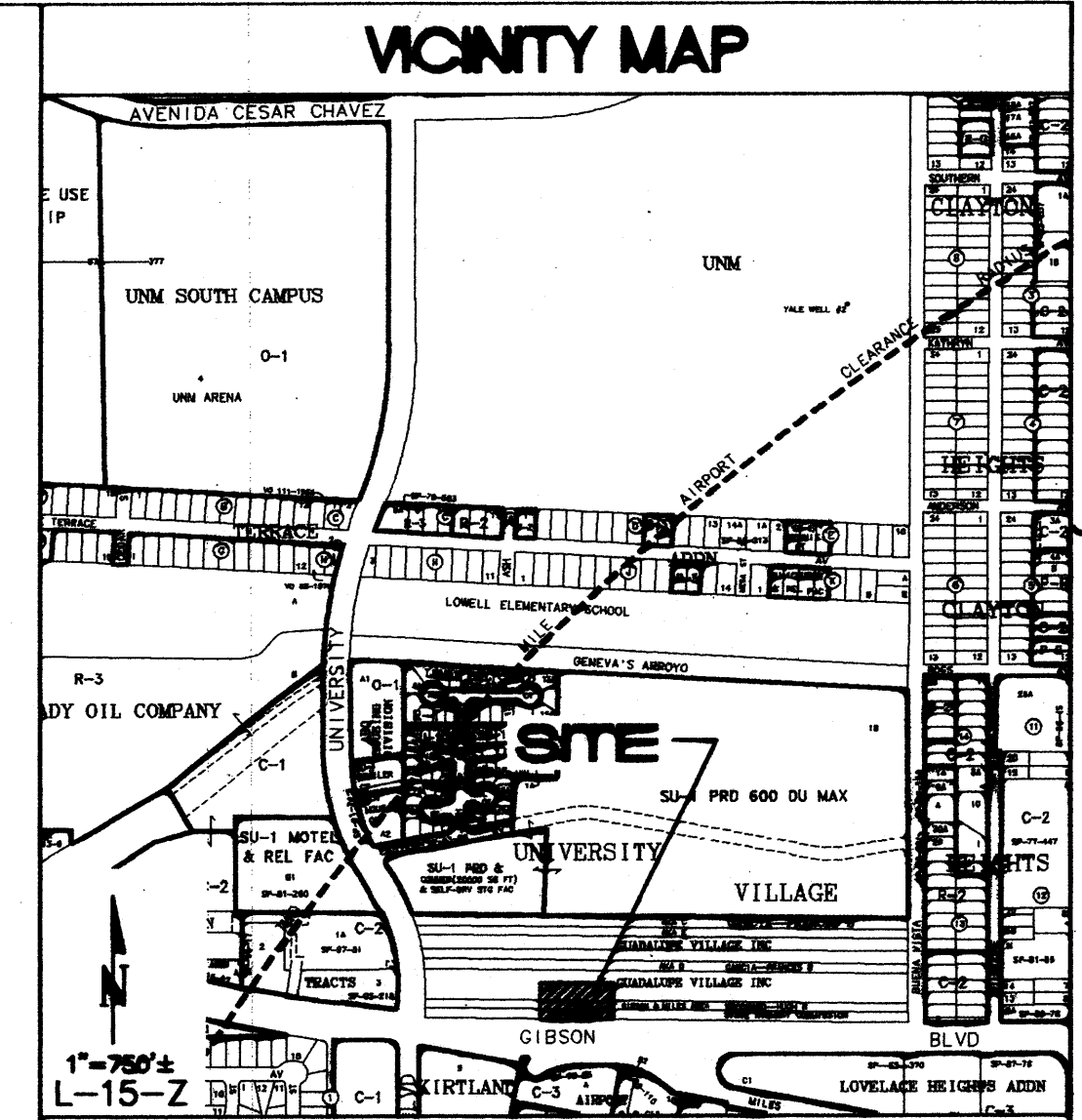
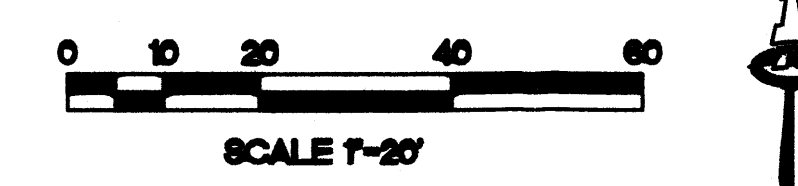


SITE PLAN



PROJECT DATA

LEGAL DESCRIPTION: TRACT 2-A, BROADSTONE TOWN CENTER, ALBUQUERQUE, NM

ZONING: SU-1 FOR C-2 USES

AREAS:
 TRACT AREA: 81,474 SF
 BUILDING FOOTPRINT: 7,380 SF
 F.A.R.: 0.08

PROPOSED USE: RESTAURANT WITH PATIO DINING

PARKING ANALYSIS

MAXIMUM PARKING REQUIRED (15 PER 1,000 SF)	111
PARKING PROVIDED	99
ADA PARKING REQUIRED	4
ADA PARKING PROVIDED	4
BICYCLE PARKING REQUIRED (1 PER 20 VEHICLES)	5
BICYCLE PARKING PROVIDED	7
MOTORCYCLE PARKING REQUIRED	4
MOTORCYCLE PARKING PROVIDED	4

SETBACKS PER BROADSTONE TOWNE CENTER SITE PLAN FOR SUBDIVISION.

PARKING COMPARISON

RESTAURANT (294 SEATS)	
1 PARKING SPACE PER 4 SEATS	74

GENERAL NOTES

- SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR BROADSTONE TOWNE CENTER. ONE MONUMENT SIGN IS PROPOSED ALONG TOWNE CENTER LANE FRONTAGE THAT IS LIMITED TO 20 SF SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
- ALL BUILDING-MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6% OF EACH BUILDING ELEVATION FACADE.
- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF SECTION 14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE BROADSTONE TOWNE CENTER SITE PLAN FOR SUBDIVISION DESIGN STANDARDS. MAXIMUM HEIGHT OF FIXTURES SHALL BE 20FT, EXCEPT 16FT WITHIN 100FT OF RESIDENTIAL DEVELOPMENT.
- ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED (SEE ARCHITECTS ELEVATIONS)
- THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE EFFICIENT USE OF ENERGY.
- RAINFATER HARVESTING MEASURES SUCH AS DEPRESSED LANDSCAPE, SHALL BE PROVIDED.
- RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES PER PNM DESIGN GUIDELINES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DEPARTMENT TO COORDINATE ELECTRICAL SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRICAL SERVICE CONNECTION.
- ALL EXISTING EASEMENTS WERE GRANTED BY PLAT OF BROADSTONE TOWNE CENTER ON MARCH 20, 2008; BK. 2008C, PG. 52, DOC. #2008031636.

KEYED ADA NOTES

- ADA ACCESSIBLE ROUTE, 6' MIN. WIDTH.
- ADA ACCESSIBLE RAMP PER DETAIL 'A' ON SHEET C-501.
- ADA ACCESSIBLE RAMP PER DETAIL 'B' ON SHEET C-501.
- ADA ACCESSIBLE RAMP PER DETAIL 'C' ON SHEET C-501.
- ADA ACCESSIBLE RAMP PER DETAIL 'D' ON SHEET C-501.

PROJECT SUMMARY

THE PROPOSED PROJECT CONSISTS OF A SINGLE-STORY RESTAURANT WITH AN "INDOOR/OUTDOOR" PATIO SPACE (OPEN TO THE OUTSIDE VIA OPERABLE GARAGE DOORS), AN OUTDOOR PATIO AND ASSOCIATED PARKING, ACCESS AND LANDSCAPING TO BE BUILT IN A SINGLE PHASE. THE SITE IS SITUATED ON TWO TRACTS (TRACTS 2 & 3) OF THE BROADSTONE TOWNE CENTER DEVELOPMENT AND HAVING A LAND AREA OF 1.8703 ACRES (81,470 SF). A PLAT ACTION TO ASSEMBLE THE TRACTS INTO A SINGLE PARCEL WILL ACCOMPANY THE SDP THROUGH THE DEVELOPMENT REVIEW BOARD.

THE SITE PLAN SHALL COMPLY WITH THE APPROVED BROADSTONE TOWNE CENTER SITE DEVELOPMENT PLAN FOR SUBDIVISION, PROJECT NO. 1005243 AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON JAN. 18, 2007.

MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

PEDESTRIAN CONNECTIONS: THE EXISTING PEDESTRIAN CROSS-WALK FROM THE APARTMENTS TO THE NORTH WILL CONNECT TO THE ON-SITE PEDESTRIAN ACCESS WALK. PEDESTRIAN ACCESS ALONG TOWNE CENTER LANE IS ENCOURAGED BY EIGHT FOOT WIDE SIDEWALKS ALONG THE NORTHERLY BORDER OF THE SITE.

APD PLANS CHECKING OFFICE
 324-3811
 DISAPPROVED
 10/29/12

PROJECT NUMBER: 1005243

Application Number:
 Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	12-12-12
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	11/20/12
ABC/WUA	Date
<i>[Signature]</i>	11-28-12
Parks and Recreation Department	Date
<i>[Signature]</i>	11-28-12
City Engineer	Date
<i>[Signature]</i>	
Environmental Health Department (conditional)	Date
<i>[Signature]</i>	10-29-2012
Solid Waste Management	Date
<i>[Signature]</i>	12-13-12
DRB Chairperson, Planning Department	Date

PREPARED FOR: VERDAD REAL ESTATE
 502 NORTH CARROLL AVE
 SOUTHLAKE, TX 76092

PREPARED BY: CONSENSUS PLANNING, INC.
 ISAACSON & ARFMAN, P.A.
 PRANGER GROUP

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-266-8828 www.isaarl.com

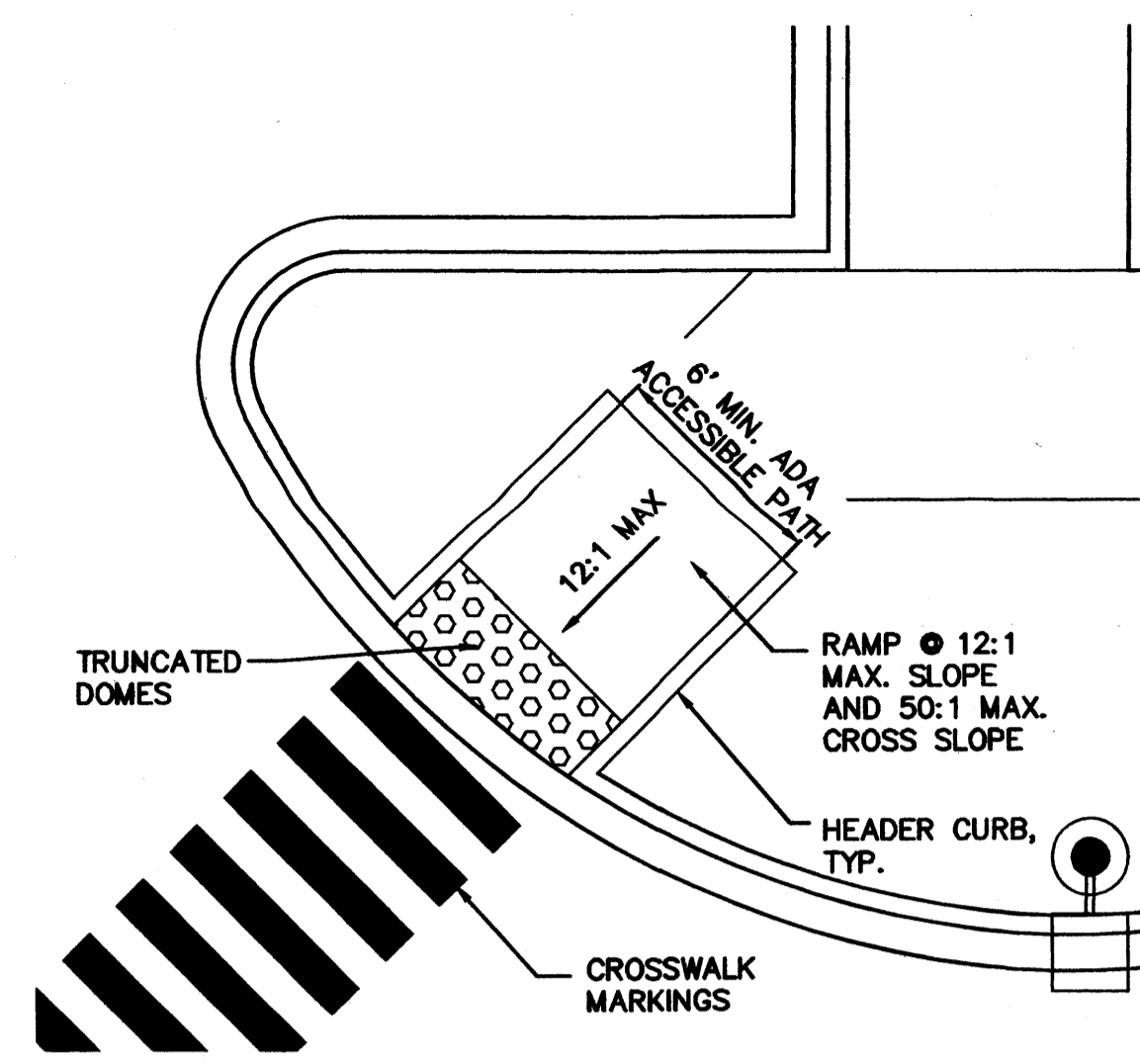
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**BUFFALO WILD WINGS
 BROADSTONE TOWNE CENTER**

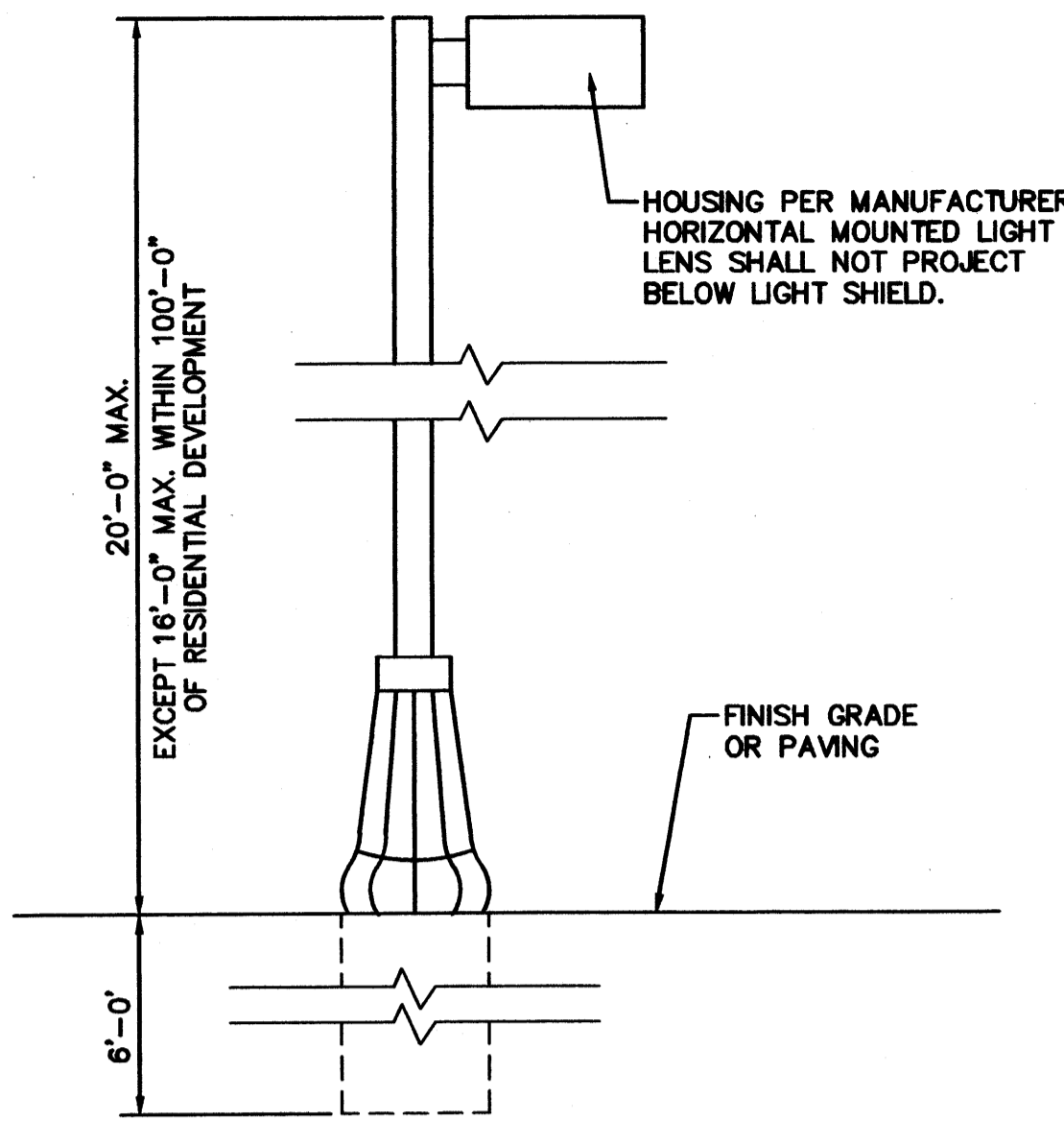
SITE PLAN FOR BUILDING PERMIT

Date:	10/05/12	Job No.:	1937
Drawn By:			C-101
Clad By:			SHEET 1

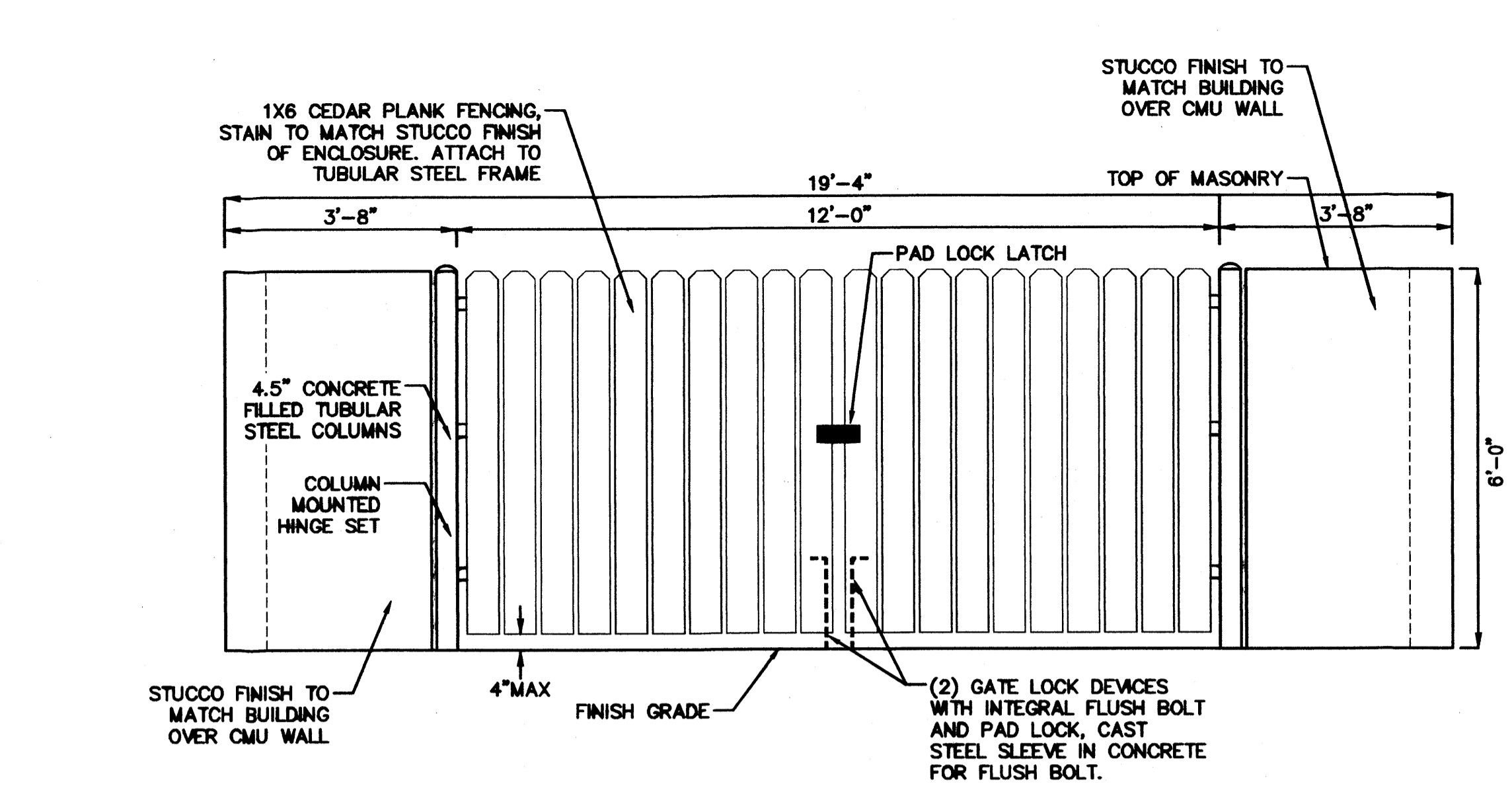
1005243



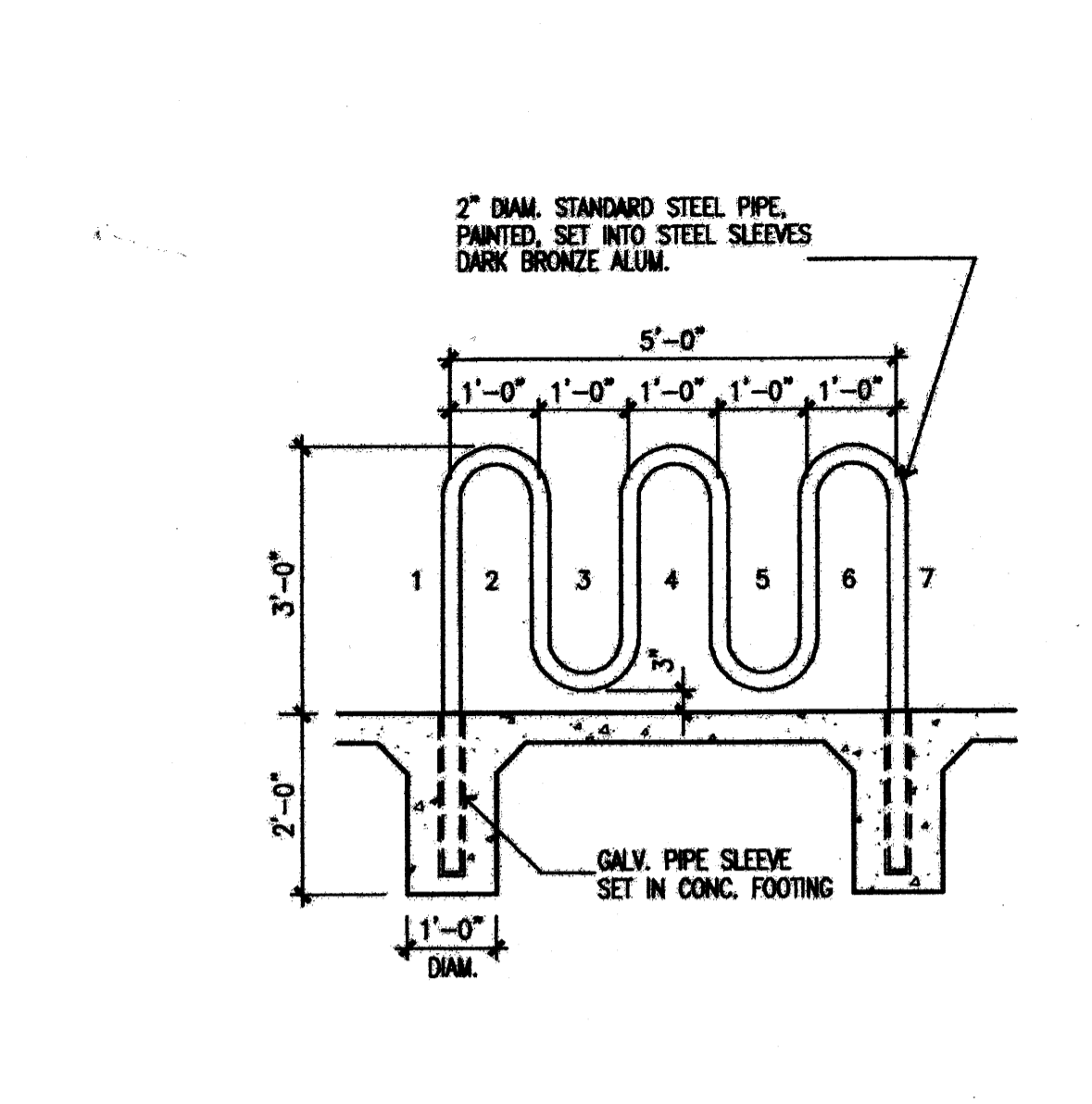
12 ADA ACCESSIBLE RAMP 'A'
SCALE: 1"=5'



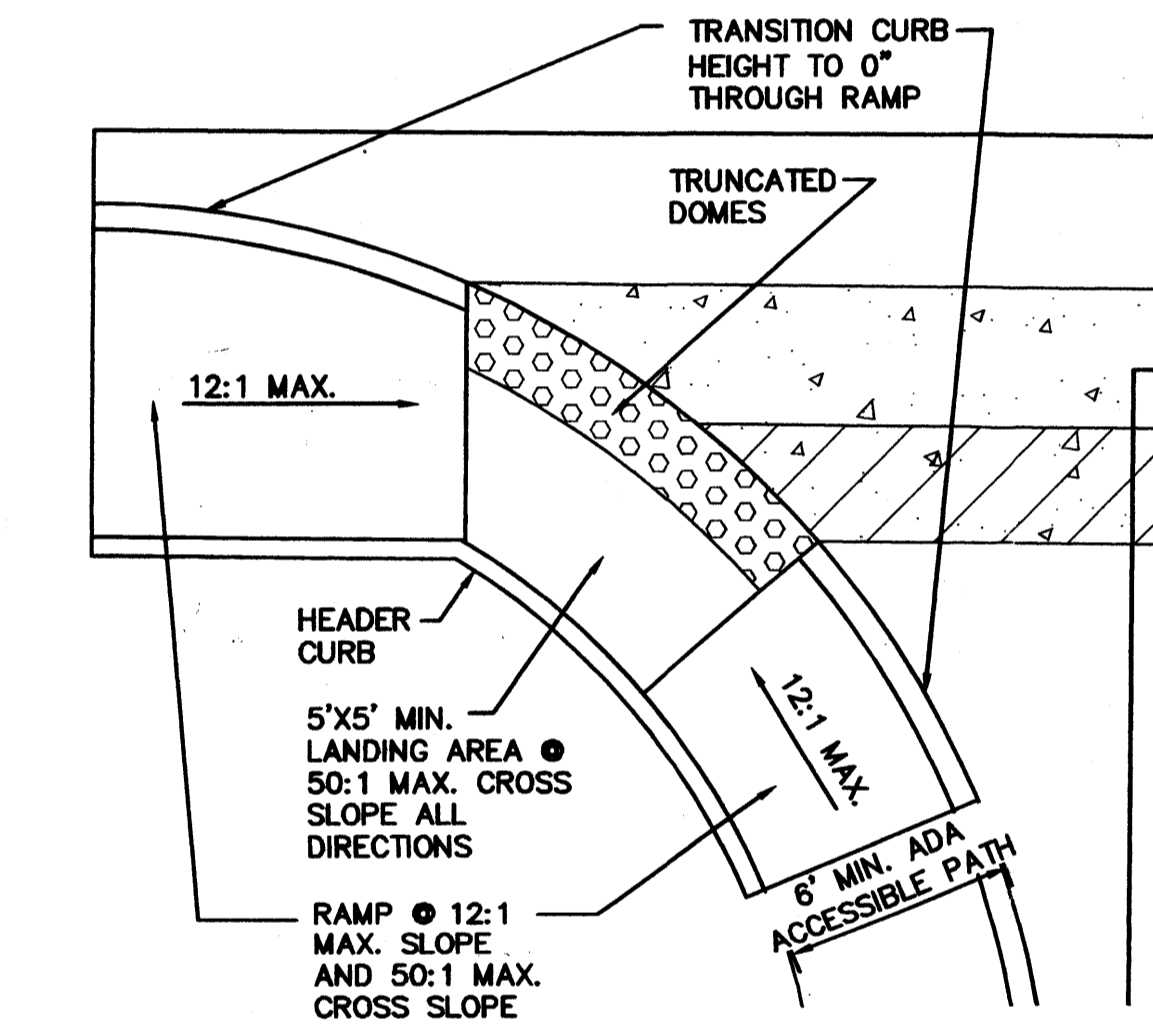
9 LIGHT FIXTURE DETAIL
SCALE: N.T.S.



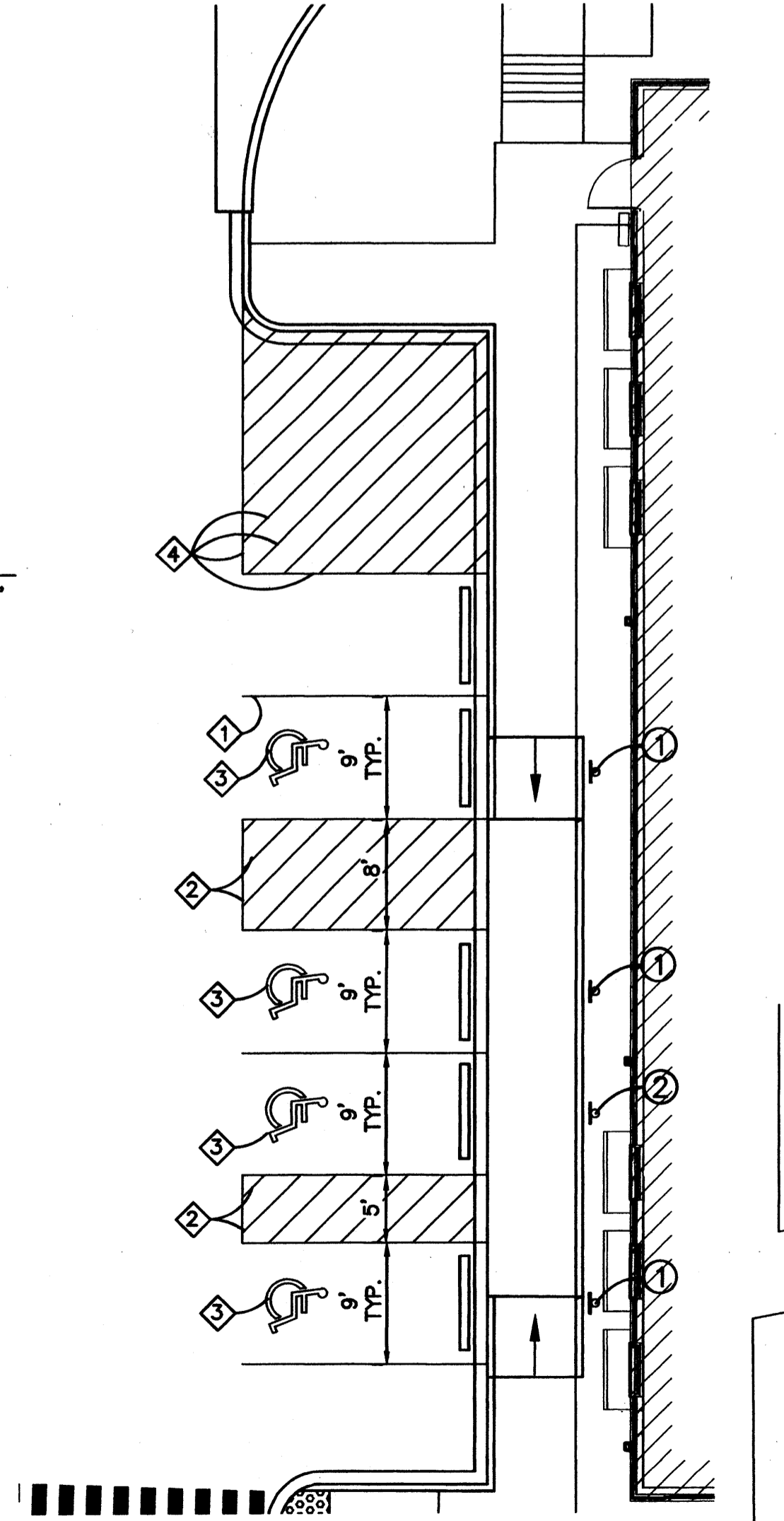
6 REFUSE ENCLOSURE
SCALE: N.T.S.



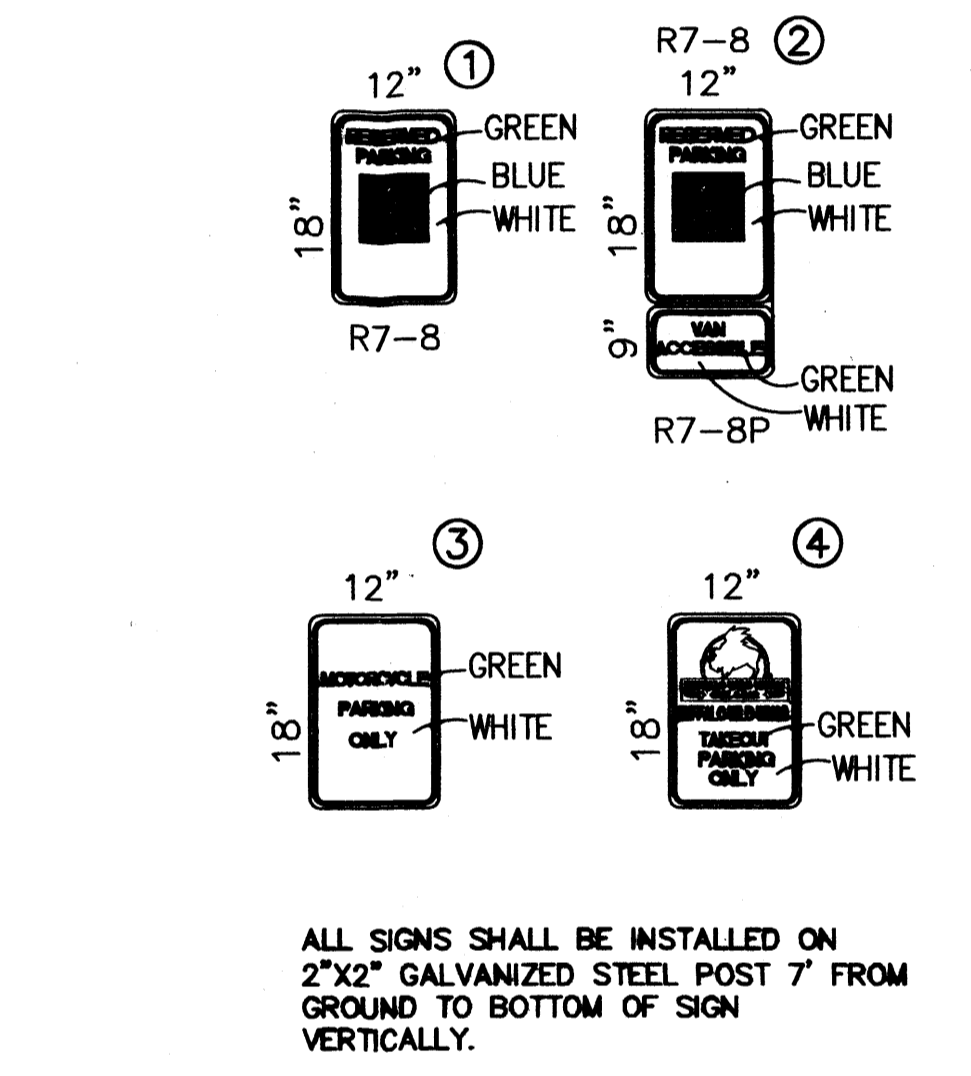
1 BICYCLE RACK DETAIL
SCALE: N.T.S.



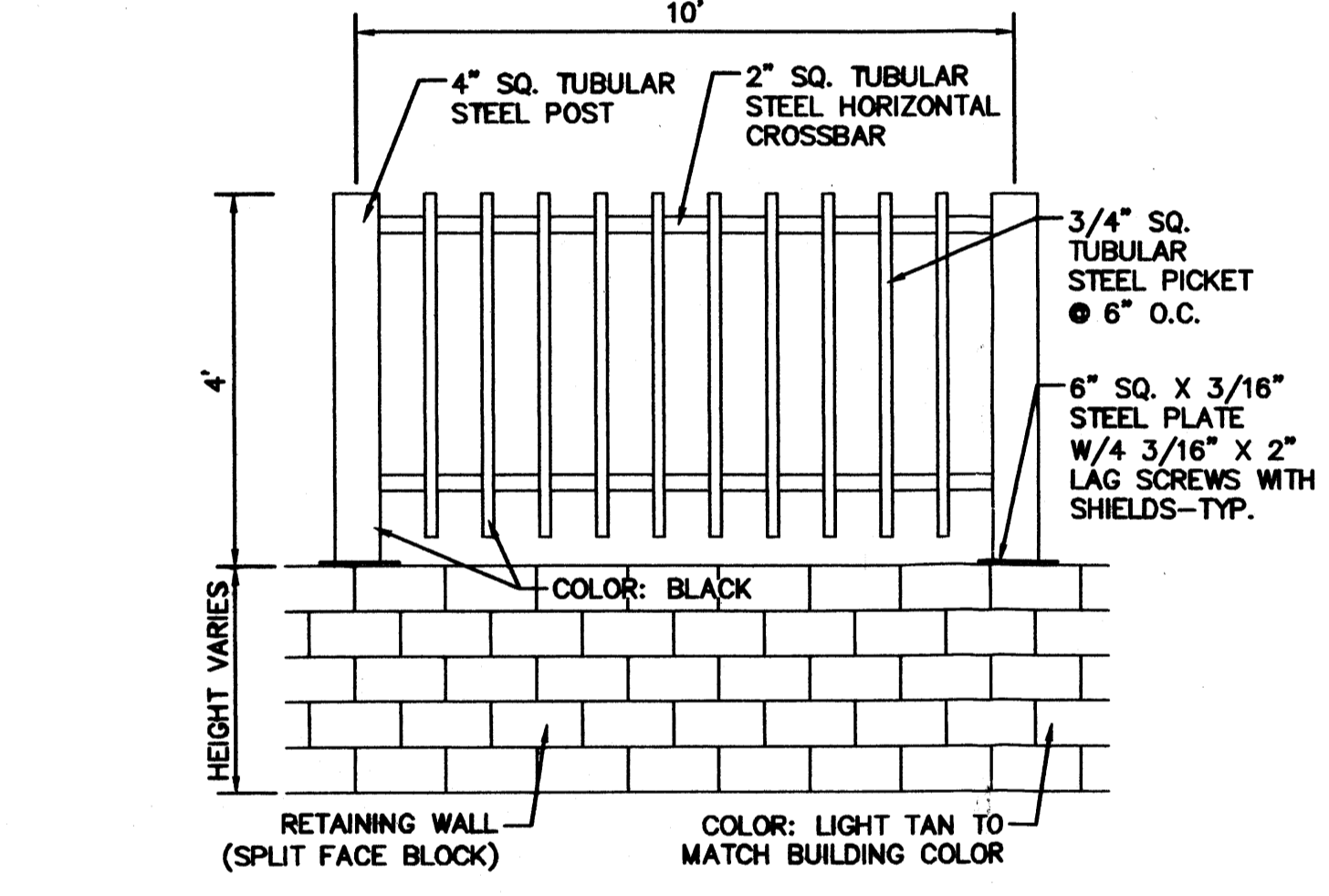
13 ADA ACCESSIBLE RAMP 'B'
SCALE: 1"=5'



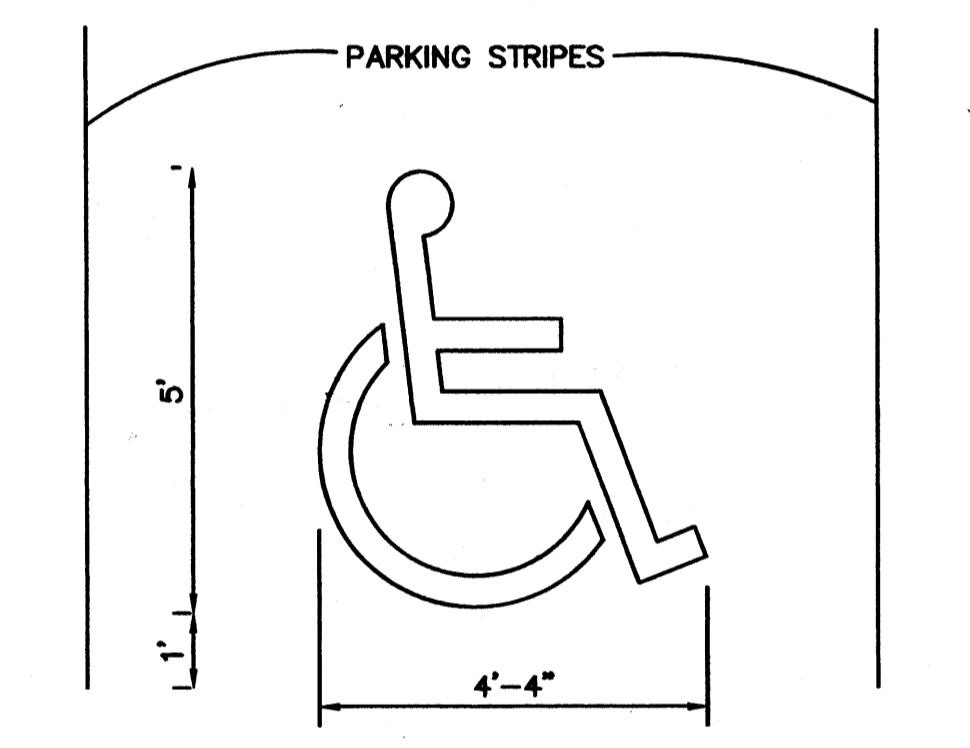
11 STRIPING DETAIL
SCALE: N.T.S.



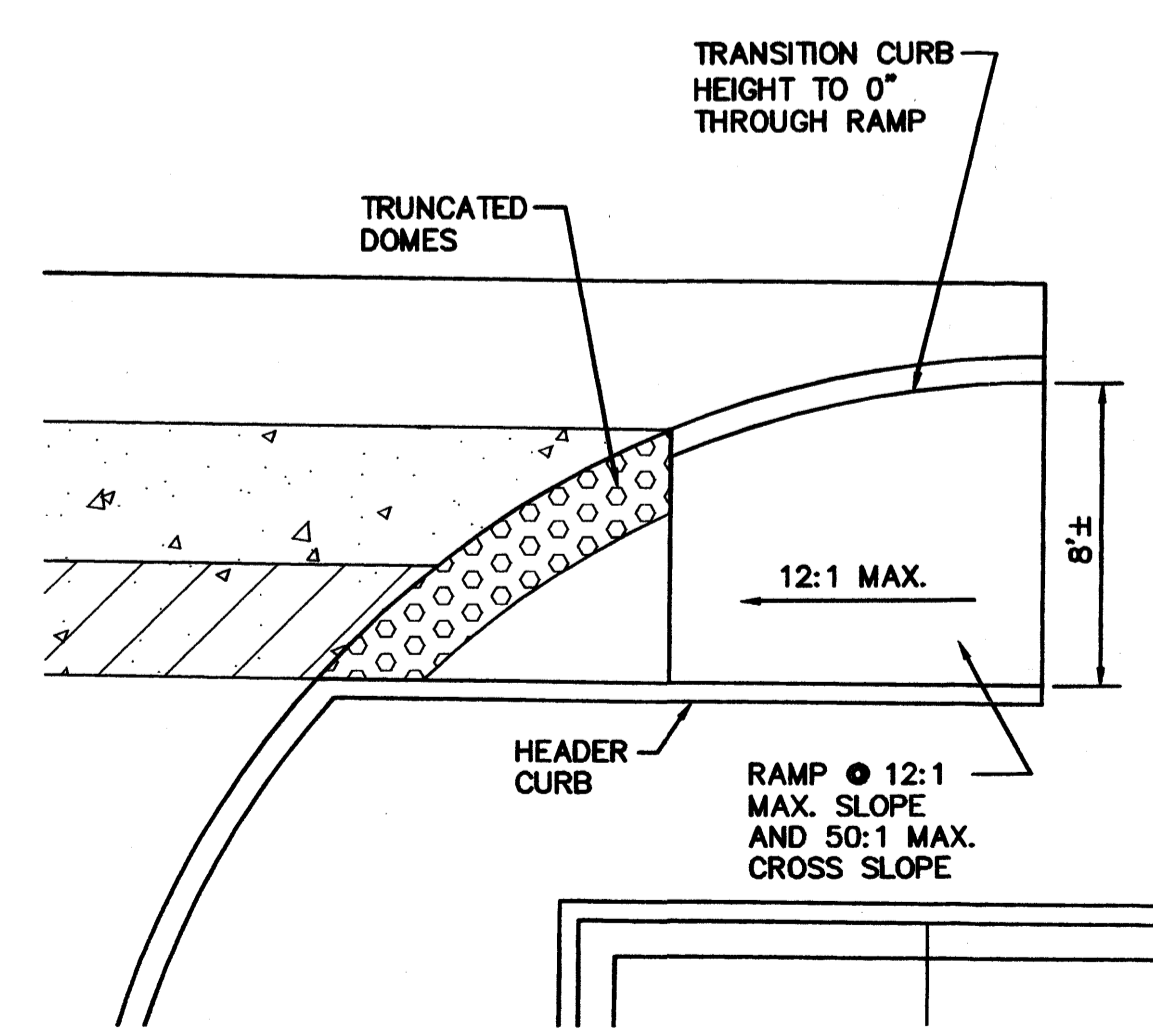
7 SIGNS
SCALE: N.T.S.



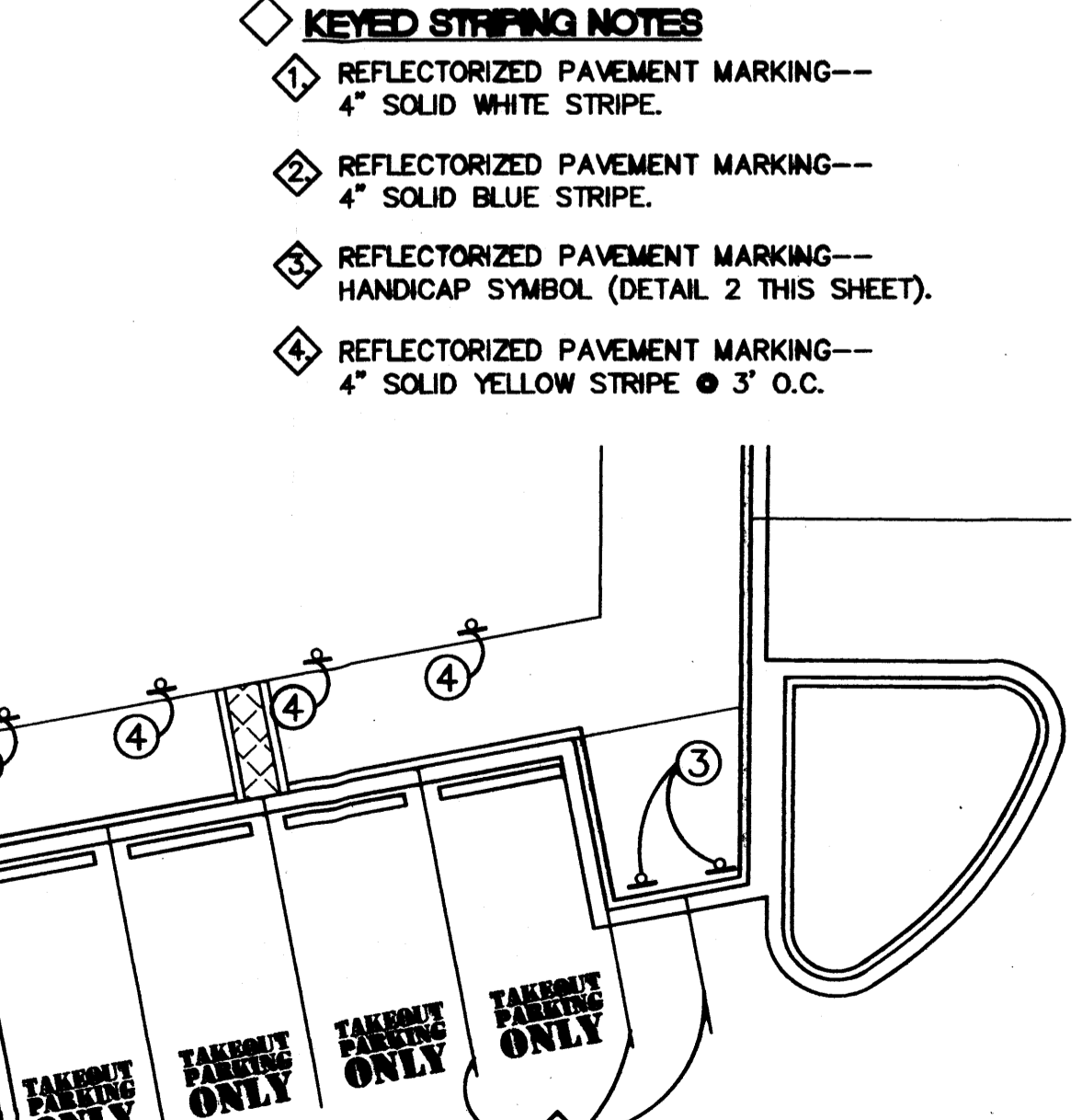
4 SAFETY FENCE ON TOP OF RETAINING WALL
SCALE: N.T.S.



2 ACCESSIBILITY STRIPING DETAIL
SCALE: N.T.S.



14 ADA ACCESSIBLE RAMP 'C'
SCALE: 1"=5'



5 ADA RAMP DETAIL 'D'
SCALE: 1"=10'

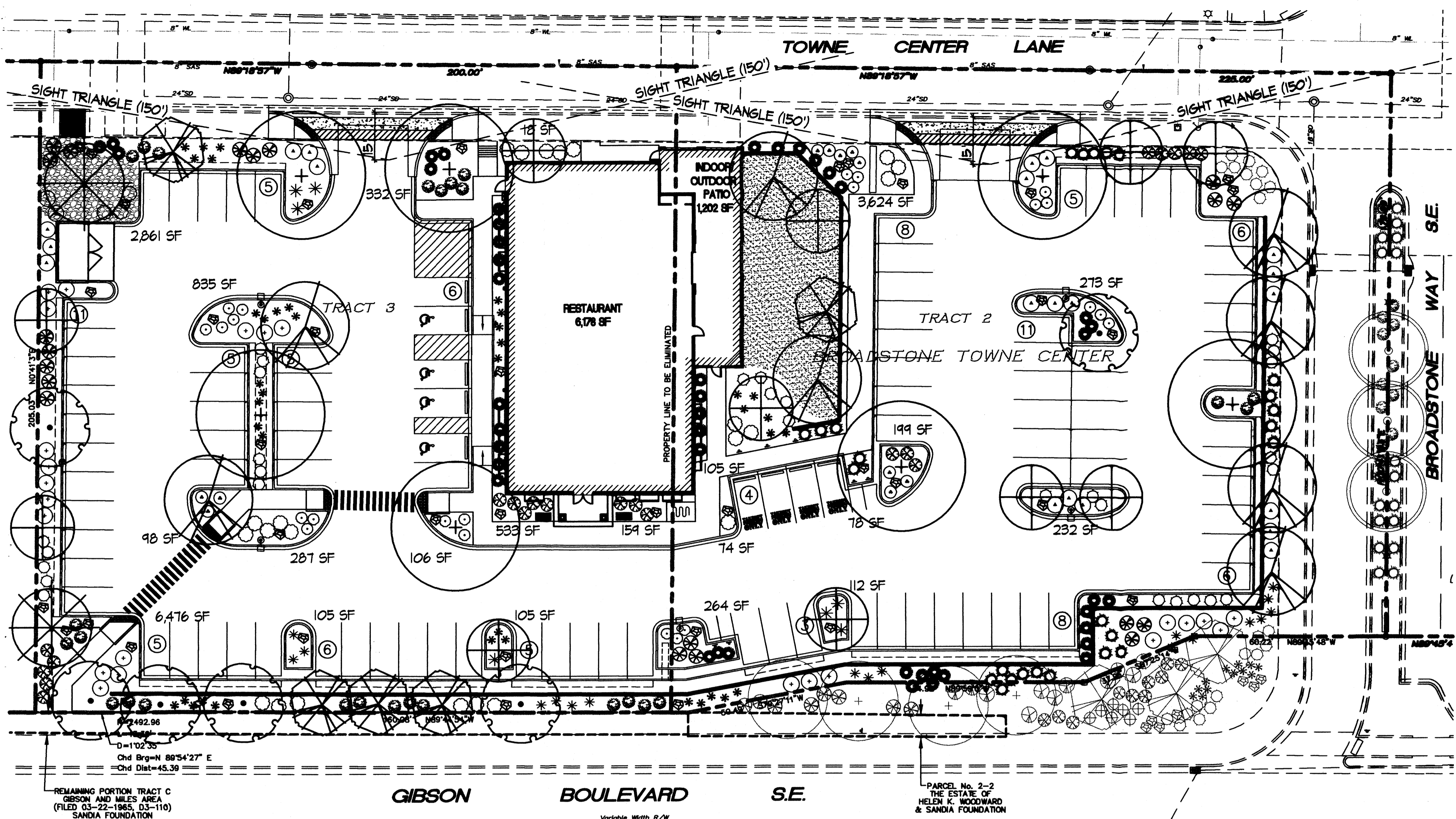
ISAACSON & ARMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isactl.com
1937 CP-101.dwg Dec 10, 2012

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**BUFFALO WILD WINGS
BROADSTONE TOWN CENTER**

SITE DETAILS

Date:	10/29/12	No. Revisions:	0	Date:		Job No.:	1937
Drawn By:							C-501
Chd By:							SHEET 2



LANDSCAPE COVERAGE
PLANTING BEDS SHALL HAVE 75% LIVING GROUNDCOVER AT FULL MATURITY.

LANDSCAPE CALCULATIONS

SITE AREA (1.42 AC)	8,474 SF
BUILDING FOOTPRINT	- 7,380 SF
NET LOT AREA:	74,044 SF
IMPERVIOUS AREA:	57,210 SF
REQUIRED LANDSCAPE (15%)	11,114 SF
PROVIDED LANDSCAPE TOTAL ON SITE PROVIDED:	16,875 SF
PROVIDED ON-SITE LANDSCAPE LESS UNPLANTED PARKING CLEARANCE AREAS - 2,284 SF	14,591 SF
TOTAL PROVIDED LANDSCAPE BEDS	14,591 SF
REQUIRED LIVE VEGETATIVE COVER (75%)	10,422 SF
PROVIDED LIVE VEGETATIVE COVER (75%)	11,331 SF
PROVIDED TURF ON SITE (4% OF TOTAL REQUIRED LANDSCAPE AREA)	2,180 SF

PARKING LOT TREES
BUFFALO WILD WINGS IS PROVIDING 94 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 10
PARKING LOT TREES PROVIDED: 25

STREET TREES
GIBSON BOULEVARD FRONTAGE IS 400'. STREET TREE REQUIREMENTS ARE BASED ON A RATE OF ONE TREE PER 30 LINEAR FEET, PER THE SITE PLAN FOR SUBDIVISION. NOTE: SEVEN TREES WERE INSTALLED AT SITE PLAN FOR SUBDIVISION STAGE OF DEVELOPMENT.

STREET TREES REQUIRED: 14
STREET TREES PROVIDED: 14

GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1/8" SANTA FE BROWN GRAVEL MULCH.

IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREES, SHRUBS, AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE IRRIGATION WILL BE DESIGNED TO CONNECT TO THE EXISTING SYSTEM. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE OWNER.

WATER CONSERVATION ORDINANCE COMPLIANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

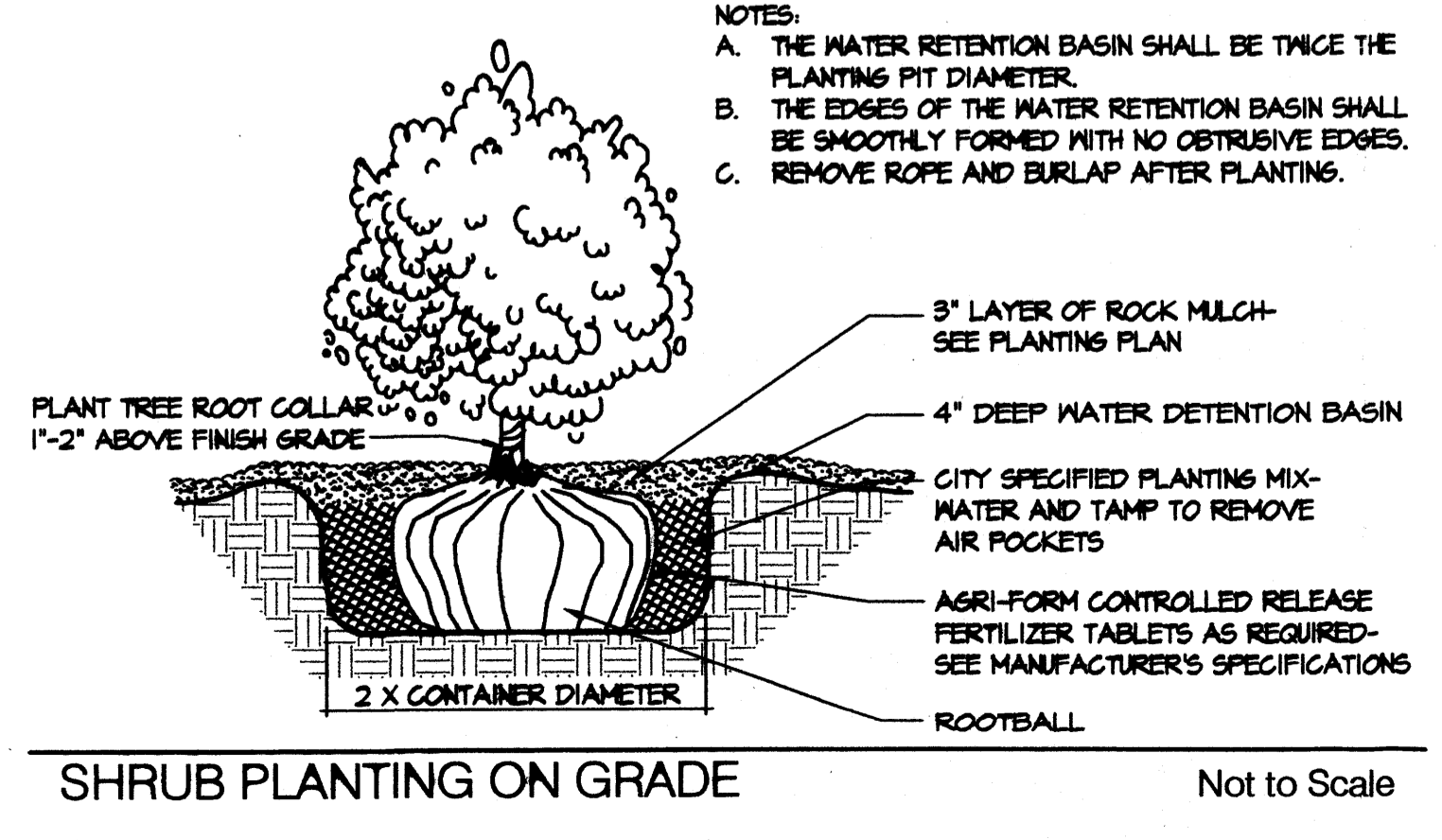
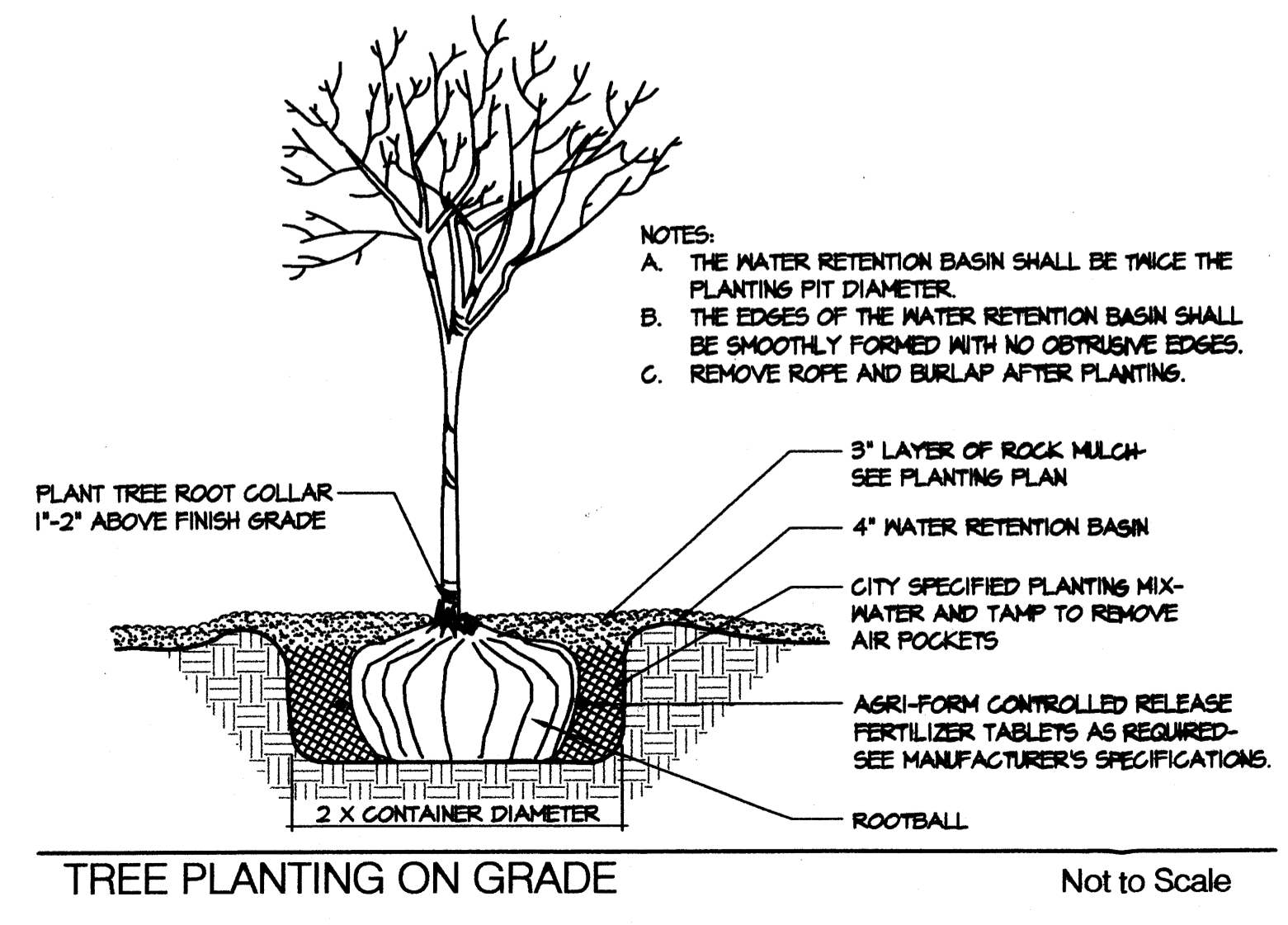
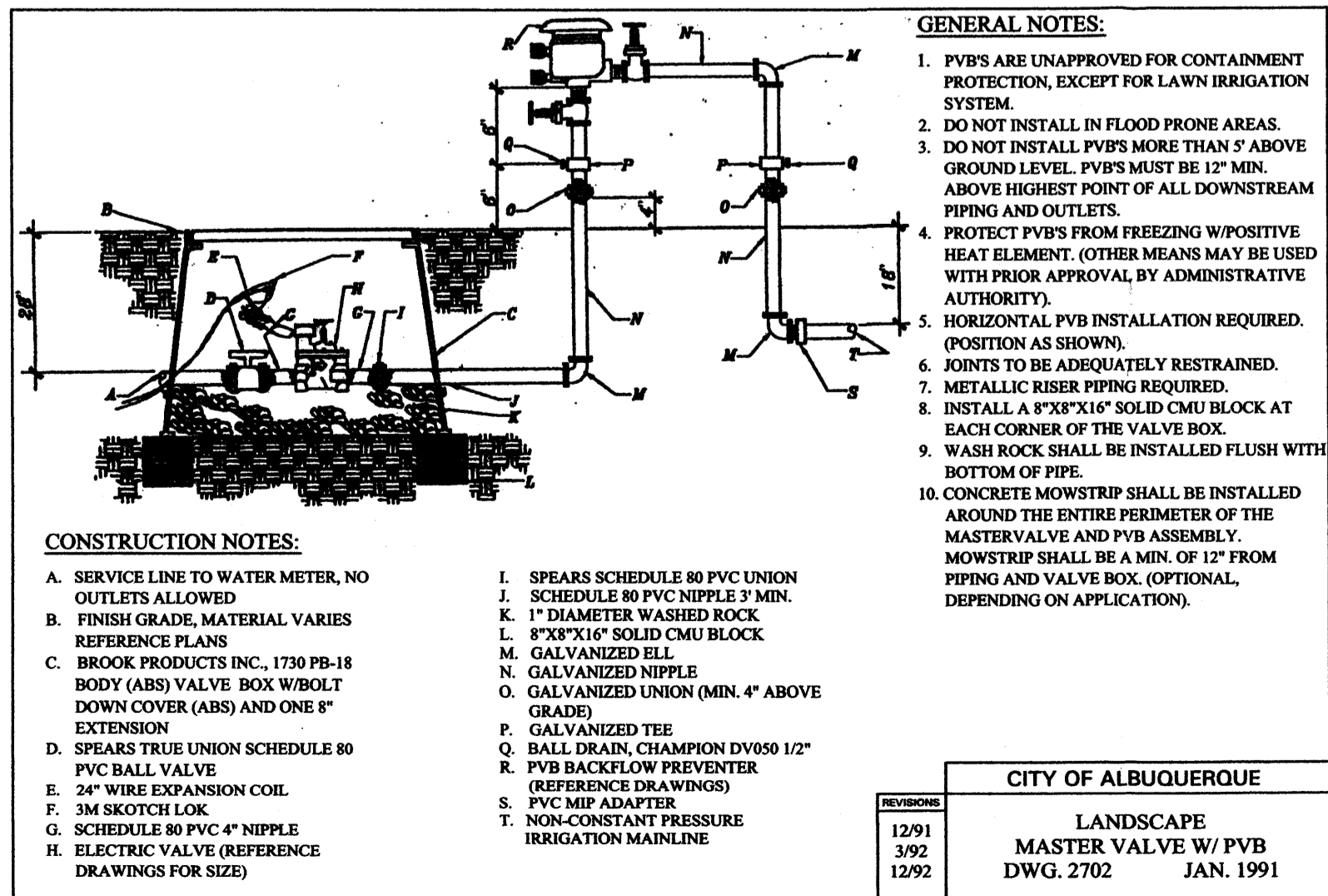
FIRM COORDINATION
COORDINATION WITH PFM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LANDSCAPE PALETTE

Qty	Tree	Installed Size	Mature Size	Water Use
5	Chitalpa tashkentensis 'Pink Dawn' Chitalpa	2" B&B	25' x 25' Low+	
7	Pistacia chinensis Chinese Pistache	2" B&B	60' x 60' Medium	
2	Pinus nigra Austrian Pine	10" B&B	35' x 25' Medium	
6	Quercus fusiformis Escarpment Live Oak	2" B&B	25' x 25' Medium	
8	Robinia x ambigua Purple Robe Locust	2" B&B	40' x 30' Medium	
11	Vitex agnus-castus Chaste Tree	15 Gal.	20' x 20' Medium	
23	Shrubs/Groundcovers Artemisia X Pavis Castle Pavis Castle Sage	1 Gal.	24" x 48" Low +	
21	Caryopteris clandonensis Blue Mist	5 Gal.	48" x 48" Medium	
24	Chrysanthemum nauseosus Chamaisa	5 Gal.	60" x 60" Low	
20	Cytisus x 'Lena' Lena's Broom	1 Gal.	36" x 42" Low +	
23	Ericameria laricifolia Dwarf Turpentine Bush	1 Gal.	36" x 48" Low +	
11	Ernstium linifolium Madflower Bowles' Mauve	5 Gal.	24" x 36" Medium	
33	Buddleia 'Lochin' Lavender Butterfly Bush	5 Gal.	48" x 36" Medium	
26	Raphiolepis indica India Hawthorn	5 Gal.	36" x 48" Medium	
23	Rhus trilobata Three-leaf Sumac	5 Gal.	24" x 60" Low+	
26	Rosmarinus officinalis Prostrate Rosemary	5 Gal.	24" x 60" Low+	
45	Muhlenbergia capillaries 'Regal Mist' Muhly Grass	5 Gal.	36" x 36" Medium	
33	Nassella tenuissima Threadgrass	1 Gal.	24" x 24" Low+	
25	Hesperaloe parviflora Red/Yellow Flowering Yucca	1 Gal.	36" x 48" Low+	
2,180 SF	Park Blend Sod (40% Tall Fescue, 40% Perennial Rye, 20% Kentucky Bluegrass Sod)			
13,984 SF	Gravel Mulch 1/8" Santa Fe Brown			
711 SF	Cobble 2-4" Santa Ana Tan			
33	Moss Rock Boulders (3' average diameter)			

CLEAR SIGHT REQUIREMENTS
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 9 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



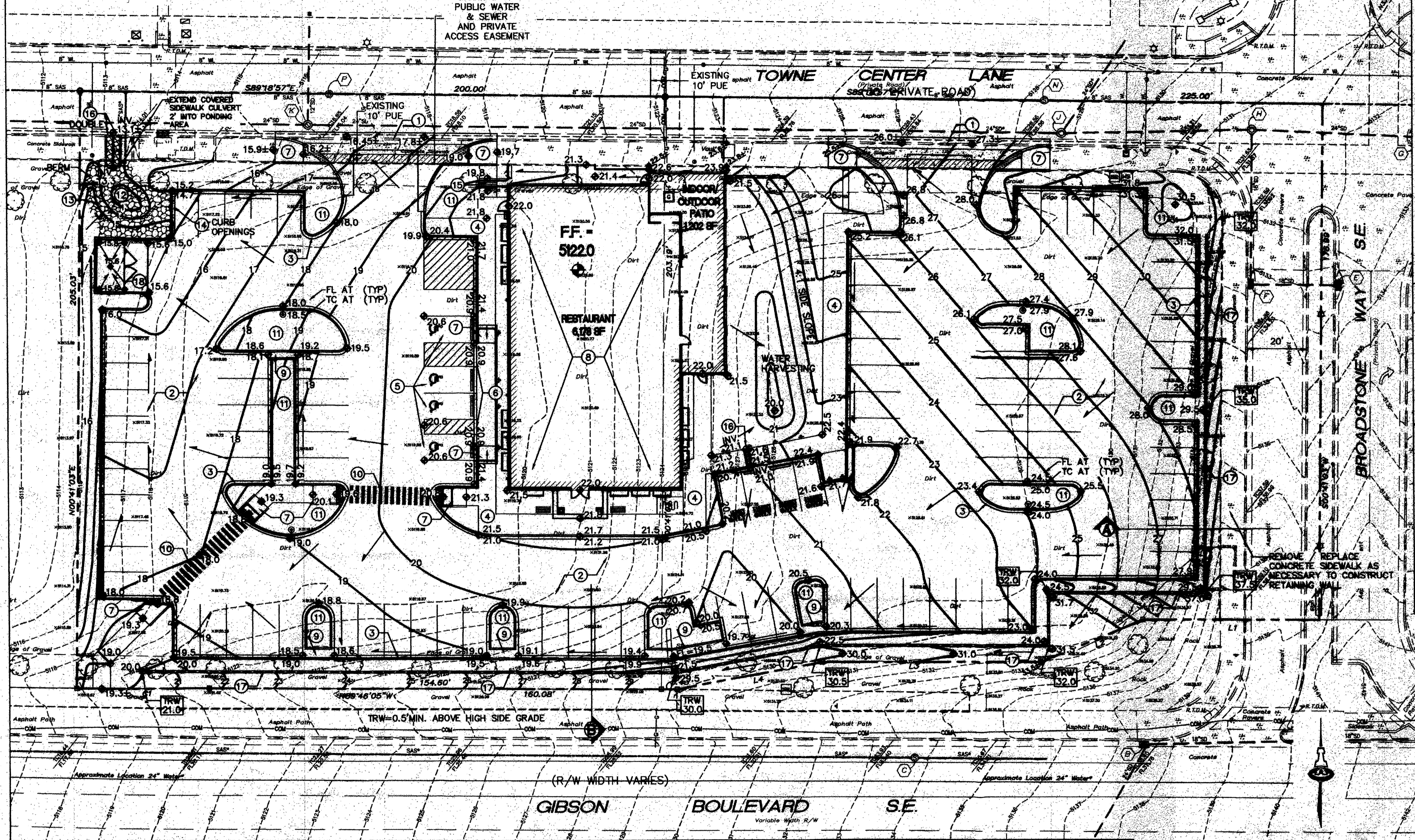
BUFFALO WILD WINGS LANDSCAPE PLAN BROADSTONE TOWNE CENTER

Prepared for:
Verdad Real Estate, Inc.
502 North Carroll Ave.
Suite 120
Southlake, Texas 76092

Prepared by:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

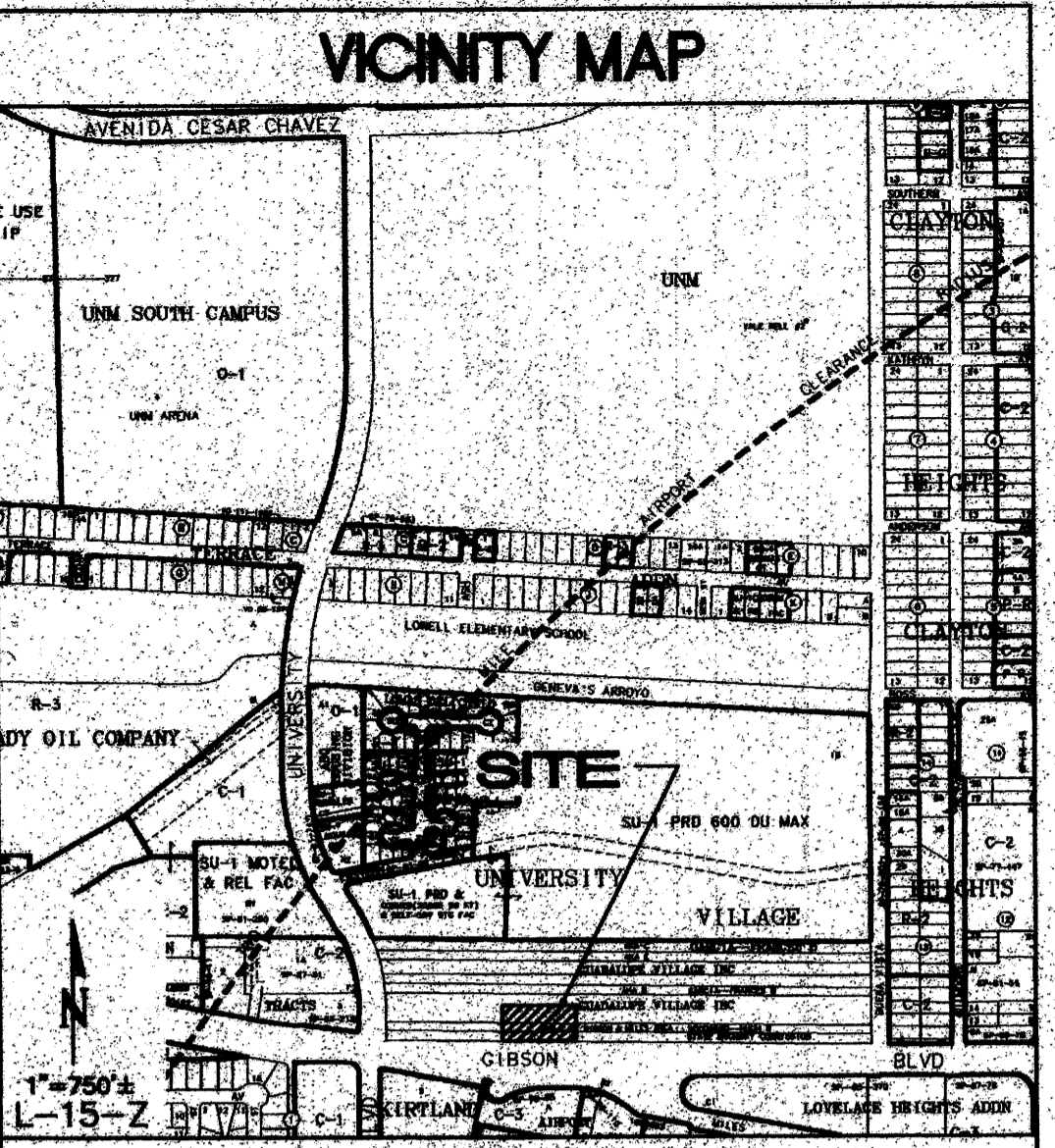
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

ORIFICE EQUATION - OVERFLOW SIDEWALK CULVERTS (TWO 2' WIDE X 8" HIGH)
 The Orifice Equation is used to calculate the Flow at the opening of a Channel
 $Q = C \cdot A \cdot \sqrt{2gh}$
 Where
 Q = cfs
 C = 0.6
 A = 1.334 sq. ft.
 h = 0.335 ft.
 (indicating that the opening will function at 60% capacity)
 depth of flow at opening from the center of culvert



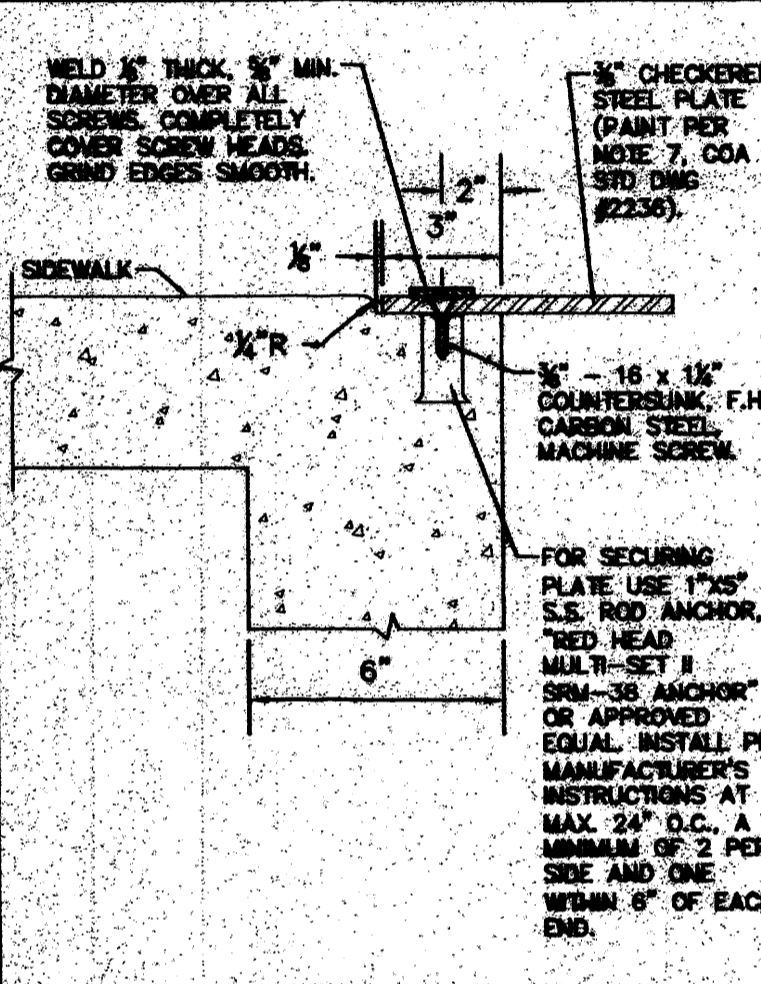
LEGEND

- +8.63 EXISTING SPOT ELEVATION
- 5110 EXISTING CONTOUR
- 54.5 PROPOSED SPOT ELEVATION
- 55 PROPOSED CONTOUR
- FL FLOW LINE
- FLOW DIRECTION ARROW
- FRAC. FACE ROCK EROSION CONTROL
- FF FINISH FLOOR ELEVATION
- RETAINING WALL
- TRW TOP OF RETAINING WALL ELEVATION
- PEDESTRIAN CROSS WALK
- 3' WIDE ADA PATH (2% CROSS SLOPE)



- KEYED NOTES**
- CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH CONCRETE VALLEY GUTTER AND HANDICAP RAMPS EACH SIDE PER C.O.A. STD. DWGS. 2526 AND 2441. SAWCUT EXISTING AS REQUIRED TO PROVIDE CLEAN BONDING EDGE. MATCH EXISTING TOP OF WALK / ASPHALT / CONCRETE CURB AND GUTTER.
 - CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PAVEMENT TYPE, EXTENTS, SECTIONS, LAYOUT, ETC. NOTE: SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
 - CONSTRUCT CURB AND GUTTER THIS AREA. SEE ARCHITECTURAL FOR SITE DETAILS.
 - CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR SITE DETAILS.
 - SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA.
 - CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION AND DETAILS.
 - ALL ROOF DISCHARGE TO BE DISCHARGED DIRECTLY ONTO SURFACE ALONG EAST, SOUTH AND WEST SIDES OF BUILDING. SEE ARCHITECTURAL AND PLUMBING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION WITHIN 5' OF BUILDING.
 - PROVIDE 24" WIDE (BOTTOM WIDTH) U' SHAPED DRAINAGE CHANNEL THROUGH PARKING ISLAND AS SHOWN TO PASS FLOW. MINIMUM SLOPE = 0.5%.
 - PEDESTRIAN ACCESS TO ADA STANDARDS. MAX. SLOPE = 5%. MAX. CROSS-SLOPE = 2%.
 - PROVIDE SHALLOW DEPRESSION (4" TO 6" DEEP) WITHIN LANDSCAPING THIS AREA TO CAPTURE STORMWATER (TYPICAL FOR ALL LANDSCAPED AREAS EXCEPT WITHIN 10' OF BUILDING).
 - CONSTRUCT WATER HARVESTING BASIN TO COLLECT SITE DISCHARGE. UTILIZE FOR LANDSCAPING AND RELEASE EXCESS TO STREET. PROVIDE EROSION PROTECTION ON ALL SLOPES AND BERMS TO MAINTAIN BASIN DEFINITION.
 - PROVIDE FRACTURED FACE ROCK EROSION PROTECTION (SEE GENERAL NOTE H.) ALL AREAS EXCEEDING 3:1 SLOPE.
 - PROVIDE 18" WIDE CURB OPENINGS (FOUR TOTAL) WITHIN CURB AS SHOWN TO PASS SITE STORMWATER.
 - CONSTRUCT STEPS TO ACHIEVE REQUIRED GRADE DIFFERENCE. SEE ARCHITECTURAL FOR DETAILS INCLUDING RAILING.
 - CONSTRUCT 2' WIDE COVERED SIDEWALK CULVERT (DOUBLE WHERE SHOWN) PER C.O.A. STD. DWG. 2236. EXTEND SIDEWALK CULVERT 2.0' INTO PONDING AREA.
 - CONSTRUCT SITE RETAINING WALL (MAX. RETAINING = 7.5') TO ACHIEVE GRADE TRANSITION SHOWN. DESIGN BY OTHERS.
 - CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. INSTALL SAS AREA DRAIN AT LOWPOINT OF DUMPSTER PAD. SEE UTILITY PLAN.

SIDEWALK CULVERT TACK WELD



- GENERAL NOTES**
- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
 - FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
 - UNLESS OTHERWISE NOTED, MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1%.
 - EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
 - THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB 3/4 ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
 - ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
 - ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS TO EXISTING SHALL BE SMOOTH.
 - ALL FRACTURED FACE ROCK EROSION PROTECTION (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.).
 - OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

PROJECT DATA

Legal: Tracts 2 and 3, Broadstone Town Center, Albuquerque, New Mexico

Zone map: L-15

Site Area: 81,474 sf (1.8704 Acres)

Flood zone: Zone X (outside 500-year flood zone) per FIRM Map #35001C0342G

Offsite flow: The property is isolated from off-site flow with the exception of a small landscape strip at the southeast end of the property. Minor flow from this area will continue to be accepted into the site to follow historic flowpath.

Existing conditions:
 The property, approximately 1.87 acres, is an undeveloped commercial property located in Albuquerque east of the intersection of Gibson Blvd. and University SE. The site is bound to the east and north by Town Center access roads, to the south by Gibson Blvd. SE and to the west by undeveloped commercial property. The property slopes to the northwest at approximately 5.8%.

Proposed conditions:
 The proposed development will route stormwater through the proposed paved parking lot to free discharge to Towne Center Lane via the northwest access drive.

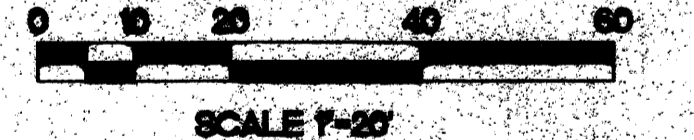
Landscaped parking islands will be depressed where possible to capture stormwater.

Existing conditions:
 Currently, undeveloped flow drains as sheetflow to the northwest and passes to Towne Center Lane. Flow is then collected within existing storm drain inlets and passed to the existing public storm drain system within Towne Center Lane.

Proposed conditions:
 The proposed improvements consist of a restaurant building and outdoor patio area with associated paved parking and landscaping. Retaining walls will be required along the east and south sides of the property to achieve parking grades.

Per the master drainage plan for the Towne Center prepared by High Mesa Consulting Group and per a pre-design meeting with Curtis Charnes dated 07-13-12 (COA Drainage File: 115/d055), Tracts 2 and 3 should drain to Towne Center Lane.

Contract No. - 140-039
 Month - 1-2012
 Station - 1.500/0.750
 Elevation - 5,154.130 feet (NAVD 1988)
 Date - 10/29/2012
 Ground to Site Feature - CLASS#71063



CALCULATIONS: BUFFALO WILD WINGS - JULY 25, 2012
 Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE		EXCESS PRECIP.	
AREA OF SITE:	SF	Precip. Zone	
100-year, 6-hour DEVELOPED FLOWS:	1,870	E _A = 0.53	
Area A	0	E _B = 0.78	
Area B	8,147	E _C = 1.13	
Area C	8,147	E _D = 2.12	
Area D	65,179		
Total Area	81,474	100%	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
 Weighted E = $E_A A_A + E_B A_B + E_C A_C + E_D A_D$
 $A_A + A_B + A_C + A_D$
 Developed E = 1.89 in.

On-Site Volume of Runoff: V₉₆₀ = $E \cdot A / 12$
 Developed V₉₆₀ = 12812 CF

On-Site Peak Discharge Rate: $Q_p = Q_{A_A} + Q_{B_B} + Q_{C_C} + Q_{D_D}$ / 43,560
 For Precipitation Zone 2
 $Q_{A_A} = 1.56$ $Q_{C_C} = 3.14$
 $Q_{B_B} = 2.28$ $Q_{D_D} = 4.70$
 Developed $Q_p = 8.0$ CFS

ISAACSON & ARMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isaacson.com
 1837 CO-101.040 Oct. 28, 2012

BUFFALO WILD WINGS BROADSTONE TOWN CENTER

GRADING AND DRAINAGE PLAN

Date:	10/29/12	Job No.:	1937
Drawn By:	BJB	CG-101	
Check By:	FCA	SHEET 4	

GENERAL NOTES

- A. PUBLIC WATER LINE AND SANITARY SEWER EXISTING WITHIN A FORTY (40) FOOT WIDE PUBLIC WATER AND SANITARY SEWER EASEMENT WITH THE ADJACENT PRIVATE ROADWAY TO THE NORTH, TOWNE CENTER LANE, WERE BUILT PER THE BROADSTONE TOWNE CENTER PUBLIC INFRASTRUCTURE IMPROVEMENT PLANS (CPN 584684)
- B. FIRE LINE EXTENSION AND SANITARY SEWER LINE CONNECTION WILL UTILIZE EXISTING STUBS FOR TRACT 3.
- C. THE EXISTING 1" WATER SERVICE LINE IS UNDERSIZED TO HANDLE THE DOMESTIC WATER SUPPLY DEMAND FOR THE BUILDING. A NEW 2" WATER SERVICE LINE, METER BOX AND METER SETTING WILL BE INSTALLED.
- D. GAS AND ELECTRIC SERVICE CONNECTIONS ARE AVAILABLE AND WILL BE COORDINATED WITH THE UTILITY COMPANIES.

KEYED NOTES

- 1. EXISTING PUBLIC 8" WL (FIRE PROTECTION LINE).
- 2. 8" PUBLIC GATE VALVE.
- 3. EXISTING 1" WATER SERVICE & METER BOX W/ METER SETTING (NO METER) FOR SITE IRRIGATION.
- 4. EXISTING FIRE HYDRANT ON 6" WL.
- 5. PRIVATE POST INDICATOR VALVE & ELECTRICAL CONNECTION TO FIRE ALARM PANEL.
- 6. REMOVE & REPLACE ASPHALT PAVING (11 SY) & 6" PCC CURB & GUTTER.
- 7. NEW 2" WATER SERVICE LINE PER COA STD.
- 8. 2" REDUCED PRESSURE ZONE ASSEMBLY (FEBCO SERIES 825Y) AND HOT BOX ENCLOSURE (HBI). 2" WATER SERVICE LINE TO BUILDING W/ ALL FITTING. (CONNECT PER MECH PLAN)
- 9. EXISTING 6" SANITARY SEWER SERVICE INV. AT EASEMENT LINE = 5105.2
- 10. REMOVE & REPLACE 4 SY PCC SIDEWALK.
- 11. DOUBLE 4" CLEAN OUT RISER ON 6" SAS SERVICE LINE.
- 12. GREASE TRAP (SEE MECH. PLANS). 1500 GAL. MIN.
- 13. SAMPLE WELL FLUSH WITH GUTTER / PAVING. (SEE MECH. PLANS).
- 14. 6" SANITARY SEWER SERVICE LINE FROM GREASE TRAP.
- 15. 4" SANITARY SEWER LINE, 6"x4" WYE CONNECTION.
- 16. 3" LOCAL VENT.
- 17. NEW FIRE HYDRANT ON EXISTING 8" WATERLINE STUB.
- 18. 4" REFUSE ENCLOSURE SANITARY SEWER LINE WITH IN-LINE SAND FILTER.

LEGEND

- WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- WATER LINE W/ FITTING
- SAS SERVICE LINE

ISAACSON & ARFMAN, P.A.

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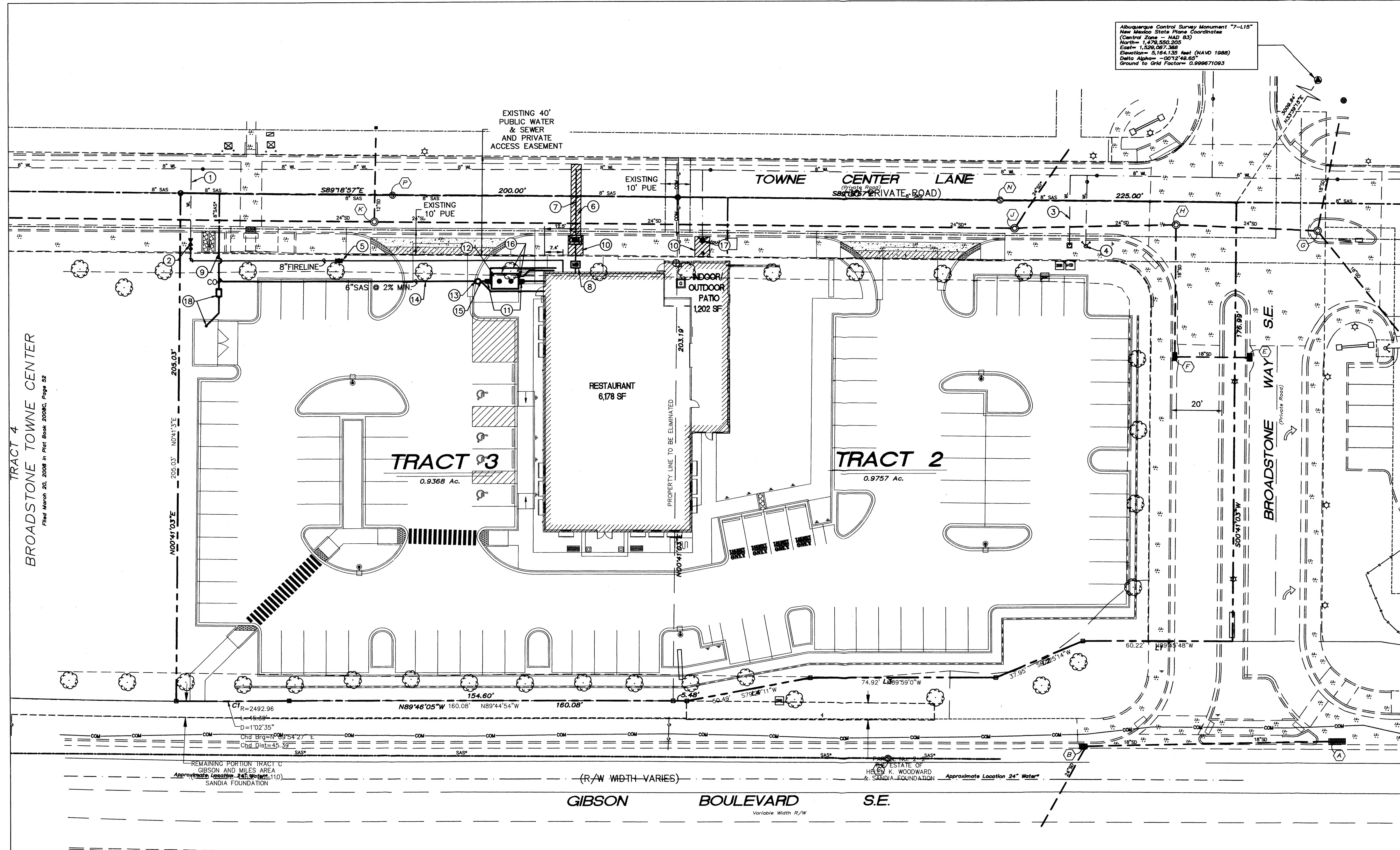
1937 CU-101.dwg Oct 22,2012

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**BUFFALO WILD WINGS
BROADSTONE TOWNE CENTER**

CONCEPTUAL UTILITY PLAN

Date:	No. Revisions:	Date:	Job No.
10/05/12			1937
Drawn By:			CU-101
JTS			
Chd By:			SHEET 5
FCA			

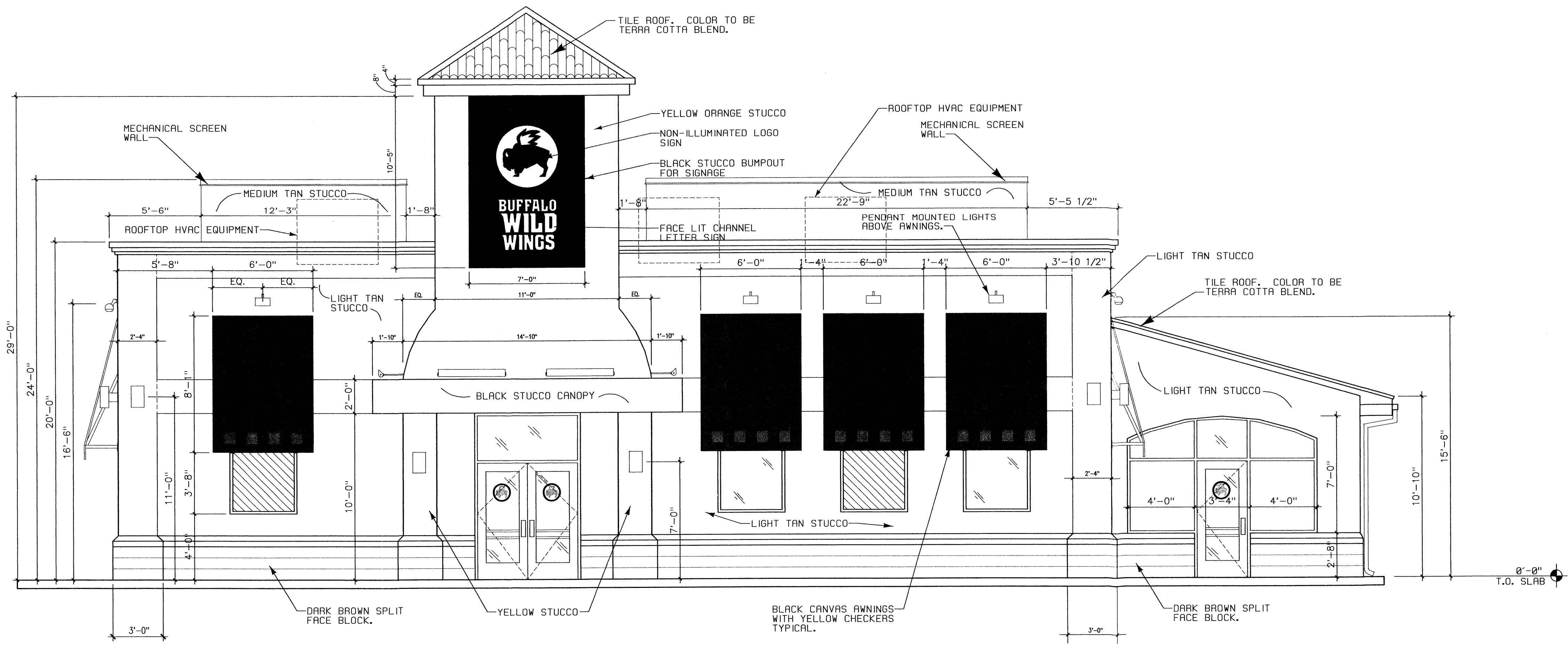


Albuquerque Control Survey Monument "7-L15"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
Northing = 1,478,552.205
Easting = 1,529,087.369
Datum = 5,164,135 feet (NAVD 1988)
Delta Alpha = -0012'49.65"
Ground to Grid Factor = 0.999671093

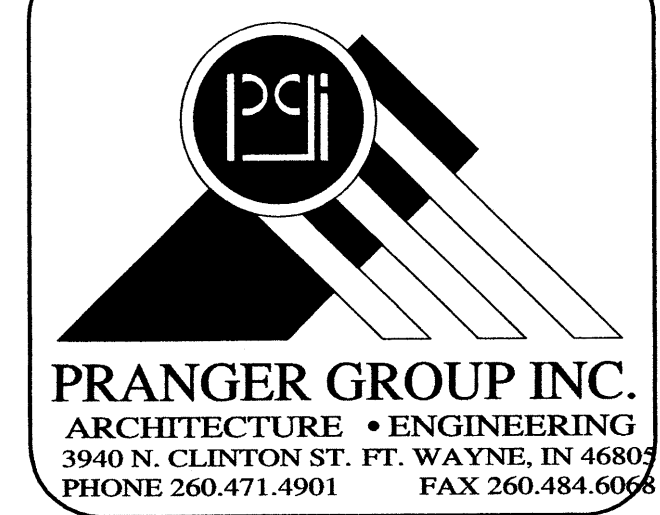
TRACT 4
BROADSTONE TOWNE CENTER
Filed March 20, 2008 in Plat Book 2008C, Page 52

REMAINING PORTION TRACT C
GIBSON AND MILES AREA
Approximate Location 24" Water
SANDIA FOUNDATION

(R/W WIDTH VARIES)
HELEN K. WOODWARD
& SANDIA FOUNDATION
Approximate Location 24" Water



BUILDING SIGN AREA SUMMARY	
SOUTH ELEVATION:	
7'-0" X 10'-5" BUFFALO WILD WINGS LOGO/LETTER SIGN	= 73 SF
ALLOWABLE	= 79.7 SF
6% OF FACADE AREA (1,329 SF)	= 79.7 SF
EAST ELEVATION:	
1'-10" X 23'-2" BUFFALO WILD WINGS CHANNEL LETTER SIGN	= 42.5 SF
ALLOWABLE	= 125.5 SF
6% OF FACADE AREA (2,092 SF)	= 125.5 SF



CERTIFICATION:

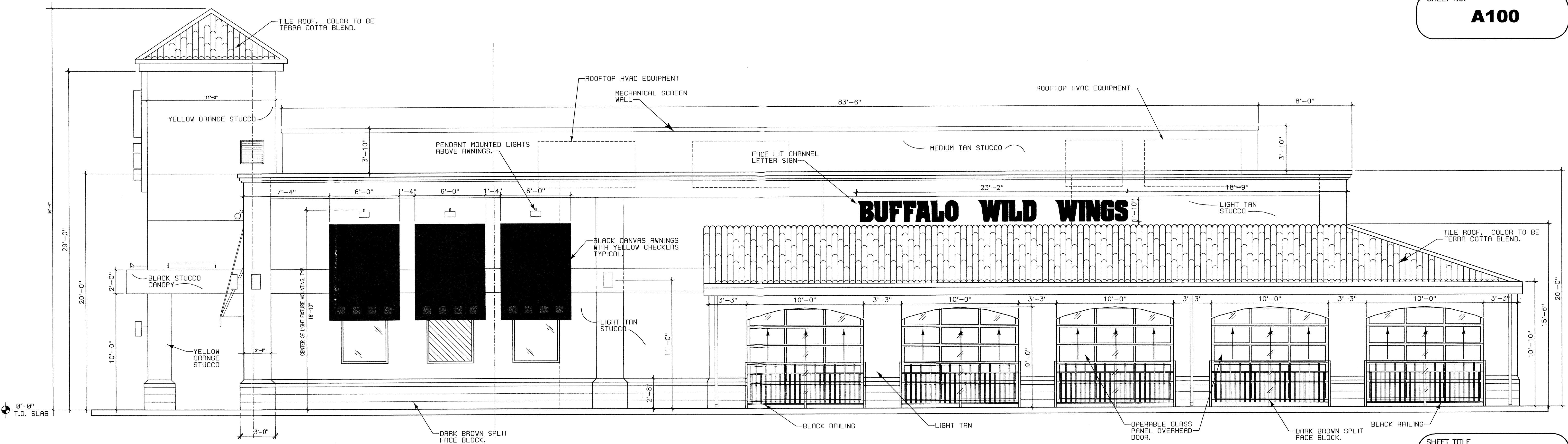
A New Facility For:

 BUFFALO WILD WINGS
 Franchisee:
 BRIAN PADILLA
 BROADSTONE TOWNE CENTER
 ALBUQUERQUE, NEW MEXICO

DATE: **7-20-2012** PROJECT NO.: **5313**

SHEET NO.: **A100**

4D SOUTH ELEVATION
 SCALE 1/4" = 1'-0"
 GRAPHIC SCALE



3D EAST ELEVATION
 SCALE 1/4" = 1'-0"
 GRAPHIC SCALE

SHEET TITLE
Exterior Elevation and Details

CERTIFICATION:

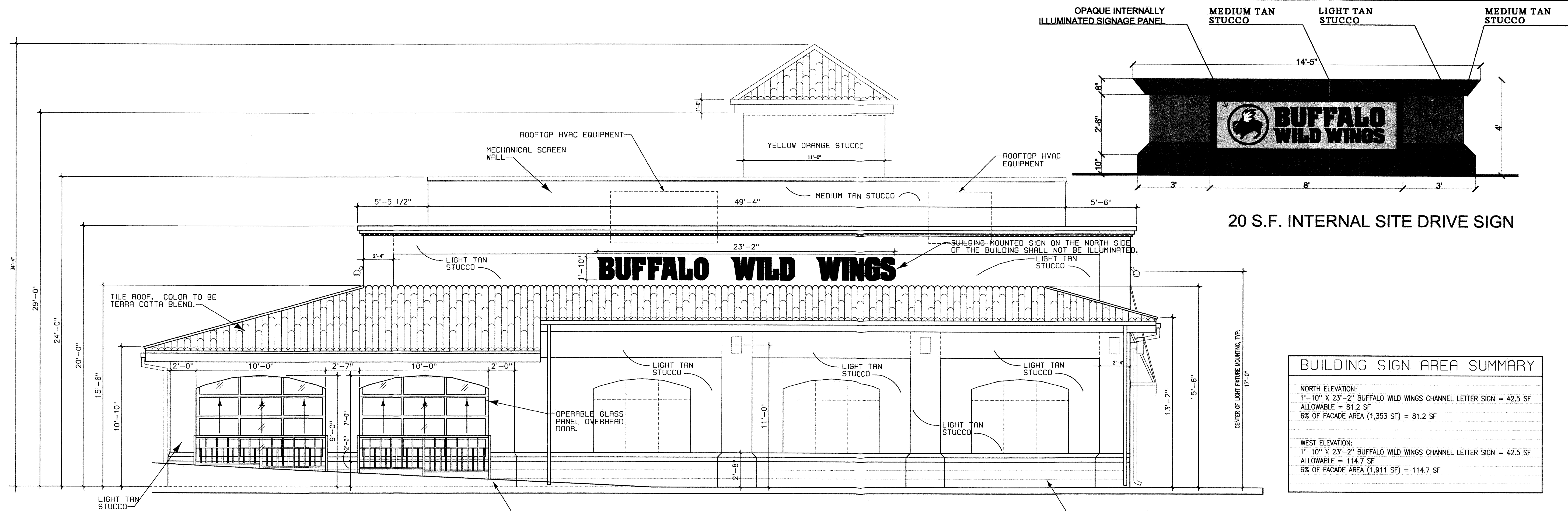
A New Facility For:



BUFFALO WILD WINGS
 Franchisee:
 BRIAN PADILLA
 BROADSTONE TOWNE CENTER
 ALBUQUERQUE, NEW MEXICO

DATE: **7-20-2012** PROJECT NO.: **5313**

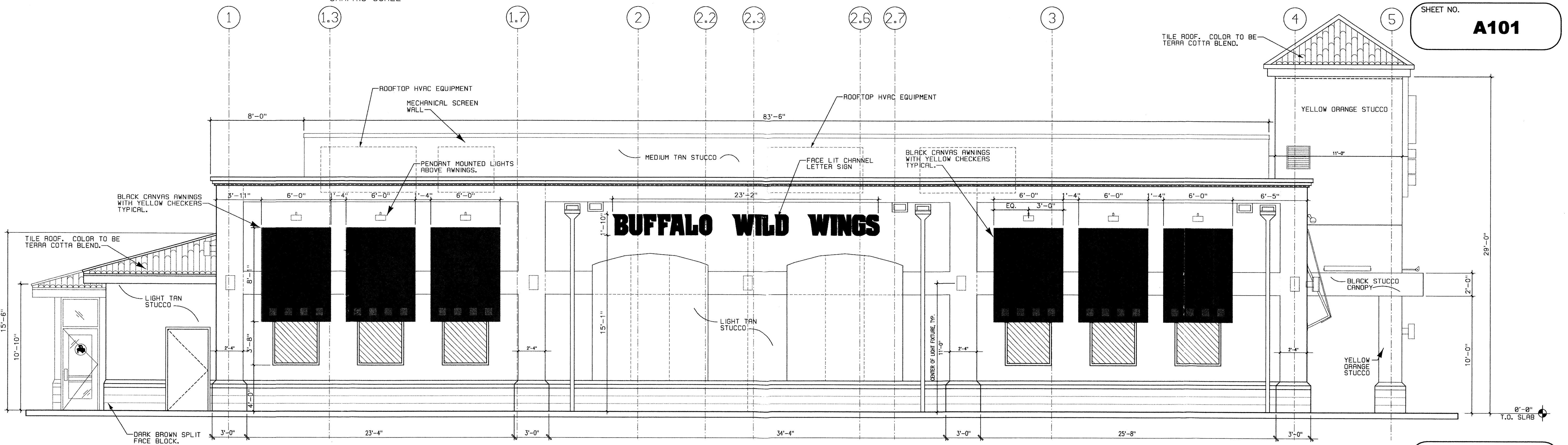
SHEET NO. **A101**



BUILDING SIGN AREA SUMMARY

NORTH ELEVATION:	
1'-10" X 23'-2" BUFFALO WILD WINGS CHANNEL LETTER SIGN =	42.5 SF
ALLOWABLE =	81.2 SF
6% OF FACADE AREA (1,353 SF) =	81.2 SF
WEST ELEVATION:	
1'-10" X 23'-2" BUFFALO WILD WINGS CHANNEL LETTER SIGN =	42.5 SF
ALLOWABLE =	114.7 SF
6% OF FACADE AREA (1,911 SF) =	114.7 SF

4D NORTH ELEVATION
 A101 SCALE 1/4" = 1'-0"
 GRAPHIC SCALE



3D WEST ELEVATION
 A101 SCALE 1/4" = 1'-0"
 GRAPHIC SCALE

SHEET TITLE
Exterior Elevation and Details