

PROJECT NUMBER: 1005243  
APPLICATION NUMBER: 09 DRB 70287

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 26, 2009 (rev.) and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-Of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i>	09/28/09
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	9-7-09
Water Utility Department	Date
<i>[Signature]</i>	9/6/09
Parks and Recreation Department	Date
<i>[Signature]</i>	9/9/09
City Engineer	Date
N/A	
Environmental Health Department (conditional)	Date
N/A	
Solid Waste Management	Date
<i>[Signature]</i>	9/9/09
DRB Chairperson, Planning Department	Date

**SIDEWALK LEGEND**

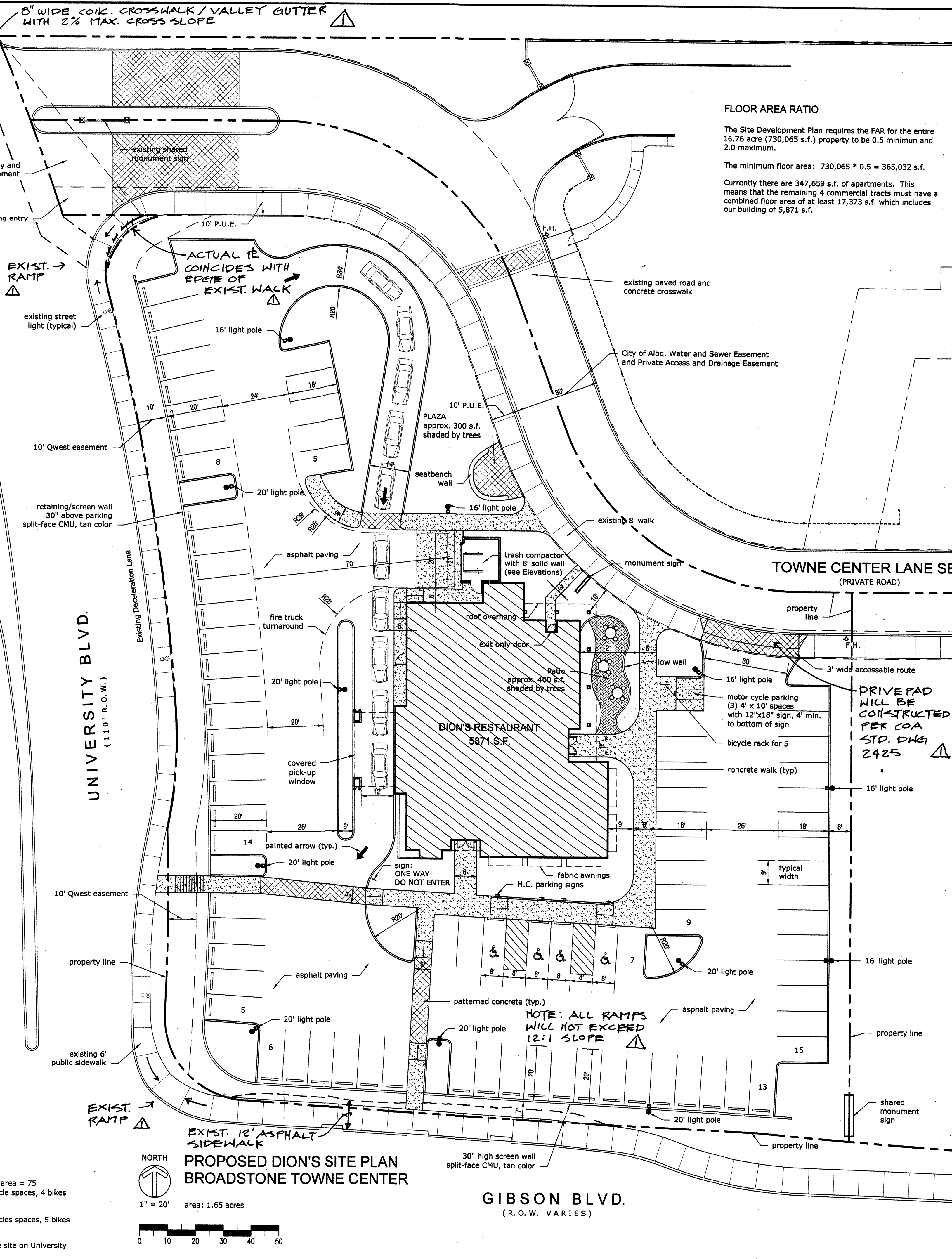
- Cross walks are to match existing Center - brown concrete with stamped, random paver pattern
- Gray concrete with broom finish
- Pavers in the Patio area, porous

**PARKING REQUIREMENTS**

Required Spaces:  
15 spaces per 1000 s.f. of building area = 75  
Including 4 H.C. spaces, 3 motorcycle spaces, 4 bikes

Provided Spaces:  
82 spaces  
including 4 H.C. spaces, 3 motorcycles spaces, 5 bikes

Note: There are bus stops north of the site on University and east of the site on Gibson



**FLOOR AREA RATIO**

The Site Development Plan requires the FAR for the entire 16.76 acre (730,065 s.f.) property to be 0.5 minimum and 2.0 maximum.

The minimum floor area: 730,065 \* 0.5 = 365,032 s.f.

Currently there are 347,659 s.f. of apartments. This means that the remaining 4 commercial tracts must have a combined floor area of at least 17,373 s.f. which includes our building of 5,871 s.f.

**Dion's**  
FOR THE LOVE OF FOOD

Alexander Harrison  
Architect

Peter-Defries Corp.  
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**Dion's at Broadstone Towne Center**  
University and Gibson, Albuquerque, New Mexico

Project No: 804

Date: June 4, 2009

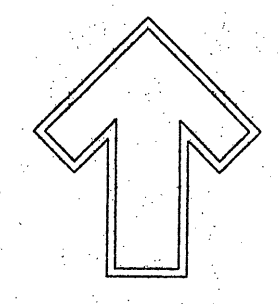
Revisions:  
5 JUN 09 - Add texture and dimensions to sidewalks  
26 JUN 09 - Correct parking calculations, add FAR, add Seat Bench detail

DRB COMMENTS

Sheet Title:  
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

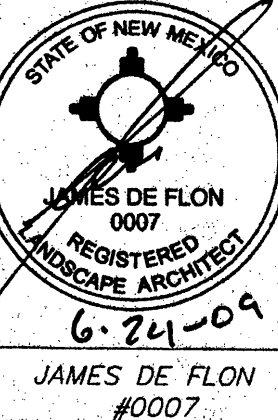
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**1**

1005243



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LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

DION'S BROADSTONE TOWNE CENTER  
UNIVERSITY AND GIBSON, ALBUQUERQUE, NM  
LANDSCAPE PLAN

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**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: mtc  
REVISION # 6-25-09  
DATE 6-2-09

SHEET # L1 of L2

### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	71885	square feet
TOTAL BUILDINGS AREA	6020	square feet
NET LOT AREA	65865	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	9880	square feet
TOTAL BED PROVIDED	16127	square feet
GROUND COVER REQ.	75%	
TOTAL GROUND COVER REQUIREMENT	12075	square feet
TOTAL GROUND COVER PROVIDED	12110 (75%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	16127 (24%)	square feet

### PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

**CHINESE PISTACHE 14**  
*Pistacia chinensis*  
2" Cal., 12-14' Inst./60' x 60' maturity  
Water (M) Allergy (H) Osf

**ASH 7**  
*Fraxinus spp.*  
2" Cal., 12-14' Inst./60' x 60' maturity  
Water (M+) Allergy (H) Osf

**WESTERN HACKBERRY 4**  
*Celtis occidentalis*  
15 Gal., 4-10' Inst./40' x 40' maturity  
Water (M) Allergy (L) Osf

**VITEX 2**  
*Vitex agnus-castus*  
2" Cal., 12-14' Inst./20' x 20' maturity  
Water (M) Allergy (L) 225sf

**APACHE PLUME 24**  
*Fallugia paradoxa*  
5 Gal., 18"-3' Inst./6' x 7' maturity  
Water (L) Allergy (L) 49sf

**THREE-LEAF SUMAC 3**  
*Rhus trilobata*  
5 Gal., 18"-3' Inst./6' x 6' maturity  
Water (L+) Allergy (L) 36sf

**INDIAN HAWTHORN 50**  
*Raphiolepis indica*  
5 Gal., 18"-3' Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf

**RUSSIAN SAGE 32**  
*Perovskia atriplicifolia*  
5 Gal., 18"-3' Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf

**LENA'S BROOM 18**  
*Cytisus x Lena*  
5 Gal., 18"-3' Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf

**BLUE MIST SPIREA 5**  
*Garyopteris glandonensis*  
5 Gal., 12"-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf

**OREGON GRAPE 12**  
*Mahonia aquifolium*  
5 Gal., 12"-3' Inst./2' x 3' maturity  
Water (M) Allergy (L) 9sf

**REGAL MIST 27**  
*Muhlenbergia capillaris*  
5 Gal., 12"-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf

**OVERSIZED GRAVEL**  
4 22 BOULDERS

\* DENOTES EVERGREEN PLANT MATERIAL

**PURPLE ROBE LOCUST 15**  
*Robinia pseudoacacia*  
2" Cal., 8-10' Inst./60' x 50' maturity  
Water (M) Allergy (L) Osf

**AUSTRIAN PINE 3**  
*Pinus nigra*  
6'-8' Inst., 35' x 25' maturity  
Water (M) Allergy (L) Osf

**BEARGRASS 3**  
*Nolina microcarpa*  
5 Gal., 18"-3' Inst./3' x 6' maturity  
Water (L+) Allergy (L) 36sf

**RED YUCCA 10**  
*Hesperaloe parviflora*  
5 Gal., 18"-3' Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf

**CHAMISA 6**  
*Chrysothamnus nauseosus*  
1 Gal., 6'-15' Inst./3' x 3' maturity  
Water (L) Allergy (L) 25sf

**POWIS CASTLE SAGE 13**  
*Artemisia x Powis Castle*  
1 Gal., 6'-15' Inst./2' x 3' maturity  
Water (L+) Allergy (L) 25sf

**TURPENTINE BUSH 13**  
*Ericameria laricifolia*  
1 Gal., 3'-15' Inst./2' x 3' maturity  
Water (L+) Allergy (L) 9sf

**AUTUMN SAGE 24**  
*Salvia greggii*  
1 Gal., 3'-15' Inst./2' x 3' maturity  
Water (M) Allergy (L) 9sf

**BLUE AVENA/OAT GRASS 66**  
*Helictotrichon sempervirens*  
1 Gal., 3'-15' Inst./2' x 3' maturity  
Water (M) Allergy (L) 9sf

**THREADGRASS 42**  
*Stipa tenuissima*  
1 Gal., 3'-15' Inst./2' x 2' maturity  
Water (L+) Allergy (L) 4sf

**WINTER CREEPER 10**  
*Buonymus fortunei*  
1 Gal., 3'-15' Inst./1' x 4' maturity  
Water (M+) Allergy (L) 4sf

**HONEYSUCKLE 30**  
*Lonicera japonica 'Halliana'*  
1 Gal., 6'-15' Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-groundcover

**SANTA FE BROWN GRAVEL**  
WITH FILTER FABRIC  
TO A MINIMUM 3" DEPTH

#### STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Gibson  
Required # 9 Provided # 9

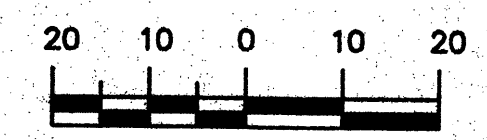
Name of Street: University  
Required # 11 Provided # 11

#### PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

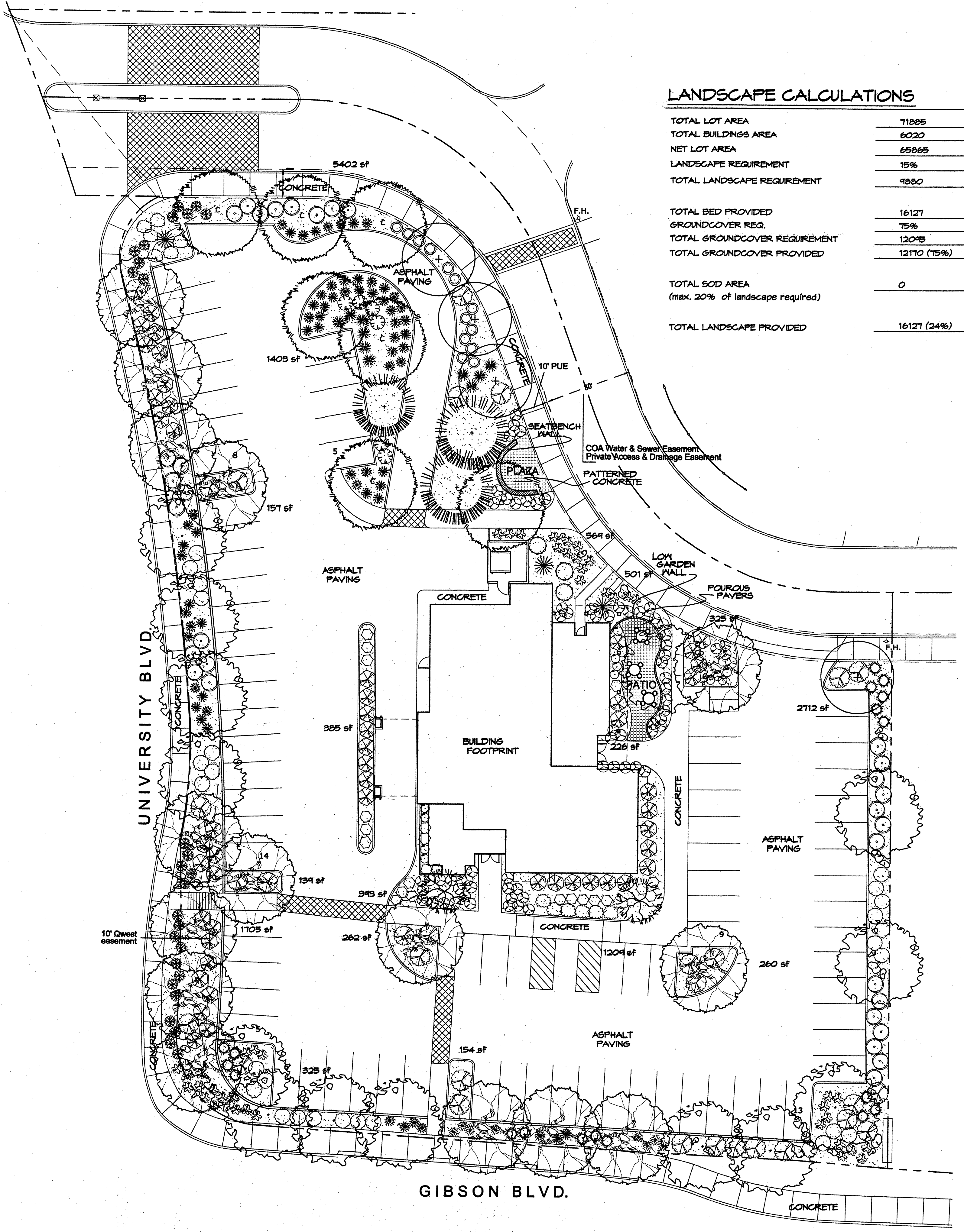
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 9 Provided # 9

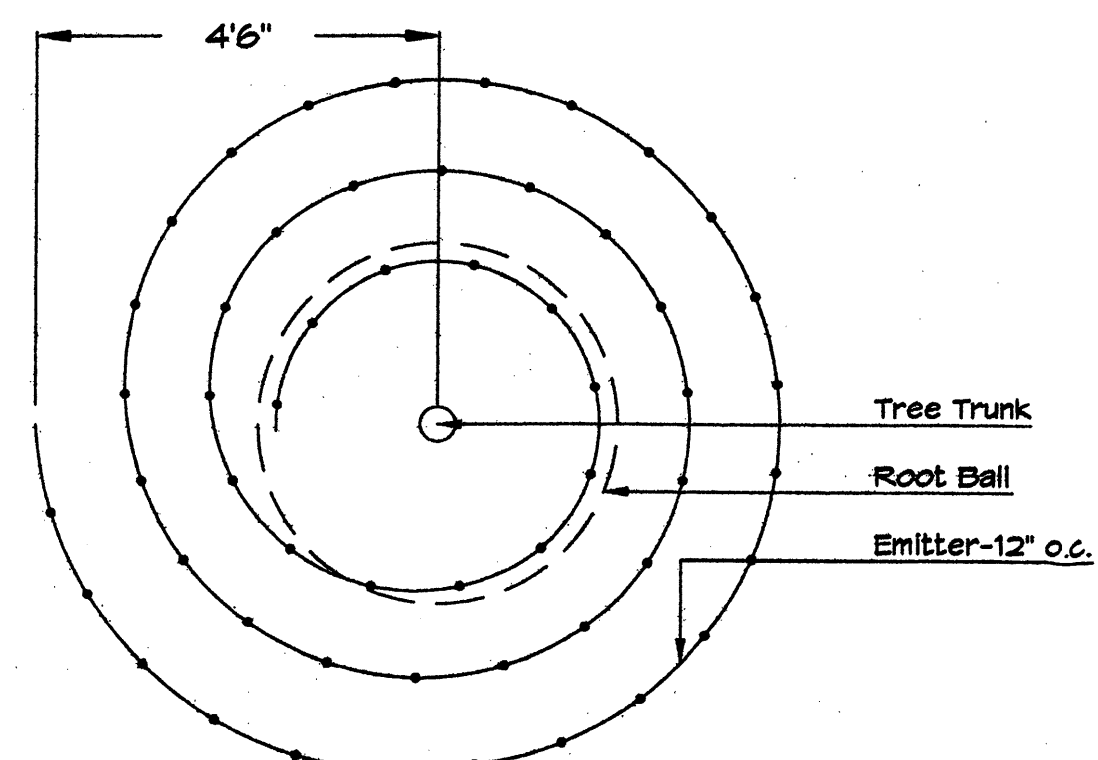
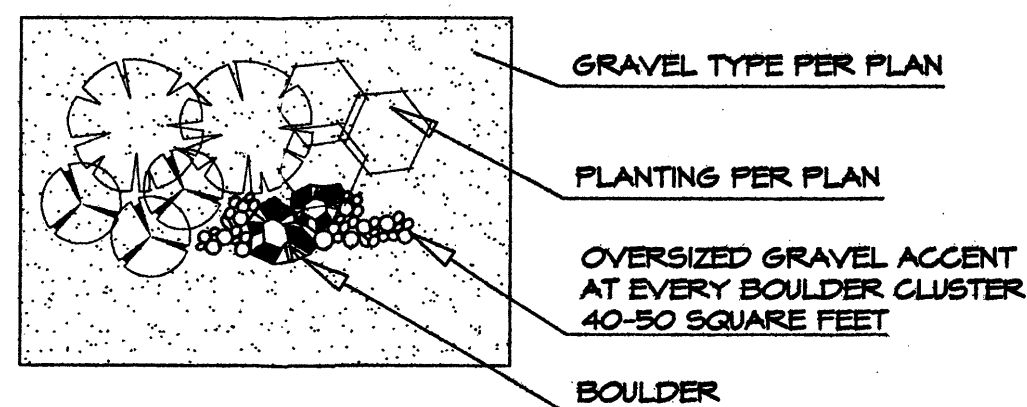
#### GRAPHIC SCALE



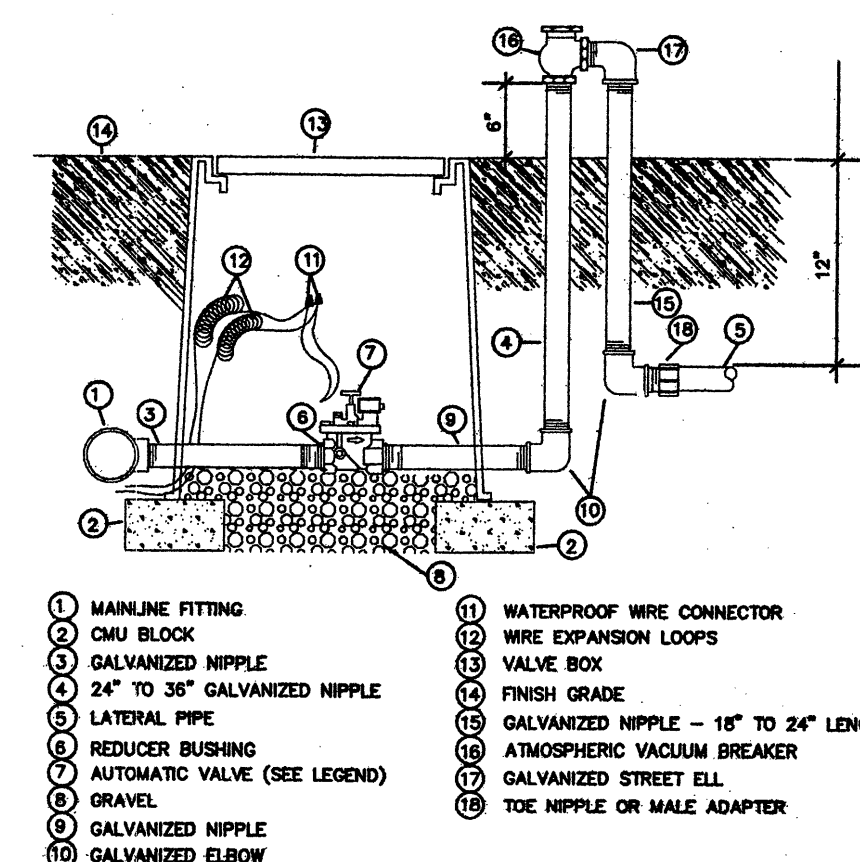
SCALE: 1"=20'



**GRAVEL ACCENT DETAIL**



**Netafim Spiral Detail**



**AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER**

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees, shrubs, groundcovers, wildflowers, etc. in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

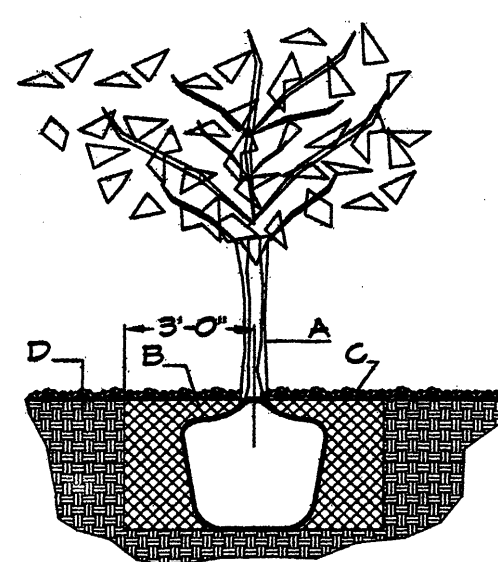
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

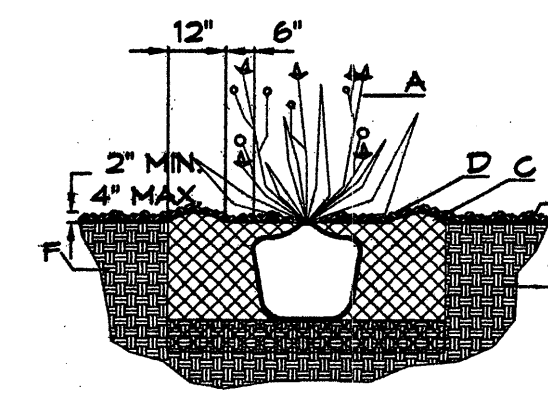
Water and Power source shall be the responsibility of the Developer/Builder.



**TREE PLANTING DETAIL**

**GENERAL NOTES:**  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.



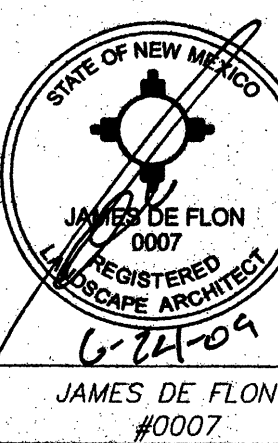
**SHRUB PLANTING DETAIL**

**GENERAL NOTES:**  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**CONSTRUCTION NOTES:**  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.

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LANDSCAPE ARCHITECT'S SEAL



DION'S BROADSTONE TOWNE CENTER  
UNIVERSITY AND GIBSON, ALBUQUERQUE, NM  
LANDSCAPE DETAIL

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DESIGNED BY: mc  
REVISION # 7c  
6-25-09  
DATE: 6-2-09

SHEET #  
L2 of L2

**LEGEND**

ASPH	ASPHALT
C&G	CURB AND GUTTER
CC	CONCRETE CURB
CONC	CONCRETE
FF	FINISHED FLOOR
FL	FIRE HYDRANT
FLW	FLOWLINE
GW	GUY WIRE
INV	INVERT
MH	MANHOLE
M.L.P.	METAL LIGHT POLE
SAS	SANITARY SEWER
SD	STORM DRAIN
SI	STORM INLET
STD	STANDARD
SV	SPRINKLER VALVE
SW	SIDEWALK
SWC	SIDEWALK CULVERT
SWS	SOLID WHITE STRIPE
TA	TOP OF ASPHALT PAVEMENT
TC	TOP OF CURB
TG	TOP OF GRATE
TCO	TOP OF CONCRETE
TS	TRAFFIC SIGN
TSMB	TRAFFIC SIGNAL MAST ARM BASE
TSPB	TRAFFIC SIGNAL PULLBOX
TSW	TOP OF SIDEWALK
TV	TELEPHONE VAULT
TW	TOP OF WALL
VG	VALLEY GUTTER
WF	WOOD FENCE
WL	WATERLINE
WM	WATER METER
WPP	WOOD POWER POLE
WVB	WATER VALVE BOX
X-WALK	CROSSWALK
*	UTILITY MARKER

	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	EXISTING STORM DRAIN MANHOLE
	EXISTING SAS MANHOLE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED SPOT ELEVATION
	EXISTING FLOWLINE ELEVATION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED FLOWLINE
	ROOF DRAINAGE
	RIGHT OF WAY LINE
	PUBLIC EASEMENT LINE
	PROPOSED RETAINING WALL
	HIGH POINT
	TOPOGRAPHIC INFORMATION FROM 01-2007 SURVEY
	PRELIMINARY AS-BUILT ELEVATIONS

**LEGAL DESCRIPTION**  
TRACT 5, BROADSTONE TOWNE CENTER

**EASEMENT KEYED NOTES**

- NEW EASEMENTS**
- ABCWA PUBLIC WATERLINE AND ABCWA PUBLIC SANITARY SEWER EASEMENTS GRANTED BY PLAT 2008C-52.
  - PRIVATE ACCESS EASEMENT GRANTED BY PLAT 2008C-52 TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT IS IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED 03-20-2008, DOCUMENT NO. 2008031640. ALSO, A PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2008C-52 TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT IS IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED 03-20-2008, DOCUMENT NO. 2008031640. NORTH-SOUTH PRIVATE ROAD IS NAMED "BROADSTONE WAY S.E.", WITH AN ENTRANCE OFF GIBSON BOULEVARD S.E. EAST-WEST PRIVATE ROAD IS NAMED "TOWNE CENTER LANE S.E." WITH AN ENTRANCE OFF UNIVERSITY BOULEVARD S.E.
  - PUBLIC ROADWAY AND SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT 2008C-52.
  - NOT USED
  - 10' QWEST CORPORATION EASEMENT GRANTED BY PLAT 2008C-52.
  - 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2008C-52.

**EASEMENTS - OFFSITE**

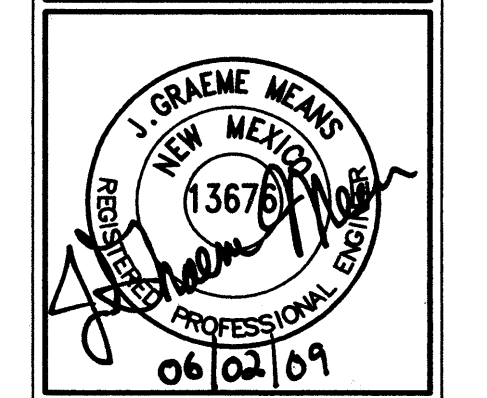
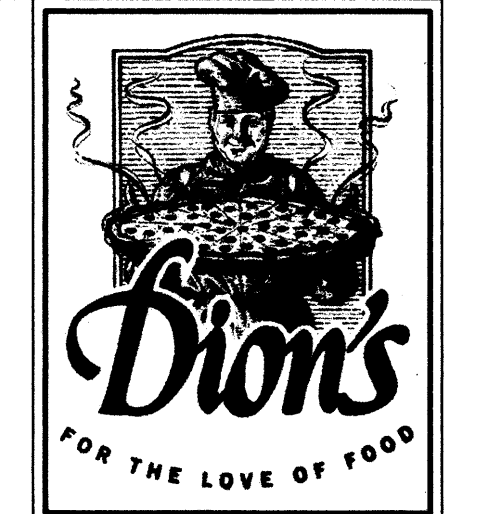
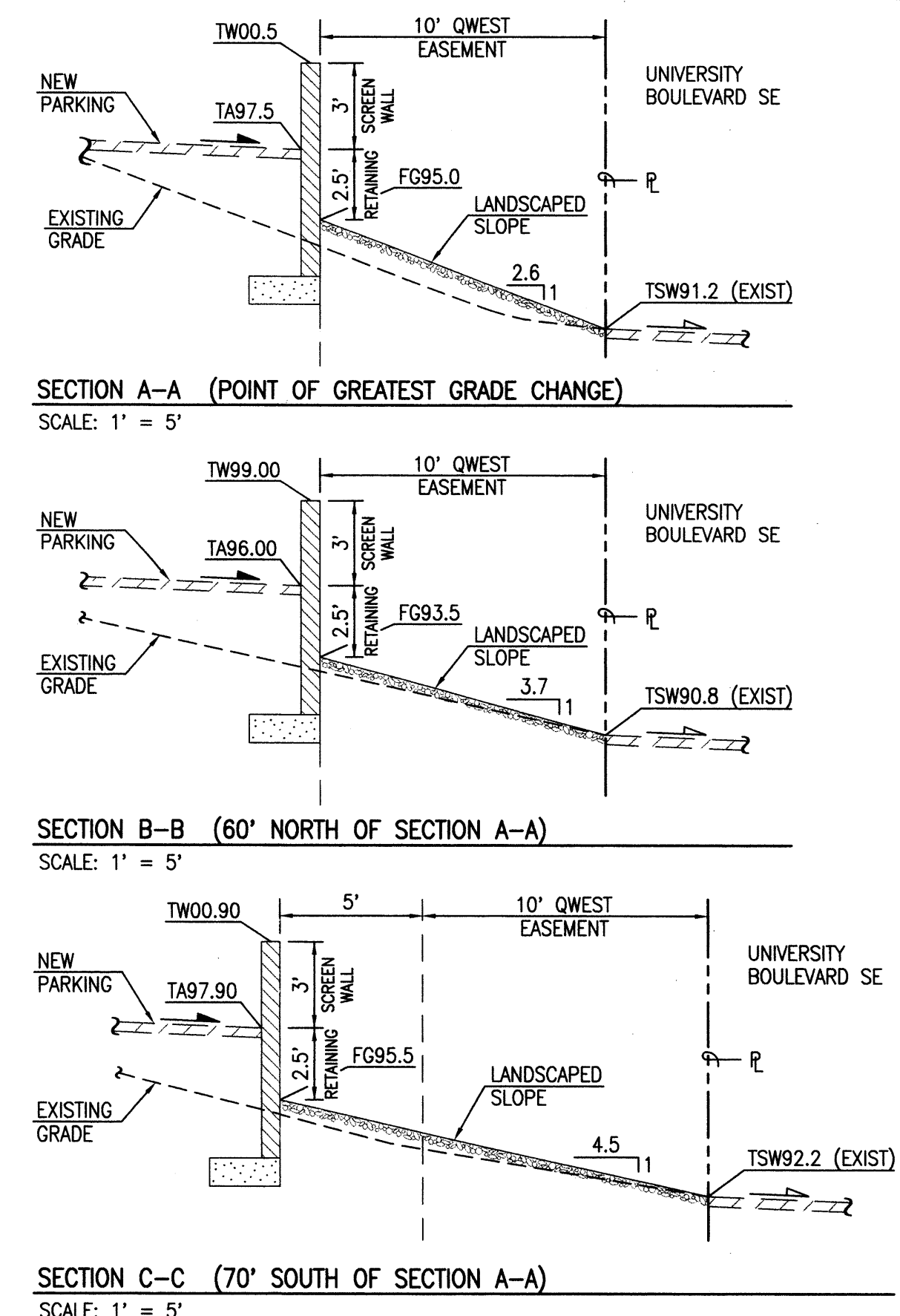
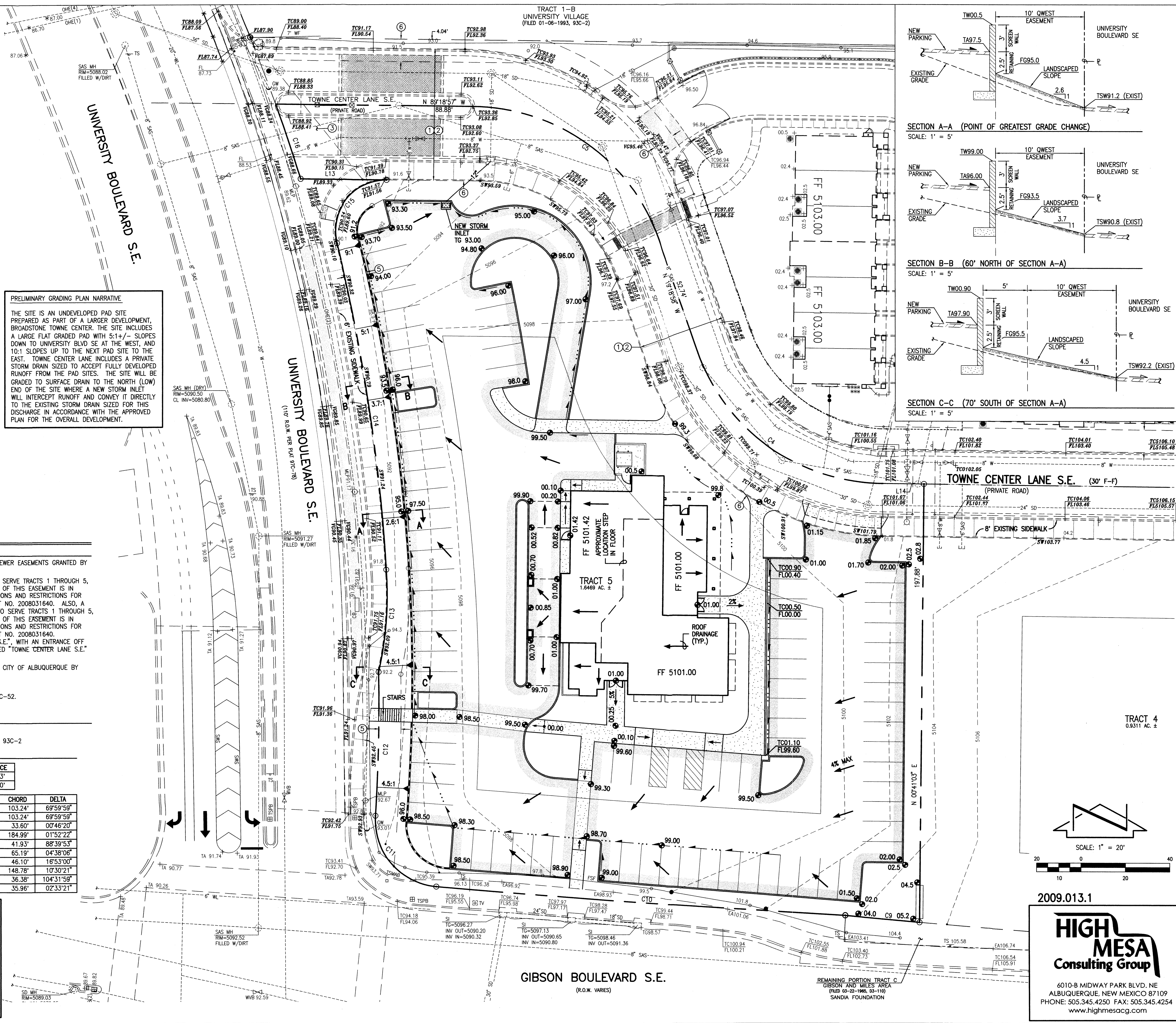
- NOT USED
- 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2

**BOUNDARY TABLES**

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C4	90.00'	109.98'	S 54°18'57" E	103.24'	69°59'59"
C5	90.00'	109.98'	N 54°18'57" W	103.24'	69°59'59"
C9	2492.96'	33.60'	N 84°35'01" W	33.60'	0°48'20"
C10	5660.00'	185.00'	N 85°57'13" W	184.99'	01°52'22"
C11	30.00'	46.42'	S 40°41'06" E	41.93'	88°39'53"
C12	806.09'	65.21'	N 01°19'48" E	65.19'	04°38'06"
C13	157.00'	46.26'	N 04°19'17" E	46.10'	16°53'00"
C14	812.55'	148.99'	N 08°35'45" W	148.78'	10°30'21"
C15	23.00'	41.96'	S 38°25'04" W	36.38'	104°31'59"
C16	806.09'	35.96'	N 18°17'15" W	35.96'	02°33'21"

**SURVEY NOTE:**  
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE PLAT 2008C-52 PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, FILED 3-20-2008, (2006.003.2). TOPOGRAPHIC SURVEY INFORMATION IS BASED UPON A PRELIMINARY TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184 (01-2007, FINAL SURVEY PENDING). CONTOURS ON TRACTS 5 AND 4 ARE DESIGNED CONTOURS FROM THE MASS GRADING PLAN PREPARED BY HIGH MESA CONSULTING GROUP, NMPE NO. 13676, DATED 1-28-2008 (2006.003.4). SUPPLEMENTAL TOP OF CURB, SIDEWALK AND FLOWLINE ELEVATIONS ALONG UNIVERSITY AND TOWNE CENTER LANE ARE PRELIMINARY AS-BUILT ELEVATIONS.

**PRELIMINARY GRADING PLAN NARRATIVE**  
THE SITE IS AN UNDEVELOPED PAD SITE PREPARED AS PART OF A LARGER DEVELOPMENT, BROADSTONE TOWNE CENTER. THE SITE INCLUDES A LARGE FLAT GRADED PAD WITH 5:1+/- SLOPES DOWN TO UNIVERSITY BLVD SE AT THE WEST, AND 10:1 SLOPES UP TO THE NEXT PAD SITE TO THE EAST. TOWNE CENTER LANE INCLUDES A PRIVATE STORM DRAIN SIZED TO ACCEPT FULLY DEVELOPED RUNOFF FROM THE PAD SITES. THE SITE WILL BE GRADED TO SURFACE DRAIN TO THE NORTH (LOW) END OF THE SITE WHERE A NEW STORM INLET WILL INTERCEPT RUNOFF AND CONVEY IT DIRECTLY TO THE EXISTING STORM DRAIN SIZED FOR THIS DISCHARGE IN ACCORDANCE WITH THE APPROVED PLAN FOR THE OVERALL DEVELOPMENT.



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**Dion's at Broadstone Towne Center**  
University and Gibson, Albuquerque, New Mexico

Project No: 2009.013.1  
Date: 06/03/2009

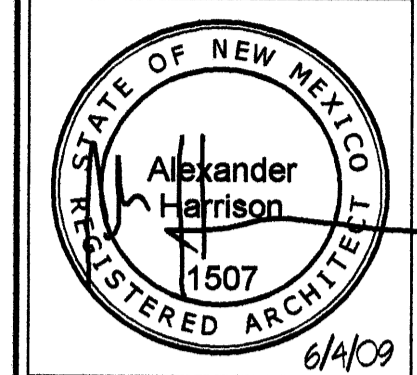
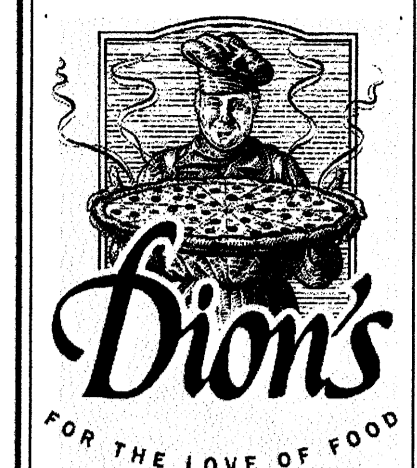
Revisions:

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**PRELIMINARY GRADING PLAN**  
Sheet Number:  
**3**

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File Name: 901.31\_PGP.DWG Plot Time: 12:07 pm

2009.013.1

4010-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 FAX: 505.345.4254  
www.highmesacg.com



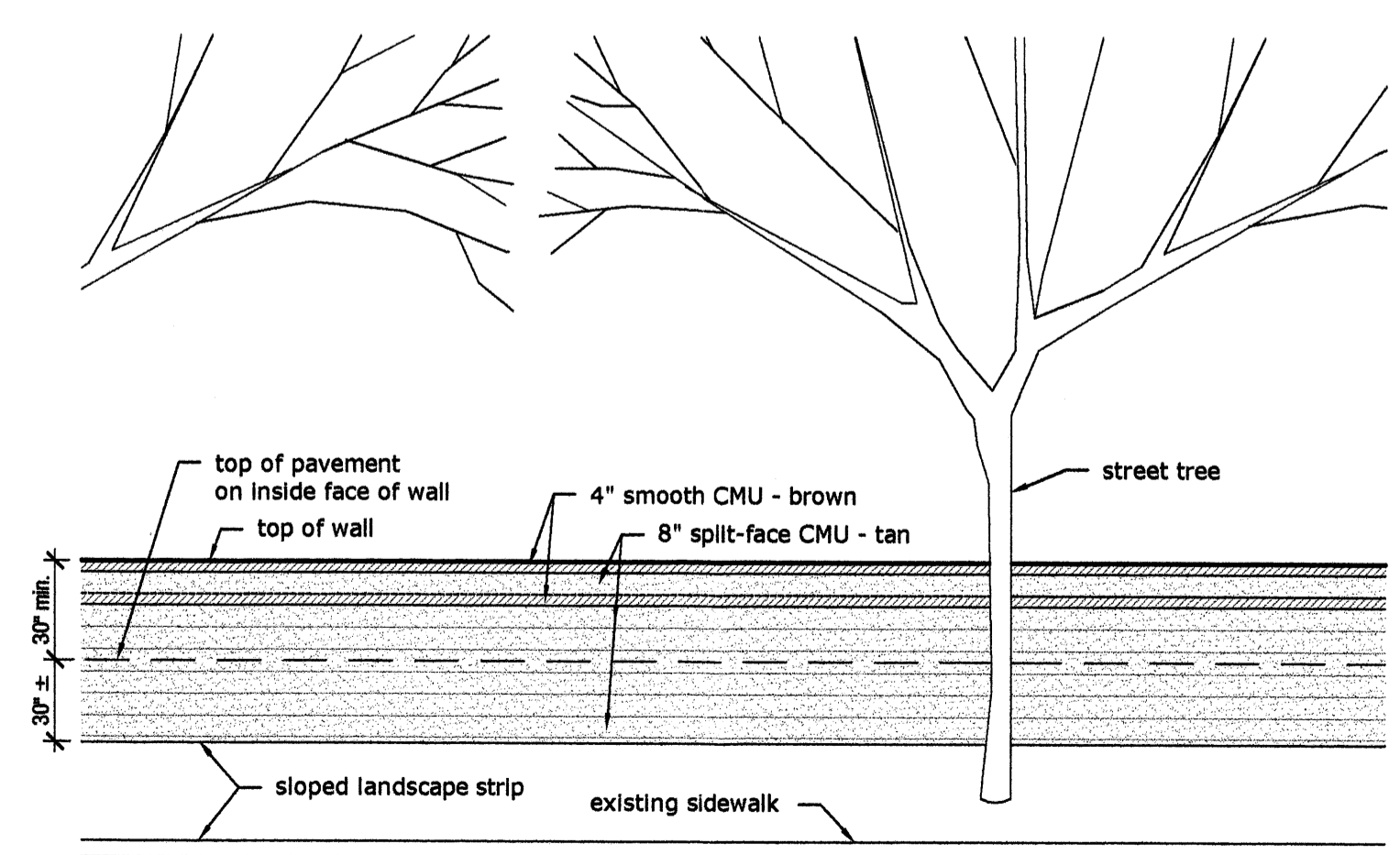
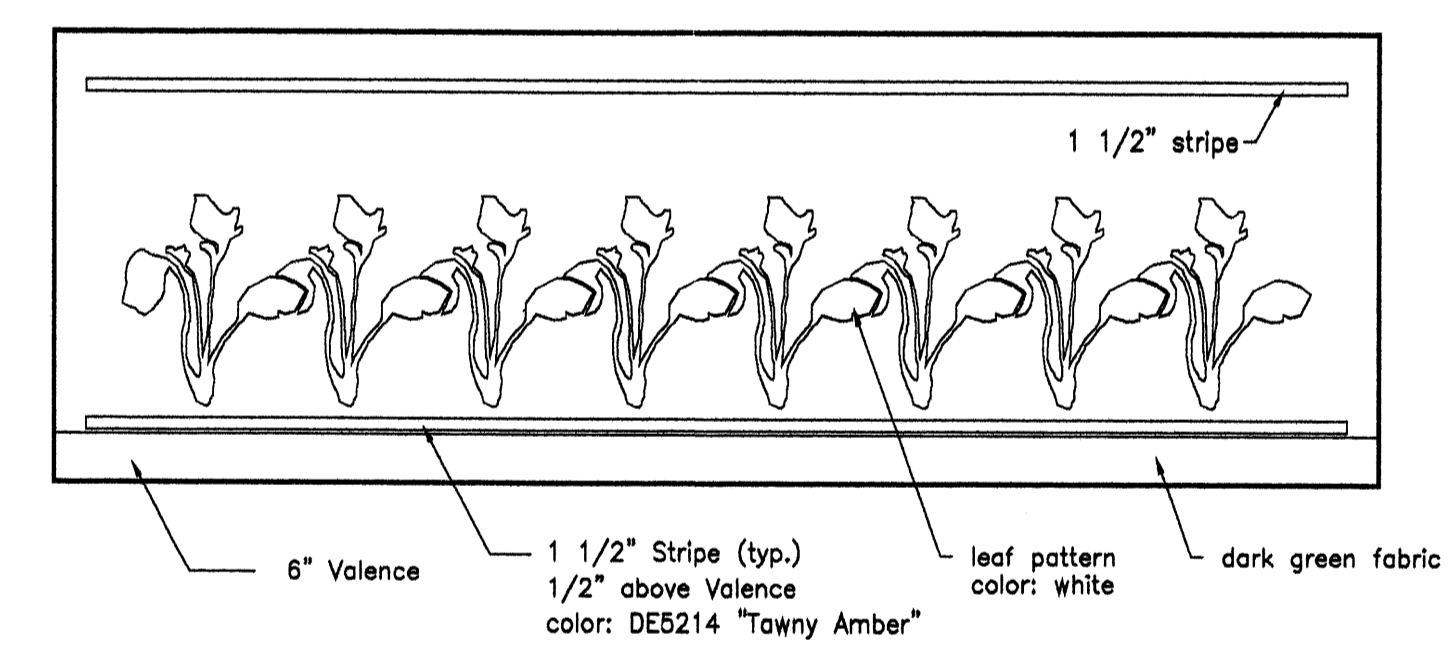
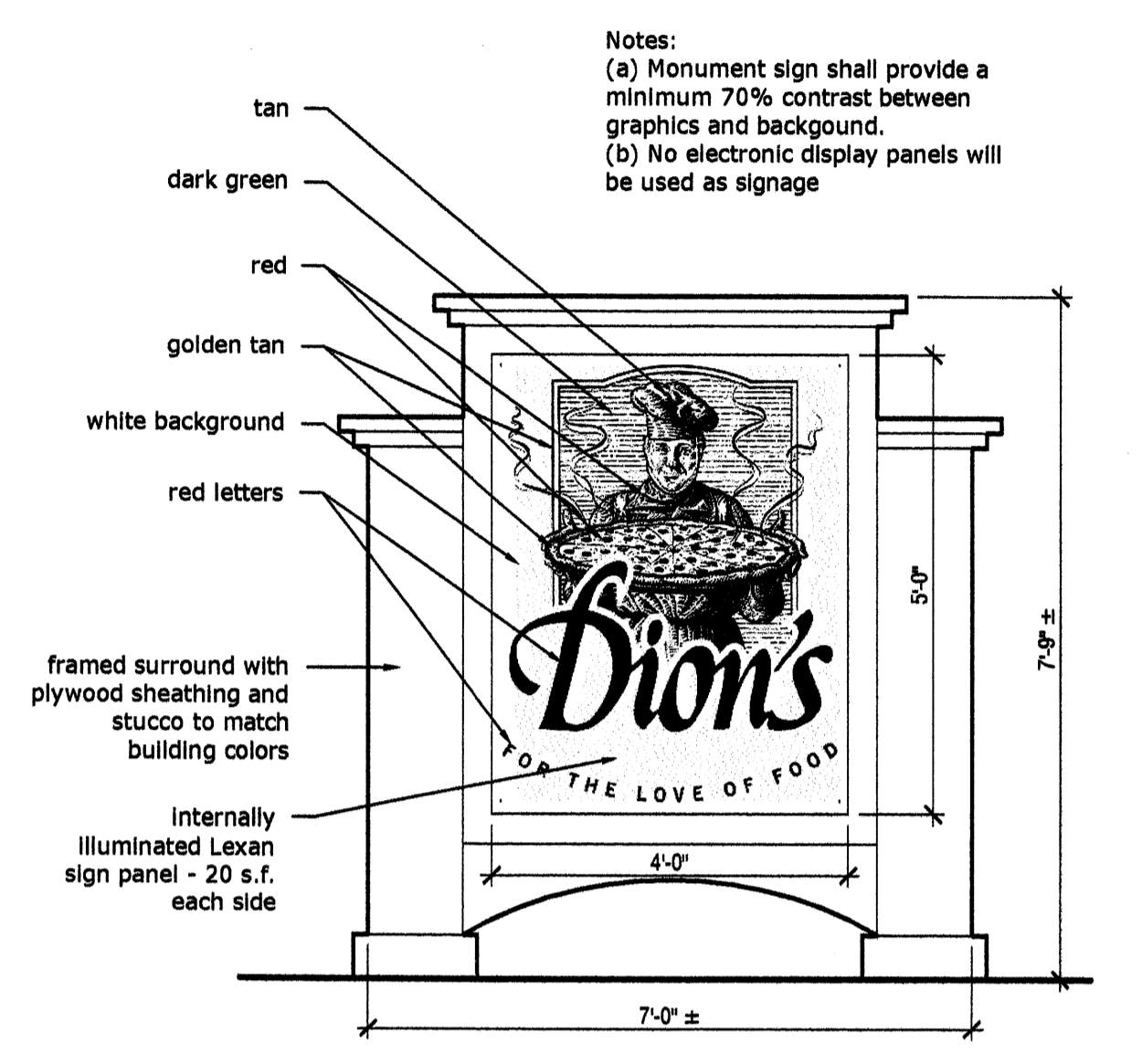
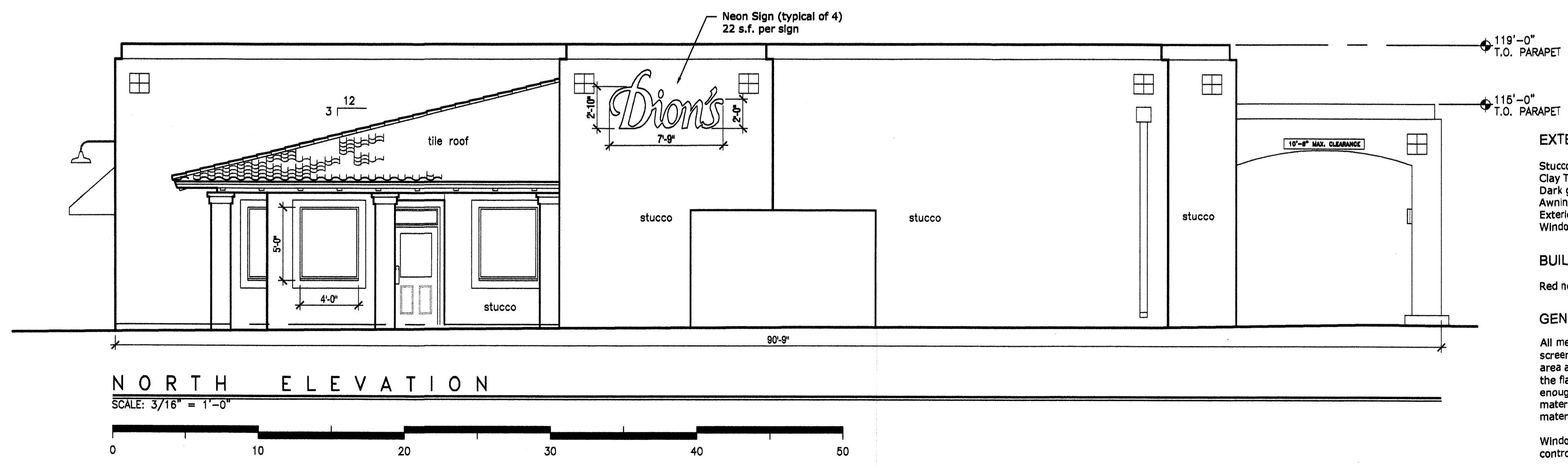
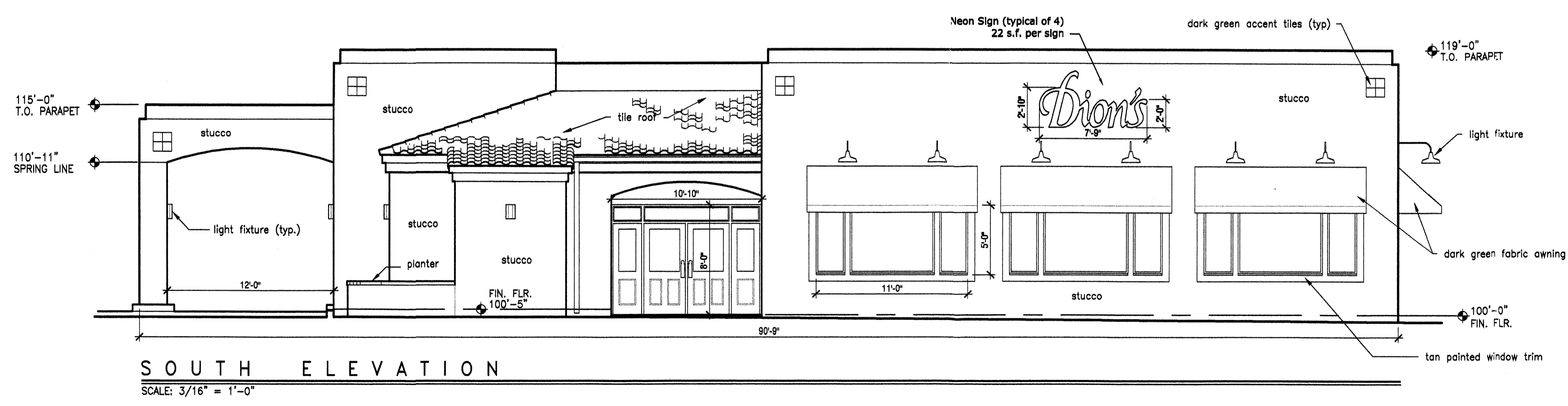
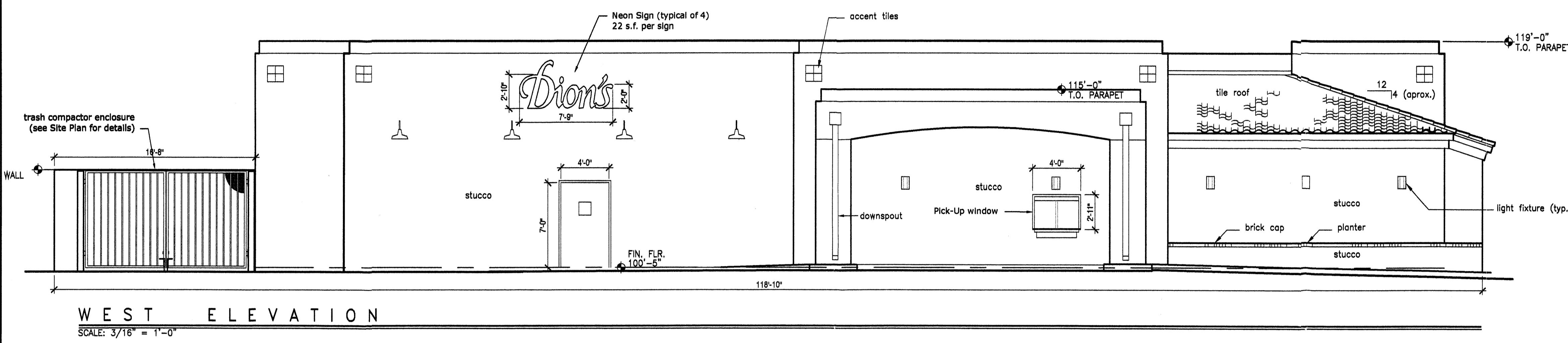
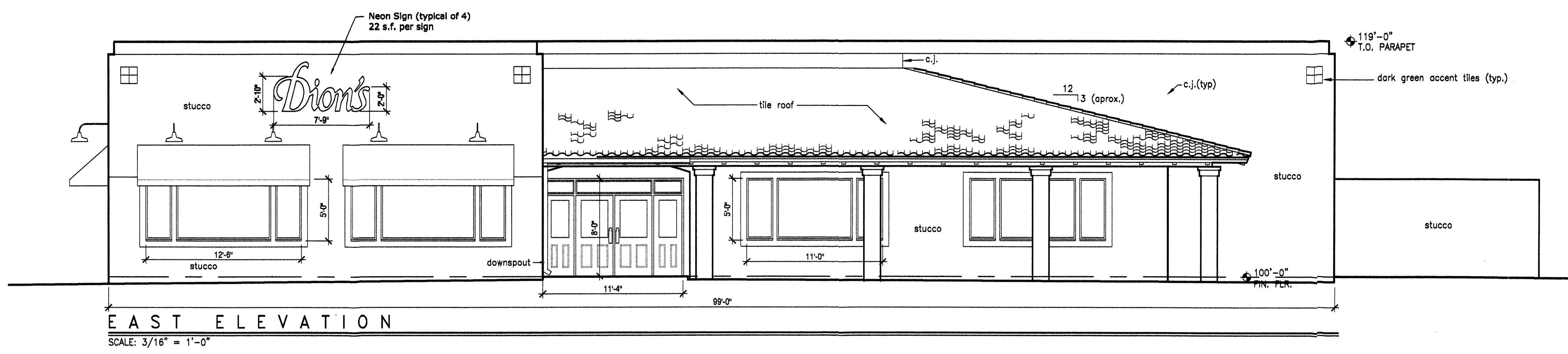
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Dion's at Broadstone Towne Center  
University and Gibson, Albuquerque, New Mexico

Project No: 804  
  
Date: June 4, 2009  
  
Revisions:  
5 JUN 09 - Add info to monument sign  
26 JUN 09 - Add Screen Wall Elevation  
27 AUG 09 - Add notes to monument sign detail per EPC

Sheet Title:  
**BUILDING ELEVATIONS**

Sheet Number:



**EXTERIOR FINISHES**  
Stucco Walls - light tan  
Clay Tile Roof - reddish brown blend  
Dark green accent tiles  
Awnings - dark green fabric with white graphics  
Exterior Doors - natural oak  
Window Trim - light tan

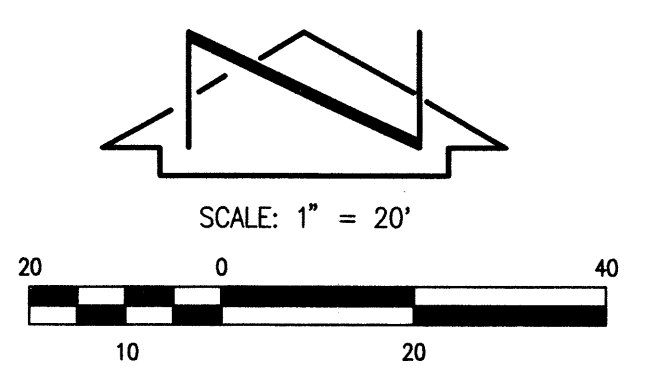
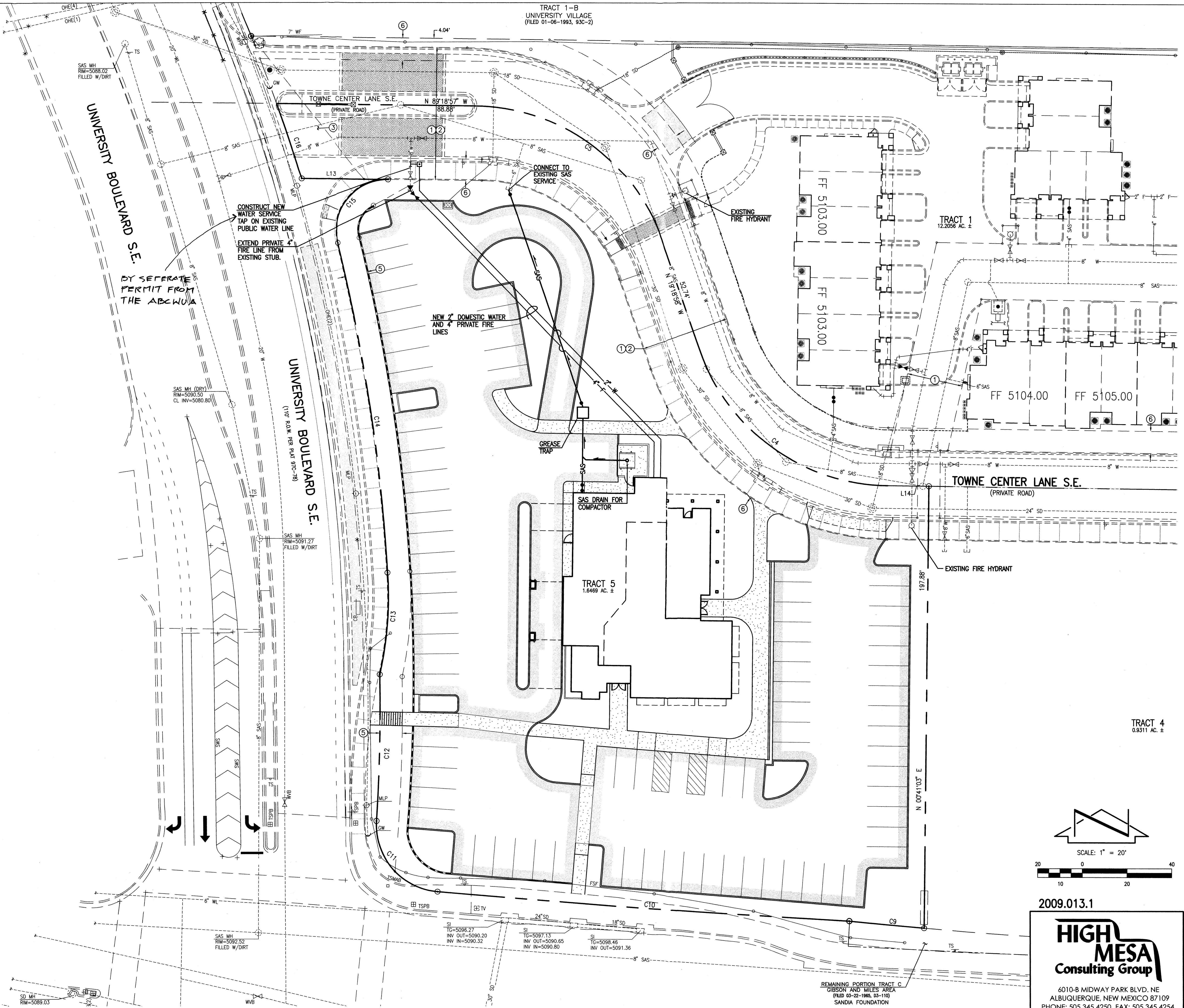
**BUILDING SIGNS**  
Red neon in white channel letters

**GENERAL NOTES**  
All mechanical rooftop equipment shall be screened from view of the adjacent parking area and public right-of-way, and shall be on the flat portion of the roof with parapets high enough to shield them from view. Screening material shall match building wall color and material.  
  
Window glass is to be clear, non-reflective, solar control, low-e

LEGEND	
ASPH	ASPHALT
C&G	CURB AND GUTTER
CC	CONCRETE CURB
CONC	CONCRETE
FH	FIRE HYDRANT
FL	FLOWLINE
GW	GUY WIRE
MH	MANHOLE
MLP	METAL LIGHT POLE
SAS	SANITARY SEWER
SD	STORM DRAIN
SI	STORM INLET
STD	STANDARD
SV	SPRINKLER VALVE
SW	SIDEWALK
SWC	SIDEWALK CULVERT
SWS	SOLID WHITE STRIPE
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TG	TOP OF GRATE
TS	TRAFFIC SIGN
TSMAB	TRAFFIC SIGNAL MAST ARM BASE
TSPB	TRAFFIC SIGNAL PULLBOX
TV	TELEPHONE VAULT
WF	WOOD FENCE
WL	WATERLINE
WM	WATER METER
WPP	WOOD POWER POLE
WVB	WATER VALVE BOX
X-WALK	CROSSWALK
*	UTILITY MARKER
○	EXISTING FIRE HYDRANT
○	EXISTING GATE VALVE
○	EXISTING STORM DRAIN MANHOLE
○	EXISTING SAS MANHOLE
▨	PROPOSED ASPHALT PAVEMENT
▨	PROPOSED CONCRETE PAVEMENT
○	PROPOSED STORM DRAIN MANHOLE
○	STORM INLET
○	PROPOSED GATE VALVE
○	PROPOSED SAS MANHOLE
○	PROPOSED SAS CLEANOUT
○	PROPOSED FIRE HYDRANT
○	PROPOSED WATER SERVICE

**EASEMENT KEYED NOTES**  
 FOR EASEMENT KEYED NOTES, SEE SHEET 3.  
**FOR BOUNDARY TABLES, SEE SHEET 3.**  
 FOR BOUNDARY TABLES, SEE SHEET 3.  
**LEGAL DESCRIPTION**  
 TRACT 5, BROADSTONE TOWNE CENTER

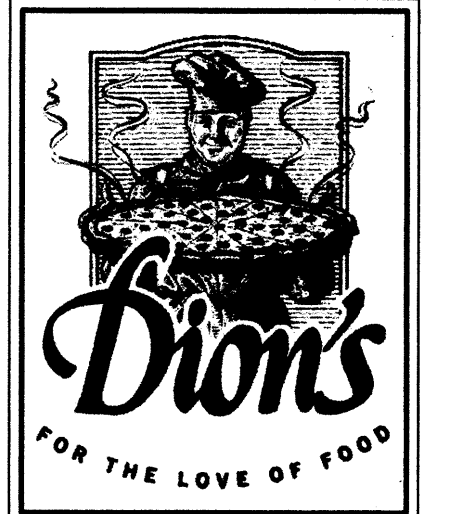
**SURVEY NOTE:**  
 THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE PLAT 2008C-52 PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, FILED 3-20-2008, (2006.003.2). TOPOGRAPHIC SURVEY INFORMATION IS BASED UPON A PRELIMINARY TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184 (01-2007, FINAL SURVEY PENDING), CONTOURS ON TRACTS 5 AND 4 ARE DESIGNED BY HIGH MESA CONSULTING GROUP, NMPE NO. 13676, DATED 1-28-2008 (2006.003.4). SUPPLEMENTAL TOP OF CURB, SIDEWALK AND FLOWLINE ELEVATIONS ALONG UNIVERSITY AND TOWNE CENTER LANE ARE PRELIMINARY AS-BUILT ELEVATIONS.



2009.013.1

**HIGH MESA**  
Consulting Group

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Project No: 2009.013.1

Date: 06/03/2009

Revisions:

Sheet Title:

CONCEPTUAL UTILITY PLAN

Sheet Number:  
**5**

File Path: E:\DATA\2009\013.1\ Plot Date: 06-02-2009  
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