD STORM DRAIN
- SI STORM INLET
- SLPB STREET LIGHTING PULLBOX
- ST STEEL
- STD STANDARD
- SV SPRINKLER VALVE
- SW SIDEWALK
- SWC SIDEWALK CULVERT
- SWS SOLID WHITE STRIPE
- TC TOP OF CURB
- TCAB TELEPHONE CABINET
- TOD TOP OF DRIVE
- TS TRAFFIC SIGNAL
- TSAB TRAFFIC SIGNAL MAST ARM BASE
- TSMB TRAFFIC SIGNAL PULLBOX
- TV TELEPHONE VAULT
- VEG VALLEY GUTTER
- WCR WHEELCHAIR RAMP
- WF WOOD FENCE
- WL WATERLINE
- WM WATER METER
- WPP WOOD POWER POLE
- WVB WATER VALVE BOX
- WB CROSSWALK
- X-WALK X-WALK
- B BOULDER
- DT DECIDUOUS TREE
- SHR SHRUB
- UM UTILITY MARKER
- EFH EXISTING FIRE HYDRANT
- EGV EXISTING GATE VALVE
- PSD PROPOSED STORM DRAIN
- PMH PROPOSED STORM DRAIN MANHOLE
- PSE PROPOSED SPOT ELEVATION
- FLW FLOWLINE
- DFD DIRECTION OF FLOW
- RW RETAINING WALL
- ASP ASPHALT PAVEMENT
- PVG PROPOSED GATE VALVE
- PSM PROPOSED SAS MANHOLE
- PCS PROPOSED SAS CLEANOUT
- PFH PROPOSED FIRE HYDRANT
- PWS PROPOSED WATER SERVICE

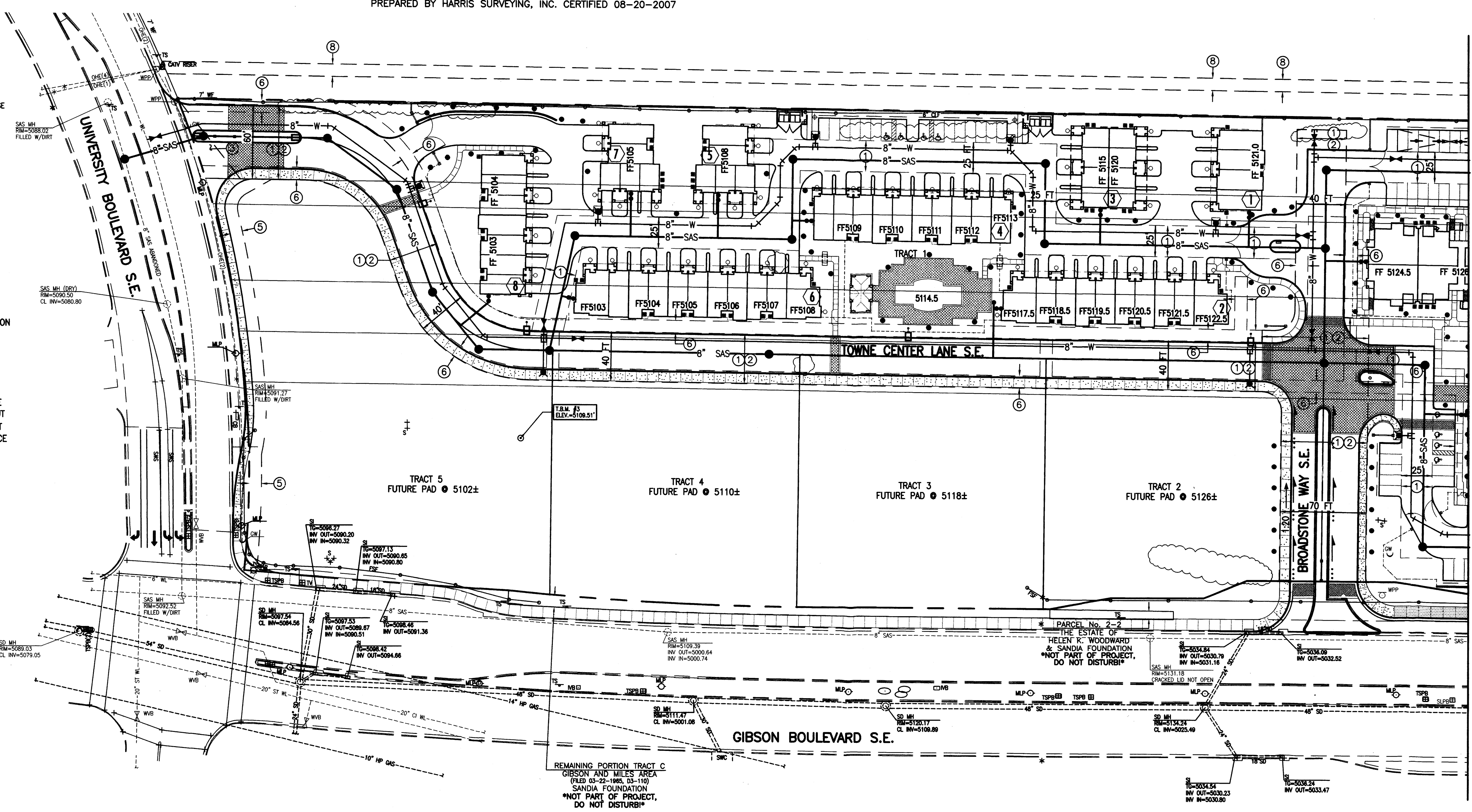
KEYED NOTES

NEW EASEMENTS

- ① CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
- ② PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. ALSO, A PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
- ③ PUBLIC ROADWAY AND SIDEWALK EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT.
- ④ CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY PLAT.
- ⑤ 10' QWEST CORPORATION EASEMENT TO BE GRANTED BY PLAT.
- ⑥ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.

EASEMENTS - OFFSITE

- ⑦ 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270
- ⑧ 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2
- ⑨ LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007



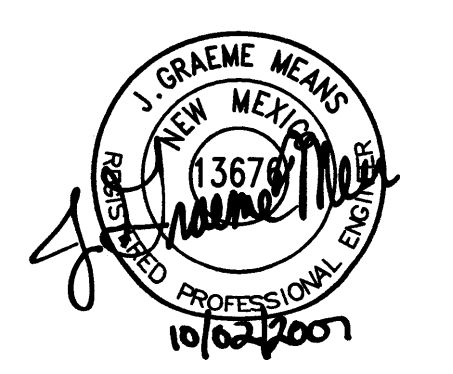
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BROADSTONE TOWNE CENTER
 N.E.C. UNIVERSITY AND GIBSON ROADS
 ALBUQUERQUE, NEW MEXICO



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ORB
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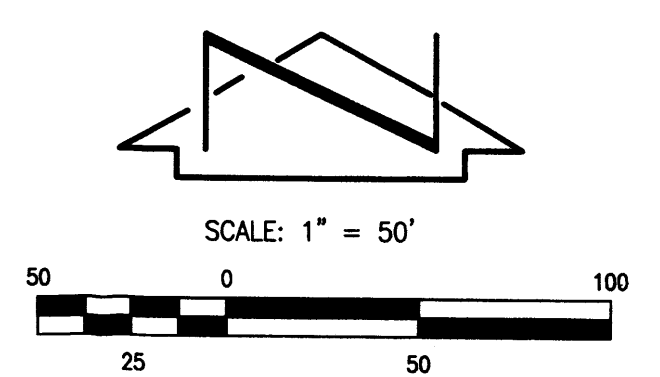
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2006.003.1 REVISIONS

NO.	DESCRIPTION
1	ADDRESS EPC CONDITIONS 09/07

DATE: SEPTEMBER, 2007 ORB# 06-210

C2.10
 CONCEPTUAL UTILITY PLAN
 (WEST)

LEGEND

- ASPH ASPHALT
- C&G CURB AND GUTTER
- CATV CABLE TELEVISION
- CB CONCRETE BENCH
- CC CONCRETE CURB
- CCP CONCRETE DRIVEPAD
- CI CAST IRON
- CL CENTERLINE
- CMPA METAL PIPE IN REINFORCED CONCRETE
- CMU CONCRETE MASONRY UNIT
- CONC CONCRETE
- EXC EXTRUDED CURB
- FL FIRE HYDRANT
- FL FLOWLINE
- FO FENCE OPENING
- GR GRASS
- GW GUY WIRE
- HP HIGH PRESSURE
- IS IRRIGATION VALVE BOX
- LS LANDSCAPED
- MGP METAL GUARD POST
- MH MANHOLE
- MPL METAL LIGHT POLE
- PAT PATTERN
- PG PEDESTRIAN GATE
- PGI PIPE GATE
- PMT PAVEMENT
- RCP REINFORCED CONCRETE PIPE
- S SIGN
- SAS SANITARY SEWER
- SD STORM DRAIN
- SI STORM INLET
- SLPB STREET LIGHTING PULLBOX
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- SWS SIDEWALK CULVERT
- SWC SOLID WHITE STRIPE
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- TCAB TELEPHONE CABINET
- TCC TOP OF CONCRETE
- TG TOP OF GRATE
- TS TRAFFIC SIGNAL
- TSMB TRAFFIC SIGNAL MAST ARM BASE
- TSPB TRAFFIC SIGNAL PULLBOX
- TV TELEPHONE VAULT
- VEG VEHICLE GATE
- VC VALLEY GUTTER
- WCR WHEELCHAIR RAMP
- WF WOOD FENCE
- WL WATERLINE
- WM WATER METER
- WPP WOOD POWER POLE
- WB WATER VALVE BOX
- X-WALK CROSSWALK
- BOULDER BOULDER
- DECIDUOUS TREE DECIDUOUS TREE
- SHRUB SHRUB
- UTILITY MARKER UTILITY MARKER
- EXISTING FIRE HYDRANT EXISTING FIRE HYDRANT
- EXISTING GATE VALVE EXISTING GATE VALVE
- PROPOSED STORM DRAIN MANHOLE PROPOSED STORM DRAIN MANHOLE
- PROPOSED SPOT ELEVATION PROPOSED SPOT ELEVATION
- FLOWLINE FLOWLINE
- DIRECTION OF FLOW DIRECTION OF FLOW
- RETAINING WALL RETAINING WALL
- ASPHALT PAVEMENT TO BE GUARANTEED ASPHALT PAVEMENT TO BE GUARANTEED
- PROPOSED GATE VALVE PROPOSED GATE VALVE
- PROPOSED SAS MANHOLE PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT PROPOSED SAS CLEANOUT
- PROPOSED FIRE HYDRANT PROPOSED FIRE HYDRANT
- PROPOSED WATER SERVICE PROPOSED WATER SERVICE

KEYED NOTES

NEW EASEMENTS

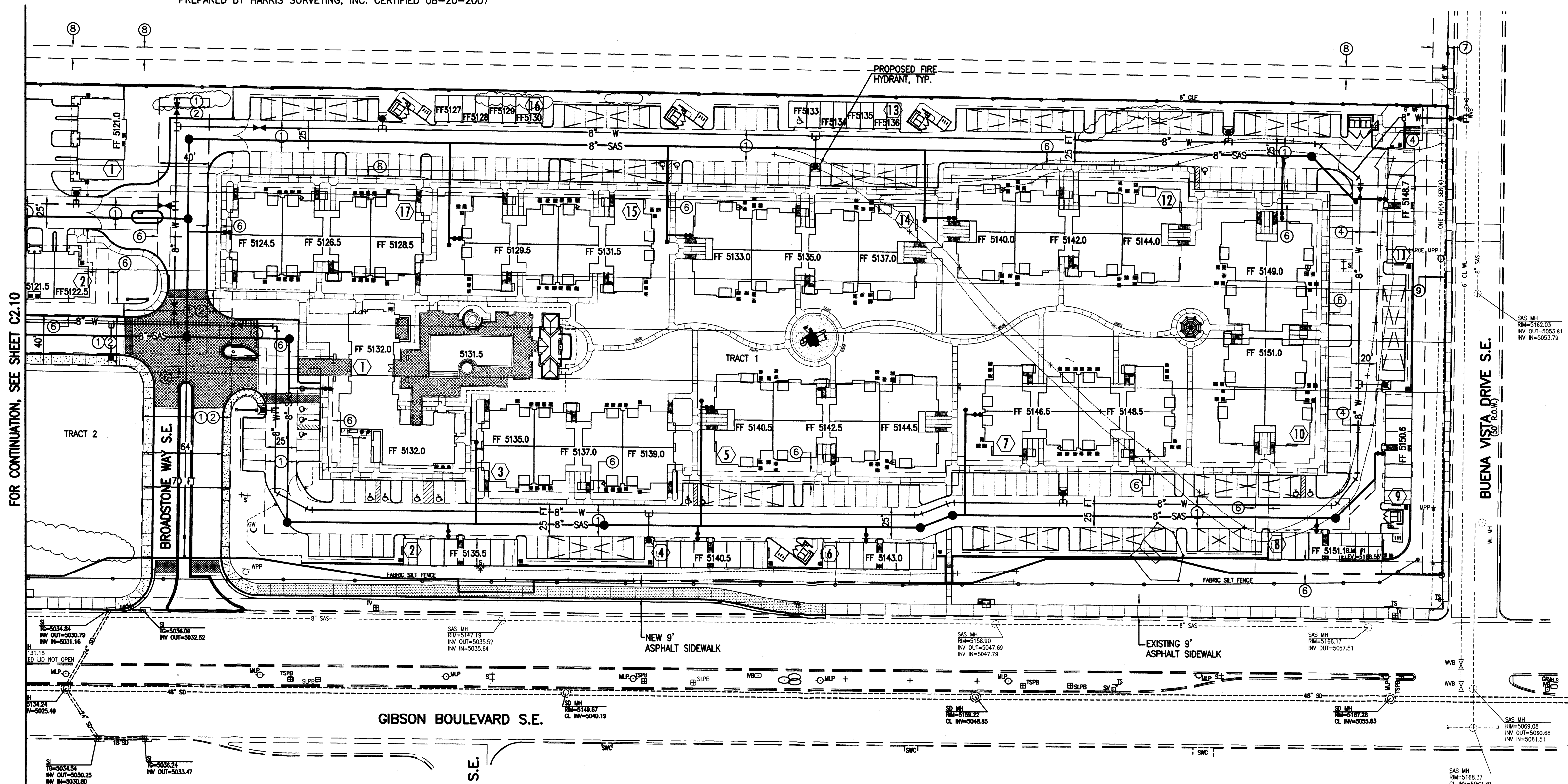
- 1 CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
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- 6 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.

EASEMENTS - OFFSITE

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- 8 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2

EASEMENT

- 9 LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007



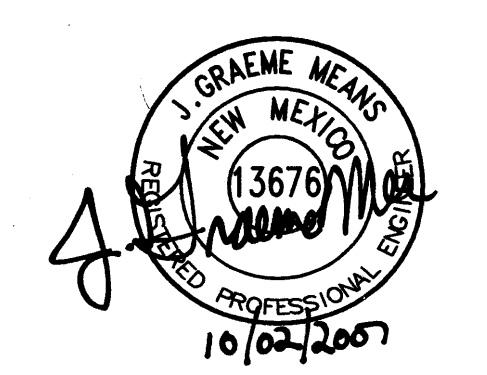
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BROADSTONE TOWNE CENTER
N.E. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



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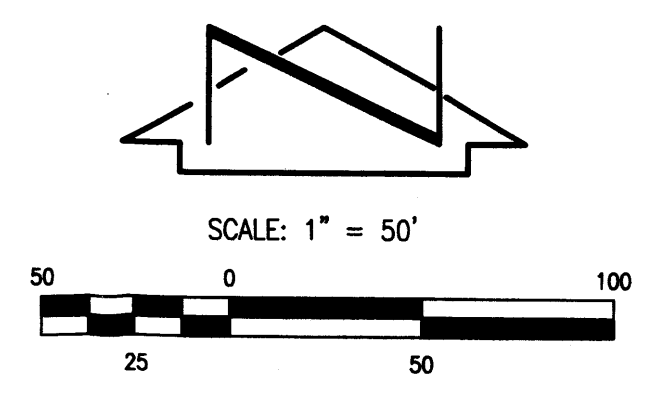
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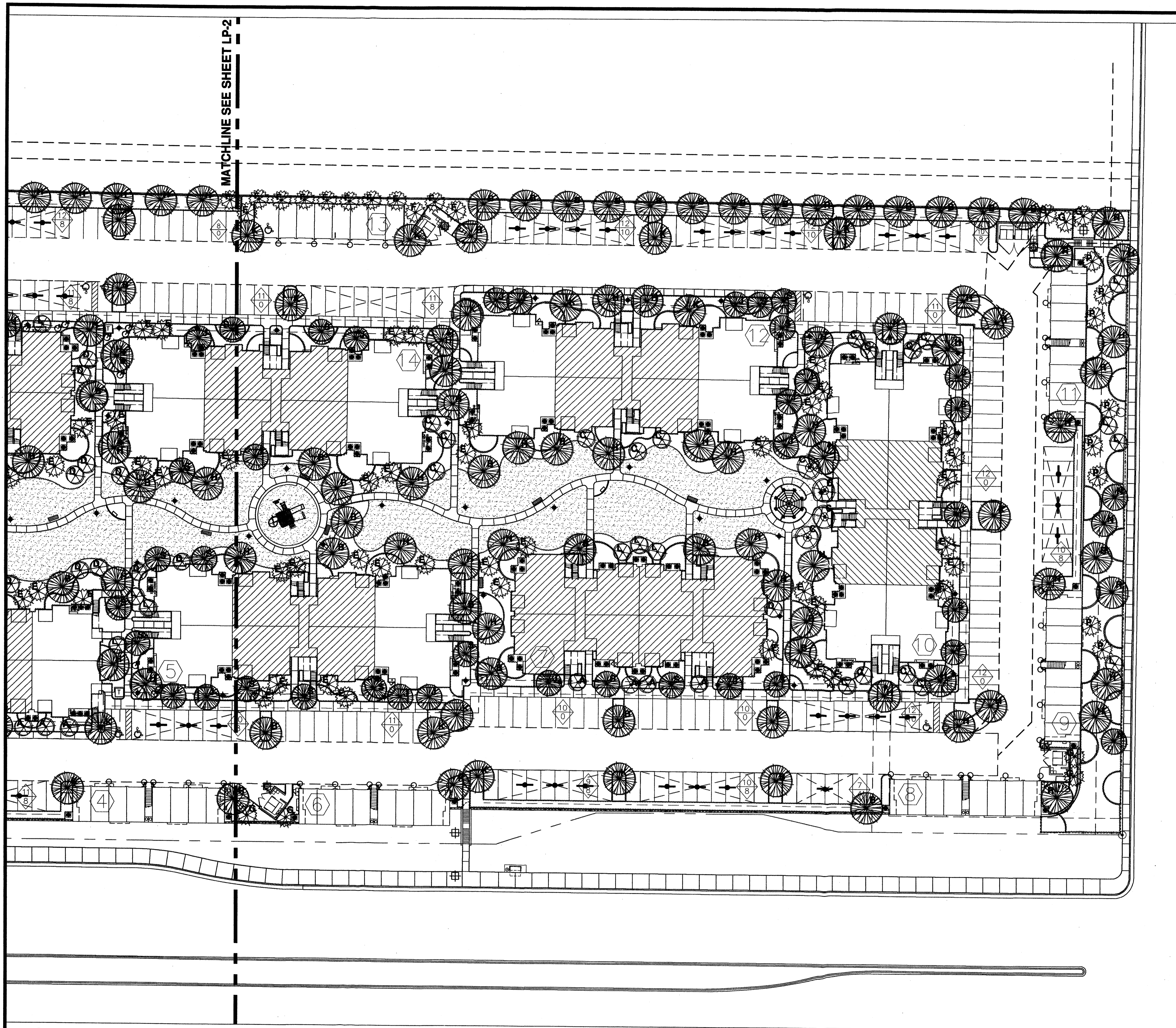
REVISIONS
△ ADDRESS EPC CONDITIONS 09/07
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DATE: SEPTEMBER, 2007 ORB # 06-210

C2.11

CONCEPTUAL UTILITY PLAN (EAST)



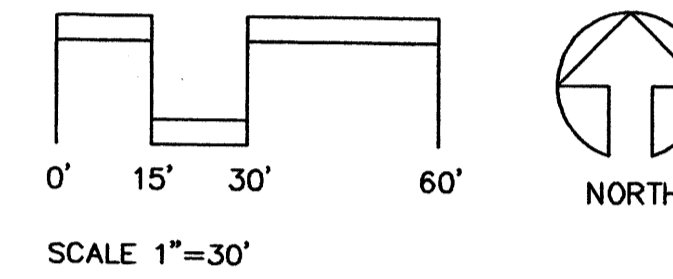


GARDEN APARTMENT PLANTING PLAN

1" = 30' - 0"

TREE KEY

A	Ilex vomitoria	Yaupon Holly
B	Koeleruteria paniculata	Golden Rain Tree
C	Lagerstroemia indica	Crape Myrtle
C	Lagerstroemia indica	Crape Myrtle
D	Malus sp. 'Katherine'	Katherine Crabapple
E	Metasequoia glyptostroboides	Dawn Redwood
F	Pinus edulis	Afghan Pine
G	Pinus sylvestris	Scotch Pine
H	Fetachia chinensis	Chinese Fatsia
J	Prunus cerasifera 'Hollywood'	Purpleleaf Plum
K	Quercus macrocarpa	Bur Oak
L	Vibex agrus caesus	Chestnut Tree
M	Buddleia nerrubifolia	Woolly Butterfly Bush
N	Chitalpa tashkentensis 'Pink Dawn'	Chitalpa
P	Pinus nigra	Austrian Pine
R	Quercus fusiformis	Escarpment Live Oak
S	Robinia x ambigua	Purple Robe Locust



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**BROADSTONE
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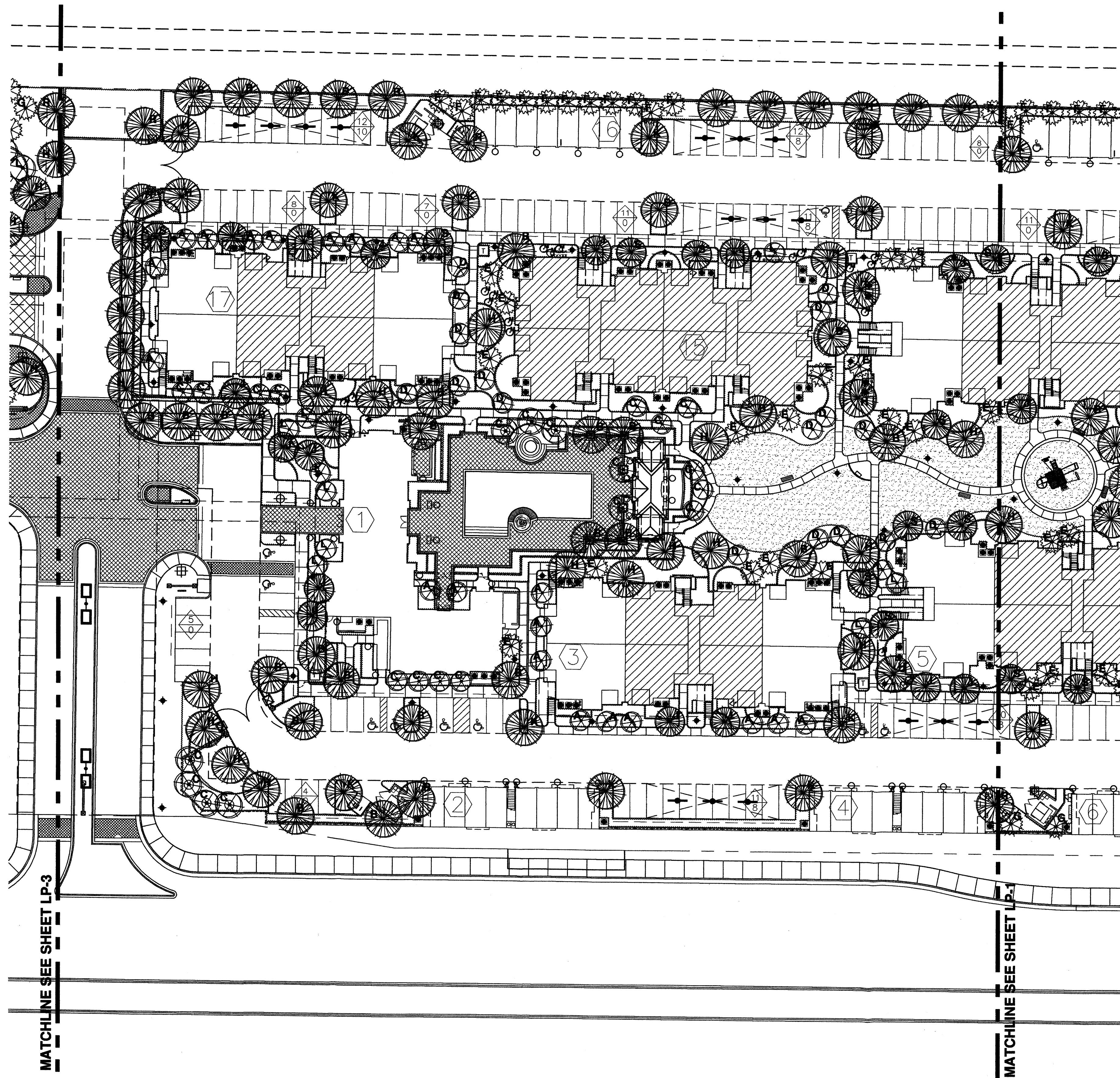
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NO.	DATE	BY
1	10-04-07	JDJ
2	10-08-07	JDJ
3	10-11-07	JDJ

SHEET TITLE
LANDSCAPE PLAN

LP-1

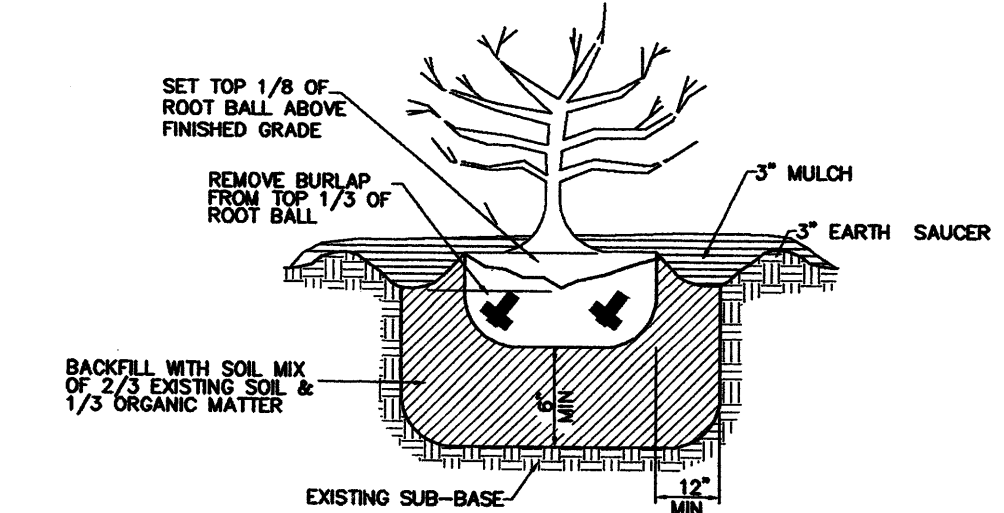
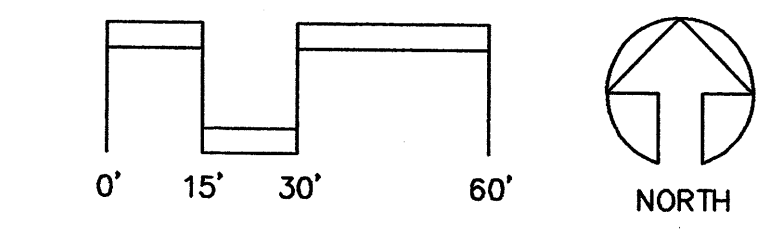
NOTE: PERIMETER LANDSCAPE TO BE DESIGNED BY OTHERS, REFER TO SHEET 2 OF 3, SITEPLAN FOR SUBDIVISION.



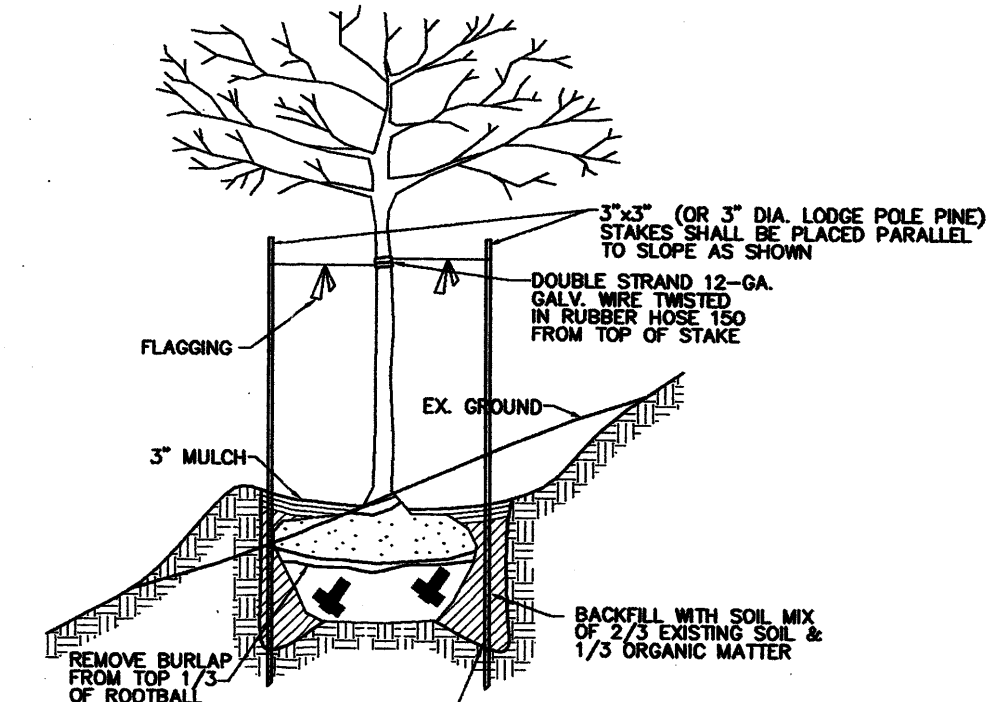
GARDEN APARTMENT PLANTING PLAN
1" = 30' - 0"

TREE KEY

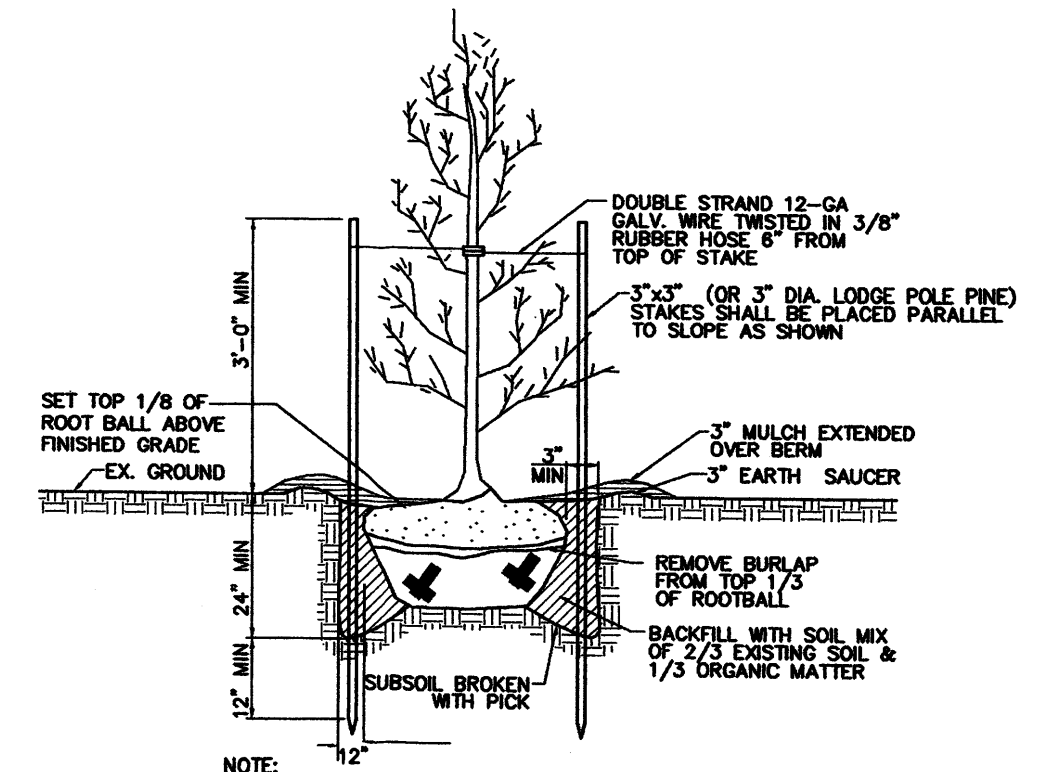
A	Ilex vomitoria	Yaupon Holly
B	Koeleruteria paniculata	Golden Rain Tree
C	Lagerstroemia indica	Crape Myrtle
D	Lagerstroemia indica	Crape Myrtle
E	Melaleuca sp.	Katherine Crabapple
F	Mitelasacua glyptostroboides	Dawn Redwood
G	Pinus eklatica	Afghan Pine
H	Pinus sylvestris	Scotch Pine
I	Pistachia chinensis	Chinese Pistache
J	Prunus cerasifera	Purpleleaf Plum
K	Quercus macrocarpa	Bur Oak
L	Vitex agrus caesus	Chaste Tree
M	Buddleia marrubifolia	Woolly Butterfly Bush
N	Chilalpa tashkentensis	Chalupa
O	Pinus nigra	Austrian Pine
P	Quercus fusiformis	Escarpment Live Oak
Q	Robinia x ambigua	Purple Robe Locust



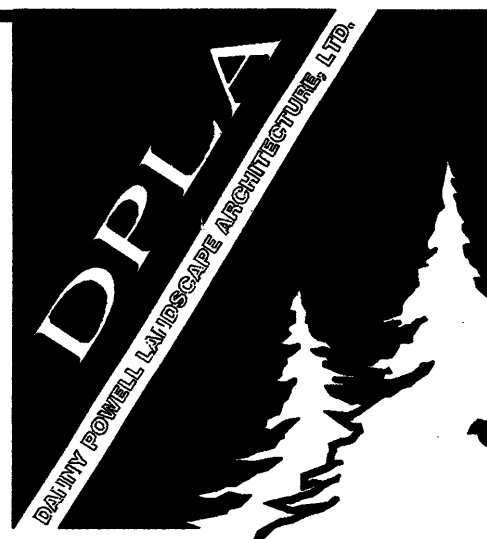
SHRUB PLANTING DETAIL
NTS



SLOPE PLANTING DETAIL
NTS



PLANTING AND STAKING DETAIL
NTS



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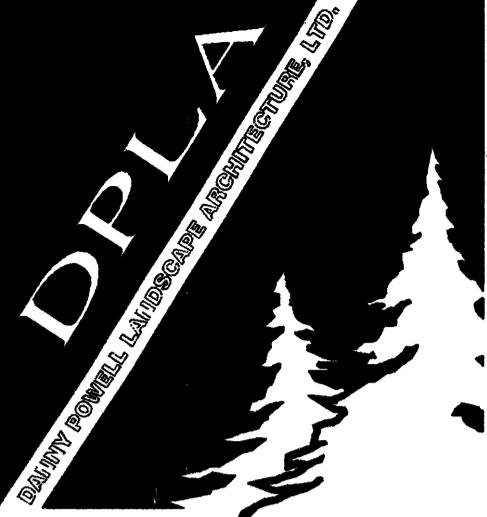
REVISIONS

NO.	DATE	BY
1	10-04-07	JDJ
2	10-08-07	JDJ
3	10-11-07	JDJ

SHEET TITLE
LANDSCAPE PLAN

LP-2

NOTE: PERIMETER LANDSCAPE TO BE DESIGNED BY OTHERS, REFER TO SHEET 2 OF 3, SITEPLAN FOR SUBDIVISION.



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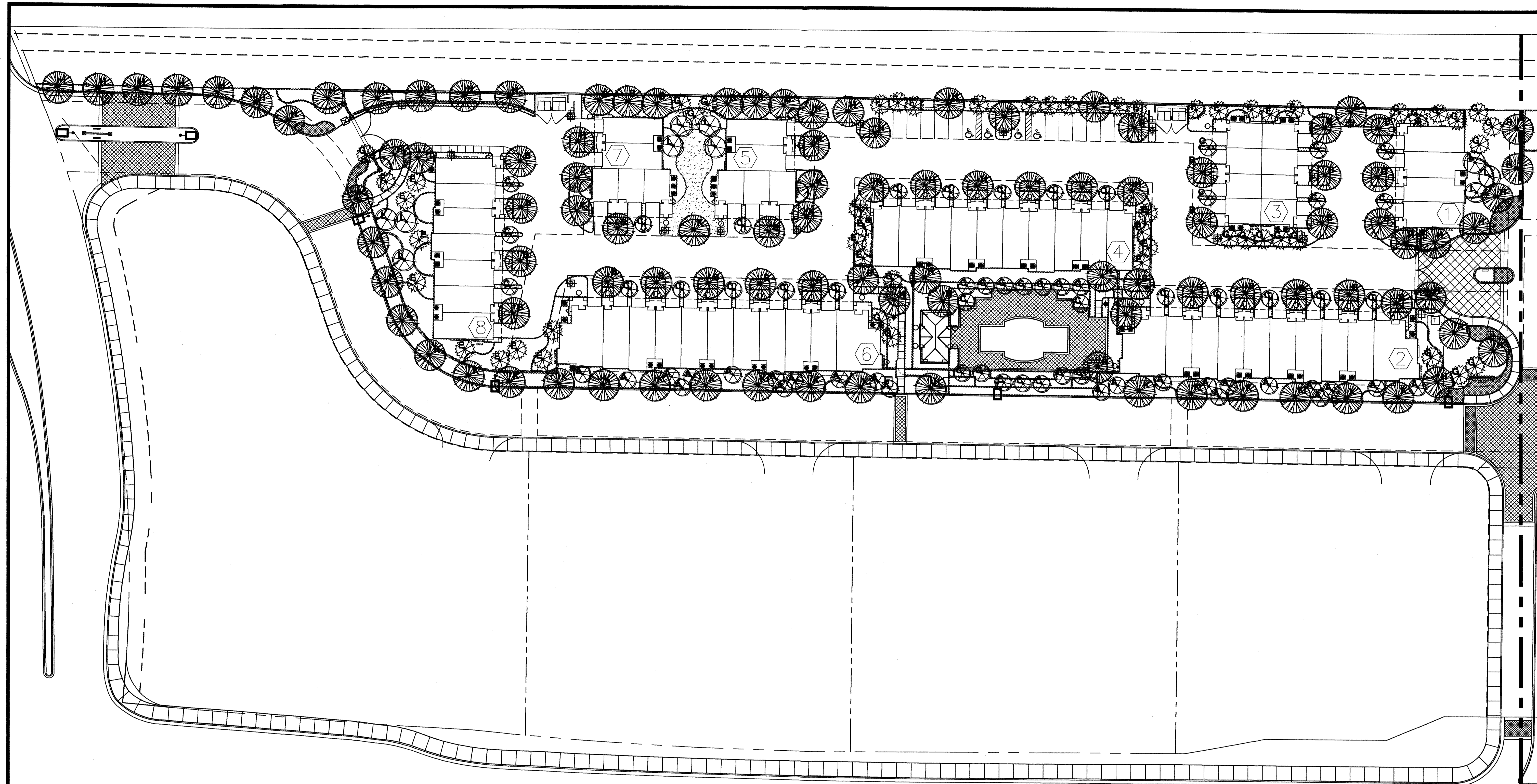
DATE OF FIRST ISSUE:
DECEMBER 5, 2006

REVISIONS

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2	10-08-07	JDJ
3	10-11-07	JDJ

SHEET TITLE
LANDSCAPE PLAN

LP-3

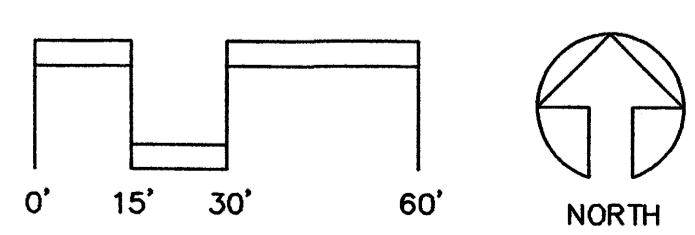


TREE KEY

A	<i>Ilex vomitoria</i>	Yaupon Holly
B	<i>Koeleruteria paniculata</i>	Golden Rain Tree
C	<i>Lagerstroemia indica</i>	Crape Myrtle
C	<i>Lagerstroemia indica</i>	Crape Myrtle
D	<i>Malus sp.</i> "Katherine"	Katherine Crabapple
E	<i>Metasequoia glyptostroboides</i>	Dawn Redwood
F	<i>Pinus edulis</i>	Afghan Pine
G	<i>Pinus sylvestris</i>	Scotch Pine
H	<i>Platanus chinensis</i>	Chinese Platanus
J	<i>Prunus cerasifera</i> "Hollywod"	Purpleleaf Plum
K	<i>Quercus macrocarpa</i>	Bur Oak
L	<i>Vibex agnus castus</i>	Chaste Tree
M	<i>Buddleia marrubifolia</i>	Woolly Butterfly Bush
N	<i>Chitalpa tashkentensis</i>	Chitalpa
P	<i>Pinus nigra</i>	Australian Pine
R	<i>Quercus fusiformis</i>	Escarpment Live Oak
S	<i>Robinia x ambigua</i>	Purple Robe Locust

TOWNEHOME PLANTING PLAN

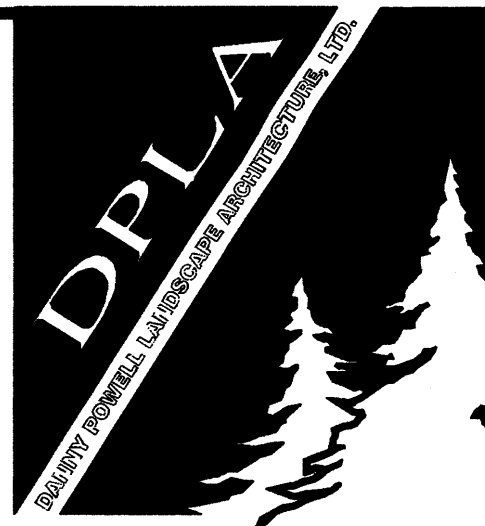
1" = 30' - 0"



SCALE 1" = 30'

NOTE: PERIMETER LANDSCAPE TO BE DESIGNED BY OTHERS, REFER TO SHEET 2 OF 3, SITEPLAN FOR SUBDIVISION.

MATCHLINE SEE SHEET LP-2



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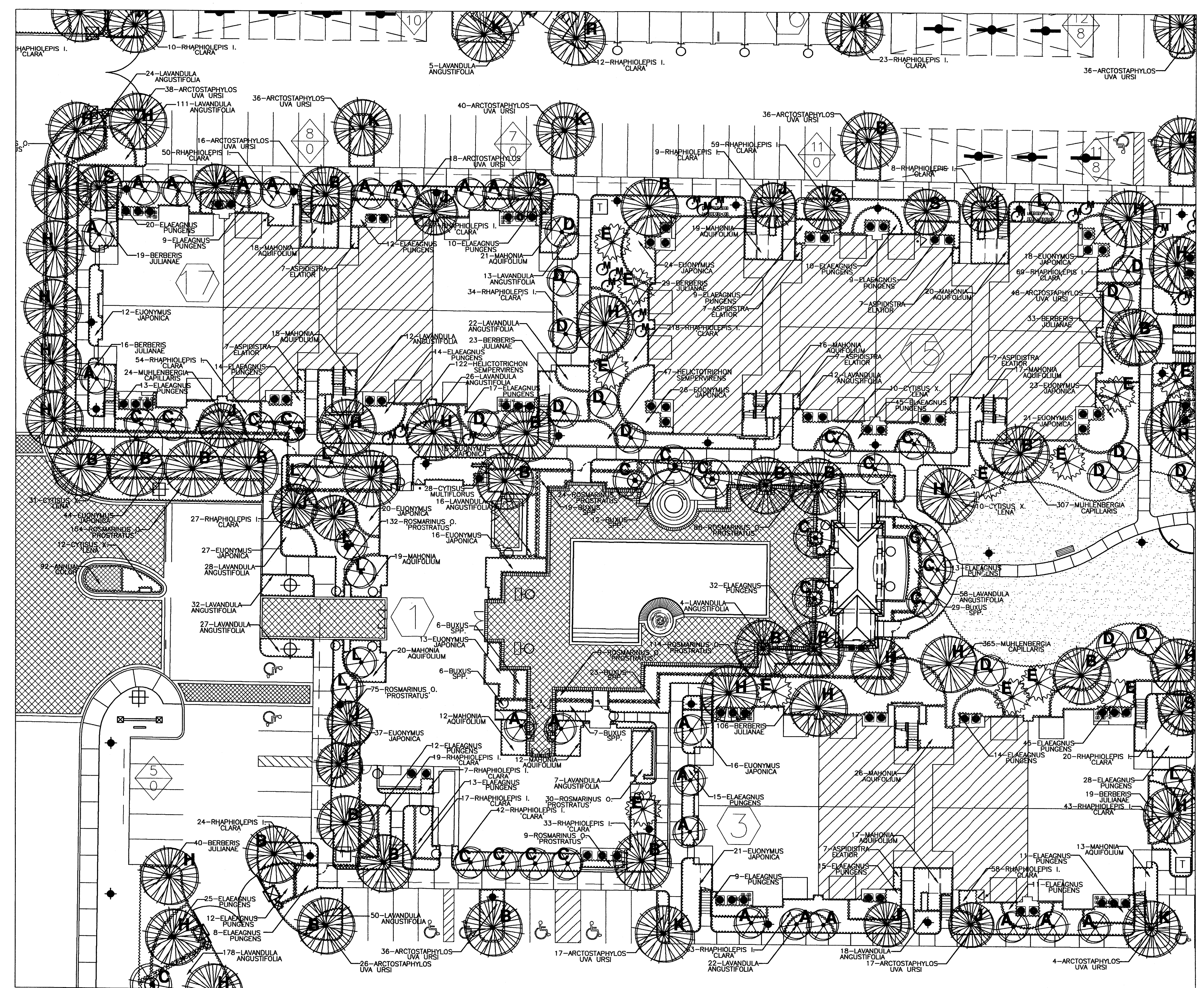
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REVISIONS

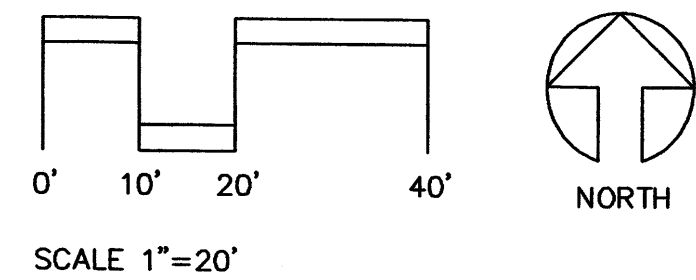
NO.	DATE	BY
1	10-04-07	JDJ
2	10-08-07	JDJ
3	10-11-07	JDJ
4	10-23-07	JDJ

SHEET TITLE
LANDSCAPE PLAN

LP-4



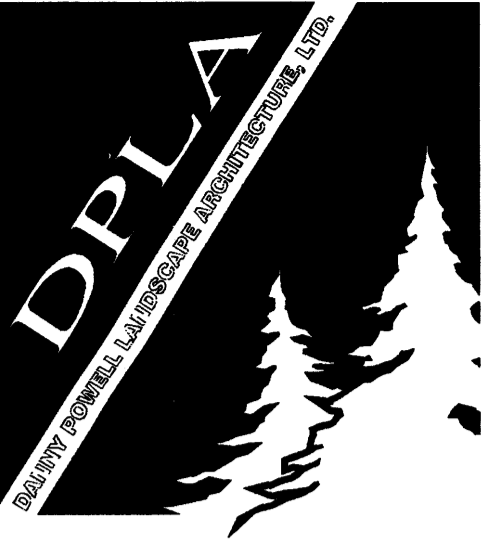
TYPICAL CONCEPT FOR SHRUB PLANTING
1" = 20' - 0"



Quantity	Key	Scientific Name	Common Name	Spacing	Size	Comments	Water Use
TREES							
49	A	Ilex vomitoria	Yaupon Holly	As Shown	8-10' HT.	Dense, compact growth, balanced head	Low
93	B	Koeleria paniculata	Golden Rain Tree	As Shown	2-2 1/2' Cal.	Upright-rounded habit	Medium
70	C	Lagerstroemia indica	Crape Myrtle	As Shown	2-2 1/2' Cal.	Multi-stemmed, rounded crown, dense branching	Medium
13	C	Lagerstroemia indica	Crape Myrtle	As Shown	14' HT., 8" SP., 6' CLR. TR.	Multi-stemmed, rounded crown, dense branching	Medium
18	D	Mikis sp. 'Katherine'	Katherine Crabapple	As Shown	2-2 1/2' Cal.	balanced crown, double flowers	High
68	E	Metasequoia glyptostroboides	Dawn Redwood	As Shown	Mn. 10' HT.	Conical shape, upright, dense	Medium
38	F	Pinus edularia	Afghan Pine	As Shown	Mn. 10' HT.	Low evenly branched	Medium
29	G	Pinus sylvestris	Scotch Pine	As Shown	Mn. 10' HT.	Low branched, dense crown	Medium
113	H	Pistachia chinensis	Chinese Pistache	As Shown	2 1/2'-3' Cal.	Dense, round-headed crown	Medium
29	J	Prunus cerasifera 'Tchibo'	Purpleleaf Plum	As Shown	2 1/2'-3' Cal.	Dense, round-headed crown	Medium
50	K	Quercus macrocarpa	Bur Oak	As Shown	2 1/2'-3' Cal.	Dense crown n, evenly branched	Medium
27	L	Vitex agnus castus	Chaste Tree	As Shown	2 1/2'-3' Cal.	Multi stem, dense branching habit	Medium
3	N	Chitalpa tashkentensis	Chitalpa	As Shown	2 1/2'-3' Cal.	Dense crown n, evenly branched	Low +
8	P	Pinus nigra	Austrian Pine	As Shown	Mn. 10' HT.	Low evenly branched	Medium
14	R	Quercus fusiformis	Escarpment Live Oak	As Shown	2 1/2'-3' Cal.	Dense crown n, evenly branched	Medium
23	S	Robinia x ambigua	Purple Robe Locust	As Shown	2-2 1/2' Cal.	balanced crown n, double flowers	Medium
SHRUBS							
TBD		Berberis julianae	Wintergreen Barberry	36" o.c.	5 gal.	Dense compact growth th	Medium
21	M	Buddleia marrubifolia	Woolly Butterfly Bush	42" o.c.	5 gal.	Low branched, full, dense	Low +
TBD		Buxus spp.	Boxwood	30" o.c.	5 gal.	Dense compact growth th	Medium
TBD		Cytisus multiflorus	Spanish Broom	30" o.c.	5 gal.	Dense compact growth th	Medium
TBD		Cytisus x 'Lena'	Lena's Broom	30" o.c.	5 gal.	Dense compact growth th	Medium
TBD		Elaeagnus pungens	Silverberry	36" o.c.	5 gal.	Low branched, full, dense	Medium
TBD		Euonymus japonica	Japanese Euonymus	36" o.c.	5 gal.	Low branched, full, dense	Medium
TBD		Lavandula angustifolia	English Lavender	24" o.c.	5 gal.	Dense compact growth th	Medium
TBD		Lavandula stoechas	Spanish Lavender	24" o.c.	5 gal.	Dense compact growth th	Medium
TBD		Mahonia aquifolium	Oregon Grape Holly	36" o.c.	5 gal.	Low branched, full, dense	Medium
TBD		Raphiolepis indica 'Clara'	Indian Hawthorn 'Clara'	30" o.c.	5 gal.	Dense compact growth th	Medium
TBD		Rosmarinus officinalis 'Prostratus'	Prostrate Rosemary	24" o.c.	5 gal.	Dense compact growth th	Low +
TBD		Salvia greggii	Autumn Sage	24" o.c.	5 gal.	Dense compact growth th	Medium
GROUNDCOVERS/VINES							
TBD		Arctostaphylos uva ursi	Kinnikinnick	24" o.c.	1 gal.	Small leathery leaves, reddish bark, red berries	Medium
TBD		Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	24" o.c.	5 gal.	Dark green groundcover, white flower	Low +
TBD		Lantana montevidensis	Trailing Lantana	18" o.c.	1 gal.	Dense compact growth th	Medium
TBD		Muhlenbergia capillaris	Pink Muhly	24" o.c.	5 gal.	Dense full bunch	Medium
TBD		Pennisetum alopecuroides 'Mouly'	Mouly Fountain Grass	24" o.c.	5 gal.	Dense full bunch	Medium
TBD		Annual Color				Color and specie to be selected	
TBD		Sod	Bluemuse			Mix of Kentucky Bluegrass (max 20%) and Yukon Blermuda	Medium

NOTE: PERIMETER LANDSCAPE TO BE DESIGNED BY OTHERS, REFER TO SHEET 2 OF 3, SITEPLAN FOR SUBDIVISION.

1	AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS WITH A RAIN SENSING CUT-OFF DEVICE AND DRIP HEADS/TUBING WHERE POSSIBLE FOR WATER USE CONSERVATION. IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO.		
2	ALL PLANTED AREAS SHALL BE MULCHED USING EITHER BARK OR CORBELLS TO A DEPTH OF 3" MINIMUM.		
3	MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE APARTMENT PROJECT MANAGEMENT AND OR OWNER.		
4	THE LANDSCAPE PLAN FOR BROADSTONE TOWNE CENTER SHALL LIMIT TURF AREAS TO A MAXIMUM OF 20% OF THE REQUIRED LANDSCAPE AREA AS INDICATED BELOW, THIS PROVIDING FOR LIMITED HIGH WATER USE ACCORDING TO THE ORDINANCES.		
5	*TBD* FINAL QUANTITIES (NOT INCLUDING TREES) SHALL BE PROVIDED TO ENSURE THAT COVERAGE WITH LIVING VEGETATIVE MATERIAL IS A MIN. OF 75%. TREE CANOPY SHALL NOT COUNT TOWARD THIS REQUIREMENT.		
6	LANDSCAPE AREA PROVIDED	128,881 S.F.	3.03 AC.
	TURF AREA ALLOWED	25,736 S.F.	.61 AC.
	TURF AREA PROVIDED	19,408 S.F.	.48 AC.



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**BROADSTONE
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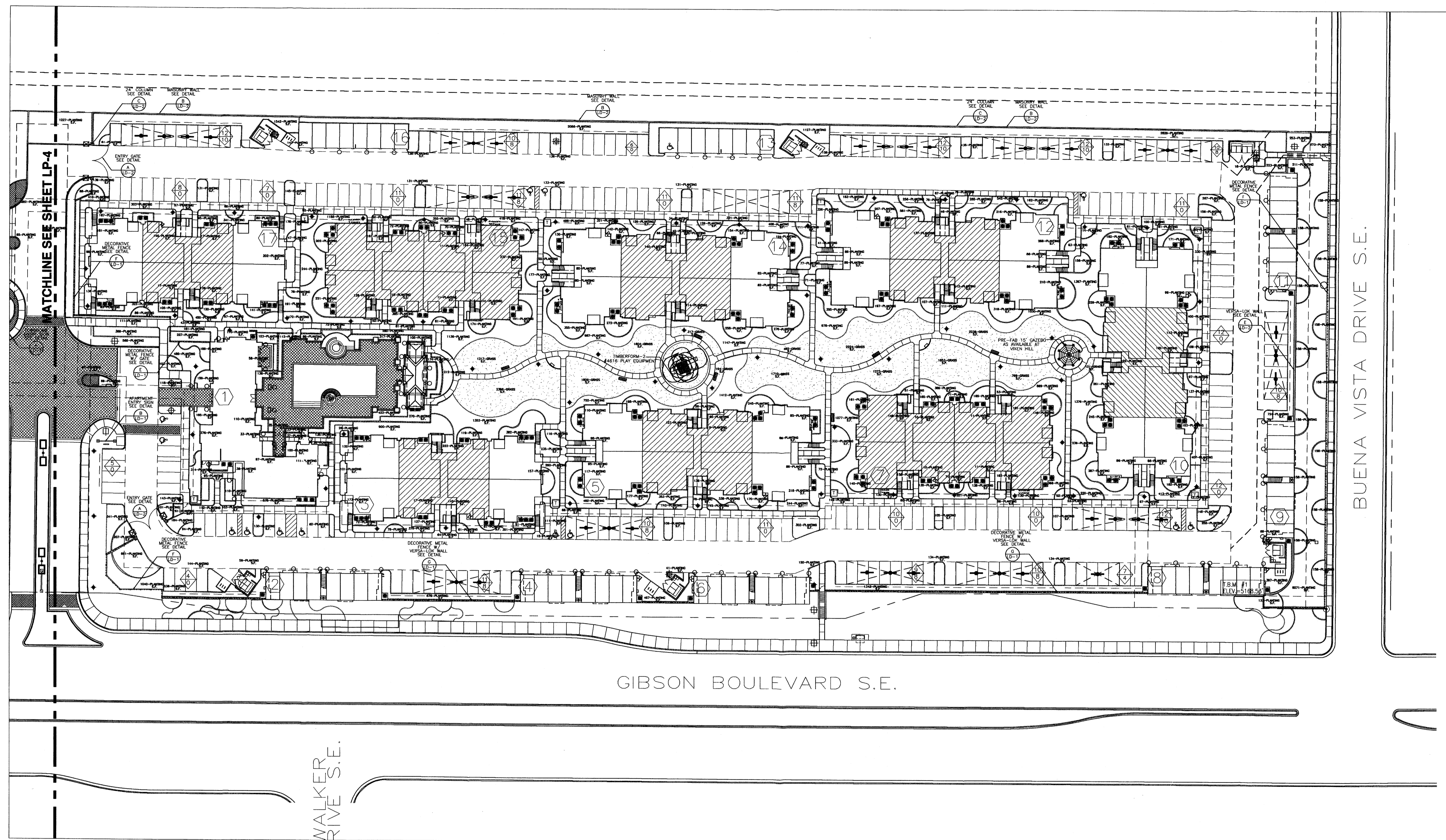
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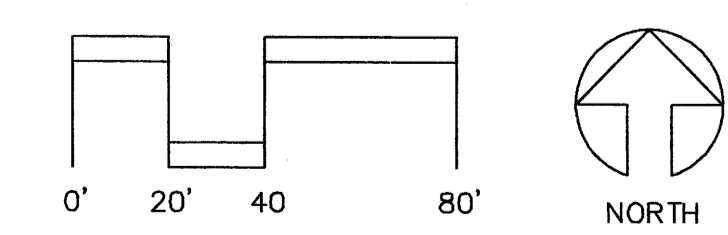
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2	10-08-07	JDJ

SHEET TITLE
**LANDSCAPE
CALCULATIONS**

LP-5



GARDEN APARTMENTS			
	Square Feet	Acres	
Lot Area (Gross)	372455 s.f.	8.55 Acres	Total Area including Buildings and Parking
Buildings	121290 s.f.	2.78 Acres	
Net Lot Area	251165 s.f.	5.77 Acres	Includes Required Parking Areas
Required Landscape Area	37675 s.f.	.86 Acres	15% of Net Lot Area
Provided Landscape Area	105933 s.f.	2.43 Acres	42% of Net Lot Area
Planting Area	87826 s.f.	2.01 Acres	
Grass Area	18107 s.f.	.41 Acres	20% of Total Planting Area





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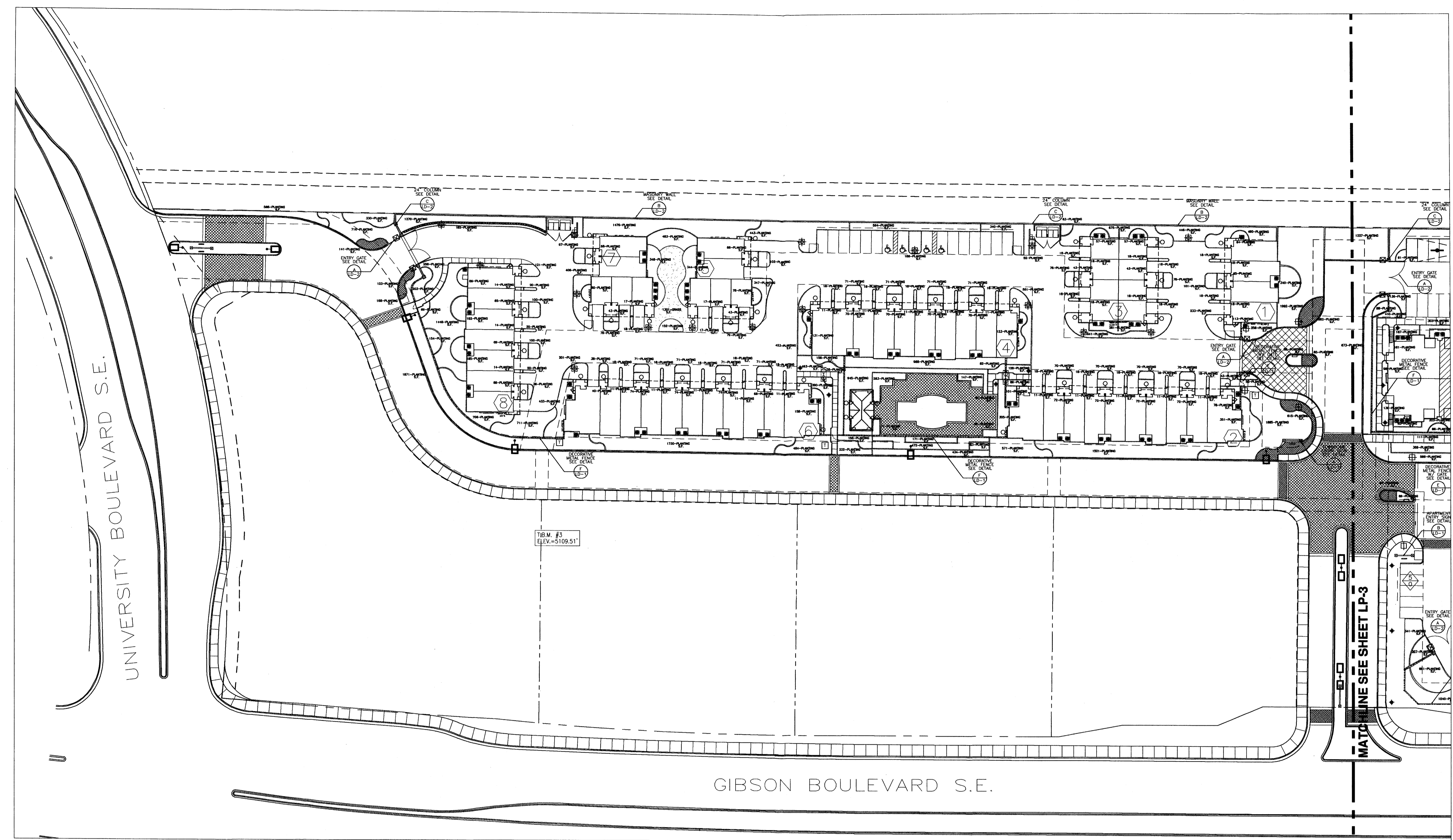
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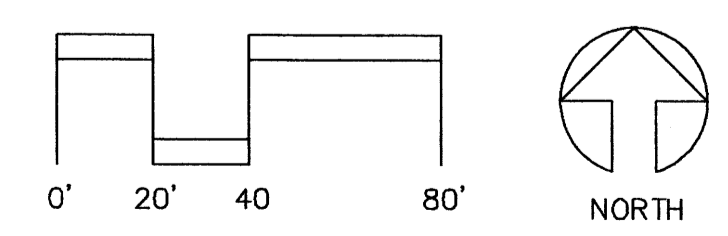
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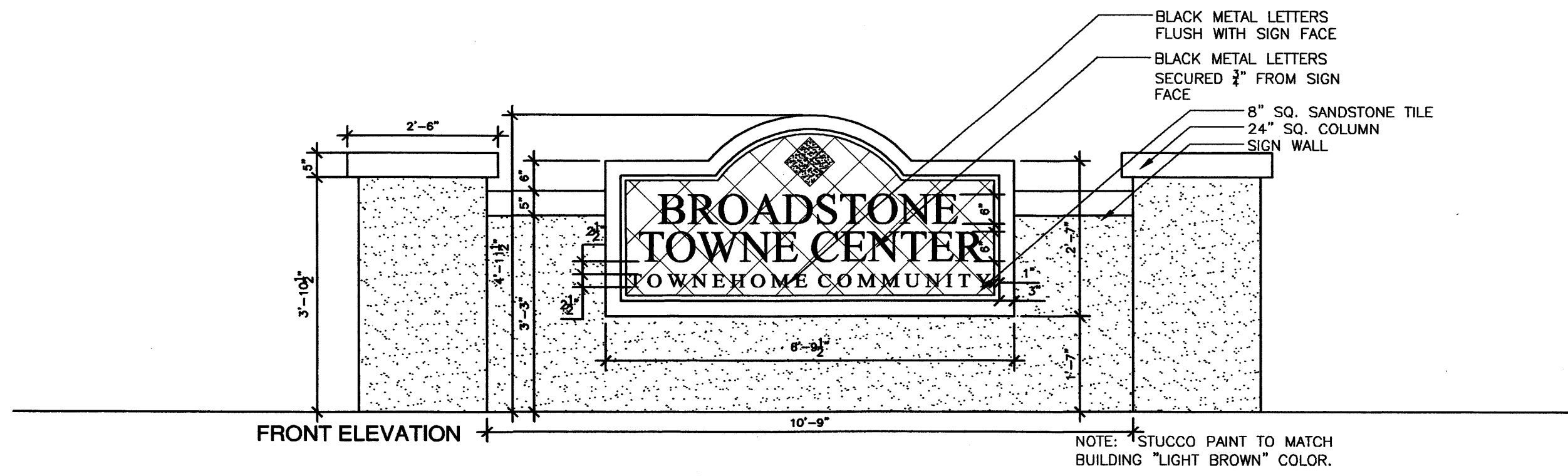
SHEET TITLE
**LANDSCAPE
CALCULATIONS**

LP-6

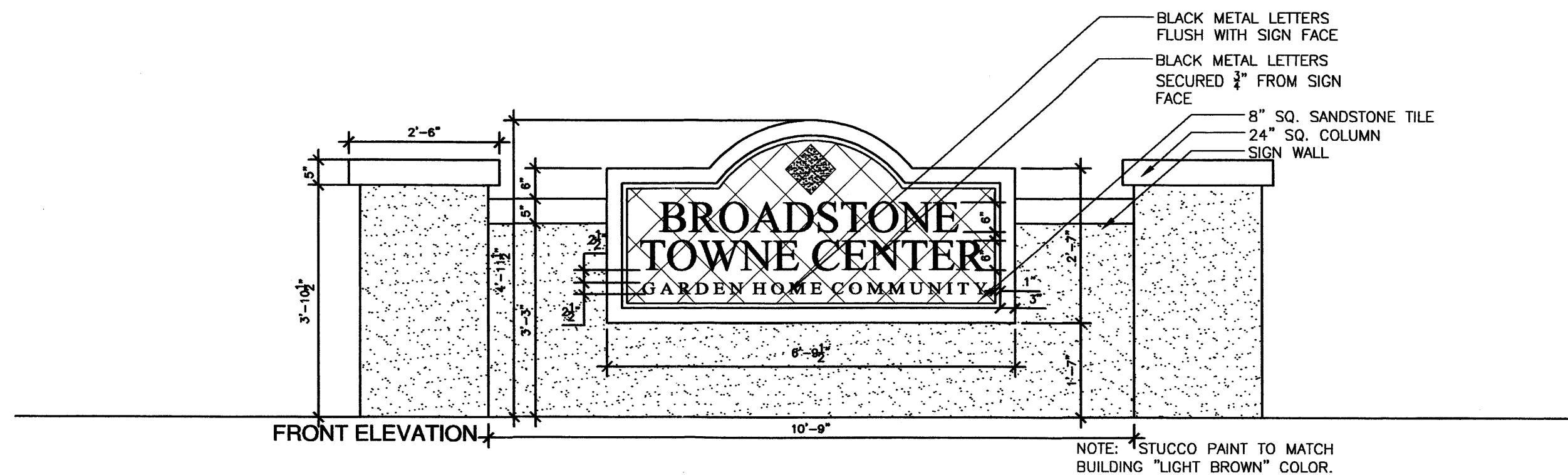
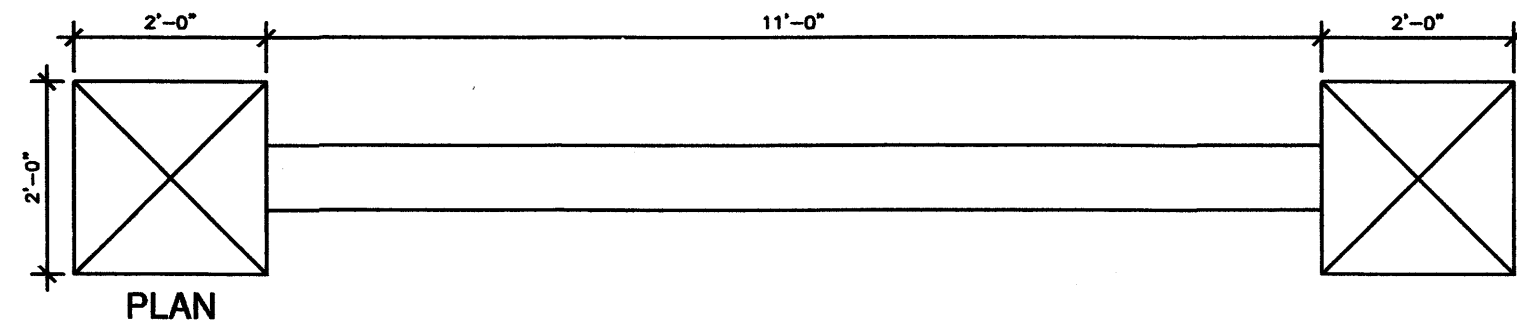


TOWNHOME APARTMENTS			
	Square Feet	Acres	Comments
Lot Area (Gross)	129150 s.f.	2.97 Acres	Total Area including Buildings and Parking
Buildings	43980 s.f.	1.01 Acres	
Net Lot Area	85170 s.f.	1.96 Acres	Includes Required Parking Areas
Required Landscape Area	12775 s.f.	.29 Acres	15% of Net Lot Area
Provided Landscape Area	41605 s.f.	.96 Acres	49% of Net Lot Area
Planting Area	40304 s.f.	.93 Acres	
Grass Area	1301 s.f.	.03 Acres	3% of Total Planting Area

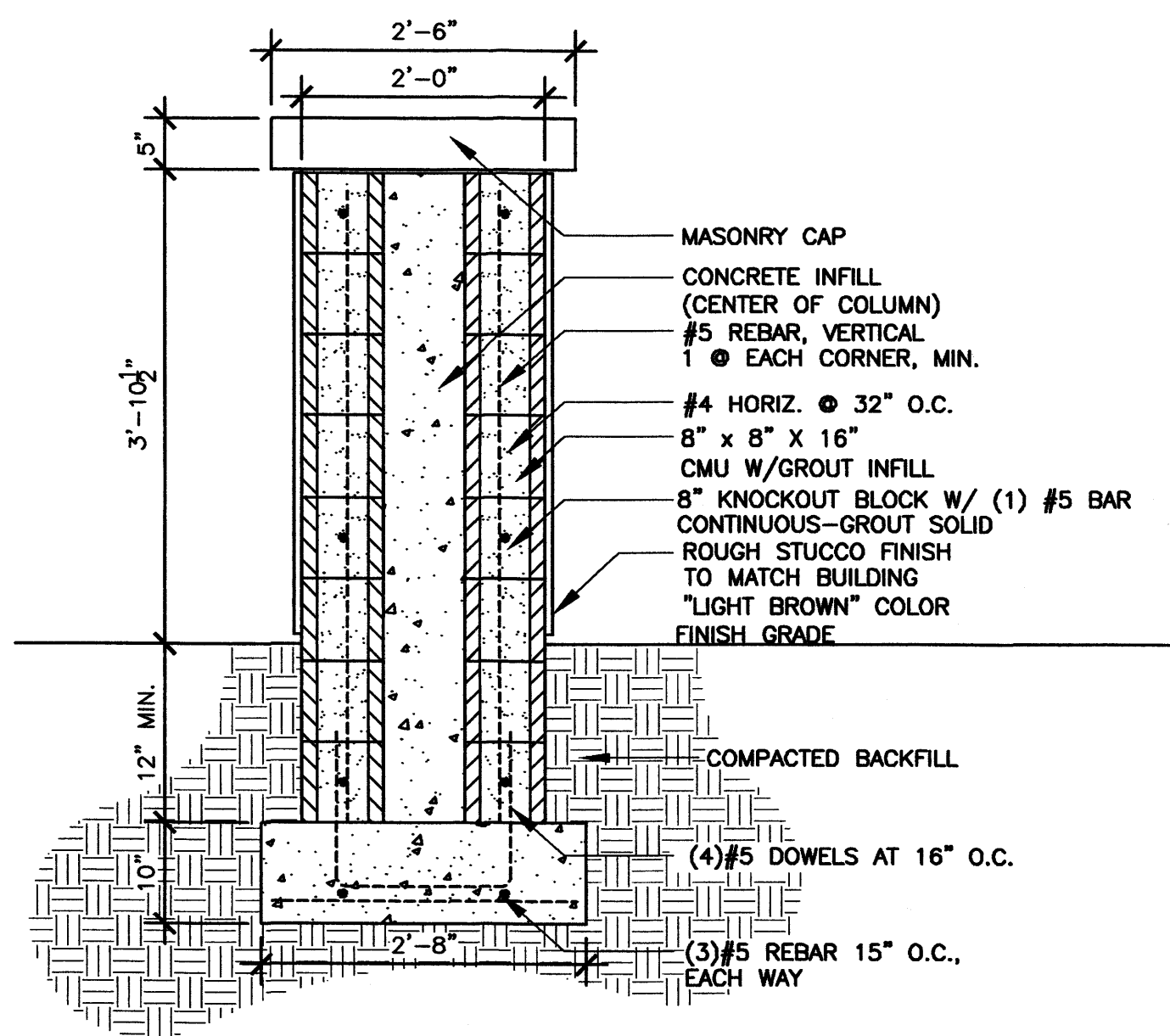




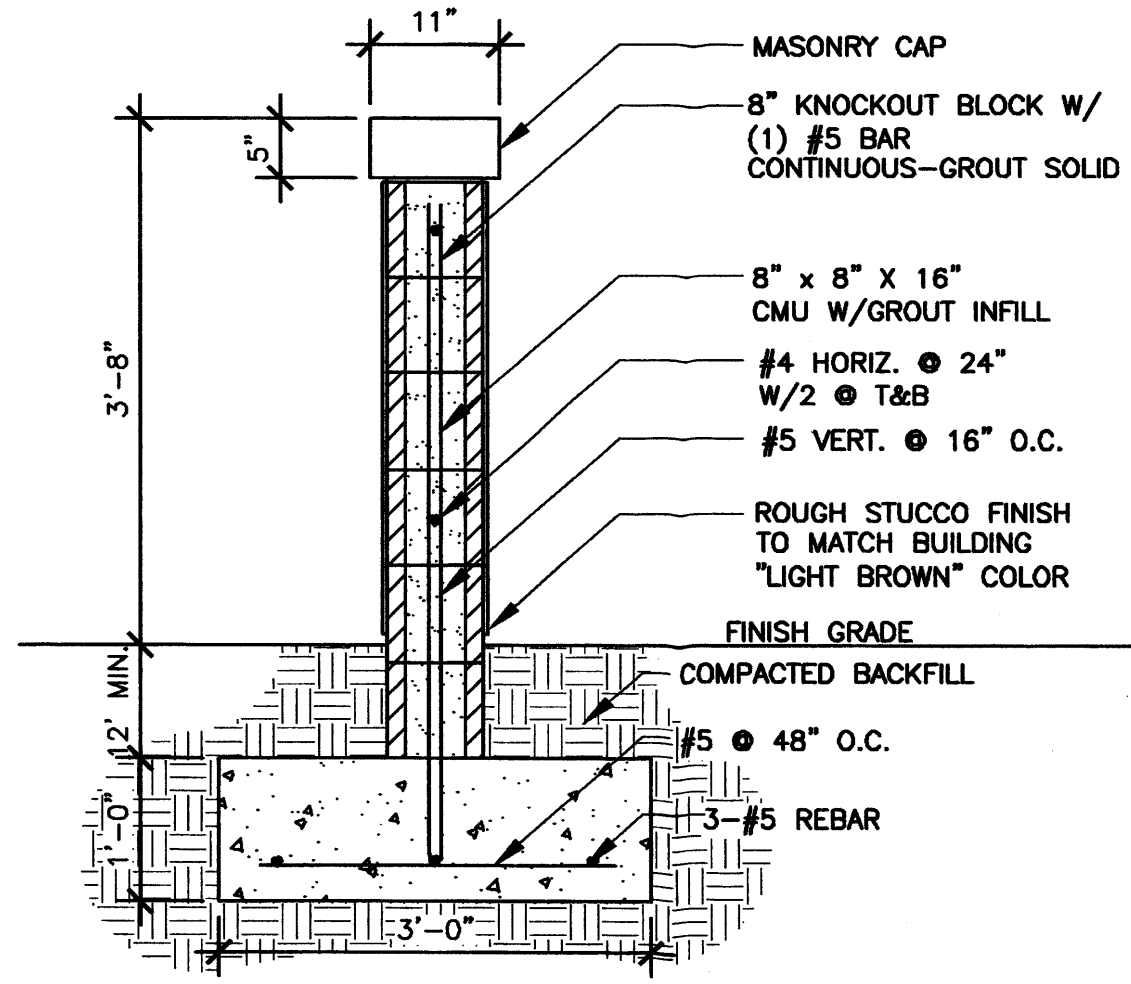
A GARDEN APARTMENT ENTRY SIGNAGE
1/2"=1'-0"



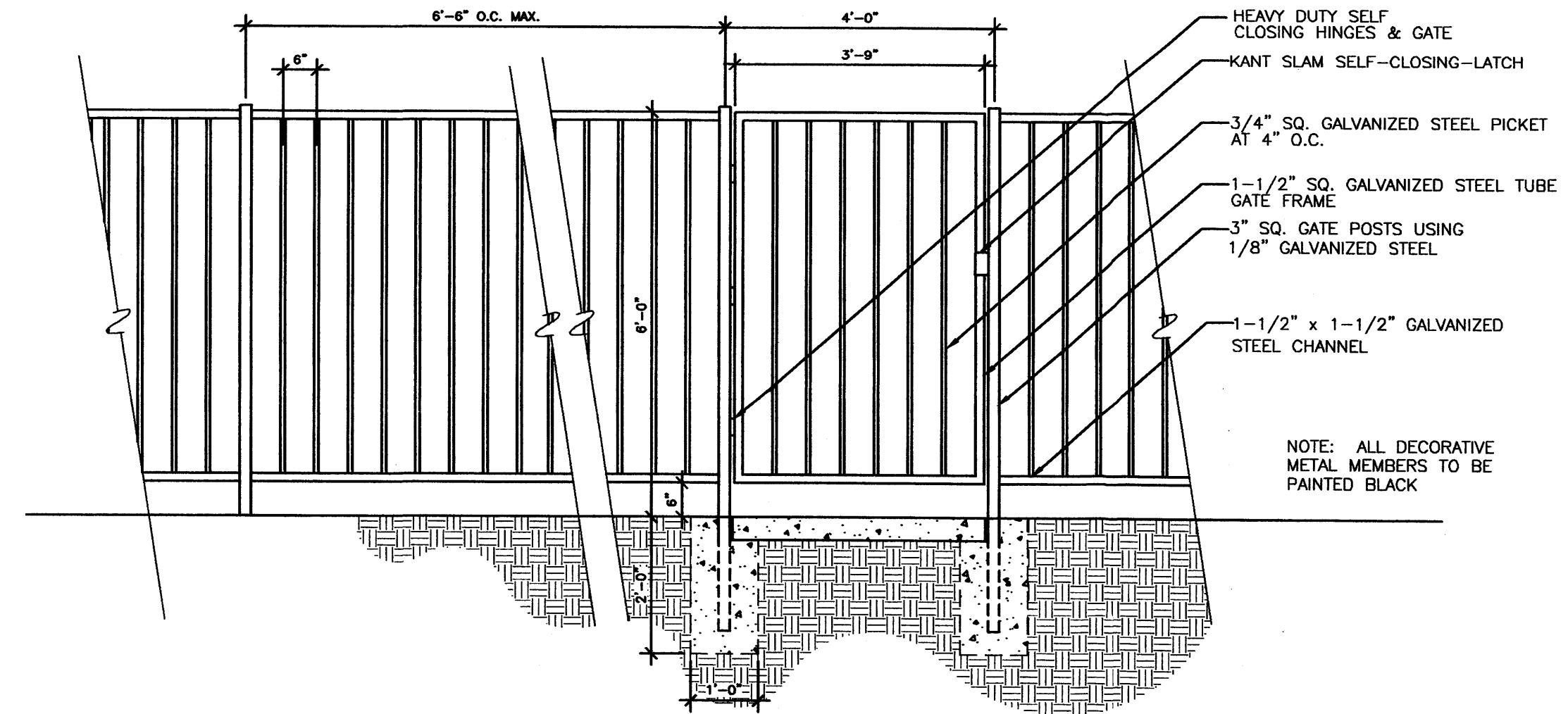
B TOWNHOME ENTRY SIGNAGE
1/2"=1'-0"



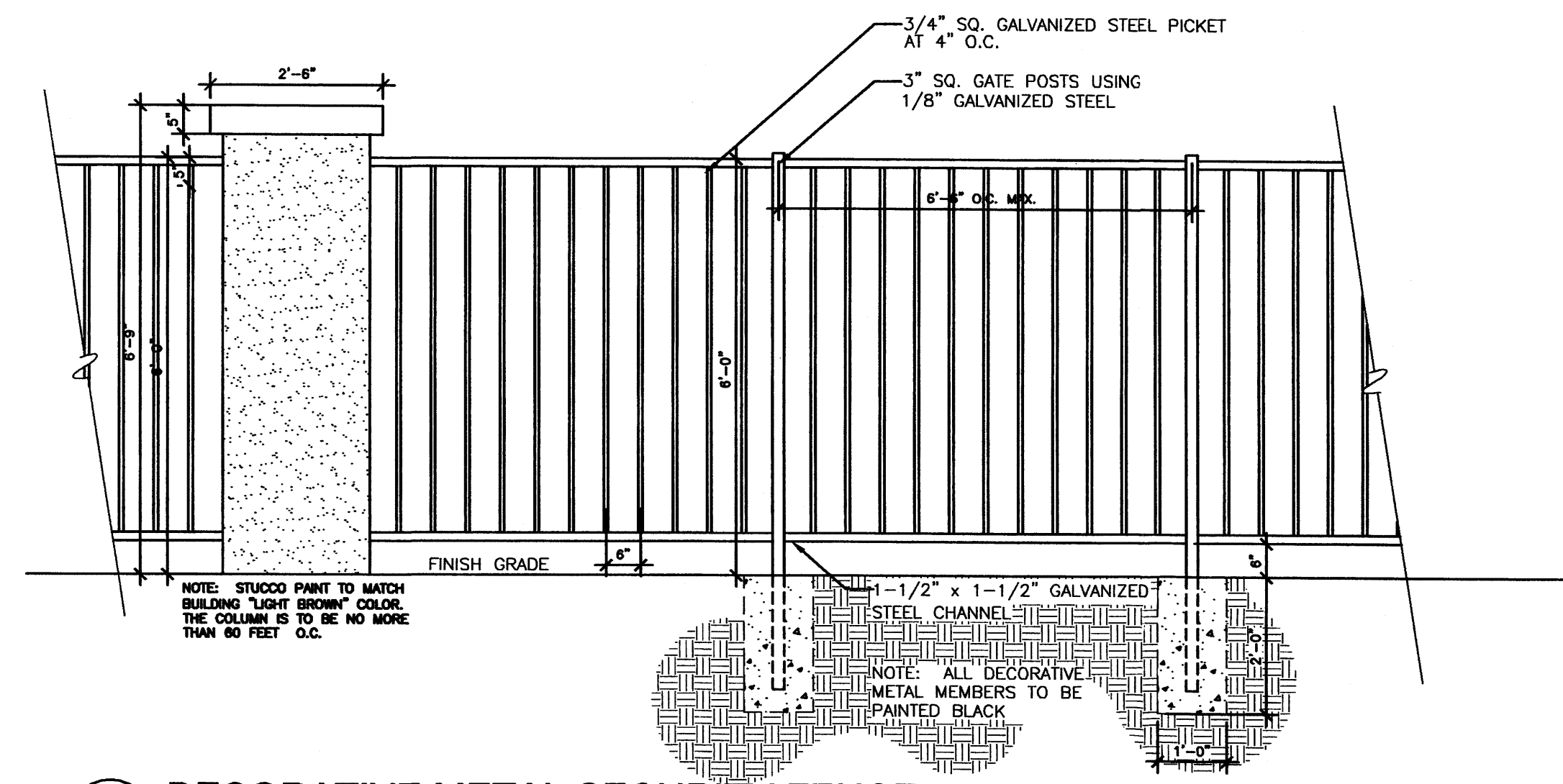
C 24" ENTRY COLUMN DETAIL
3/4"=1'-0"



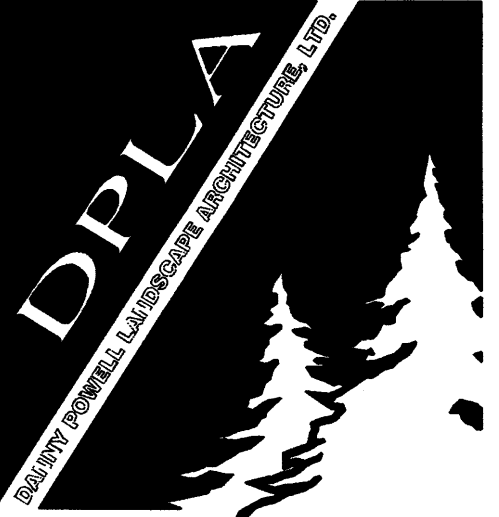
D ENTRY WALL DETAIL
3/4"=1'-0"



E DECORATIVE METAL SECURITY FENCE W/ PED. GATE ENTRY
1/2"=1'-0"



F DECORATIVE METAL SECURITY FENCE
1/2"=1'-0"



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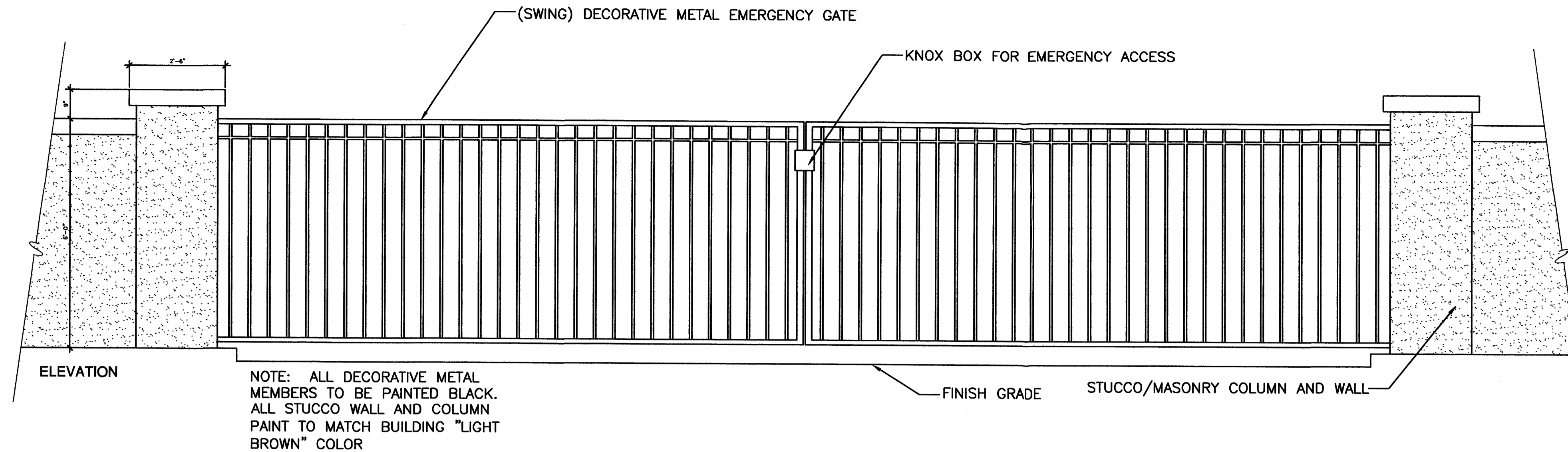
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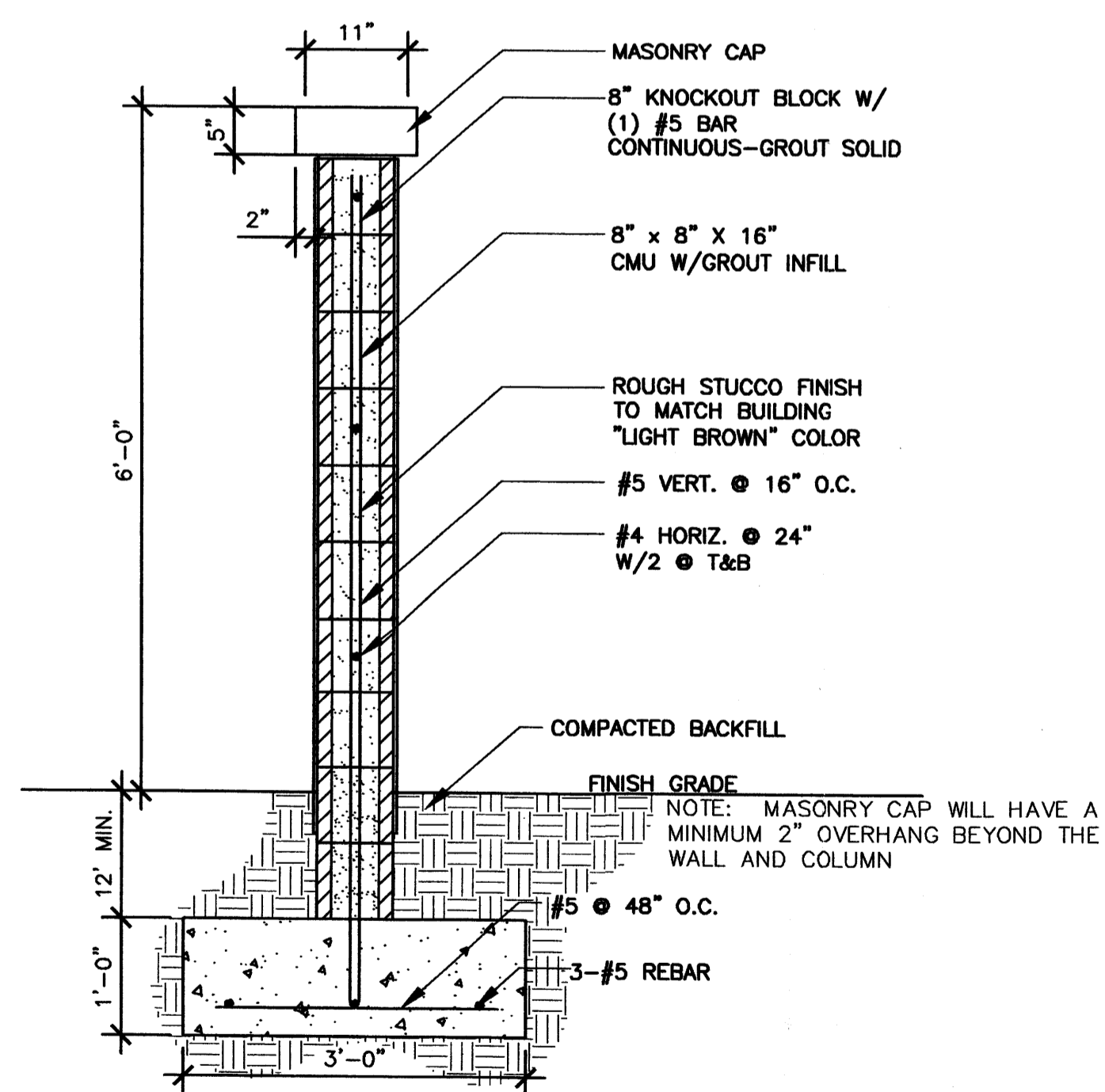
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DETAILS

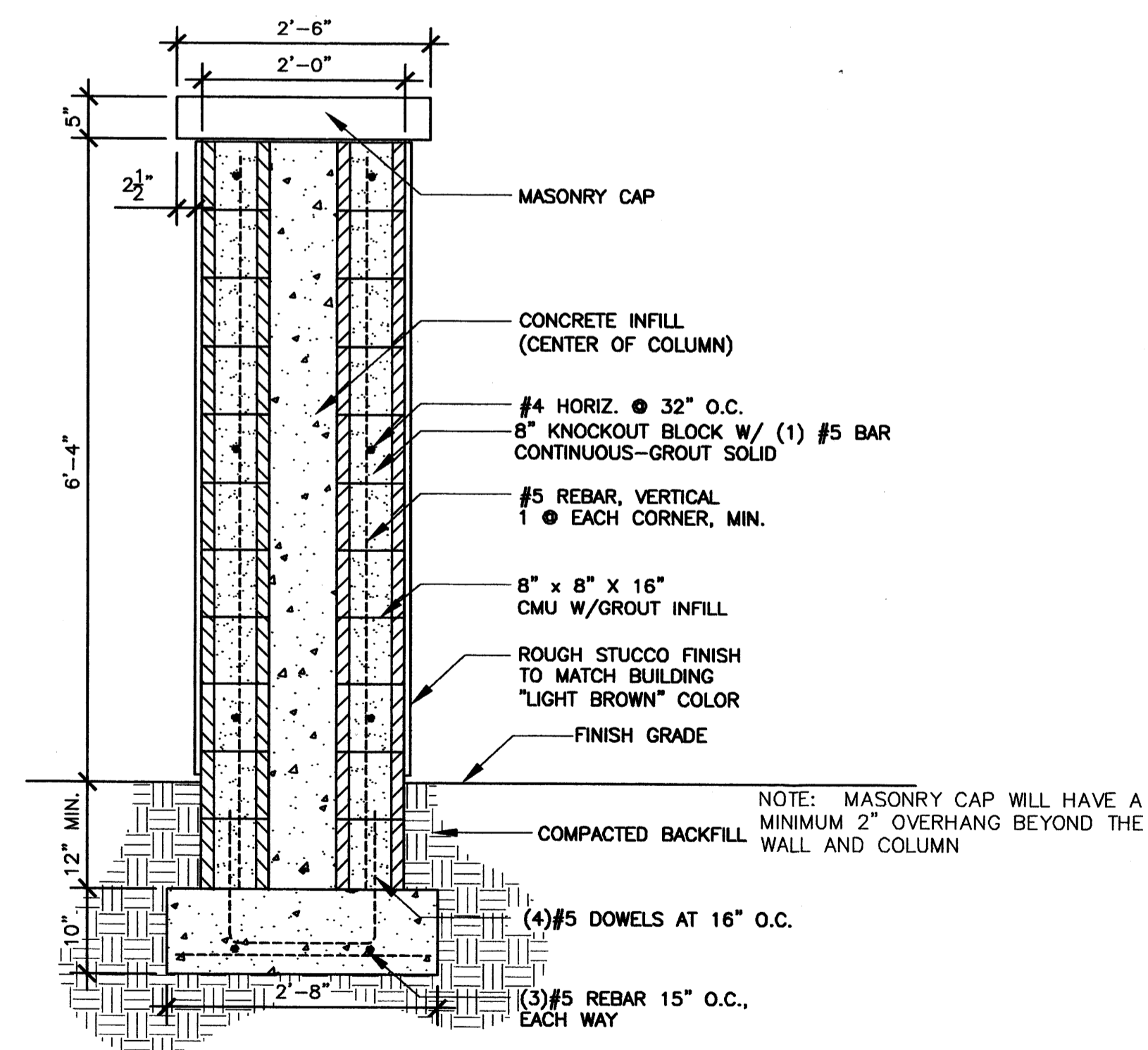
LD-1



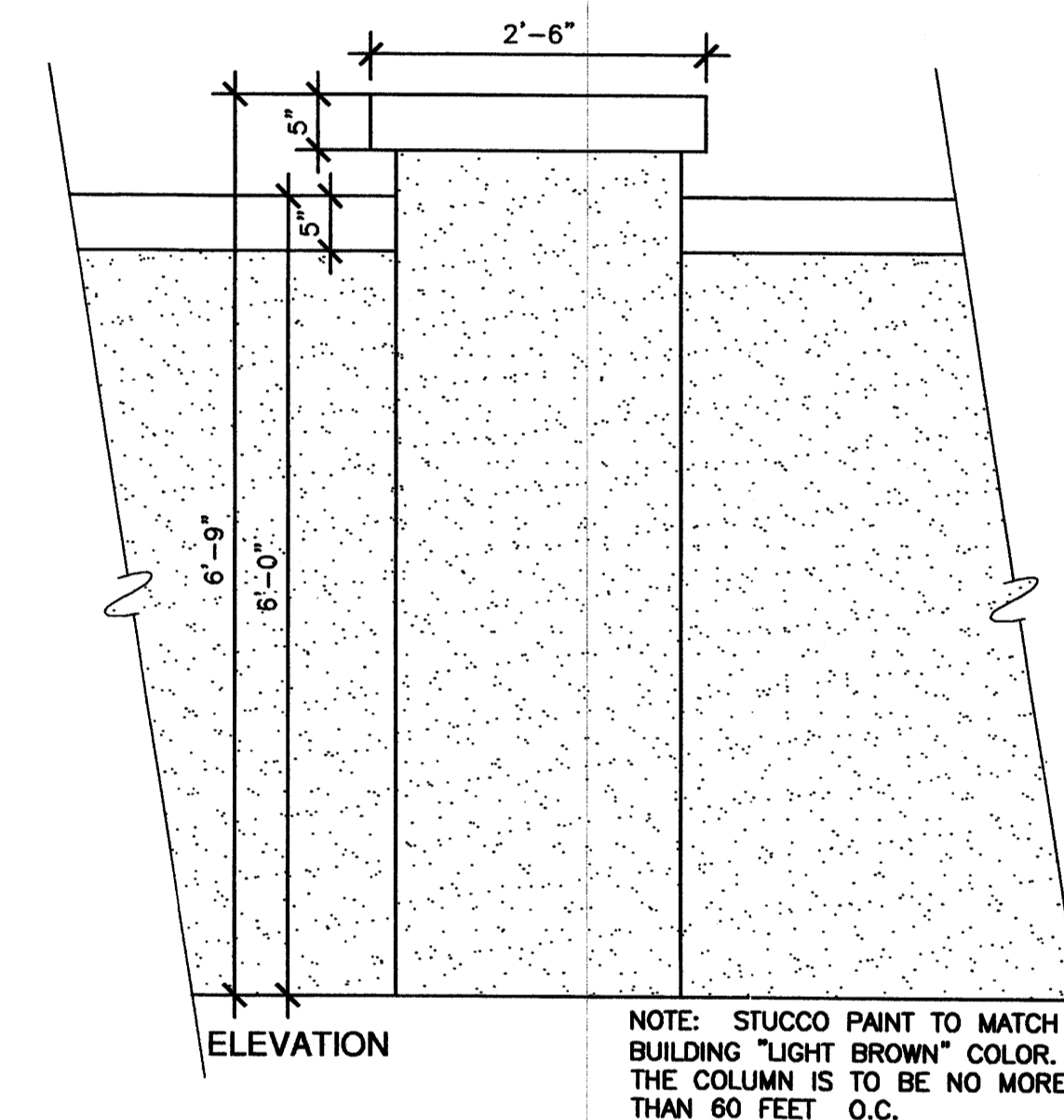
A REMOTE ACCESS GATE ENTRY
3/4"=1'-0"



B 6' MASONRY WALL DETAIL
3/4"=1'-0"



C 24' COLUMN DETAIL @ STUCCO WALL
3/4"=1'-0"



D 6' MASONRY WALL DETAIL
3/4"=1'-0"



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