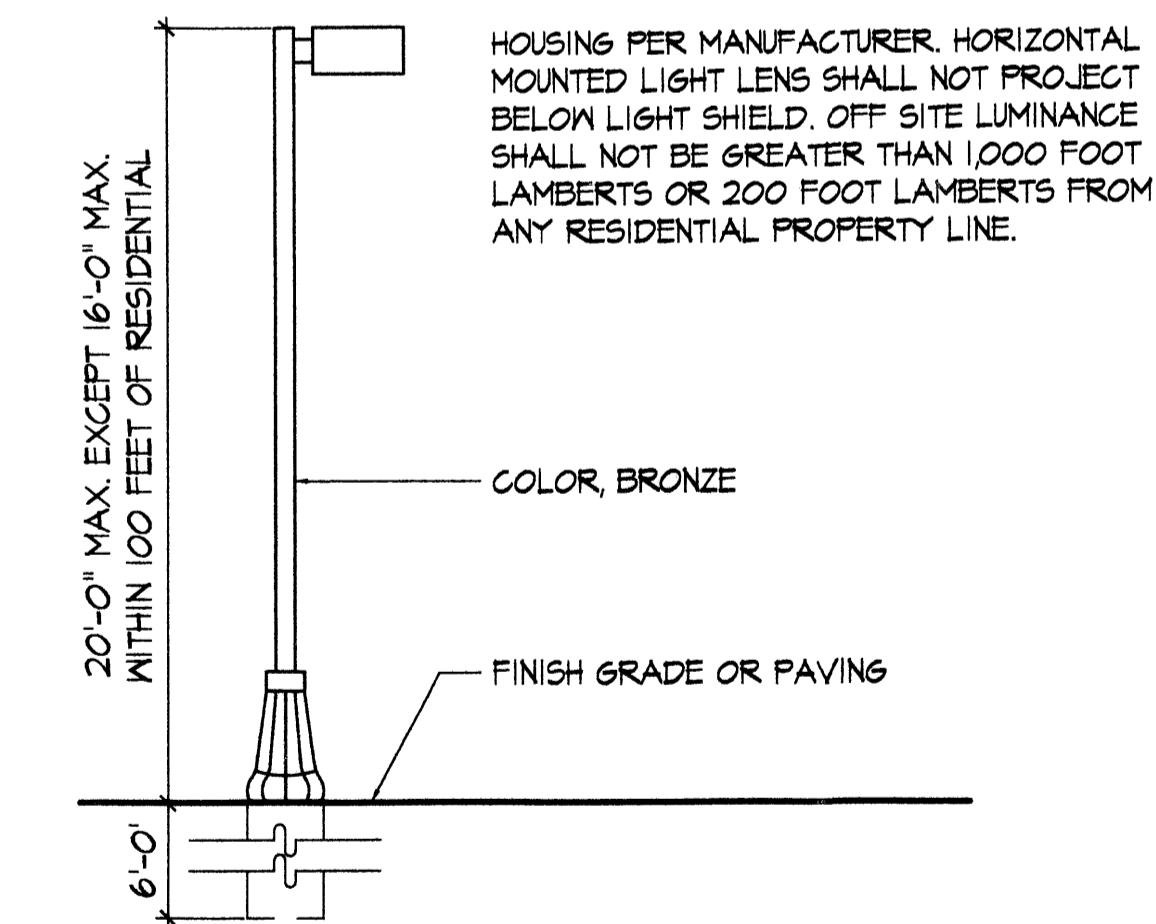


**GENERAL NOTES:**

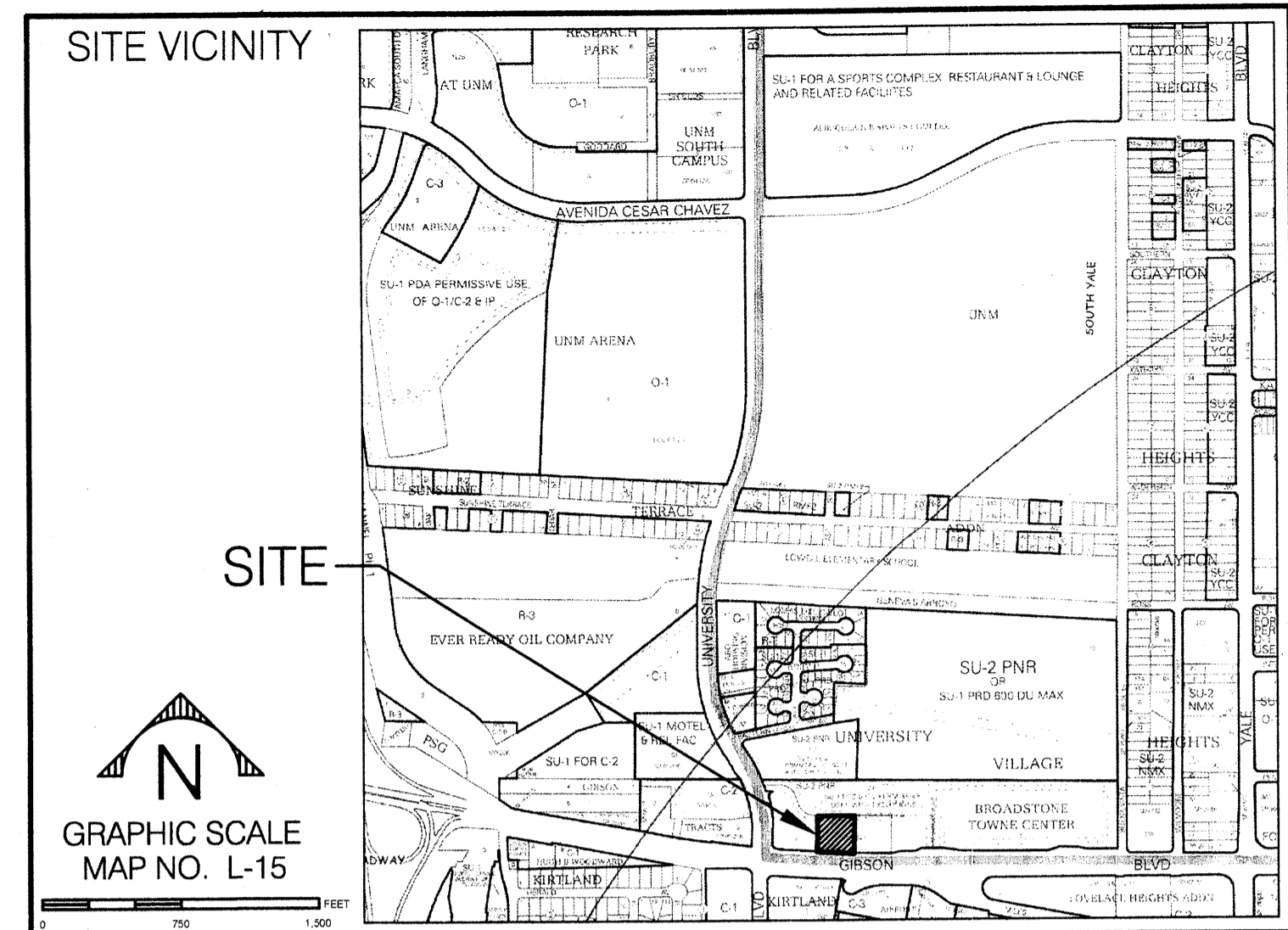
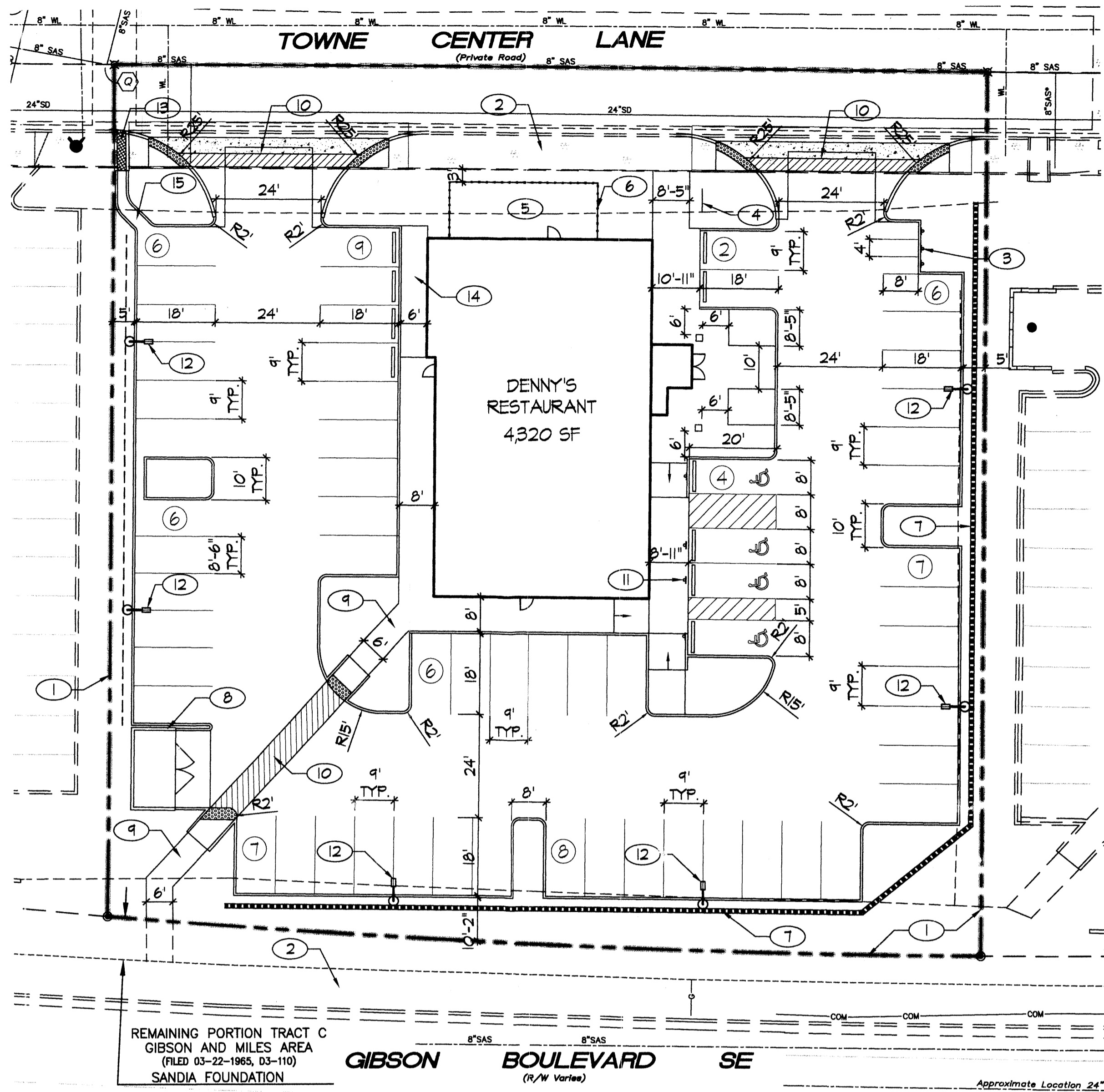
1. THE PROPOSED PROJECT SHALL BE CONSISTENT WITH THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION (PROJECT 1005243, 06EPC-01542, 07DRB-10916).
2. SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR THIS SITE. ONE MONUMENT SIGN IS PROPOSED AT THE EAST ENTRY TO THE PROPERTY AND IS LIMITED TO 20 S.F. SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
3. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
4. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
5. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
6. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
7. FNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO FNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
8. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
9. THE SIDEWALK CONNECTION TO GIBSON IS DEPENDENT ON SECURING AN EASEMENT FROM THE PROPERTY OWNER OF TRACT C. IF AN EASEMENT CANNOT BE OBTAINED, THIS SIDEWALK, IN ITS ENTIRETY, SHALL BE REMOVED.

**KEY NOTES**

- 1 PROPERTY LINE.
- 2 EXISTING 8' SIDEWALK.
- 3 MOTORCYCLE SIGN.
- 4 BICYCLE RACK (3 SPACES).
- 5 OUTDOOR PATIO, 442 SF SEATING FOR RESTAURANT PATRONS.
- 6 TUBULAR STEEL FENCE WITH STUCCOED CMU FILASTERS.
- 7 RETAINING WALL. SEE GRADING/DRAINAGE SHEET.
- 8 TRASH ENCLOSURE WITH ~~SCREEN~~.
- 9 6' ADA ACCESSIBLE SIDEWALK. (SEE GENERAL NOTE #4).
- 10 6' COLORED, TEXTURED PEDESTRIAN CROSSING, TYP.
- 11 HANDICAP SIGN, TYP. (12"X18" MOUNTED ON POLE)
- 12 LIGHT FIXTURE.
- 13 SIDEWALK DRAINAGE CULVERT.
- 14 6' CONCRETE SIDEWALK (NON-ADA).
- 15 DRAINAGE CULVERT.



PARKING LOT LIGHT FIXTURE DETAIL Not to Scale



**SITE DATA:**  
**LEGAL DESCRIPTION:** TRACT 4, PLAT OF BROADSTONE TOWNE CENTER  
**SITE AREA:** .93 ACRES.  
**EXISTING ZONING:** SU-1 FOR C-2 PERMISSIVE USES WITH EXCLUSIONS  
**LAND USE:** 1-STORY SIT DOWN RESTAURANT  
**BUILDING AREA:** 4,320 S.F.  
**PARKING:** MINIMUM PARKING: 15 PER 1000 S.F. = 65  
 TOTAL PROVIDED PARKING: 61  
 HANDICAPPED REQUIRED: 4  
 HANDICAPPED PROVIDED: 4  
 MOTORCYCLE REQUIRED: 3  
 MOTORCYCLE PROVIDED: 3  
 BICYCLE REQUIRED: 3  
 BICYCLE PROVIDED: 3

PROJECT NUMBER: 1005243  
 Application Number: 13EPC-40145

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 14, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

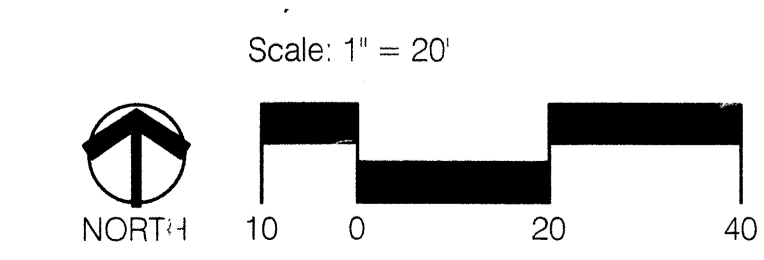
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i> Traffic Engineering, Transportation Division	12-18-13 Date
<i>[Signature]</i> ABCWUA	12-18-13 Date
<i>[Signature]</i> Parks and Recreation Department	12-18-13 Date
<i>[Signature]</i> City Engineer	12-18-13 Date
<i>[Signature]</i> Solid Waste Management	11-27-2013 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	12-18-13 Date

# DENNY'S @ BROADSTONE TOWNE CENTER

## SITE FOR BUILDING PERMIT

Prepared for: Coast/SVN Commercial Real Estate Services 2829 Rucker Avenue, Suite 100 Everett, WA 98201	Prepared by: Consensus Planning, Inc. 302 Eighth Street NW Albuquerque, NM 87102
	Isaacson & Arfman, P.A. 128 Monroe St, NE Albuquerque, NM 87108



November 26, 2013

1005243

*R.C. Sand* 11-27-2013

**GENERAL NOTES:**

1. A Site Development Plan for the residential areas has been submitted in conjunction with this Site Plan for Subdivision. Subsequent Site Plans for Building Permit shall be submitted to the Environmental Planning Commission for the commercial pad sites.
2. Minor amendments to this Site Development Plan shall be approved administratively by the Planning Director, in compliance with the City Comprehensive Zoning Code, Section 14-16-2-22 (A)(6) SU-1 Special Use Zone.
3. The 4.3 acres of the development are allocated for commercial development. Four commercial parcels are proposed. The users envisioned for the parcels would include sit down restaurants, service retail, financial facility and drive-up fast food. These users will support the adjacent residential hotel and athletic facilities.
4. This site has been restricted to a maximum of two drive-throughs, with no more than one being a drive-through restaurant. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard.

5. Zoning for the commercial area is SU-1 for C-2 Permissive Uses with restrictions. The following land uses from the C-2 Permissive Uses as contained in the Comprehensive City Zoning Code, Section 14-16-2-17, have been determined to be incompatible with the vision for this project and shall not be allowed:
  - Freestanding Cell Towers or Antennas
  - Vehicle Sales, Rental Service, Repair, Storage
  - Package Alcohol Sales for Off Premise Consumption
  - Gasoline, Oil, & Liquefied Petroleum Gas Retailing
  - Off Premise Signs including Billboards
  - Drive-In Restaurant
  - School
  - Parking Lot
  - Storage Structure
  - Storage Yard
  - Uses/Activities in a Tent
  - Circus or Carnival
6. This site is within a proposed Metropolitan Redevelopment Area.
7. Cross access easement is required to be part of the subdivision plat.
8. Approval of Gibson Blvd. access by the TCC was made on September 14, 2007.

**EASEMENTS**

- ① City of Albuquerque Public Waterline and Sewer Easements
- ② Private Access Easement and Private Drainage Easement
- ③ Public Roadway and Sidewalk Easement
- ④ City of Albuquerque Public Waterline Easement
- ⑤ 10' Qwest Corporation Easement
- ⑥ 10' Public Utility Easement

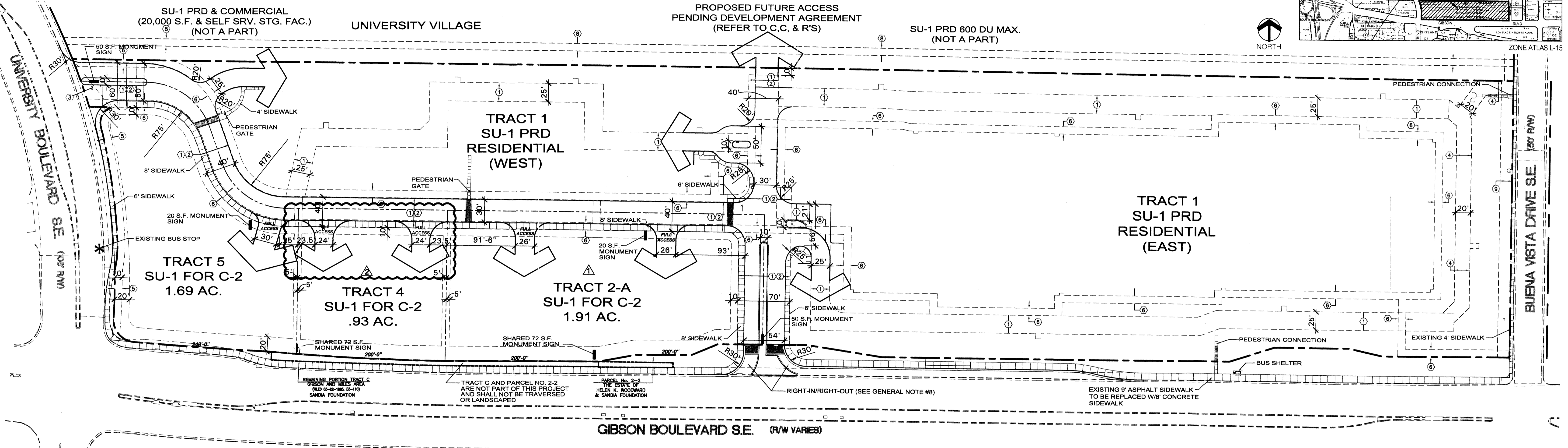
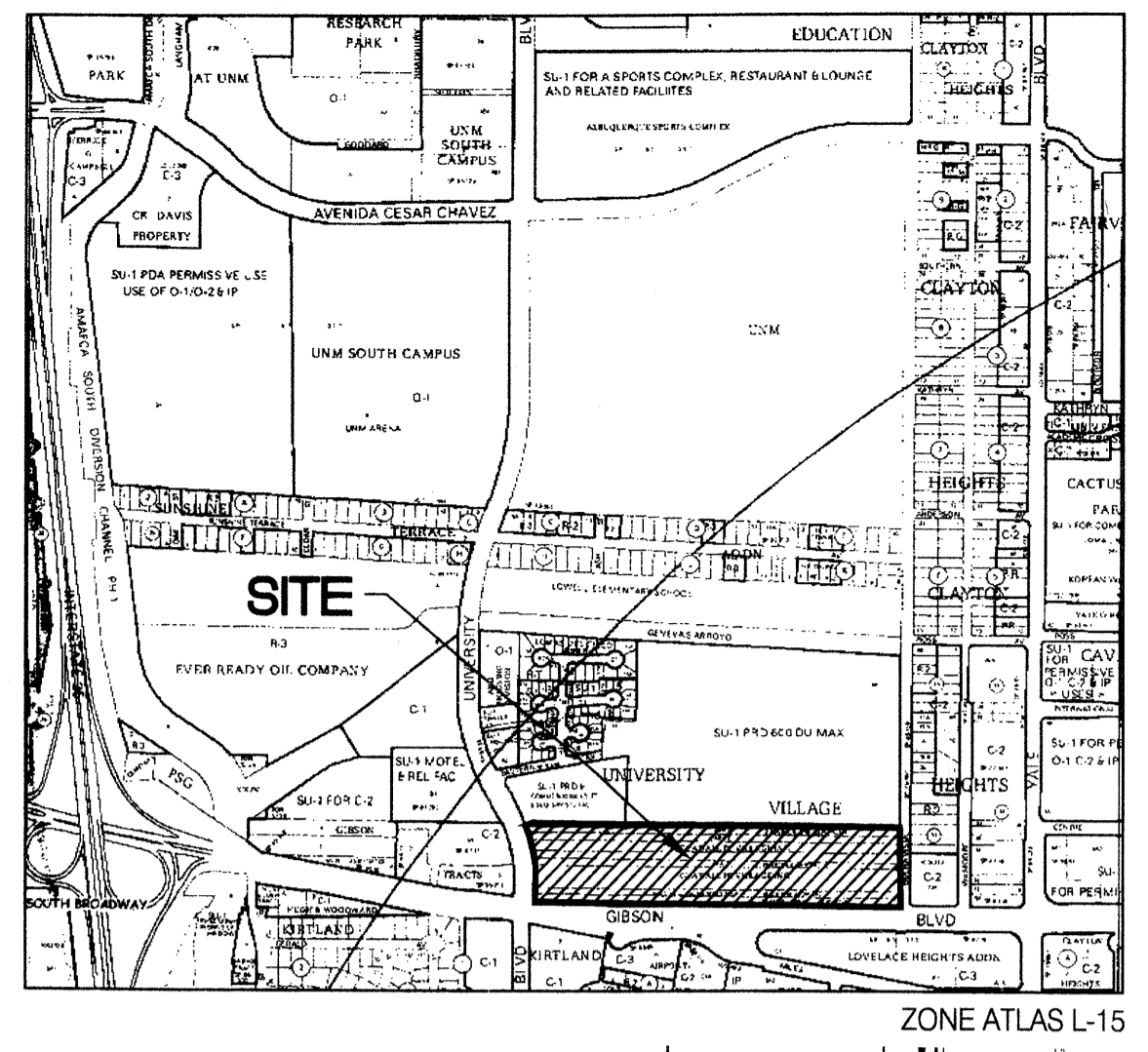
- ⑦ ⑧ Offsite Easements
- ⑨ Public Service Company Easement

Easement beneficiaries and maintenance / operations responsibilities shall be determined by the forthcoming platting action.

**SITE LEGEND**

- - - - - Proposed Property Line
- Proposed Curb
- ↕ Vehicle Ingress/Egress

**SITE VICINITY**



**SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION**

**The Site:** Tracts 1 through 5 of the Broadstone Towne Center Subdivision located on the northeast corner of University and Gibson Boulevards. The site consists of approximately 16.76 acres.

**Land Use:** SU-1 PRD is on 12.2 acres - 240 total multi-family residential units organized in two areas. The western portion of the residential development contains 60 units arranged in 8 free-standing buildings. The eastern portion of the residential development contains 180 units in 16 free-standing buildings.

The gross density of the residential portion of the development is 19.76 du/acre. Both residential areas are gated and will have common use of a pool, a clubhouse, an exercise facility, and common areas.

SU-1 for C-2 Permissive Uses with exclusions is on the remaining 4.54 acres of the site adjacent to Gibson Boulevard. The commercial portion of the development will contain four commercial pad sites.

**Pedestrian and Vehicular Ingress and Egress: Vehicular Access**

Vehicular access to the site will be from the south side of the property from Gibson Boulevard, designated a limited access roadway, and from the west side of the property from University Boulevard, designated a minor arterial. The Gibson access point will be a right-in, right-out turn movement only. The University access point will be right-in/ right-out.

**Pedestrian Access/Circulation:**

Six foot public sidewalks on both University and Gibson will provide pedestrian connectivity to the site. A 8 foot sidewalk is provided along the private access road and pedestrian connections are provided to Buena Vista, Gibson (in the vicinity of the future bus stop) and between the residential and commercial areas.

**Transit Access:**

The City Transit Department's 16/18 bus route provides service along Gibson and University Boulevards. There is a bus stop located along University Boulevard and a future bus stop will be located along Gibson Boulevard

**Internal Circulation:**

Primary access at University and Gibson Boulevards are indicated on the site plan. Conceptual locations, widths, and configurations for the access points at the commercial pad sites have been identified and will be indicated on future Site Plans for Building Permit submitted to the City Engineer. Internal sidewalks are provided throughout the site and between all buildings and parking areas as shown on the site plan.

**Building Heights and Setbacks:**

Maximum building height is 40 feet. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.

**Setbacks:**

- Gibson and University-20 foot minimum
- Internal roads- 10 foot maximum; 0 foot minimum
- Internal side yards- 5 feet

**Maximum FAR:**

Per the South Yale Interim Development Area Design Standards, the minimum Floor Area Ratio (FAR) for the entire 16.76 acre property shall be .5 and the maximum FAR shall be 2.0. The minimum gross density for Tract 1 shall be between 10 du/ac and 30 du/ac.

PROJECT NUMBER: 1005243  
Application Number: 13EPC-40051

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated September 13, 2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>Allen Peter</i>	12-12-12
Traffic Engineering, Transportation Division	Date
<i>Carol S. Dumont</i>	11-28-12
Parks and Recreation Department	Date
<i>Ante C. Chua</i>	11-28-12
City Engineer	Date
<i>Paul Chua</i>	12-13-12
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**Landscape Plan:**

The Landscape Plan (See sheet 2) provides landscaping along the public rights-of-way and along the internal drives. Design Standards (See sheet 3) provides the parameters for landscape within the commercial area.

PROJECT NUMBER: 1005243  
Application Number: 13EPC-40146

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 13, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>Allen Peter</i>	12-18-13
Traffic Engineering, Transportation Division	Date
<i>Carol S. Dumont</i>	12-18-13
Parks and Recreation Department	Date
<i>Ante C. Chua</i>	12-18-13
City Engineer	Date
<i>Paul Chua</i>	12-18-13
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

- △ Amendment to consolidate former Tracts 2 and 3 into Tract 2-A and relocate entry access points.
- △ Amendment to allow an additional entry access point to Tract 4 from Towne Center Lane and to allow for an adjustment on the location of both entry access points to Tract 4.

**SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER**

Prepared for: Alliance Residential  
2415 E. Camelback, Suite 600  
Phoenix, AZ 85016

Prepared by: Consensus Planning, Inc.  
George Rainhart & Associates  
ORB Architecture, LLC  
High Mesa Consulting Group

Scale 1" = 60'

October 3, 2007

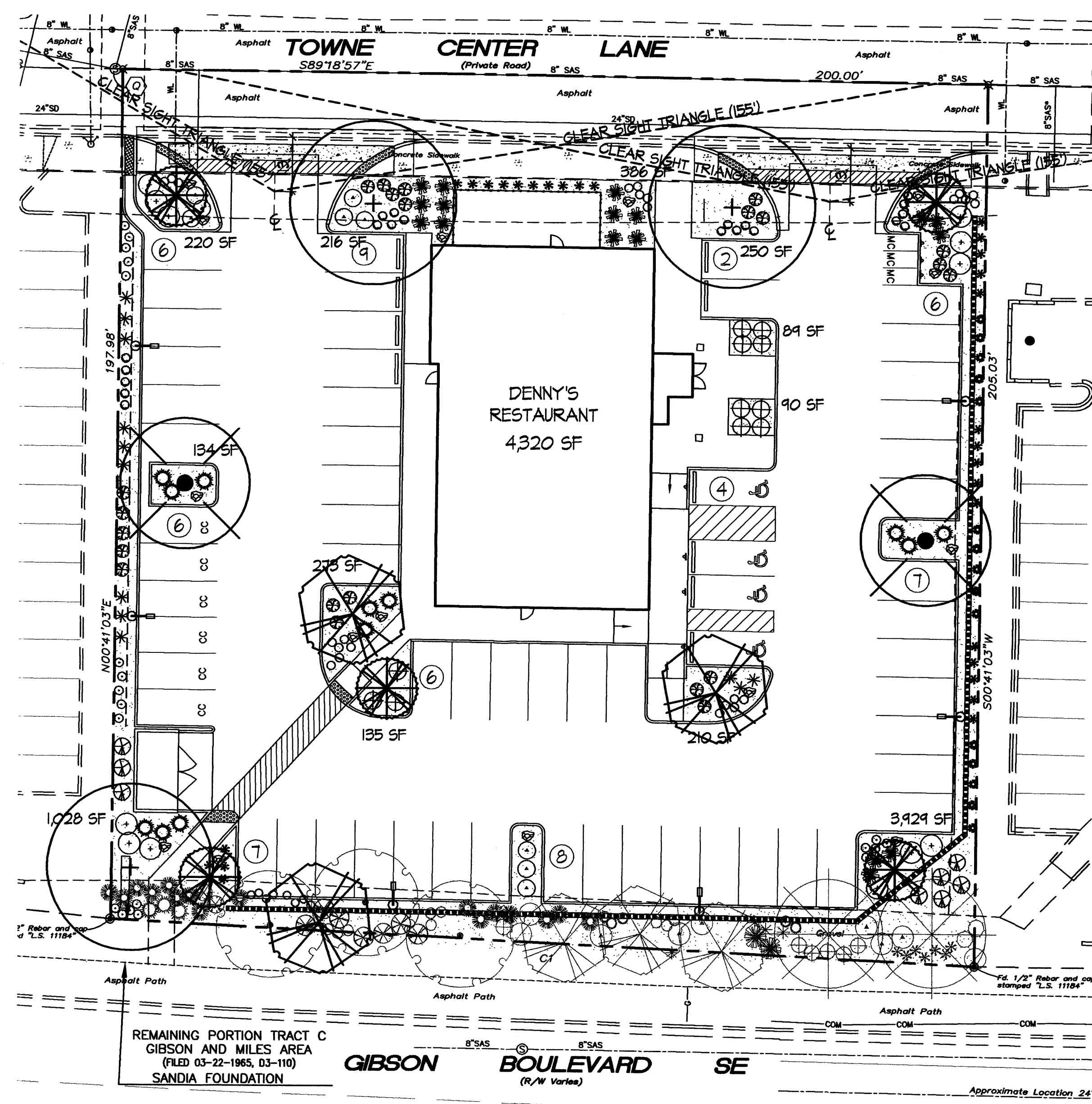
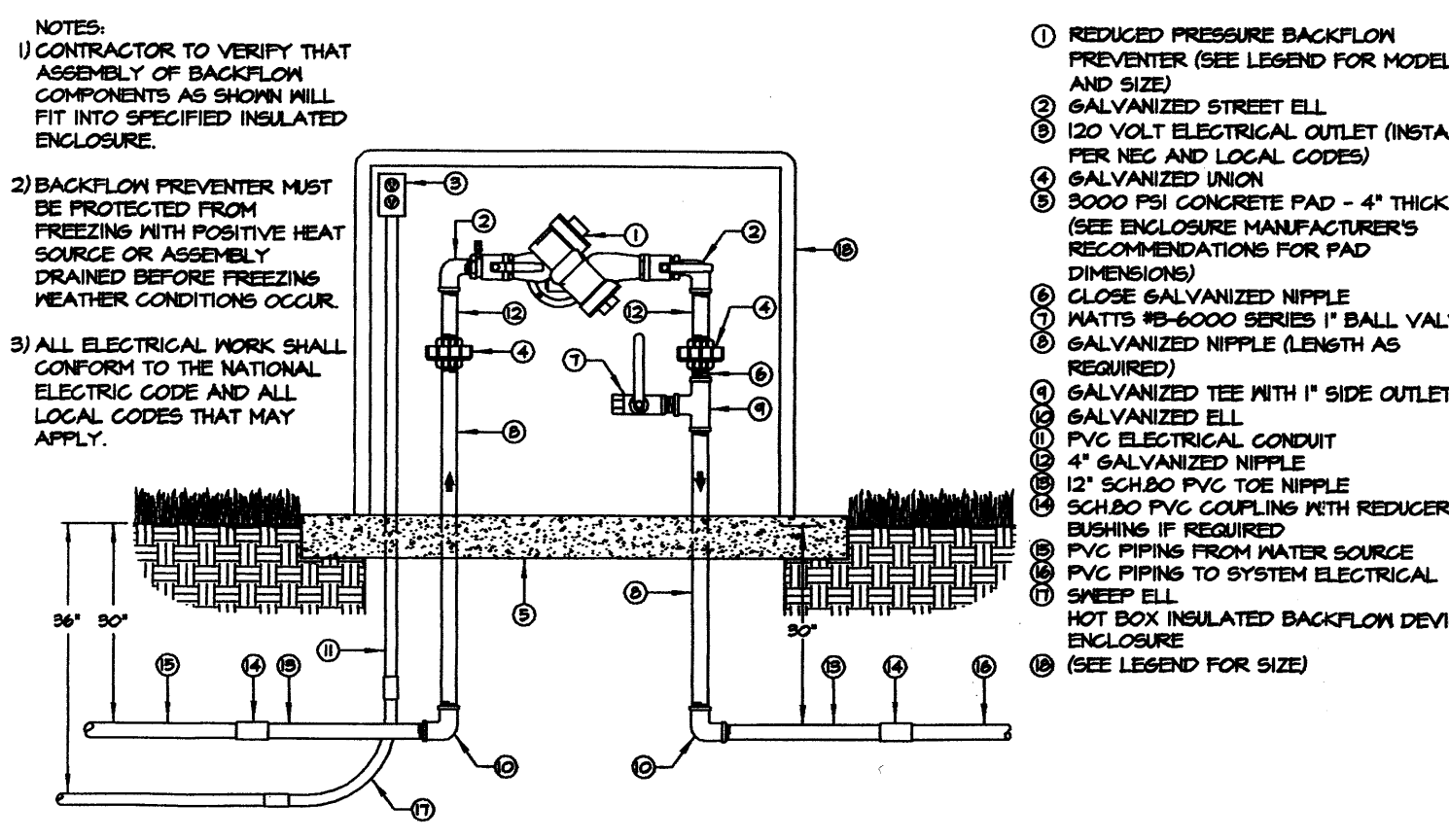
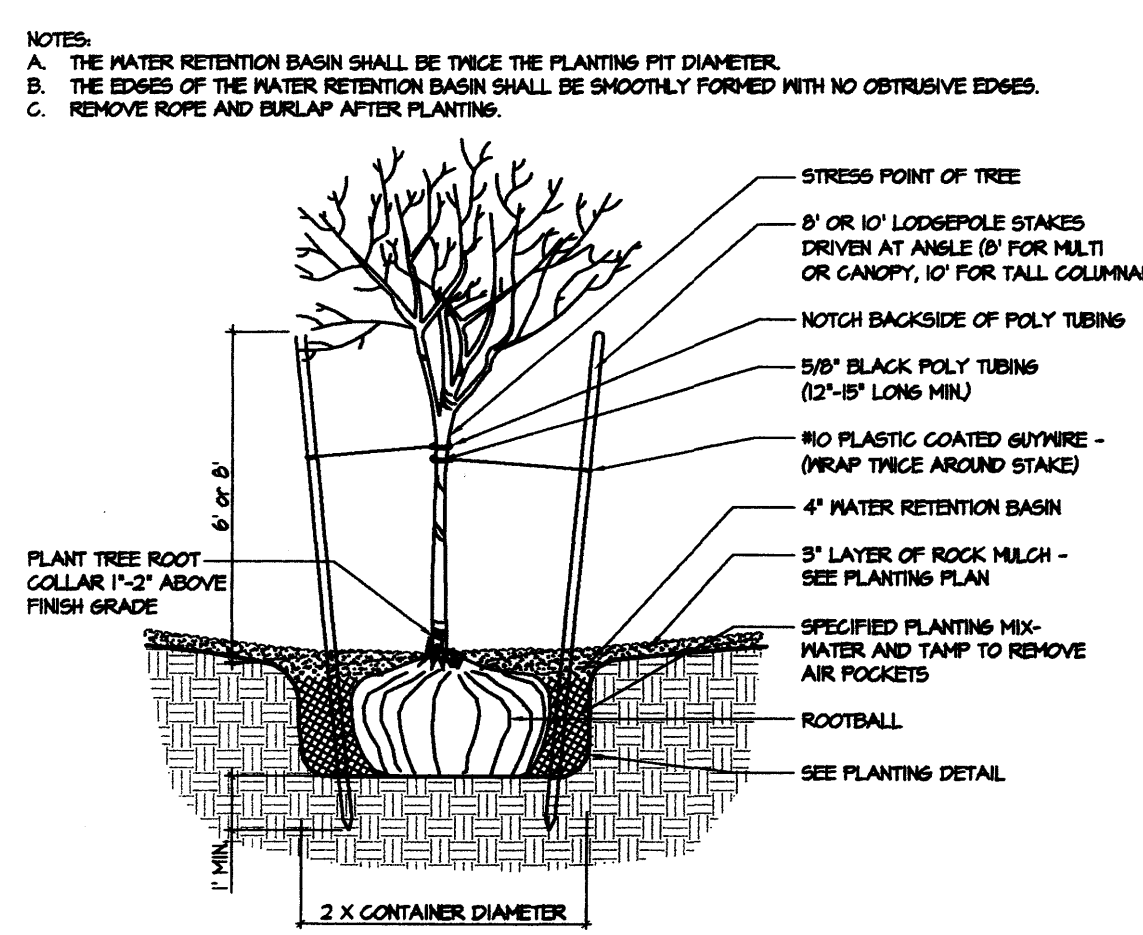
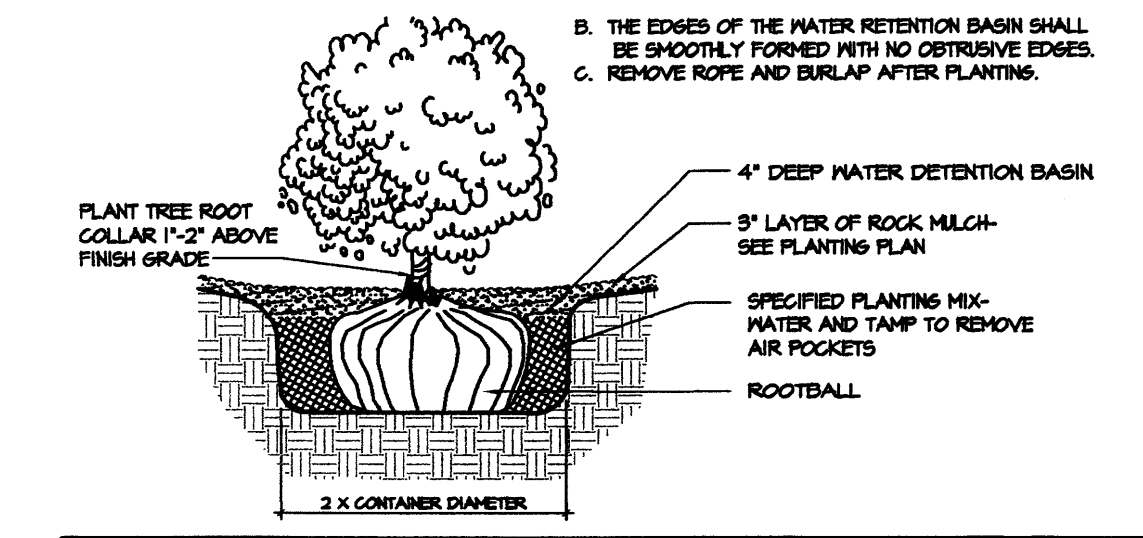
October 23, 2012

December 10, 2013

Consensus Planning logo

North arrow

Sheet 1 of 3



**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
<b>TREES</b>						
3	(Symbol)	CHITALPA TASKENTENSIS PINK DAWN CHITALPA	2" B4B	10' HT. X 5' SPR.	20' HT. X 25' SPR.	LOW +
3	(Symbol)	PISTACHIA CHINENSIS CHINESE PISTACHE	3" B4B	14' HT. X 6' SPR.	40' HT. X 40' SPR.	MEDIUM
2	(Symbol)	ROBINIA AMBIGUA PURPLE ROBE PURPLE ROBE LOCUST	2" B4B	16' HT. X 6' SPR.	30' HT. X 30' SPR.	MEDIUM
<b>SHRUBS/GROUNDCOVERS</b>						
8	(Symbol)	ARTEMESIA FILIFOLIA SAND SAGE	1-6AL	4' O.C.	4' HT. X 4' SPR.	LOW
20	(Symbol)	ARTEMESIA X FOWIS CASTLE FOWIS CASTLE SAGE	1-6AL	2' O.C.	2' HT. X 2' SPR.	LOW
12	(Symbol)	BUDDLEIA DAVIDII 'BLACK KNIGHT' BLACK KNIGHT BUTTERFLY BUSH	5-6AL	5' O.C.	5' HT. X 5' SPR.	MEDIUM
24	(Symbol)	CALAMAGROSTIS 'KARL FOERSTER' FEATHER REED GRASS	5-6AL	3' O.C.	3' HT. X 2' SPR.	LOW +
22	(Symbol)	GARYOPTERIS QUANDONENSIS BLUE MIST	5-6AL	3' O.C.	3' HT. X 3' SPR.	MEDIUM
20	(Symbol)	ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE BUSH	1-6AL	3' O.C.	2' HT. X 2' SPR.	LOW
24	(Symbol)	ERYSIMUM LINIFOLIUM WALLFLOWER BOYLES MAUVE	1-6AL	3' O.C.	2' HT. X 2' SPR.	MEDIUM
12	(Symbol)	HESPERALOE PARVIFLORA RED FLOWERING YUCCA	5-6AL	3' O.C.	3' HT. X 3' SPR.	MEDIUM
17	(Symbol)	MULLENBERGIA CAPILLARIS REGAL MIST MUHLY GRASS	5-6AL	5' O.C.	5' HT. X 4' SPR.	MEDIUM
11	(Symbol)	RHAPHOLEPIS INDICA INDIA HAWTHORN	5-6AL	3' O.C.	4' HT. X 4' SPR.	MEDIUM
9	(Symbol)	RHUS TRILOBATA THREE-LEAF SUMAC	5-6AL	4' O.C.	4' HT. X 4' SPR.	LOW+
12	(Symbol)	ROSMARINUS OFFICINALIS PROSTRATE ROSEMARY	5-6AL	5' O.C.	3' HT. X 4' SPR.	MEDIUM
15	(Symbol)	SORGHASTRUM NITANS INDIAN GRASS	1-6AL	5' O.C.	4' HT. X 2' SPR.	MEDIUM
4	(Symbol)	VITEX AGNUS-CASTUS VITEX	15-6AL	15' O.C.	15' HT. X 15' SPR.	MEDIUM
<b>GRAVEL MULCHES/ACCENT BOULDERS</b>						
14	(Symbol)	1/8" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DENNIT PRO-5 WEED CONTROL FABRIC)				
	(Symbol)	MOSS ROCK BOULDERS (3'X3' MINIMUM)				

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1/16" BUILDOLGY BROWN ROCK MULCH AND 2"-4" COBBLE MULCH.

**IRRIGATION**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**FIRM COORDINATION**  
 COORDINATION WITH FINIS NEM SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENINGS WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**EXISTING LANDSCAPE**  
 ALL EXISTING LANDSCAPE (TREES AND SHRUBS) ALONG TOWNE CENTER LANE SHALL BE REMOVED PRIOR TO CONSTRUCTION, BUT SHALL BE REPLACED PER THIS LANDSCAPE DESIGN.

ALL EXISTING LANDSCAPE SOUTH OF THE RETAINING WALL ALONG GIBSON BOULEVARD SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ALL EXISTING LANDSCAPE NORTH OF THE RETAINING WALL ALONG GIBSON BOULEVARD SHALL BE REMOVED DUE TO VEHICLE PARKING OVERHANGS. IN ADDITION, ANY LANDSCAPE THAT CONFLICTS WITH NEW CONSTRUCTION ALONG GIBSON BOULEVARD SHALL BE REMOVED AND REPLACED.

**LANDSCAPE COVERAGE**

TOTAL SITE AREA:	40,511 SF (93 AC)
BUILDING AREA (BUILDING ENVELOPE):	-4,162 SF
	35,744 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	5,362 SF
PROVIDED PLANTING BED AREA:	6,963 SF (13%)
REQUIRED LIVE VEGETATIVE COVERAGE (75%) OF REQUIRED 15% LANDSCAPE:	4,021 SF
EXISTING LIVE VEGETATIVE COVER:	1,047 SF
PROPOSED LIVE VEGETATIVE COVER:	+3,075 SF
TOTAL LIVE VEGETATIVE COVERAGE:	4,122 SF

**PARKING LOT TREES**  
 DENNY'S IS PROVIDING 61 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

**PARKING LOT TREES PROVIDED:** 6  
**PARKING LOT TREES REQUIRED:** 6

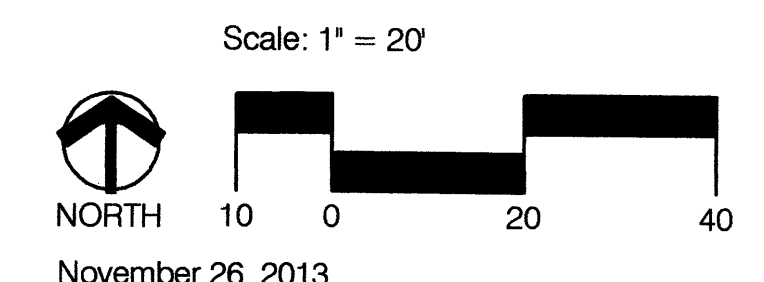
**STREET TREES**  
 GIBSON BOULEVARD FRONTAGE IS 200'. STREET TREE REQUIREMENTS ARE BASED ON A RATE OF ONE TREE PER 30 LINEAR FEET, PER THE SITE PLAN FOR SUBDIVISION. NOTE: EIGHT TREES WERE INSTALLED AT SITE PLAN FOR SUBDIVISION STAGE OF DEVELOPMENT. TWO TREES WILL BE ADDED TO THE FRONTAGE TO MAINTAIN CANOPY TO CANOPY COVERAGE ALONG GIBSON.

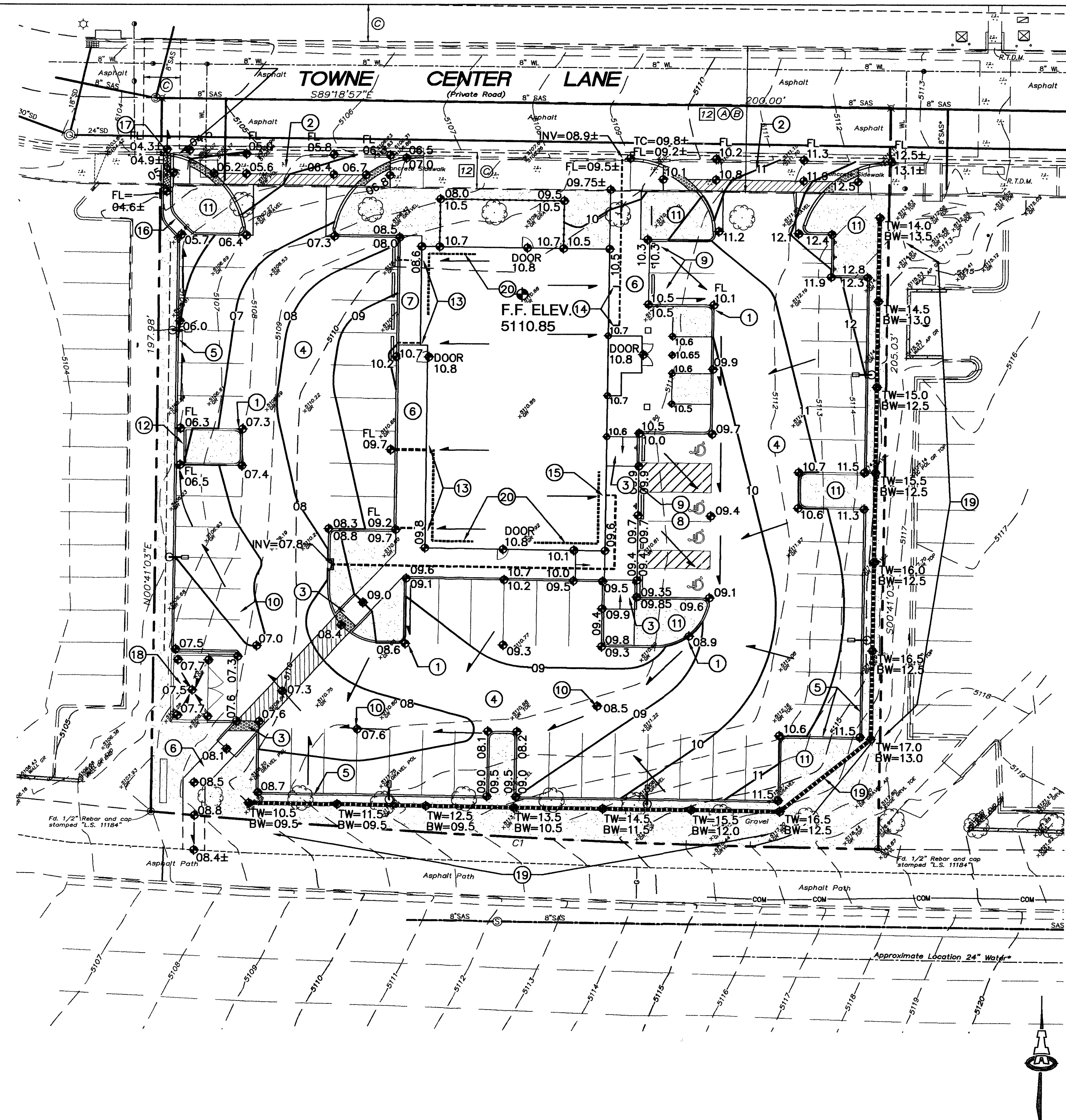
# DENNY'S @ BROADSTONE TOWNE CENTER LANDSCAPE PLAN

Prepared for:  
 Coast/SVN Commercial  
 Real Estate Services  
 2829 Rucker Avenue, Suite 100  
 Everett, WA 98201

Prepared by:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
 128 Monroe St, NE  
 Albuquerque, NM 87108





- ### KEYED NOTES
- SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB AND TOP OF ADJACENT WALK ELEVATIONS.
  - CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH CONCRETE VALLEY GUTTER AND HANDICAP RAMPS EACH SIDE. PER C.O.A. STD. DWGS. 2426 AND 2420.
  - CONSTRUCT ON-SITE HANDICAP RAMP PER ADA GUIDELINES.
  - CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR PARKING LAYOUT, SIGNAGE, PAVING DETAILS AND FOR ADDITIONAL INFORMATION.
  - CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ALL ON-SITE LOCATIONS UNLESS NOTED OTHERWISE. SEE CP-101.
  - CONSTRUCT CONCRETE WALK. CROSS-SLOPE = 2%.
  - NON-ADA ACCESSIBLE WALK THIS AREA DUE TO REQUIRED PAVEMENT GRADE TRANSITIONS.
  - SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
  - TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA.
  - PROVIDE SWALE WITHIN NEW ASPHALT AT FLOWLINE ELEVATIONS SHOWN TO DIRECT FLOW (MIN. 1% SLOPE).
  - DEPRESS ALL LANDSCAPING TO CREATE WATER HARVESTING BASINS. FLOW IN EXCESS OF BASIN CAPACITY WILL DISCHARGE TO PAVEMENT. NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF THE BUILDING.
  - PROVIDE 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH PARKING ISLAND TO PASS FLOW. MIN. SLOPE = 1%.
  - BUILDING ROOF DISCHARGE THIS AREA TO BE PIPED THROUGH WALK AND RELEASED AT FACE OF CURB. OWNER'S OPTION: INSTALL 12" WIDE COVERED SIDEWALK CULVERT TO PASS FLOW TO PAVEMENT.
  - BUILDING ROOF DISCHARGE THIS AREA TO BE COLLECTED WITHIN STORM DRAIN SYSTEM AND RELEASED AT FACE OF CURB TO TOWNE CENTER LANE.
  - BUILDING ROOF DISCHARGE THIS AREA TO BE COLLECTED WITHIN STORM DRAIN SYSTEM AND RELEASED THROUGH FACE OF CURB AS SHOWN.
  - CONSTRUCT 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPING TO PASS CONCENTRATED FLOW TO TOWNE CENTER LANE. SEE DETAIL THIS SHEET.
  - CONSTRUCT 24" WIDE CONCRETE SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236.
  - CONSTRUCT NEW CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. INSTALL AREA DRAIN AT LOW POINT OF DUMPSTER PAD WITH CONNECTION TO SANITARY SEWER LINE. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
  - CONSTRUCT RETAINING WALL (MAXIMUM 4' RETAINING) ALONG EAST AND SOUTH PROPERTY LINES. STRUCTURAL DESIGN BY OTHERS.
  - DASHED LINE REPRESENTS EXTENTS OF EXTENDED STEMWALL (GRADE OUTSIDE BLDG. > 6" BELOW F.F.). SEE ARCHITECTURAL.

- ### GENERAL NOTES
- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, AND LANDSCAPE PLAN.
  - ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFF-SITE.
  - ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
  - FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
  - EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
  - THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS.) A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
  - ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
  - ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR 'E', TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE 'SMOOTH' AND LEVEL.
  - ALL EROSION PROTECTION SHALL BE FRACTURED FACE ROCK (F.F. ROCK) 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
  - SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED. TYPICAL 10% SLOPE SHALL BE STEEPER THAN 2:1.
  - ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

### DRAINAGE CONCEPT

THE PROPOSED IMPROVEMENTS CONSIST OF A RESTAURANT BUILDING AND OUTDOOR PATIO AREA WITH ASSOCIATED PAVED PARKING AND LANDSCAPING. RETAINING WALLS WILL BE REQUIRED ALONG THE EAST AND SOUTH SIDES OF THE PROPERTY TO ACHIEVE PARKING GRADES.

PER THE MASTER DRAINAGE PLAN FOR TOWNE CENTER PREPARED BY HIGH MESA CONSULTING GROUP, TRACT 4 WILL DRAIN TO TOWNE CENTER LANE.

THE MAJORITY OF THE PROPOSED DEVELOPMENT WILL ROUTE STORMWATER THROUGH THE PROPOSED PAVED PARKING LOT TO FREE DISCHARGE TO TOWNE CENTER LANE VIA A COVERED SIDEWALK CULVERT (TO BE CONSTRUCTED WITH THIS PROJECT) AT THE NORTHWEST CORNER OF THE PROPERTY TO ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM WITHIN TOWNE CENTER LANE.

A PORTION OF NE ROOF AREA WILL DISCHARGE VIA A PIPE TO TOWNE CENTER LANE (THROUGH FACE OF CURB WEST OF EAST ACCESS DRIVE).

ALL LANDSCAPED PARKING ISLANDS WILL BE DEPRESSED WHERE POSSIBLE TO CAPTURE STORMWATER FOR WATER HARVESTING.

ALL CALCULATIONS: DENNY'S BROADSTONE : Sep. 25, 2013  
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM

AREA OF SITE:	40604	SF	=	0.9
---------------	-------	----	---	-----

DEVELOPED FLOWS:

Area	Treatment SI	%	EXCESS PRECIP:
Area A	0	0%	Precip. Zone 2
Area B	2030	5%	E <sub>A</sub> = 0.53
Area C	4060	10%	E <sub>B</sub> = 0.78
Area D	34513	85%	E <sub>C</sub> = 1.13
Total Area	40604	100%	E <sub>D</sub> = 2.12

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

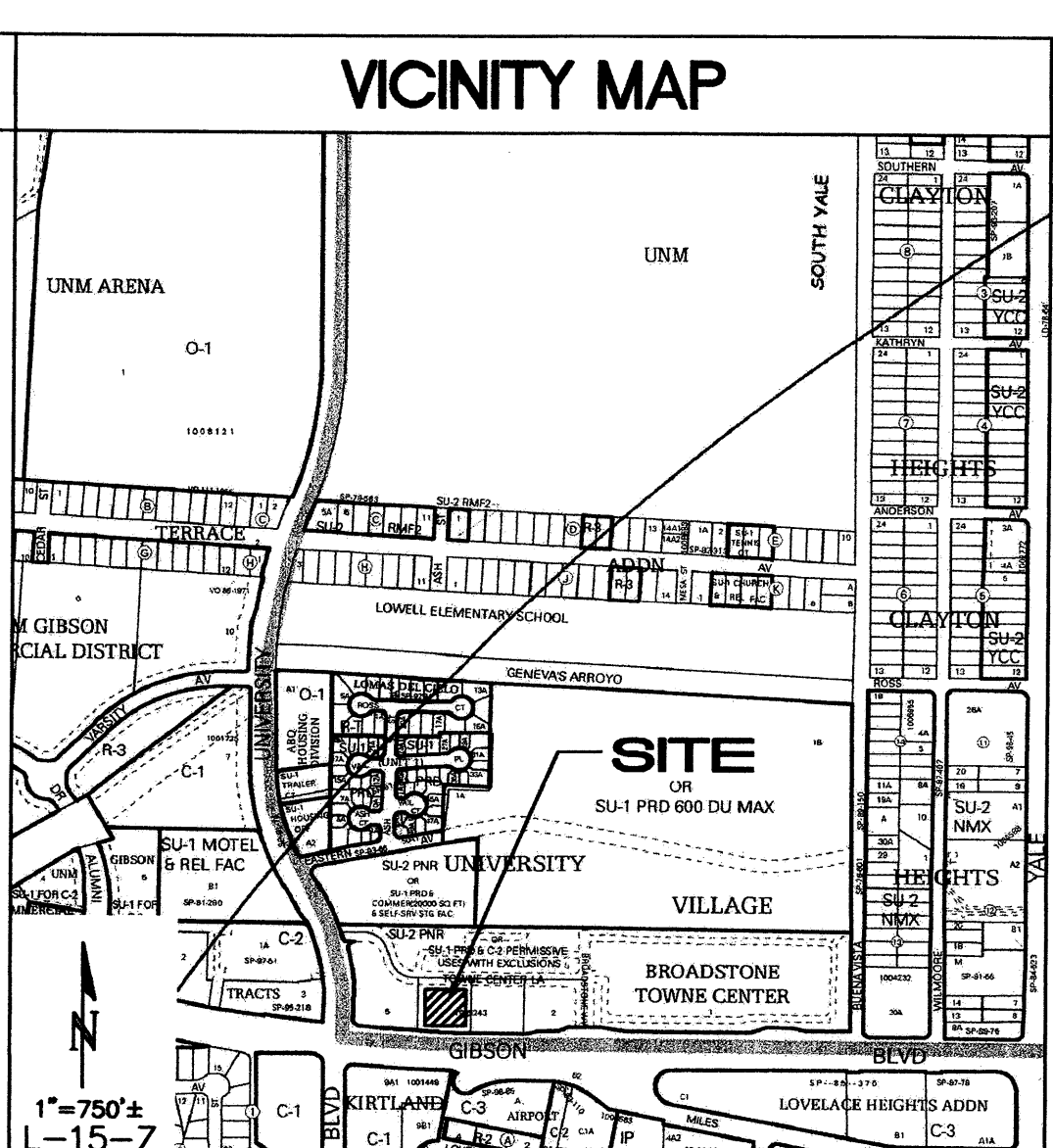
$$\text{Weighted } E = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Developed E = 1.95 in.

On-Site Volume of Runoff: V<sub>360</sub> =  $\frac{E^* A}{12}$   
Developed V<sub>360</sub> = 6612 CF

On-Site Peak Discharge Rate: Q<sub>p</sub> = Q<sub>pA</sub>A<sub>A</sub> + Q<sub>pB</sub>A<sub>B</sub> + Q<sub>pC</sub>A<sub>C</sub> + Q<sub>pD</sub>A<sub>D</sub> / 43,560  
For Precipitation Z<sub>2</sub>

Q <sub>pA</sub>	=	1.56	Q <sub>pC</sub>	=	3.14
Q <sub>pB</sub>	=	2.28	Q <sub>pD</sub>	=	4.70
		Developed Q <sub>p</sub>		= 4.1 CFS	



### PROJECT DATA

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN CITY OF ALBUQUERQUE ZONE MAP L-15. THE SITE IS BOUND TO NORTH BY TOWNE CENTER ACCESS ROAD, TO THE EAST AND WEST BY DEVELOPED COMMERCIAL PROPERTY, AND TO THE SOUTH BY GIBSON BLVD NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF A NEW RESTAURANT FACILITY WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: LOT 4, BROADSTONE TOWNE CENTER, CITY OF ALBUQUERQUE, NM

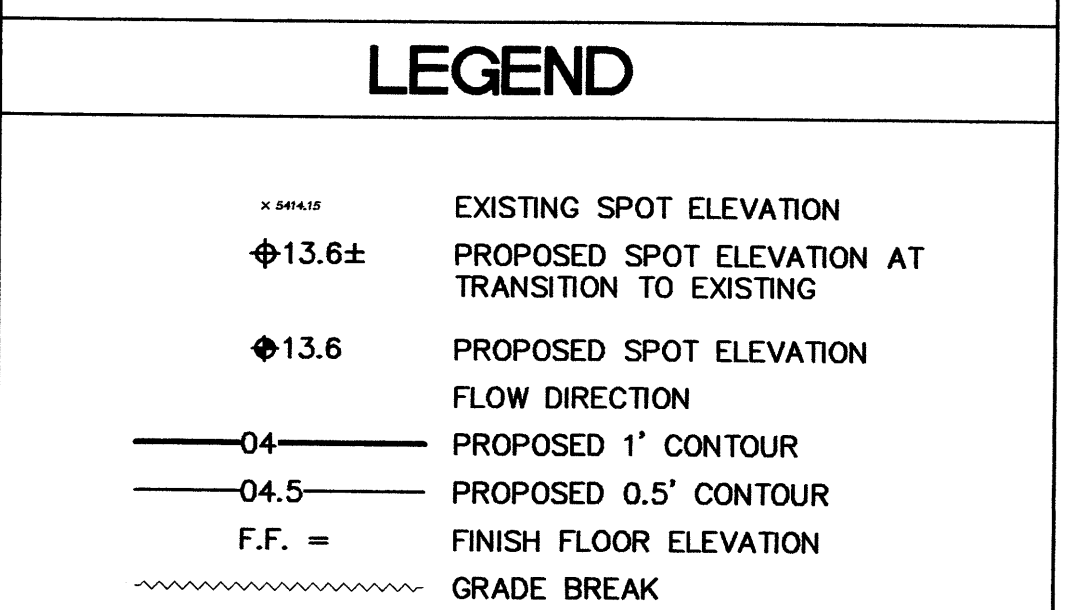
AREA: 40,604 SF (0.93 ACRE)

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "7-115", ELEVATION = 5164.135 FEET (NAVD 1988).

OFF-SITE: NO OFF-SITE FLOW IMPACTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #3500103426, THE SITE IS LOCATED WITHIN FLOODZONE 'X' (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

SURVEYOR: RUSS P. HUGG  
SURV-TEK INC.  
9384 VALLEY VIEW DRIVE, N.W.  
ALBUQUERQUE, NM 87114  
PHONE: 505-897-3366



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1995 CG-101.dwg Dec 02, 2013

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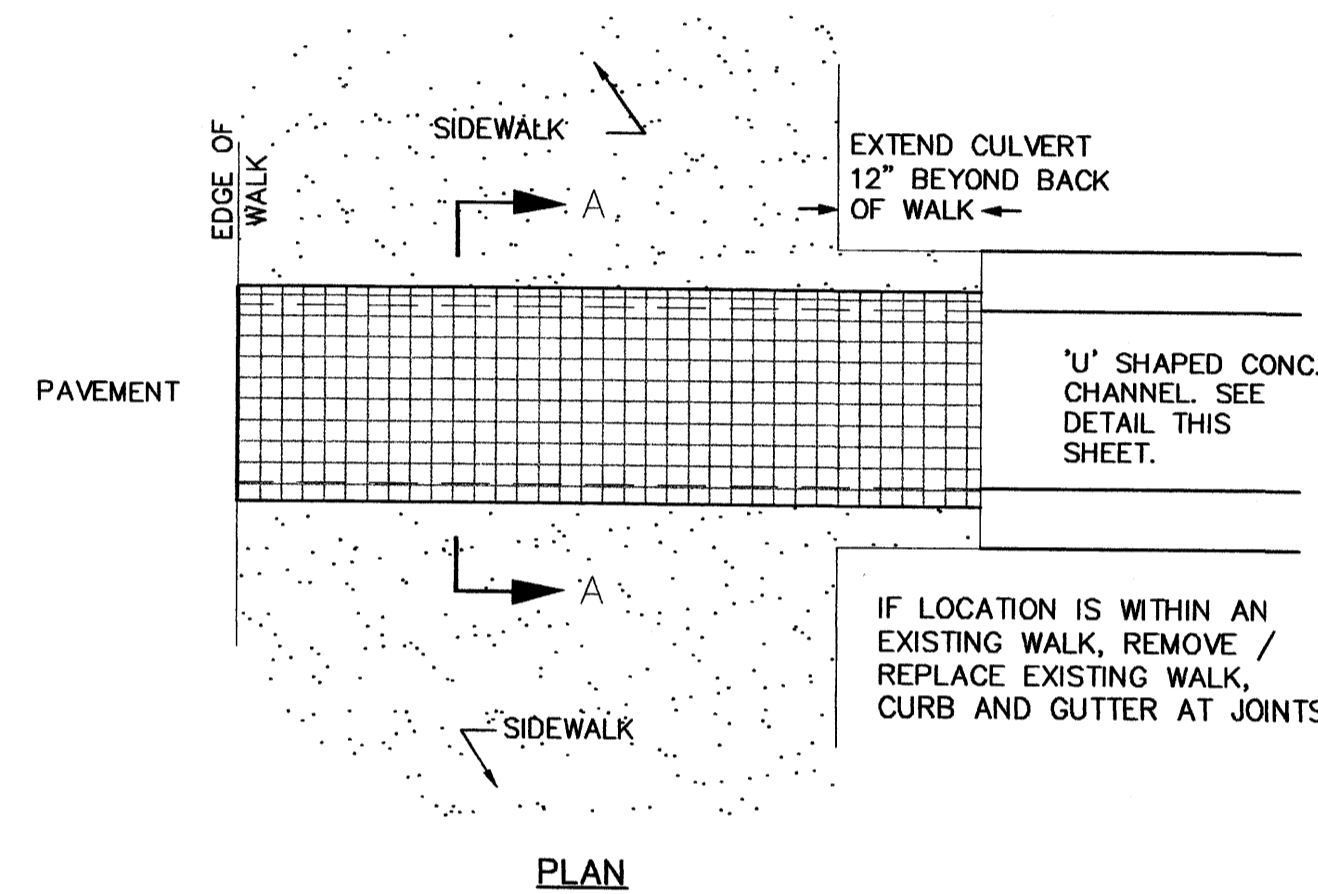
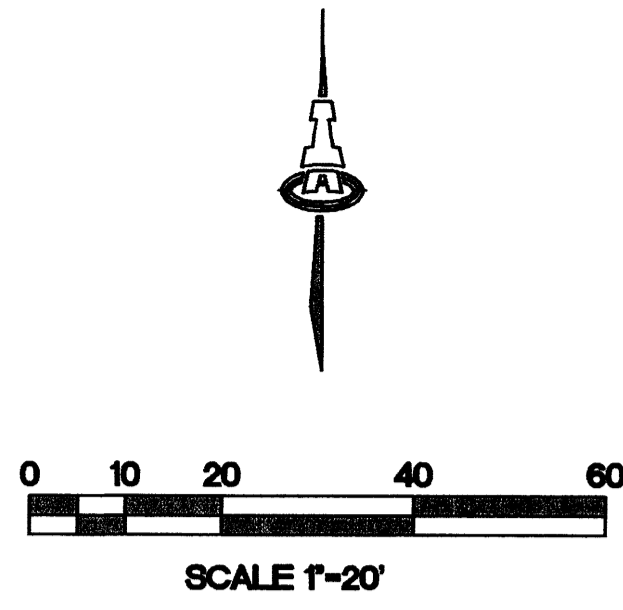
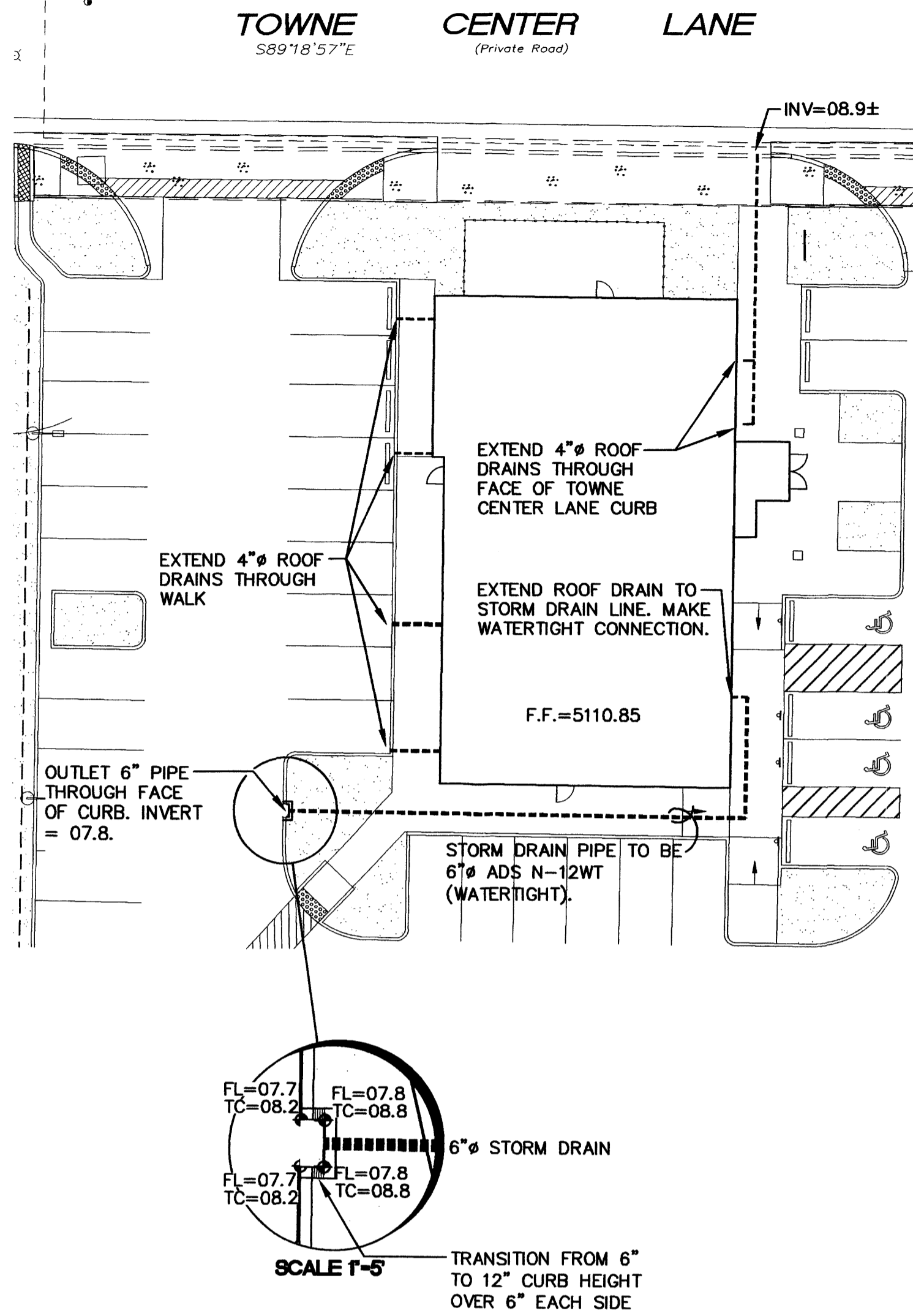
### DENNY'S RESTAURANT BROADSTONE TOWNE CENTER

### GRADING AND DRAINAGE PLAN

Date:	12/02/13	Job No.:	1995
Drawn By:	BJB		
Okd By:	FCA		

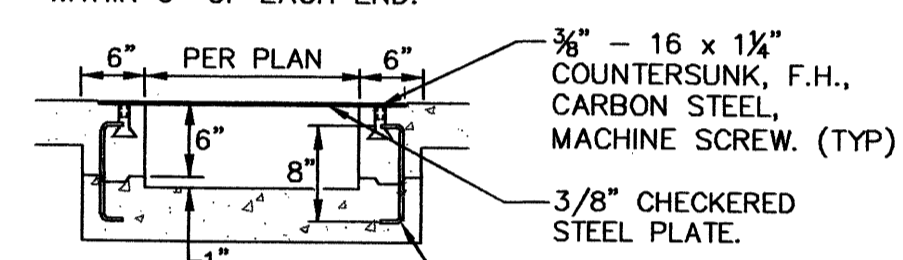
CG-101





WELD  $\frac{1}{8}$ " THICK,  $\frac{5}{16}$ " MIN. DIAMETER OVER ALL SCREWS. COMPLETELY COVER SCREW HEADS. GRIND EDGES SMOOTH.

FOR SECURING PLATE USE 1"x5" S.S. ROD ANCHOR, "RED HEAD MULTI-SET II SRM-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C., A MINIMUM OF 2 PER SIDE AND ONE WITHIN 6" OF EACH END.



USE NO. 3 DEFORMED BAR DOWELS. SPACE DOWELS AT 18" O.C. MAXIMUM, 1-1/2" MINIMUM FROM FACE OF CONCRETE

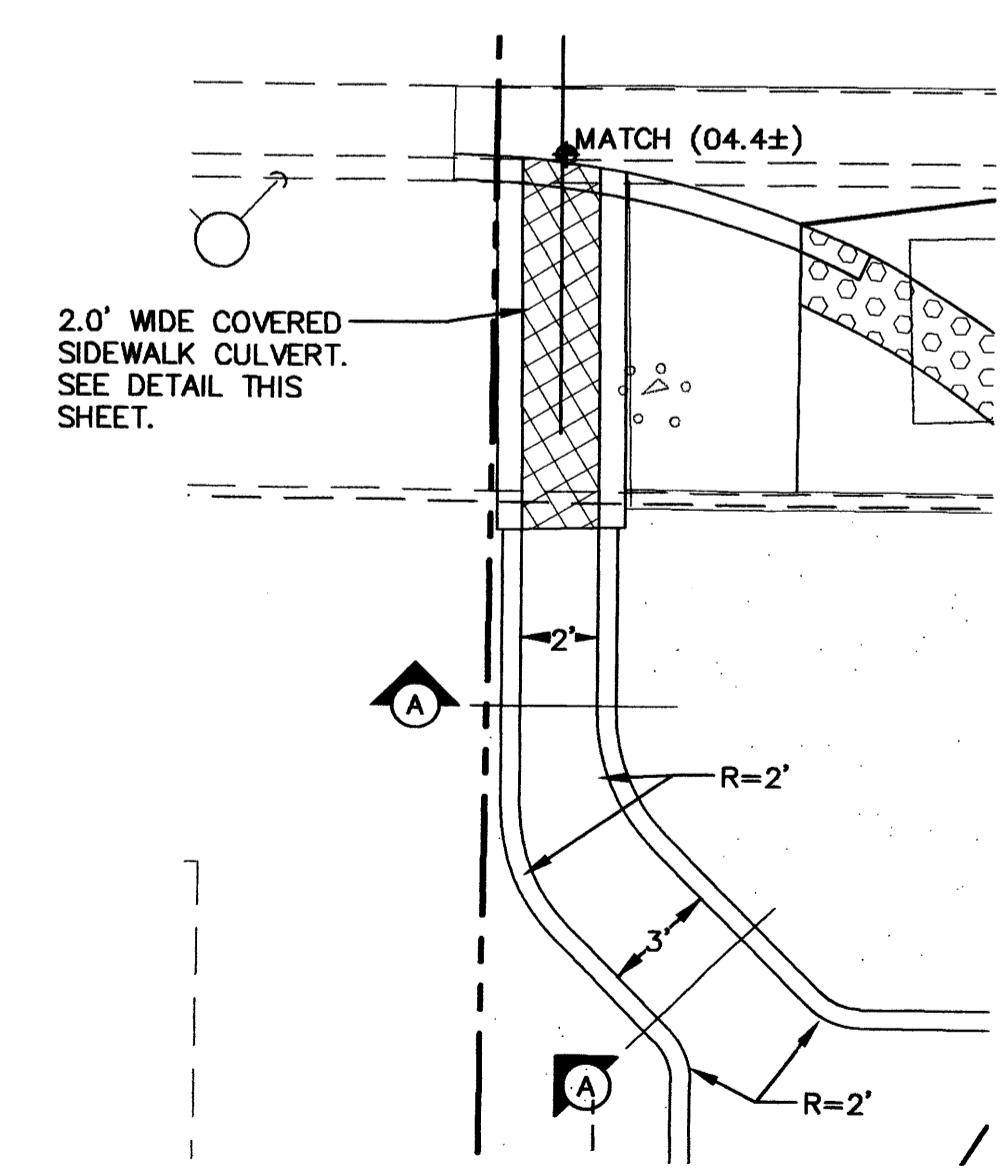
SECTION A-A

**ROOF DRAIN DISCHARGE NOTES AND DETAILS**

SCALE: N.T.S.

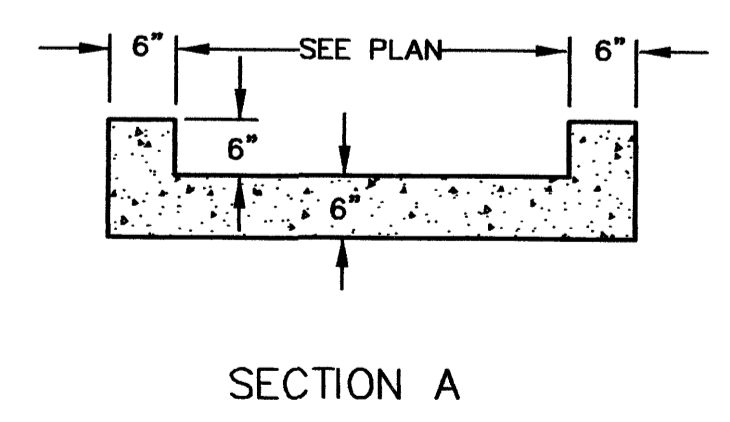
**COVERED SIDEWALK CULVERT**

SCALE: N.T.S.



**GENERAL NOTES**

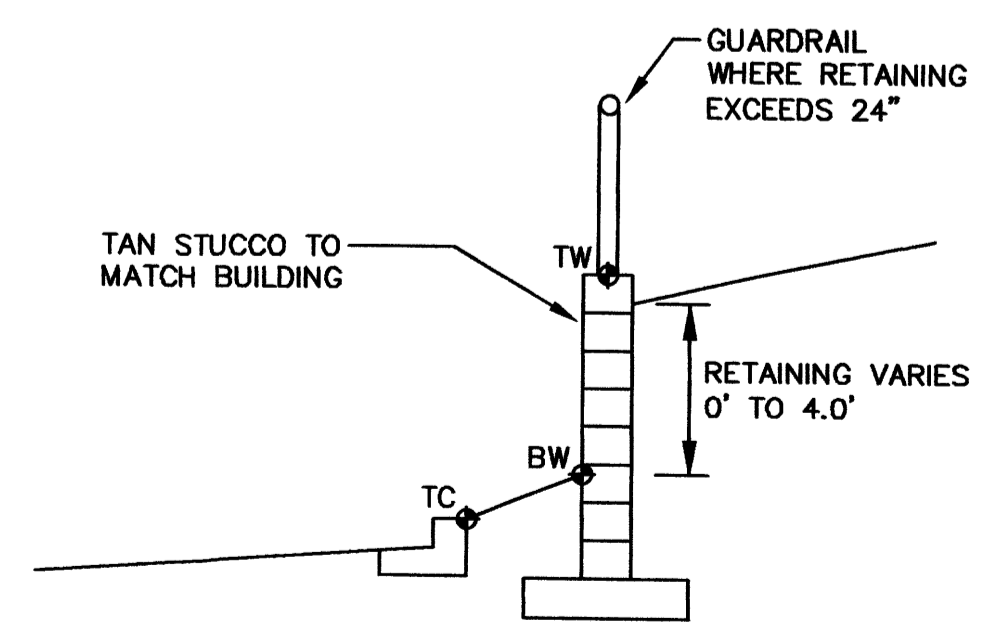
1. SMOOTH ALL EDGES WITH A 3/8" EDGING TOOL.
2. REQUIRES FULL FORM ON ALL FACES.
3. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.



SECTION A

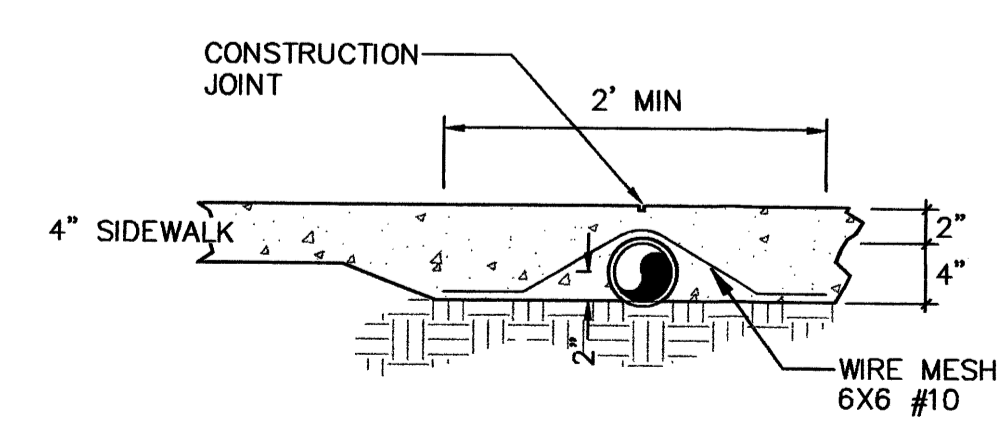
**'U' SHAPED CONCRETE RUNDOWN**

SCALE: N.T.S.



**PERIMETER RETAINING WALL**

SCALE: N.T.S.



**PIPE THROUGH WALK**

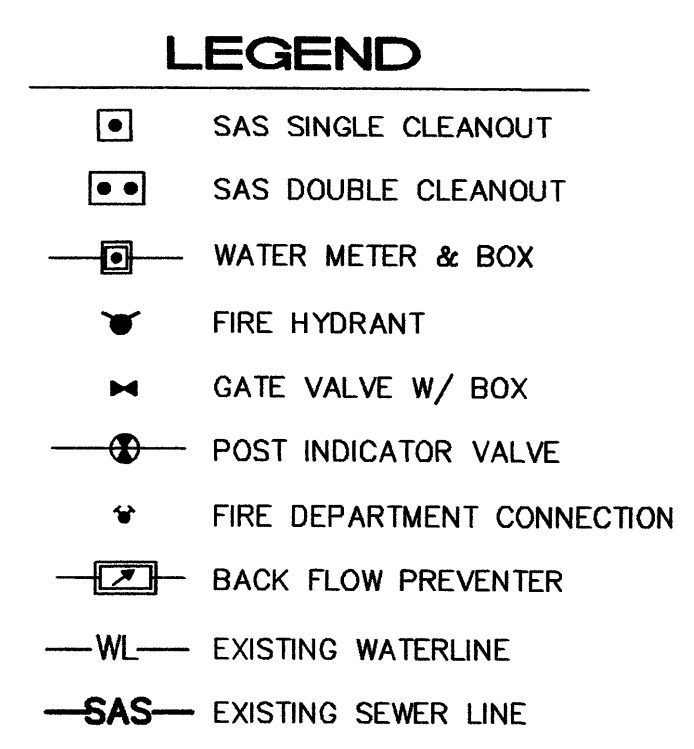
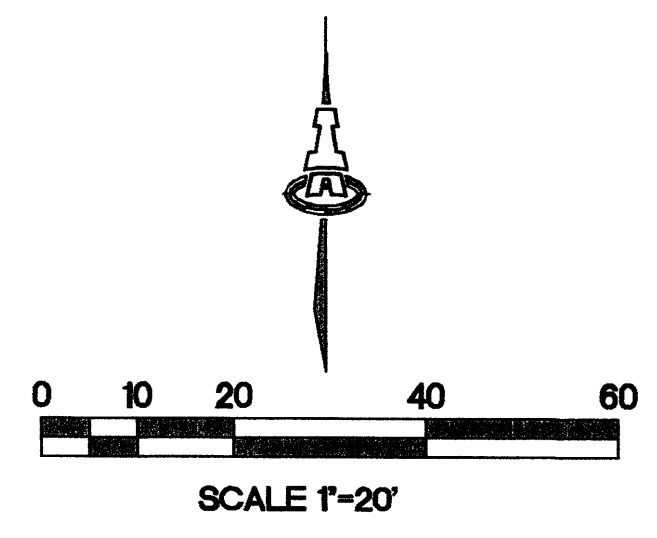
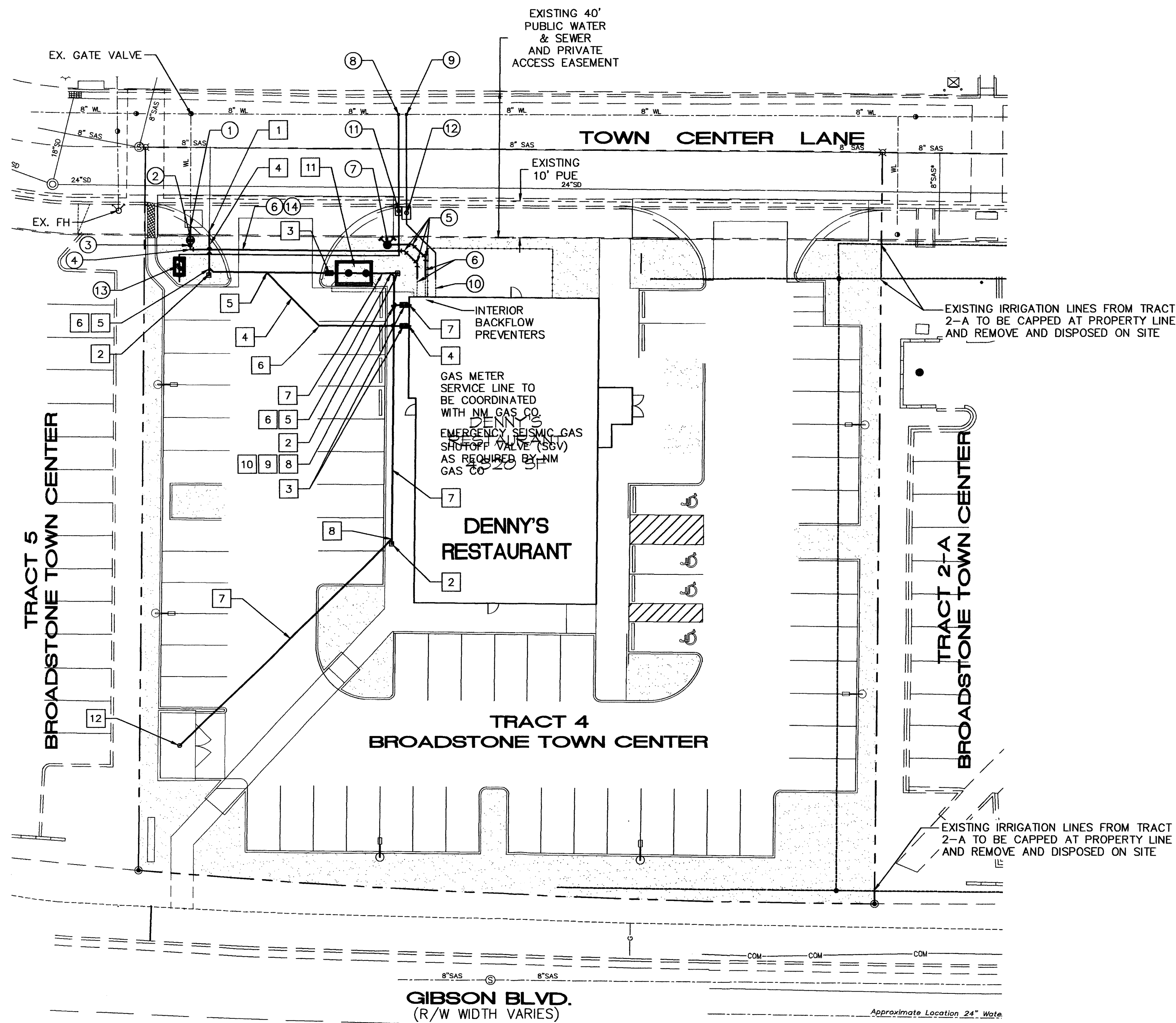
SCALE: N.T.S.

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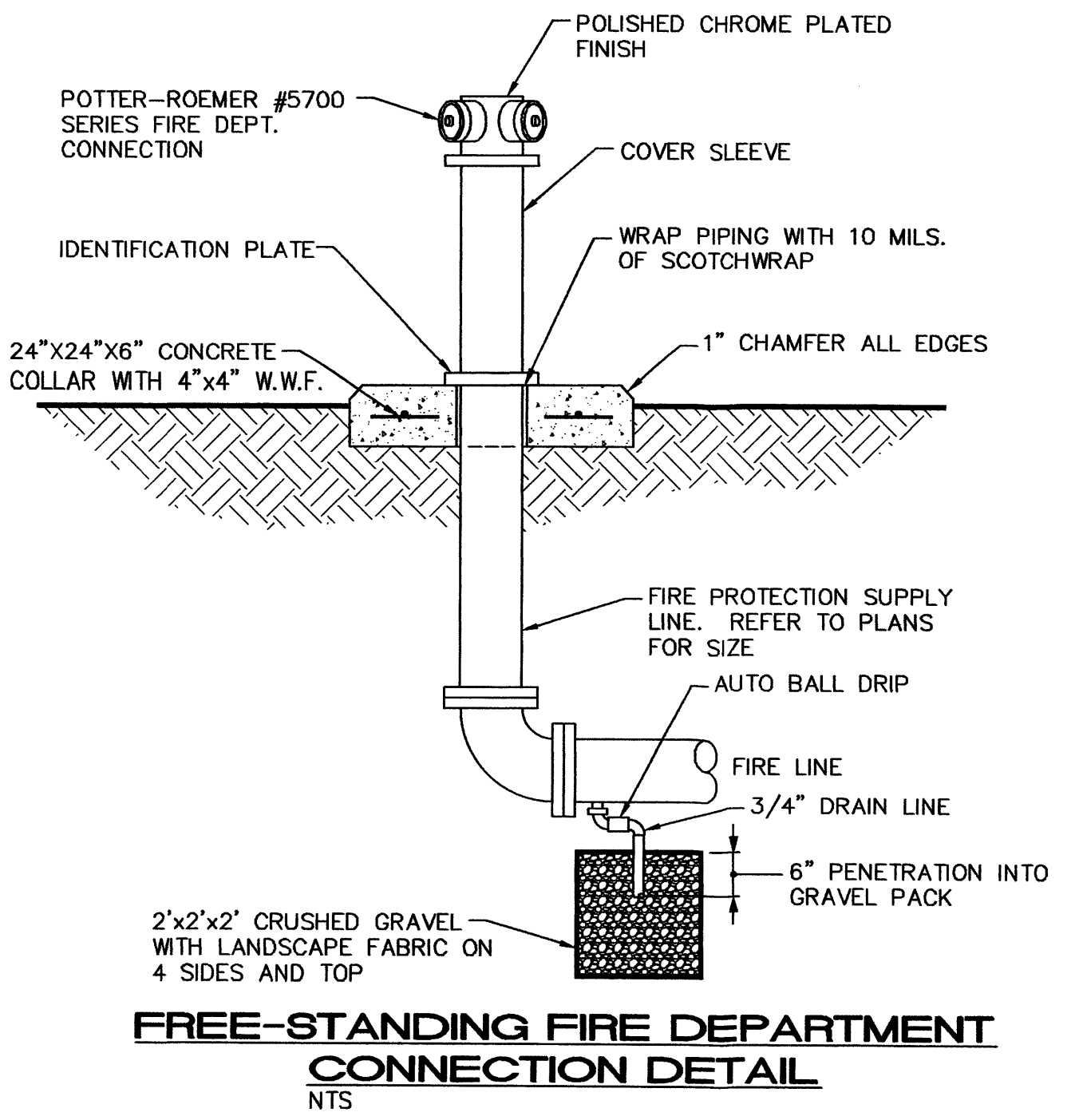
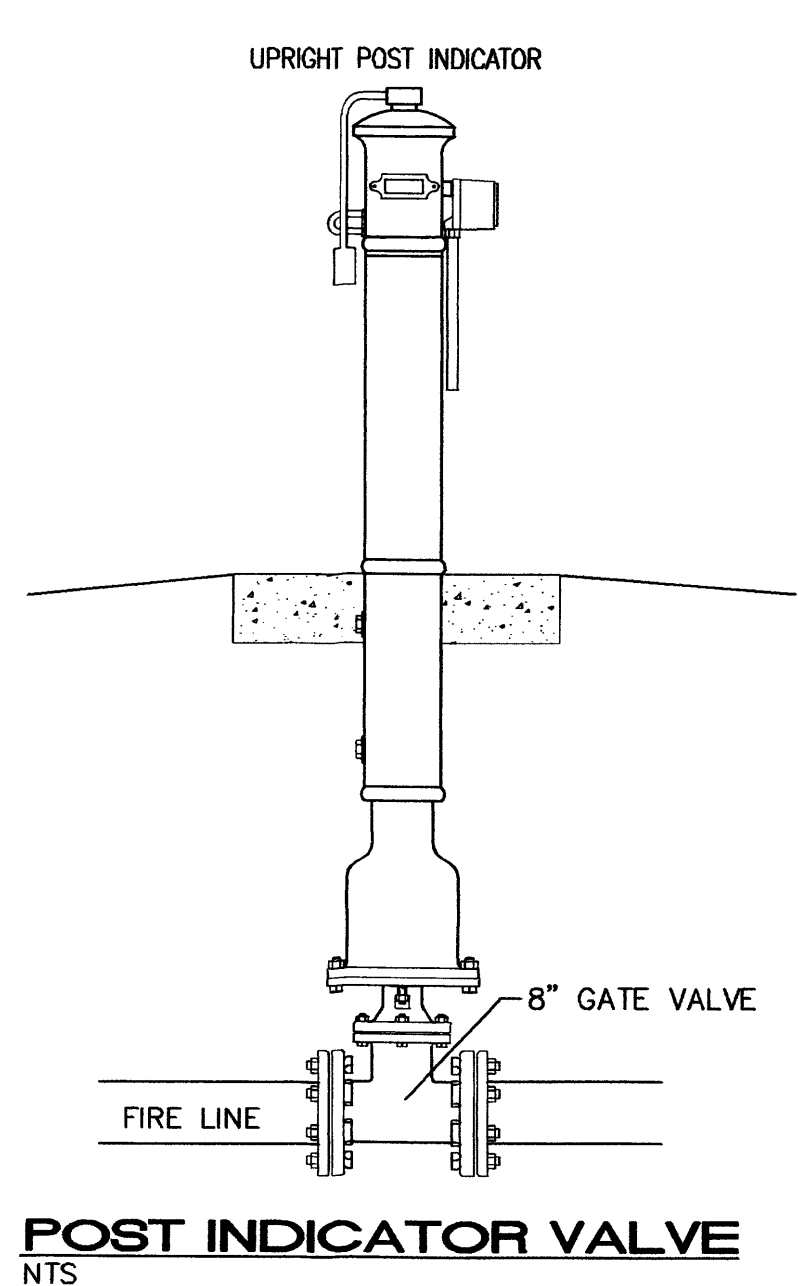
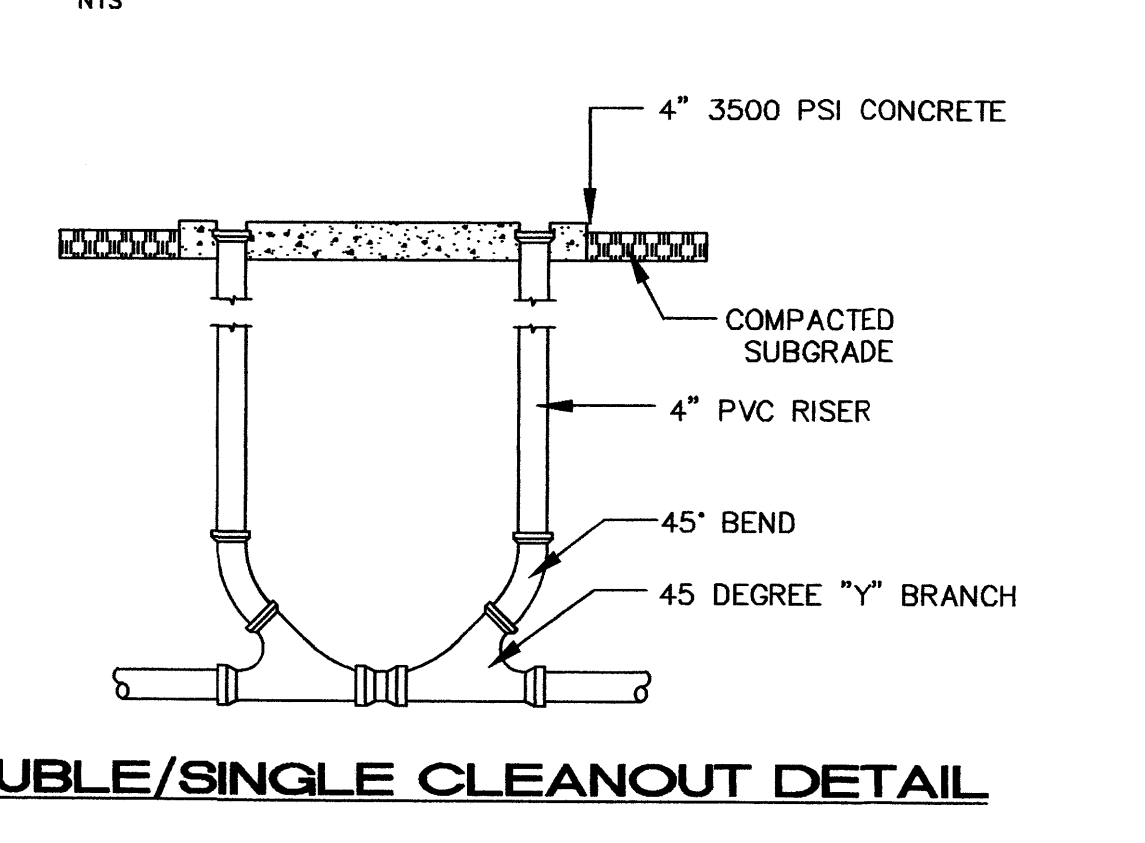
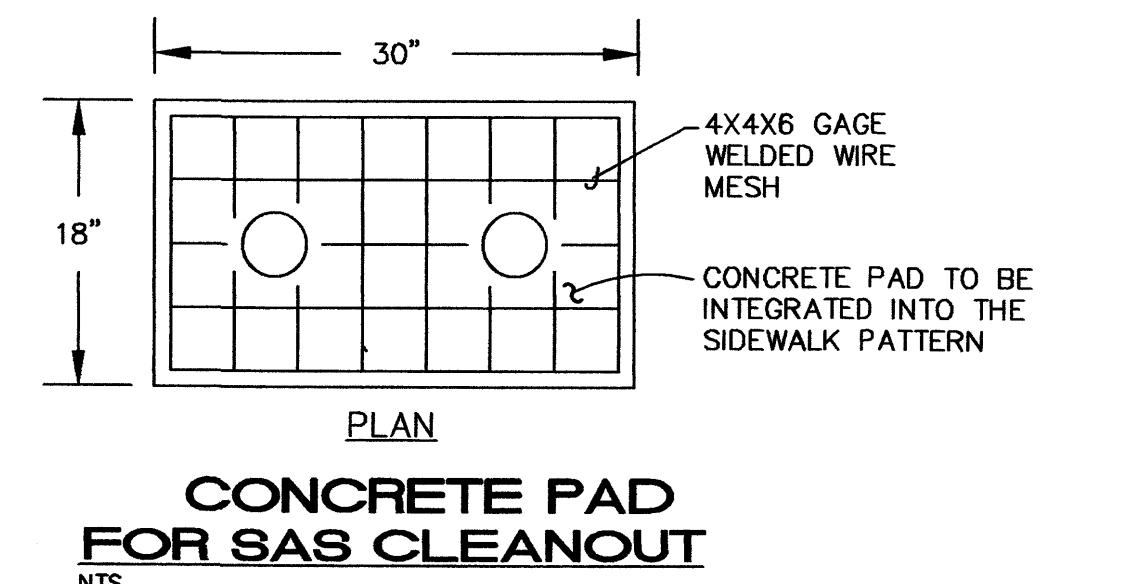
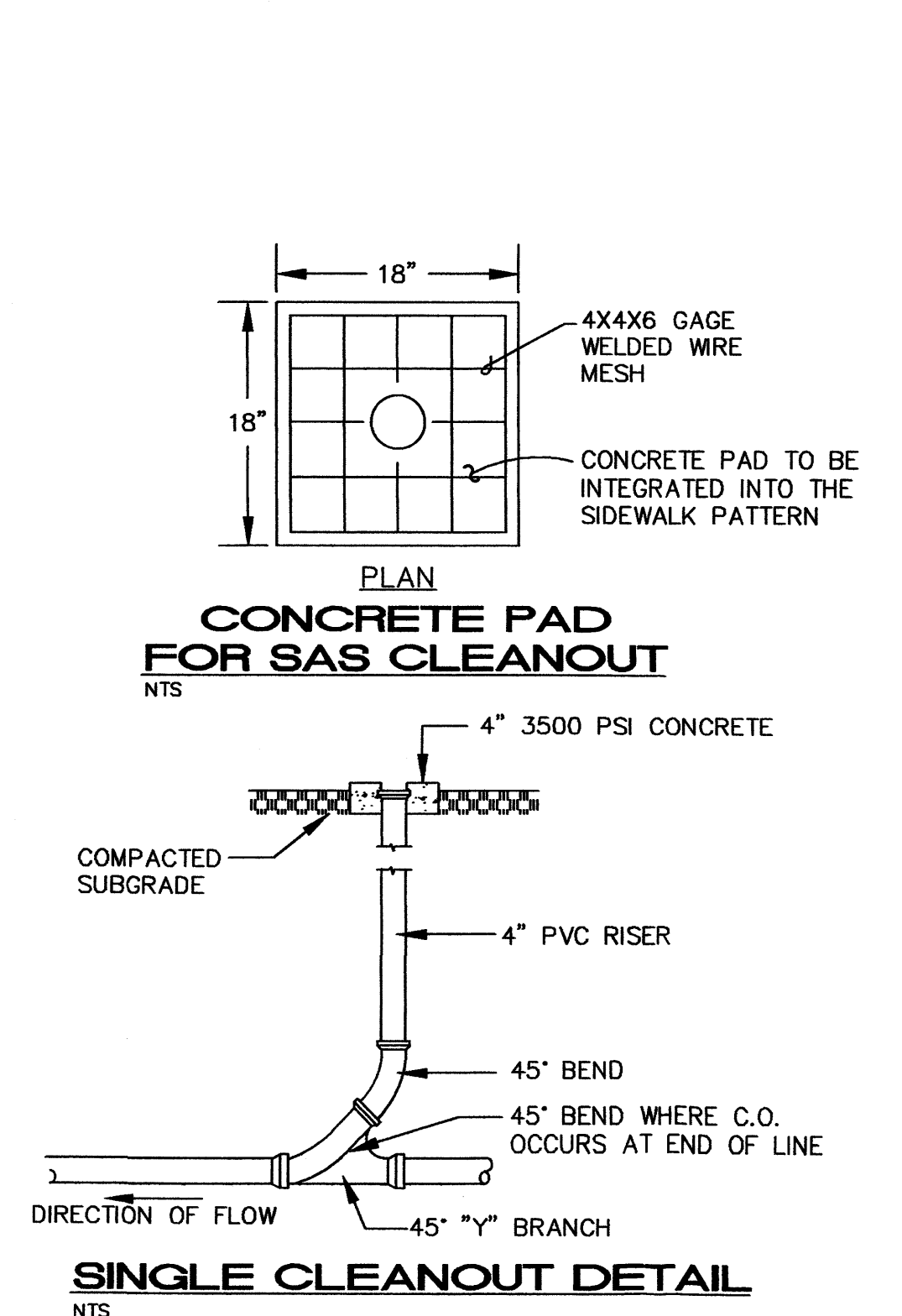
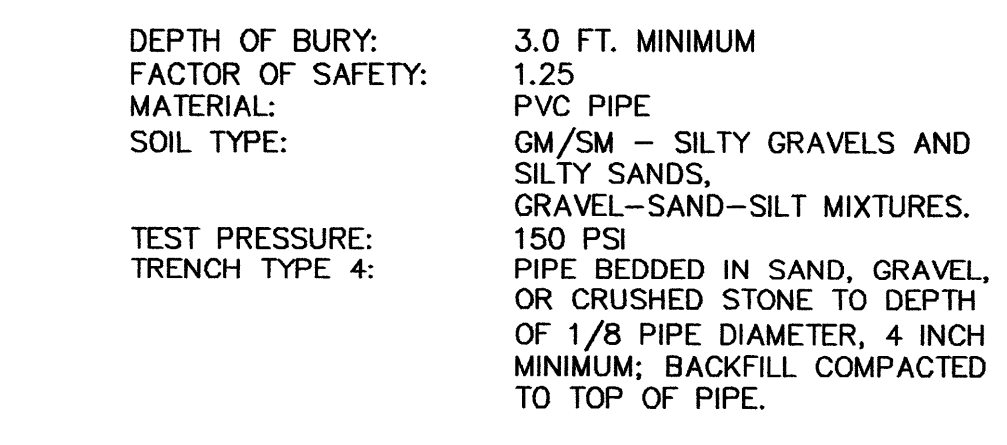
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<b>DENNY'S RESTAURANT BROADSTONE TOWN CENTER</b>	
<b>GRADING AND DRAINAGE DETAILS</b>	
Date: 12/02/13	Job No. 1995
Drawn By: BJB	<b>CG-501</b>
Chk By: FCA	



- RESTRAINT NOTES:**
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
  - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
  - THE CONTRACTOR SHALL INSTALL PCC BLOCKING AT ALL CAPS (UNLESS OTHERWISE NOTED ON PLANS).
- RESTRAINTS ARE BASED UPON THE FOLLOWING CRITERIA:
- DEPTH OF BURY: 3.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.25  
 MATERIAL: PVC PIPE  
 GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
 TEST PRESSURE: 150 PSI  
 PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.  
 TRENCH TYPE 4:



**GENERAL NOTES**

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT).

**KEYED NOTES**

- WATER KEYED NOTES**
- CONNECT NEW FIRE LINE TO EXIST. 8" WATERLINE.
  - 8" POST INDICATOR VALVE (PIV) W/ RESTRAINTS. (LT=60')
  - 8"x4" REDUCER W/ RESTRAINTS.(LT=52')
  - 4" - 90° BEND W/ RESTRAINTS.(LT=15')
  - 4" - 45° BEND W/ RESTRAINTS.(LT=6')
  - 4" FIRE LINE.
  - FIRE DEPARTMENT CONNECTION (FDC) W/ RESTRAINTS.(LT=32')
  - 1" SERVICE (IRRIGATION) PER ABCWUA STD. DWG. 2361 & 2362.
  - 2" SERVICE (DOMESTIC) PER ABCWUA STD. DWG. 2261 & 2363.
  - 2" WATER SERVICE LINE.
  - METER BOX PER COA STD. DWG. 2368.
  - METER BOX PER COA STD. DWG. 2367.
  - FEBCO MODEL 860 1" PRESSURE REDUCING BACK FLOW PREVENTER. (IRRIGATION) SAFE-T-COVER MODEL 100S-AL ENCLOSURE WITH CONCRETE BASE.
  - 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 6" WATERLINE.

- SEWER**
- CONNECT NEW SEWER LINE TO EXISTING SEWER STUB.
  - SINGLE CLEANOUT PER DETAIL THIS SHEET.
  - DOUBLE CLEANOUT PER DETAIL THIS SHEET.
  - 6" SANITARY SEWER LINE, AT 2% MIN. SLOPE.
  - 6" WYE.
  - 6" - 45° BEND.
  - 4" GREASE LINE, AT 2% MIN. SLOPE.
  - 4" WYE.
  - 4" - 45° BEND
  - 6" x 4" REDUCER.
  - 1500 GALLON GREASE INTERCEPTOR.
  - 4" HEAVY DUTY CAST IRON FLOOR DRAIN W/ P-TRAP.

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1995 CU-101.dwg Nov 26, 2013

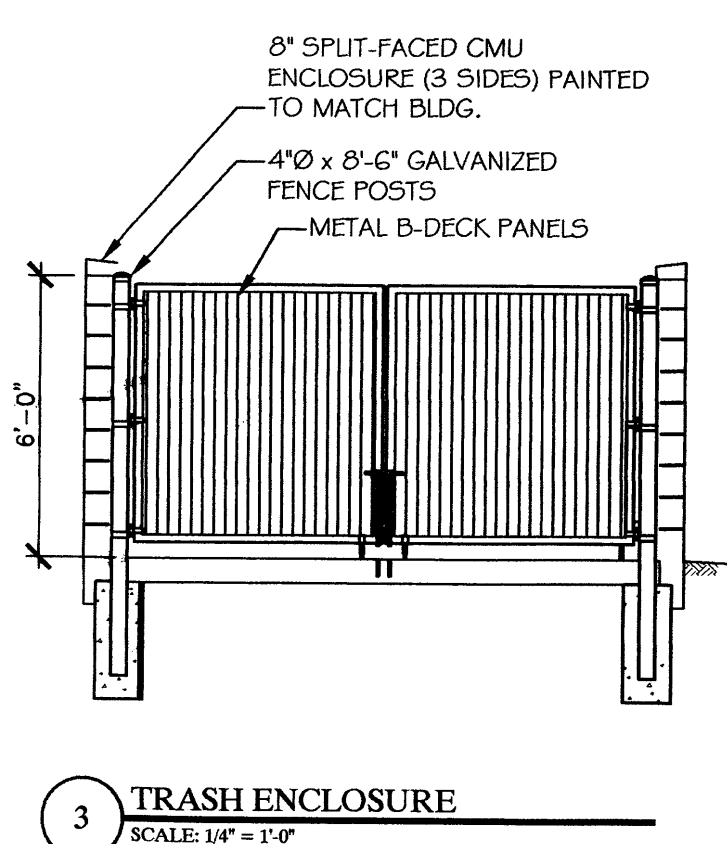
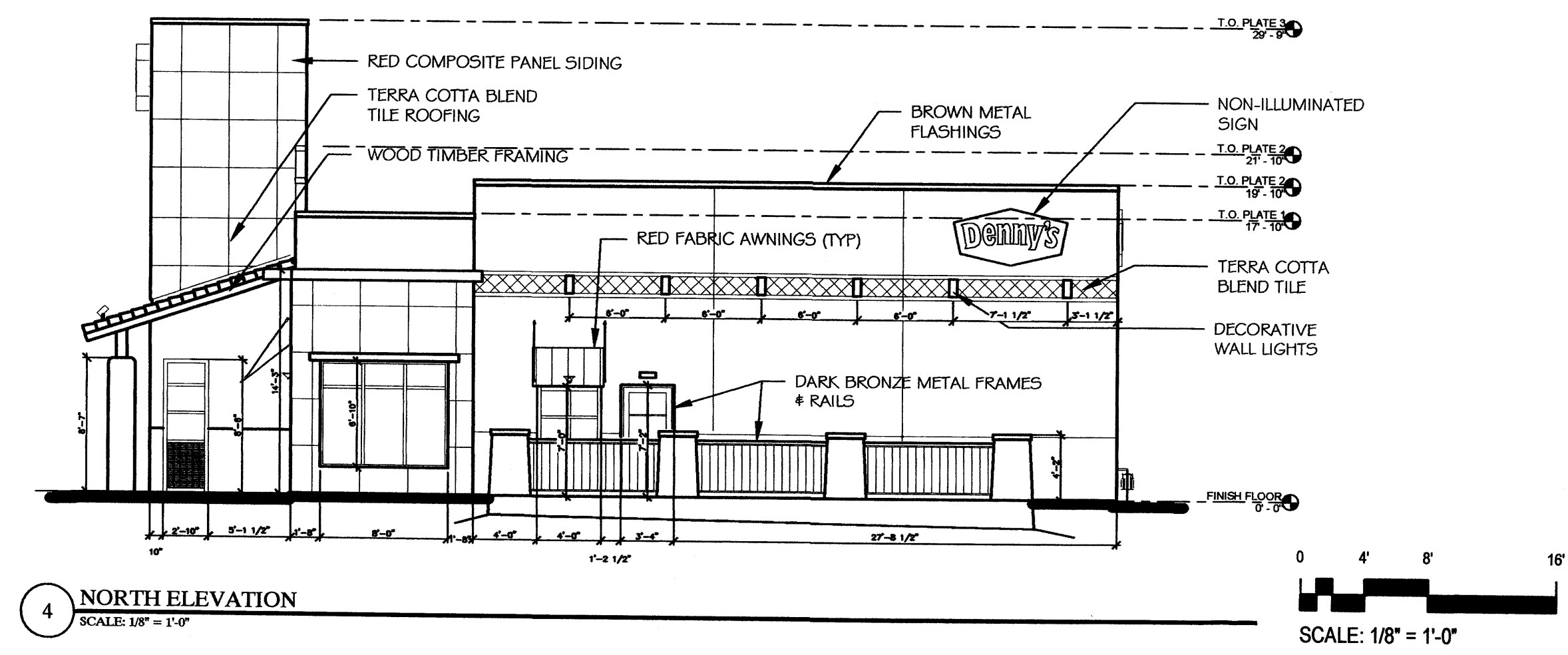
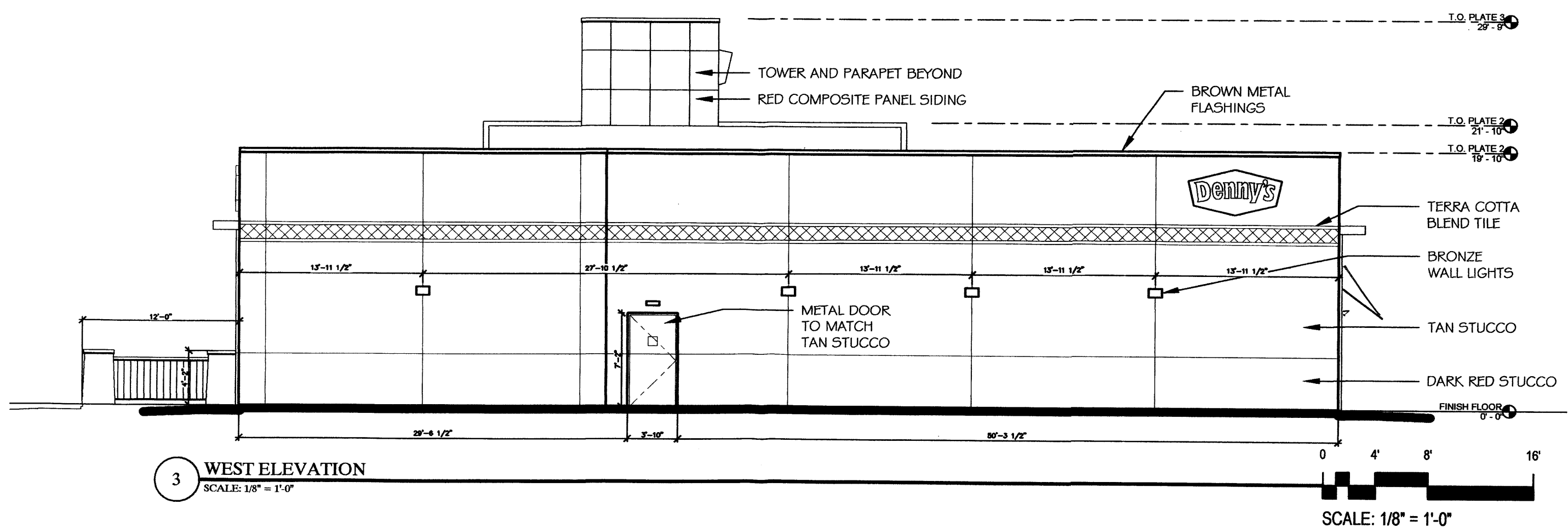
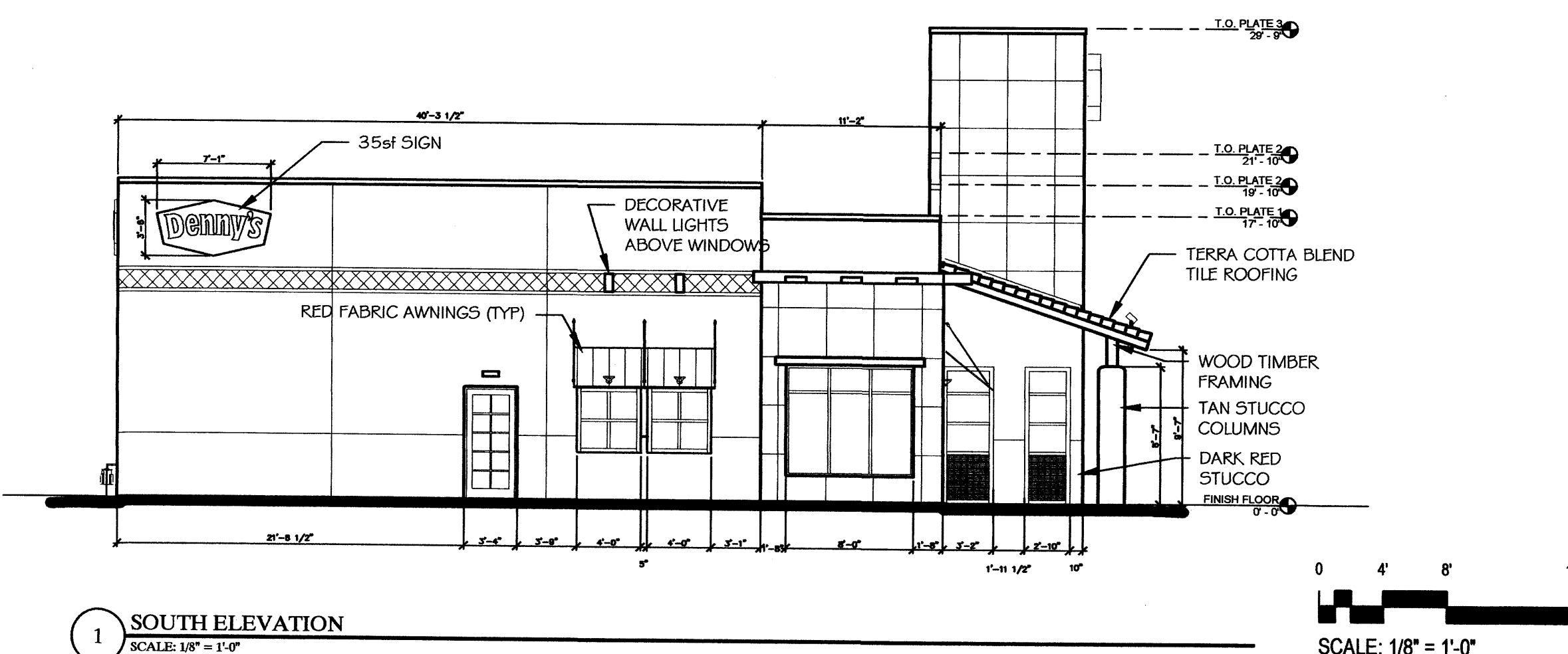
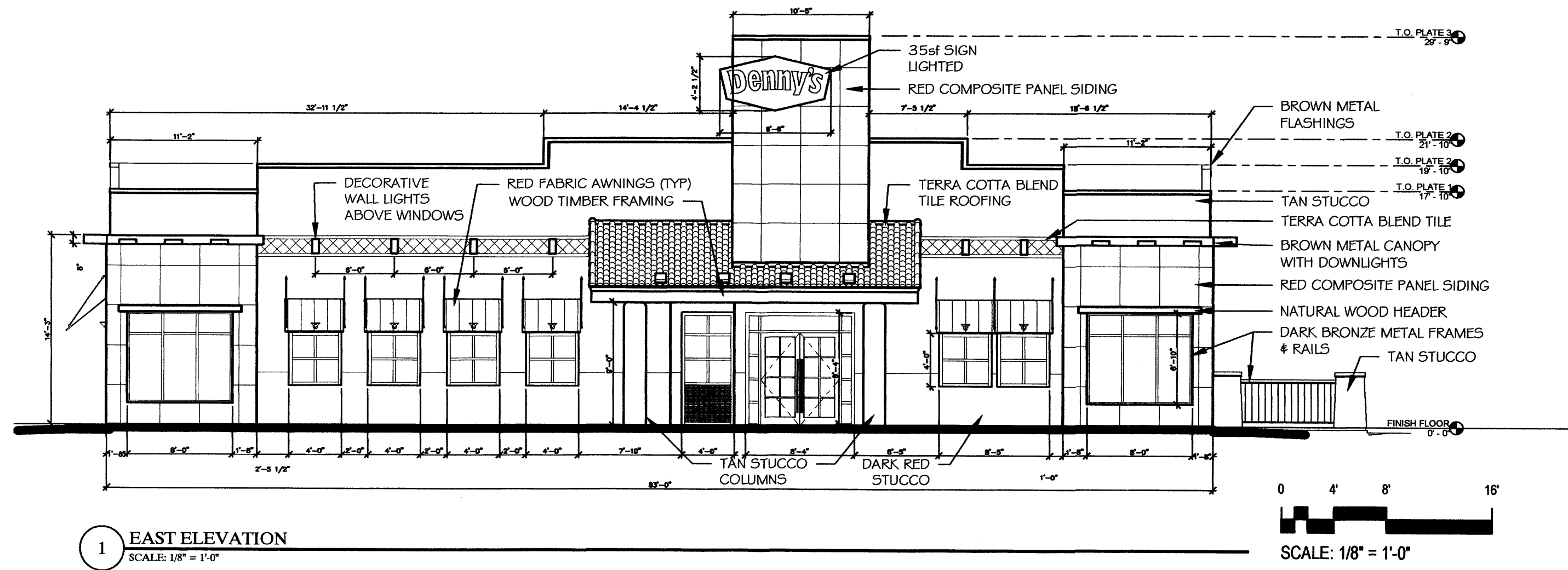
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**DENNY'S RESTAURANT  
 BROADSTONE TOWN CENTER**

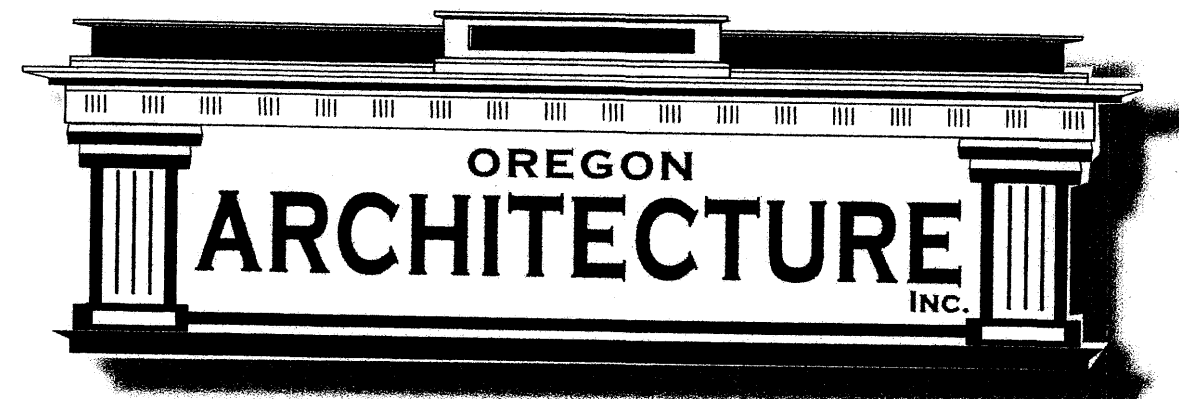
**SITE UTILITY PLAN**

Date:	11/20/13	Drawn By:	DEC	Checked By:	FCA
No. / Revision:		Scale:		Job No.:	1995
					<b>CU-101</b>
					<b>SHEET X</b>

JUL15:11 504-1392-11 11/20/13 10:00:13 10/20/13 10:00:13 10/20/13 10:00:13



SIGNAGE AREAS BY ELEVATION	
NORTH: 1001sf FACADE x 6% = 60sf ALLOWABLE	35sf ACTUAL
SOUTH: 1001sf FACADE x 6% = 60sf ALLOWABLE	35sf ACTUAL
EAST: 1769sf FACADE x 6% = 106sf ALLOWABLE	35sf ACTUAL
WEST: 1659sf FACADE x 6% = 100sf ALLOWABLE	35sf ACTUAL



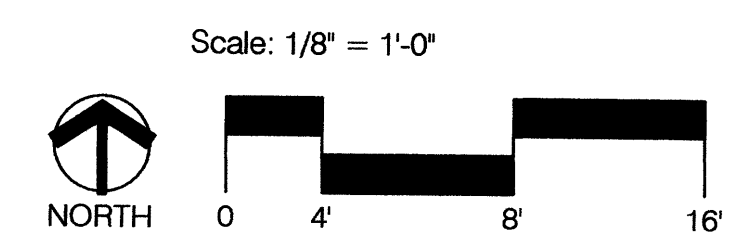
## DENNY'S @ BROADSTONE TOWNE CENTER

SITE FOR DEVELOPMENT PERMIT

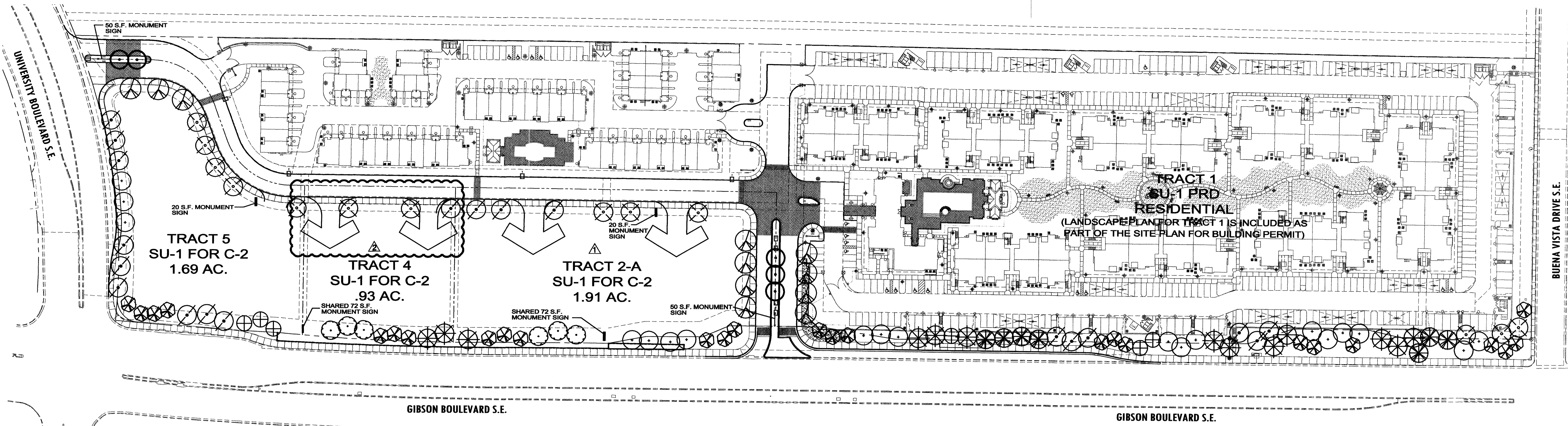
Prepared for:  
Coast/SVN Commercial  
Real Estate Services  
2829 Rucker Avenue, Suite 100  
Everett, WA 98201

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

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Albuquerque, NM 87108

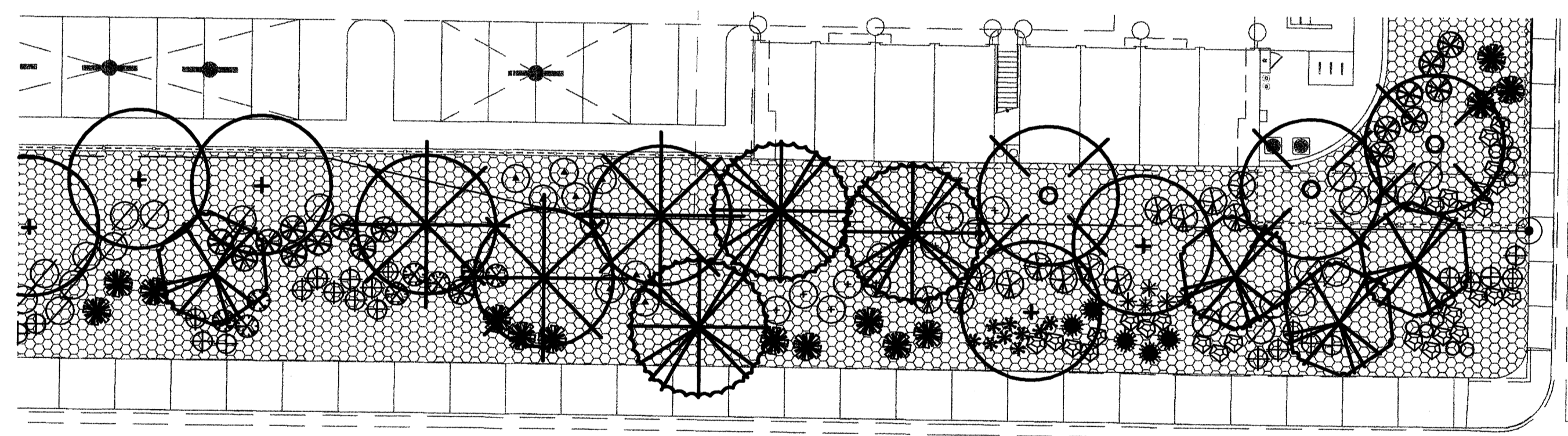


September 26, 2013

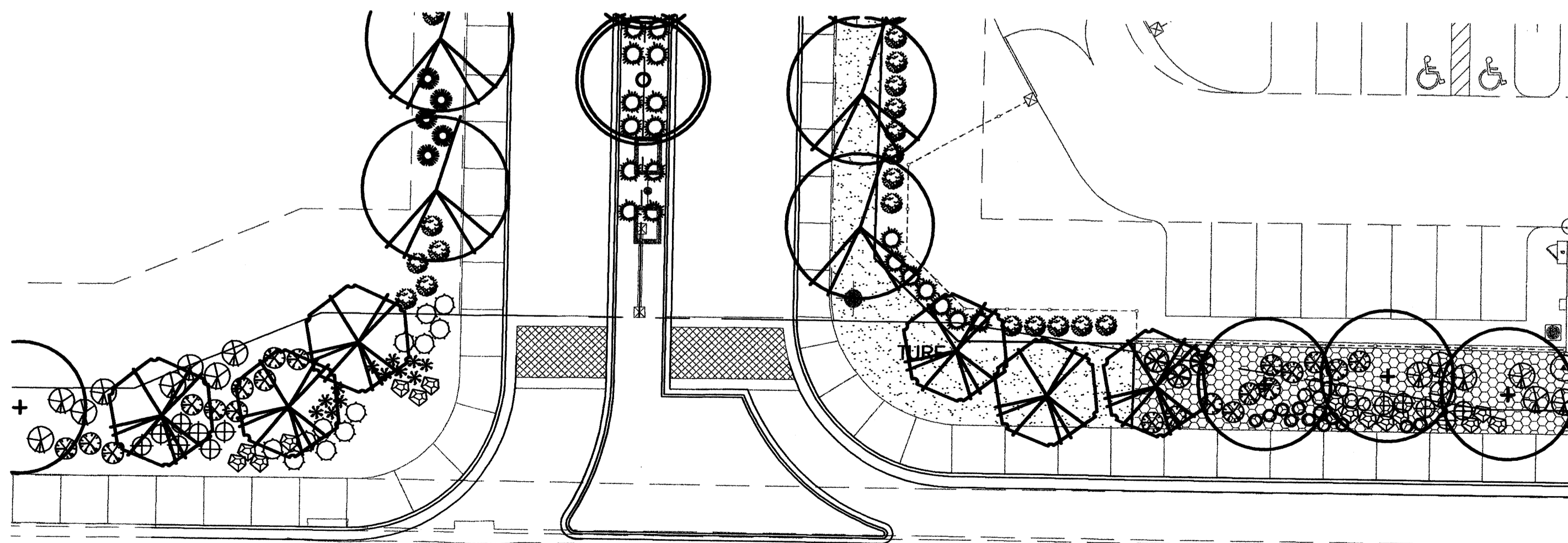


**LANDSCAPE PALETTE**

Qty	Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
<b>Trees</b>					
28	(Symbol)	Chitalpa tashkentensis 'Pink Dawn' / Chitalpa	2' B&B	20' x 25'	Low+
21	(Symbol)	Koeberuteria paniculata / Goldenrain Tree	2' B&B	25' x 25'	Medium
19	(Symbol)	Pistacia chinensis / Chinese Pistache	2' B&B	60' x 60'	Medium
13	(Symbol)	Pinus nigra / Austrian Pine	8' B&B	35' x 25'	Medium
6	(Symbol)	Quercus fusiformis / Escarpment Live Oak	2' B&B	25' x 25'	Medium
11	(Symbol)	Robinia x ambigua / Purple Robe Locust	2' B&B	40' x 30'	Medium
14	(Symbol)	Celtis pallida / Desert Hackberry	2' B&B	40' x 40'	Low
6	(Symbol)	Vitex agnus-castus / Chaste Tree	15 Gal.	20' x 20'	Medium
5	(Symbol)	Chilopsis linearis / Desert Willow	2' B&B	20' x 25'	Low+
7	(Symbol)	Prosopis velutina / Velvet Mesquite	5 Gal.	20' x 25'	Low
<b>Shrubs/Groundcovers</b>					
	(Symbol)	Artemisia X Powis Castle / Powis Castle Sage	1 Gal.	24" x 48"	Low +
	(Symbol)	Caryopteris clandonensis / Blue Mist	5 Gal.	48" x 48"	Medium
	(Symbol)	Chrysanthemum nauseosus / Chamisa	5 Gal.	60" x 60"	Low
	(Symbol)	Cytisus x 'Lena' / Lena's Broom	1 Gal.	36" x 42"	Low +
	(Symbol)	Ericameria laricifolia / Dwarf Turpentine Bush	1 Gal.	36" x 48"	Low +
	(Symbol)	Erysimum linifolium / Wallflower Bowles' Mauve	5 Gal.	24" x 36"	Medium
	(Symbol)	Fallugia paradoxa / Apache Plume	5 Gal.	60" x 60"	Low
	(Symbol)	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	5 Gal.	24" x 36"	Medium
	(Symbol)	Perovskia atriplicifolia / Russian Sage	1 Gal.	60" x 60"	Medium
	(Symbol)	Buddleia 'Lochinch' / Lavender Butterfly Bush	5 Gal.	48" x 36"	Medium
	(Symbol)	Raphiolepis indica / India Hawthorn	5 Gal.	36" x 48"	Medium
	(Symbol)	Rhus trilobata / Three-leaf Sumac	5 Gal.	24" x 60"	Low+
	(Symbol)	Rosmarinus officinalis / Prostrate Rosemary	5 Gal.	24" x 60"	Low+
	(Symbol)	Salvia greggii / Cherry Sage	5 Gal.	36" x 36"	Medium
	(Symbol)	Verbena rigida / Sandpaper Verbena	1 Gal.	12" x 48"	Low
	(Symbol)	Ornamental Grasses			
	(Symbol)	Helictotrichon sempervirens / Blue Avena Grass	1 Gal.	24" x 12"	Medium
	(Symbol)	Muhlenbergia capillaries 'Regal Mist' / Muhy Grass	5 Gal.	36" x 36"	Medium
	(Symbol)	Nassella tenuissima / Threadgrass	1 Gal.	24" x 24"	Low+
	(Symbol)	Accents			
	(Symbol)	Dasyllion wheeleri / Sotol	5 Gal.	48" x 48"	Low+
	(Symbol)	Hesperaloe parviflora / Red/Yellow Flowering Yucca	1 Gal.	36" x 48"	Low+
	(Symbol)	Nolina microcarpa / Beargrass	5 Gal.	60" x 60"	Low+
	(Symbol)	Park Blend Sod (40% Tall Fescue, 40% Perennial Ryegrass, 20% Kentucky Bluegrass Sod)			
	(Symbol)	Seasonal Annuals			
	(Symbol)	Cobble Mulch 2"-4" Ironstone Cobble			
	(Symbol)	Moss Rock Boulders (3" average diameter)			



TYPICAL LANDSCAPE TREATMENT ALONG GIBSON BOULEVARD  
SCALE: 1" = 20'



TYPICAL LANDSCAPE TREATMENT AT GIBSON BOULEVARD ENTRY DRIVE  
SCALE: 1" = 20'

**NOTE:**  
This Landscape Plan covers the perimeter of the site at Gibson and University Boulevards and the internal roadway along the commercial side.

**LANDSCAPE DESIGN**  
Due to the scale of the 50th scale plan, specific shrub species are not identified by symbol. Please see the enlarged typical area plans at the bottom of the sheet. These enlargements illustrate the design intent and intensity of plant materials. The Landscape Plan associated with this Site Plan for Subdivision addresses the landscape areas along Gibson Boulevard, University Boulevard, and the internal street as illustrated. A separate Site Plan for Building Permit for Tract 1 (residential) is being submitted simultaneously to this submittal and addresses the landscape for that area in more detail. The actual provided quantity will be sufficient to meet the design intent and landscape coverage requirements of the City Zoning Code.

**MULCHES**  
All shrub planting areas shall be top dressed with 7/8" Santa Fe Brown Rock Mulch. 2" - 4" Ironstone Cobble will be used as an accent mulch in certain areas.

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be sized and designed to sufficiently irrigate turf areas and tree, shrub and groundcover planting areas.

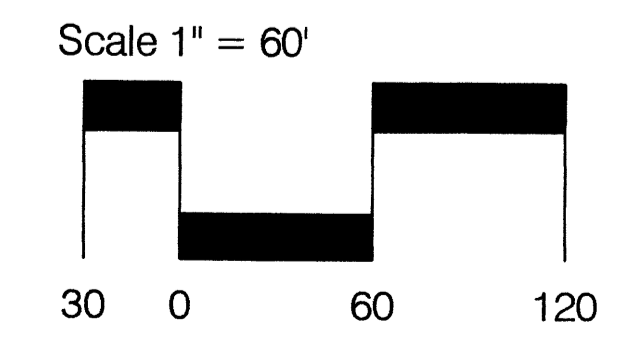
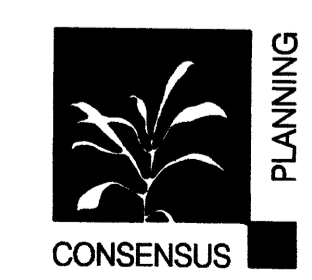
**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

**STATEMENT OF WATER WASTE**  
The Landscape Plan for Broadstone Towne Center shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area (see Park Blend Sod under Landscape Palette).

# LANDSCAPE PLAN BROADSTONE TOWNE CENTER

Prepared for:  
Alliance Residential  
2415 E. Camelback, Suite 600  
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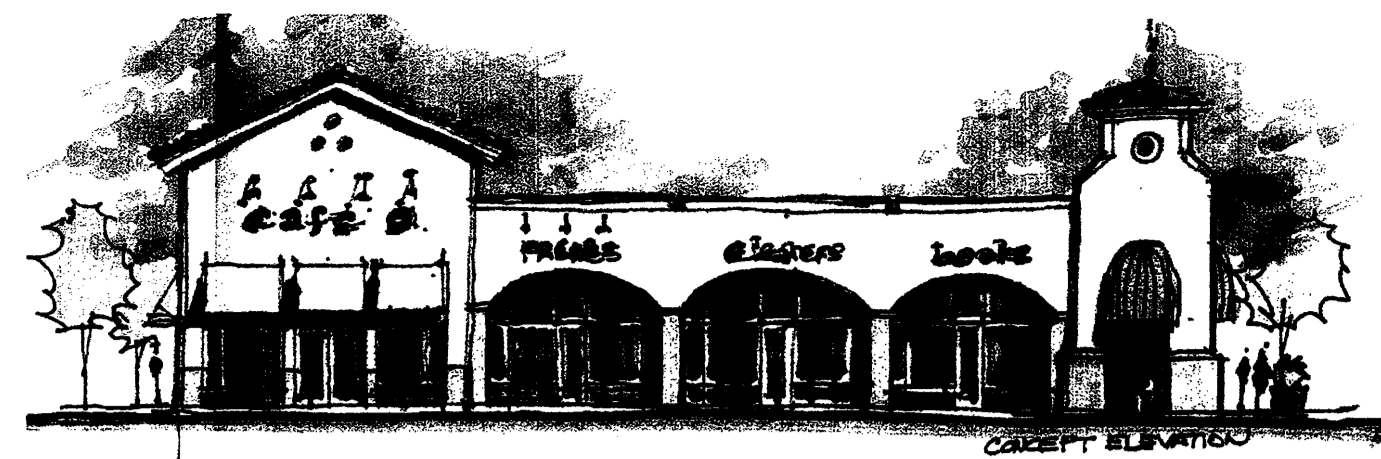
Prepared by:  
Consensus Planning, Inc.  
George Rainhart & Associates  
ORB Architecture, LLC  
High Mesa Consulting Group



October 23, 2012

December 10, 2013





## BROADSTONE TOWNE CENTER DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The Design Standards shall be used to facilitate the design of buildings which respect the existing site conditions and the character and land uses of the adjacent properties and neighborhoods.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Broadstone Towne Center. These standards address future commercial projects.

Subsequent Site Plans for Building Permits shall be consistent with the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-18-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

### A. SITE PLANNING

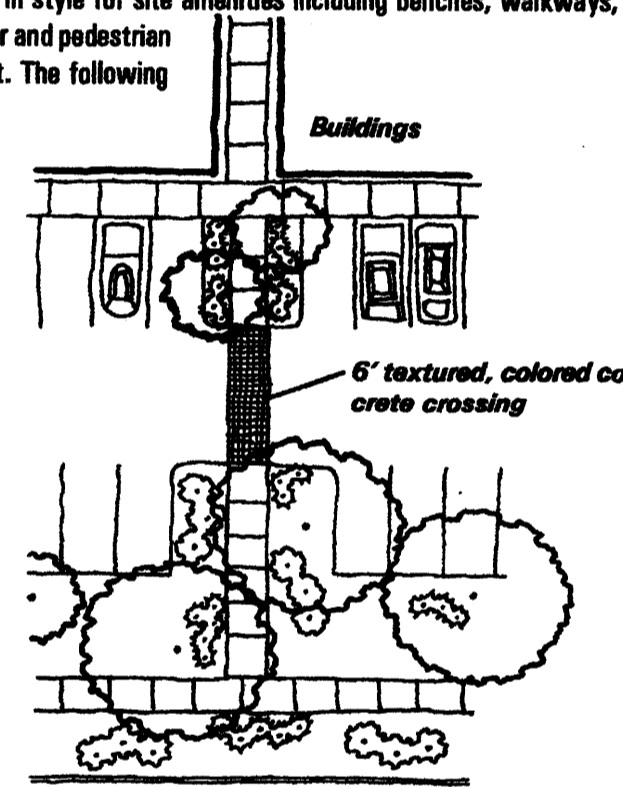
The following standards address the design of outdoor spaces within the commercial areas of Broadstone Towne Center:

- 1) Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- 2) Commercial development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- 3) Each commercial parcel developer shall be required to provide a minimum outdoor plaza space of 300 sf. This area shall have a minimum of 25% shading, provided by a trellis, trees, or umbrellas. Each developer is responsible for providing pedestrian walkways around the building(s) and connecting the plaza area to adjacent developments.
- 4) Drive-up and pick-up windows shall be oriented away from pedestrian areas and residentially zoned areas in accordance with Section 14-18-3-18(D)(5) of the Zoning Code. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard and located a minimum of 75 feet from residential uses.

### B. PEDESTRIAN CIRCULATION

The goal for this property is to maintain a high quality and consistency in style for site amenities including benches, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems in order to provide a safe and pleasant environment. The following standards are intended to meet these goals:

- 1) All pedestrian pathways through Broadstone shall be built to City standards.
- 2) The walkway beginning at Gibson Boulevard and running north-south through the site, as well as the walkway running east-west along the internal access roadway, shall be 8 feet wide.
- 3) All pedestrian paths shall be designed to be handicapped-accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design), except where topography makes this unfeasible.
- 4) Pedestrian connections to buildings shall be provided in parking lots with greater than 50 spaces and shall connect to adjacent roadways, sidewalks, and pathways.
- 5) Pedestrian crossings shall be a minimum of 6 feet wide and clearly demarcated with textured, colored concrete where they cross vehicular entrances and drive aisles.



**PARKING** - pedestrian crossings will be provided between parking areas and buildings

### C. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. The intent is to minimize the visual impact of parking facilities. In order to lessen the visual impact, parking facilities shall be broken up into a series of smaller areas as feasible. In addition, the following guidelines shall be applied to parking area design:

- 1) Handicapped parking spaces shall be provided adjacent to building entries.
- 2) Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- 3) Parking areas shall be designed to include a pedestrian link to buildings.
- 4) Off-street parking areas shall be located to the rear or sides of buildings.
- 5) In cases where parking is adjacent to roadways, landscaping for screening purposes shall be required. Screening walls shall be architecturally compatible with the surrounding buildings.
- 6) Off-street parking requirements:
  - Retail and financial businesses shall be required to have five parking spaces per 1,000 sf of leased building area.
  - Sit down restaurants shall have 15 spaces per 1,000 sf of building area. Fast food restaurants shall have 10 spaces per 1,000 sf of building area.
  - One bicycle parking space shall be provided for every 20 parking spaces for cars.
  - Motorcycle parking for each of the commercial parcels shall be per Section 14-18-3-1 Off-Street Parking Regulations of the Comprehensive City Zoning Code.

### D. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms and/or walls.

- 1) Building setbacks for the commercial parcels include:
  - Gibson and University: 20 foot minimum
  - Internal roads: 10 foot maximum, 0 foot minimum
  - Internal side yards: 5 foot minimum

### E. LANDSCAPE

The development of an overall landscape concept shall establish a framework that unifies the property and is appropriate for the nearby neighborhoods. The landscape design emphasizes low and medium water use plant materials. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies.

The following are minimum standards for the development of specific landscape plans:

- 1) These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.
- 2) Street trees shall be provided along roadways at a rate of one tree per 30 linear feet. They may be randomly or regularly placed.
- 3) The developer/owner will be responsible for the installation and maintenance of the landscape on their property. All plant material, including street trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the property owner in a living, attractive condition.
- 4) A minimum of 15 percent of the site area for commercial projects (minus the building square footage) shall be devoted to landscape materials.
- 5) Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- 6) All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- 7) Landscape headers shall be used to separate any turf and groundcover areas.
- 8) To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 9) 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- 10) An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- 11) Minimum plant sizes at time of installation shall be as follows:

Trees	1 1/2 inch caliper, or 10 to 12 feet in height
Shrubs & Groundcovers	1 gallon
Turf grasses	shall provide complete ground coverage within 1 growing season after installation.

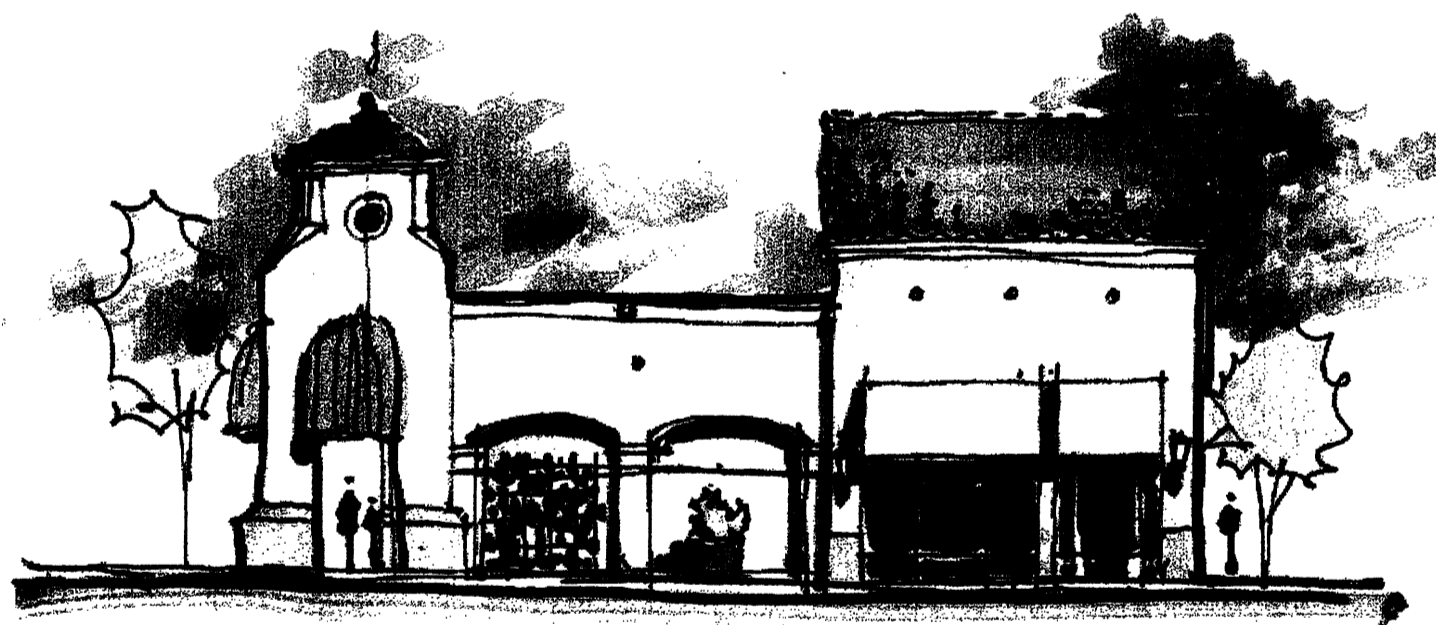


### F. ARCHITECTURE

The architectural design is intended to demonstrate a high quality aesthetic character throughout the property and shall respond to climate, views, solar access, and aesthetic considerations.

#### COMMERCIAL ARCHITECTURAL STYLE

The general architectural character for retail structures is to follow the mission style theme of the residential portions of the development. A concept elevation study for a small retail shops building is provided to illustrate the desired mission style architectural theme. Retail structures may be pitched or flat roofed. Pitched roof elements shall be roofed with the mission style tile units described in the color palette. Portals (covered walkways) and other building appendages may be roofed with mission style units. These roofs shall be shed type with the high point abutting the main building wall below the top of the parapet. Cornice treatment is to be used at top of parapet walls and at eaves of pitched roof elements.



The following are minimum architectural standards for the commercial development:

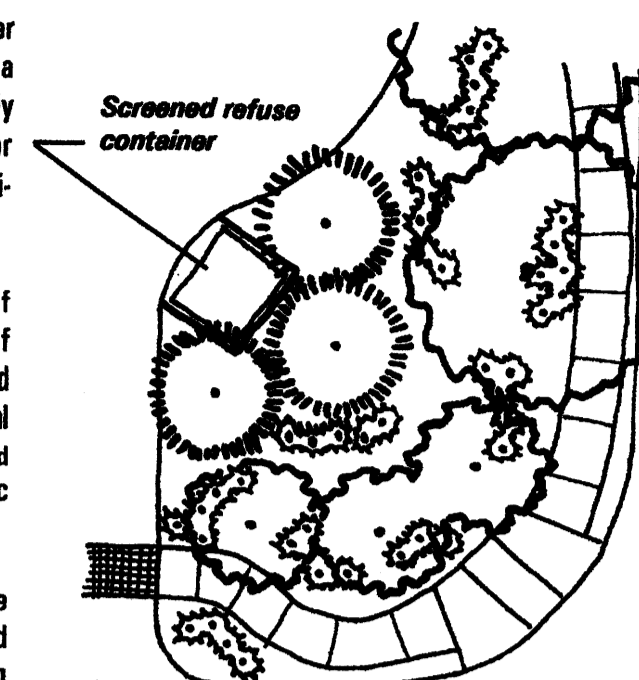
- 1) Maximum building height is limited to 40 feet. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.
- 2) Commercial buildings shall comply with Section 14-18-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- 3) Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed the allowable sign area of building wall. Illumination of awnings shall be from pendant mounted fixtures located above the awning. Accent colors on awnings shall be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.
- 4) Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.
- 5) No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings shall be made of cloth.
- 6) Entryways to commercial buildings shall be clearly defined.
- 7) No freestanding cell towers or antennas are allowed; rather antenna shall be integrated with the building architecture.
- 8) Roofs may be flat, pitched (tile), or a combination of both and shall be made of non-reflective materials. Roof tile color shall be terra-cotta blend. Building finish will be stucco and color shall be taupe or sand; trim shall be brown.
- 9) Generic franchise architecture is prohibited.

### G. SCREENING / BUFFERING

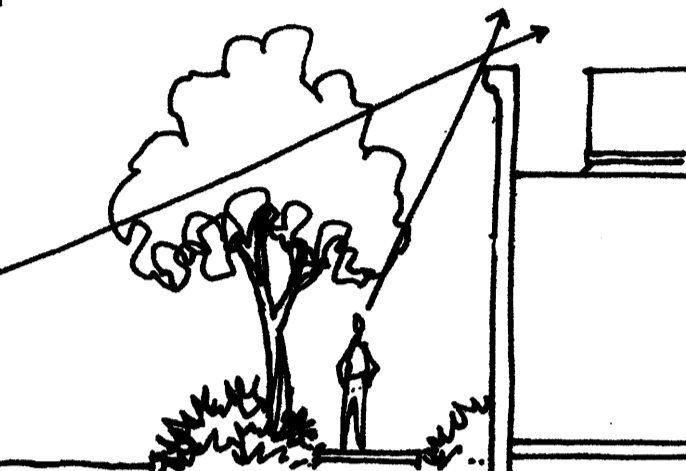
The effective use of screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and mechanical equipment is essential to limit their adverse visual impact on the property. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

Perimeter fencing is allowed on the property; however, the site designer shall lessen its visual impact through landscaping, meandering within a landscape area, or providing openings. Walls and fences shall comply with Section 14-18-3-18, General Height and Design Regulations for Walls, Fences, and Retaining Walls or these Design Standards as specified below.

- 1) All mechanical/roof-top equipment shall be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical equipment can be observed from the residential area, horizontal screening per the conceptual sketch is required. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- 2) Service areas such as refuse locations and compactors shall be screened from the view of the adjacent residential area, and public rights-of-way. Refuse enclosures shall be gated. Screening material shall match building wall color and material.
- 3) Unfinished block walls and barbed wire, chain link, concrete wire, and plastic/vinyl fencing are prohibited.
- 4) Clear sight distances for safety purposes will be maintained at all driveway locations.
- 5) The maximum height of retaining walls is 8 feet. Areas requiring greater retention shall be terraced with a 4 foot horizontal separation between walls.
- 6) Drive-up windows shall be screened with a 5 foot high opaque wall and 5 foot wide (minimum) landscape area with evergreen plant materials on the pedestrian or residential side. A berm of the same height as the wall may be provided in lieu of the wall.



**REFUSE CONTAINERS** - shall be screened by a 6 foot tall enclosure and plant materials



**MECHANICAL SCREENING** - should be screened from public view by the wall

### H. LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- 1) All lighting shall comply with Section 14-18-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- 2) Site lighting for pad structures is to match the site lighting provided for the main commercial parking area.
- 3) Commercial parking area lighting shall not exceed 20 feet from the top of the pole to finished grade. Parking lot lights within 100 feet of residential areas shall be a maximum of 18 feet high from finished grade to the top of the pole.
- 4) Exposed, unshielded light fixtures are prohibited. All lamps shall be full cut-off fixtures with down lighting only.
- 5) Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- 6) The location of light fixtures shall be identified on subsequent Site Plans for Building Permit.
- 7) Area lighting shall be restricted to a maximum off-site luminance of 1,000 foot-lamberts from any point and maximum of 200 foot-lamberts from any residential property line.
- 8) Accent lighting is permitted, however surface lighting is limited to an average of 2 foot-candles measured 4 feet from the surface level of any point on the building surface being illuminated. Building-mounted lights must point downward. Uplighting is prohibited.

### I. UTILITIES

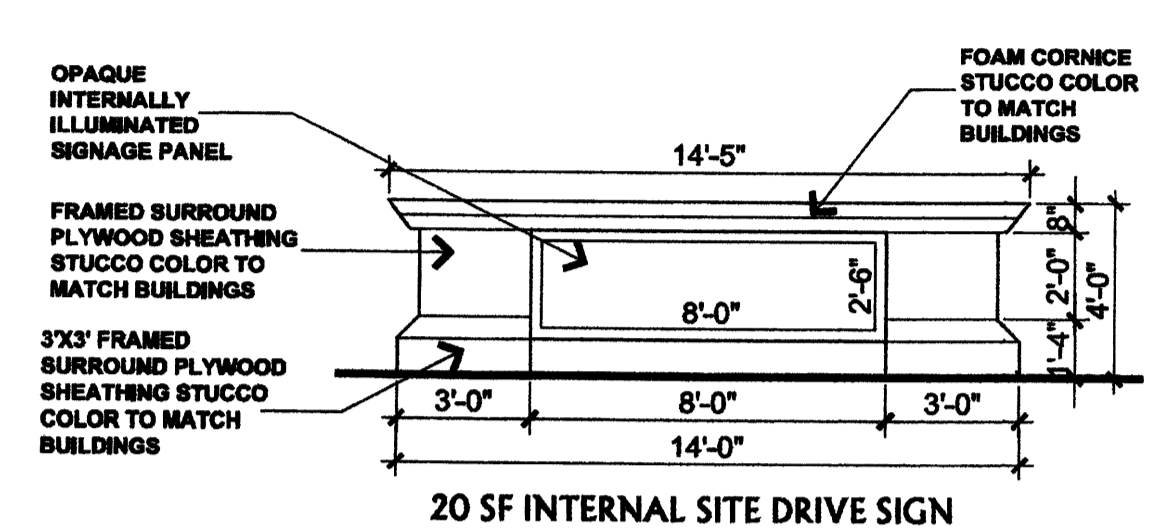
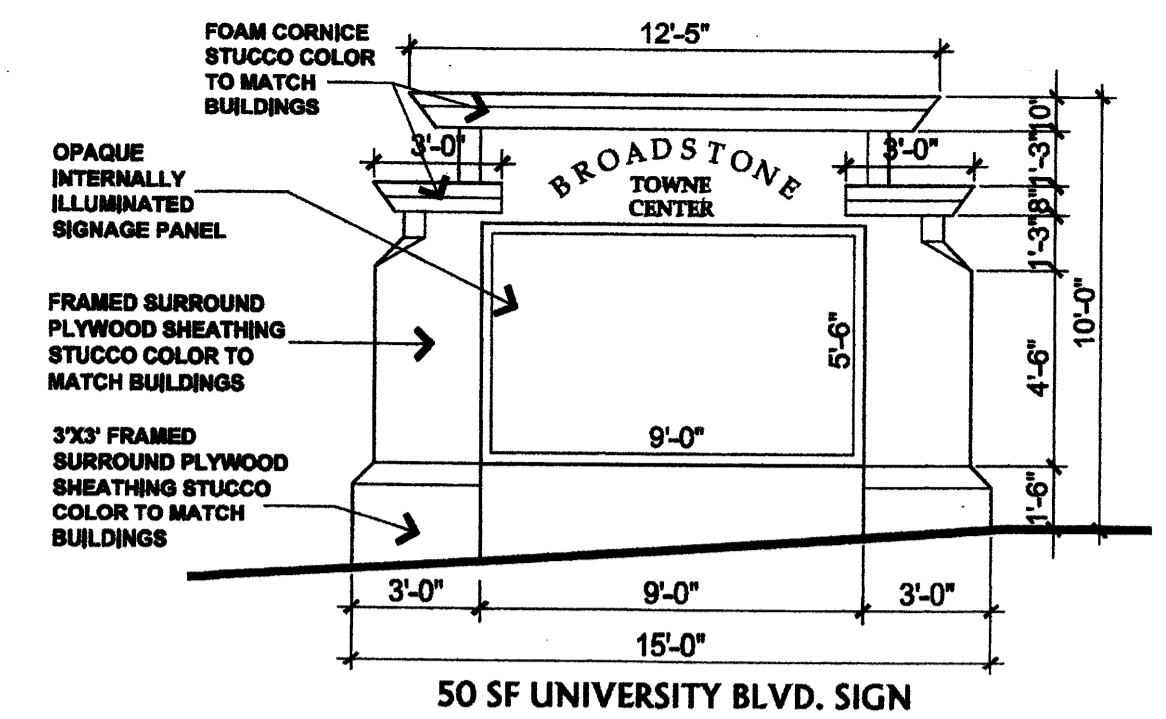
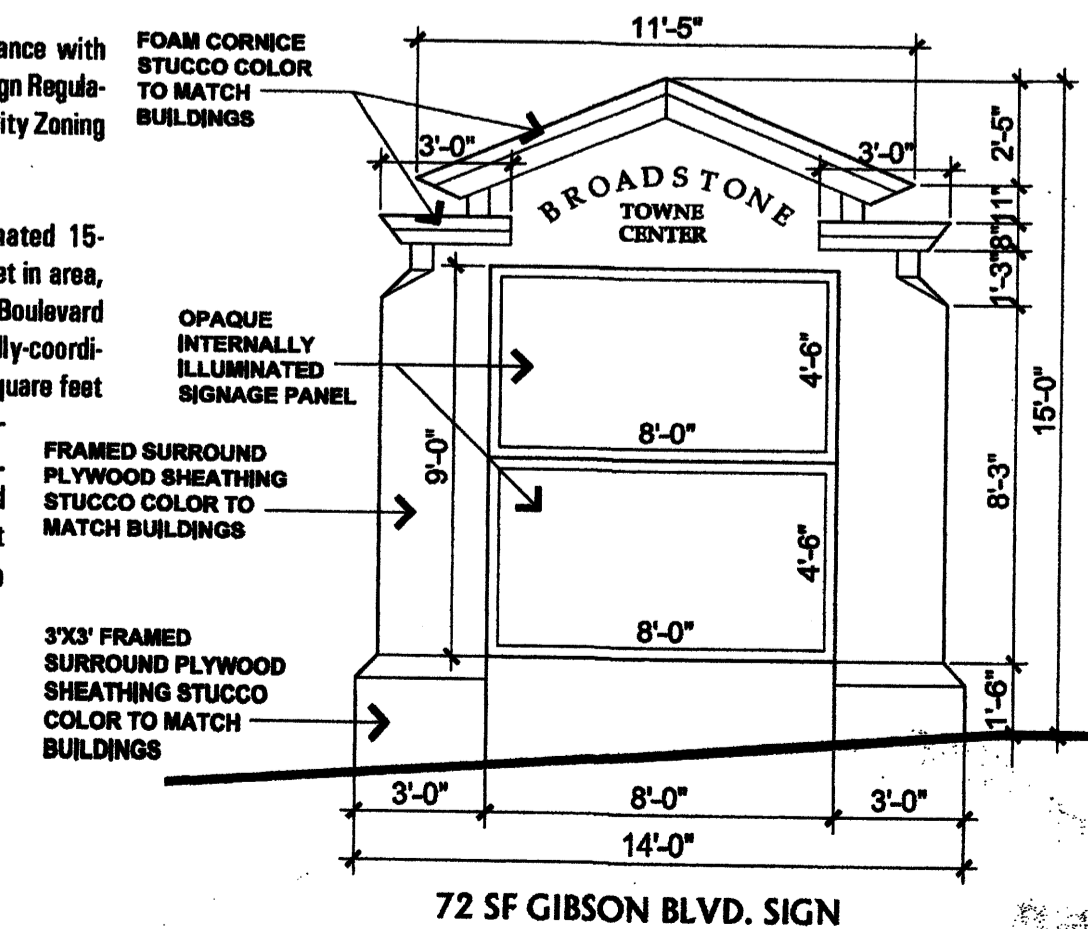
To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- 1) Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- 2) When an above-ground back flow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

### J. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within the Broadstone Towne Center. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

- 1) All signs shall be in compliance with Section 14-18-3-5 General Sign Regulations of the Comprehensive City Zoning Code.
- 2) Two architecturally-coordinated 15-foot tall signs, 72 square feet in area, are allowed for the Gibson Boulevard frontage. One architecturally-coordinated 10-foot tall sign, 50 square feet in area, is allowed on the University Boulevard frontage. Each building pad is permitted to have one 20 square foot monument sign adjacent to the internal site drive.



- 3) All building-mounted signage shall be individual type lettering not to exceed 6 percent of each building elevation facade.

All signs shall be of individual letters. The following types of letters are acceptable:

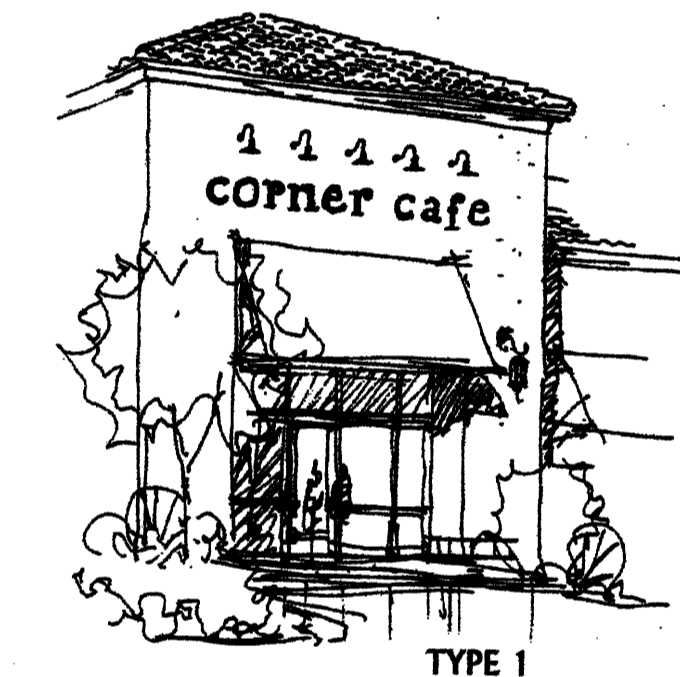
**Type 1:** Opaque lettering indirectly illuminated by goose neck type lighting

**Type 2:** Channel letters internally illuminated with letter sides to match letter face colors

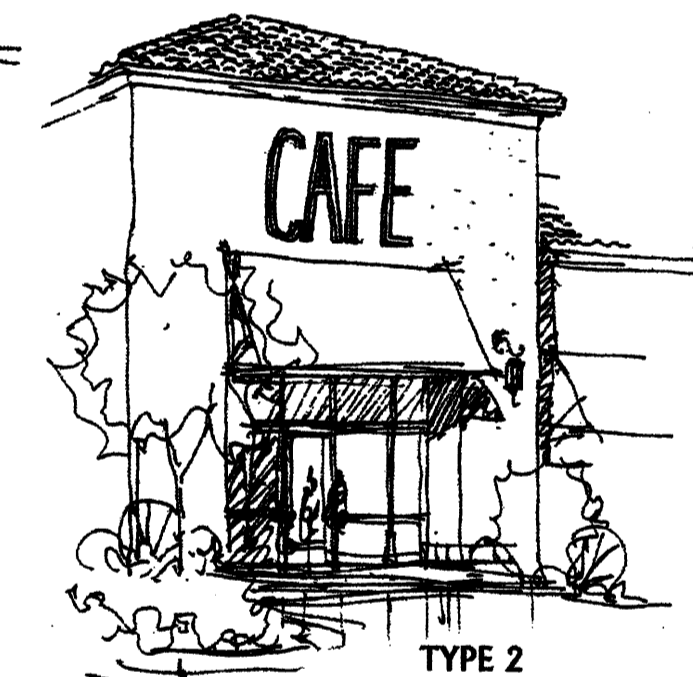
**Type 3:** Same as 2 except halo lit

**Type 4:** halo lit letters cut out of solid metal background spaced off the face of the building

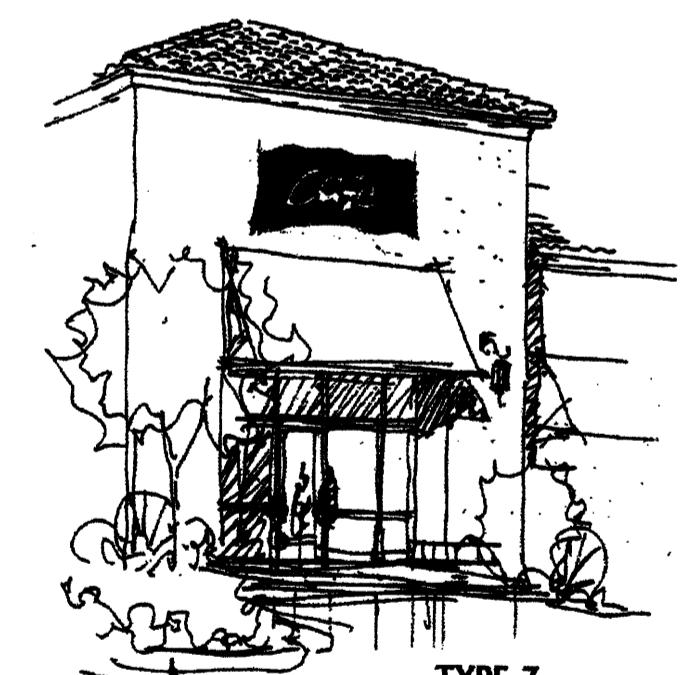
Can type signs are prohibited. Any special logos associated with a specific tenant shall be provided in a non-illuminated fashion for specific approval.



TYPE 1



TYPE 2



TYPE 3

**BUILDING-MOUNTED SIGNS**

## SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

Prepared for:  
Alliance Residential  
2415 E. Camelback, Suite 800  
Phoenix, AZ 8501

October 4, 2007

Prepared by:  
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Sheet 3 of 3