

VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page L-15-Z.

SUBDIVISION DATA

- Total number of existing Lots: 2
- Total number of Tracts created: 1
- Gross Subdivision acreage: 1.9124 acres

PURPOSE OF PLAT

The purpose of this plat is to combine Tracts 2 and 3, Broadstone Towne Center, in to one tract.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following: 1015 056 334 017 40305

101505635501840306
Broadstone Towne Center LLC

Russ P. Hugg 1/16/15
Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

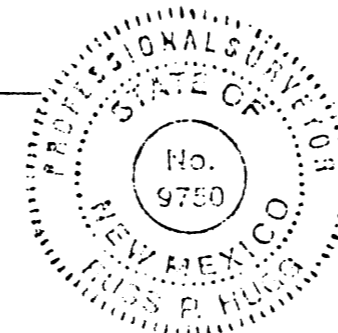
DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMRS No. 9750
October 22, 2012



PLAT OF
TRACT 2-A
BROADSTONE TOWNE CENTER

(BEING A REPLAT OF TRACTS 2 AND 3,
BROADSTONE TOWNE CENTER)

SITUATE WITHIN
THE TOWN OF ALBUQUERQUE GRANT
IN
PROJECTED SECTION 28
TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2012

PROJECT NUMBER: 1005243

Application Number: 12DRB-70357

PLAT APPROVAL

UTILITY APPROVALS:

<i>Leonardo Vigil</i> Public Service Company of New Mexico	12-7-12 Date
<i>Chad</i> New Mexico Gas Company	12/12/12 Date
<i>Bochelle Alcott</i> Qwest Corporation d/b/a CenturyLink QC.	12-10-12 Date
<i>Chad</i> Comcast	12/12/12 Date

CITY APPROVALS:

<i>W.B. Hart</i> City Surveyor Department of Municipal Development	11-7-12 Date
<i>n/a</i> Real Property Division	Date
<i>n/a</i> Environmental Health Department	Date
<i>Kevin S.</i> Traffic Engineering, Transportation Division	11-28-12 Date
<i>Oliver Patten</i> ABCWUA	11/28/12 Date
<i>Carol S. Dumont</i> Parks and Recreation Department	11-28-12 Date
<i>Ante a. Chua</i> AMAFCA	11-28-12 Date
<i>Ante a. Chua</i> City Engineer	11-28-12 Date
<i>Paul F. Davis</i> DRB Chairperson, Planning Department	1-14-13 Date

DOCH 2013005217
01/16/2013 09:59 AM Page 1 of 3
L:\PLAT\K 325 00 B 2013.P 0003 P Toulous Olivera, Bernalillo Coun

SURV●TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368 Fax: 505-897-3377

PLAT OF
TRACT 2-A
BROADSTONE TOWNE CENTER

(BEING A REPLAT OF TRACTS 2 AND 3,
BROADSTONE TOWNE CENTER)

SITUATE WITHIN
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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2012

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Albuquerque Grant in Projected Section 28, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, comprising and being Tracts 2 and 3, Broadstone Towne Center, as the same is shown and designated on the plat entitled "PLAT OF TRACTS 1, 2, 3, 4 AND 5, BROADSTONE TOWNE CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH, 2008", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 20, 2008, in Plat Book 2008C, Page 52, as Document No. 2008031639, more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northeasterly corner of the parcel herein described, a PK Nail with aluminum disk stamped "LS 1184" found in place, whence Albuquerque Control Survey Monument "7-L15" bears N 33°39'15" E, 3,009.84 feet distant; Thence,

S 00°41'03" W, 176.99 feet to the southeasterly corner of the parcel herein described, a PK Nail with aluminum disk stamped "LS 1184" found in place, said point also being a point on the northerly right of way line of Gibson Boulevard S.E.; Thence, along said northerly right of way line,

N 89°45'48" W, 60.22 feet to an angle point, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

S 67°25'14" W, 37.95 feet to an angle point, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

N 89°59'00" W, 74.92 feet to an angle point, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

S 79°27'11" W, 50.49 feet to an angle point, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

N 89°46'05" W, 160.08 feet to a point of curvature, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

Westerly, 45.41 feet on the arc of a curve to the right (said curve having a radius of 2,492.96 feet, a central angle of 01°02'37", and a chord that bears S 89°54'27" W, 45.41 feet) to the southwesterly corner of the parcel herein described, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

N 00°41'03" E, 205.03 feet to the northwesterly corner of the parcel herein described, a PK Nail with aluminum disk stamped "LS 11184" found in place; Thence,

S 89°18'57" E, 425.00 feet to the point of beginning.

Said parcel contains 1.9124 acres, more or less.

FREE CONSENT

SURVEYED and REPLATTED and now comprising PLAT OF TRACT 2-A, BROADSTONE TOWNE CENTER (BEING A REPLAT OF TRACT 2 AND 3, BROADSTONE TOWNE CENTER) SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT IF PROJECTED SECTION 28, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that it is so authorized to act.

OWNER(S)

LG Albuquerque BWW, LLC
a Texas limited liability company

Fernando DeLeon

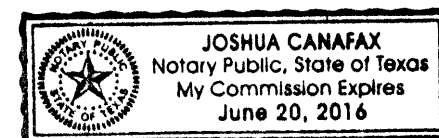
By: Fernando DeLeon, Manager

ACKNOWLEDGMENT

STATE OF TEXAS
COUNTY OF Dallas SS

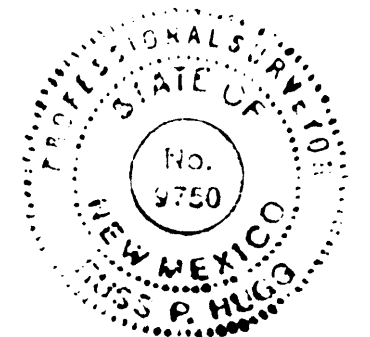
The foregoing instrument was acknowledged before me this 5th day of November, 2012, by Fernando DeLeon, as Manager of LG Albuquerque BWW, LLC.

Joshua Canafax My commission expires 6-20-16
Notary Public



SECTION 14-14-4-7. PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."



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PLAT R \$25 00 B 2013C P 0003 M Toulous Olivero, Bernalillo Cour

SHEET 2 OF 3

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

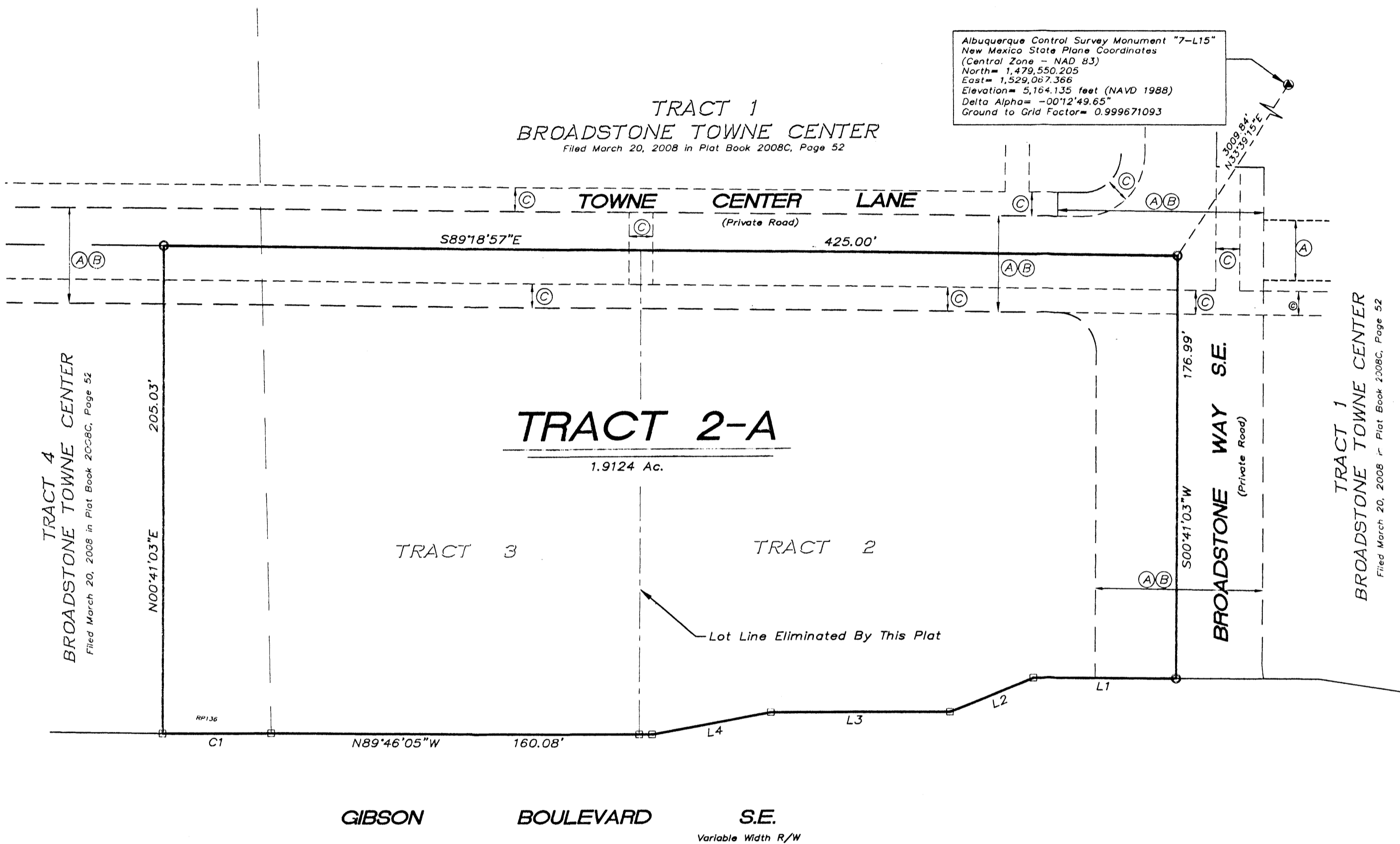
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 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2012

Albuquerque Control Survey Monument "7-L15"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83)
 North = 1,479,550.205
 East = 1,529,067.366
 Elevation = 5,164.135 feet (NAVD 1988)
 Delta Alpha = -00'12"49.65"
 Ground to Grid Factor = 0.999671093

TRACT 1
 BROADSTONE TOWNE CENTER
 Filed March 20, 2008 in Plat Book 2008C, Page 52



PLAT EASEMENT LEGEND

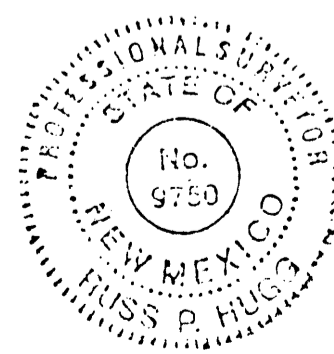
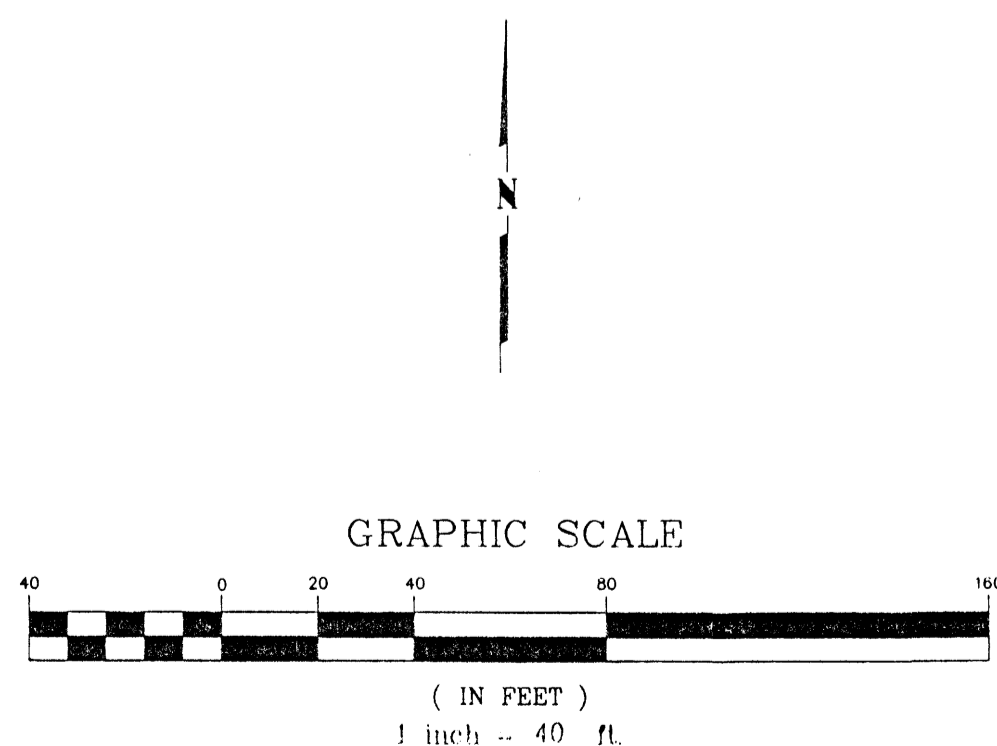
- (A) ABCWUA Public Waterline and ABCWUA Sanitary Sewer Easements granted by plat filed March 20, 2008 in Plat Book 2008C, Page 52, Doc.# 2008031639.
- (B) Private Access Easement granted by plat filed March 20, 2008 in Plat Book 2008C, Page 52, Doc.# 2008031639, to serve Tracts 1 through 5, Broadstone Towne Center; maintenance and operation of this easement shall be in accordance with the Declaration of Covenants, Conditions and Restrictions for Broadstone Towne Center, filed 03-20-2008, Document No. 2008031640. Also, a Private Drainage Easement granted by plat to serve Tracts 1 through 5, Broadstone Towne Center; maintenance and operation of this easement shall be in accordance with the Declaration of Covenants, Conditions and Restrictions for Broadstone Towne Center, filed 03-20-2008, Document No. 2008031640. North-South Private Road is named "Broadstone Way S.E.", with an entrance off Gibson Boulevard S.E. East-West Private Road is named "Towne Center Lane S.E." with an entrance off University Boulevard S.E.
- (C) 10' Public Utility Easement granted by plat filed March 20, 2008 in Plat Book 2008C, Page 52, Doc.# 2008031639.

GIBSON BOULEVARD S.E.
 Variable Width R/W

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	45.41'	2492.96'	22.70'	45.41'	S89°54'27"W	1'02'37"

LINE TABLE		
LINE	LENGTH	BEARING
L1	60.22	N89°45'48"W
L2	37.95	S67°25'14"W
L3	74.92	N89°59'00"W
L4	50.49	S79°27'11"W

○ = Fd. Pk Nail and Aluminum Disc stamped "L.S. 11184"
 □ = Fd. 5/8" Rebar and cap stamped "L.S. 11184"



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 LYNLEI R 325 00 S 7013C P 0003 M Louisa Olivera, Bernalillo Cour

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

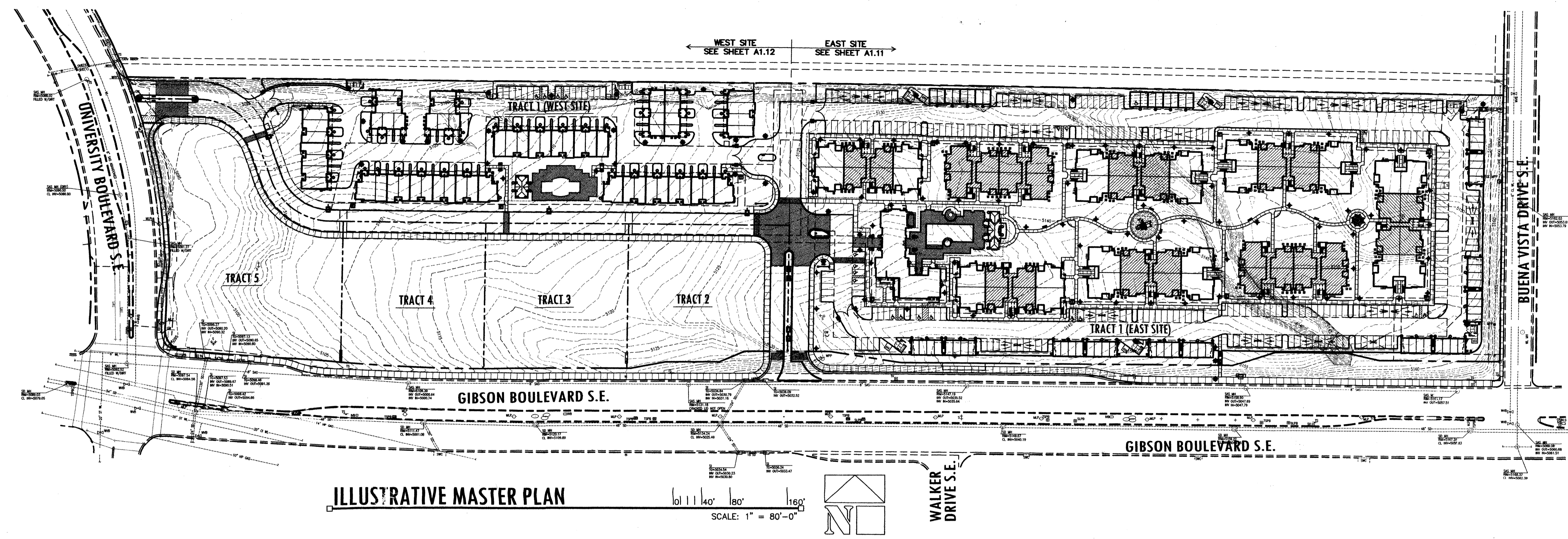
BROADSTONE TOWNE CENTER

N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



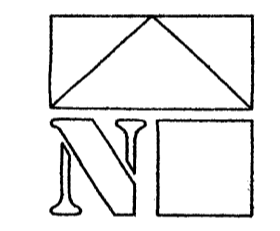
Office of Rich Barber
ORB
Architecture, LLC

4530 North 40th Street
Phoenix, Arizona 85018
0:602-957-4530 F:602-957-4531
WorldHQ@ORBArch.com



ILLUSTRATIVE MASTER PLAN

SCALE: 1" = 80'-0"



SHEET INDEX

- A1.10 ILLUSTRATIVE MASTER PLAN
- A1.11 EAST SITE PLAN / GARDEN STYLE APTS
- A1.12 WEST SITE PLAN / TOWNHOME STYLE APTS
- A1.20 SITE PLAN DETAILS
- A2.10 EAST SITE - REC/OFFICE BUILDING ELEVATIONS
- A2.11 EAST SITE - BUILDING TYPE 1 ELEVATIONS
- A2.12 EAST SITE - BUILDING TYPE 2 ELEVATIONS
- A2.13 EAST SITE - BUILDING TYPE 3 ELEVATIONS
- A2.14 EAST SITE - BUILDING TYPE 4 ELEVATIONS
- A3.2.12 WEST SITE - BUILDING 1 ELEVATIONS
- A3.2.23 WEST SITE - BUILDING 2 ELEVATIONS
- A3.2.32 WEST SITE - BUILDING 3 ELEVATIONS
- A3.2.43 WEST SITE - BUILDING 4 ELEVATIONS
- A3.2.52 WEST SITE - BUILDING 5 & 7 ELEVATIONS
- A3.2.63 WEST SITE - BUILDING 6 ELEVATIONS
- A3.2.73 WEST SITE - BUILDING 8 ELEVATIONS
- C1.10 EAST SITE - PRELIMINARY GRADING PLAN
- C1.11 WEST SITE - PRELIMINARY GRADING PLAN
- C2.10 EAST SITE - CONCEPTUAL UTILITY PLAN
- C2.11 WEST SITE - CONCEPTUAL UTILITY PLAN
- LP-1 LANDSCAPE PLAN
- LP-2 LANDSCAPE PLAN
- LP-3 LANDSCAPE PLAN
- LP-4 LANDSCAPE PLAN
- LP-5 LANDSCAPE CALCULATIONS
- LP-6 LANDSCAPE CALCULATIONS
- LD-1 DETAILS
- LD-2 DETAILS

DEVELOPMENT DATA

NET SITE AREA:

TRACT 1 (APARTMENTS)	12.2 ACRES (532,312 S.F.)
EAST SITE	8.7 ACRES (380,740 S.F.)
WEST SITE	3.5 ACRES (151,572 S.F.)
TRACT 2 (RETAIL)	0.98 ACRES (42,556 S.F.)
TRACT 3 (RETAIL)	0.94 ACRES (40,855 S.F.)
TRACT 4 (RETAIL)	0.93 ACRES (40,619 S.F.)
TRACT 5 (RETAIL)	1.69 ACRES (73,605 S.F.)

ZONING:

CURRENT:	R-1
PROPOSED:	TRACT 1 - "SU-1 PRD RESIDENTIAL"
	TRACT 2, 3, 4 & 5 - "SU-1 FOR C-2"

BUILDING HEIGHT:

TRACT 1:	3/40 STORIES/FEET
ALLOWED:	(BASED ON 10' SETBACK)
PROVIDED:	3/40 STORIES/FEET

DENSITY:

TRACT 1:	19.641 DU/ACRE	240 DU
PROPOSED:		

GENERAL NOTES:

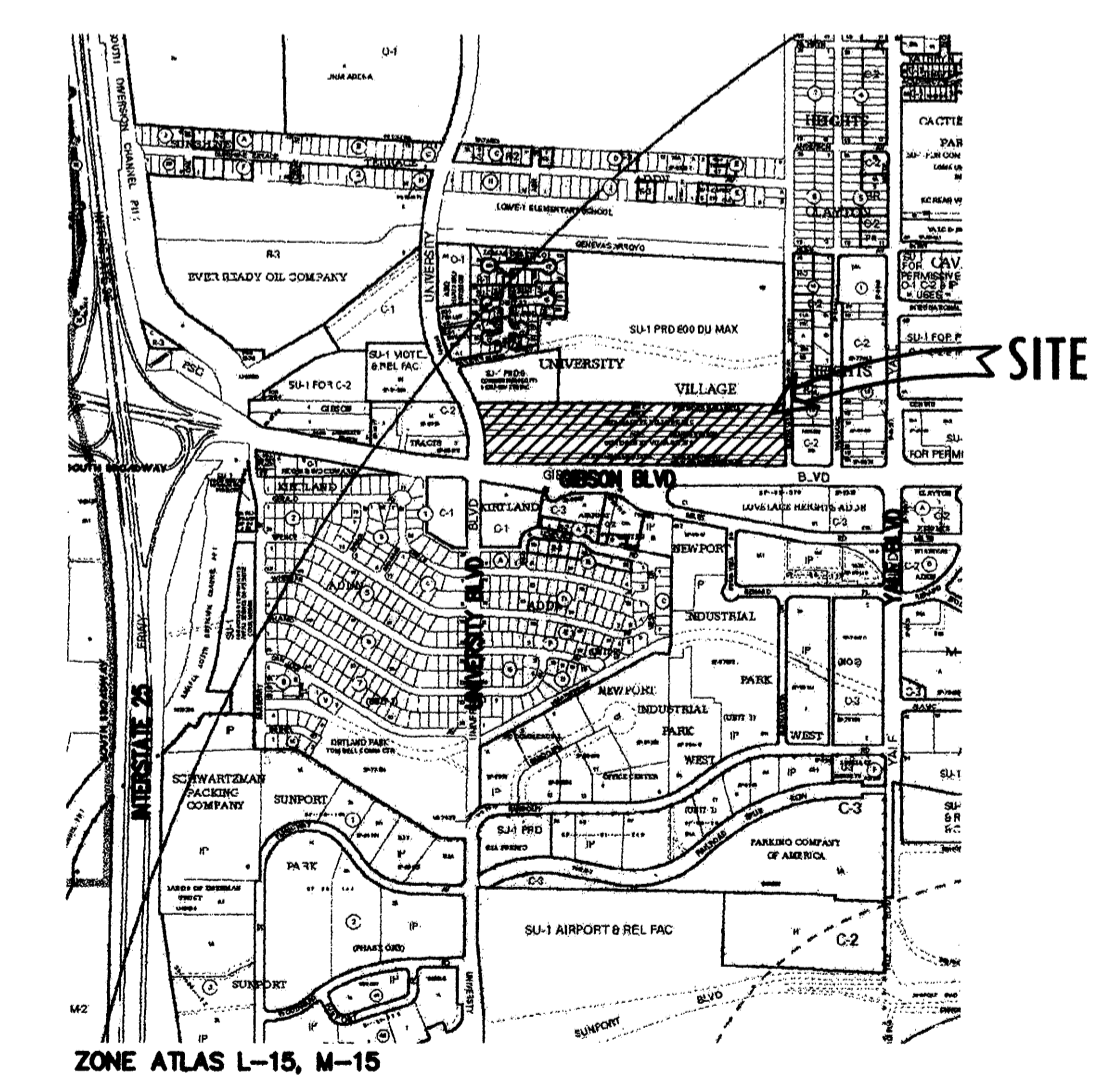
- THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPLIES TO TRACT 1.
- EAST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
TYPE 1 - 20,821 SF TYPE 3 - 26,129 SF
TYPE 2 - 26,282 SF TYPE 4 - 3,796 SF
GARAGE - 1,876 SF REC/LEASING - 6,576 SF
- WEST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
BLDG 1 - 7,490 SF BLDG 5 - 7,725 SF
BLDG 2 - 19,540 SF BLDG 6 - 21,426 SF
BLDG 3 - 10,587 SF BLDG 7 - 7,725 SF
BLDG 4 - 18,805 SF BLDG 8 - 13,070 SF
SHARE PRIVATE ACCESS PROVIDED BETWEEN ALL PARCELS PER PLAT.
- SETBACKS PROVIDED:

EAST SITE:

BUILDINGS	34'	25'	10'	NA
GARAGES	5'	NA	NA	NA
PARKING	6.5	30'	5'	NA

WEST SITE:

BUILDINGS	10'	NA	NA	NA
PARKING	5'	NA	NA	NA



VICINITY MAP
NOT TO SCALE

PROJECT NUMBER: 1005243
Application Number: 06EPC 01593

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 18, 2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>Michael Hutton (adjustments)</i>	10/9/07
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

SPBP
PRELIMINARY PLAT
APPROVED BY DRB
ON

Contractor must verify all dimensions at project before proceeding with this work.
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, in addition to this project, or for completion of this project by others except by the expressed written permission of the Architect.
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REVISIONS

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DATE: OCTOBER 08, 2007 ORB # 06-210

A1.10

ILLUSTRATIVE MASTER PLAN

BROADSTONE TOWNE CENTER

N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



Office of Rich Barber
Architects, LLC

4530 North 40th Street
Phoenix, Arizona 85018
O:602-957-4530 F:602-957-4531
WorldHQ@ORBarch.com

EASEMENTS

- NEW EASEMENTS**
- CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
 - PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. ALSO, A PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
 - PUBLIC ROADWAY AND SIDEWALK EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT.
 - CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY PLAT.
 - 10' WEST CORPORATION EASEMENT TO BE GRANTED BY PLAT.
 - 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
- EASEMENTS - OFFSITE**
- 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1989, BOOK MISC. 156, PAGE 270.
 - 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2.
 - LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 178, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007.

LEGEND

- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- FIRE HYDRANT
- ◇ NO. OF PARKING SPACES
- ◇ NO. OF COVERED SPACES
- ♿ DENOTES ACCESSIBLE PARKING

LIGHTING LEGEND

- SINGLE HEAD POLE MOUNTED FIXTURE, POLE MOUNTED AT +15' A.F.F.
- ◆ LOUVERED BOLLARD FIXTURE
- WALL MOUNTED FIXTURE, WALL MOUNTED AT +12' A.F.F.
- ⊕ POLE MOUNTED FIXTURE, POLE MOUNTED AT +8' A.F.F.
- COVERED PARKING LIGHT FIXTURES 4' FLUORESCENT.
- TRANSFORMER LOCATION.

KEYNOTES

- 8.5'x20' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- TRASH ENCLOSURE, SURROUNDED BY 6" CMU WALL, PAINT TO MATCH BUILDING, SEE DET. 1/A1.20
- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS. SEE DET. A/LD-2
- RESIDENT ONLY REMOTE CONTROL ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS. SEE DET. A/LD-2
- CARPOT PARKING STRUCTURE.
- GATE CONTROL BOX.
- 3'-6" SIDEWALK AT STAIRS, TYPICAL.
- 4'-0" SIDEWALK.
- 8'-0" SIDEWALK.
- 8'-0" SIDEWALK.
- PEDESTRIAN GATE, SEE DET. C/LD-1
- PERIMETER MASONRY WALL (6' HT), SEE DET. B/LD-2
- PERIMETER FENCE, SEE DET. F/LD-1
- PERIMETER FENCE ON WALL, SEE DET. G/LD-2
- POOL FENCE, SEE LANDSCAPE PLANS.
- INTERIOR PROJECT SIGN, LIMITED TO 18 FEET IN HEIGHT AND 24 S.F. OF SIGN FACE AREA, SEE DETAILS A, B/LD-1
- RETAINING WALL.
- BENCH.
- PEDESTRIAN CROSSING SHALL BE AT LEAST 6 FEET WIDE AND SHALL BE OF TEXTURED, COLORED CONCRETE.
- ENHANCED PAVING SHALL BE DEFINED AS TEXTURED, COLORED CONCRETE.
- MONUMENT SIGN, LIMITED TO 10 FEET IN HEIGHT AND 50 S.F. OF SIGN FACE AREA.
- MONUMENT SIGN, LIMITED TO 15 FEET IN HEIGHT AND 72 S.F. OF SIGN FACE AREA.
- OUTDOOR SHADE STRUCTURE WITH BENCH.
- CHILD'S PLAY AREA.
- BUS SHELTER PER CITY OF ALBUQUERQUE DRAWING 2535.04.
- BICYCLE PARKING RACK FOR 6 BICYCLES.
- POLE MOUNTED CHARCOAL BBQ.
- BBQ LOCATION

PROJECT NUMBER: 1005243
Application Number: 06EPC 01593

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Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date

* Environmental Health Department (conditional) Date
Michael Helton Solid Waste Management 10/9/07 Date

DRB Chairperson, Planning Department Date

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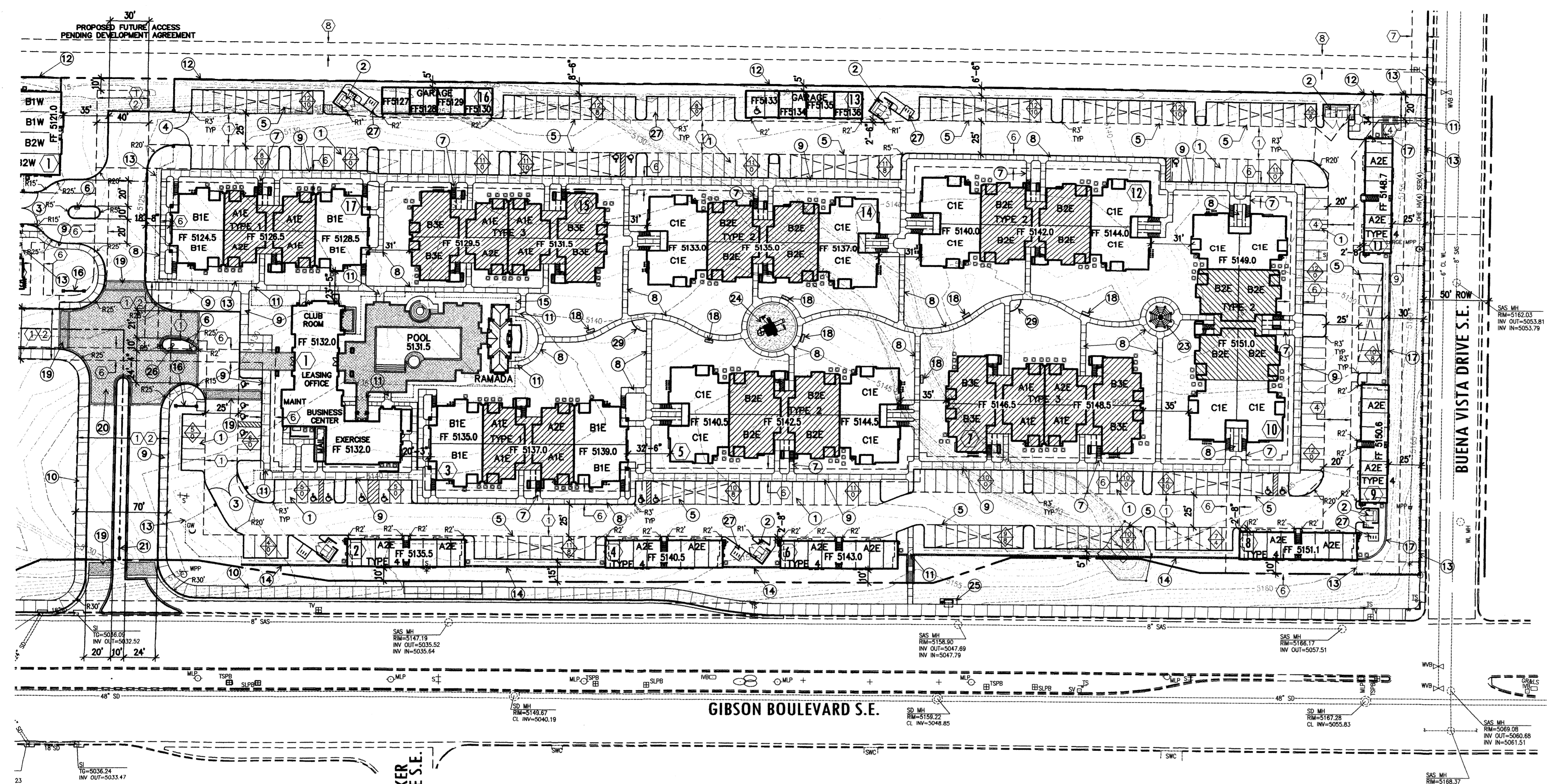
REVISIONS

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DATE: OCTOBER 08, 2007 ORB # 06-210

A1.11

SITE PLAN FOR BLDG. PERMITS
EAST SITE



EAST SITE PLAN

SCALE: 1" = 50'-0"

DEVELOPMENT DATA

NET SITE AREA:

TRACT 1 (APARTMENTS)	12.2 ACRES (532,312 S.F.)
EAST SITE	8.7 ACRES (380,740 S.F.)
WEST SITE	3.5 ACRES (151,572 S.F.)
TRACT 2 (RETAIL)	0.98 ACRES (42,556 S.F.)
TRACT 3 (RETAIL)	0.94 ACRES (40,855 S.F.)
TRACT 4 (RETAIL)	0.93 ACRES (40,619 S.F.)
TRACT 5 (RETAIL)	1.69 ACRES (73,605 S.F.)

ZONING:

CURRENT: R-1
PROPOSED: TRACT 1 - "SU-1 PRD RESIDENTIAL"
TRACT 2, 3, 4 & 5 - "SU-1 FOR C-2"

BUILDING HEIGHT:

TRACT 1:
ALLOWED: 3/40 STORIES/FEET (BASED ON 10' SETBACK)
PROVIDED: 3/40 STORIES/FEET

DENSITY:

TRACT 1:
PROPOSED: 19.641 DU/ACRE 240 DU

- GENERAL NOTES:**
- THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPLIES TO TRACT 1.
 - EAST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
TYPE 1 - 20,821 SF TYPE 3 - 26,129 SF
TYPE 2 - 26,282 SF TYPE 4 - 3,796 SF
GARAGE - 1,876 SF REC/LEASING - 6,576 SF
 - WEST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
BLDG 1 - 7,490 SF BLDG 5 - 7,725 SF
BLDG 2 - 19,540 SF BLDG 6 - 21,428 SF
BLDG 3 - 10,587 SF BLDG 7 - 7,725 SF
BLDG 4 - 18,805 SF BLDG 8 - 13,070 SF
 - SHARE PRIVATE ACCESS PROVIDED BETWEEN ALL PARCELS PER PLAT.

SETBACKS PROVIDED:

EAST SITE:		SIDE (S)				FRONT (W)
BUILDINGS	PARKING	REAR (E)	REAR (E)	REAR (E)	REAR (E)	FRONT (W)
34'	5'	25'	5'	5'	5'	NA
25'	6.5'	NA	30'	NA	NA	NA

WEST SITE:		SIDE (S)				FRONT (W)
BUILDINGS	PARKING	REAR (E)	REAR (E)	REAR (E)	REAR (E)	FRONT (W)
10'	5'	NA	NA	NA	NA	NA
10'	5'	NA	NA	NA	NA	NA

EAST SITE UNIT MIX

LIVABLE STORAGE PAT/BAL	UNIT TYPE							UNITS/BLDG	NO. BLDGS	TOTAL UNITS				
	A1E	A2E	A3E	B1E	B2E	B3E	C1E							
741	741	777	1,070	1,063	1,036	1,305	23	21	23	20	2	40		
68	68	65	60	63	60	70	9	3	8	20	4	80		
										8	20	4	80	
										12	8	20	4	80
										12	24	2	48	
										2	2	6	12	
TOTAL	36	12	12	16	48	24	32			14		180		

WEST SITE UNIT MIX

LIVABLE STORAGE PAT/BAL	UNIT TYPE				UNITS/BLDG	NO. BLDGS	TOTAL UNITS
	A1W	B1W	B2W	C1W			
868	1,231	1,231	1,532	4	4	1	4
286	475	475	498	2	4	1	10
56	56	56	129	6	4	1	10
				2	2	1	5
				4	5	2	11
				3	2	1	5
				4	3	1	7
TOTAL	14	24	18	4			60

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

SITE	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
EAST SITE				
1 BEDROOM	200	60	12,000	
2 BEDROOM	250	88	22,000	
2 BEDROOM	300	32	9,600	
SUBTOTAL			43,600	140,130
WEST SITE				
1 BEDROOM	200	14	2,800	
2 BEDROOM	250	42	10,500	
2 BEDROOM	300	4	1,200	
SUBTOTAL			14,500	54,073
BALCONIES (east & west site)				16,140
TOTAL (excess of 152,243 SF)	240		58,100	210,343

BICYCLE PARKING REQUIREMENTS:

REQUIRED: 1 BICYCLE FOR EVERY 2 DWELLING UNITS

EAST SITE

REQUIRED: 180 / 2 = 90 SPACES

PROVIDED:

GARAGE:	63
BICYCLE RACK:	30
TOTAL	93 SPACES

WEST SITE

REQUIRED: 60 / 2 = 30 SPACES

PROVIDED:

GARAGE:	60
BICYCLE RACK:	-
TOTAL	60 SPACES

PARKING SPACE REQUIREMENTS

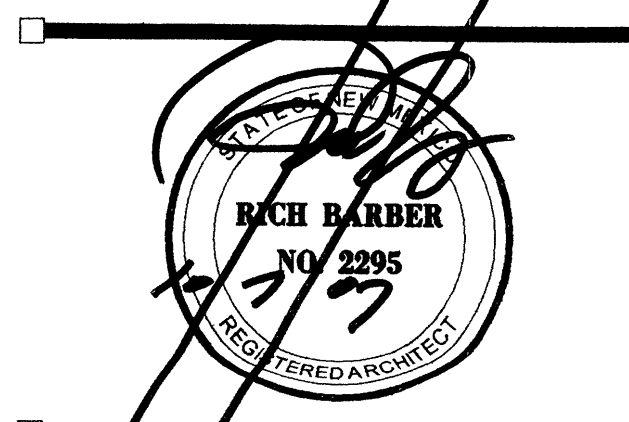
SITE	PARKING RATIO	PARKING SPACES
EAST SITE		
UNIT A1E < 1,000 SF	36 - 1 BR / 1 BATH	1.5 / 1
UNIT A2E < 1,000 SF	12 - 1 BR / 1 BATH	1.5 / 1
UNIT A3E < 1,000 SF	12 - 1 BR / 1 BATH	1.5 / 1
UNIT B1E > 1,000 SF	16 - 2 BR / 2 BATH	2 / 2
UNIT B2E > 1,000 SF	48 - 2 BR / 2 BATH	2 / 2
UNIT B3E > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2
UNIT C1E > 1,000 SF	32 - 3 BR / 2 BATH	2 / 2
Total Parking Spaces Required		330
OPEN PARKING PROVIDED		163
CARPOT PARKING PROVIDED		118
GARAGE PARKING PROVIDED		63
Total Parking Provided		344
Accessible Parking Required		12
OPEN ACCESSIBLE PARKING PROVIDED		8
CARPOT ACCESSIBLE PARKING PROVIDED		3
GARAGE ACCESSIBLE PARKING PROVIDED		1
Total Accessible Parking Provided		12
WEST SITE		
UNIT A1W < 1,000 SF	14 - 1 BR / 1 BATH	1.5 / 1
UNIT B1W > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2
UNIT B2W > 1,000 SF	18 - 2 BR / 2 BATH	2 / 2
UNIT C1W > 1,000 SF	4 - 3 BR / 3 BATH	2 / 3
Total Parking Spaces Required		117
OPEN PARKING PROVIDED		20
GARAGE PARKING PROVIDED		60
TANDEM GARAGE PARKING PROVIDED		46
Total Parking Provided		126
Accessible Parking Required		8
OPEN ACCESSIBLE PARKING PROVIDED		8*
Total Accessible Parking Provided		8*

* 4 ACCESSIBLE PARKING SPACES ARE PROVIDED AT THE CLUBHOUSE ON THE EAST SITE

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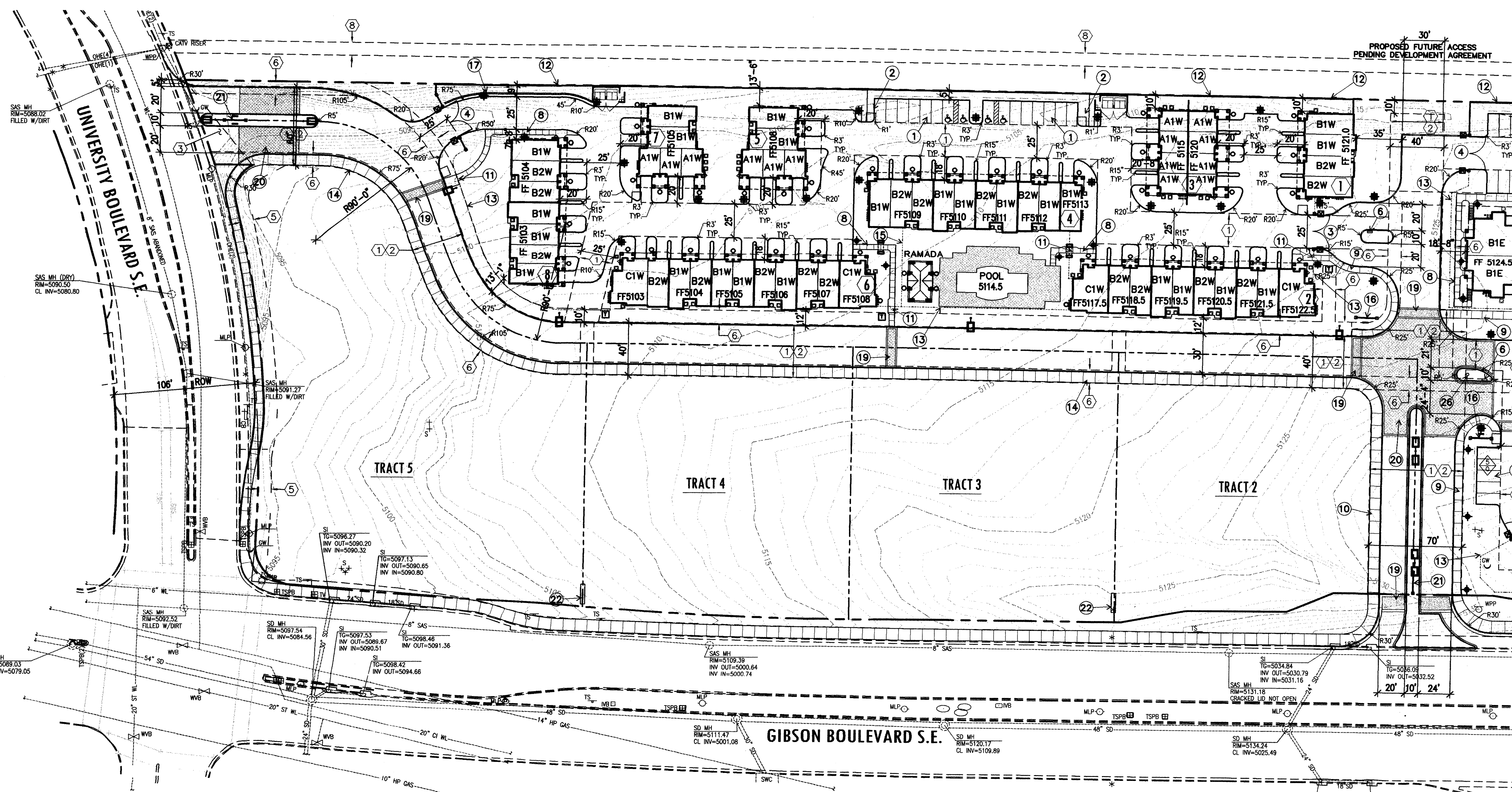
BROADSTONE TOWNE CENTER

N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



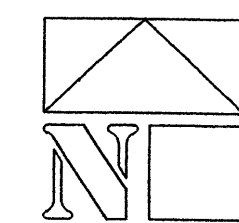
Office of Rich Barber
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0:602-957-4530 F:602-957-4531
WorldHQ@ORBArch.com



WEST SITE PLAN

SCALE: 1" = 50'-0"



LEGEND

- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- FIRE HYDRANT
- ◇ NO. OF PARKING SPACES
NO. OF COVERED SPACES
- ♿ DENOTES ACCESSIBLE PARKING

LIGHTING LEGEND

- SINGLE HEAD POLE MOUNTED FIXTURE, POLE MOUNTED AT +15' A.F.F.
- ◆ LOUVERED BOLLARD FIXTURE
- ♀ WALL MOUNTED FIXTURE, WALL MOUNTED AT +12' A.F.F.
- ♀ POLE MOUNTED FIXTURE, POLE MOUNTED AT +8' A.F.F.
- COVERED PARKING LIGHT FIXTURES 4' FLUORESCENT.
- TRANSFORMER LOCATION.

KEYNOTES ①

1. 8.5'x20' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
2. TRASH ENCLOSURE, SURROUNDED BY 6' CMU WALL, PAINT TO MATCH BUILDING, SEE DET.
3. ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DET. A/LD-2
4. RESIDENT ONLY REMOTE CONTROL ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DET. A/LD-2
5. CARPORT PARKING STRUCTURE.
6. GATE CONTROL BOX.
7. 3'-6" SIDEWALK AT STAIRS, TYPICAL.
8. 4'-0" SIDEWALK.
9. 6'-0" SIDEWALK.
10. 8'-0" SIDEWALK.
11. PEDESTRIAN GATE, SEE DET. C/LD-1
12. PERIMETER MASONRY WALL (6' HT), SEE DET. B/LD-2
13. PERIMETER FENCE, SEE DET. F/LD-1
14. PERIMETER FENCE ON WALL, SEE DET. G/LD-2
15. POOL FENCE, SEE LANDSCAPE PLANS.
16. INTERIOR PROJECT SIGN, LIMITED TO 16 FEET IN HEIGHT AND 24 S.F. OF SIGN FACE AREA, SEE DETAILS A, B/LD-1
17. RETAINING WALL.
18. BENCH.
19. PEDESTRIAN CROSSING SHALL BE AT LEAST 6 FEET WIDE AND SHALL BE OF TEXTURED, COLORED CONCRETE.
20. ENHANCED PAVING SHALL BE DEFINED AS TEXTURED, COLORED CONCRETE.
21. MONUMENT SIGN, LIMITED TO 10 FEET IN HEIGHT AND 50 S.F. OF SIGN FACE AREA.
22. MONUMENT SIGN, LIMITED TO 15 FEET IN HEIGHT AND 72 S.F. OF SIGN FACE AREA.
23. OUTDOOR SHADE STRUCTURE WITH BENCH.
24. CHILD'S PLAY AREA.
25. BUS SHELTER PER CITY OF ALBUQUERQUE DRAWING 2535.04.
26. FLAG POLE.
27. BICYCLE PARKING RACK FOR 6 BICYCLES.
28. POLE MOUNTED CHARCOAL BBQ.
29. BBQ LOCATION

EASEMENTS ①

- #### NEW EASEMENTS
1. CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
 2. PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. ALSO, A PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
 3. PUBLIC ROADWAY AND SIDEWALK EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT.
 4. CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY PLAT.
 5. 10' QUEST CORPORATION EASEMENT TO BE GRANTED BY PLAT.
 6. 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.
 7. 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270.
 8. 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 930-2.
 9. LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 08-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007.

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REVISIONS

NO.	DATE	DESCRIPTION

DATE: OCTOBER 08, 2007 ORB # 06-210

A1.12

SITE PLAN FOR BLDG. PERMITS
WEST SITE

DEVELOPMENT DATA

NET SITE AREA:

TRACT 1 (APARTMENTS)	12.2 ACRES (532,312 S.F.)
EAST SITE	8.7 ACRES (380,740 S.F.)
WEST SITE	3.5 ACRES (151,572 S.F.)
TRACT 2 (RETAIL)	0.98 ACRES (42,556 S.F.)
TRACT 3 (RETAIL)	0.94 ACRES (40,855 S.F.)
TRACT 4 (RETAIL)	0.93 ACRES (40,619 S.F.)
TRACT 5 (RETAIL)	1.69 ACRES (73,605 S.F.)

ZONING:

CURRENT:	R-1
PROPOSED:	TRACT 1 - "SU-1 PRD RESIDENTIAL" TRACT 2, 3, 4 & 5 - "SU-1 FOR C-2"

BUILDING HEIGHT:

TRACT 1:	3/40 STORIES/FEET
ALLOWED:	(BASED ON 10' SETBACK)
PROVIDED:	3/40 STORIES/FEET

DENSITY:

TRACT 1:	19.641 DU/ACRE
PROPOSED:	240 DU

- #### GENERAL NOTES:
1. THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPLIES TO TRACT 1.
 2. EAST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
TYPE 1 - 20,821 SF TYPE 3 - 26,129 SF
TYPE 2 - 26,282 SF TYPE 4 - 3,796 SF
GARAGE - 1,876 SF REC/LEASING - 6,576 SF
 3. WEST SITE BUILDING SIZES BY TYPE ARE AS FOLLOWS:
BLDG 1 - 7,490 SF BLDG 5 - 7,725 SF
BLDG 2 - 19,540 SF BLDG 6 - 21,426 SF
BLDG 3 - 10,587 SF BLDG 7 - 7,725 SF
BLDG 4 - 18,805 SF BLDG 8 - 13,070 SF
 4. SHARE PRIVATE ACCESS PROVIDED BETWEEN ALL PARCELS PER PLAT.

SETBACKS PROVIDED:

EAST SITE:			
	SIDE (N)	REAR (E)	FRONT (W)
BUILDINGS	34'	25'	10'
GARAGES	5'	NA	NA
PARKING	6.5'	30'	5'

WEST SITE:			
	SIDE (N)	FRONT (E)	REAR (W)
BUILDINGS	10'	NA	NA
PARKING	5'	NA	NA

EAST SITE UNIT MIX

UNIT TYPE						UNITS/BLDG	NO. BLDGS	TOTAL
A1E	A2E	A3E	B1E	B2E	C1E			
LIVABLE STORAGE	741	741	777	1,070	1,036	1,305		
PAT/BAL	68	68	65	60	63	60		
BLDG TYPE 1	9	3		8			20	2
BLDG TYPE 2				12			24	4
BLDG TYPE 3	9	3			12		2	48
BLDG TYPE 4			2				2	6
TOTAL	36	12	16	48	24	32	14	180

WEST SITE UNIT MIX

UNIT TYPE				UNITS/BLDG	NO. BLDGS	TOTAL
A1W	B1W	B2W	C1W			
LIVABLE STORAGE	868	1,231	1,231	1,532		
GARAGE	286	475	475	498		
PAT/BAL	56	56	56	129		
BUILDING 1	2	2			4	1
BUILDING 2		4	4	2	10	1
BUILDING 3	8				8	1
BUILDING 4		6	4		10	1
BUILDING 5	3	2			5	1
BUILDING 6		4	5	2	11	1
BUILDING 7	3	2			5	1
BUILDING 8		4	3		7	1
TOTAL	14	24	18	4	8	60

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

SITE	SF REQ. PER DU	% OF TOTAL SF DU'S REQUIRED	TOTAL SF PROVIDED
EAST SITE			
1 BEDROOM	200	60	12,000
2 BEDROOM	250	88	22,000
	300	32	9,600
SUBTOTAL			43,600
WEST SITE			
1 BEDROOM	200	14	2,800
2 BEDROOM	250	42	10,500
2 BEDROOM	300	4	1,200
SUBTOTAL			14,500
BALCONIES (east & west site)			16,140
TOTAL (excess of 152,243 SF)	240	58,100	210,343

BICYCLE PARKING REQUIREMENTS:

REQUIRED: 1 BICYCLE FOR EVERY 2 DWELLING UNITS

EAST SITE	
REQUIRED:	180 / 2 = 90 SPACES
PROVIDED:	
GARAGE:	63
BICYCLE RACK:	30
TOTAL:	93 SPACES

WEST SITE	
REQUIRED:	60 / 2 = 30 SPACES
PROVIDED:	
GARAGE:	60
BICYCLE RACK:	-
TOTAL:	60 SPACES

PARKING SPACE REQUIREMENTS

EAST SITE		PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1E < 1,000 SF	36 - 1 BR / 1 BATH	1.5 / 1	54
UNIT A2E < 1,000 SF	12 - 1 BR / 1 BATH	1.5 / 1	18
UNIT A3E < 1,000 SF	12 - 1 BR / 1 BATH	1.5 / 1	18
UNIT B1E > 1,000 SF	18 - 2 BR / 2 BATH	2 / 2	36
UNIT B2E > 1,000 SF	48 - 2 BR / 2 BATH	2 / 2	96
UNIT B3E > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2	48
UNIT C1E > 1,000 SF	32 - 3 BR / 2 BATH	2 / 2	64
Total Parking Spaces Required			330
OPEN PARKING PROVIDED			163
CARPORT PARKING PROVIDED			118
GARAGE PARKING PROVIDED			63
Total Parking Provided			344
Accessible Parking Required			12
OPEN ACCESSIBLE PARKING PROVIDED			8
CARPORT ACCESSIBLE PARKING PROVIDED			3
GARAGE ACCESSIBLE PARKING PROVIDED			1
Total Accessible Parking Provided			12

WEST SITE		PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1W < 1,000 SF	14 - 1 BR / 1 BATH	1.5 / 1	21
UNIT B1W > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2	48
UNIT B2W > 1,000 SF	18 - 2 BR / 2 BATH	2 / 2	36
UNIT C1W > 1,000 SF	4 - 3 BR / 3 BATH	2 / 3	12
Total Parking Spaces Required			117
OPEN PARKING PROVIDED			20
GARAGE PARKING PROVIDED			60
TANDEM GARAGE PARKING PROVIDED			46
Total Parking Provided			126
Accessible Parking Required			8
OPEN ACCESSIBLE PARKING PROVIDED			8*
Total Accessible Parking Provided			8*

* 4 ACCESSIBLE PARKING SPACES ARE PROVIDED AT THE CLUBHOUSE ON THE EAST SITE

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FILE: I:\Projects\JCA LLC\Dwg's\200605 - Broadstone at Towne Center\Construction Docs\200605 1.20 Site Details.dwg USER: jps DATE: Oct, 04 2007 TIME: 02:05 pm

BROADSTONE TOWNE CENTER

N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO

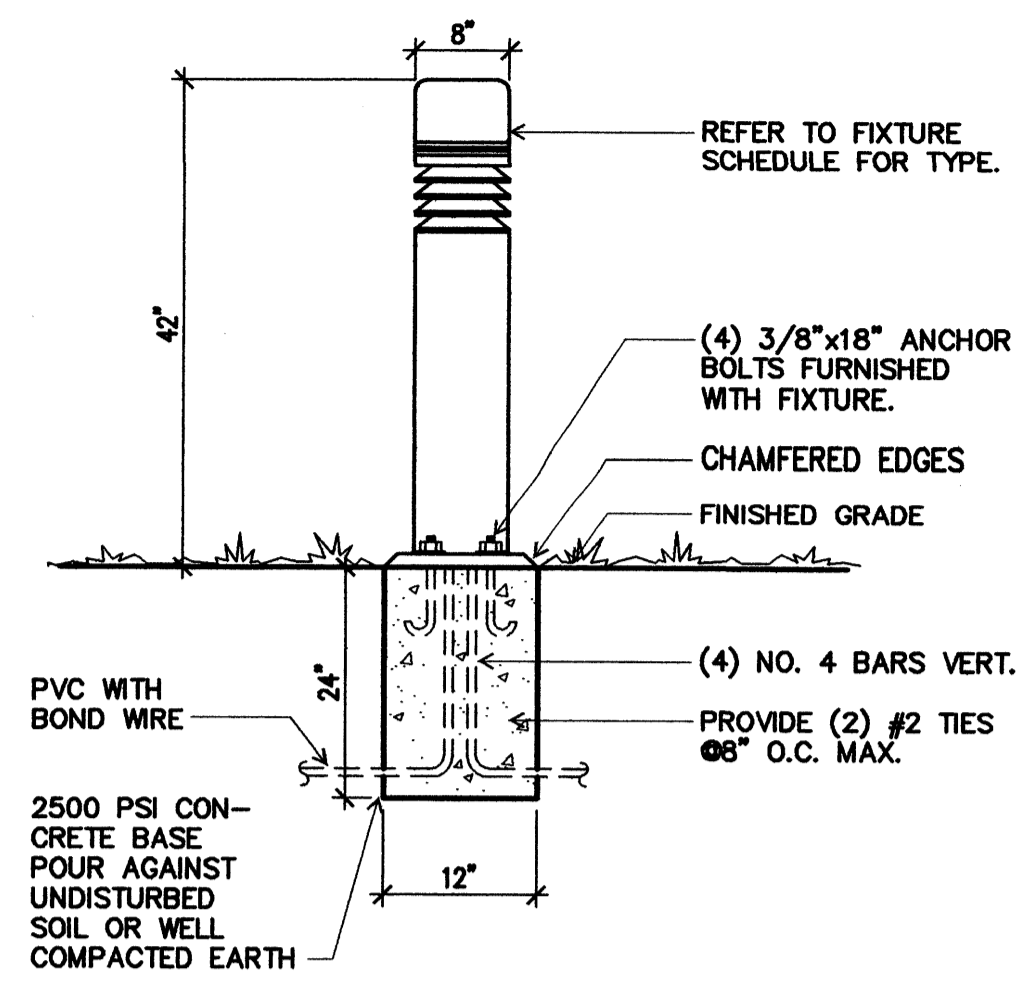


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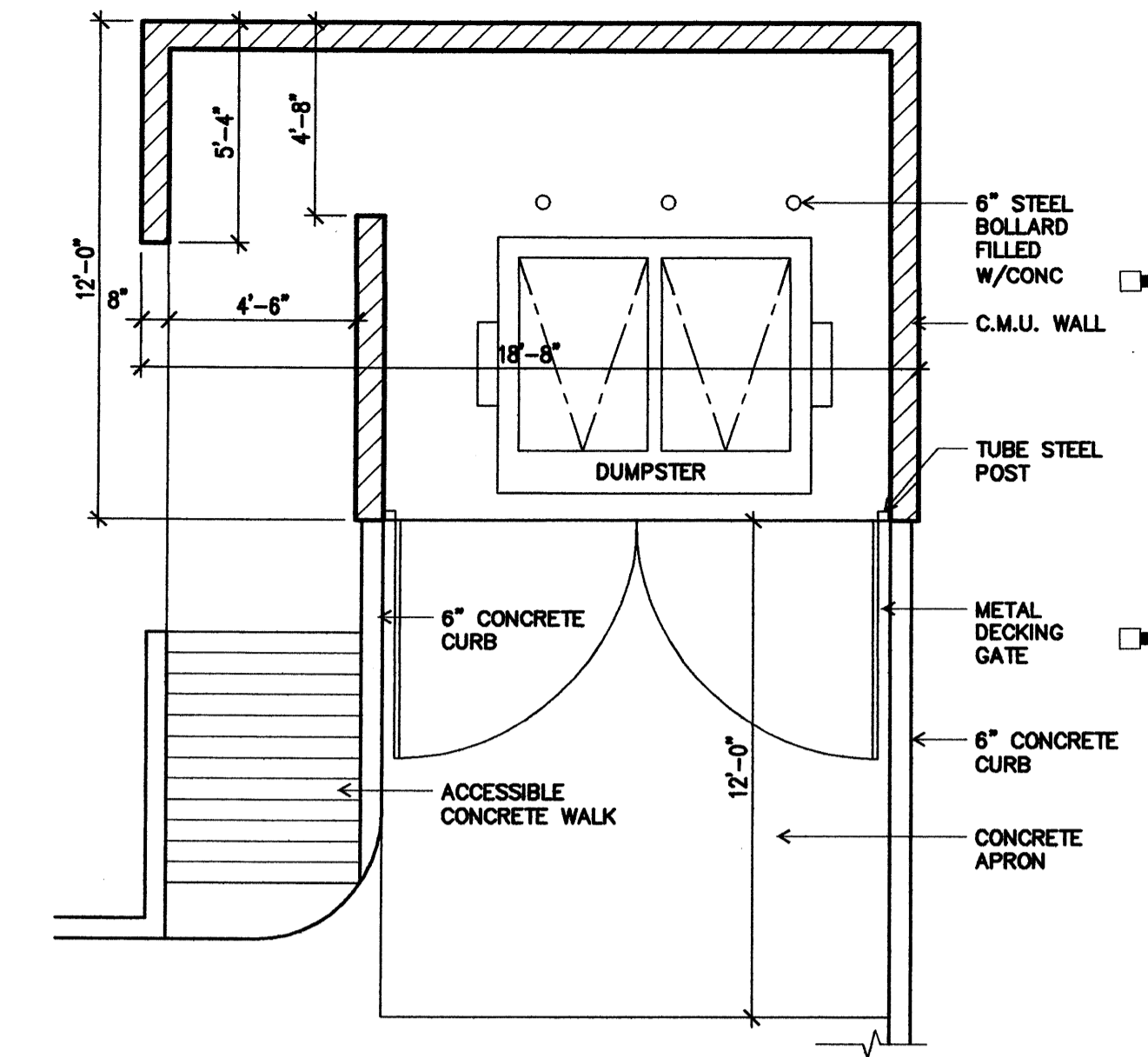
NOTES:

- REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION. TYPICAL THESE DRAWINGS ARE ARCHITECTURAL ONLY.
- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.



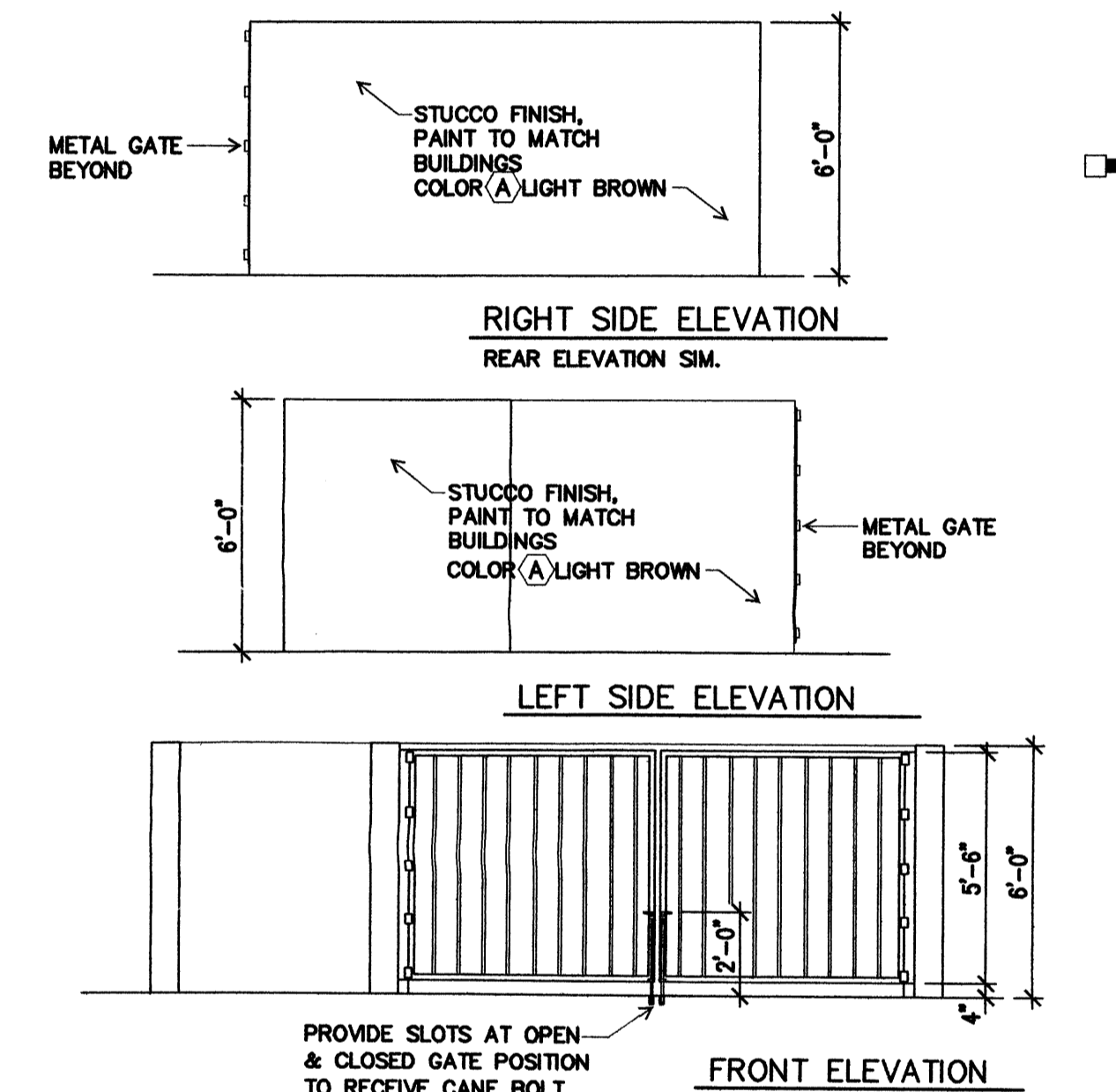
04 BOLLARD MOUNTING LIGHT FIXTURE

NOT TO SCALE



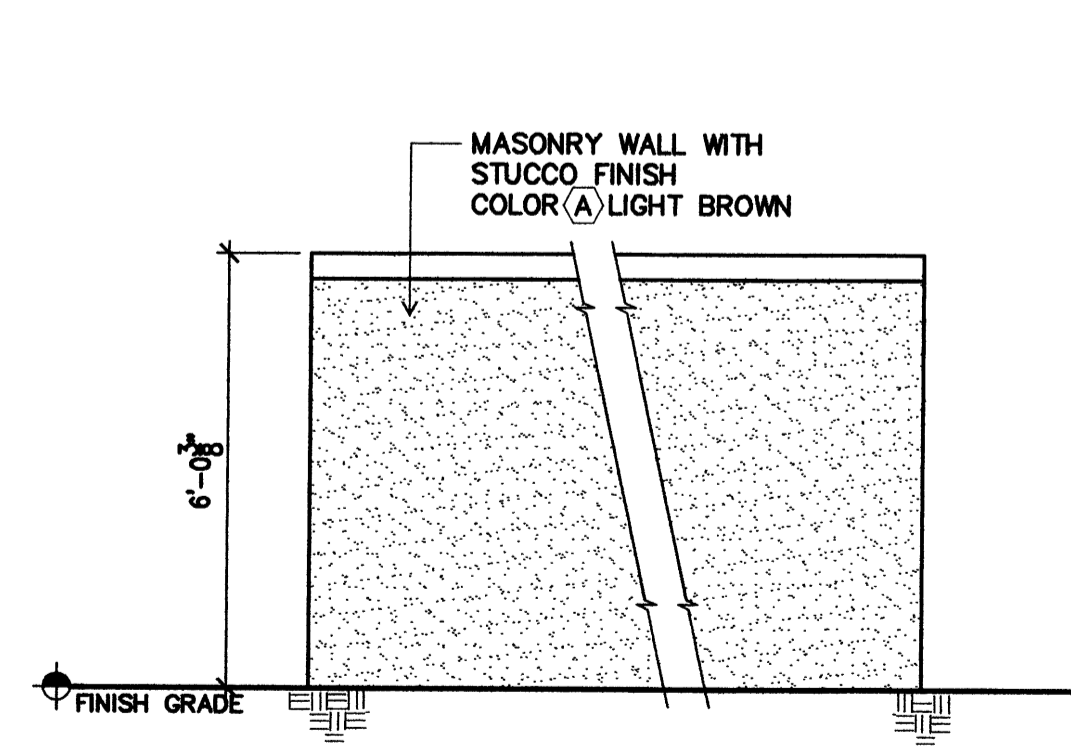
01 TRASH ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



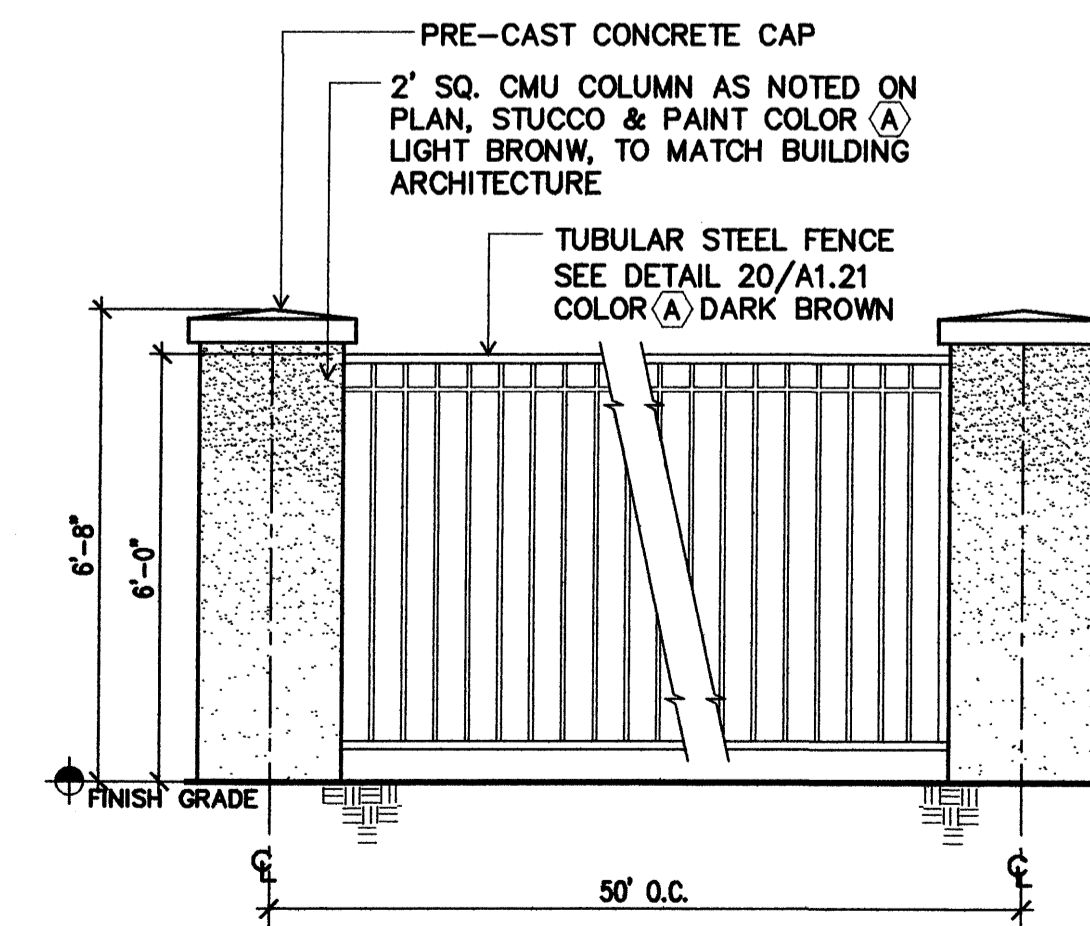
02 TRASH ENCLOSURE ELEVATIONS

SCALE: 1/4" = 1'-0"



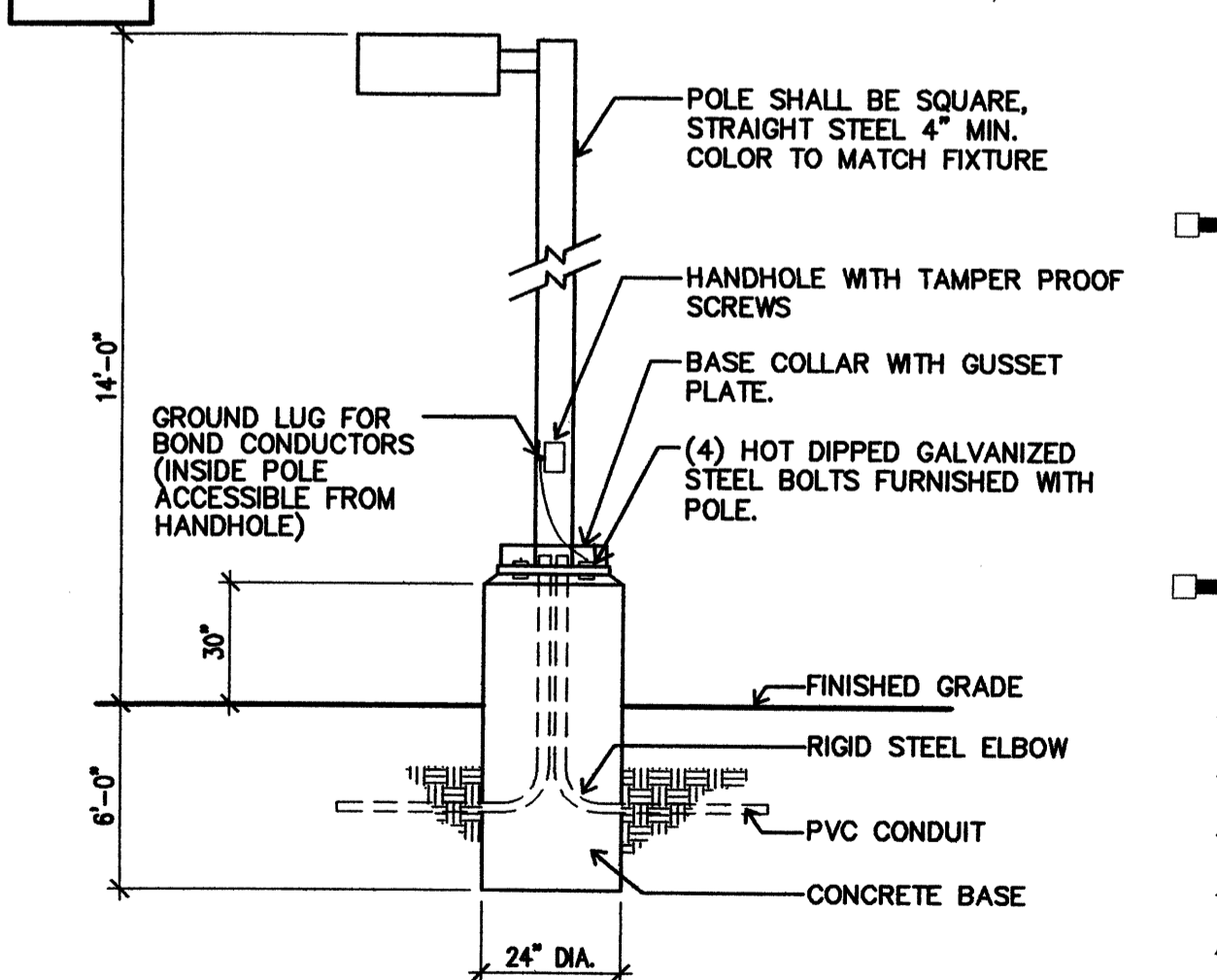
09 PERIMETER WALL

SCALE: 3/8" = 1'-0"



06 PILASTER AT PERIMETER VIEW FENCE

SCALE: 3/8" = 1'-0"



03 LIGHT FIXTURE

NOT TO SCALE

NOTES:

- E.P.A. RATINGS AND SOIL CONDITIONS SHALL BE COORDINATED WITH POLE & FIXTURE ASSEMBLY.
- POLE MANUFACTURER SHALL PROVIDE BASE DESIGN SEALED BY REGISTERED ENGINEER.
- HORIZONTAL MOUNTED LIGHT LENS SHALL NOT PROJECT BELOW LIGHT SHIELD. LUMINANCE SHALL NOT BE GREATER THAN 1,000 FOOT LAMBERTS.
- HEIGHT OF LIGHT FIXTURE FOR INTERNAL TO THE SITE LIGHT FIXTURES WITHIN PUBLIC ROW SHALL COMPLY WITH CITY OF ALBUQUERQUE AND FNM STANDARDS.

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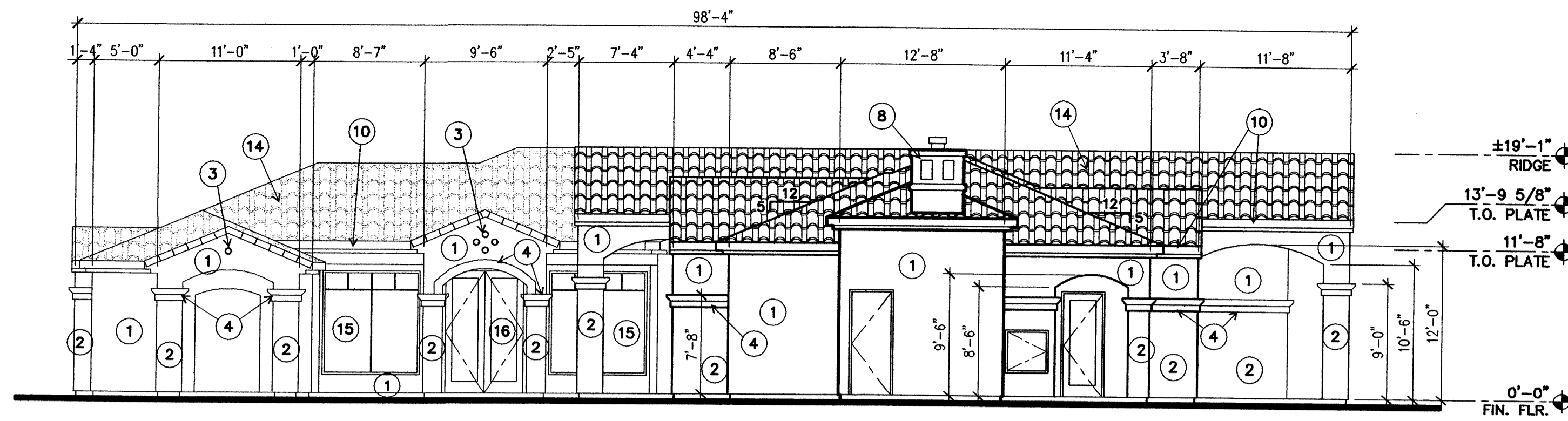
REVISIONS

NO.	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB# 06-210

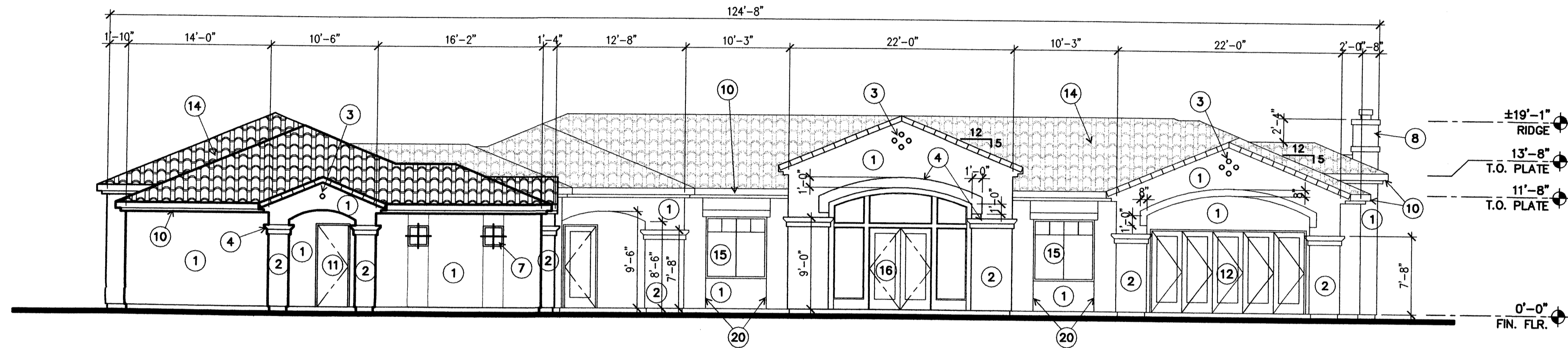
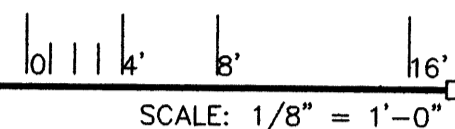
A1.20

SITE PLAN DETAILS
01 - 15



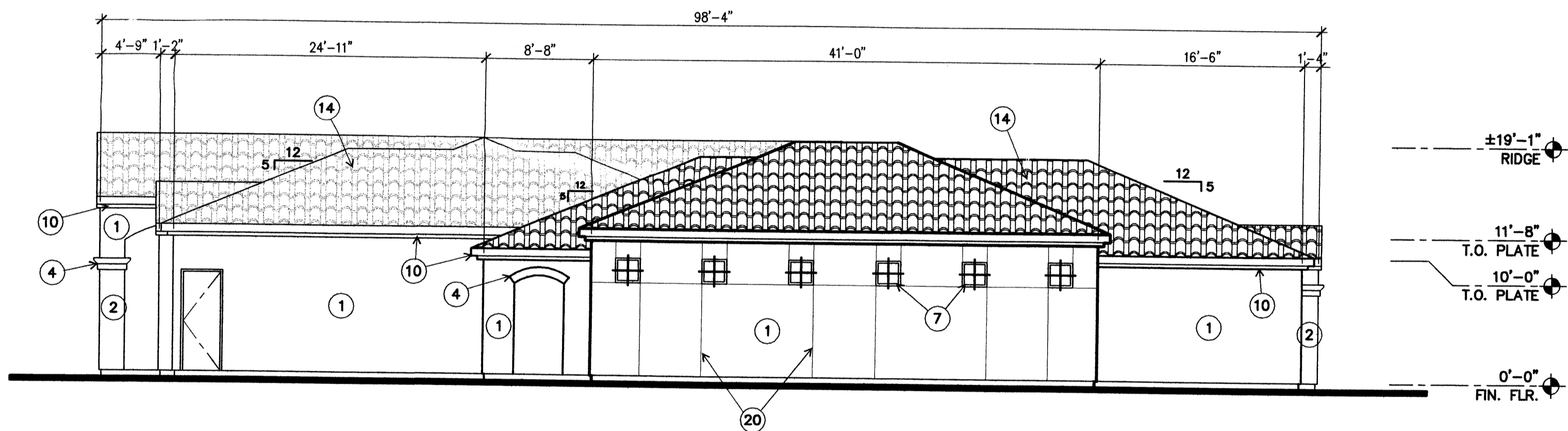
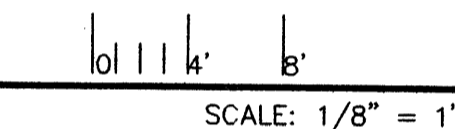
LEFT ELEVATION

REC/LEASING OFFICE



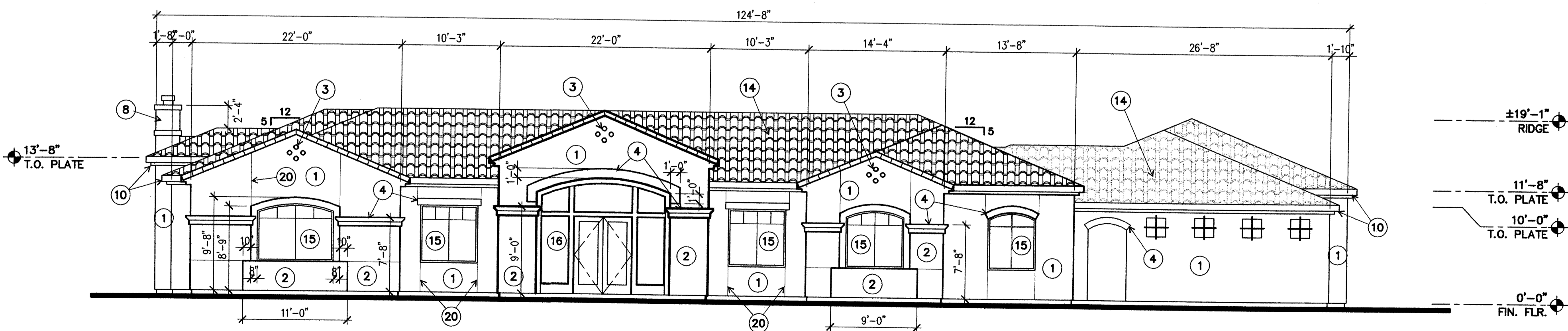
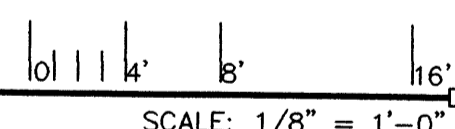
REAR ELEVATION

REC/LEASING OFFICE



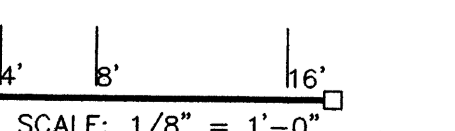
RIGHT ELEVATION

REC/LEASING OFFICE



FRONT ELEVATION

REC/LEASING OFFICE



KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (C) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) MAMA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 BUILDING ADDRESS SIGN, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

MATERIAL/COLOR KEY NOTES

	SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)	SCHEME 2 (BUILDINGS 3,7,12,13,15 & 16)
(A) STUCCO WALL	LIGHT BROWN	STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL	MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR	MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS	DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS	DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE	TERRACOTTA/BROWN BLEND	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND
(G) DUAL PANE ALUMINUM WINDOW	DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

**BROADSTONE
TOWNE CENTER**

N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



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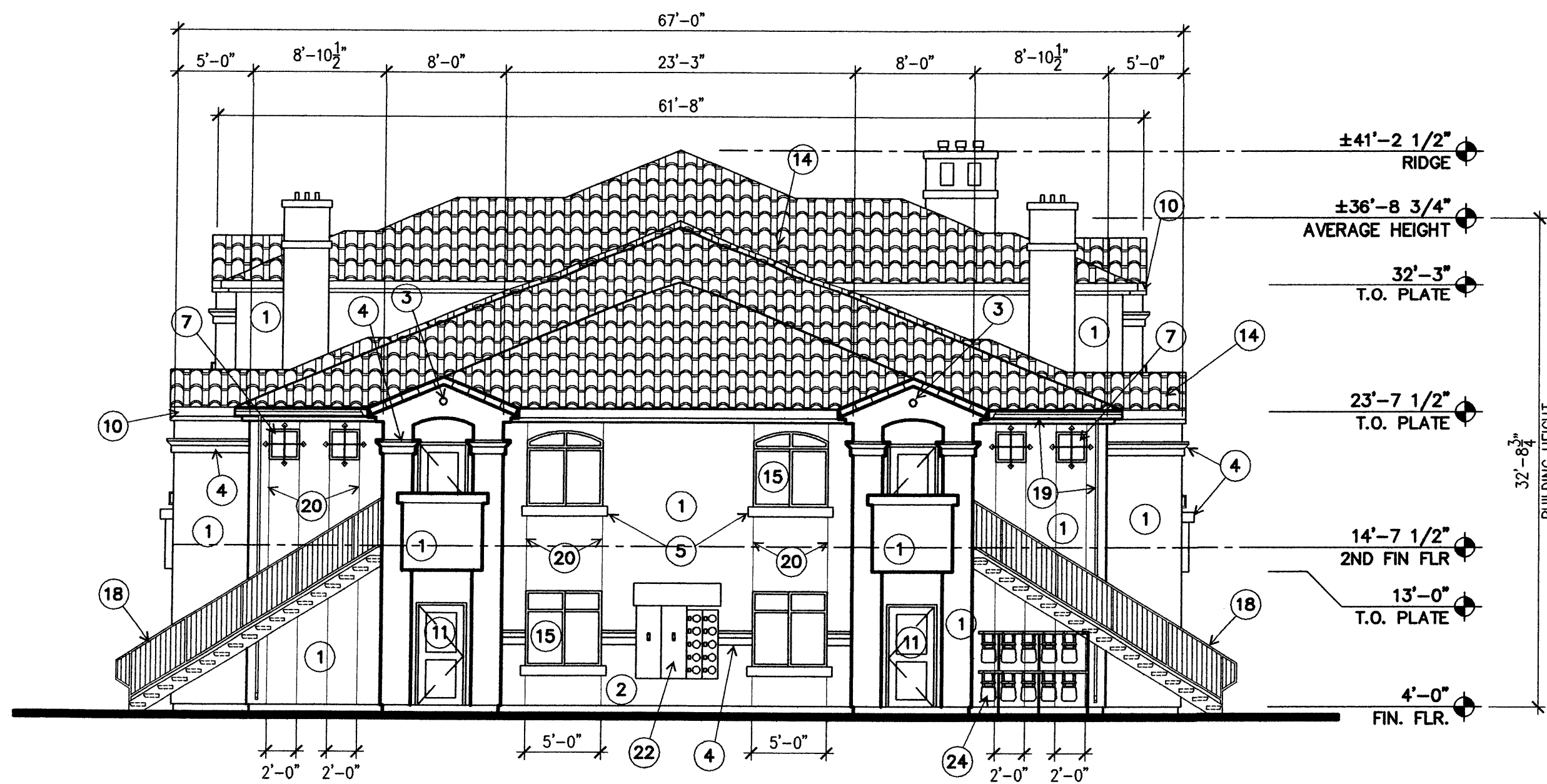
NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB# 06-210

A2.10

REC/LEASING OFFICE
ELEVATIONS

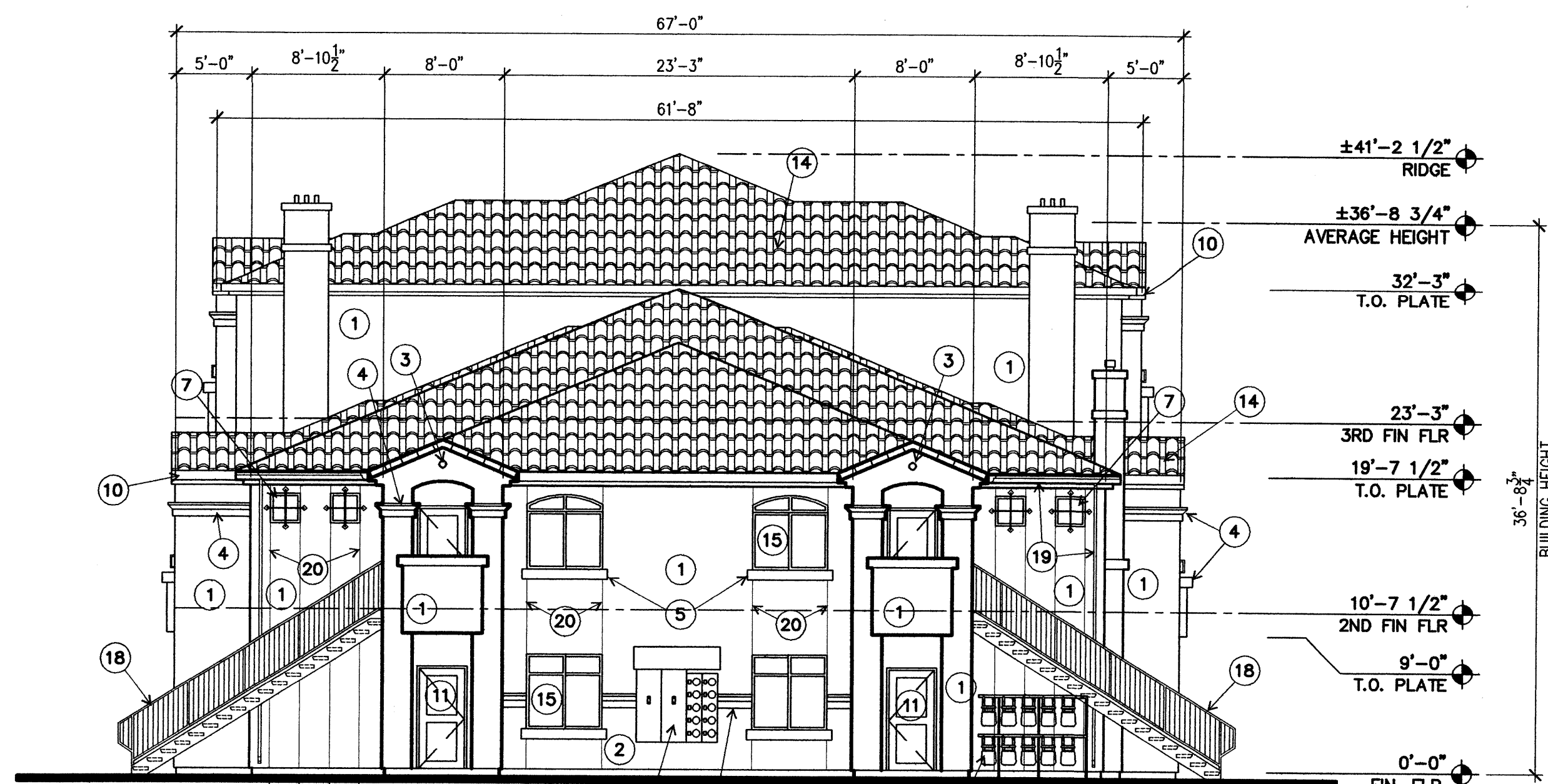
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LEFT ELEVATION
BUILDING TYPE 1 (BUILDING 17)

UNIT B1
UNIT B1

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
BUILDING TYPE 1 (BUILDING 17)

UNIT B1
UNIT B1

SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) NANA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
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- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
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- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

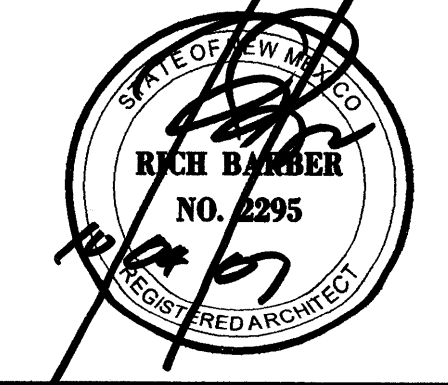
MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)		SCHEME 2 (BUILDINGS 3,7,12,13,15 & 16)	
(A) STUCCO WALL LIGHT BROWN		STUCCO WALL BEIGE	
(B) ACCENT STUCCO WALL MEDIUM BROWN		ACCENT STUCCO WALL MEDIUM BROWN	
(C) GARAGE DOOR MEDIUM BROWN		GARAGE DOOR MEDIUM BROWN	
(D) STUCCO TRIM & DOORS DARK BROWN		STUCCO TRIM & DOORS DARK BROWN	
(E) IRON & ENTRY DOORS DARK BROWN		IRON & ENTRY DOORS DARK BROWN	
(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND		EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND	
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME		DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

**BROADSTONE
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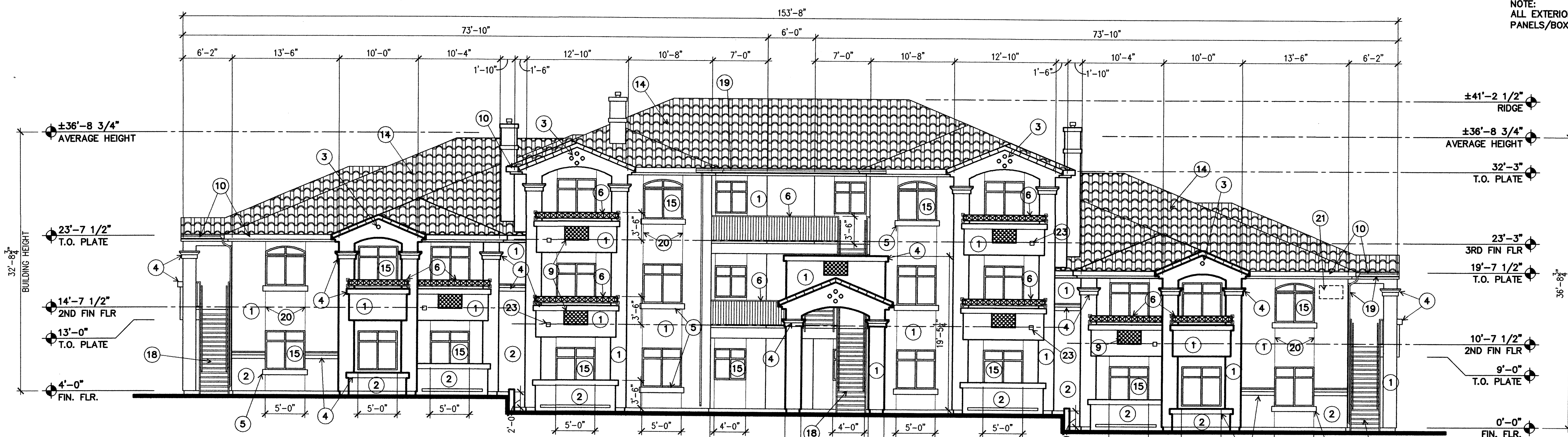
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A2.11

EAST SITE
BLDG TYPE 1 ELEVATIONS



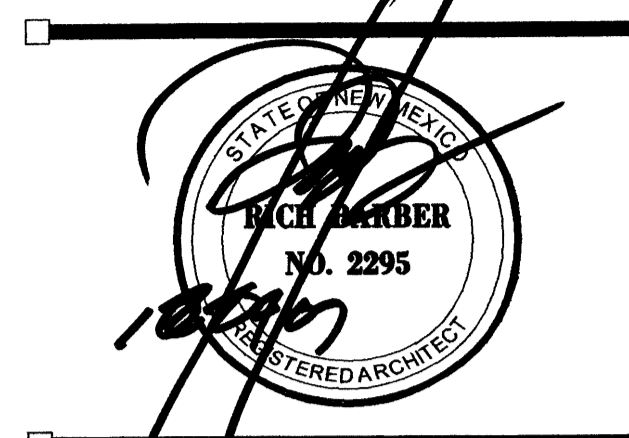
FRONT ELEVATION
BUILDING TYPE 1 (BUILDING 17)

UNIT A1
UNIT A1
UNIT A1

SCALE: 1/8" = 1'-0"

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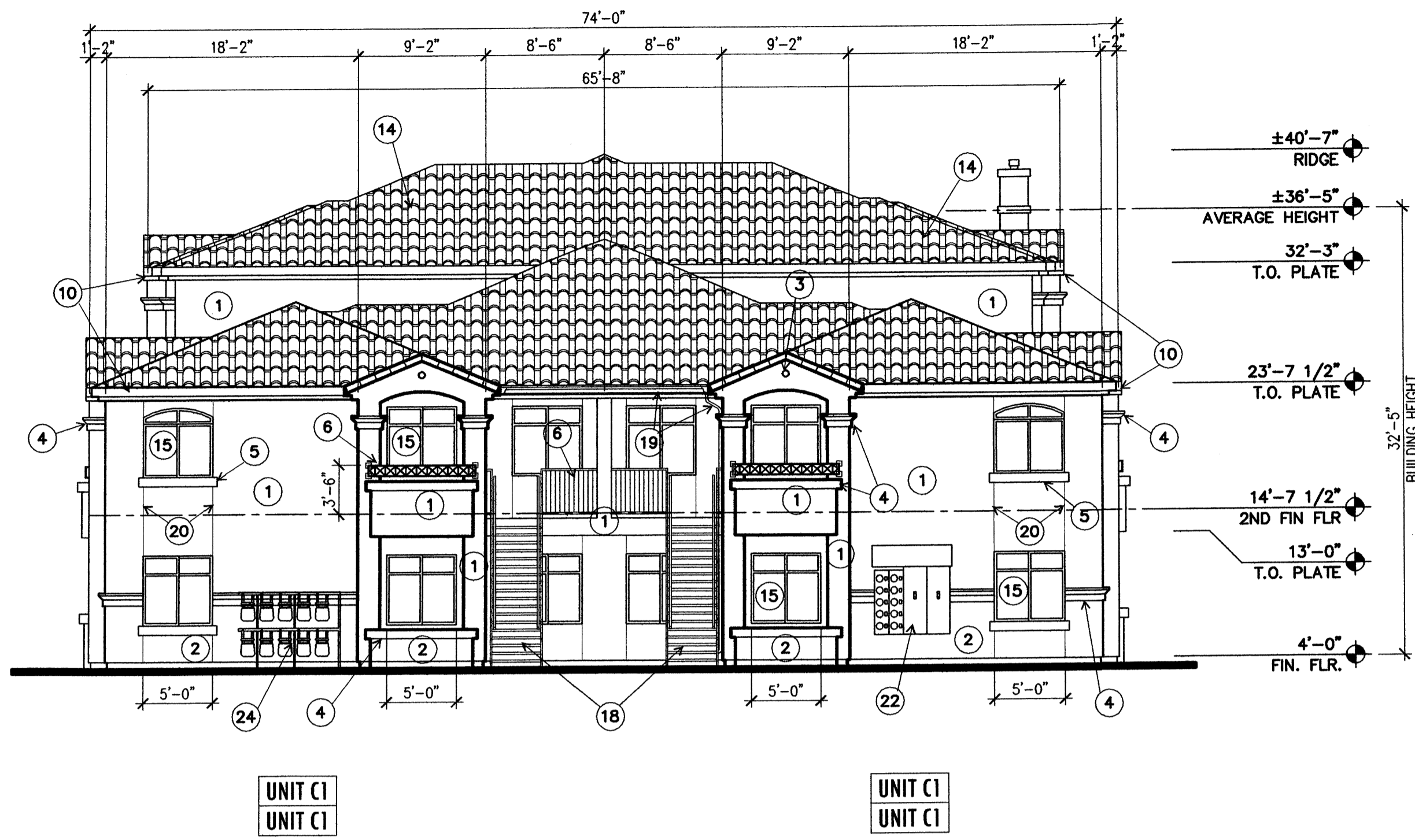
KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) NANA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 BUILDING ADDRESS SIGN. REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

MATERIAL/COLOR KEY NOTES

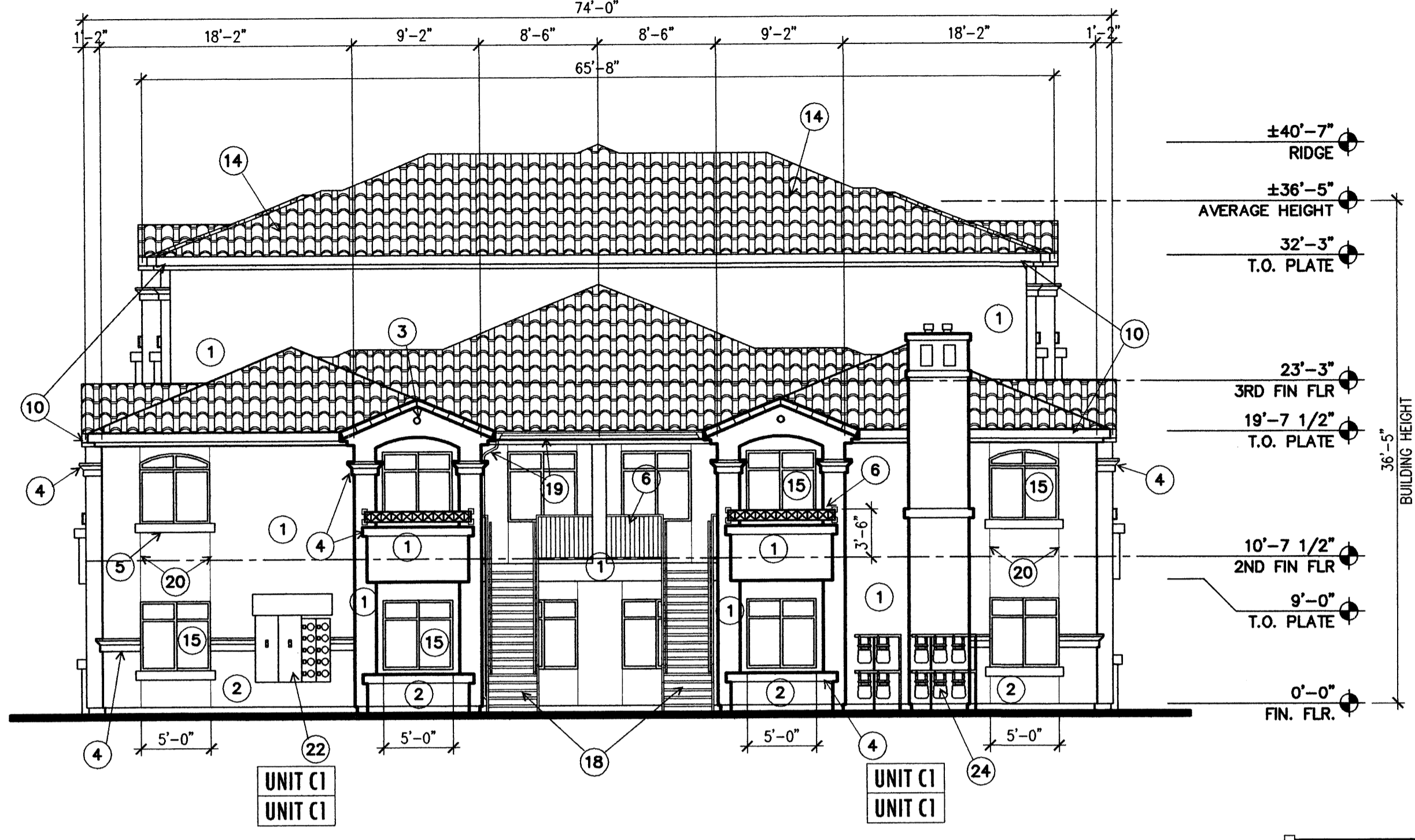
SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)		SCHEME 2 (BUILDINGS 3,7,12,13,15 & 18)	
(A) STUCCO WALL LIGHT BROWN	(A) STUCCO WALL BEIGE	(B) ACCENT STUCCO WALL MEDIUM BROWN	(B) ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	(C) GARAGE DOOR MEDIUM BROWN	(D) STUCCO TRIM & DOORS DARK BROWN	(D) STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	(E) IRON & ENTRY DOORS DARK BROWN	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME		

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



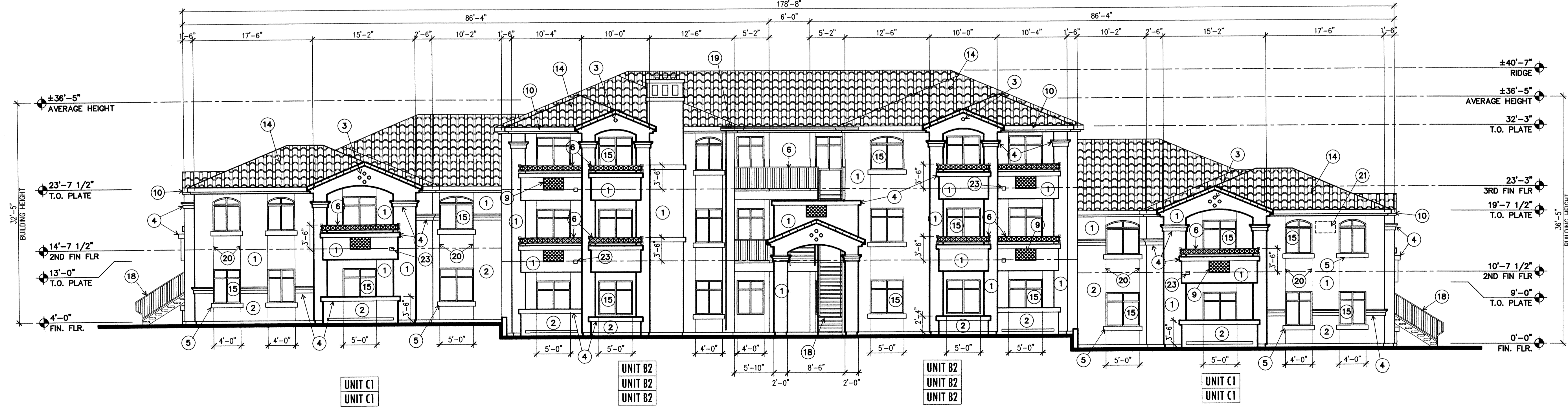
LEFT ELEVATION

BUILDING TYPE 2 (BLDGS 12 & 14, BLDG 5 SIM.)
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

BUILDING TYPE 2 (BLDGS 12 & 14, BLDG 5 SIM.)
SCALE: 1/8" = 1'-0"



FRONT ELEVATION

BUILDING TYPE 2 (BLDGS 12 & 14, BLDG 5 SIM.)
SCALE: 1/8" = 1'-0"

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NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB # 06-210

A2.12

EAST SITE
BLDG TYPE 2 ELEVATIONS



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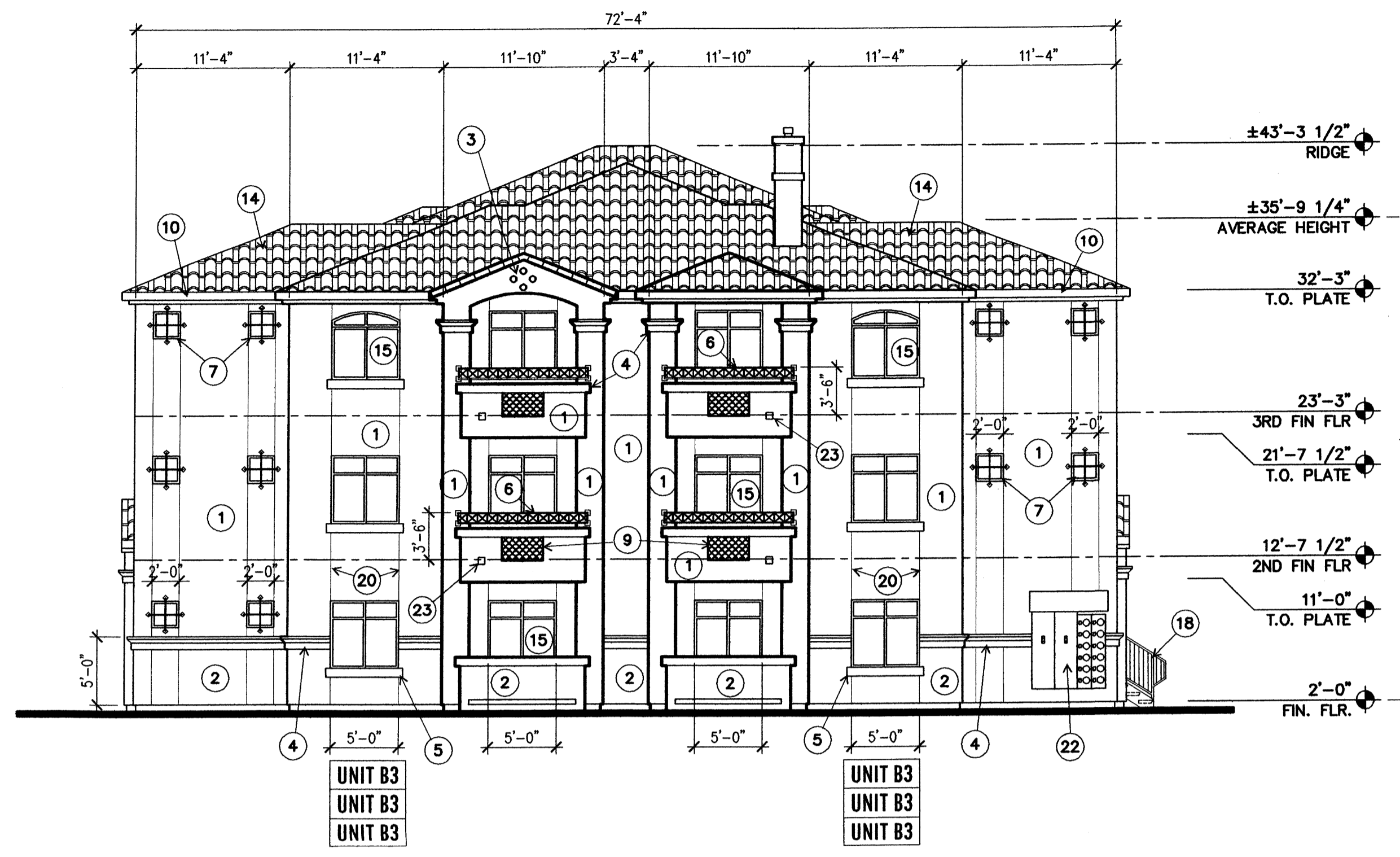
KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) NANA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 BUILDING ADDRESS SIGN. REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 306B METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)		SCHEME 2 (BUILDINGS 3,7,12,13,15 & 16)	
(A) STUCCO WALL LIGHT BROWN	(A) STUCCO WALL BEIGE	(B) ACCENT STUCCO WALL MEDIUM BROWN	(B) ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	(C) GARAGE DOOR MEDIUM BROWN	(D) STUCCO TRIM & DOORS DARK BROWN	(D) STUCCO TRIM & DOORS DARK BROWN
(E) STUCCO TRIM & DOORS DARK BROWN	(E) STUCCO TRIM & DOORS DARK BROWN	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME		

NOTE:
 ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
 PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



LEFT ELEVATION
 BUILDING TYPE 3 (BUILDING 15)

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 BUILDING TYPE 3 (BUILDING 15)

SCALE: 1/8" = 1'-0"



FRONT ELEVATION
 BUILDING TYPE 3 (BUILDING 15)

SCALE: 1/8" = 1'-0"

REVISIONS

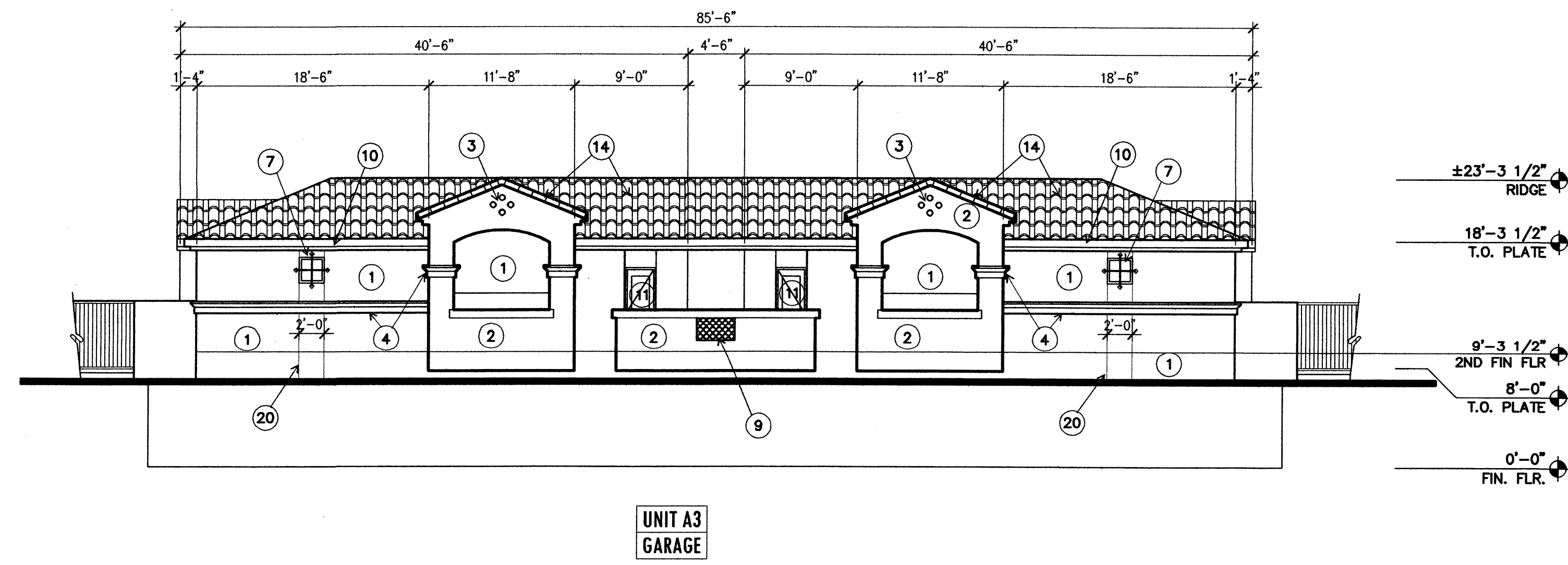
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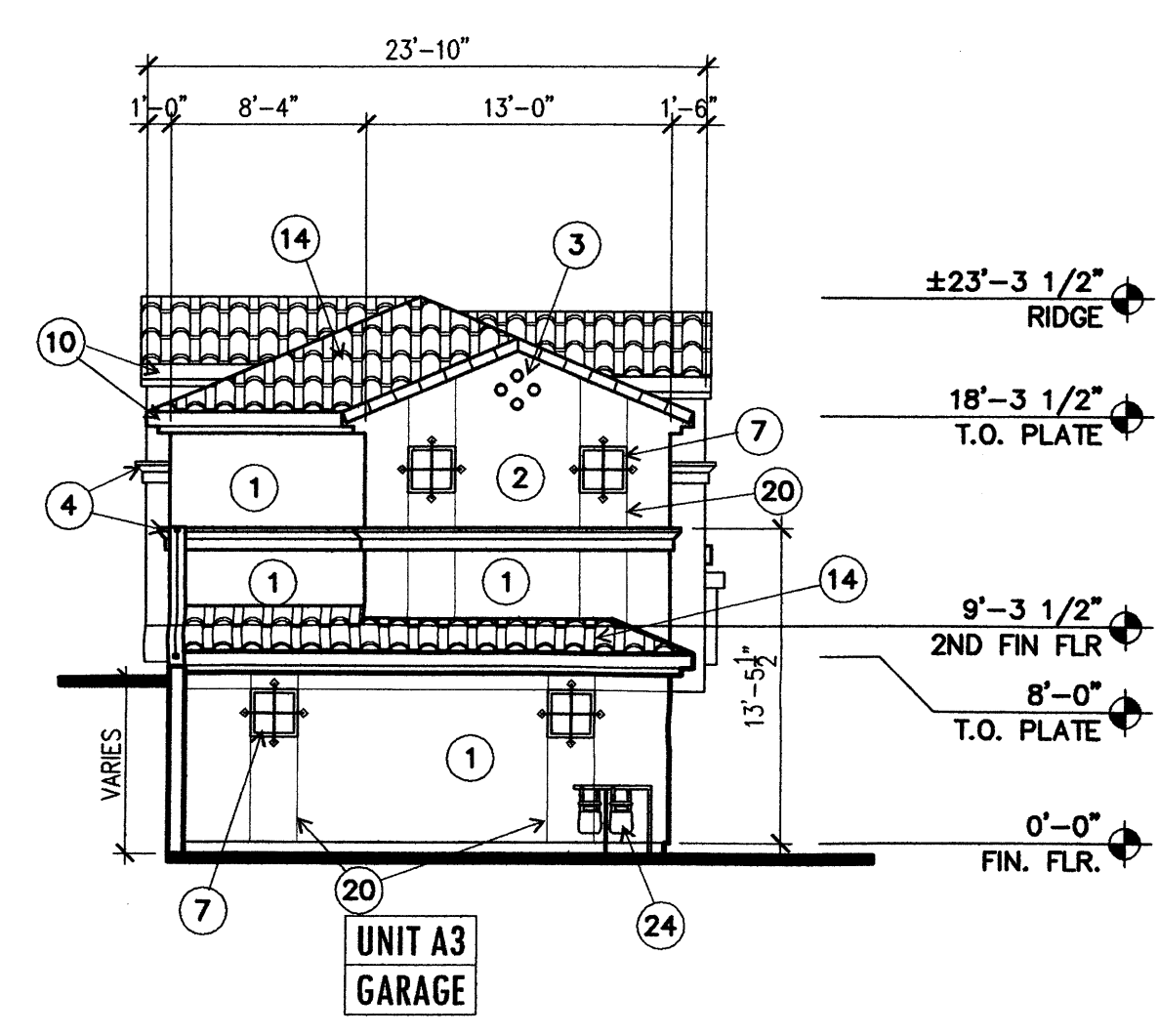
A2.13

EAST SITE
 BLDG TYPE 3 ELEVATIONS

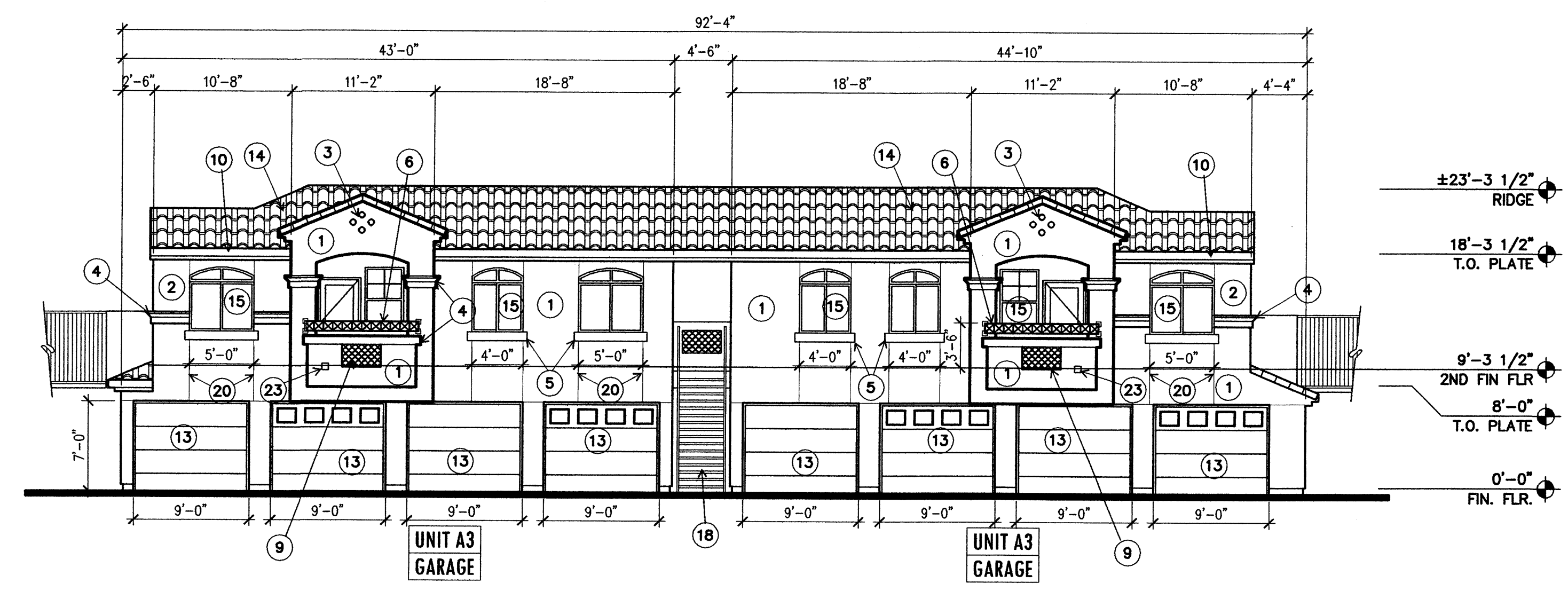
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REAR ELEVATION
BUILDING TYPE 4
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
BUILDING TYPE 4
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
BUILDING TYPE 4
SCALE: 1/8" = 1'-0"

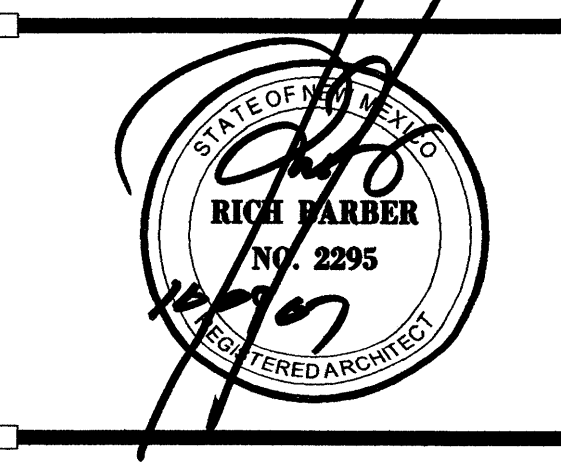
- KEY NOTES**
- 1 (A) STUCCO WALL
 - 2 (B) STUCCO WALL
 - 3 (D) CLAY PIPE
 - 4 (D) STUCCO TRIM
 - 5 (D) STUCCO WINDOW SILL
 - 6 (E) METAL RAILING
 - 7 (G) WINDOW WITH (E) IRON CROSS BAR
 - 8 (A) CHIMNEY
 - 9 (D) DECORATIVE PRECAST PANEL
 - 10 (D) STUCCO ROOF FASCIA
 - 11 (E) METAL ENTRY DOOR
 - 12 (G) NANA-WALL SYSTEM
 - 13 (C) METAL SECTIONAL GARAGE DOOR
 - 14 (F) ROOF TILE
 - 15 (G) ALUMINUM WINDOW
 - 16 (G) ALUMINUM STOREFRONT
 - 17 (B) STUCCO COVERED CMU SCREEN WALL
 - 18 (E) PRECAST STAIR WITH METAL RAILING
 - 19 (A) RAIN CUTTER AND DOWNSPOT AT ALL ENTRIES
 - 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
 - 21 BUILDING ADDRESS SIGN. REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
 - 22 ELECTRIC SERVICE PANEL
 - 23 (A) BALCONY SCUPPER
 - 24 GAS METERS LOCATION
 - 25 3088 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
 - 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

MATERIAL/COLOR KEY NOTES

	SCHEME 1 (BUILDINGS 1,2,4,5,6,8,9,10,11,14 & 17)	SCHEME 2 (BUILDINGS 3,7,12,13,15 & 16)
(A) STUCCO WALL	LIGHT BROWN	STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL	MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR	MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS	DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS	DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE	TERRACOTTA/BROWN BLEND	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA/BROWN BLEND
(G) DUAL PANE ALUMINUM WINDOW	DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

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TOWNE CENTER**
N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



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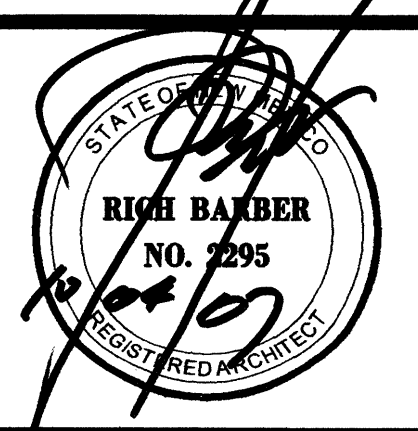
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A2.14
EAST SITE
BLDG TYPE 4 ELEVATIONS

BROADSTONE TOWNE CENTER

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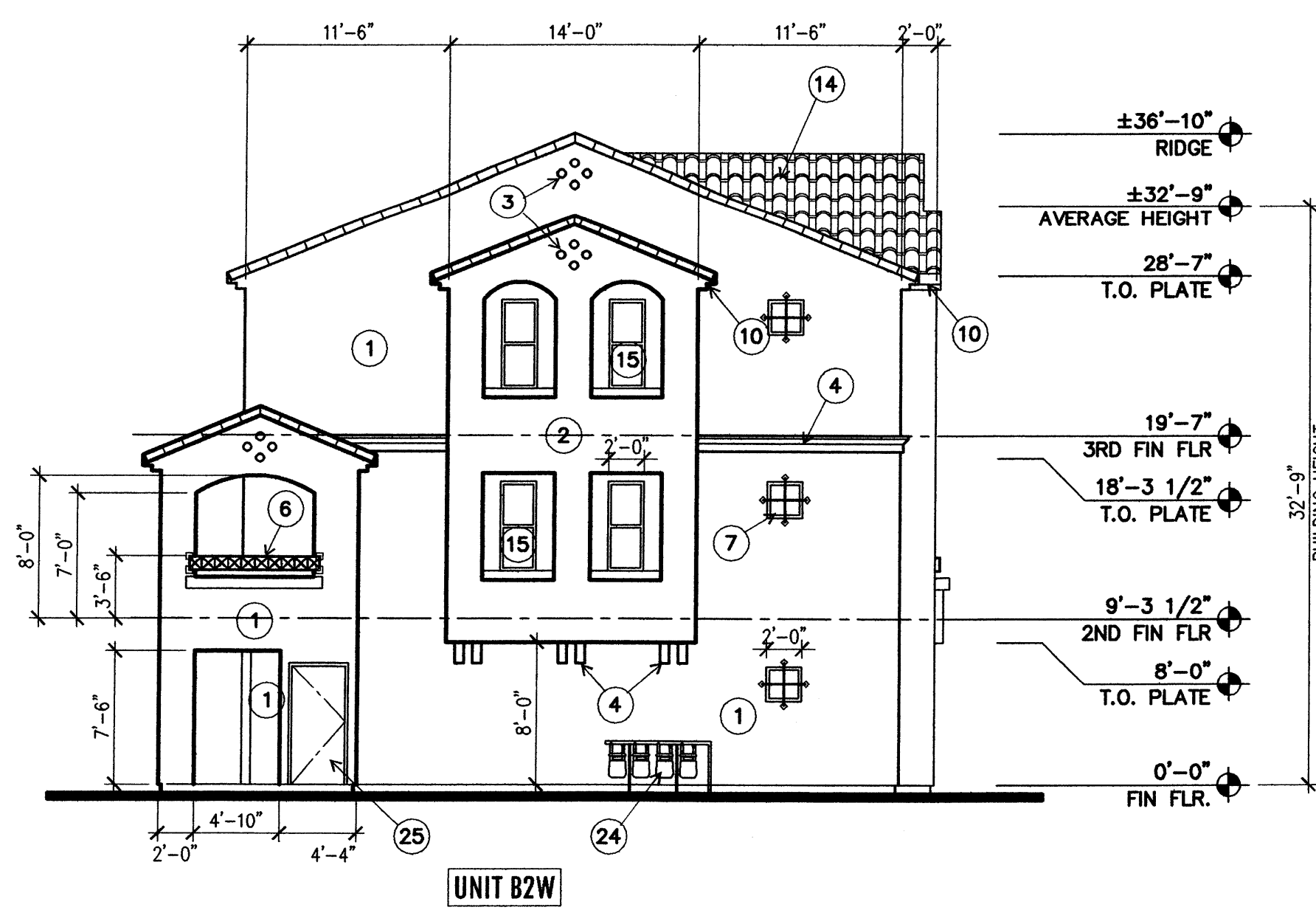


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KEY NOTES

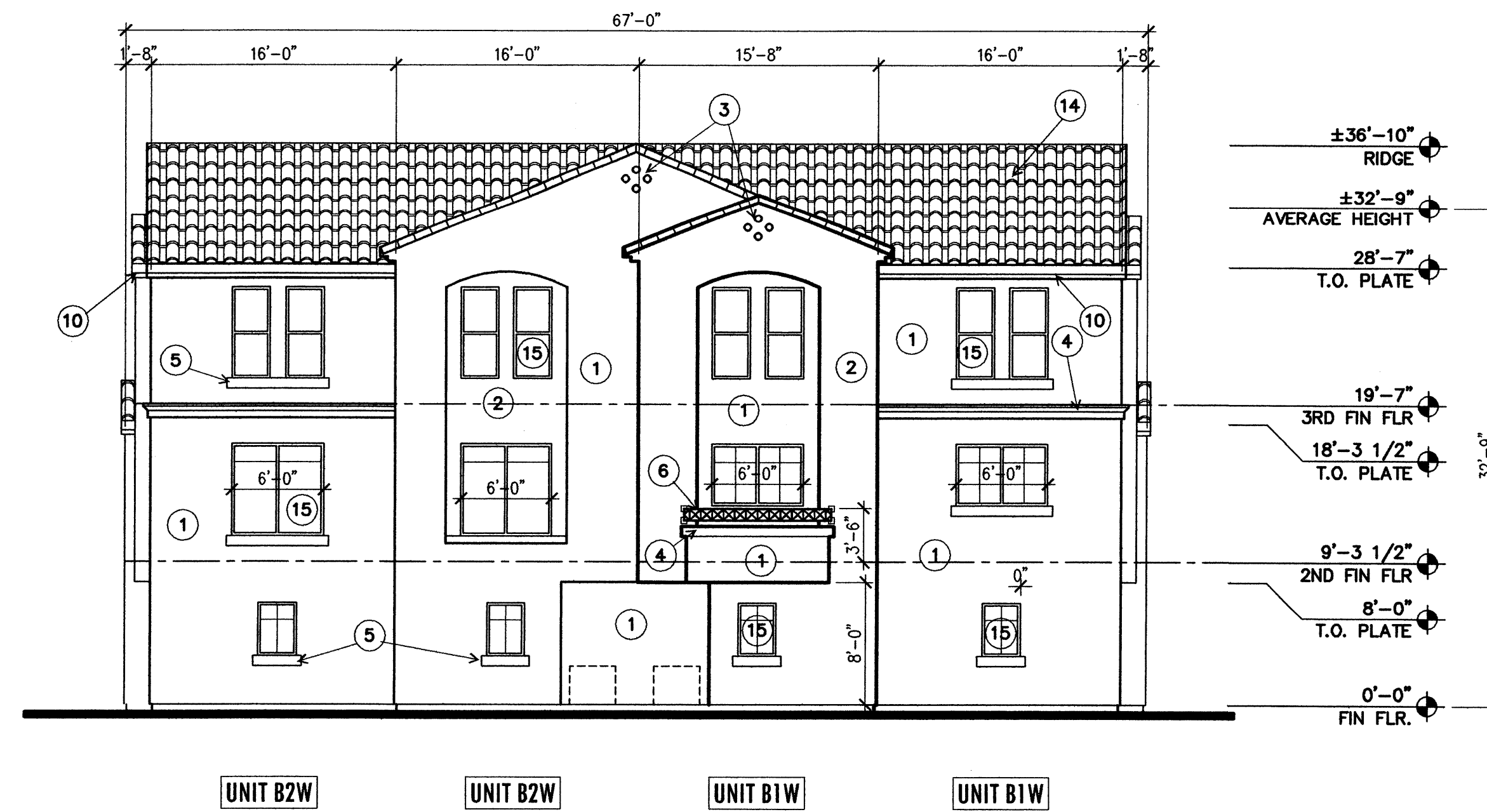
- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
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- 9 (D) DECORATIVE PRECAST PANEL
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- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING



RIGHT ELEVATION

WEST SITE - BUILDING 1

SCALE: 1/8" = 1'-0"



REAR ELEVATION

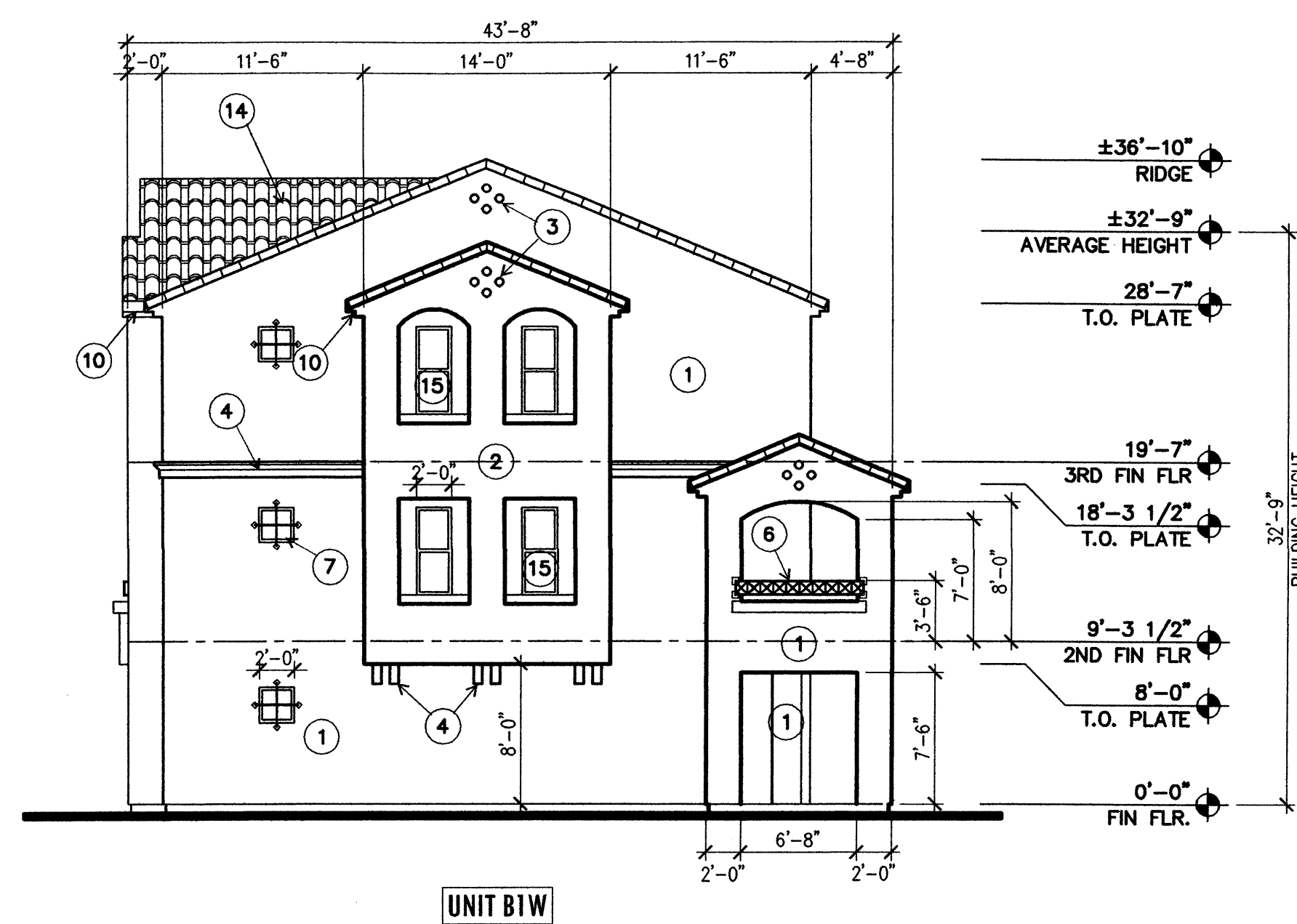
WEST SITE - BUILDING 1

SCALE: 1/8" = 1'-0"

MATERIAL/COLOR KEY NOTES

	SCHEME 1 (BUILDINGS 2, 6 & 8)	SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)
(A) STUCCO WALL	LIGHT BROWN	STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL	MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR	MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS	DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS	DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE	TERRACOTTA	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
(G) DUAL PANE ALUMINUM WINDOW	DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

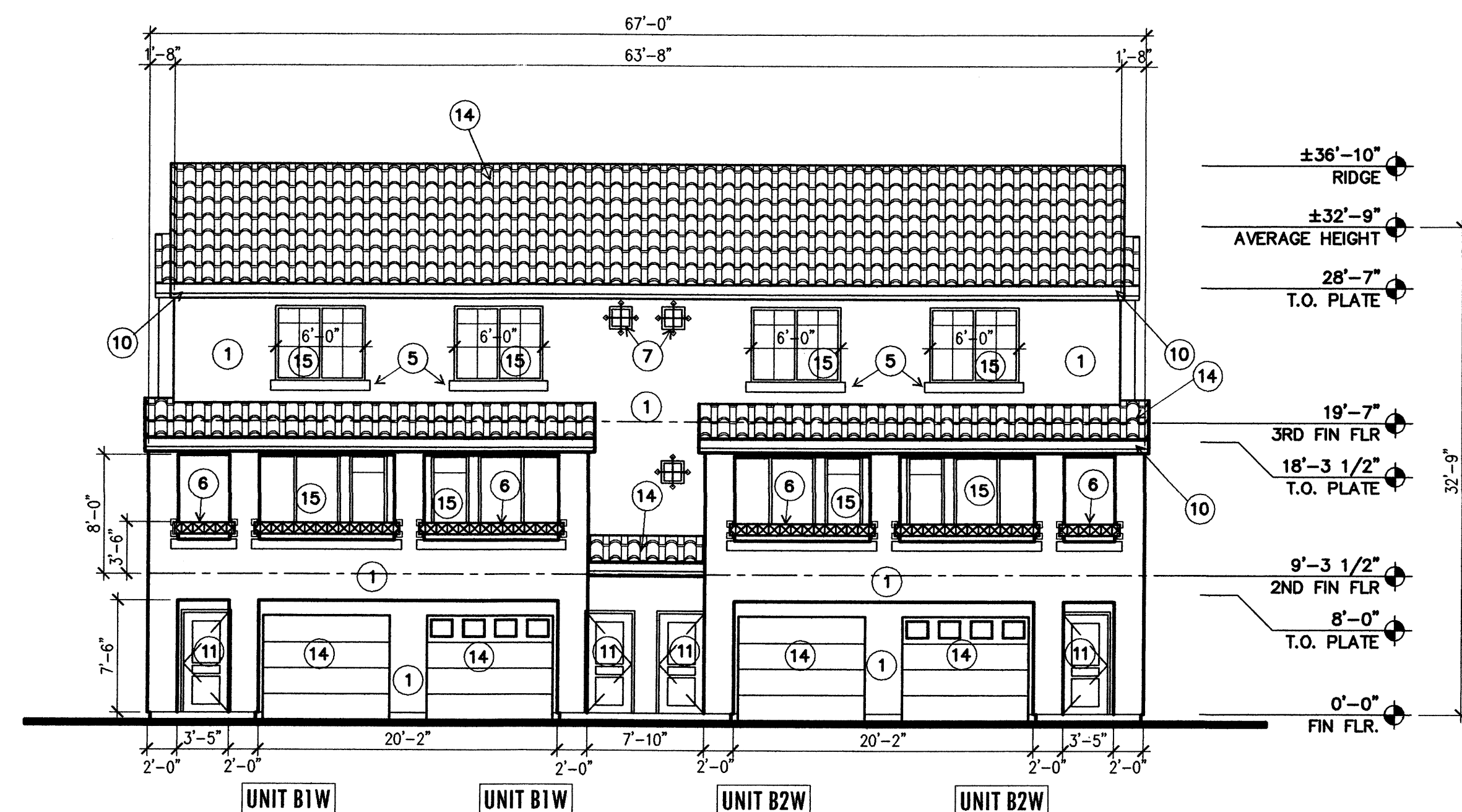
NOTE:
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PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



LEFT ELEVATION

WEST SITE - BUILDING 1

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

WEST SITE - BUILDING 1

SCALE: 1/8" = 1'-0"

Contractor must verify all dimensions at project before proceeding with this work.
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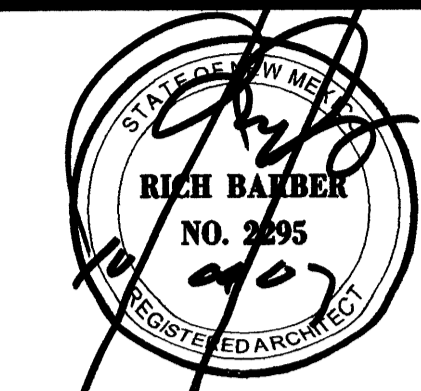
REVISIONS

NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB # 06-210

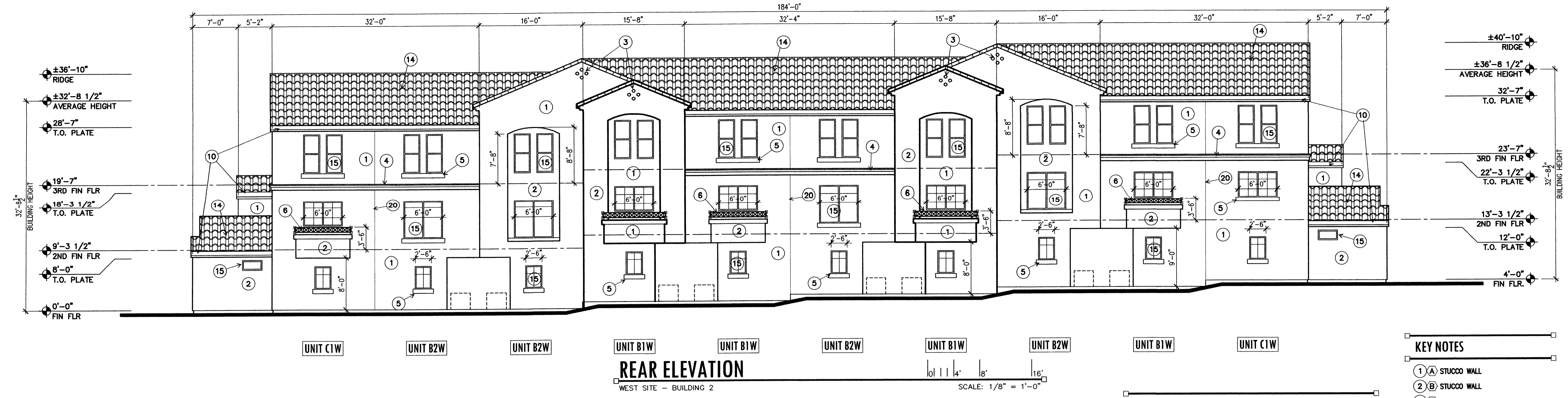
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WEST SITE
BUILDING 1 ELEVATIONS



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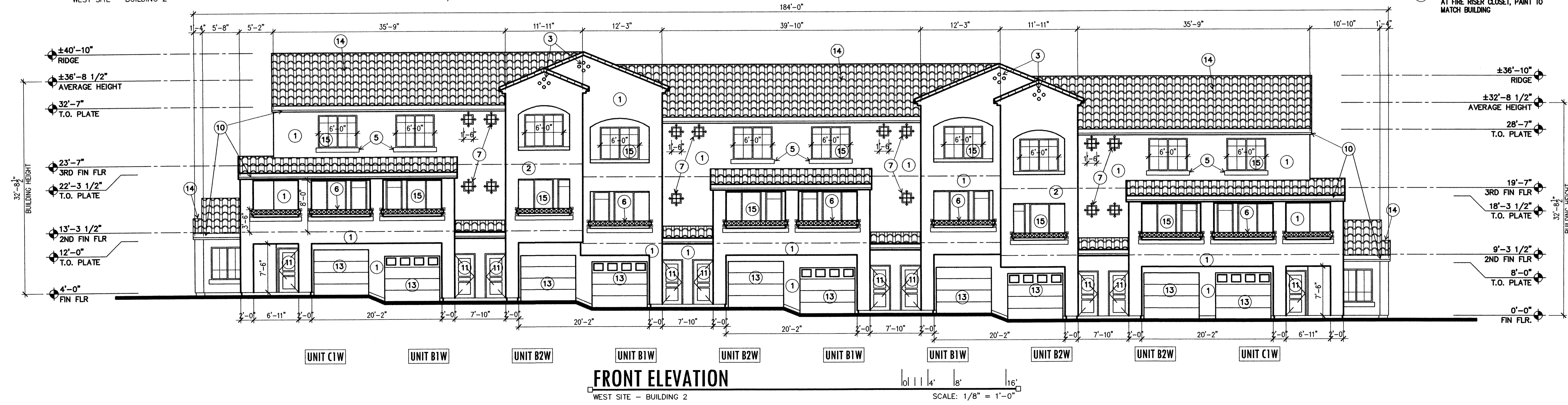
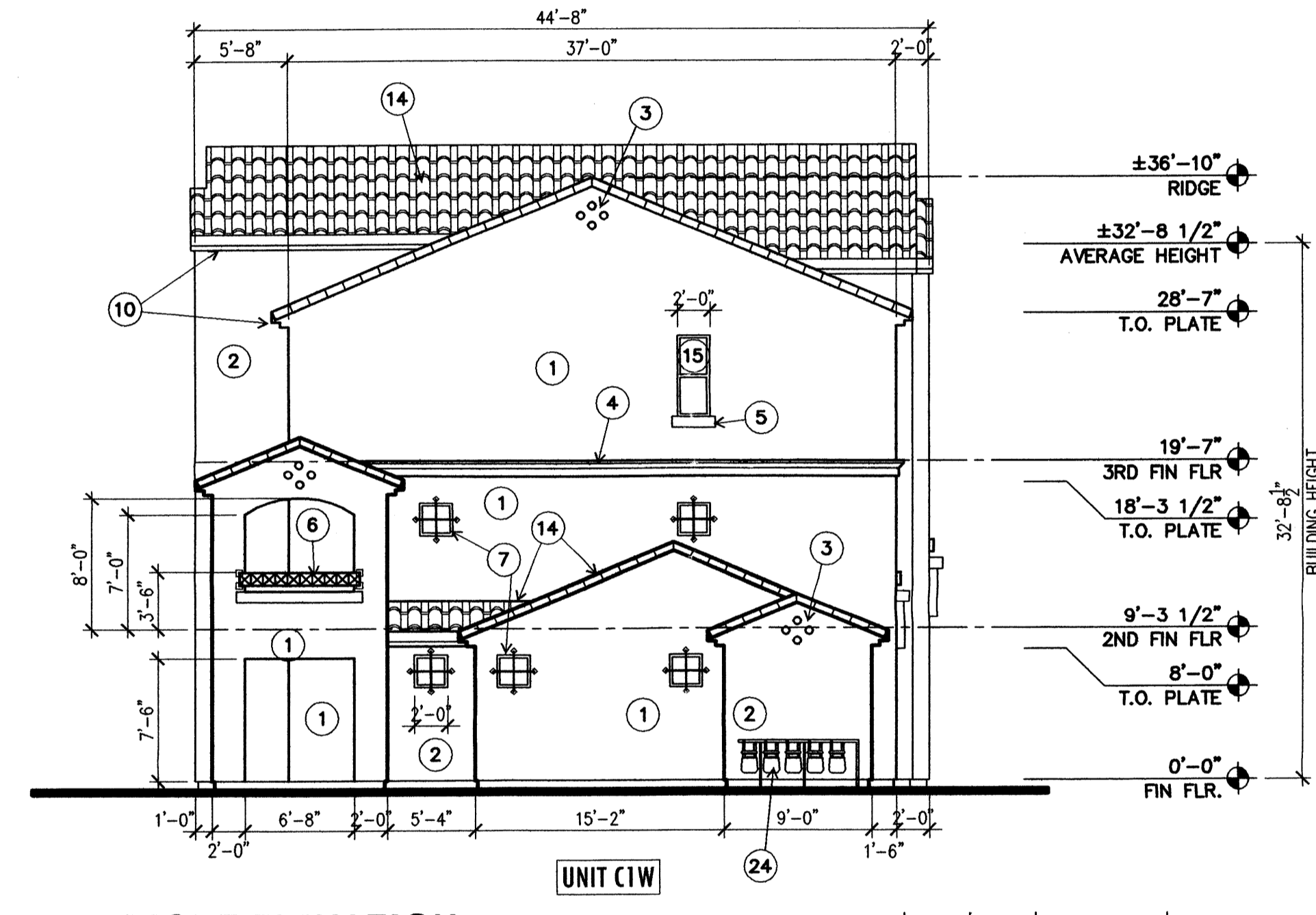
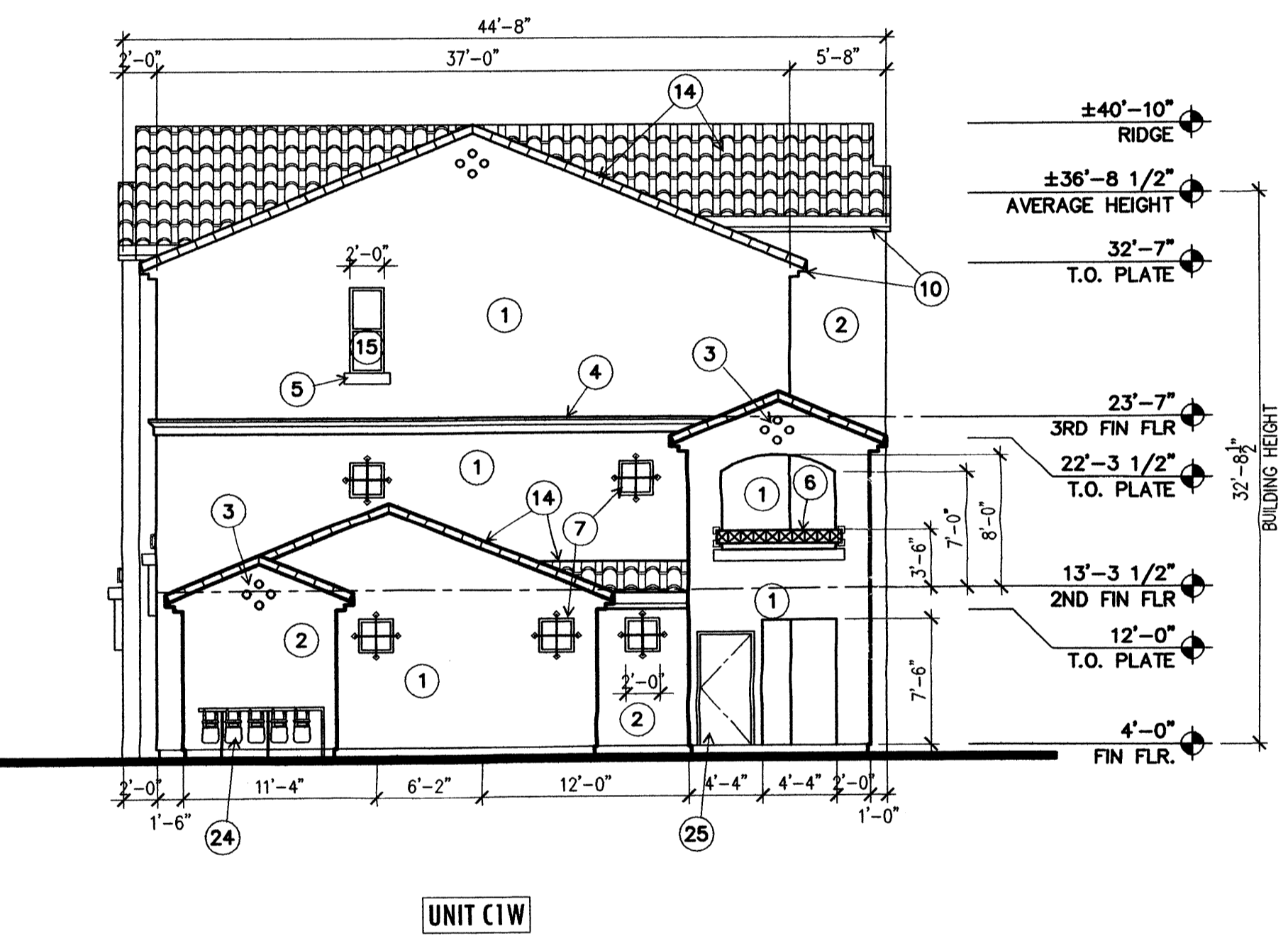
KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (C) NANA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 BUILDING ADDRESS SIGN. REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 2, 6 & 8)		SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)	
(A) STUCCO WALL LIGHT BROWN		STUCCO WALL BEIGE	
(B) ACCENT STUCCO WALL MEDIUM BROWN		ACCENT STUCCO WALL MEDIUM BROWN	
(C) GARAGE DOOR MEDIUM BROWN		GARAGE DOOR MEDIUM BROWN	
(D) STUCCO TRIM & DOORS DARK BROWN		STUCCO TRIM & DOORS DARK BROWN	
(E) IRON & ENTRY DOORS DARK BROWN		IRON & ENTRY DOORS DARK BROWN	
(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA		EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME		DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



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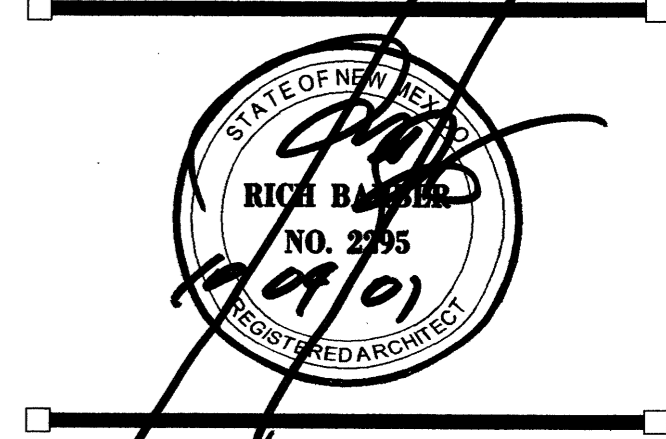
DATE: SEPTEMBER 28, 2007 ORB# 06-210

A3.2.23

WEST SITE
BUILDING 2 ELEVATIONS

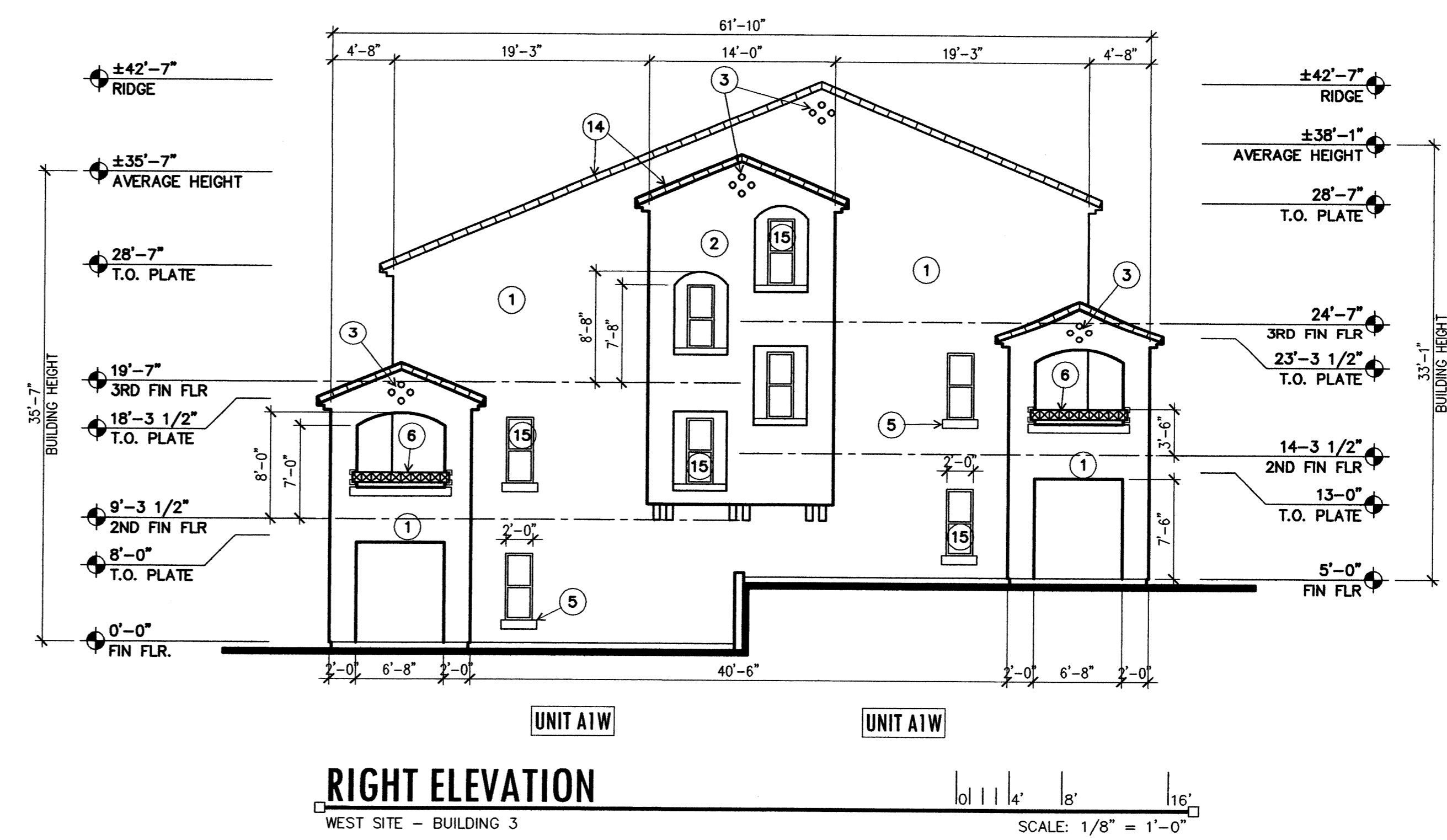
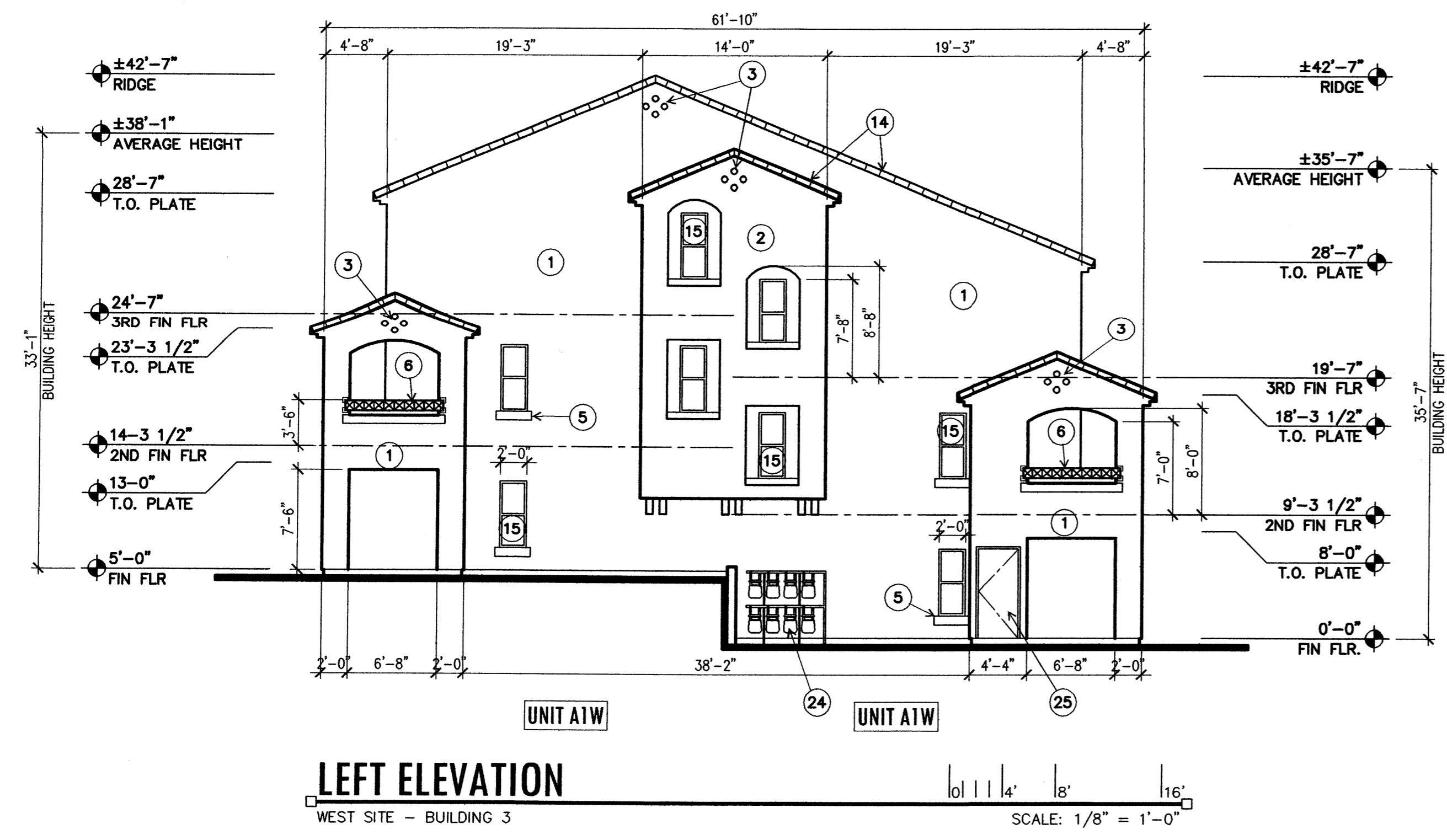
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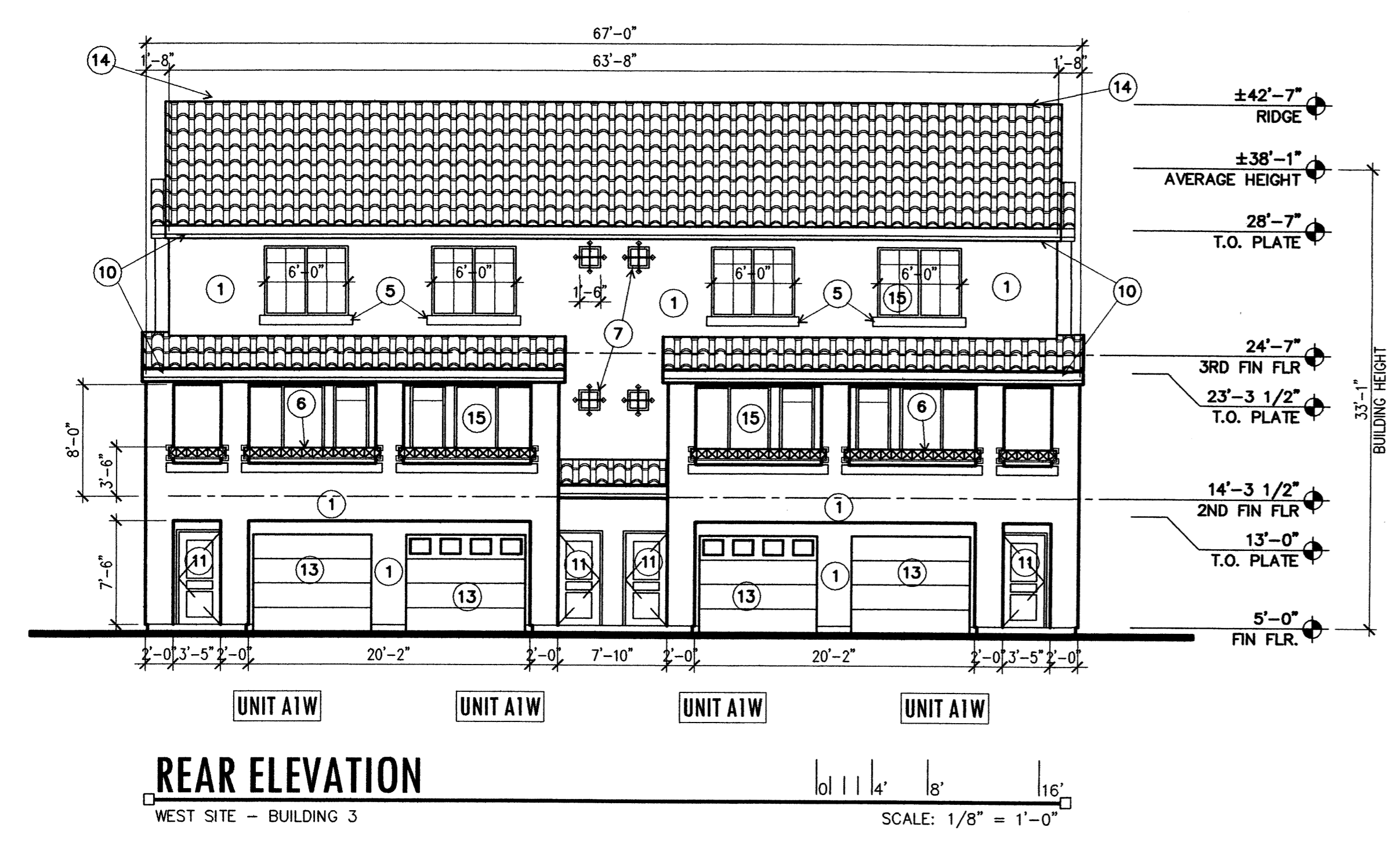
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MATERIAL/COLOR KEY NOTES	
SCHEME 1 (BUILDINGS 2, 6 & 8)	SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)
(A) STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

- KEY NOTES**
- (1) A STUCCO WALL
 - (2) B STUCCO WALL
 - (3) D CLAY PIPE
 - (4) D STUCCO TRIM
 - (5) D STUCCO WINDOW SILL
 - (6) E METAL RAILING
 - (7) G WINDOW WITH (E) IRON CROSS BAR
 - (8) A CHIMNEY
 - (9) D DECORATIVE PRECAST PANEL
 - (10) D STUCCO ROOF FASCIA
 - (11) E METAL ENTRY DOOR
 - (12) G MAMA-WALL SYSTEM
 - (13) C METAL SECTIONAL GARAGE DOOR
 - (14) F ROOF TILE
 - (15) G ALUMINUM WINDOW
 - (16) G ALUMINUM STOREFRONT
 - (17) B STUCCO COVERED CMU SCREEN WALL
 - (18) E PRECAST STAIR WITH METAL RAILING
 - (19) A RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
 - (20) STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
 - (21) BUILDING ADDRESS SIGN, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
 - (22) ELECTRIC SERVICE PANEL
 - (23) A BALCONY SCUPPER
 - (24) GAS METERS LOCATION
 - (25) 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
 - (26) 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING



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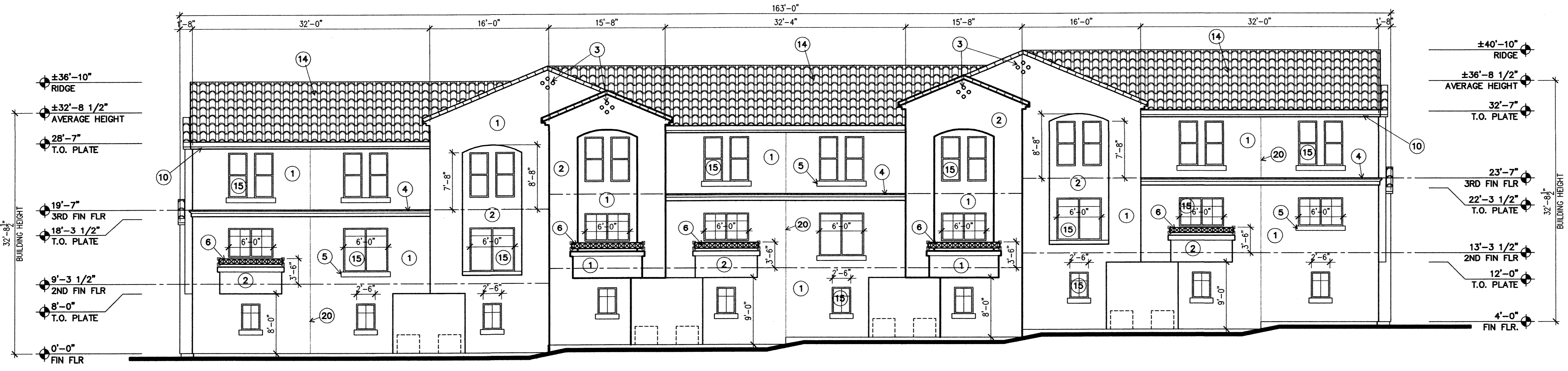
A3.2.32

WEST SITE
BUILDING 3 ELEVATIONS

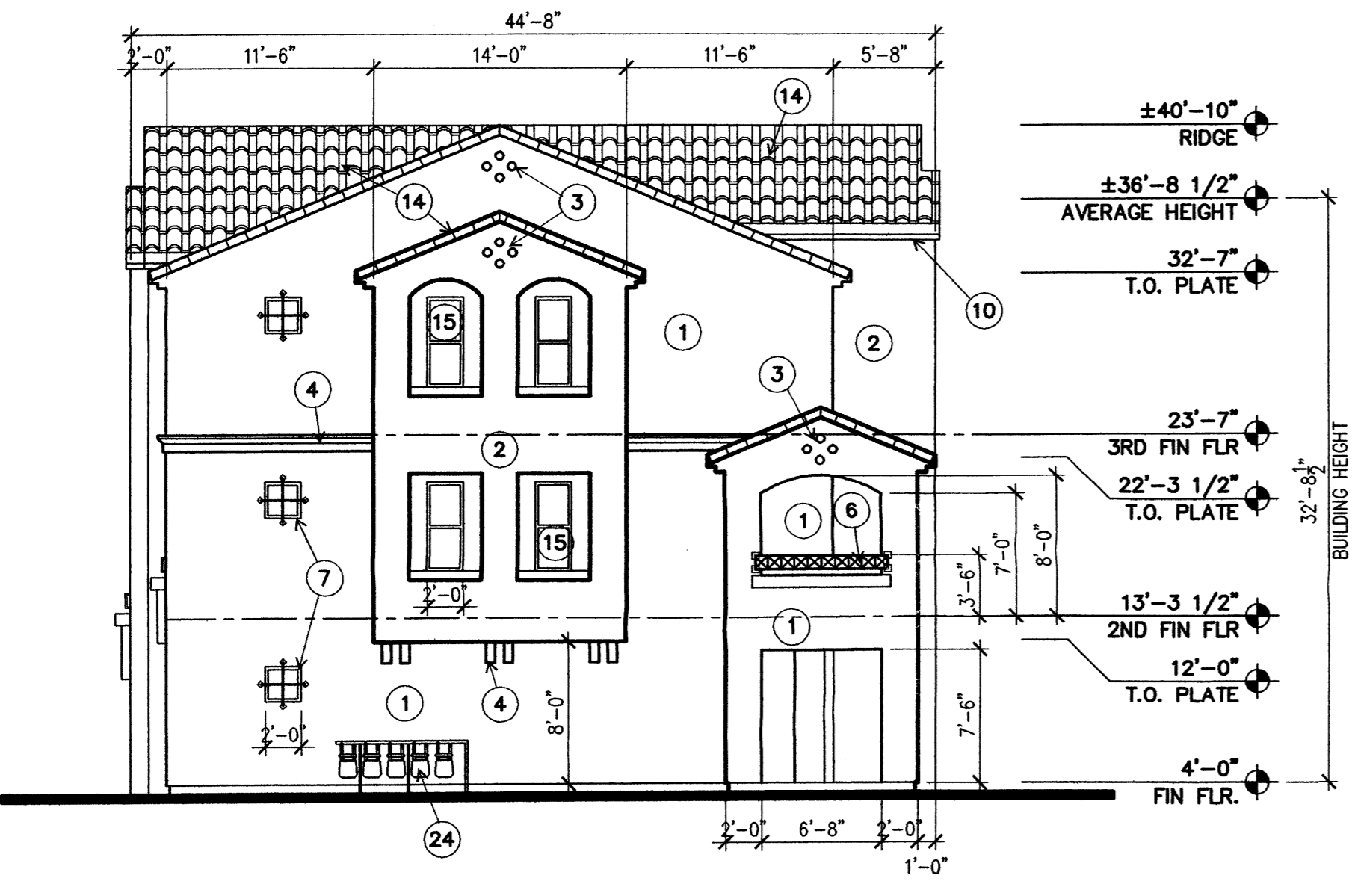


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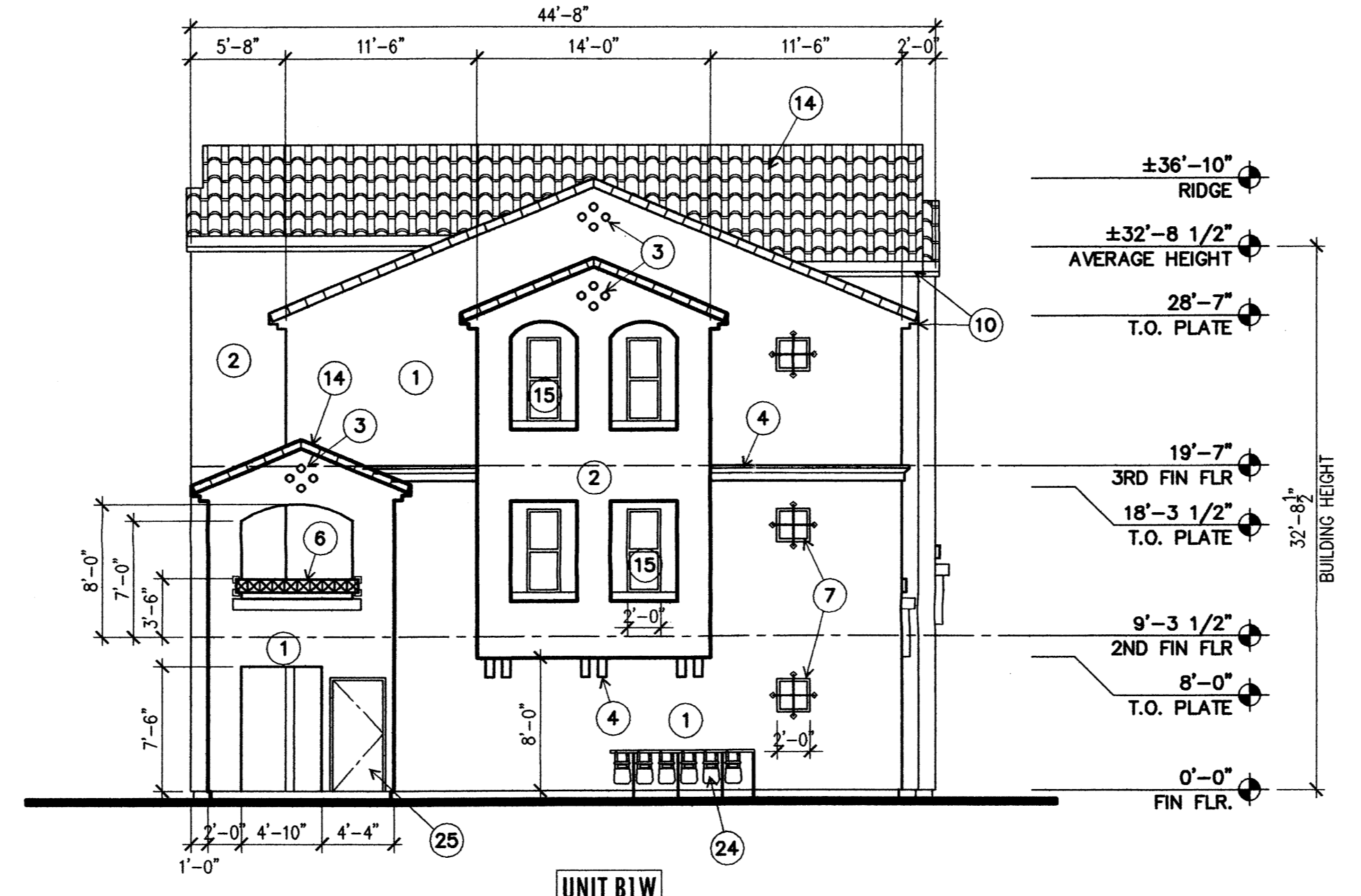
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REAR ELEVATION
WEST SITE - BUILDING 4
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
WEST SITE - BUILDING 4
SCALE: 1/8" = 1'-0"

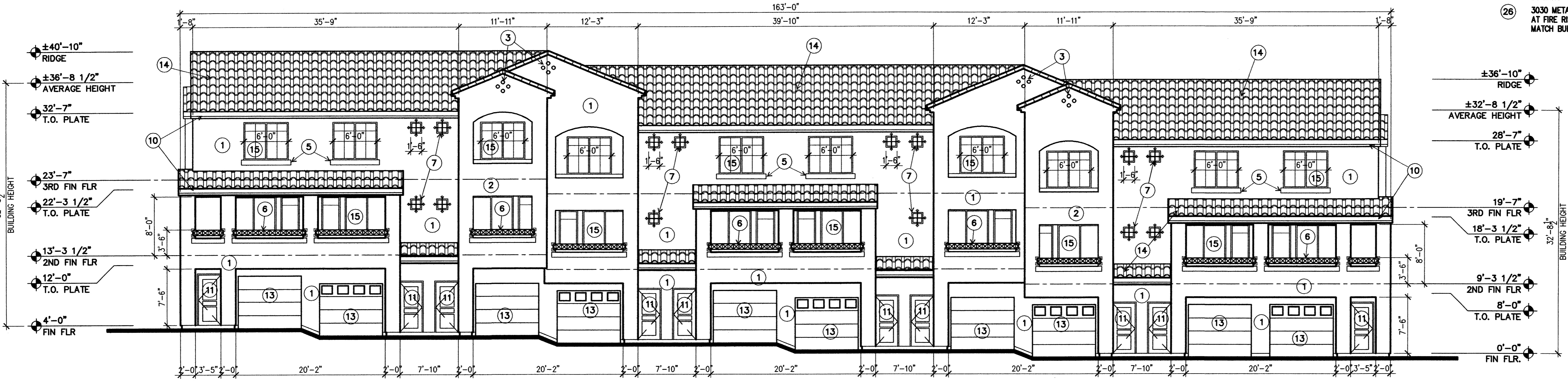


RIGHT ELEVATION
WEST SITE - BUILDING 4
SCALE: 1/8" = 1'-0"

MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 2, 6 & 8)		SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)	
(A) STUCCO WALL LIGHT BROWN	(A) STUCCO WALL BEIGE	(B) ACCENT STUCCO WALL MEDIUM BROWN	(B) ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	(C) GARAGE DOOR MEDIUM BROWN	(D) STUCCO TRIM & DOORS DARK BROWN	(D) STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	(E) IRON & ENTRY DOORS DARK BROWN	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	NOTE: ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING	

- KEY NOTES**
- (1) STUCCO WALL
 - (2) STUCCO WALL
 - (3) CLAY PIPE
 - (4) STUCCO TRIM
 - (5) STUCCO WINDOW SILL
 - (6) METAL RAILING
 - (7) WINDOW WITH (E) IRON CROSS BAR
 - (8) CHIMNEY
 - (9) DECORATIVE PRECAST PANEL
 - (10) STUCCO ROOF FASCIA
 - (11) METAL ENTRY DOOR
 - (12) NANA-WALL SYSTEM
 - (13) METAL SECTIONAL GARAGE DOOR
 - (14) ROOF TILE
 - (15) ALUMINUM WINDOW
 - (16) ALUMINUM STOREFRONT
 - (17) STUCCO COVERED CMU SCREEN WALL
 - (18) PRECAST STAIR WITH METAL RAILING
 - (19) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
 - (20) STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
 - (21) BUILDING ADDRESS SIGN. REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
 - (22) ELECTRIC SERVICE PANEL
 - (23) BALCONY SCUPPER
 - (24) GAS METERS LOCATION
 - (25) 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
 - (26) 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING



FRONT ELEVATION
WEST SITE - BUILDING 4
SCALE: 1/8" = 1'-0"

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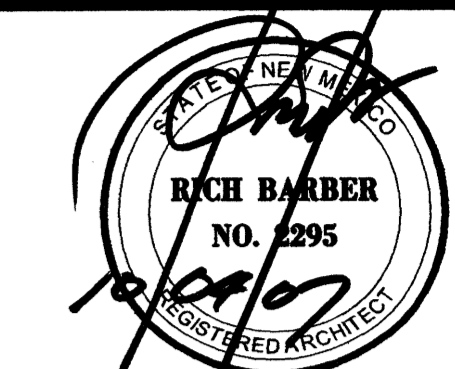
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A3.2.43

WEST SITE
BUILDING 4 ELEVATIONS

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KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) NANA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
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- 24 GAS METERS LOCATION
- 25 3068 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

MATERIAL/COLOR KEY NOTES

	SCHEME 1 (BUILDINGS 2, 6 & 8)	SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)
(A)	STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE
(B)	ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN
(C)	GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN
(D)	STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN
(E)	IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN
(F)	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
(G)	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
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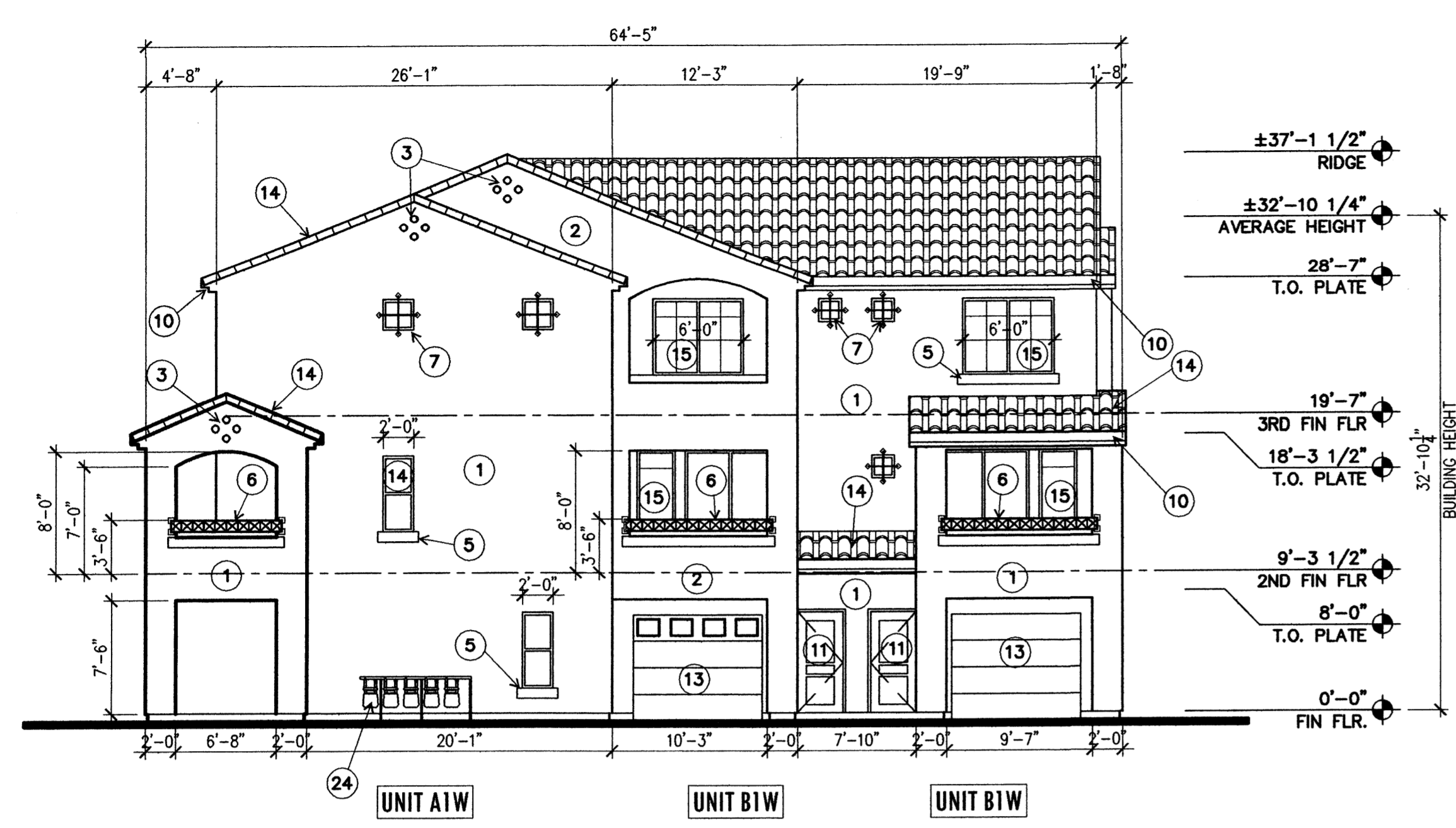
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DATE: SEPTEMBER 28, 2007 ORB # 06-210

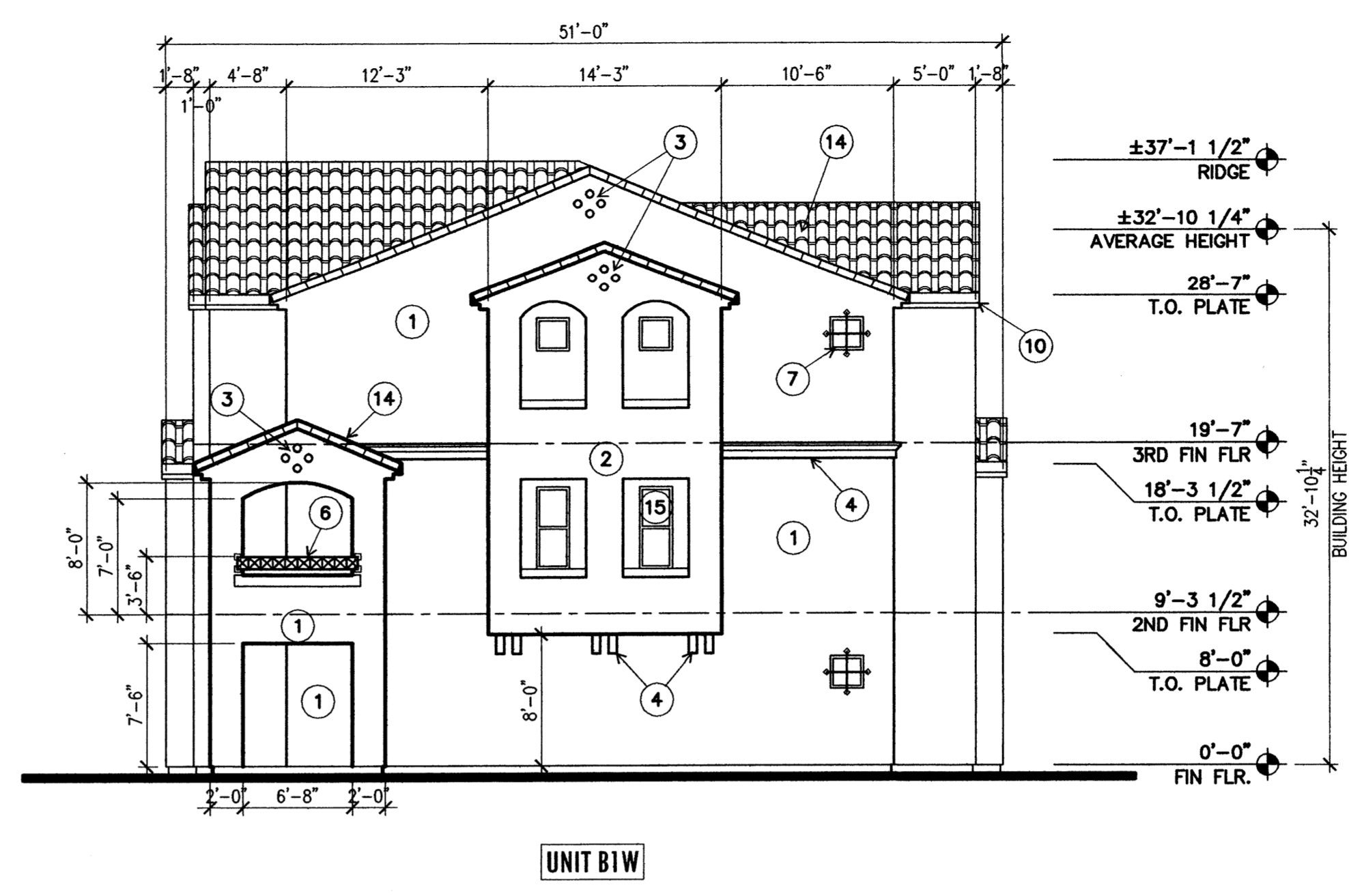
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WEST SITE
BLDG 5 & 7 ELEVATIONS



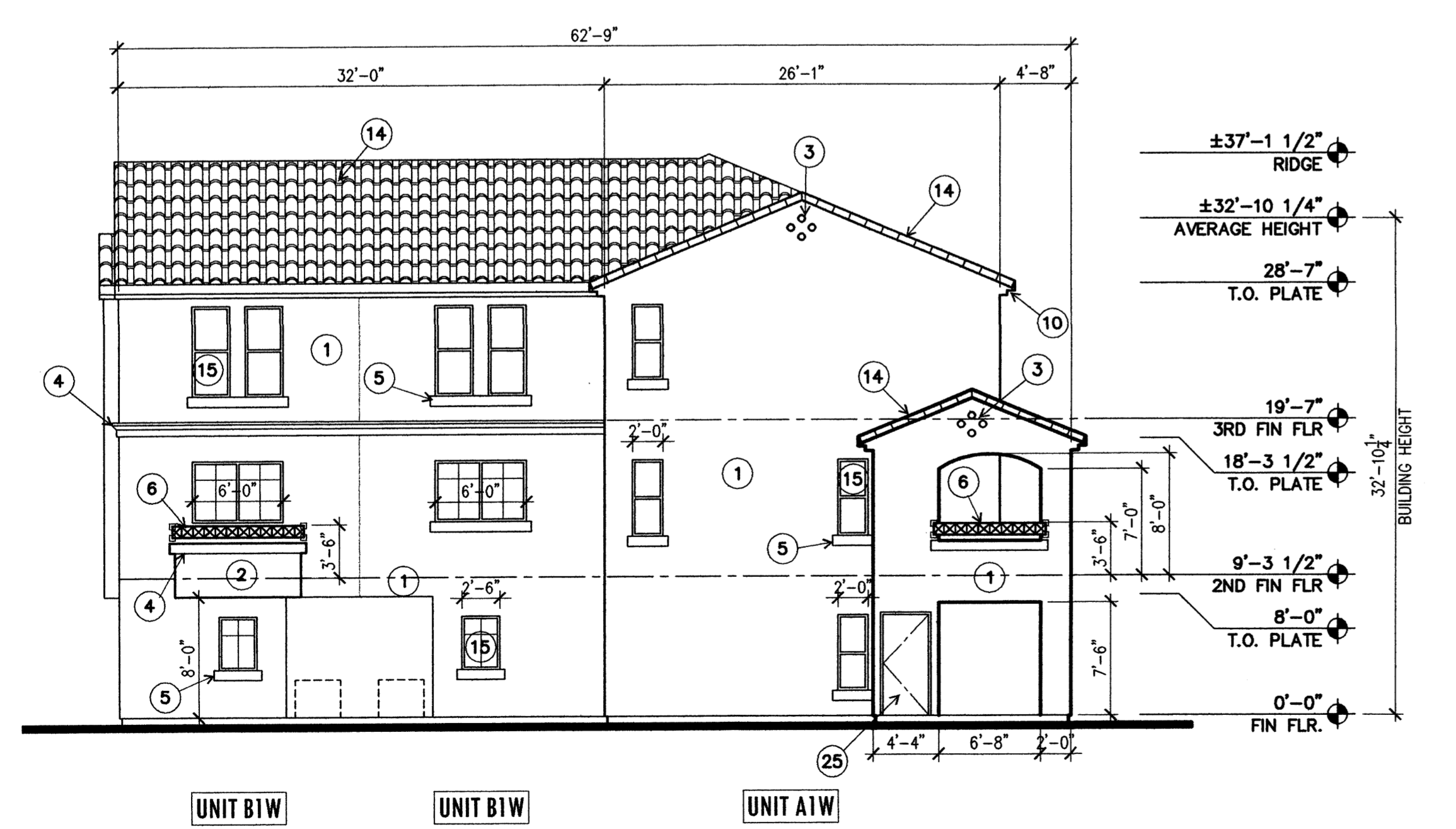
RIGHT ELEVATION

WEST SITE - BUILDING 5 & 7
SCALE: 1/8" = 1'-0"



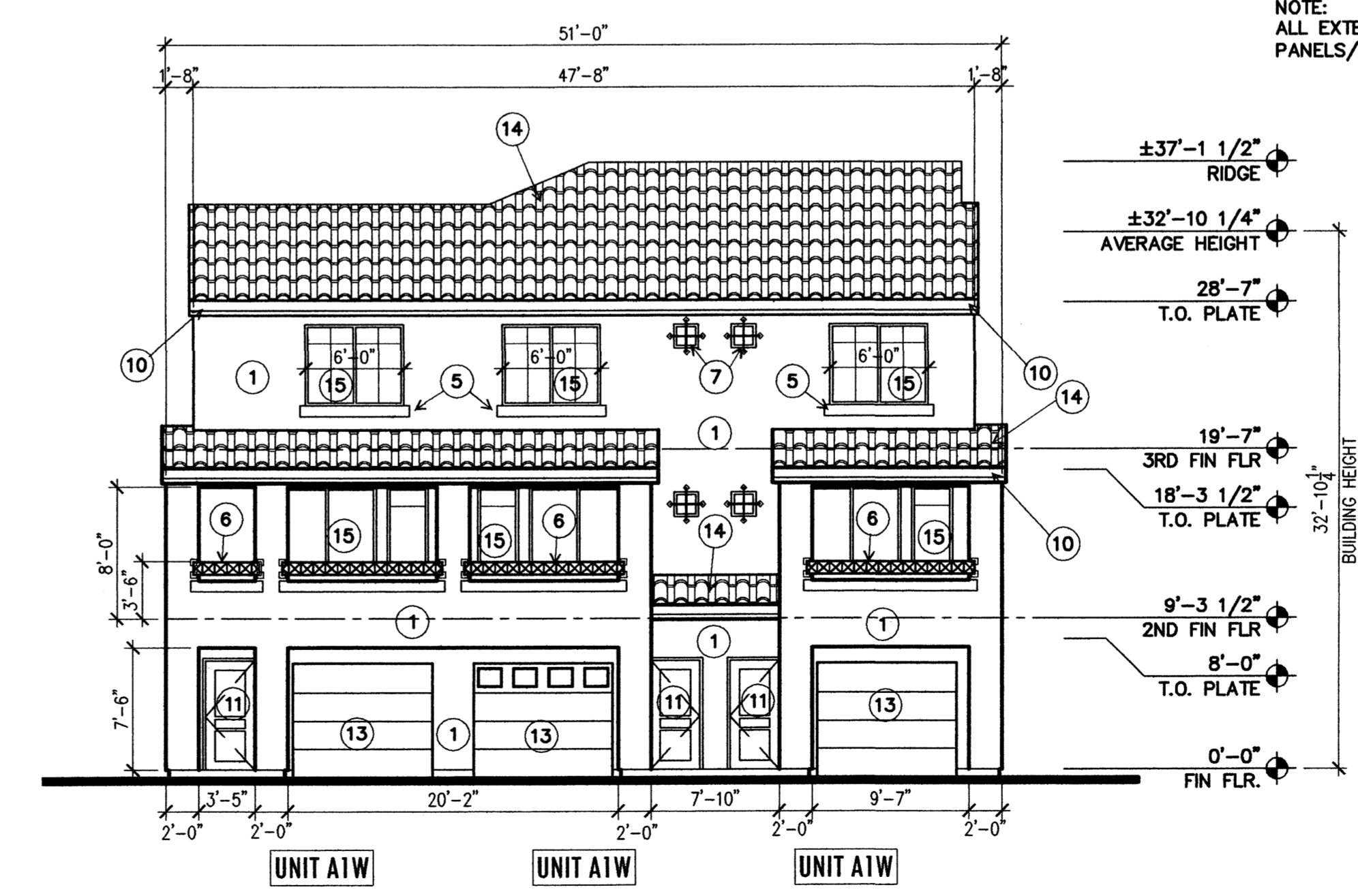
REAR ELEVATION

WEST SITE - BUILDING 5 & 7
SCALE: 1/8" = 1'-0"



LEFT ELEVATION

WEST SITE - BUILDING 5 & 7
SCALE: 1/8" = 1'-0"



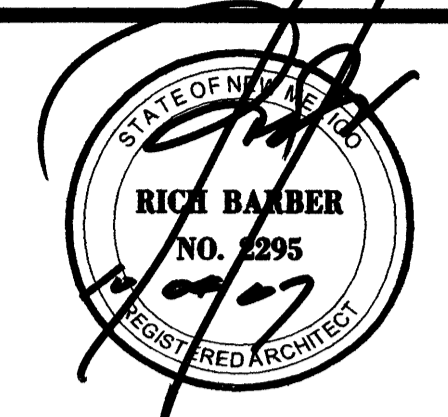
FRONT ELEVATION

WEST SITE - BUILDING 5 & 7
SCALE: 1/8" = 1'-0"

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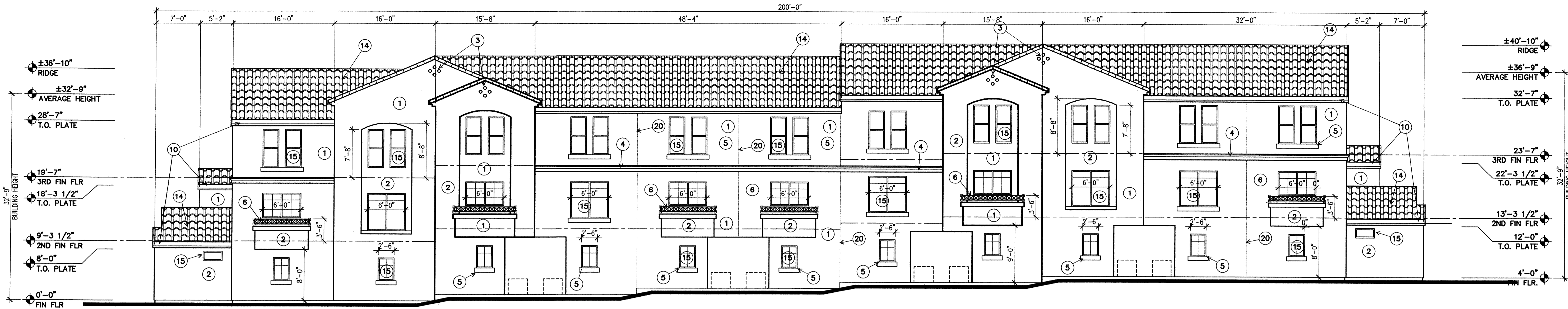
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REAR ELEVATION

WEST SITE - BUILDING 6 SCALE: 1/8" = 1'-0"

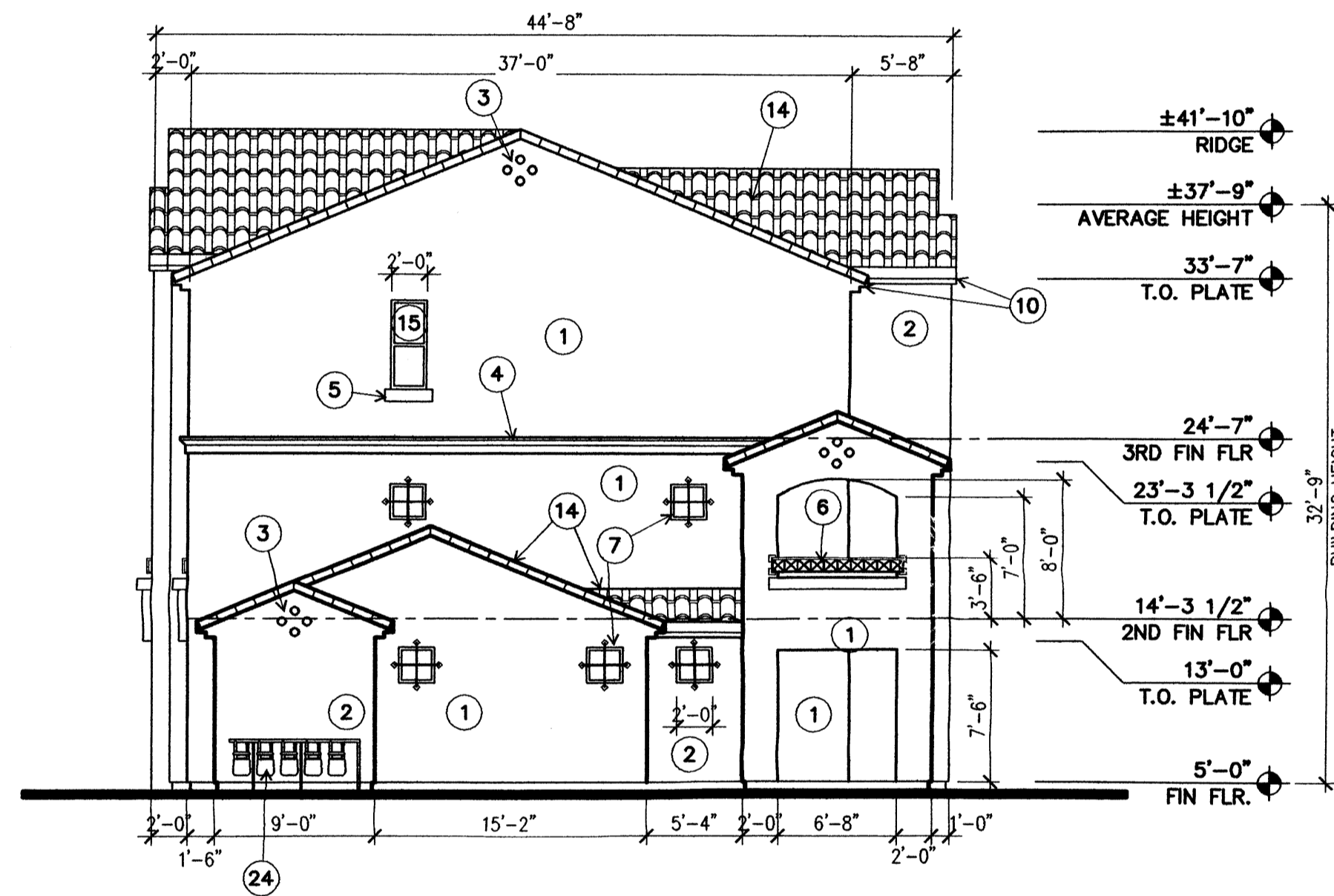
KEY NOTES

- 1 (A) STUCCO WALL
- 2 (B) STUCCO WALL
- 3 (D) CLAY PIPE
- 4 (D) STUCCO TRIM
- 5 (D) STUCCO WINDOW SILL
- 6 (E) METAL RAILING
- 7 (G) WINDOW WITH (E) IRON CROSS BAR
- 8 (A) CHIMNEY
- 9 (D) DECORATIVE PRECAST PANEL
- 10 (D) STUCCO ROOF FASCIA
- 11 (E) METAL ENTRY DOOR
- 12 (G) NANA-WALL SYSTEM
- 13 (C) METAL SECTIONAL GARAGE DOOR
- 14 (F) ROOF TILE
- 15 (G) ALUMINUM WINDOW
- 16 (G) ALUMINUM STOREFRONT
- 17 (B) STUCCO COVERED CMU SCREEN WALL
- 18 (E) PRECAST STAIR WITH METAL RAILING
- 19 (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- 20 STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- 21 BUILDING ADDRESS SIGNAL, REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- 22 ELECTRIC SERVICE PANEL
- 23 (A) BALCONY SCUPPER
- 24 GAS METERS LOCATION
- 25 3088 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- 26 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING

MATERIAL/COLOR KEY NOTES

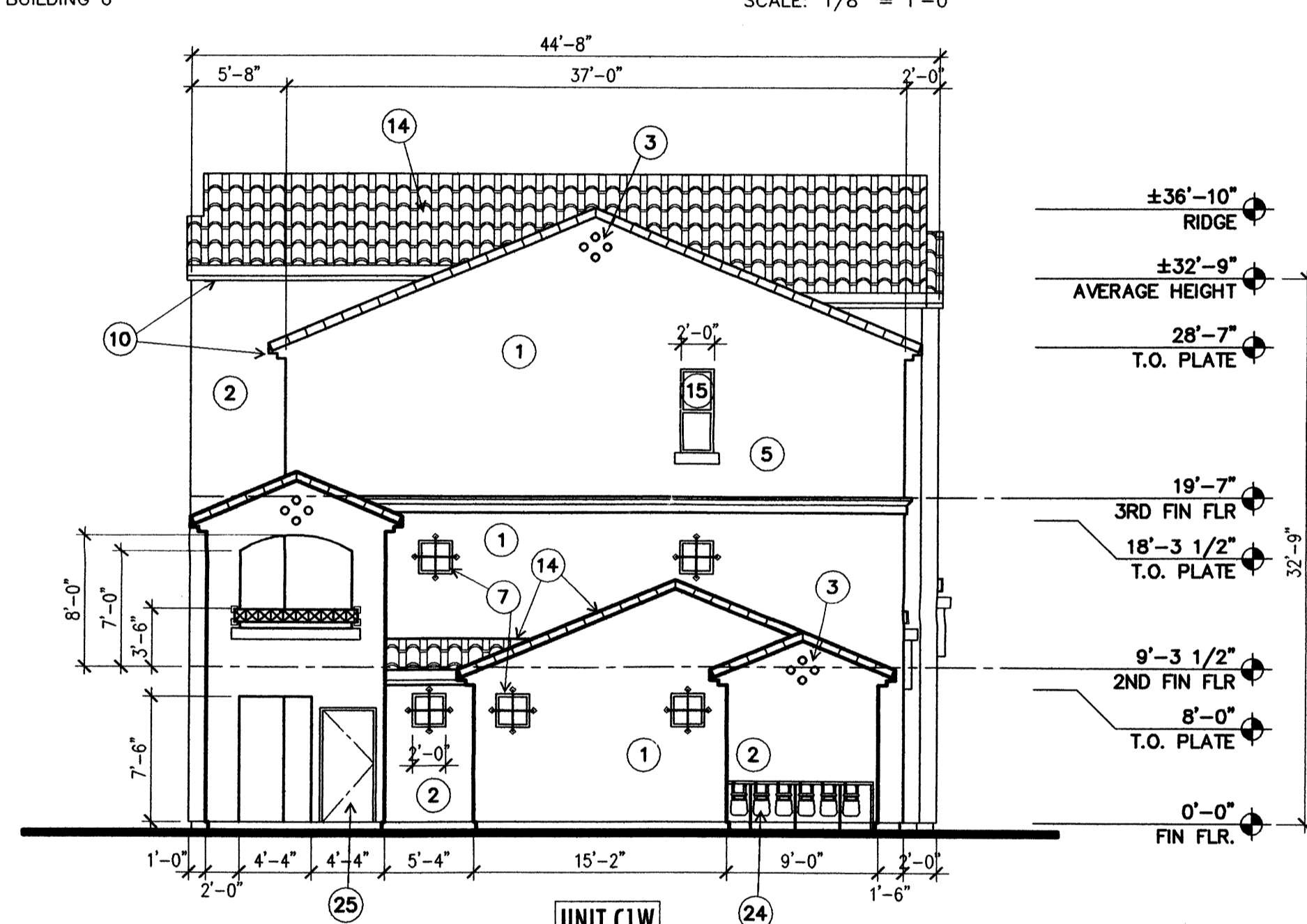
SCHEME 1 (BUILDINGS 2, 6 & 8)		SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)	
(A) STUCCO WALL LIGHT BROWN	(A) STUCCO WALL LIGHT BROWN	(A) STUCCO WALL BEIGE	(A) STUCCO WALL BEIGE
(B) ACCENT STUCCO WALL MEDIUM BROWN	(B) ACCENT STUCCO WALL MEDIUM BROWN	(B) ACCENT STUCCO WALL MEDIUM BROWN	(B) ACCENT STUCCO WALL MEDIUM BROWN
(C) GARAGE DOOR MEDIUM BROWN	(C) GARAGE DOOR MEDIUM BROWN	(C) GARAGE DOOR MEDIUM BROWN	(C) GARAGE DOOR MEDIUM BROWN
(D) STUCCO TRIM & DOORS DARK BROWN	(D) STUCCO TRIM & DOORS DARK BROWN	(D) STUCCO TRIM & DOORS DARK BROWN	(D) STUCCO TRIM & DOORS DARK BROWN
(E) IRON & ENTRY DOORS DARK BROWN	(E) IRON & ENTRY DOORS DARK BROWN	(E) IRON & ENTRY DOORS DARK BROWN	(E) IRON & ENTRY DOORS DARK BROWN
(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	(F) EAGLE ROOF CONCRETE "S" TILE TERRACOTTA
(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	(G) DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING



LEFT ELEVATION

WEST SITE - BUILDING 6 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

WEST SITE - BUILDING 6 SCALE: 1/8" = 1'-0"



FRONT ELEVATION

WEST SITE - BUILDING 6 SCALE: 1/8" = 1'-0"

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A3.2.63

WEST SITE
BUILDING 6 ELEVATIONS

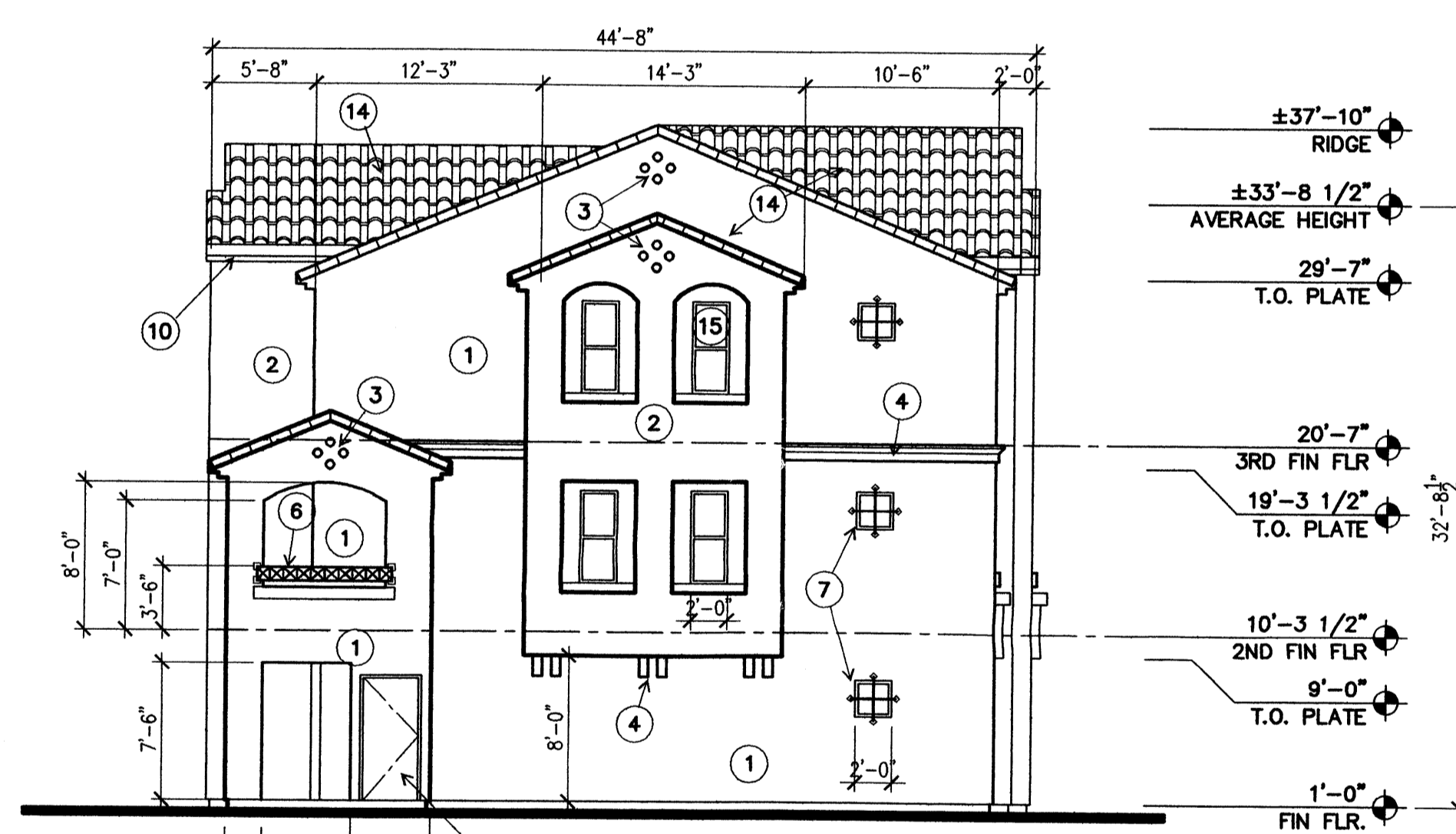
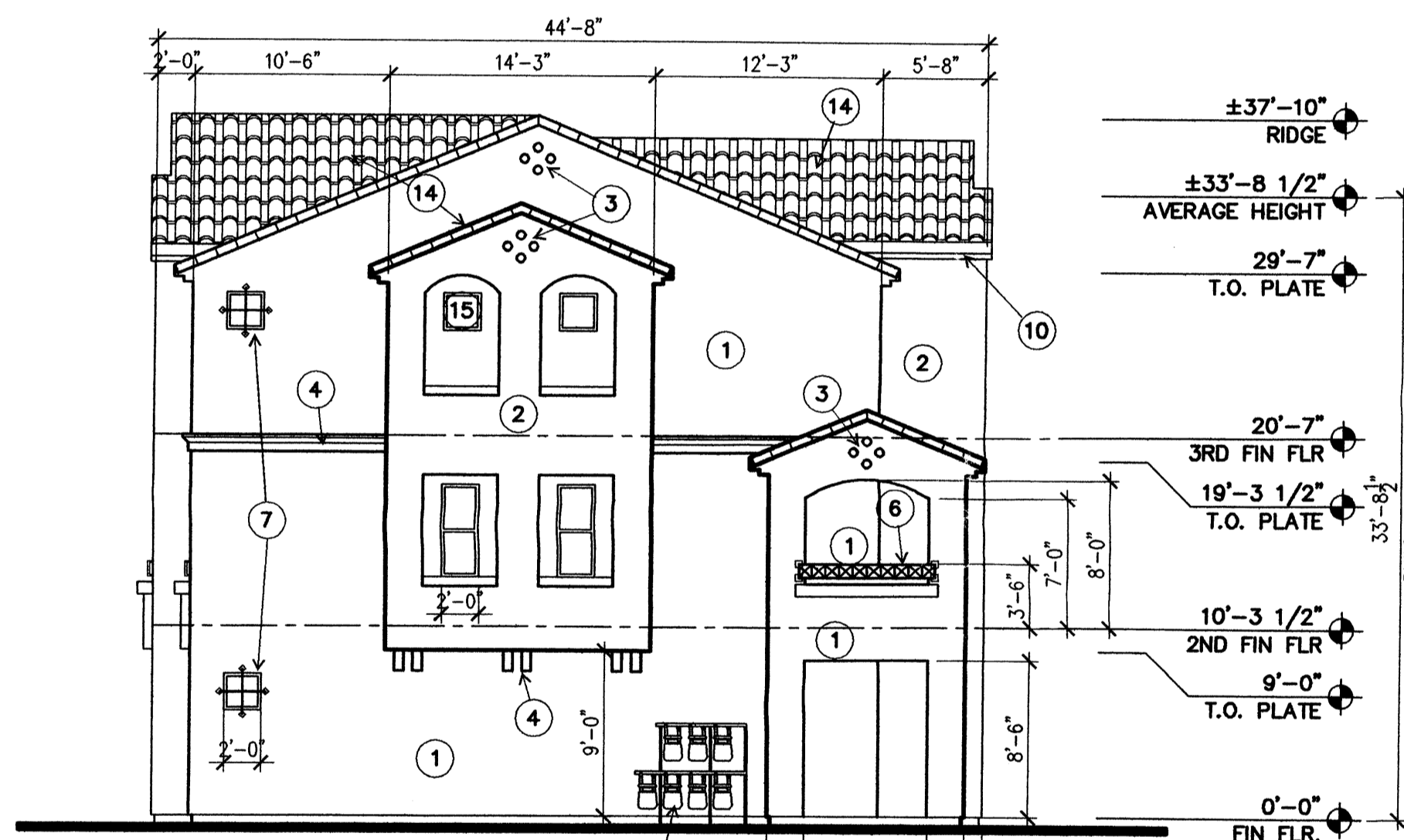
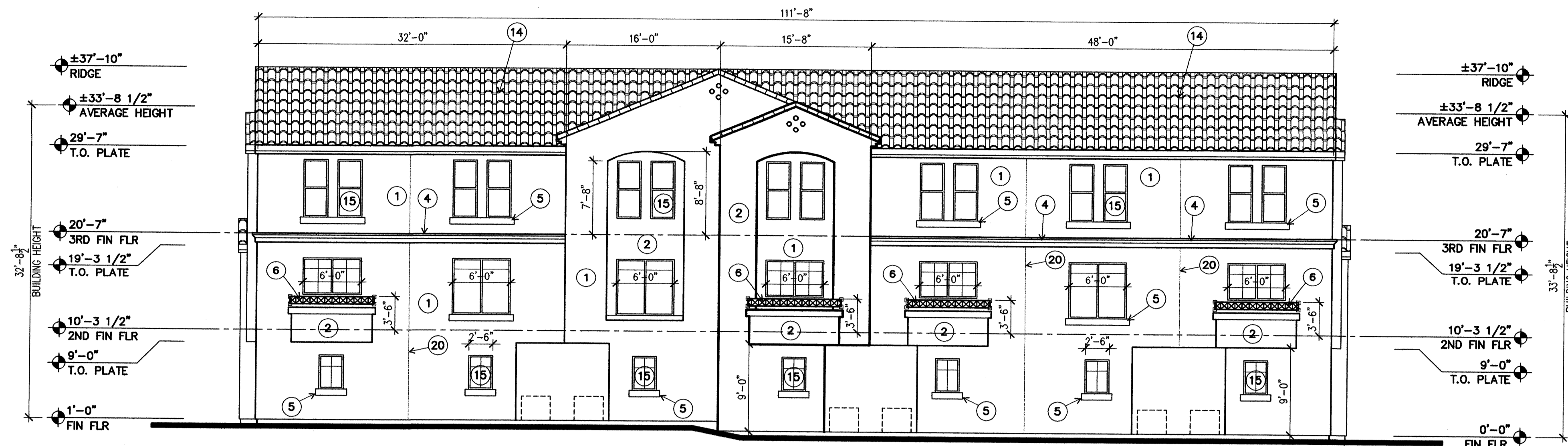
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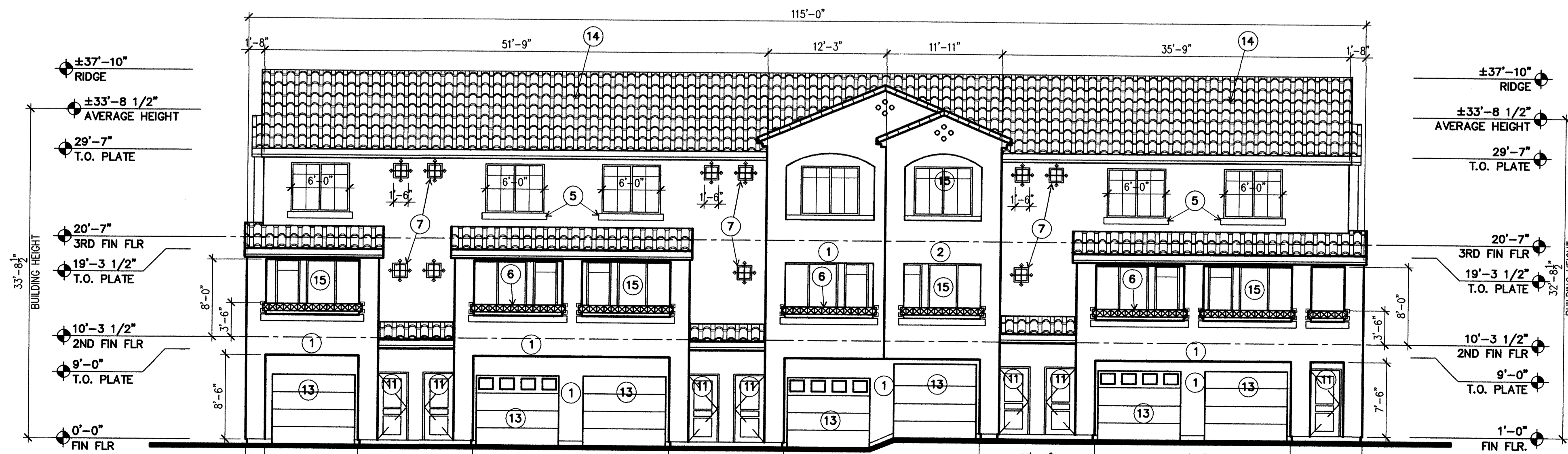
MATERIAL/COLOR KEY NOTES

SCHEME 1 (BUILDINGS 2, 6 & 8)		SCHEME 2 (BUILDINGS 1, 3, 4, 5 & 7)	
(A)	STUCCO WALL LIGHT BROWN	STUCCO WALL BEIGE	
(B)	ACCENT STUCCO WALL MEDIUM BROWN	ACCENT STUCCO WALL MEDIUM BROWN	
(C)	GARAGE DOOR MEDIUM BROWN	GARAGE DOOR MEDIUM BROWN	
(D)	STUCCO TRIM & DOORS DARK BROWN	STUCCO TRIM & DOORS DARK BROWN	
(E)	IRON & ENTRY DOORS DARK BROWN	IRON & ENTRY DOORS DARK BROWN	
(F)	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	EAGLE ROOF CONCRETE "S" TILE TERRACOTTA	
(G)	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	DUAL PANE ALUMINUM WINDOW DARK BRONZE FRAME	

NOTE:
ALL EXTERIOR MOUNTED ELECTRICAL OR MECHANICAL
PANELS/BOXES TO BE PAINTED TO MATCH THE BUILDING

KEY NOTES

- (1) (A) STUCCO WALL
- (2) (B) STUCCO WALL
- (3) (D) CLAY PIPE
- (4) (D) STUCCO TRIM
- (5) (D) STUCCO WINDOW SILL
- (6) (E) METAL RAILING
- (7) (G) WINDOW WITH (E) IRON CROSS BAR
- (8) (A) CHIMNEY
- (9) (D) DECORATIVE PRECAST PANEL
- (10) (D) STUCCO ROOF FASCIA
- (11) (E) METAL ENTRY DOOR
- (12) (G) NANA-WALL SYSTEM
- (13) (C) METAL SECTIONAL GARAGE DOOR
- (14) (F) ROOF TILE
- (15) (G) ALUMINUM WINDOW
- (16) (G) ALUMINUM STOREFRONT
- (17) (B) STUCCO COVERED CMU SCREEN WALL
- (18) (E) PRECAST STAIR WITH METAL RAILING
- (19) (A) RAIN GUTTER AND DOWNSPOT AT ALL ENTRIES
- (20) STUCCO VERTICAL CONTROL JOINT, TYPICAL AT ALL WINDOWS
- (21) BUILDING ADDRESS SIGN; REFER TO ADDRESSING PLAN FOR LOCATION AND DETAILS
- (22) ELECTRIC SERVICE PANEL
- (23) (A) BALCONY SCUPPER
- (24) GAS METERS LOCATION
- (25) 3088 METAL CLAD DOOR AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING
- (26) 3030 METAL CLAD ACCESS PANEL AT FIRE RISER CLOSET, PAINT TO MATCH BUILDING



Contractor must verify all dimensions at project before proceeding with this work.

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REVISIONS

NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 28, 2007 ORB # 06-210

A3.2.73

WEST SITE
BUILDING 8 ELEVATIONS

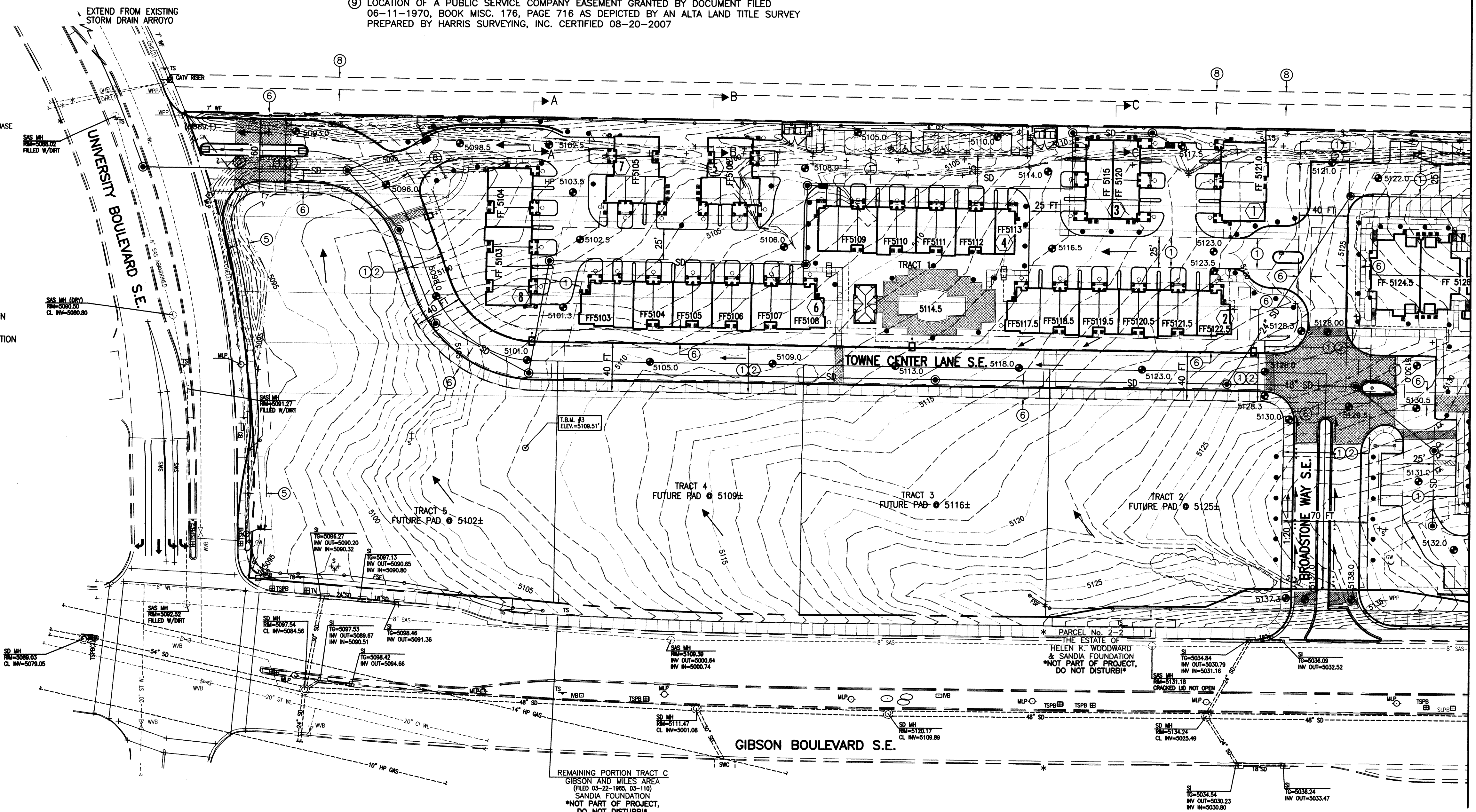
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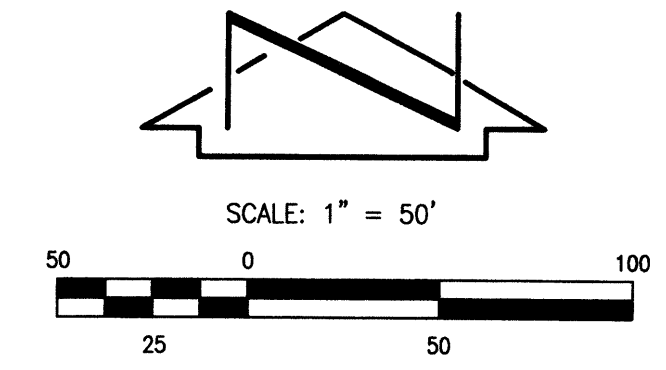
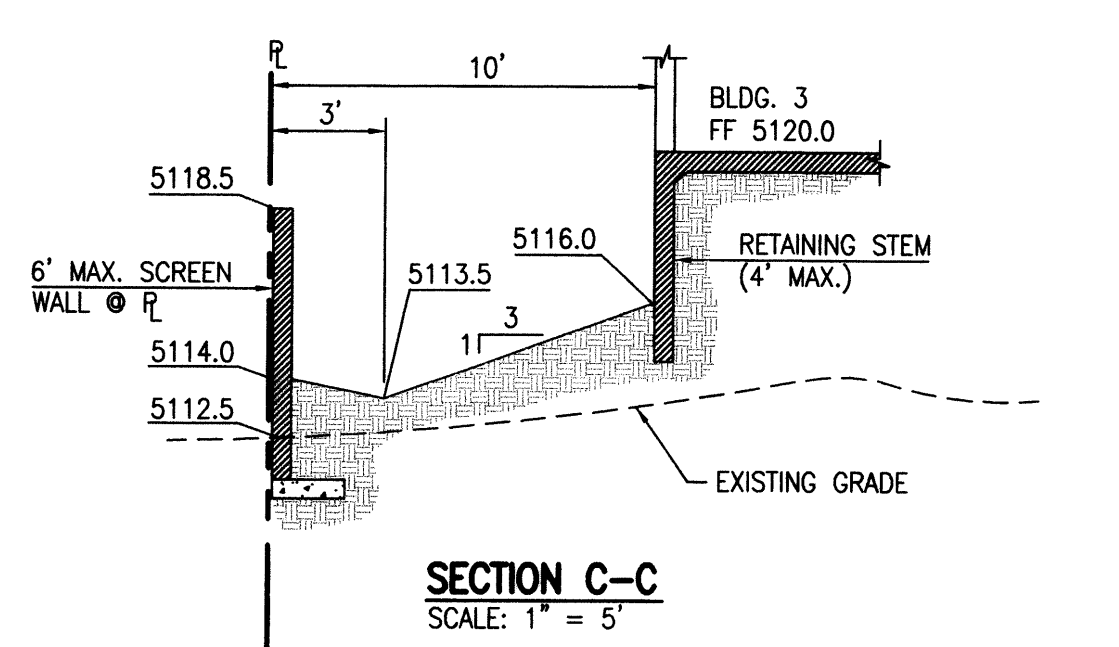
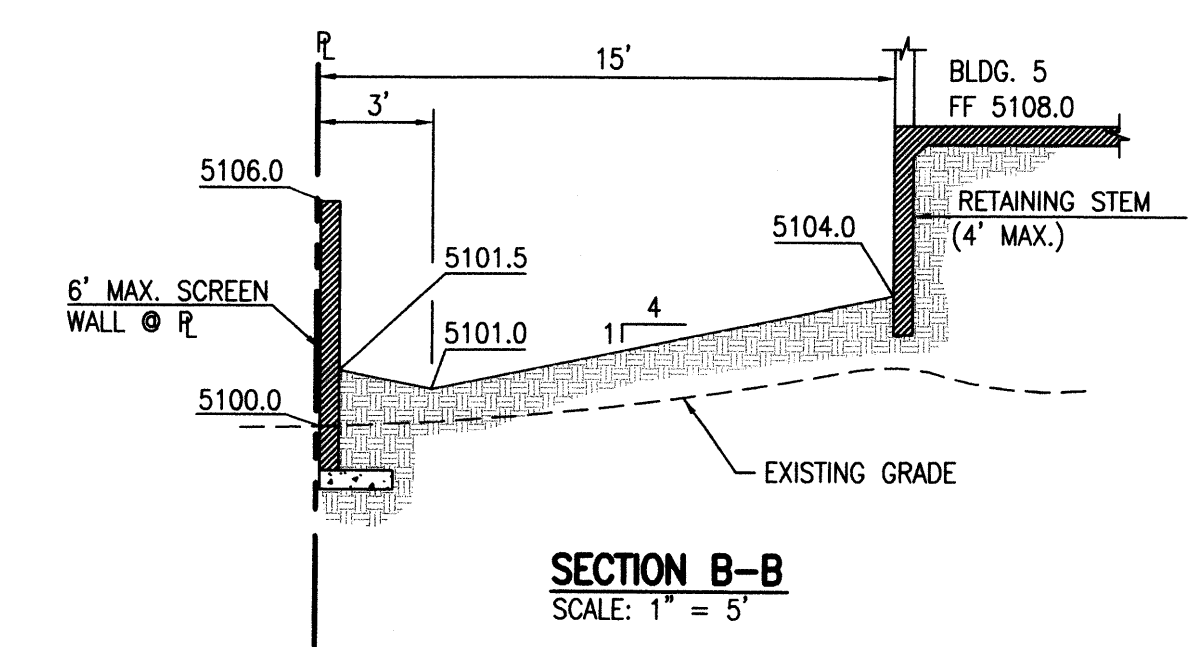
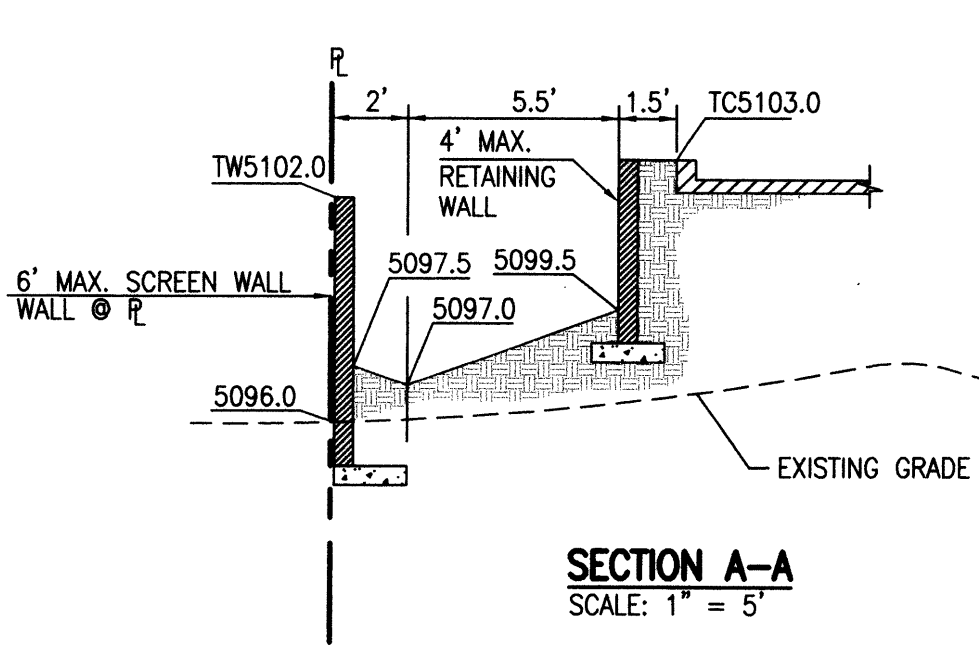
- ASPH ASPHALT
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- CAVY CABLE TELEVISION
- CB CONCRETE BENCH
- CC CONCRETE CURB
- CCP CONCRETE DRIVEPAD
- CI CAST IRON
- CLPA CENTERLINE
- CMU METAL PIPE IN REINFORCED CONCRETE
- CONC CONCRETE MASONRY UNIT
- CXC CONCRETE
- EXTR CONCRETE CURB
- EXTR EXTRUDED CURB
- EXTR FIRE HYDRANT
- FL FLOWLINE
- FO FENCE OPENING
- GR GRAVEL
- GW GUY WIRE
- HP HIGH PRESSURE
- IRV IRRIGATION VALVE BOX
- LS LANDSCAPED
- MCP METAL GUARD POST
- MH MANHOLE
- MLP METAL LIGHT POLE
- PAIT PATTERNS
- PG PEDESTRIAN GATE
- PGA PIPE GATE
- PMP PAVEMENT
- RCP REINFORCED CONCRETE PIPE
- S SIGN
- SS SANITARY SEWER
- SD STORM DRAIN
- SDI STORM DRAIN INLET
- SLP STREET LIGHTING PULLBOX
- SLP STREET LIGHTING PULLBOX
- ST STEEL
- STD STANDARD
- SV SPRINKLER VALVE
- SW SIDEWALK
- SWC SIDEWALK CULVERT
- SWH SOLID WHITE STRIPE
- TC TOP OF CURB
- TCAB TELEPHONE CABINET
- TCC TOP OF CONCRETE
- TG TOP OF GRATE
- TRF TRAFFIC SIGNAL
- TRF TRAFFIC SIGNAL
- TRF TRAFFIC SIGNAL MAST ARM BASE
- TRF TRAFFIC SIGNAL PULLBOX
- TRF TRAFFIC SIGNAL PULLBOX
- TV TELEPHONE VAULT
- VEG VEHICLE GATE
- VG VALLEY GUTTER
- WCR WHEELCHAIR RAMP
- WF WOOD FENCE
- WL WATERLINE
- WM WOOD POWER POLE
- WVP WATER VALVE BOX
- WVB WATER VALVE BOX
- X-WALK CROSSWALK
- BOL BOULDER
- DEC DECIDUOUS TREE
- SHR SHRUB
- UTL UTILITY MARKER
- EXH EXISTING FIRE HYDRANT
- EXV EXISTING GATE VALVE
- PSD PROPOSED STORM DRAIN
- MANH MANHOLE
- PSPE PROPOSED SPOT ELEVATION
- FLW FLOWLINE
- DIR DIRECTION OF FLOW
- RETW RETAINING WALL

KEYED NOTES

- NEW EASEMENTS**
- ① CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
 - ② PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. ALSO, A PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
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 - ⑧ 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2
 - ⑨ LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007



FOR CONTINUATION, SEE SHEET C1.11

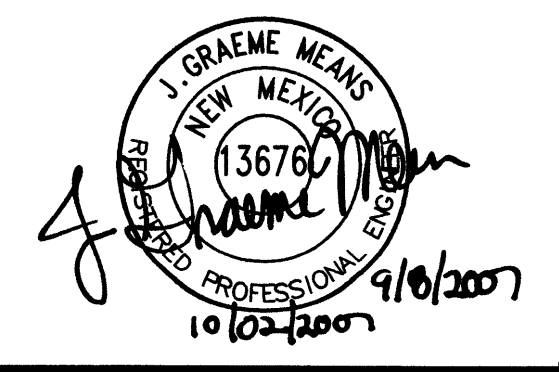


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BROADSTONE TOWNE CENTER
N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



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Contact: Danny Powell

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REVISIONS

- △ ADDRESS EPC CONDITIONS 09/07
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- △

DATE: SEPTEMBER, 2007 ORB# 06-210

C1.10

CONCEPTUAL GRADING PLAN (WEST)

LEGEND

- ASPH ASPHALT
- C&G CURB AND GUTTER
- CATV CABLE TELEVISION
- CB CONCRETE BENCH
- CC CONCRETE CURB
- CDP CONCRETE DRIVEPAD
- CI CAST IRON CENTERLINE
- CL CONCRETE DRIVEPAD
- CLMPA METAL PIPE IN REINFORCED CONCRETE
- CMU CONCRETE MASONRY UNIT
- CONC CONCRETE
- EXC EXTRUDED CURB
- FD FIRE HYDRANT
- FL FLOWLINE
- FO FENCE OPENING
- GR GRAVEL
- GW GUY WIRE
- HP HIGH PRESSURE
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- LS LANDSCAPED
- MGP METAL GUARD POST
- MH MANHOLE
- MLP METAL LIGHT POLE
- PAT PATTERN
- PG PIPE GATE
- PMT PAVEMENT
- PCP REINFORCED CONCRETE PIPE
- S SIGN
- SAS SANITARY SEWER
- SD STORM DRAIN
- SI STORM INLET
- SLPB STREET LIGHTING PULLBOX
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- TS TRAFFIC SIGN
- TSMAB TRAFFIC SIGNAL MAST ARM BASE
- TSPB TRAFFIC SIGNAL PULLBOX
- TV TELEPHONE VAULT
- VEG VALLEY GUTTER
- VC VALLEY GUTTER
- WCR WHEELCHAIR RAMP
- WF WOOD FENCE
- WM WATER METER
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- WVB WATER VALVE BOX
- X-WALK CROSSWALK
- BOULDER BOULDER
- DECIDUOUS TREE DECIDUOUS TREE
- SHRUB SHRUB
- UTILITY MARKER UTILITY MARKER
- EXISTING FIRE HYDRANT EXISTING FIRE HYDRANT
- EXISTING GATE VALVE EXISTING GATE VALVE
- PROPOSED STORM DRAIN MANHOLE PROPOSED STORM DRAIN MANHOLE
- PROPOSED SPOT ELEVATION PROPOSED SPOT ELEVATION
- FLOWLINE FLOWLINE
- DIRECTION OF FLOW DIRECTION OF FLOW
- RETAINING WALL RETAINING WALL
- ASPHALT PAVEMENT ASPHALT PAVEMENT
- PROPOSED GATE VALVE PROPOSED GATE VALVE
- PROPOSED SAS MANHOLE PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT PROPOSED SAS CLEANOUT
- PROPOSED FIRE HYDRANT PROPOSED FIRE HYDRANT
- PROPOSED WATER SERVICE PROPOSED WATER SERVICE

KEYED NOTES

NEW EASEMENTS

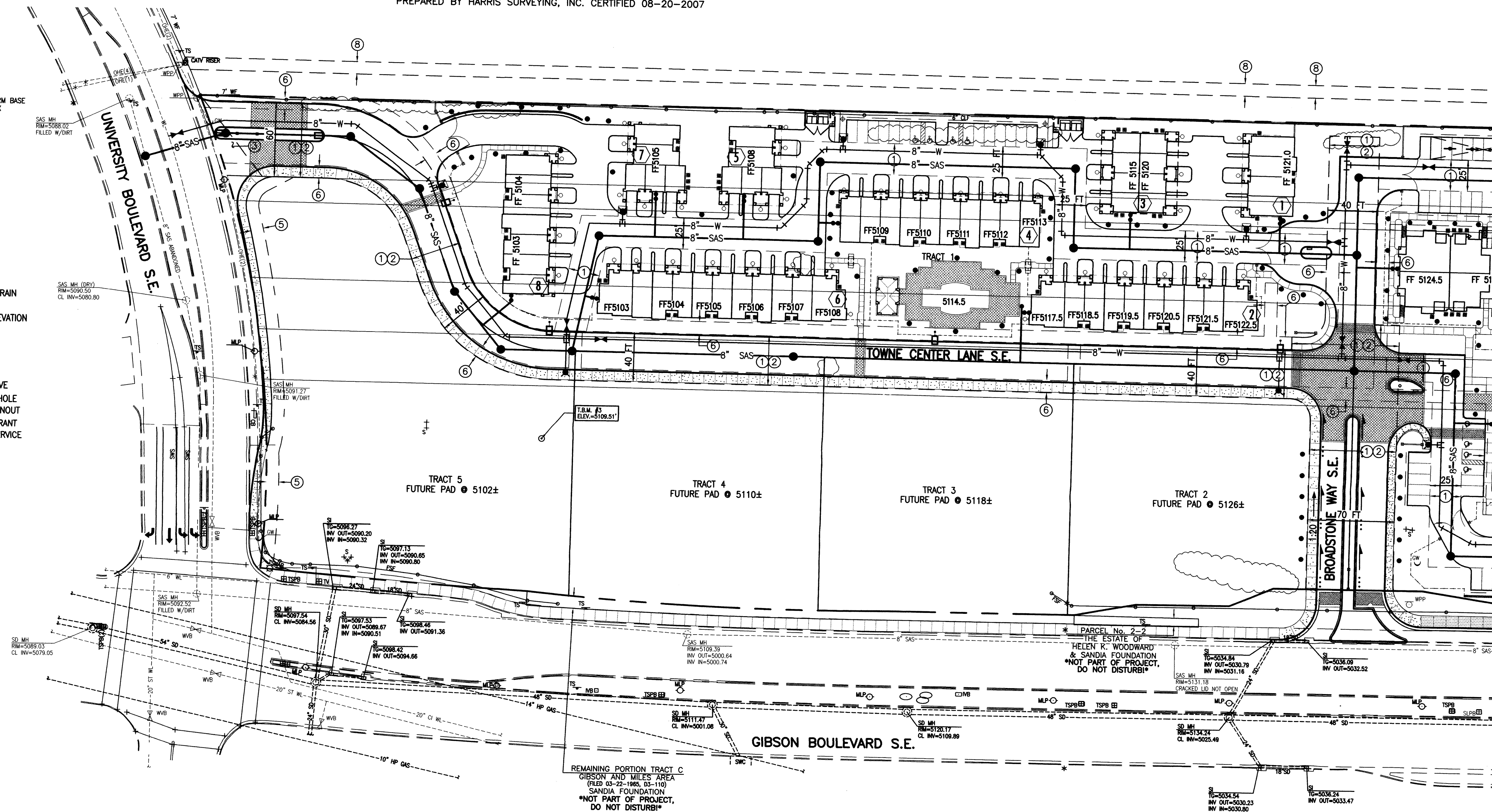
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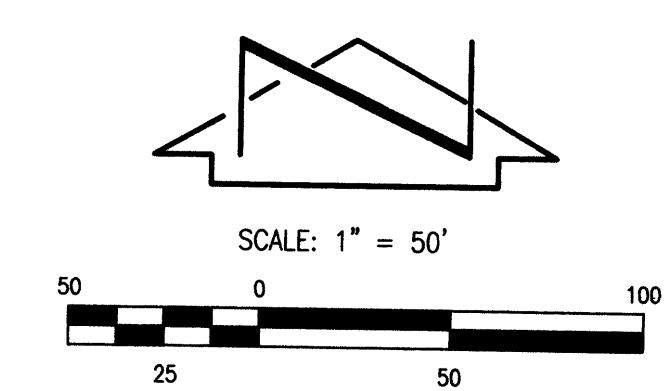
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ALBUQUERQUE, NEW MEXICO



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Contact: Jackie Fishman

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tel. 404.352.2240
fax 404.352.2492
Contact: Danny Powell

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DATE: SEPTEMBER, 2007 ORB # 06-210

C2.10
CONCEPTUAL UTILITY PLAN (WEST)

BROADSTONE TOWNE CENTER

N.E.C. UNIVERSITY AND GIBSON ROADS
ALBUQUERQUE, NEW MEXICO



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- PAT PATTERN
- PG PEDESTRIAN GATE
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- WB WATER VALVE BOX
- WBW CROSSWALK
- X WALK
- BOULDER
- DECDUOUS TREE
- SHRUB
- UTILITY MARKER
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
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- PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER SERVICE

KEYED NOTES

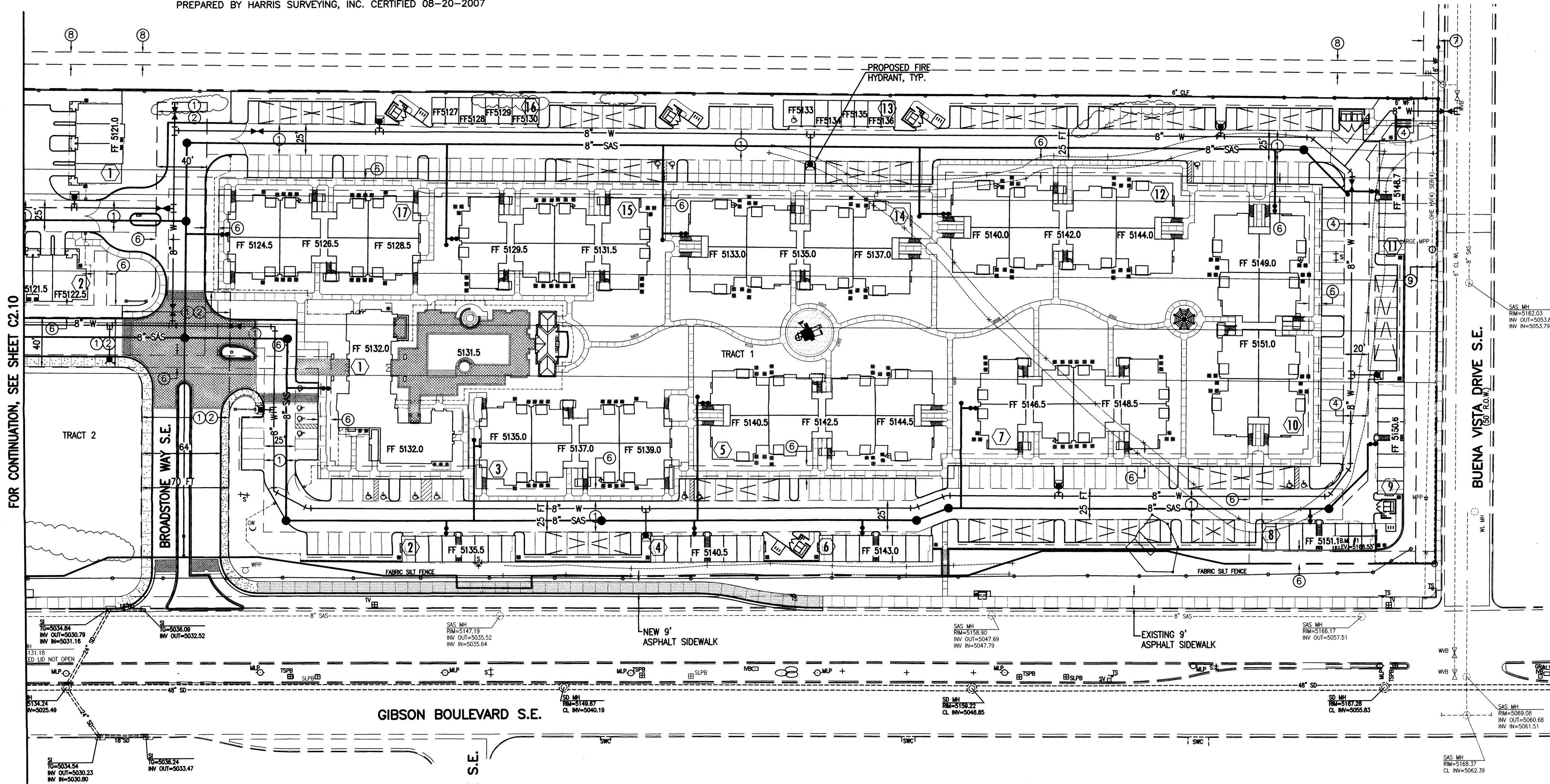
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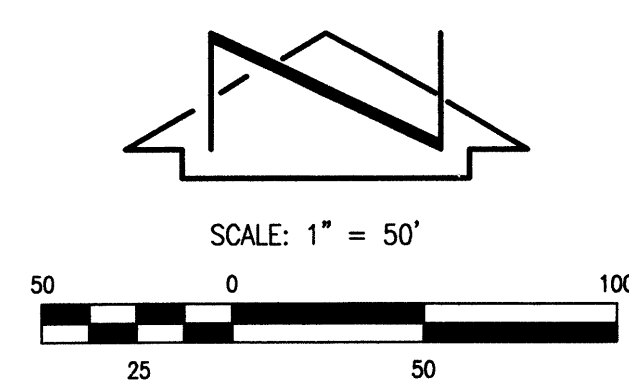
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EASEMENT



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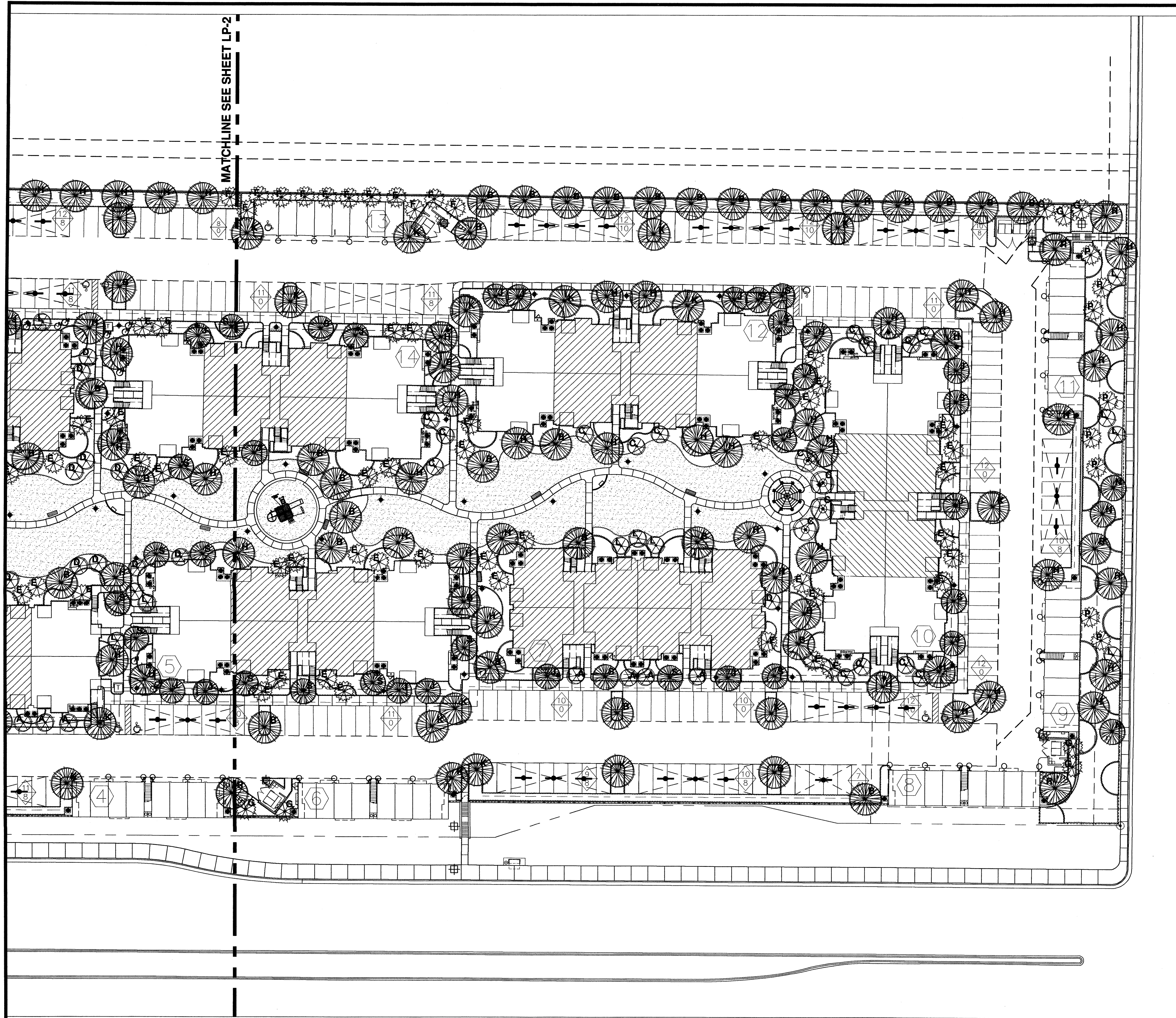
REVISIONS

- △ ADDRESS EPC CONDITIONS 09/07
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DATE: SEPTEMBER, 2007 ORB # 06-210

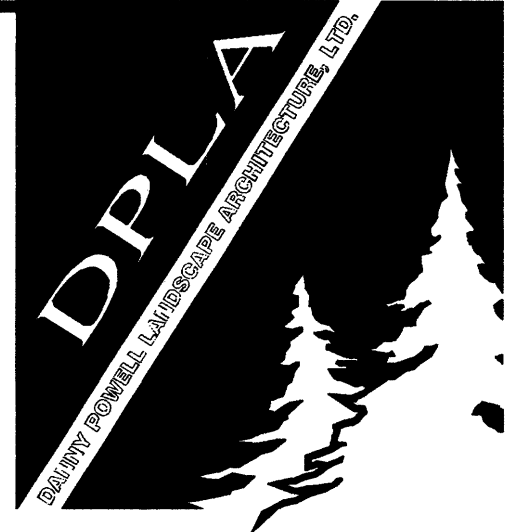
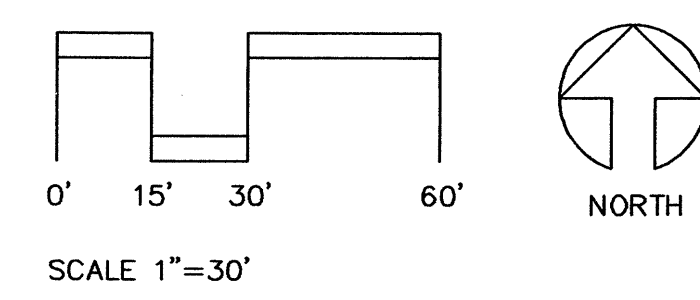
C2.11

CONCEPTUAL UTILITY PLAN (EAST)



TREE KEY

A	Ilex vomitoria	Yaupon Holly
B	Koeleruteria paniculata	Golden Rain Tree
C	Lagerstroemia indica	Crape Myrtle
C	Lagerstroemia indica	Crape Myrtle
D	Milus sp. 'Katherine'	Katherine Crabapple
E	Metasequoia glyptostroboides	Dawn Redwood
F	Pinus eldarica	Afghan Pine
G	Pinus sylvestris	Scotch Pine
H	Pistachia chinensis	Chinese Pistache
J	Prunus cerasifera 'hollywood'	Purpleleaf Plum
K	Quercus macrocarpa	Bur Oak
L	Vibex agnus castus	Chaste Tree
M	Buddleia merrillifolia	Woolly Butterfly Bush
N	Chitalpa tashkentensis 'Pink Dawn'	Chitalpa
P	Pinus nigra	Austrian Pine
R	Quercus fusiformis	Escarpment Live Oak
S	Robinia x ambigua	Purple Robe Locust



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**BROADSTONE
 TOWNE CENTER**
 ALBUQUERQUE, NEW MEXICO
 A RESIDENTIAL APARTMENT AND TOWNHOME COMMUNITY
 DEVELOPED BY
ALLIANCE RESIDENTIAL

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2618.1

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 CHECKED BY:
 DATE OF FIRST ISSUE:
DECEMBER 5, 2006

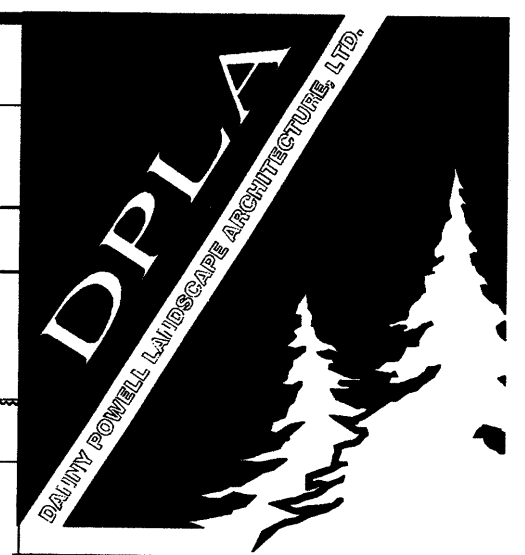
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NO.	DATE	BY
1	10-04-07	JDJ
2	10-08-07	JDJ
3	10-11-07	JDJ

SHEET TITLE
LANDSCAPE PLAN

LP-1

GARDEN APARTMENT PLANTING PLAN
 1"= 30' - 0"

NOTE: PERIMETER LANDSCAPE TO BE DESIGNED BY OTHERS, REFER TO SHEET 2 OF 3, SITEPLAN FOR SUBDIVISION.



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**BROADSTONE
 TOWNE CENTER**
 ALBUQUERQUE, NEW MEXICO
 A RESIDENTIAL APARTMENT AND TOWNHOME COMMUNITY
 DEVELOPED BY
ALLIANCE RESIDENTIAL

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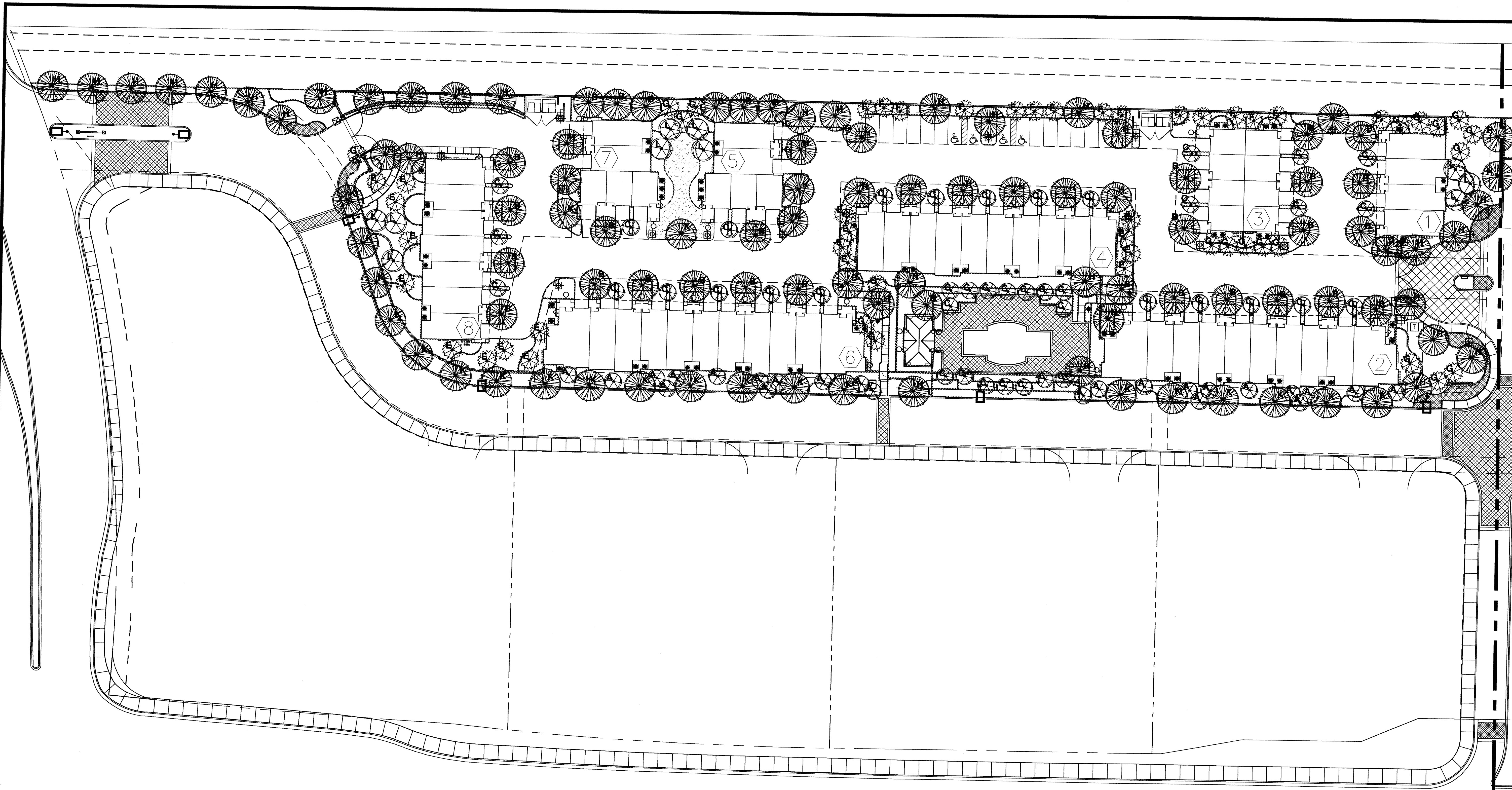
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 CHECKED BY:
 DATE OF FIRST ISSUE:
DECEMBER 5, 2006

REVISIONS

NO.	DATE	BY
1	10-04-07	JDJ
2	10-08-07	JDJ
3	10-11-07	JDJ

SHEET TITLE
LANDSCAPE PLAN

LP-3

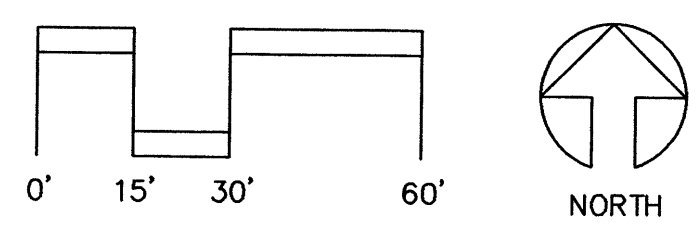


TREE KEY

A	<i>Ilex vomitoria</i>	Yaupon Holly
B	<i>Koeleruteria paniculata</i>	Golden Rain Tree
C	<i>Lagerstroemia indica</i>	Crape Myrtle
D	<i>Lagerstroemia indica</i>	Crape Myrtle
E	<i>Malus sp.</i>	Katherine Crabapple
F	<i>Metasequoia glyptostroboides</i>	Dawn Redwood
G	<i>Pinus eldarica</i>	Afghan Pine
H	<i>Pinus sylvestris</i>	Scotch Pine
I	<i>Platanus chinensis</i>	Chinese Platane
J	<i>Prunus cerasifera</i>	Purpleleaf Plum
K	<i>Quercus macrocarpa</i>	Bur Oak
L	<i>Vitex agnus castus</i>	Chaste Tree
M	<i>Buddleia merrilliana</i>	Woolly Butterfly Bush
N	<i>Chitalpa tashkentensis</i>	Chitalpa
O	<i>Pinus nigra</i>	Austrian Pine
P	<i>Quercus fusiformis</i>	Escarpment Live Oak
Q	<i>Robinia x ambigua</i>	Purple Robe Locust

TOWNEHOME PLANTING PLAN

1" = 30' - 0"



SCALE 1" = 30'

NOTE: PERIMETER LANDSCAPE TO BE DESIGNED BY OTHERS, REFER TO SHEET 2 OF 3, SITEPLAN FOR SUBDIVISION.

MATCHLINE SEE SHEET LP-2



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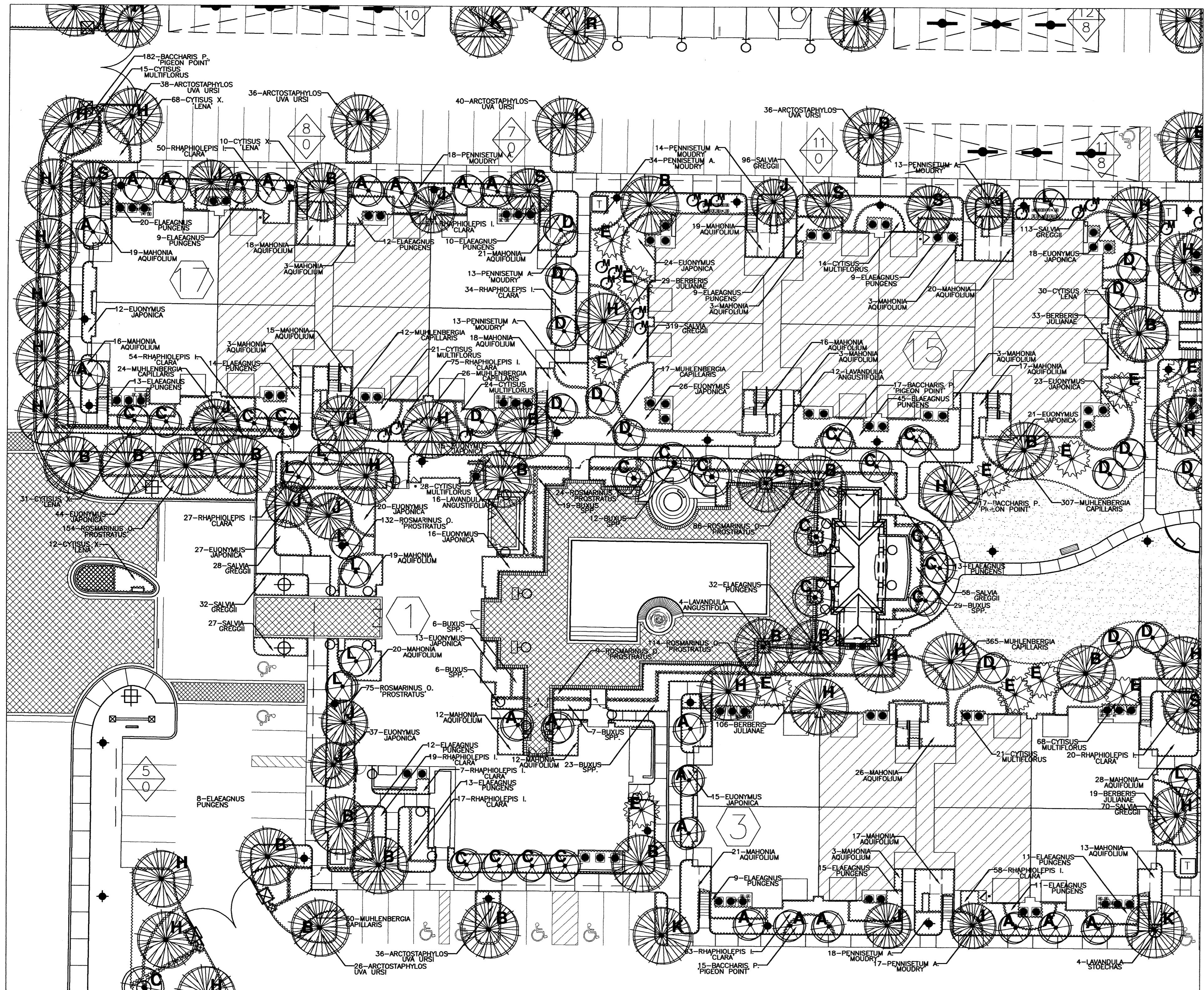
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SHEET TITLE
LANDSCAPE PLAN

LP-4

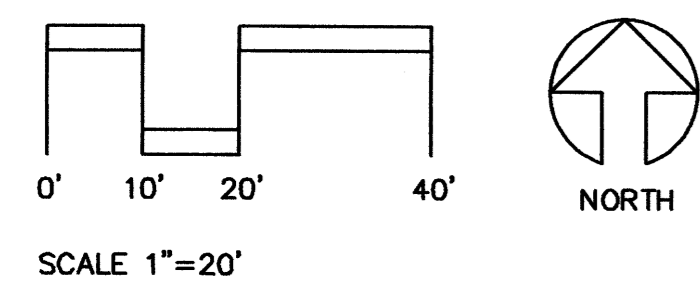


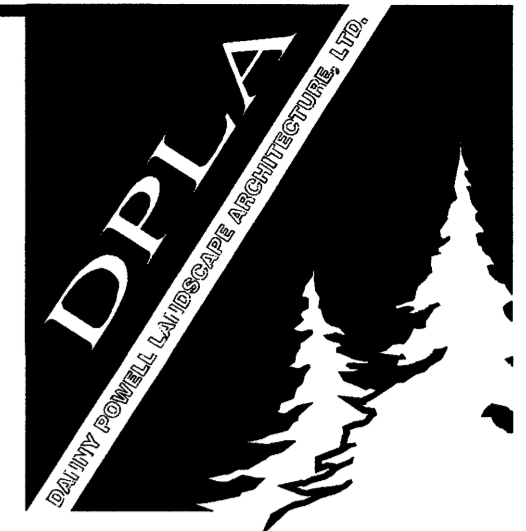
Quantity	Key	Scientific Name	Common Name	Spacing	Size	Comments	Water Use
TREES							
49	A	Ilex vomitoria	Yaupon Holly	As Shown	8-10' HT.	Dense, compact growth, balanced head	Low
93	B	Koeleria paniculata	Golden Rain Tree	As Shown	2-2 1/2' Cal.	Upright-rounded habit	Medium
70	C	Lagerstroemia indica	Crape Myrtle	As Shown	2-2 1/2' Cal.	Multi-stemmed, rounded crown n, dense branching	Medium
13	C	Lagerstroemia indica	Crape Myrtle	As Shown	14' HT., 8" SP., 6' CLR. TR.	Multi-stemmed, rounded crown n, dense branching	Medium
18	D	Malus sp. 'Katherine'	Katherine Crabapple	As Shown	2-2 1/2' Cal.	balanced crown n, double flowers	High
68	E	Metasequoia glyptostroboides	Dawn Redwood	As Shown	Min. 10' HT	Conical shape, upright, dense	Medium
38	F	Pinus edulis	Afghan Pine	As Shown	Min. 10' HT.	Low evenly branched	Medium
23	G	Pinus sylvestris	Scotch Pine	As Shown	Min. 10' HT.	Low branched, dense crown n	Medium
113	H	Pistacia chinensis	Chinese Pistache	As Shown	2 1/2"-3" Cal.	Dense, round-headed crown n	Medium
29	J	Prunus cerasifera 'Hollywood'	Purpleleaf Plum	As Shown	2 1/2"-3" Cal.	Dense, round-headed crown n	Medium
50	K	Quercus macrocarpa	Bur Oak	As Shown	2 1/2"-3" Cal.	Dense crown n, evenly branched	Medium
27	L	Vitex agnus castus	Chaste Tree	As Shown	2 1/2"-3" Cal.	Multi stem, dense branching habit	Medium
3	N	Chitipa tashkentensis	Chitipa	As Shown	2 1/2"-3" Cal.	Dense crown n, evenly branched	Low +
8	P	Pinus nigra	Austrian Pine	As Shown	Min. 10' HT.	Low evenly branched	Medium
14	R	Quercus fusiformis	Escarpment Live Oak	As Shown	2 1/2"-3" Cal.	Dense crown n, evenly branched	Medium
23	S	Robinia x ambigua	Purple Robe Locust	As Shown	2-2 1/2' Cal.	balanced crown n, double flowers	Medium
SHRUBS							
TBD		Berberis julianae	Wintergreen Barberry	36" o.c.	5 gal.	Dense compact growth	Medium
21	M	Buddleia marrubifolia	Woolly Butterfly Bush	42" o.c.	5 gal.	Low branched, full, dense	Low +
TBD		Buzus spp.	Bow wood	30" o.c.	5 gal.	Dense compact growth	Medium
TBD		Cytisus multiflorus	Spanish Broom	30" o.c.	5 gal.	Dense compact growth	Medium
TBD		Cytisus x 'Lena'	Lena's Broom	30" o.c.	5 gal.	Dense compact growth	Medium
TBD		Baeagnus pungenis	Silverberry	36" o.c.	5 gal.	Low branched, full, dense	Medium
TBD		Euonymus japonica	Japanese Euonymus	36" o.c.	5 gal.	Low branched, full, dense	Medium
TBD		Lavandula angustifolia	English Lavender	24" o.c.	5 gal.	Dense compact growth	Medium
TBD		Lavandula stoechas	Spanish Lavender	24" o.c.	5 gal.	Dense compact growth	Medium
TBD		Mahonia aquifolium	Oregon Grape Holly	36" o.c.	5 gal.	Low branched, full, dense	Medium
TBD		Raphiolepis indica 'Clara'	Indian Hawthorn 'Clara'	30" o.c.	5 gal.	Dense compact growth	Medium
TBD		Rosmarinus officinalis 'Prostratus'	Prostrate Rosemary	24" o.c.	5 gal.	Dense compact growth	Low +
TBD		Salvia greggii	Autumn Sage	24" o.c.	5 gal.	Dense compact growth	Medium
GROUNDCOVERS/VINES							
TBD		Arctostaphylos uva ursi	Kinnikinnick	24" o.c.	1 gal.	Small leathery leaves, reddish bark, red berries	Medium
TBD		Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	24" o.c.	5 gal.	Dark green groundcover, w hite flower	Low +
TBD		Lantana montevidensis	Trailing Lantana	16" o.c.	1 gal.	Dense compact growth	Medium
TBD		Muhlenbergia capillaris	Pink Muhly	24" o.c.	5 gal.	Dense full bunch	Medium
TBD		Pennisetum alopecuroides 'Moody'	Muddy Fountain Grass	24" o.c.	5 gal.	Dense full bunch	Medium
TBD		Annual Color				Color and specie to be selected	
TBD		Sod	Blumunda			Mix of Kentucky Bluegrass(max 20%) and T ukon Bermuda	Medium
<p>1 AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS WITH A RAIN SENSING CUT-OFF DEVICE AND DRIP HEADS/TUBING WHERE POSSIBLE FOR WATER USE CONSERVATION. IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO.</p> <p>2 ALL PLANTED AREAS SHALL BE MULCHED USING EITHER BARK OR COBBLES TO A DEPTH OF 3" MINIMUM.</p> <p>3 MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE APARTMENT PROJECT MANAGEMENT AND/OR OWNER.</p> <p>4 THE LANDSCAPE PLAN FOR BROADSTONE TOWNE CENTER SHALL LIMIT TURF AREAS TO A MAXIMUM OF 20% OF THE REQUIRED LANDSCAPE AREA AS INDICATED BELOW, THUS PROVIDING FOR LIMITED HIGH WATER USE ACCORDING TO THE ORDINANCES.</p> <p>5 *TBD* FINAL QUANTITIES WILL BE BASED ON TOTAL LANDSCAPED AREA.</p> <p>6 LANDSCAPE AREA PROVIDED 128,881 S.F. 3.03 AC. TURF AREA ALLOWED 25,736 S.F. .61 AC. TURF AREA PROVIDED 19,468 S.F. .48 AC</p>							

NOTE: PERIMETER LANDSCAPE TO BE DESIGNED BY OTHERS, REFER TO SHEET 2 OF 3, SITEPLAN FOR SUBDIVISION.

TYPICAL CONCEPT FOR SHRUB PLANTING

1"= 20' - 0"





1452 CARROLL DRIVE
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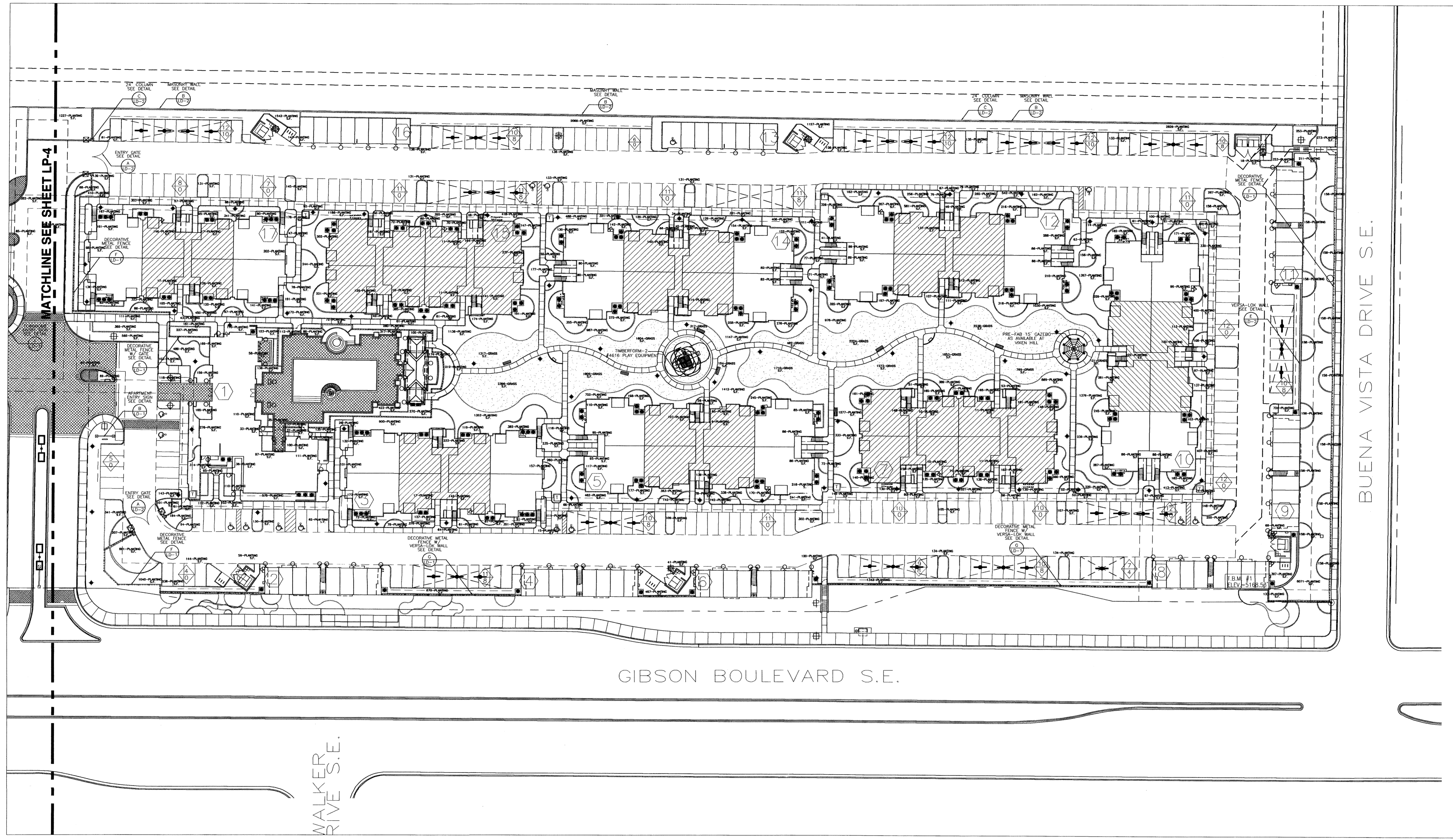
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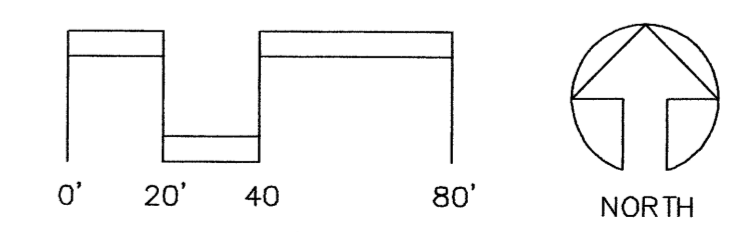
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2	10-08-07	JDJ

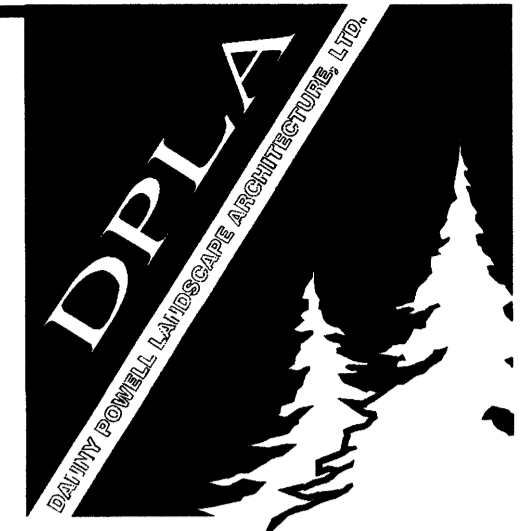
SHEET TITLE
**LANDSCAPE
CALCULATIONS**

LP-5



GARDEN APARTMENTS			
	Square Feet	Acres	
Lot Area (Gross)	372455 s.f.	8.55 Acres	Total Area including Buildings and Parking
Buildings	121290 s.f.	2.78 Acres	
Net Lot Area	251165 s.f.	5.77 Acres	Includes Required Parking Areas
Required Landscape Area	37675 s.f.	.86 Acres	15% of Net Lot Area
Provided Landscape Area	105933 s.f.	2.43 Acres	42% of Net Lot Area
Planting Area	87826 s.f.	2.01 Acres	
Grass Area	18107 s.f.	.41 Acres	20% of Total Planting Area





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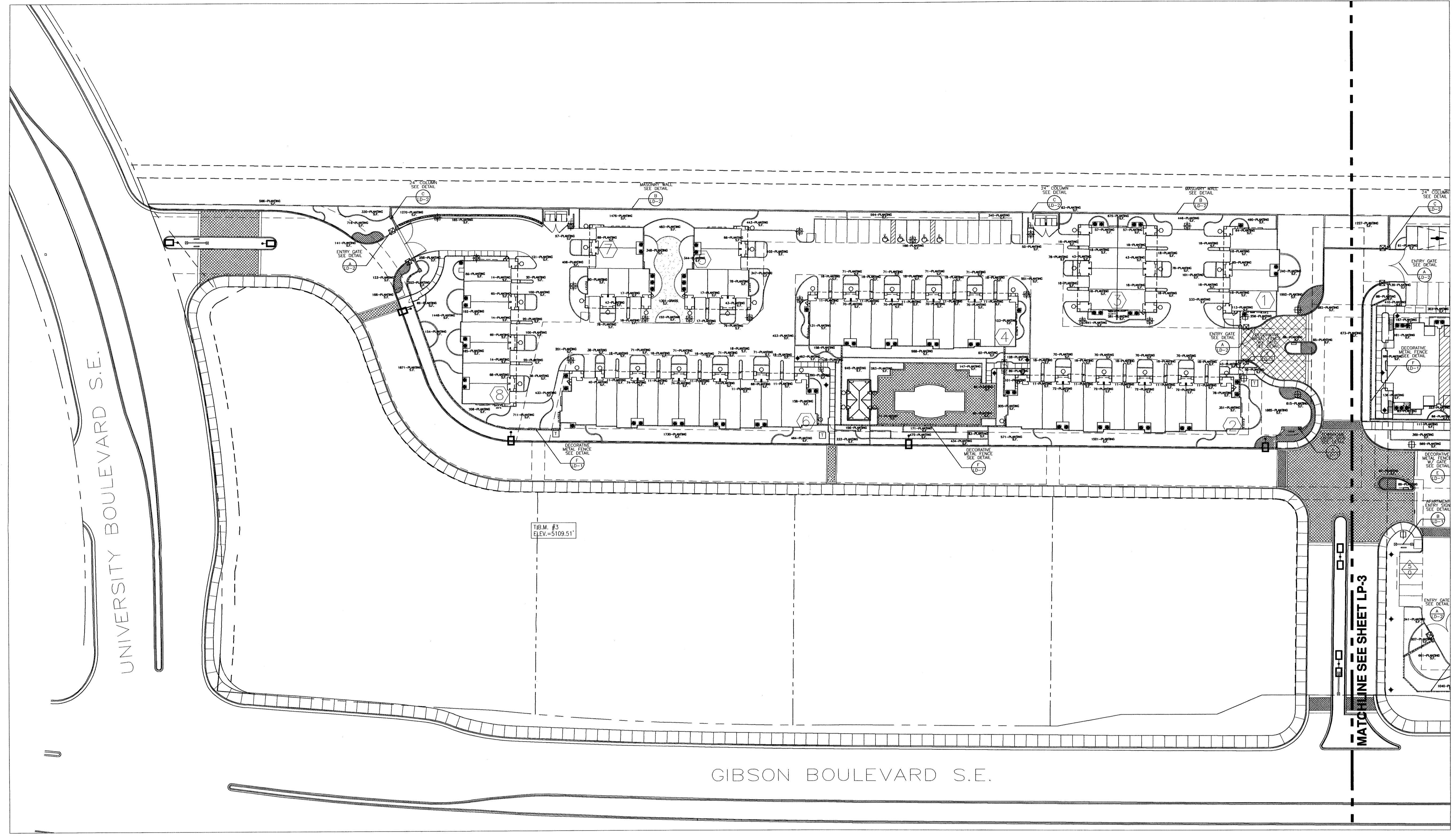
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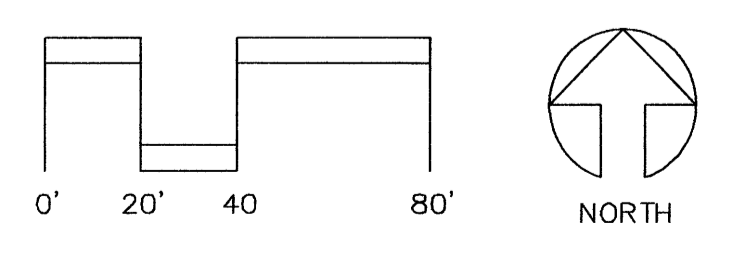
NO.	DATE	BY
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2	10-08-07	JDJ

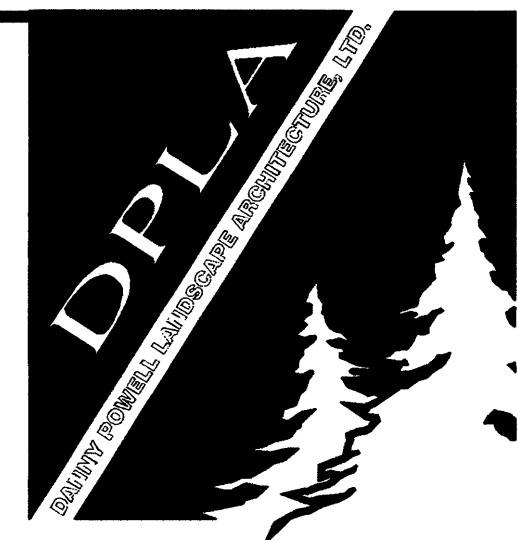
SHEET TITLE
**LANDSCAPE
CALCULATIONS**

LP-6



TOWNHOME APARTMENTS	Square Feet	Acres	Comments
Lot Area (Gross)	129150 s.f.	2.97 Acres	Total Area including Buildings and Parking
Buildings	43980 s.f.	1.01 Acres	
Net Lot Area	85170 s.f.	1.96 Acres	Includes Required Parking Areas
Required Landscape Area	12775 s.f.	.29 Acres	15% of Net Lot Area
Provided Landscape Area	41605 s.f.	.96 Acres	49% of Net Lot Area
Planting Area	40304 s.f.	.93 Acres	
Grass Area	1301 s.f.	.03 Acres	3% of Total Planting Area





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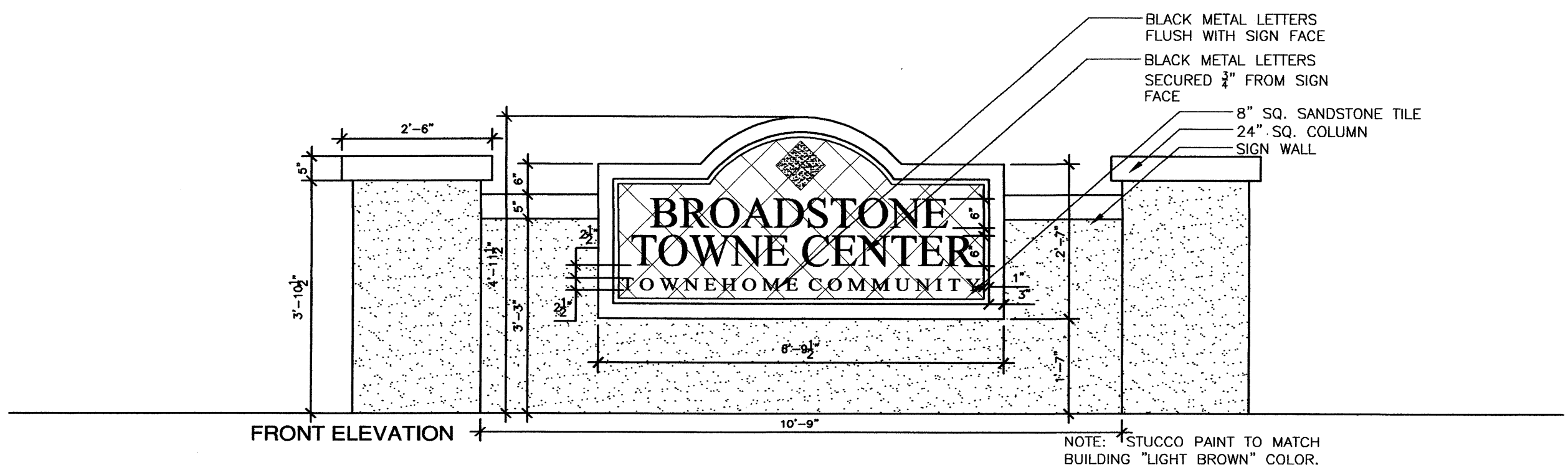
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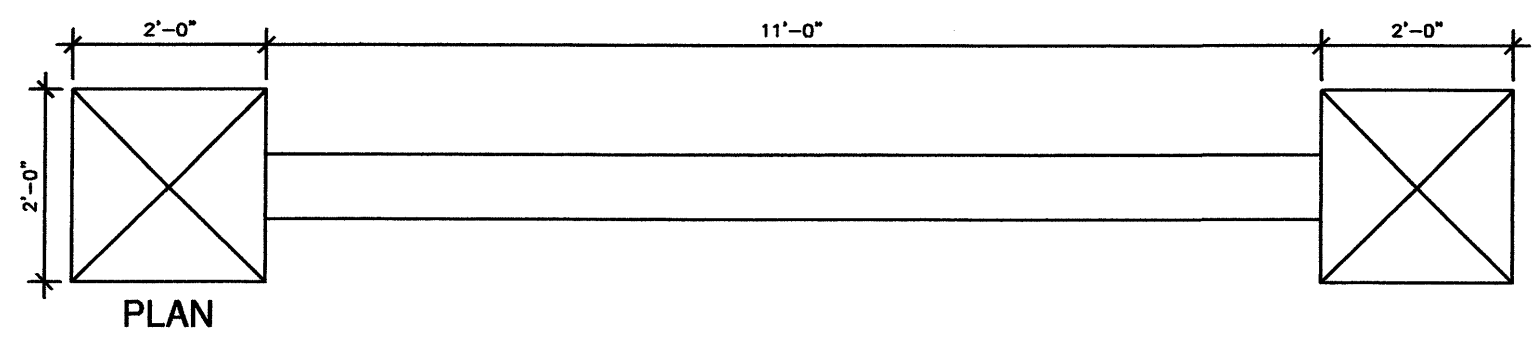
NO.	DATE	BY
1	10-04-07	JDJ

SHEET TITLE
DETAILS

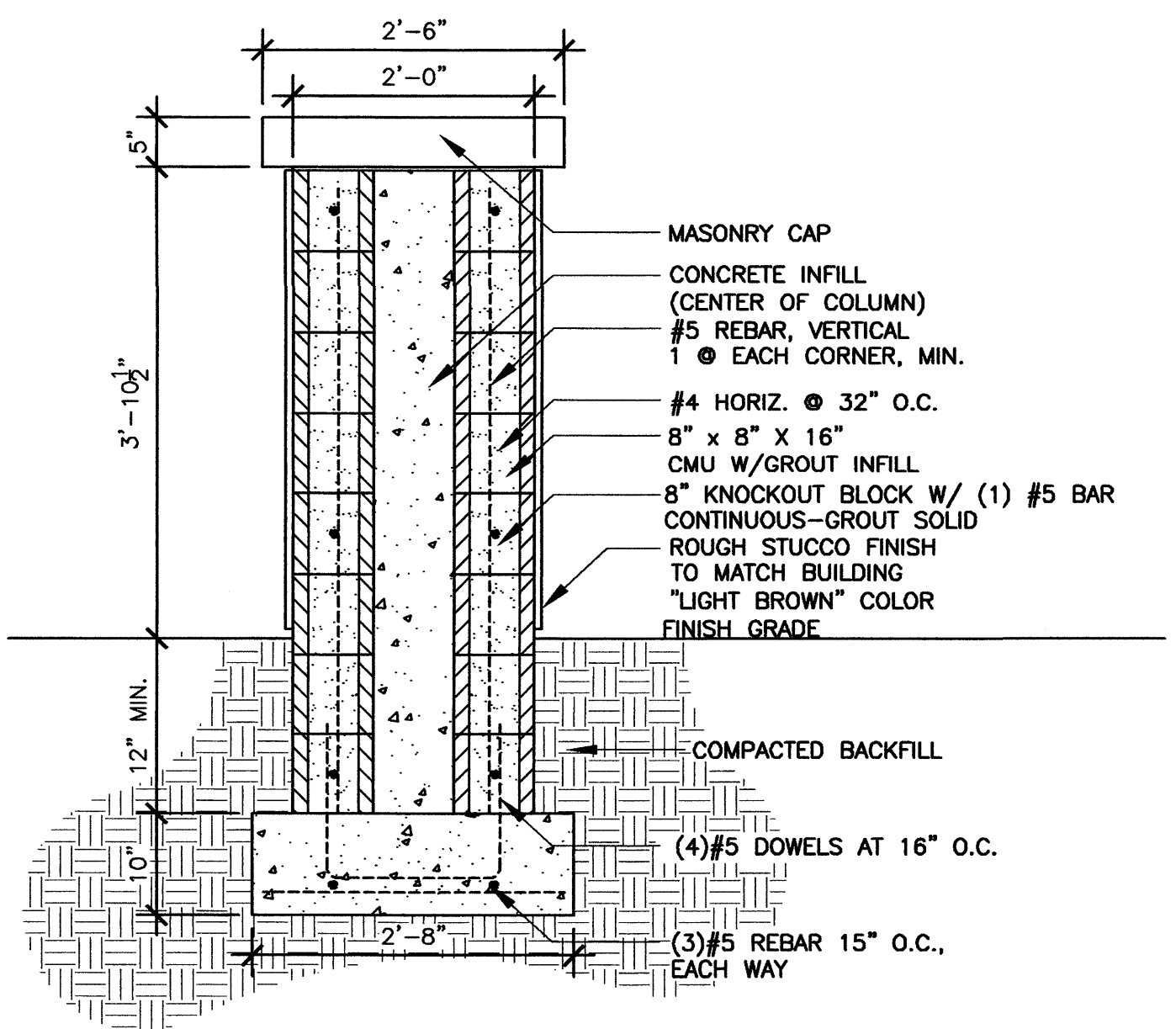
LD-1



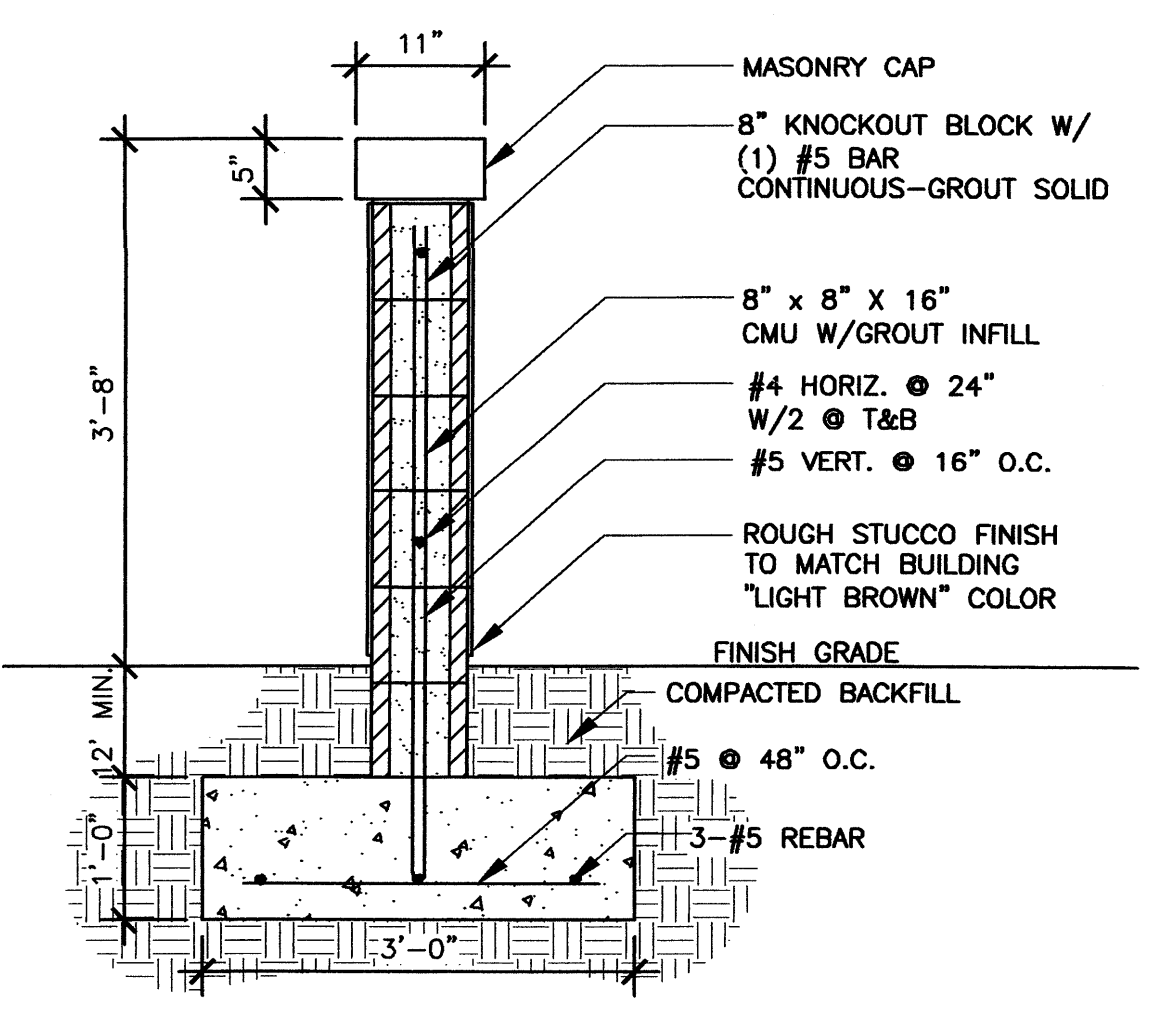
A GARDEN APARTMENT ENTRY SIGNAGE
 1/2"=1'-0"



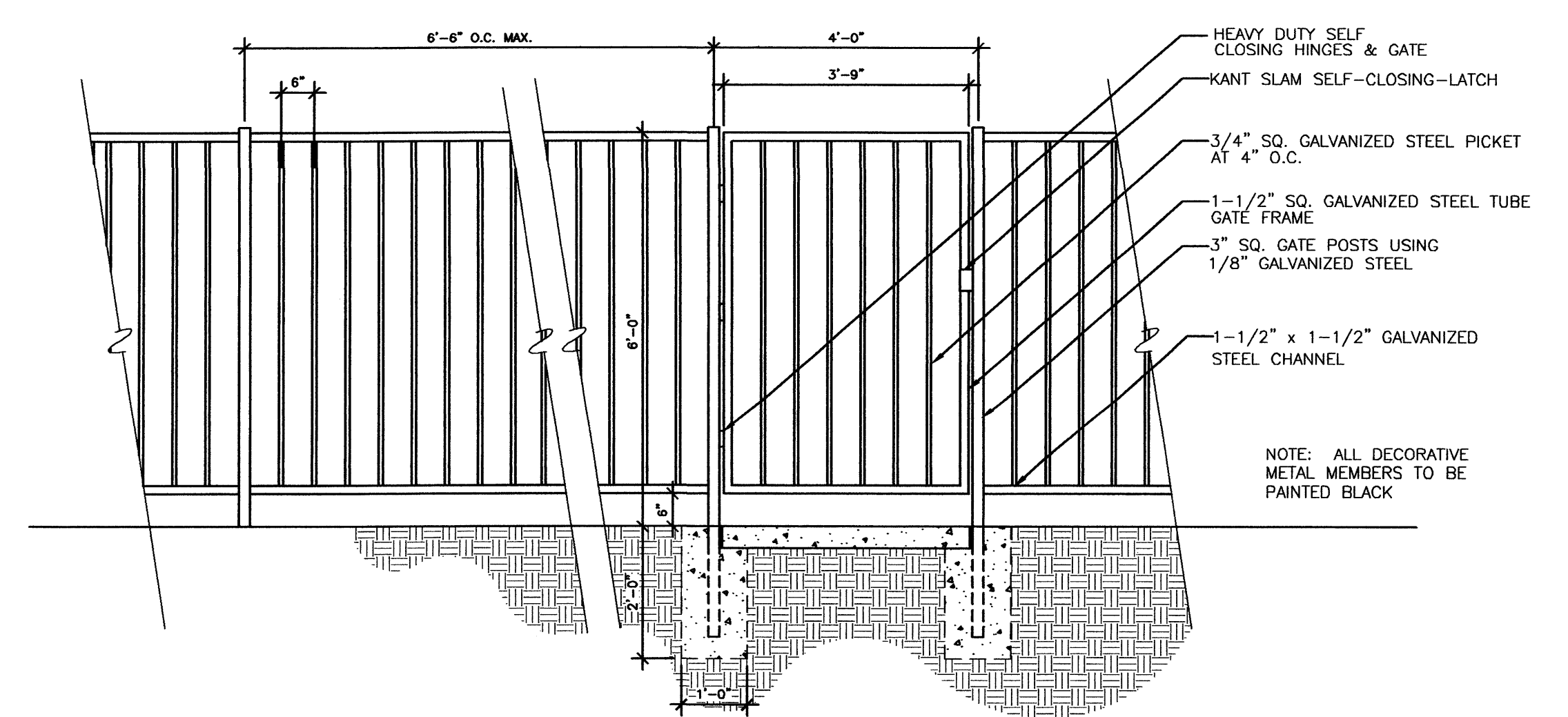
B TOWNHOME ENTRY SIGNAGE
 1/2"=1'-0"



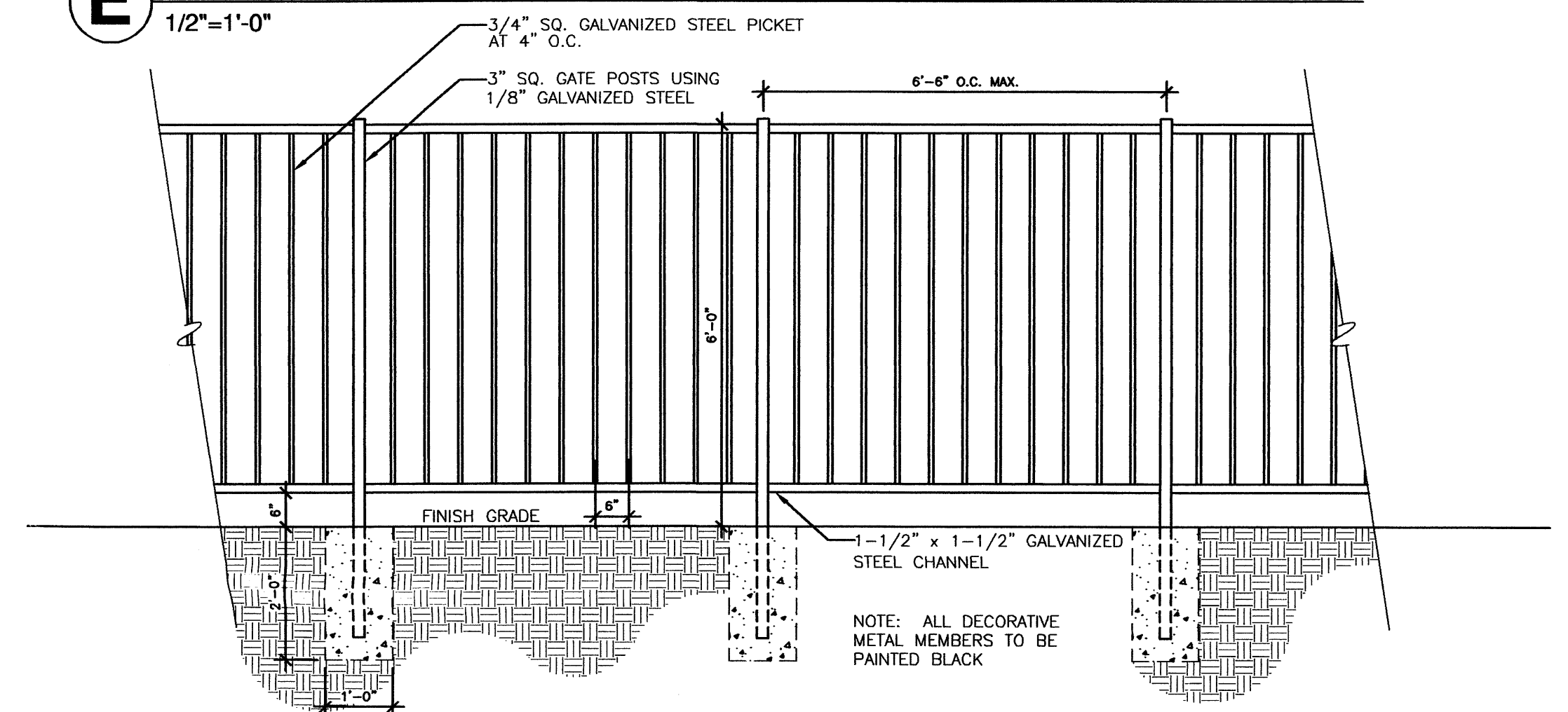
**C 24\"/>
 3/4"=1'-0"**



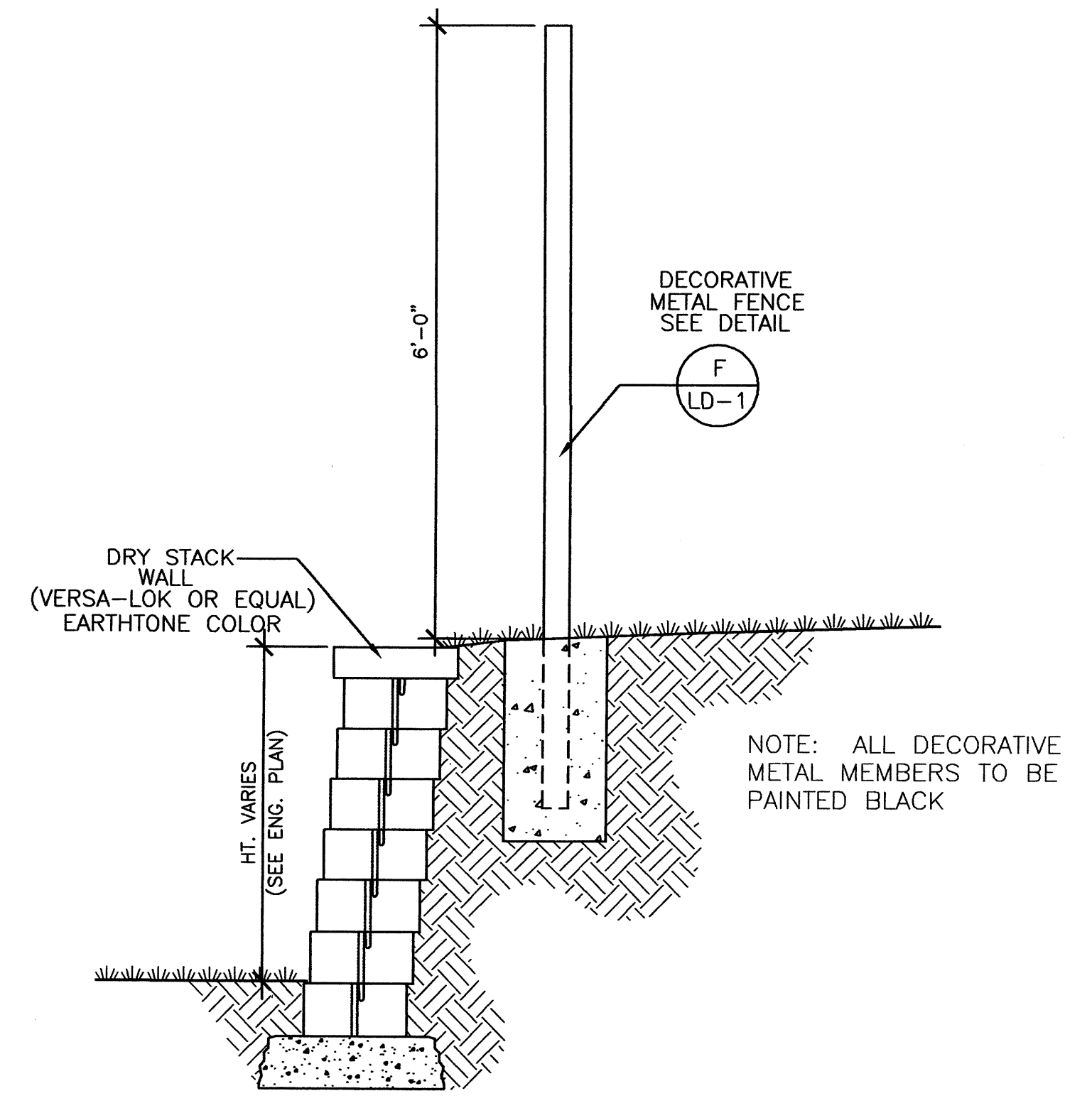
D ENTRY WALL DETAIL
 3/4"=1'-0"



E DECORATIVE METAL SECURITY FENCE W/ PED. GATE ENTRY
 1/2"=1'-0"



F DECORATIVE METAL SECURITY FENCE
 1/2"=1'-0"



G VERSALOK RETAINING WALL W/ SECURITY FENCE
 3/4"=1'-0"

GENERAL NOTES:

- A Site Development Plan for the residential areas has been submitted in conjunction with this Site Plan for Subdivision. Subsequent Site Plans for Building Permit shall be submitted to the Environmental Planning Commission for the commercial pad sites.
- Minor amendments to this Site Development Plan shall be approved administratively by the Planning Director, in compliance with the City Comprehensive Zoning Code, Section 14-16-2-22 (A)(6) SU-1 Special Use Zone.
- The 4.3 acres of the development are allocated for commercial development. Four commercial parcels are proposed. The users envisioned for the parcels would involve sit down restaurants, service retail, financial facility and drive-up fast food. These users will support the adjacent residential hotel and athletic facilities.
- This site has been restricted to a maximum of two drive-throughs, with no more than one being a drive-through restaurant. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard.

- Zoning for the commercial area is SU-1 for C-2 Permissive Uses with restrictions. The following land uses from the C-2 Permissive Uses as contained in the Comprehensive City Zoning Code, Section 14-16-2-17, have been determined to be incompatible with the vision for this project and shall not be allowed:
 - Freestanding Cell Towers or Antennas
 - Vehicle Sales, Rental Service, Repair, Storage
 - Package Alcohol Sales for Off Premise Consumption
 - Gasoline, Oil, & Liquefied Petroleum Gas Retailing
 - Off Premise Signs including Billboards
 - Drive-In Restaurant
 - School
 - Parking Lot
 - Storage Structure
 - Storage Yard
 - Uses/Activities in a Tent
 - Circus or Carnival
- This site is within a proposed Metropolitan Redevelopment Area.
- Cross access easement is required to be part of the subdivision plat.
- Approval of Gibson Blvd. access by the TCC was made on September 14, 2007.

EASEMENTS

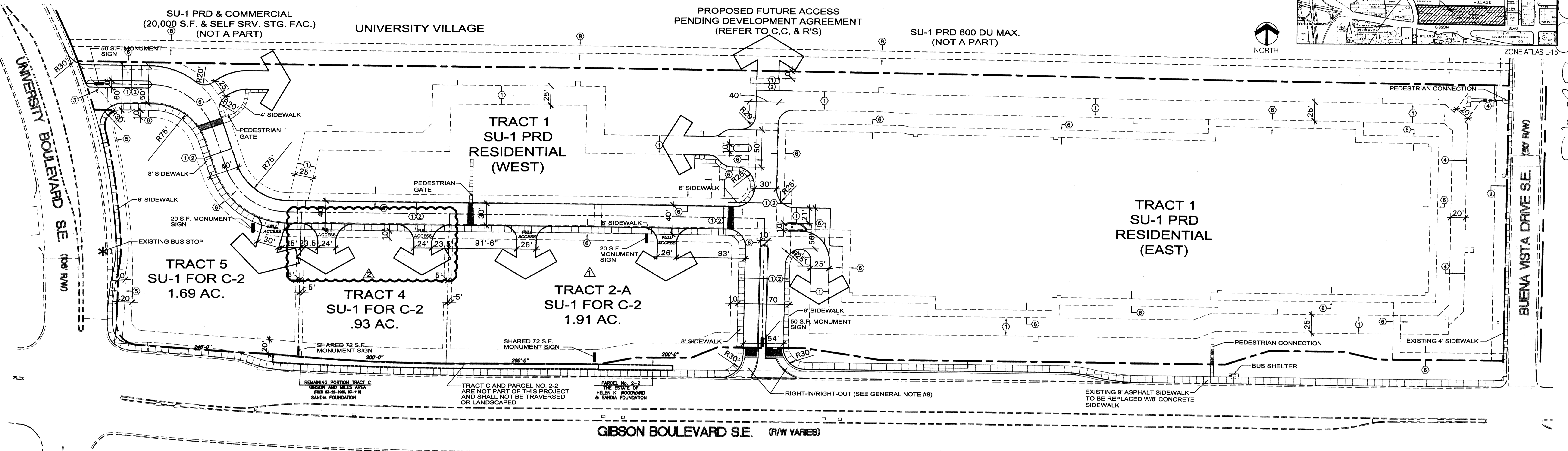
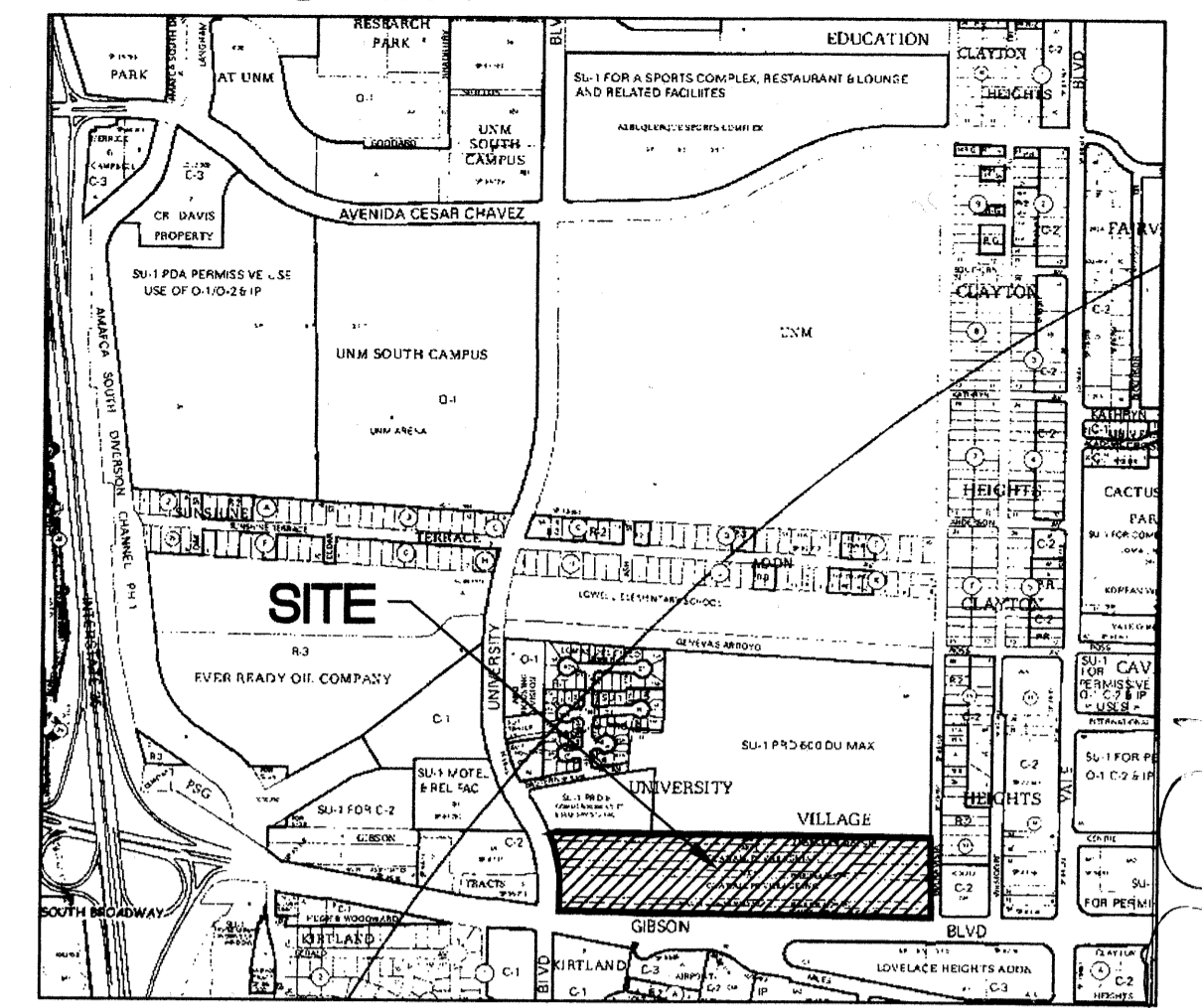
- ① City of Albuquerque Public Waterline and Sewer Easements
- ② Private Access Easement and Private Drainage Easement
- ③ Public Roadway and Sidewalk Easement
- ④ City of Albuquerque Public Waterline Easement
- ⑤ 10' Qwest Corporation Easement
- ⑥ 10' Public Utility Easement
- ⑦ ⑧ Offsite Easements
- ⑨ Public Service Company Easement

Easement beneficiaries and maintenance / operations responsibilities shall be determined by the forthcoming platting action.

SITE LEGEND

- - - - - Proposed Property Line
- Proposed Curb
- ↕↕ Vehicle Ingress/Egress

SITE VICINITY



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION

The Site: Tracts 1 through 5 of the Broadstone Towne Center Subdivision located on the northeast corner of University and Gibson Boulevards. The site consists of approximately 16.76 acres.

Land Use: SU-1 PRD is on 12.2 acres - 240 total multi-family residential units organized in two areas. The western portion of the residential development contains 60 units arranged in 8 free-standing buildings. The eastern portion of the residential development contains 180 units in 16 free-standing buildings.

The gross density of the residential portion of the development is 19.76 du/acre. Both residential areas are gated and will have common use of a pool, a clubhouse, an exercise facility, and common areas.

SU-1 for C-2 Permissive Uses with exclusions is on the remaining 4.54 acres of the site adjacent to Gibson Boulevard. The commercial portion of the development will contain four commercial pad sites.

Pedestrian and Vehicular Ingress and Egress:

Vehicular Access
Vehicular access to the site will be from the south side of the property from Gibson Boulevard, designated a limited access roadway, and from the west side of the property from University Boulevard, designated a minor arterial. The Gibson access point will be a right-in, right-out turn movement only. The University access point will be right-in/ right-out.

Pedestrian Access/Circulation:

Six foot public sidewalks on both University and Gibson will provide pedestrian connectivity to the site. A 8 foot sidewalk is provided along the private access road and pedestrian connections are provided to Buena Vista, Gibson (in the vicinity of the future bus stop) and between the residential and commercial areas.

Transit Access:

The City Transit Department's 16/18 bus route provides service along Gibson and University Boulevards. There is a bus stop located along University Boulevard and a future bus stop will be located along Gibson Boulevard

Internal Circulation:

Primary access at University and Gibson Boulevards are indicated on the site plan. Conceptual locations, widths, and configurations for the access points at the commercial pad sites have been identified and will be indicated on future Site Plans for Building Permit submitted to the City Engineer. Internal sidewalks are provided throughout the site and between all buildings and parking areas as shown on the site plan.

Building Heights and Setbacks:

Maximum building height is 40 feet. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.

Setbacks:

- Gibson and University-20 foot minimum
- Internal roads- 10 foot maximum; 0 foot minimum
- Internal side yards- 5 feet

Maximum FAR:

Per the South Yale Interim Development Area Design Standards, the minimum Floor Area Ratio (FAR) for the entire 16.76 acre property shall be .5 and the maximum FAR shall be 2.0. The minimum gross density for Tract 1 shall be between 10 du/acre and 30 du/acre.

PROJECT NUMBER: 1005243
Application Number: 13EPC-40051

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated September 13, 2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	12-12-12
Traffic Engineering, Transportation Division	Date
	11-28-12
ABCWUA	Date
	11-28-12
Parks and Recreation Department	Date
	11-28-12
City Engineer	Date
	12-13-12
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

Landscape Plan:

The Landscape Plan (See sheet 2) provides landscaping along the public rights-of-way and along the internal drives. Design Standards (See sheet 3) provides the parameters for landscape within the commercial area.

PROJECT NUMBER: 1005243
Application Number: 13EPC-40146

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 13, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

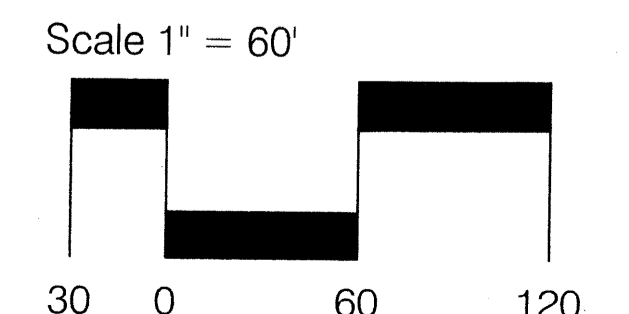
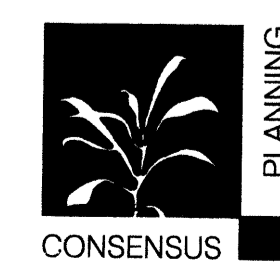
	12-18-13
Traffic Engineering, Transportation Division	Date
	12-18-13
ABCWUA	Date
	12-18-13
Parks and Recreation Department	Date
	12-18-13
City Engineer	Date
	12-18-13
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

- ⚠ Amendment to consolidate former Tracts 2 and 3 into Tract 2-A and relocate entry access points.
- ⚠ Amendment to allow an additional entry access point to Tract 4 from Towne Center Lane and to allow for an adjustment on the location of both entry access points to Tract 4.

SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

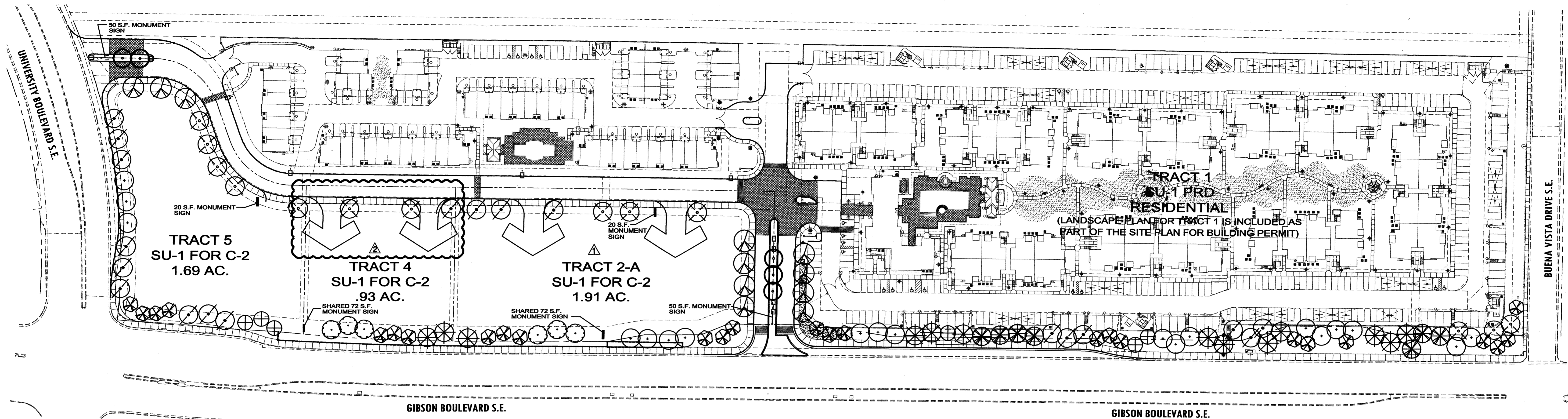
Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 85016

Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC
High Mesa Consulting Group



October 3, 2007
October 23, 2012

December 10, 2013

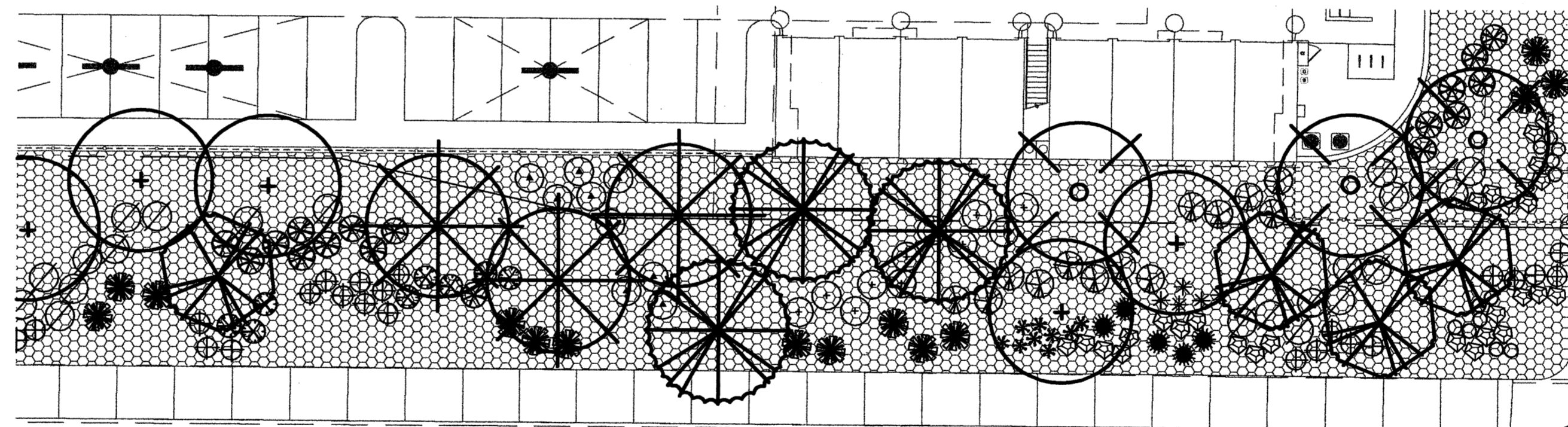


LANDSCAPE PALETTE

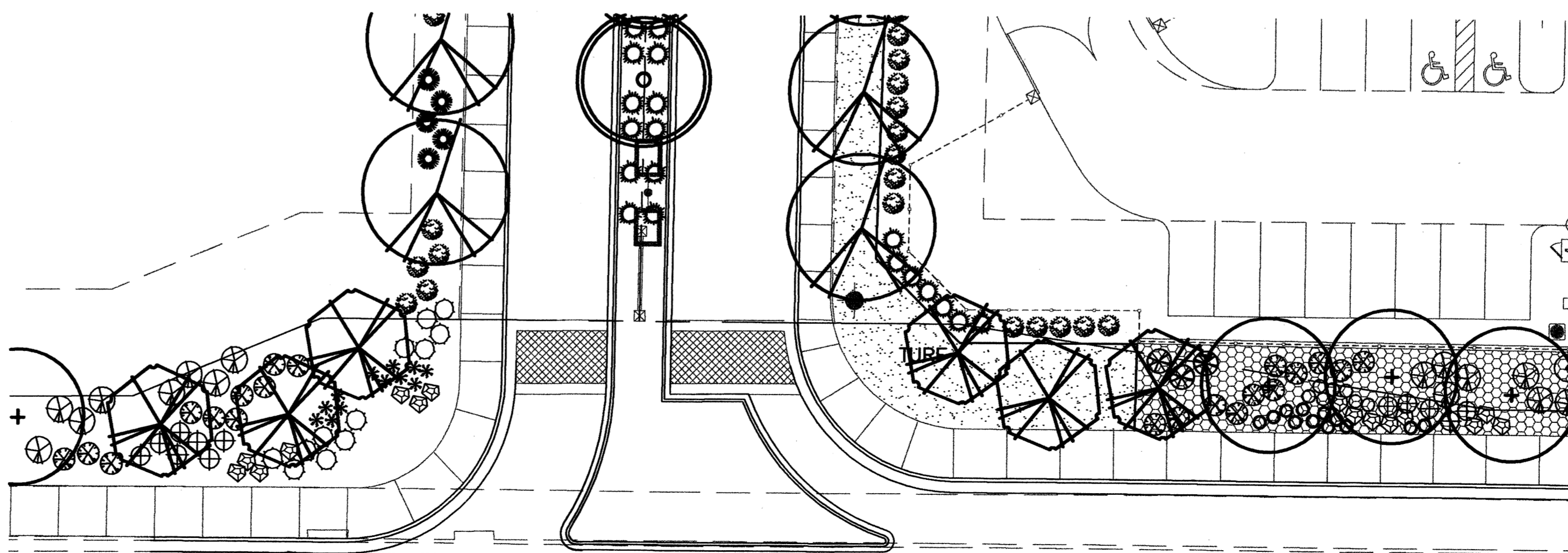
Qty	Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
Trees					
28	⊗	<i>Chitalpa tashkentensis</i> 'Pink Dawn' Chitalpa	2' B&B	20' x 25'	Low+
21	⊗	<i>Koeleruteria paniculata</i> Goldenrain Tree	2' B&B	25' x 25'	Medium
19	⊗	<i>Pistacia chinensis</i> Chinese Pistache	2' B&B	60' x 60'	Medium
13	⊗	<i>Pinus nigra</i> Austrian Pine	8' B&B	35' x 25'	Medium
6	⊗	<i>Quercus fusiformis</i> Escarpment Live Oak	2' B&B	25' x 25'	Medium
11	⊗	<i>Robinia x ambigua</i> Purple Robe Locust	2' B&B	40' x 30'	Medium
14	⊗	<i>Celtis pallida</i> Desert Hackberry	2' B&B	40' x 40'	Low
6	⊕	<i>Vitex agnus-castus</i> Chastie Tree	15 Gal.	20' x 20'	Medium
5	⊗	<i>Chilopsis linearis</i> Desert Willow	2' B&B	20' x 25'	Low+
7	⊗	<i>Prosopis velutina</i> Velvet Mesquite	5 Gal.	20' x 25'	Low
Shrubs/Groundcovers					
	○	<i>Artemisia X Powis Castle</i> Powis Castle Sage	1 Gal.	24" x 48"	Low +
	⊗	<i>Caryopteris clandonensis</i> Blue Mist	5 Gal.	48" x 48"	Medium
	⊗	<i>Chrysothamnus nauseosus</i> Chamisa	5 Gal.	60" x 60"	Low
	⊗	<i>Cytisus x 'Lena'</i> Lena's Broom	1 Gal.	36" x 42"	Low +
	⊗	<i>Eriocameria laricifolia</i> Dwarf Turpentine Bush	1 Gal.	36" x 48"	Low +
	⊗	<i>Erysimum linifolium</i> Wallflower Bowles' Mauve	5 Gal.	24" x 36"	Medium
	⊗	<i>Fallugia paradoxa</i> Apache Plume	5 Gal.	60" x 60"	Low
	⊗	<i>Mahonia aquifolium</i> 'Compacta' Compact Oregon Grape	5 Gal.	24" x 36"	Medium
	⊗	<i>Petrovskia atriplicifolia</i> Russian Sage	1 Gal.	60" x 60"	Medium
	○	<i>Buddleia 'Lochinch'</i> Lavender Butterfly Bush	5 Gal.	48" x 36"	Medium

Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
⊗	<i>Raphiolepis indica</i> India Hawthorn	5 Gal.	36" x 48"	Medium
⊗	<i>Rhus trilobata</i> Three-leaf Sumac	5 Gal.	24" x 60"	Low+
⊗	<i>Rosmarinus officinalis</i> Prostrate Rosemary	5 Gal.	24" x 60"	Low+
⊕	<i>Salvia greggii</i> Cherry Sage	5 Gal.	36" x 36"	Medium
○	<i>Verbena rigida</i> Sandpaper Verbena	1 Gal.	12" x 48"	Low
○	Ornamental Grasses <i>Helictotrichon sempervirens</i> Blue Avena Grass	1 Gal.	24" x 12"	Medium
⊗	<i>Muhlenbergia capillaris</i> 'Regal Mist' Muhly Grass	5 Gal.	36" x 36"	Medium
*	<i>Nassella tenuissima</i> Threadgrass	1 Gal.	24" x 24"	Low+
⊗	Accents <i>Dasytion wheeleri</i> Sotol	5 Gal.	48" x 48"	Low+
*	<i>Hesperaloe parviflora</i> Red/Yellow Flowering Yucca	1 Gal.	36" x 48"	Low+
⊗	<i>Nolina microcarpa</i> Beargrass	5 Gal.	60" x 60"	Low+

- Park Blend Sod (40% Tall Fescue, 40% Perennial Rye, 20% Kentucky Bluegrass Sod)
- Seasonal Annuals
- Cobble Mulch
2'-4" Ironstone Cobble
- Moss Rock Boulders (3' average diameter)



TYPICAL LANDSCAPE TREATMENT ALONG GIBSON BOULEVARD
SCALE: 1" = 20'



TYPICAL LANDSCAPE TREATMENT AT GIBSON BOULEVARD ENTRY DRIVE
SCALE: 1" = 20'

NOTE:
This Landscape Plan covers the perimeter of the site at Gibson and University Boulevards and the internal roadway along the commercial side.

LANDSCAPE DESIGN
Due to the scale of the 50th scale plan, specific shrub species are not identified by symbol. Please see the enlarged typical area plans at the bottom of the sheet. These enlargements illustrate the design intent and intensity of plant materials. The Landscape Plan associated with this Site Plan for Subdivision addresses the landscape areas along Gibson Boulevard, University Boulevard, and the internal street as illustrated. A separate Site Plan for Building Permit for Tract 1 (residential) is being submitted simultaneous to this submittal and addresses the landscape for that area in more detail. The actual provided quantity will be sufficient to meet the design intent and landscape coverage requirements of the City Zoning Code.

MULCHES
All shrub planting areas shall be top dressed with 7/8" Santa Fe Brown Rock Mulch. 2" - 4" Ironstone Cobble will be used as an accent mulch in certain areas.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be sized and designed to sufficiently irrigate turf areas and tree, shrub and groundcover planting areas.

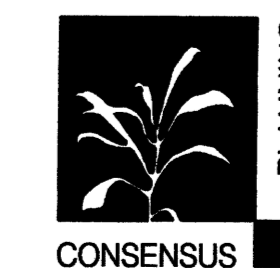
MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for Broadstone Towne Center shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area (see Park Blend Sod under Landscape Palette).

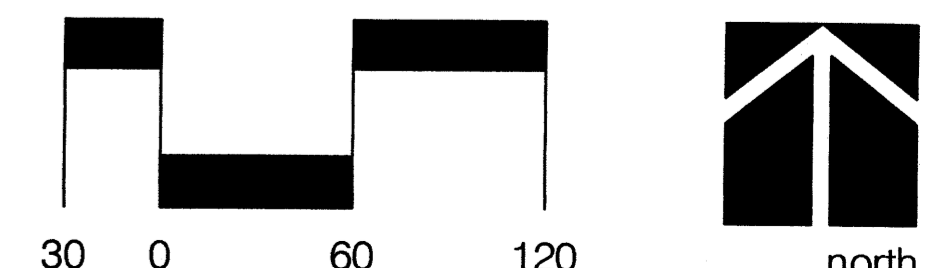
LANDSCAPE PLAN BROADSTONE TOWNE CENTER

Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 85016

Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC
High Mesa Consulting Group



Scale 1" = 60'



October 4, 2007

October 23, 2012

December 10, 2013

Sheet 2 of 3



BROADSTONE TOWNE CENTER DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The Design Standards shall be used to facilitate the design of buildings which respect the existing site conditions and the character and land uses of the adjacent properties and neighborhoods.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Broadstone Towne Center. These standards address future commercial projects.

Subsequent Site Plans for Building Permits shall be consistent with the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-18-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

A. SITE PLANNING

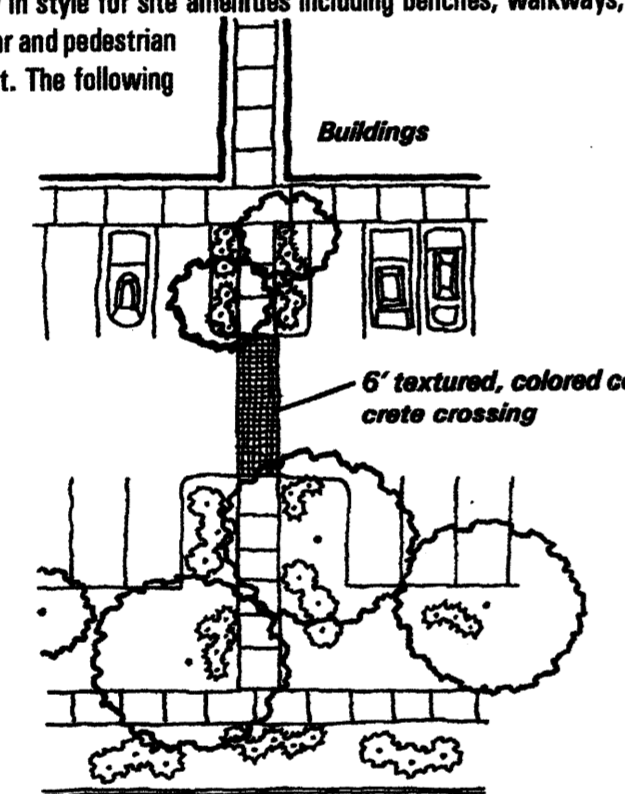
The following standards address the design of outdoor spaces within the commercial areas of Broadstone Towne Center:

- 1) Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- 2) Commercial development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- 3) Each commercial parcel developer shall be required to provide a minimum outdoor plaza space of 300 sf. This area shall have a minimum of 25% shading, provided by a trellis, trees, or umbrellas. Each developer is responsible for providing pedestrian walkways around the building(s) and connecting the plaza area to adjacent developments.
- 4) Drive-up and pick-up windows shall be oriented away from pedestrian areas and residentially zoned areas in accordance with Section 14-16-3-18(D)(5) of the Zoning Code. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard and located a minimum of 75 feet from residential uses.

B. PEDESTRIAN CIRCULATION

The goal for this property is to maintain a high quality and consistency in style for site amenities including benches, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems in order to provide a safe and pleasant environment. The following standards are intended to meet these goals:

- 1) All pedestrian pathways through Broadstone shall be built to City standards.
- 2) The walkway beginning at Gibson Boulevard and running north-south through the site, as well as the walkway running east-west along the internal access roadway, shall be 8 feet wide.
- 3) All pedestrian paths shall be designed to be handicapped-accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design), except where topography makes this unfeasible.
- 4) Pedestrian connections to buildings shall be provided in parking lots with greater than 50 spaces and shall connect to adjacent roadways, sidewalks, and pathways.
- 5) Pedestrian crossings shall be a minimum of 6 feet wide and clearly demarcated with textured, colored concrete where they cross vehicular entrances and drive aisles.



PARKING - pedestrian crossings will be provided between parking areas and buildings

C. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. The intent is to minimize the visual impact of parking facilities. In order to lessen the visual impact, parking facilities shall be broken up into a series of smaller areas as feasible. In addition, the following guidelines shall be applied to parking area design:

- 1) Handicapped parking spaces shall be provided adjacent to building entries.
- 2) Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- 3) Parking areas shall be designed to include a pedestrian link to buildings.
- 4) Off-street parking areas shall be located to the rear or sides of buildings.
- 5) In cases where parking is adjacent to roadways, landscaping for screening purposes shall be required. Screening walls shall be architecturally compatible with the surrounding buildings.
- 6) Off-street parking requirements:
 - Retail and financial businesses shall be required to have five parking spaces per 1,000 sf of leased building area.
 - Sit down restaurants shall have 15 spaces per 1,000 sf of building area. Fast food restaurants shall have 10 spaces per 1,000 sf of building area.
 - One bicycle parking space shall be provided for every 20 parking spaces for cars.
 - Motorcycle parking for each of the commercial parcels shall be per Section 14-16-3-1 Off-Street Parking Regulations of the Comprehensive City Zoning Code.

D. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms and/or walls.

- 1) Building setbacks for the commercial parcels include:
 - Gibson and University: 20 foot minimum
 - Internal roads: 10 foot maximum, 0 foot minimum
 - Internal side yards: 5 foot minimum

E. LANDSCAPE

The development of an overall landscape concept shall establish a framework that unifies the property and is appropriate for the nearby neighborhoods. The landscape design emphasizes low and medium water use plant materials. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies.

The following are minimum standards for the development of specific landscape plans:

- 1) These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.
- 2) Street trees shall be provided along roadways at a rate of one tree per 30 linear feet. They may be randomly or regularly placed.
- 3) The developer/owner will be responsible for the installation and maintenance of the landscape on their property. All plant material, including street trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the property owner in a living, attractive condition.
- 4) A minimum of 15 percent of the site area for commercial projects (minus the building square footage) shall be devoted to landscape materials.
- 5) Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- 6) All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- 7) Landscape headers shall be used to separate any turf and groundcover areas.
- 8) To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 9) 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- 10) An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- 11) Minimum plant sizes at time of installation shall be as follows:

Trees	1 1/2 inch caliper, or 10 to 12 feet in height
Shrubs & Groundcovers	1 gallon

 Turf grasses shall provide complete ground coverage within 1 growing season after installation.

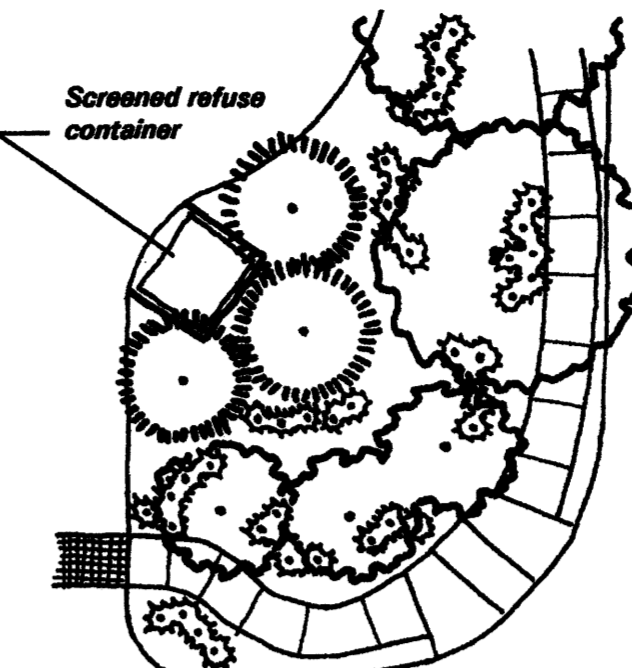


G. SCREENING / BUFFERING

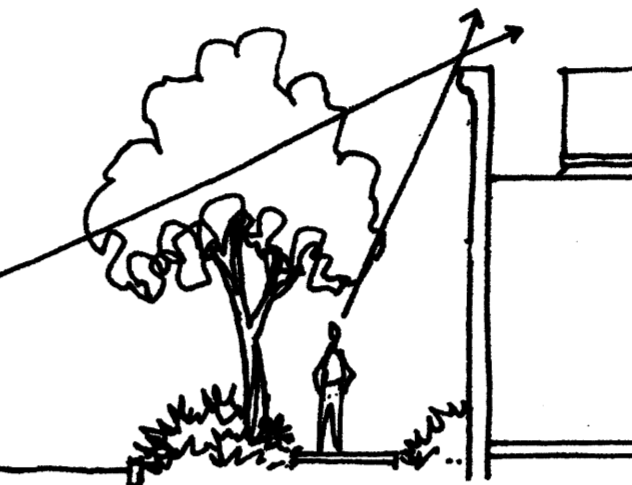
The effective use of screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and mechanical equipment is essential to limit their adverse visual impact on the property. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

Perimeter fencing is allowed on the property; however, the site designer shall lessen its visual impact through landscaping, meandering within a landscape area, or providing openings. Walls and fences shall comply with Section 14-16-3-18, General Height and Design Regulations for Walls, Fences, and Retaining Walls or these Design Standards as specified below.

- 1) All mechanical/roof-top equipment shall be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical equipment can be observed from the residential area, horizontal screening per the conceptual sketch is required. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- 2) Service areas such as refuse locations and compactors shall be screened from the view of the adjacent residential area, and public rights-of-way. Refuse enclosures shall be gated. Screening material shall match building wall color and material.
- 3) Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- 4) Clear sight distances for safety purposes will be maintained at all driveway locations.
- 5) The maximum height of retaining walls is 8 feet. Areas requiring greater retainage shall be terraced with a 4 foot horizontal separation between walls.
- 6) Drive-up windows shall be screened with a 5 foot high opaque wall and 5 foot wide (minimum) landscape area with evergreen plant materials on the pedestrian or residential side. A berm of the same height as the wall may be provided in lieu of the wall.



REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials



H. LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- 1) All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- 2) Site lighting for pad structures is to match the site lighting provided for the main commercial parking area.
- 3) Commercial parking area lighting shall not exceed 20 feet from the top of the pole to finished grade. Parking lot lights within 100 feet of residential areas shall be a maximum of 16 feet high from finished grade to the top of the pole.
- 4) Exposed, unshielded light fixtures are prohibited. All lamps shall be full cut-off fixtures with down lighting only.
- 5) Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- 6) The location of light fixtures shall be identified on subsequent Site Plans for Building Permit.
- 7) Area lighting shall be restricted to a maximum off-site luminance of 1,000 foot-lamberts from any point and maximum of 200 foot-lamberts from any residential property line.
- 8) Accent lighting is permitted, however surface lighting is limited to an average of 2 foot-candles measured 4 feet from the surface level of any point on the building surface being illuminated. Building-mounted lights must point downward. Uplighting is prohibited.

I. UTILITIES

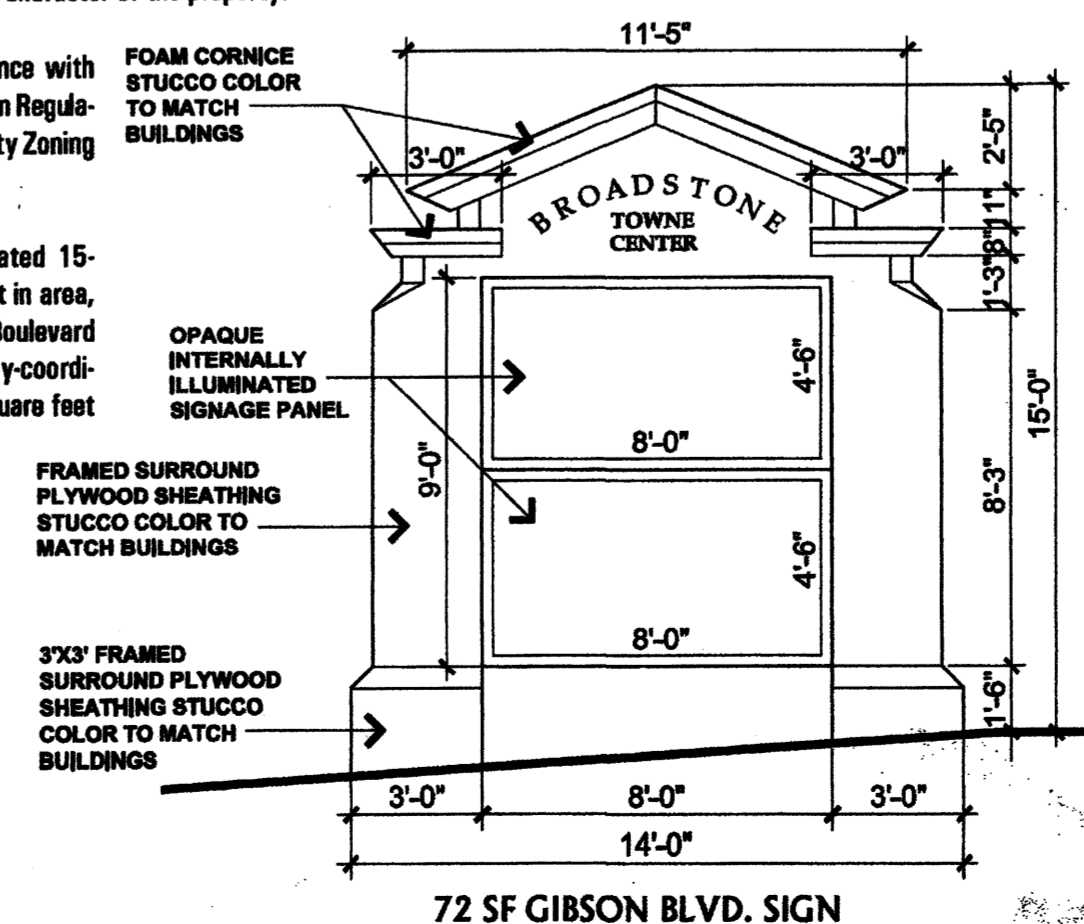
To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- 1) Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- 2) When an above-ground back flow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

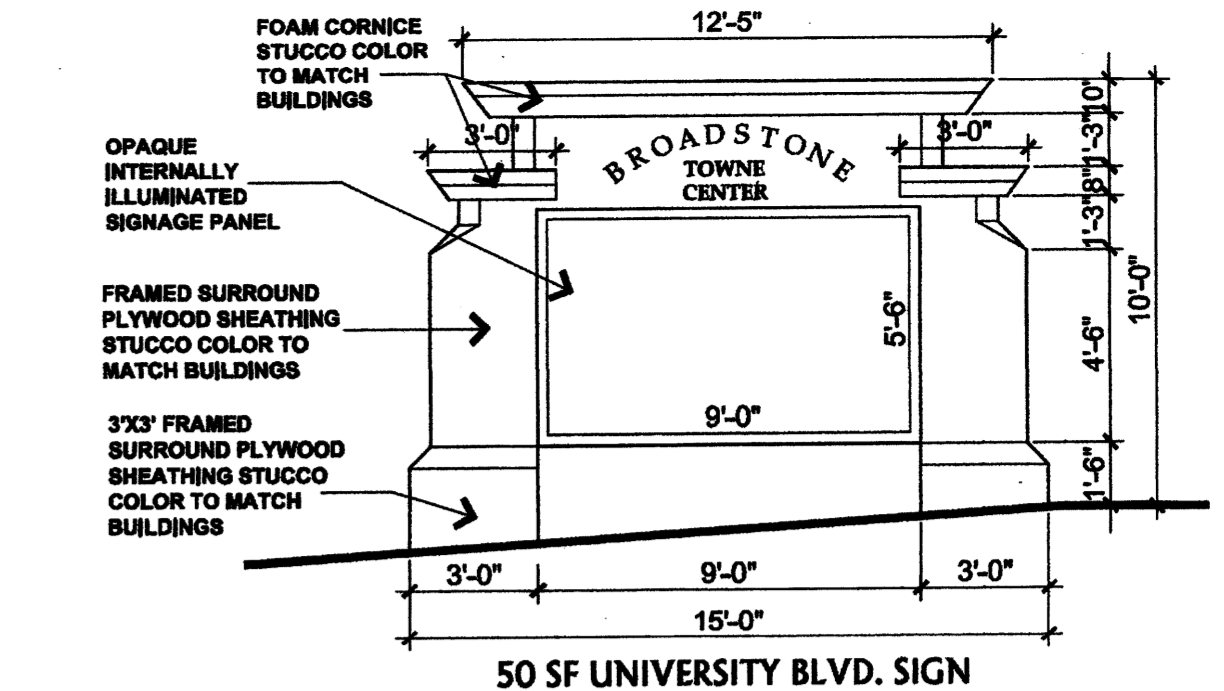
J. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within the Broadstone Towne Center. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

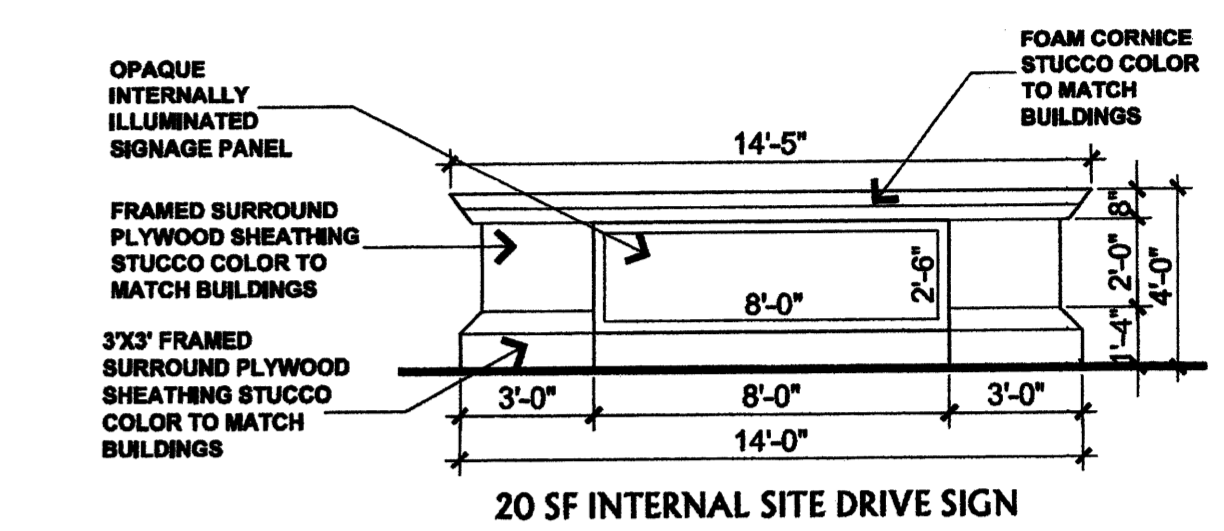
- 1) All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code.
- 2) Two architecturally-coordinated 15-foot tall signs, 72 square feet in area, are allowed for the Gibson Boulevard frontage. One architecturally-coordinated 10-foot tall sign, 50 square feet in area, is allowed on the University Boulevard frontage. Each building pad is permitted to have one 20 square foot monument sign adjacent to the internal site drive.



72 SF GIBSON BLVD. SIGN



50 SF UNIVERSITY BLVD. SIGN



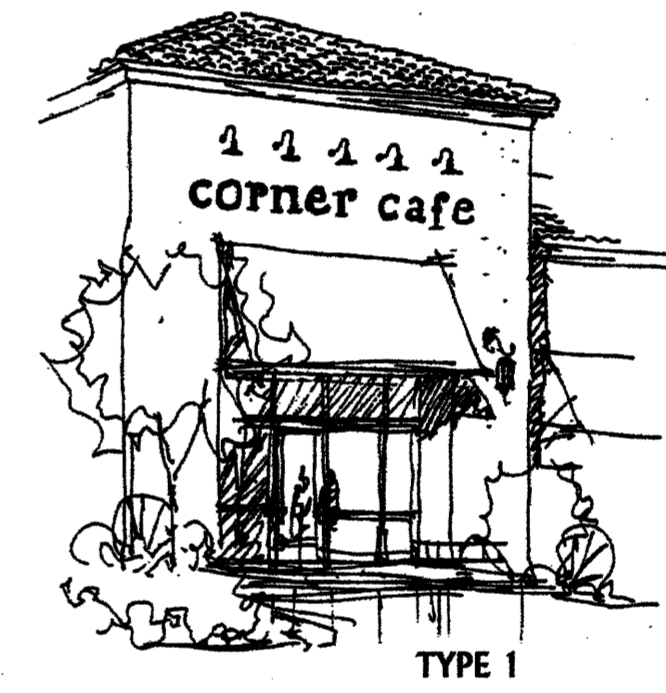
20 SF INTERNAL SITE DRIVE SIGN

- 3) All building-mounted signage shall be individual type lettering not to exceed 6 percent of each building elevation facade.

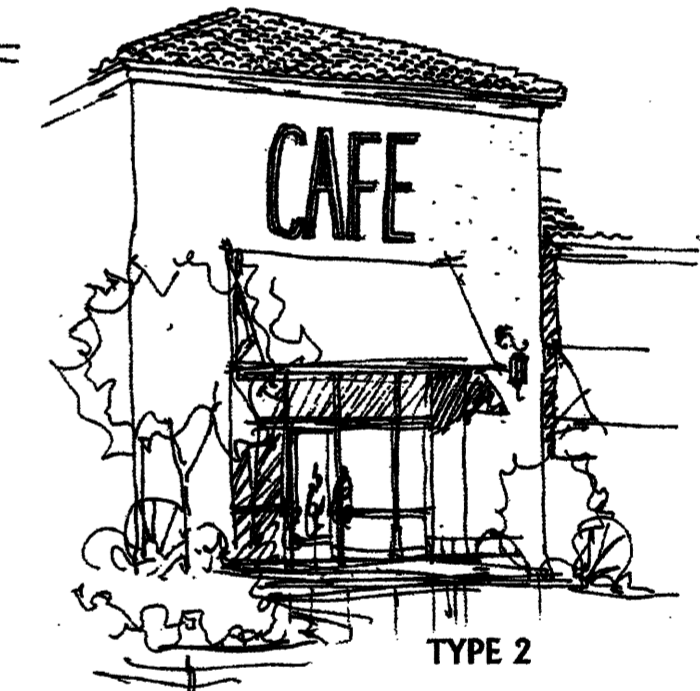
All signs shall be of individual letters. The following types of letters are acceptable:

- Type 1: Opaque lettering indirectly illuminated by goose neck type lighting
- Type 2: Channel letters internally illuminated with letter sides to match letter face colors
- Type 3: Same as 2 except halo lit
- Type 4: halo lit letters cut out of solid metal background spaced off the face of the building

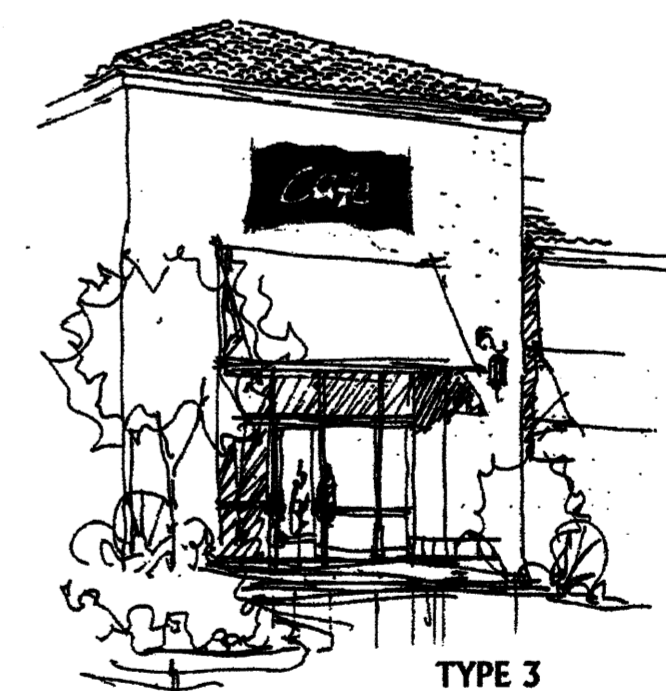
Can type signs are prohibited. Any special logos associated with a specific tenant shall be provided in a non-illuminated fashion for specific approval.



TYPE 1



TYPE 2



TYPE 3

BUILDING-MOUNTED SIGNS

SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 8501

Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC.
High Mesa Consulting Group

October 4, 2007

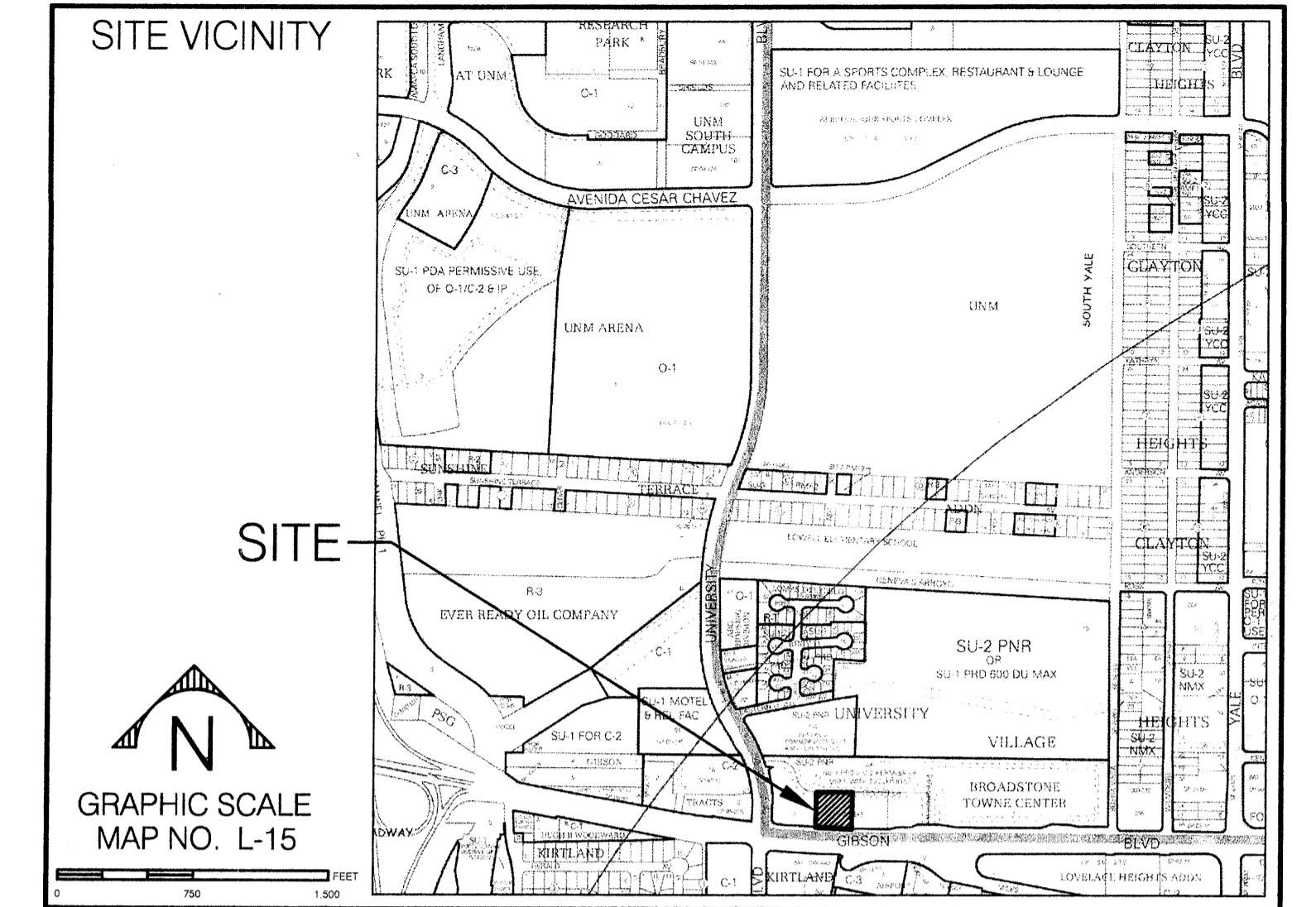
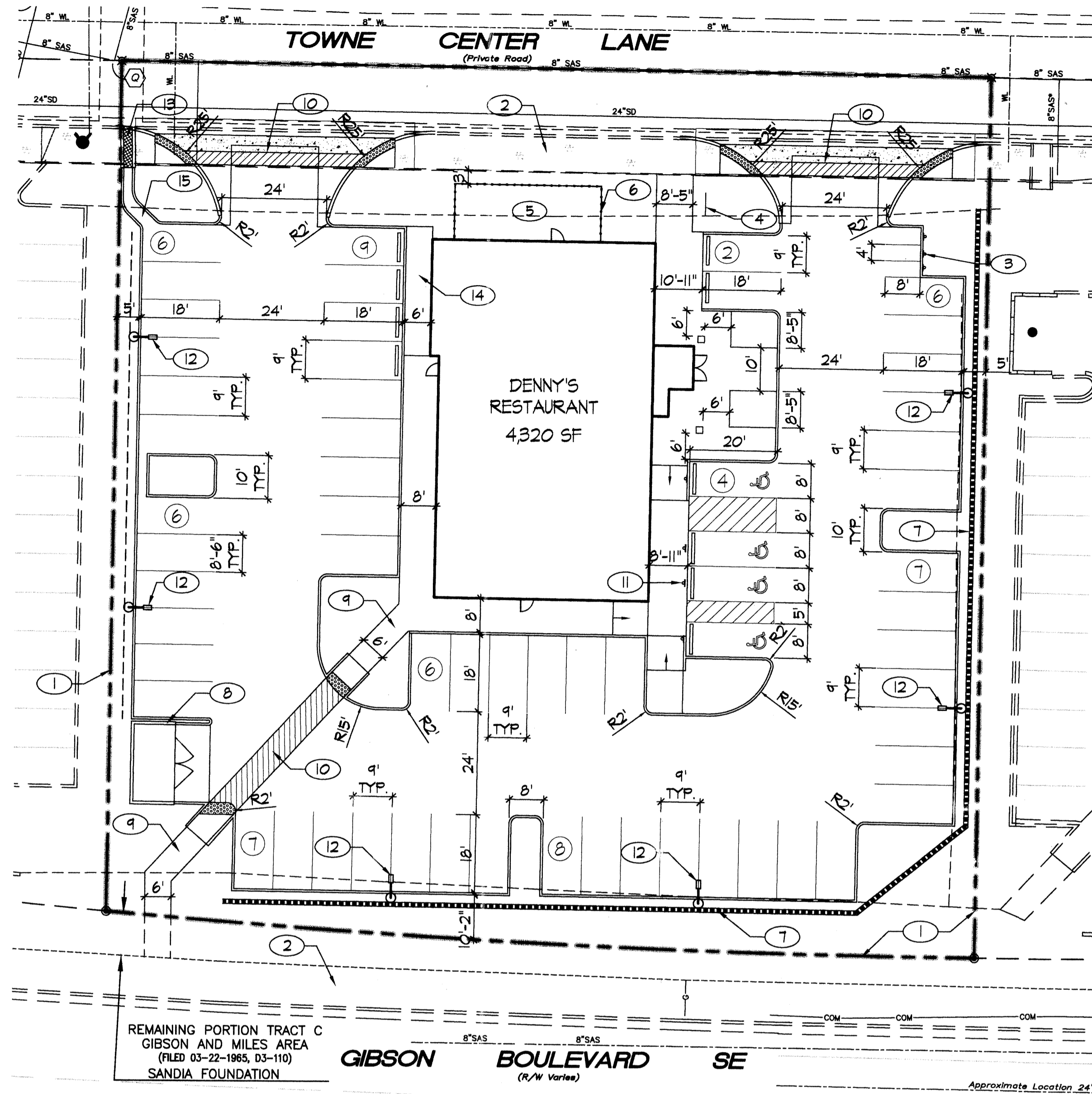
Sheet 3 of 3

GENERAL NOTES:

1. THE PROPOSED PROJECT SHALL BE CONSISTENT WITH THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION (PROJECT 1005243, 06EPC-01542, 07DRB-10316).
2. SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR THIS SITE. ONE MONUMENT SIGN IS PROPOSED AT THE EAST ENTRY TO THE PROPERTY AND IS LIMITED TO 20 S.F. SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
3. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
4. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
5. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADINGS/DRAINAGE SHEET.
6. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
7. FNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO FNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
8. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
9. THE SIDEWALK CONNECTION TO GIBSON IS DEPENDENT ON SECURING AN EASEMENT FROM THE PROPERTY OWNER OF TRACT C. IF AN EASEMENT CANNOT BE OBTAINED, THIS SIDEWALK, IN ITS ENTIRETY, SHALL BE REMOVED.

KEY NOTES

- 1 PROPERTY LINE.
- 2 EXISTING 8' SIDEWALK.
- 3 MOTORCYCLE SIGN.
- 4 BICYCLE RACK (3 SPACES).
- 5 OUTDOOR PATIO, 442 SF SEATING FOR RESTAURANT PATRONS.
- 6 TUBULAR STEEL FENCE WITH STUCCOED CMU PILASTERS.
- 7 RETAINING WALL. SEE GRADINGS/DRAINAGE SHEET.
- 8 TRASH ENCLOSURE WITH MPPM.
- 9 6' ADA ACCESSIBLE SIDEWALK. (SEE GENERAL NOTE #4).
- 10 6' COLORED, TEXTURED PEDESTRIAN CROSSING, TYP.
- 11 HANDICAP SIGN, TYP. (12"x18" MOUNTED ON POLE)
- 12 LIGHT FIXTURE.
- 13 SIDEWALK DRAINAGE CULVERT.
- 14 6' CONCRETE SIDEWALK (NON-ADA).
- 15 DRAINAGE CULVERT.



SITE DATA:

LEGAL DESCRIPTION: TRACT 4, PLAT OF BROADSTONE TOWNE CENTER
 SITE AREA: .93 ACRES.
 EXISTING ZONING: SU-1 FOR C-2 PERMISSIVE USES WITH EXCLUSIONS
 LAND USE: 1-STORY SIT DOWN RESTAURANT
 BUILDING AREA: 4,320 S.F.
 PARKING: MINIMUM PARKING: 15 PER 1000 S.F. = 65
 TOTAL PROVIDED PARKING: 61
 HANDICAPPED REQUIRED: 4
 HANDICAPPED PROVIDED: 4
 MOTORCYCLE REQUIRED: 3
 MOTORCYCLE PROVIDED: 3
 BICYCLE REQUIRED: 3
 BICYCLE PROVIDED: 3

PROJECT #: 1005243
DATE: 12-18-13
APP #: 13-10783 (SAP)
 13-10785 (PIS)

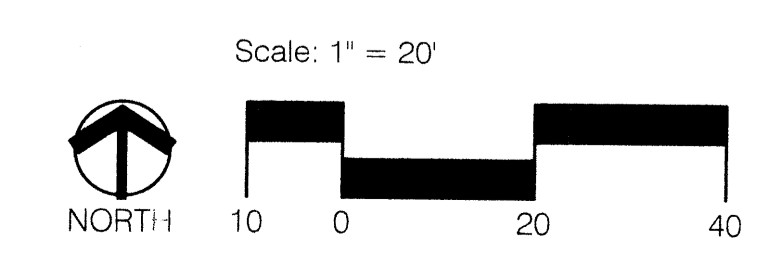
R.C. Jones 11-27-2013

**DENNY'S @
 BROADSTONE TOWNE CENTER
 SITE FOR BUILDING PERMIT**

Prepared for:
 Coast/SVN Commercial
 Real Estate Services
 2829 Rucker Avenue, Suite 100
 Everett, WA 98201

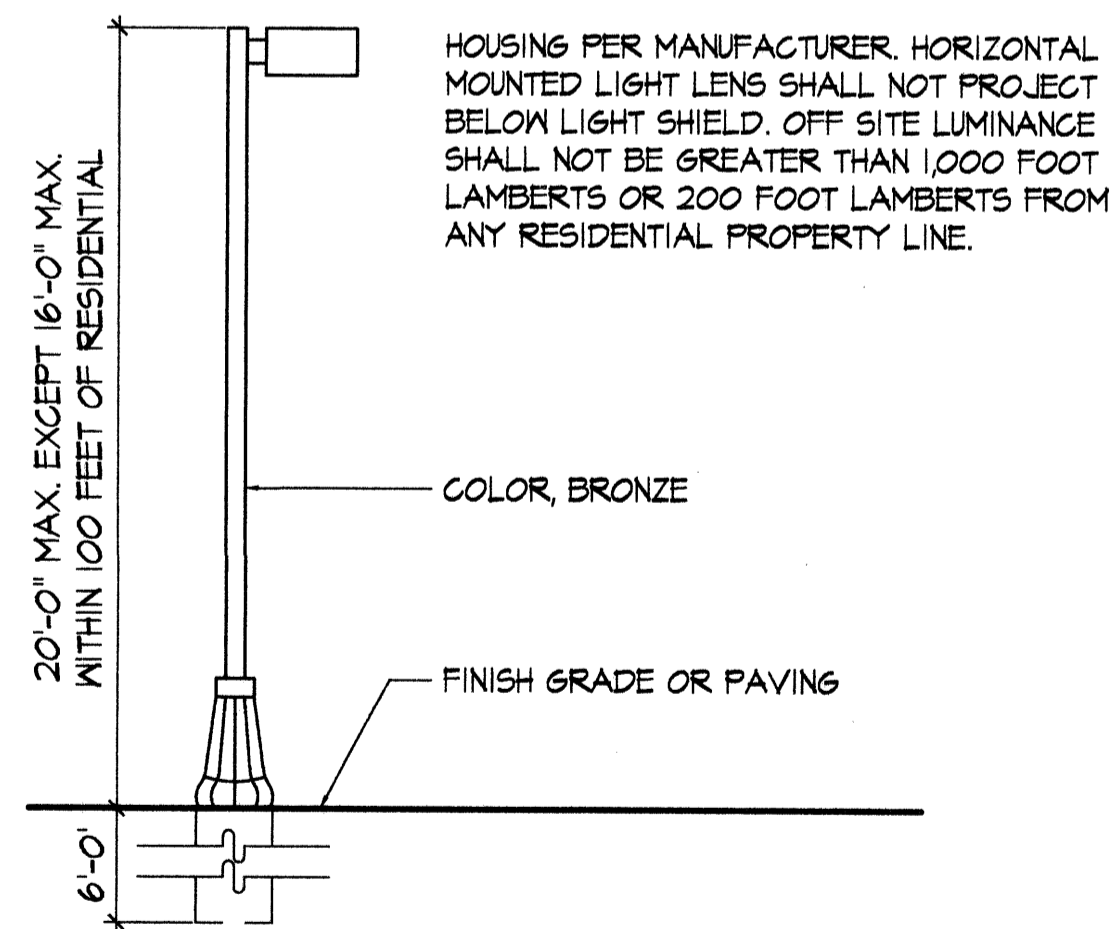
Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102

Isaacson & Arfman, P.A.
 128 Monroe St, NE
 Albuquerque, NM 87108



November 26, 2013

Sheet 1 of 5



PARKING LOT LIGHT FIXTURE DETAIL Not to Scale

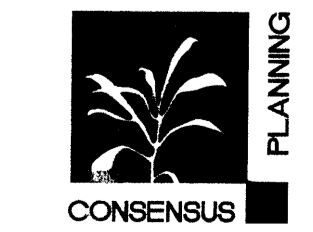
PROJECT NUMBER: 1005243
 Application Number: 13EPC-40145

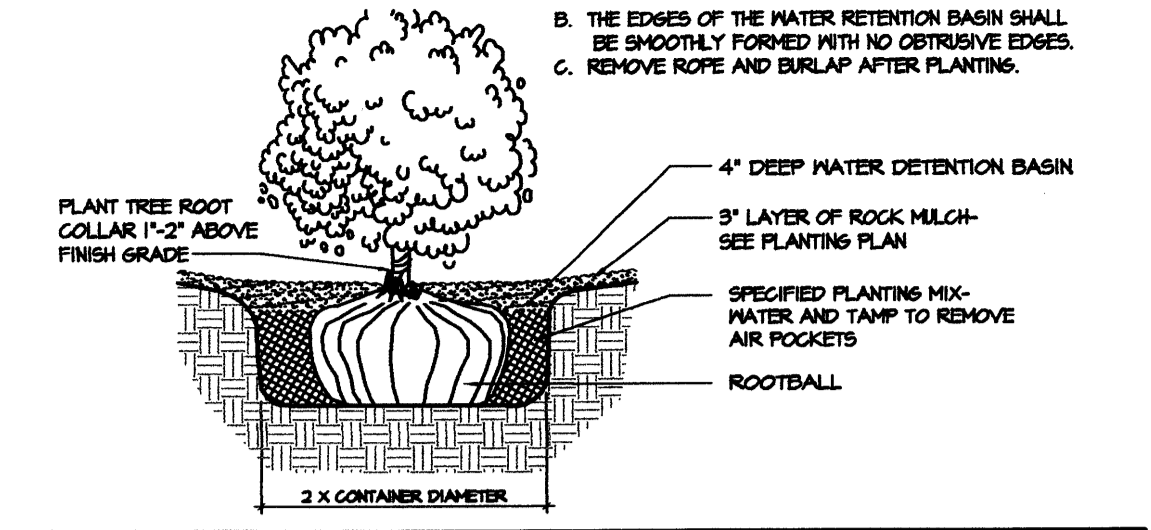
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 14, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

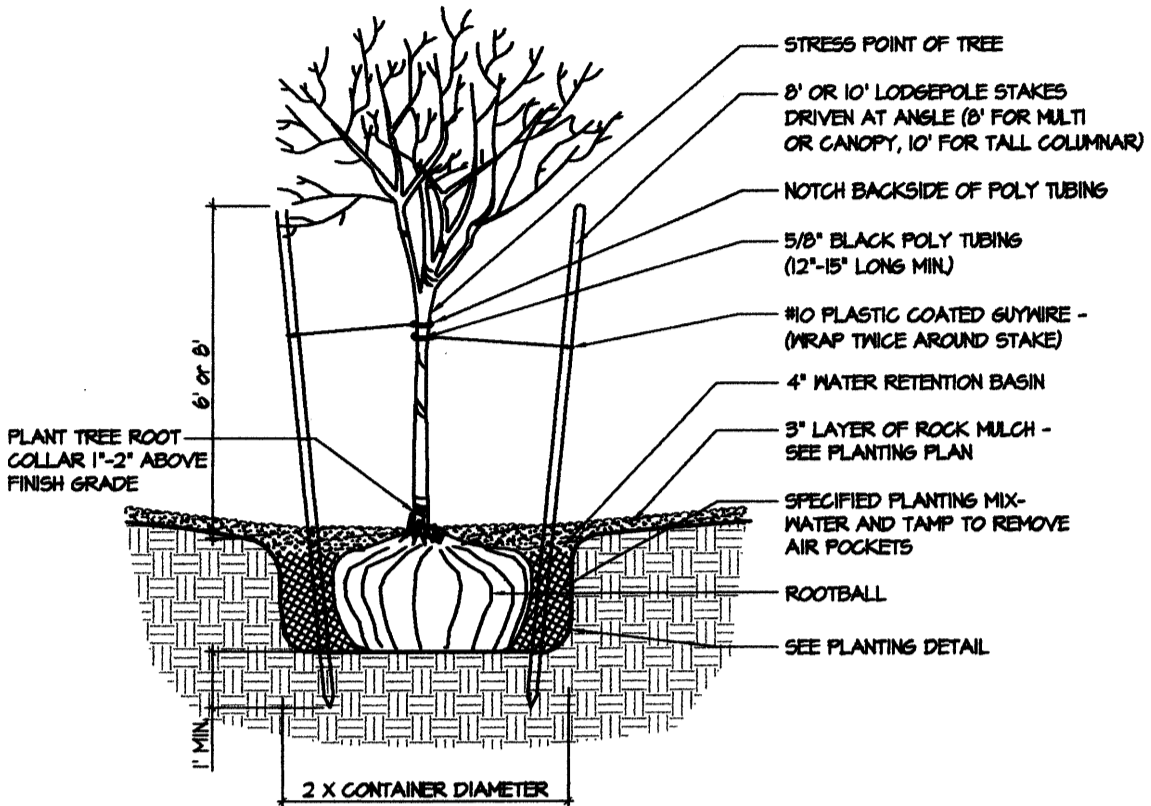
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
<i>Kay Murray</i>	11-27-2013
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date





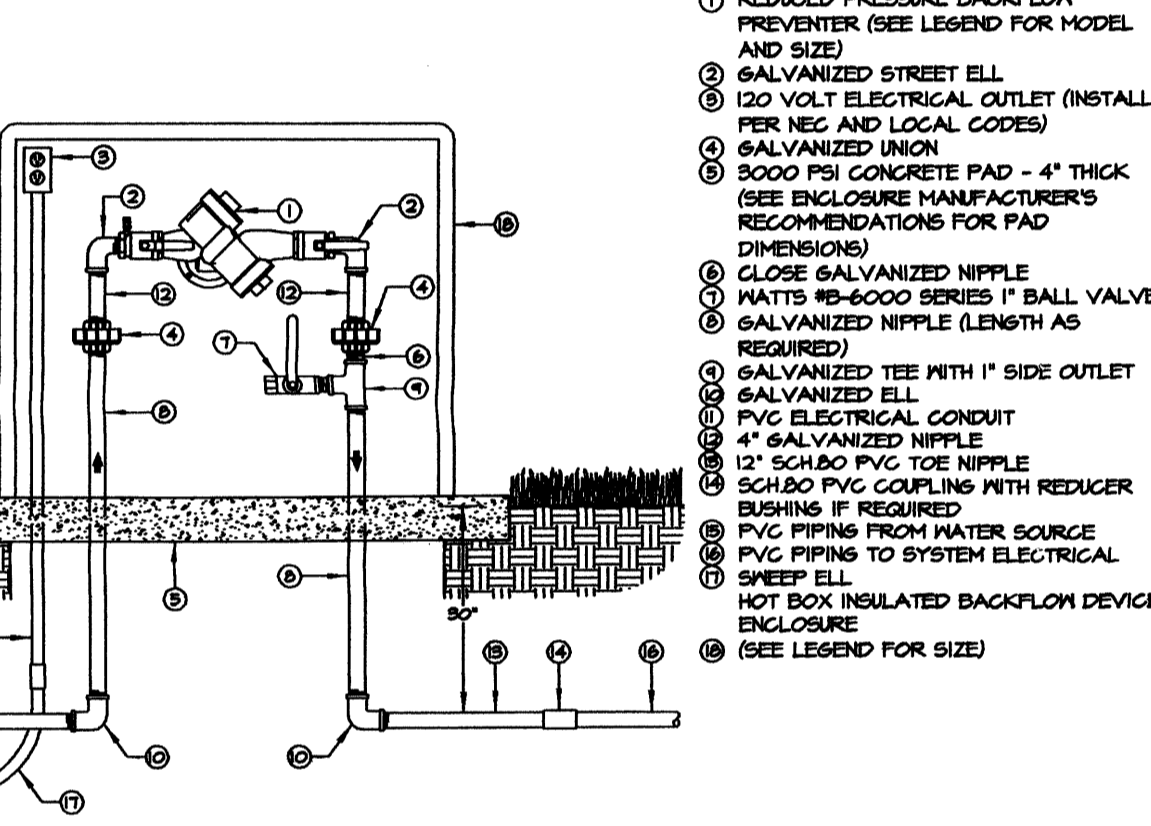
SHRUB PLANTING ON GRADE Not to Scale

NOTES:
 A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
 B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
 C. REMOVE ROPE AND DURLAP AFTER PLANTING.



TREE PLANTING ON GRADE Not to Scale

NOTES:
 1) CONTRACTOR TO VERIFY THAT ASSEMBLY OF BACKFLOW PREVENTER COMPONENTS AS SHOWN WILL FIT INTO SPECIFIED INSULATED ENCLOSURE.
 2) BACKFLOW PREVENTER MUST BE PROTECTED FROM FREEZING WITH POSITIVE HEAT SOURCE OR ASSEMBLY DRAINED BEFORE FREEZING WEATHER CONDITIONS OCCUR.
 3) ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND ALL LOCAL CODES THAT MAY APPLY.



BACKFLOW PREVENTER Not to Scale

GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1/16\"/>

IRRIGATION
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.M, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PM COORDINATION
 COORDINATION WITH PNMS NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENINGS WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
 ex

CLEAR SIGHT DISTANCE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

EXISTING LANDSCAPE
 ALL EXISTING LANDSCAPE (TREES AND SHRUBS) ALONG TOWNE CENTER LANE SHALL BE REMOVED PRIOR TO CONSTRUCTION, BUT SHALL BE REPLACED PER THIS LANDSCAPE DESIGN.

ALL EXISTING LANDSCAPE SOUTH OF THE RETAINING WALL ALONG GIBSON BOULEVARD SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ALL EXISTING LANDSCAPE NORTH OF THE RETAINING WALL ALONG GIBSON BOULEVARD SHALL BE REMOVED DUE TO VEHICLE PARKING OVERHANGS. IN ADDITION, ANY LANDSCAPE THAT CONFLICTS WITH NEW CONSTRUCTION ALONG GIBSON BOULEVARD SHALL BE REMOVED AND REPLACED.

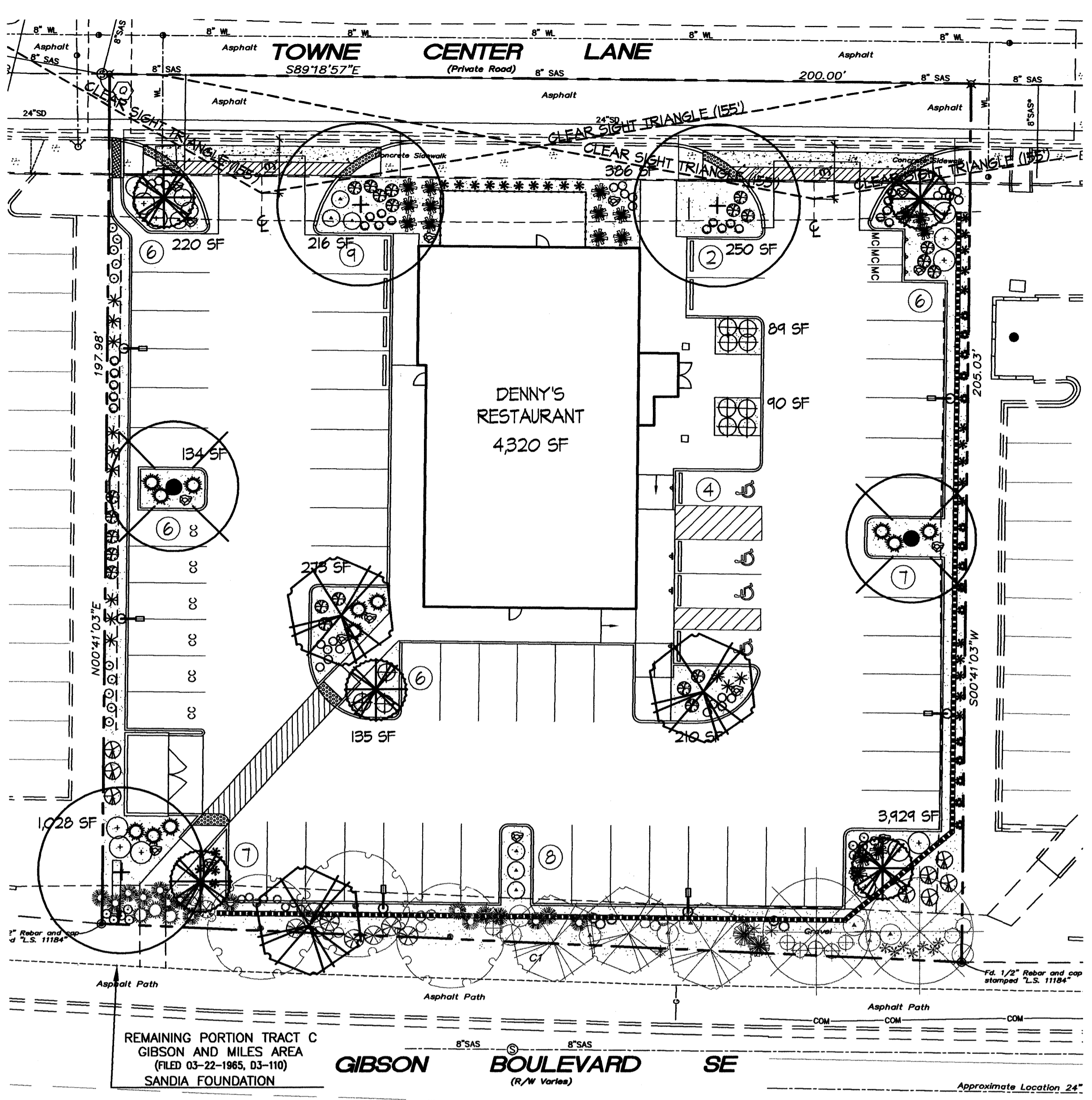
LANDSCAPE COVERAGE

TOTAL SITE AREA:	40,511 SF (.93 AC)
BUILDING AREA (BUILDING ENVELOPE):	- 4,762 SF
	35,749 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	5,362 SF
PROVIDED PLANTING BED AREA:	6,963 SF (13%)
REQUIRED LIVE VEGETATIVE COVERAGE (75% OF REQUIRED 15% LANDSCAPE)	4,021 SF
EXISTING LIVE VEGETATIVE COVER:	1,041 SF
PROPOSED LIVE VEGETATIVE COVER:	+ 3,075 SF
TOTAL LIVE VEGETATIVE COVERAGE:	4,112 SF

PARKING LOT TREES
 DENNY'S IS PROVIDING 61 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED:	6
PARKING LOT TREES PROVIDED:	6

STREET TREES
 GIBSON BOULEVARD FRONTAGE IS 200'. STREET TREE REQUIREMENTS ARE BASED ON A RATE OF ONE TREE PER 30 LINEAR FEET, PER THE SITE PLAN FOR SUBDIVISION. NOTE: EIGHT TREES WERE INSTALLED AT SITE PLAN FOR SUBDIVISION STAGE OF DEVELOPMENT. TWO TREES WILL BE ADDED TO THE FRONTAGE TO MAINTAIN CANOPY TO CANOPY COVERAGE ALONG GIBSON.



PLANT LEGEND

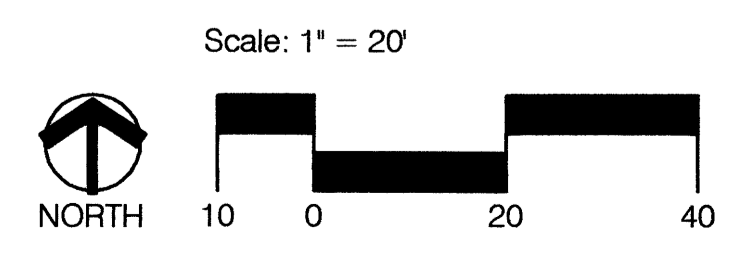
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
3	⊗	CHITALPA TASKENTENSIS PINK DAWN CHITALPA	2\"/>		
3	⊕	PISTACHIA CHINENSIS CHINESE PISTACHE	3\"/>		
2	⊗	ROBINIA AMBIGUA PURPLE ROBE PURPLE ROBE LOCUST	2\"/>		
SHRUBS/GROUNDCOVERS					
8	⊕	ARTEMESIA FILIFOLIA SAND SAGE	1-GAL.	4\"/>	
20	⊕	ARTEMESIA X POMIS CASTLE POMIS CASTLE SAGE	1-GAL.	2\"/>	
12	⊕	BUDDLEIA DAVIDII 'BLACK KNIGHT' BLACK KNIGHT BUTTERFLY BUSH	5-GAL.	5\"/>	
24	*	CALMAGROSIS 'KARL FOERSTER' FEATHER REED BUSH	5-GAL.	3\"/>	
22	⊕	CARYOPTERIS Q&AONDENSIS BLUE MIST	5-GAL.	3\"/>	
20	⊕	ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE BUSH	1-GAL.	3\"/>	
24	⊕	ERYSIMUM LINIFOLIUM MALLFLOWER BONLIES MAUVE	1-GAL.	3\"/>	
12	*	HESPERALOE PARVIFLORA RED FLOWERING YUCCA	5-GAL.	3\"/>	
17	*	MUHLENBERGIA CAPILLARIES REGAL MIST MUHLY GRASS	5-GAL.	5\"/>	
11	⊕	RHAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL.	3\"/>	
9	⊕	RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	4\"/>	
12	⊕	ROSMARINUS OFFICINALIS PROSTRATE ROSEMARY	5-GAL.	3\"/>	
15	*	SORGHASTRUM NITANS INDIAN GRASS	1-GAL.	5\"/>	
4	⊗	VITEX AGNUS-CASTUS VITEX	15-GAL.	15\"/>	
GRAVEL MULCHES/ACCENT BOULDERS					
14	⊗	1/8\"/>			

DENNY'S @ BROADSTONE TOWNE CENTER LANDSCAPE PLAN

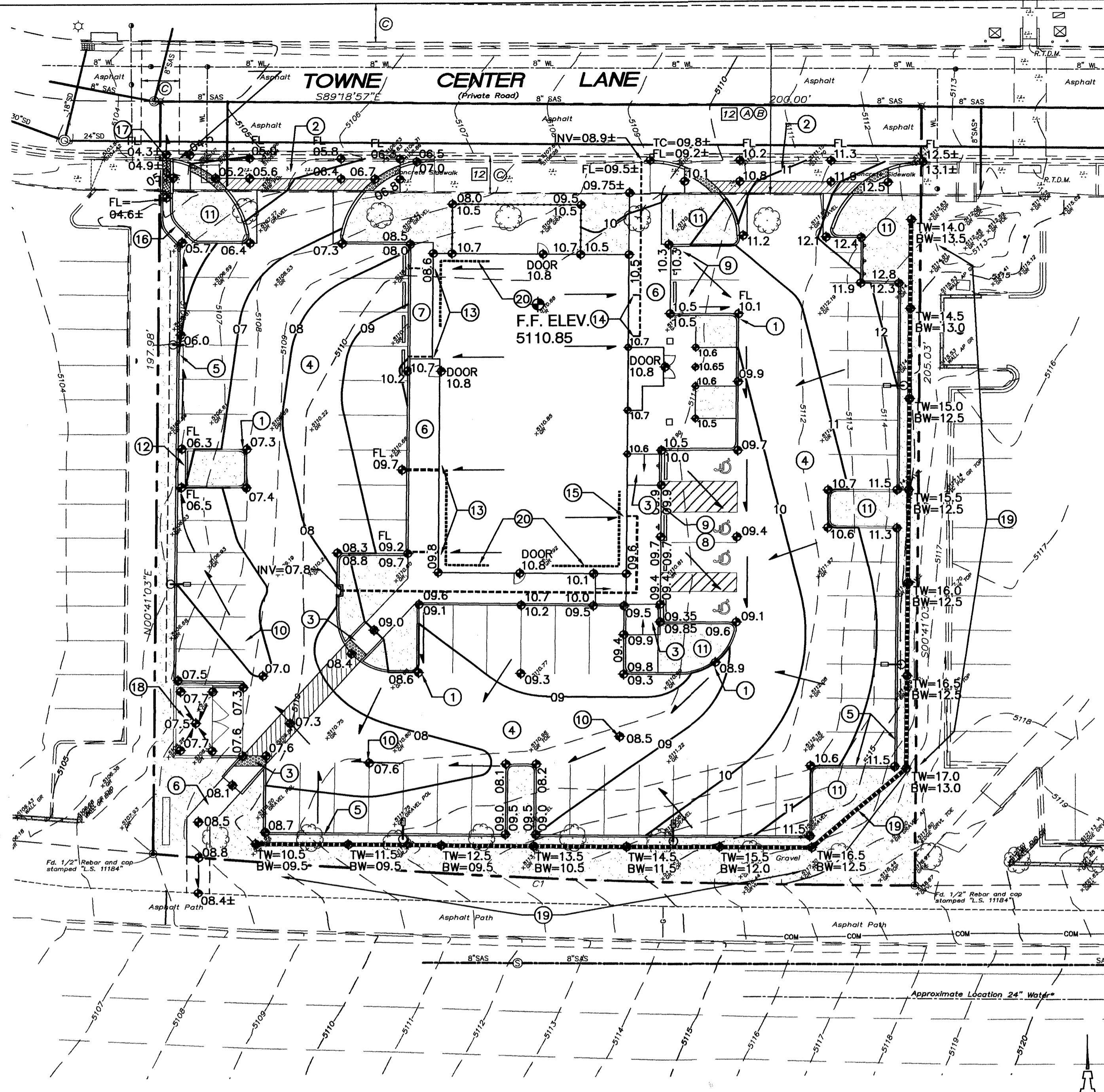
Prepared for:
 Coast/SVN Commercial
 Real Estate Services
 2829 Rucker Avenue, Suite 100
 Everett, WA 98201

Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102

Isaacson & Arfman, P.A.
 128 Monroe St, NE
 Albuquerque, NM 87108

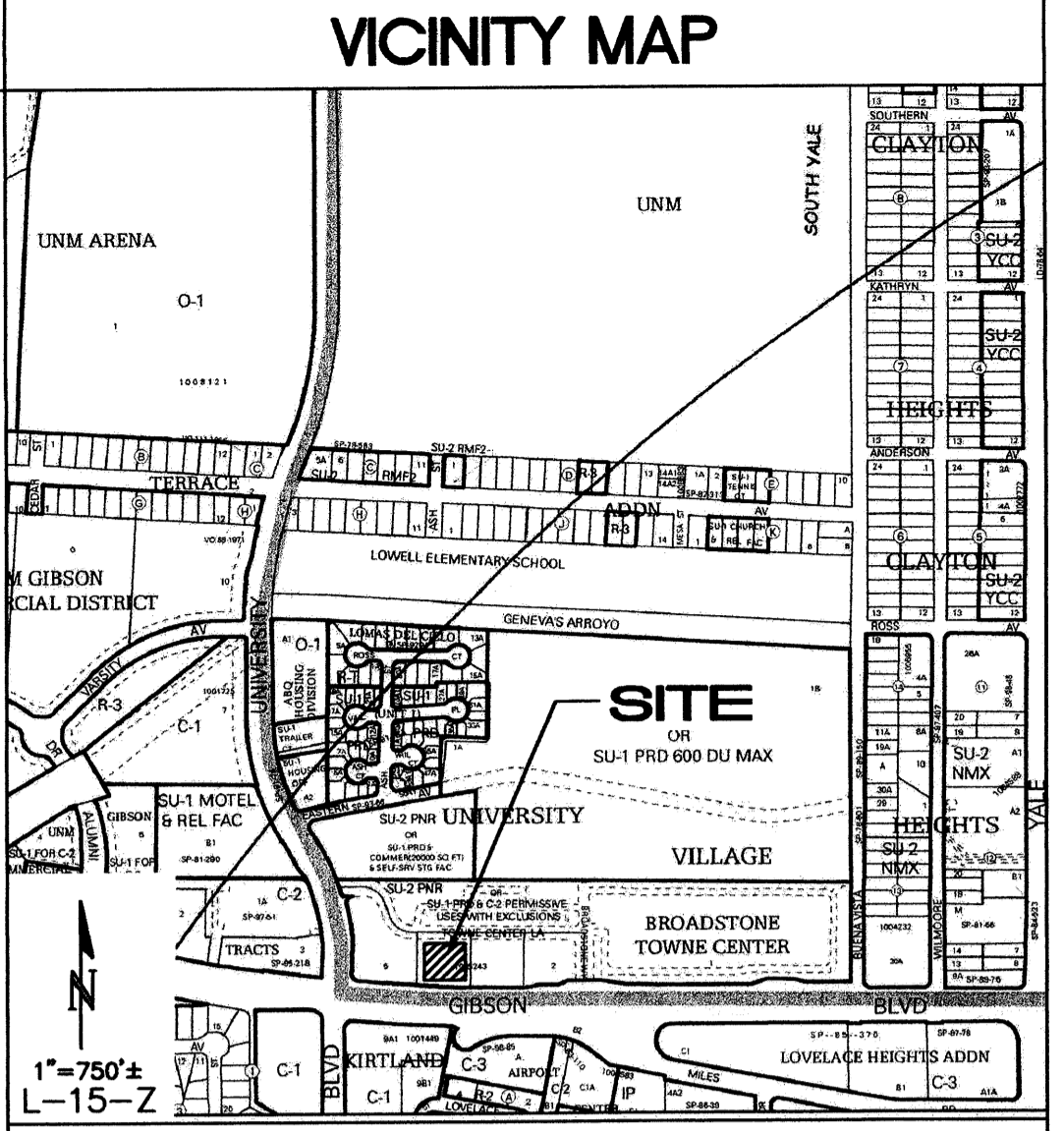


November 26, 2013



- ### KEYED NOTES
- SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB AND TOP OF ADJACENT WALK ELEVATIONS.
 - CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH CONCRETE VALLEY GUTTER AND HANDICAP RAMPS EACH SIDE. PER C.O.A. STD. DWGS. 2426 AND 2420.
 - CONSTRUCT ON-SITE HANDICAP RAMP PER ADA GUIDELINES.
 - CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR PARKING LAYOUT, SIGNAGE, PAVING DETAILS AND FOR ADDITIONAL INFORMATION.
 - CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ALL ON-SITE LOCATIONS UNLESS NOTED OTHERWISE. SEE CP-101.
 - CONSTRUCT CONCRETE WALK. CROSS-SLOPE = 2%.
 - NON-ADA ACCESSIBLE WALK THIS AREA DUE TO REQUIRED PAVEMENT GRADE TRANSITIONS.
 - SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA.
 - PROVIDE SWALE WITHIN NEW ASPHALT AT FLOWLINE ELEVATIONS SHOWN TO DIRECT FLOW (MIN. 1% SLOPE).
 - DEPRESS ALL LANDSCAPING TO CREATE WATER HARVESTING BASINS. FLOW IN EXCESS OF BASIN CAPACITY WILL DISCHARGE TO PAVEMENT. NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF THE BUILDING.
 - PROVIDE 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH PARKING ISLAND TO PASS FLOW. MIN. SLOPE = 1%.
 - BUILDING ROOF DISCHARGE THIS AREA TO BE PIPED THROUGH WALK AND RELEASED AT FACE OF CURB. OWNER'S OPTION: INSTALL 12" WIDE COVERED SIDEWALK CULVERT TO PASS FLOW TO PAVEMENT.
 - BUILDING ROOF DISCHARGE THIS AREA TO BE COLLECTED WITHIN STORM DRAIN SYSTEM AND RELEASED AT FACE OF CURB TO TOWNE CENTER LANE.
 - BUILDING ROOF DISCHARGE THIS AREA TO BE COLLECTED WITHIN STORM DRAIN SYSTEM AND RELEASED THROUGH FACE OF CURB AS SHOWN.
 - CONSTRUCT 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPING TO PASS CONCENTRATED FLOW TO TOWNE CENTER LANE. SEE DETAIL THIS SHEET.
 - CONSTRUCT 24" WIDE CONCRETE SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236.
 - CONSTRUCT NEW CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. INSTALL AREA DRAIN AT LOW POINT OF DUMPSTER PAD WITH CONNECTION TO SANITARY SEWER LINE. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
 - CONSTRUCT RETAINING WALL (MAXIMUM 4' RETAINING) ALONG EAST AND SOUTH PROPERTY LINES. STRUCTURAL DESIGN BY OTHERS.
 - DASHED LINE REPRESENTS EXTENTS OF EXTENDED STEMWALL (GRADE OUTSIDE BLDG. > 6" BELOW F.F.). SEE ARCHITECTURAL.

- ### GENERAL NOTES
- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, AND LANDSCAPE PLAN.
 - ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFF-SITE.
 - ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
 - FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
 - EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
 - THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS.) A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
 - ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
 - ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND LEVEL.
 - ALL EROSION PROTECTION SHALL BE FRACTURED FACE ROCK (F.F. ROCK) 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
 - SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
 - ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.



PROJECT DATA

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN CITY OF ALBUQUERQUE ZONE MAP L-15. THE SITE IS BOUND TO NORTH BY TOWNE CENTER ROAD, TO THE EAST AND WEST BY DEVELOPED COMMERCIAL PROPERTY, AND TO THE SOUTH BY GIBSON BLVD NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF A NEW RESTAURANT FACILITY WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: LOT 4, BROADSTONE TOWNE CENTER, CITY OF ALBUQUERQUE, NM

AREA: 40,604 SF (0.93 ACRE)

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "7-115", ELEVATION = 5164.135 FEET (NAVD 1988).

OFF-SITE: NO OFF-SITE FLOW IMPACTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0342G, THE SITE IS LOCATED WITHIN FLOODZONE 'X' (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

SURVEYOR: RUSS P. HUGG
SURV-TEK INC.
9384 VALLEY VIEW DRIVE, N.W.
ALBUQUERQUE, NM 87114
PHONE: 505-897-3366

DRAINAGE CONCEPT

THE PROPOSED IMPROVEMENTS CONSIST OF A RESTAURANT BUILDING AND OUTDOOR PATIO AREA WITH ASSOCIATED PAVED PARKING AND LANDSCAPING. RETAINING WALLS WILL BE REQUIRED ALONG THE EAST AND SOUTH SIDES OF THE PROPERTY TO ACHIEVE PARKING GRADES.

PER THE MASTER DRAINAGE PLAN FOR TOWNE CENTER PREPARED BY HIGH MESA CONSULTING GROUP, TRACT 4 WILL DRAIN TO TOWNE CENTER LANE.

THE MAJORITY OF THE PROPOSED DEVELOPMENT WILL ROUTE STORMWATER THROUGH THE PROPOSED PAVED PARKING LOT TO FREE DISCHARGE TO TOWNE CENTER LANE VIA A COVERED SIDEWALK CULVERT (TO BE CONSTRUCTED WITH THIS PROJECT) AT THE NORTHWEST CORNER OF THE PROPERTY TO ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM WITHIN TOWNE CENTER LANE.

A PORTION OF NE ROOF AREA WILL DISCHARGE VIA A PIPE TO TOWNE CENTER LANE (THROUGH FACE OF CURB WEST OF EAST ACCESS DRIVE).

ALL LANDSCAPED PARKING ISLANDS WILL BE DEPRESSED WHERE POSSIBLE TO CAPTURE STORMWATER FOR WATER HARVESTING.

CALCULATIONS: DENNY'S BROADSTONE : Sept. 25, 2013

Based on Drainage Design Criteria for City of Albuquerque
Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM

AREA OF SITE:	40604	SF	=	0.9
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DEVELOPED FLOWS:

Area	Treatment SI	%	EXCESS PRECIP:
Area A	0	0%	Precip. Zone 2
Area B	2030	5%	E _A = 0.53
Area C	4060	10%	E _B = 0.78
Area D	34513	85%	E _C = 1.13
Total Area	40604	100%	E _D = 2.12

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{E_A A + E_B B + E_C C + E_D D}{A + B + C + D}$$

Developed E = 1.95 in.

On-Site Volume of Runoff: V360 = $\frac{E \cdot A}{12}$

Developed V₃₆ = 6612 CF

On-Site Peak Discharge Rate: Q_p = $\frac{Q_p A + Q_p B + Q_p C + Q_p D}{43,560}$

For Precipitation Z₂

Q _{pA}	=	1.56	Q _{pC}	=	3.14
Q _{pB}	=	2.28	Q _{pD}	=	4.70
		Developed Q _p		= 4.1 CFS	

LEGEND

- ◊ 13.6± EXISTING SPOT ELEVATION
- ◊ 13.6 PROPOSED SPOT ELEVATION AT TRANSITION TO EXISTING
- ◊ 13.6 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- 04— PROPOSED 1' CONTOUR
- 04.5— PROPOSED 0.5' CONTOUR
- F.F. = FINISH FLOOR ELEVATION
- ~~~~ GRADE BREAK

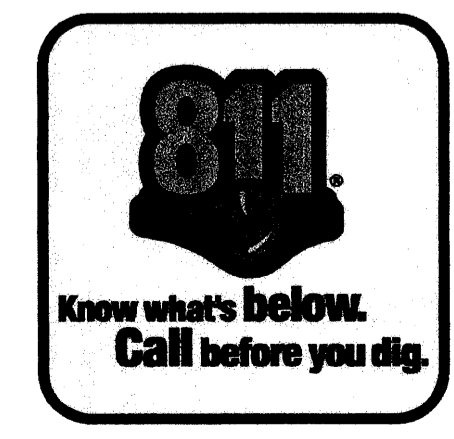
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaif.com

1995 CG-101.dwg Dec 02, 2013

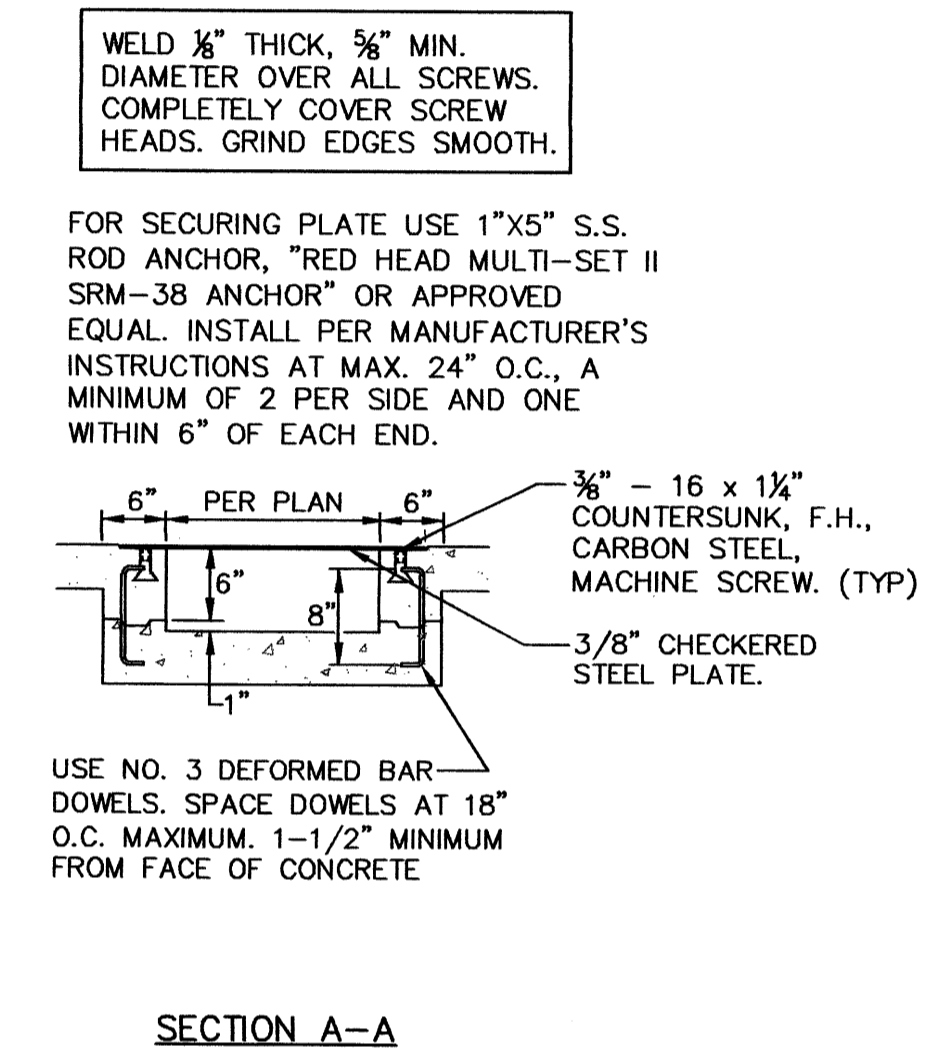
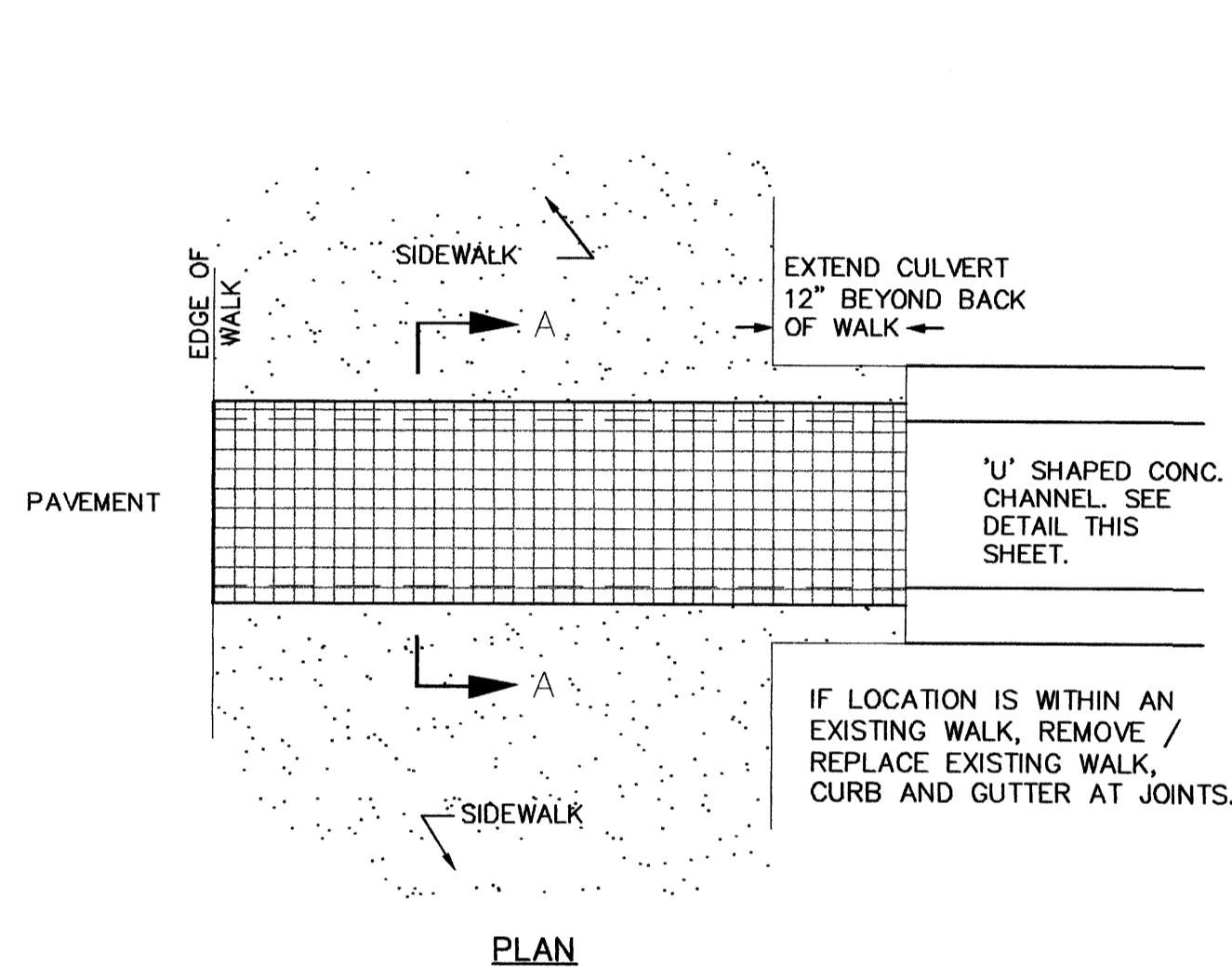
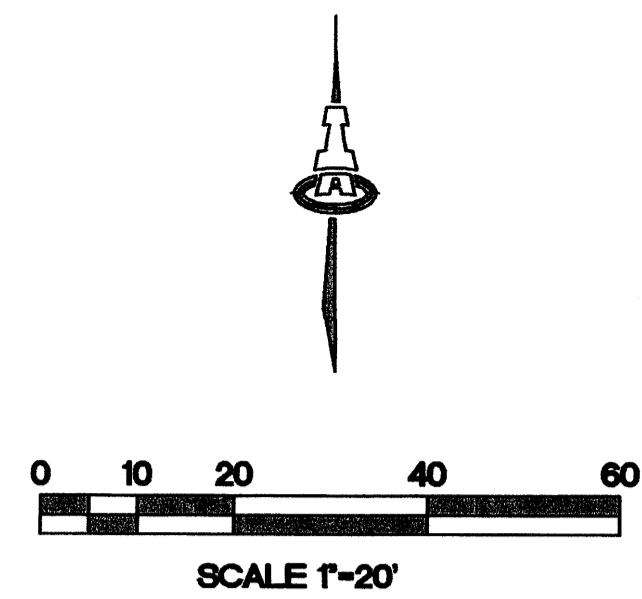
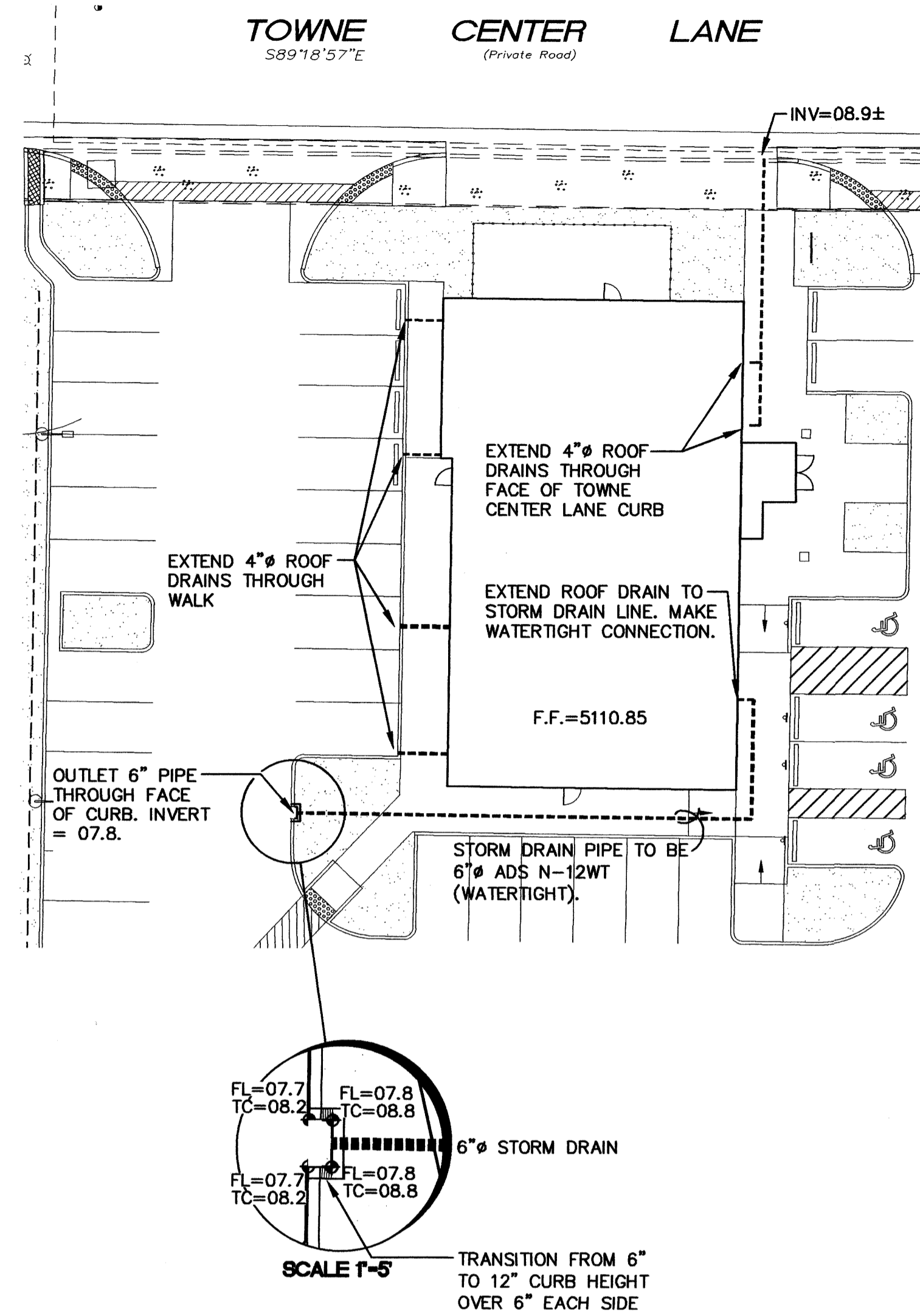
DENNY'S RESTAURANT BROADSTONE TOWNE CENTER

GRADING AND DRAINAGE PLAN

Date:	12/02/13	Job No.:	1995
Drawn By:	BJB	Scale:	CG-101
Chk By:	FCA		



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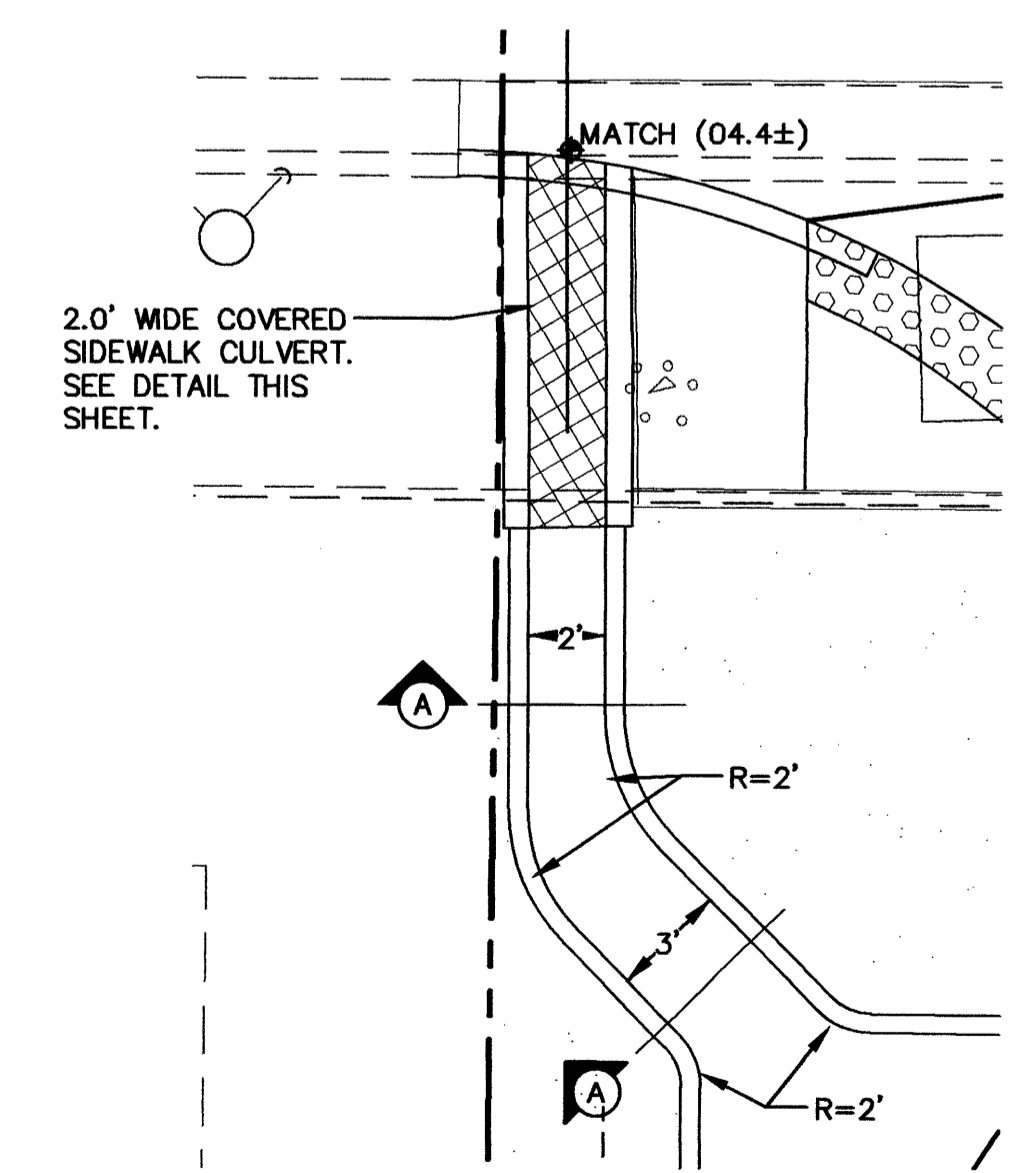


ROOF DRAIN DISCHARGE NOTES AND DETAILS

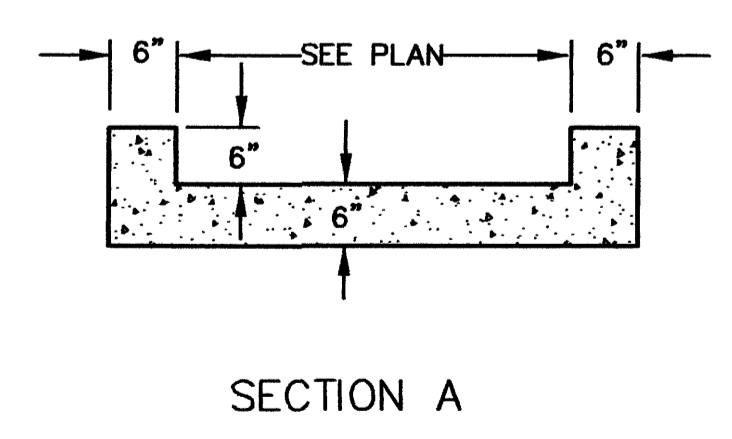
SCALE: N.T.S.

COVERED SIDEWALK CULVERT

SCALE: N.T.S.

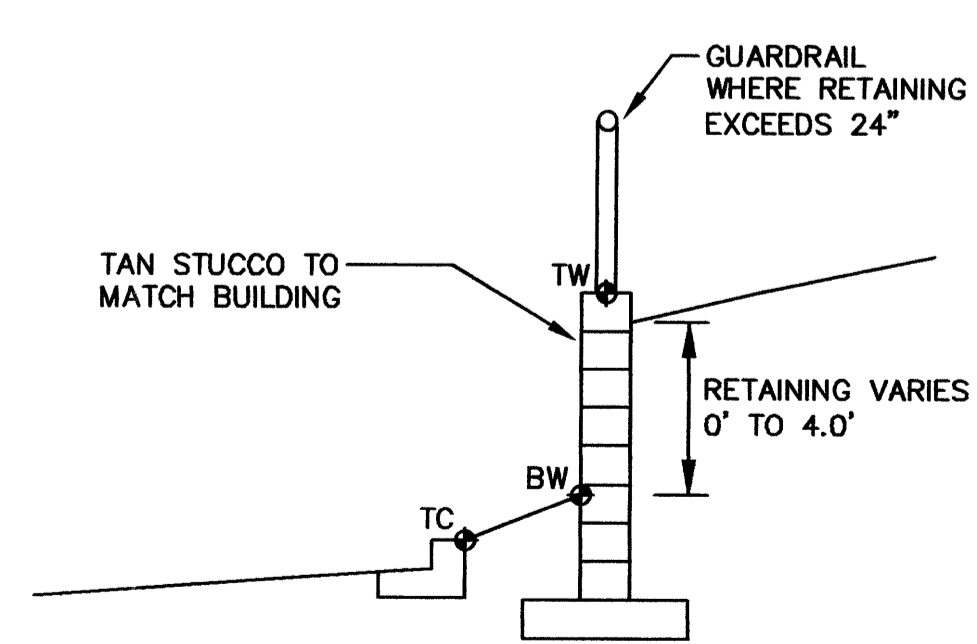


- GENERAL NOTES**
1. SMOOTH ALL EDGES WITH A 3/8" EDGING TOOL.
 2. REQUIRES FULL FORM ON ALL FACES.
 3. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.



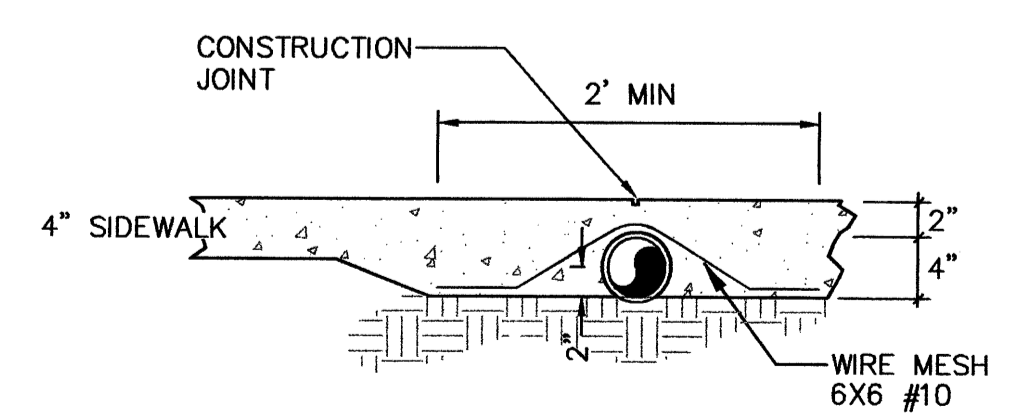
'U' SHAPED CONCRETE RUNDOWN

SCALE: N.T.S.



PERIMETER RETAINING WALL

SCALE: N.T.S.



PIPE THROUGH WALK

SCALE: N.T.S.

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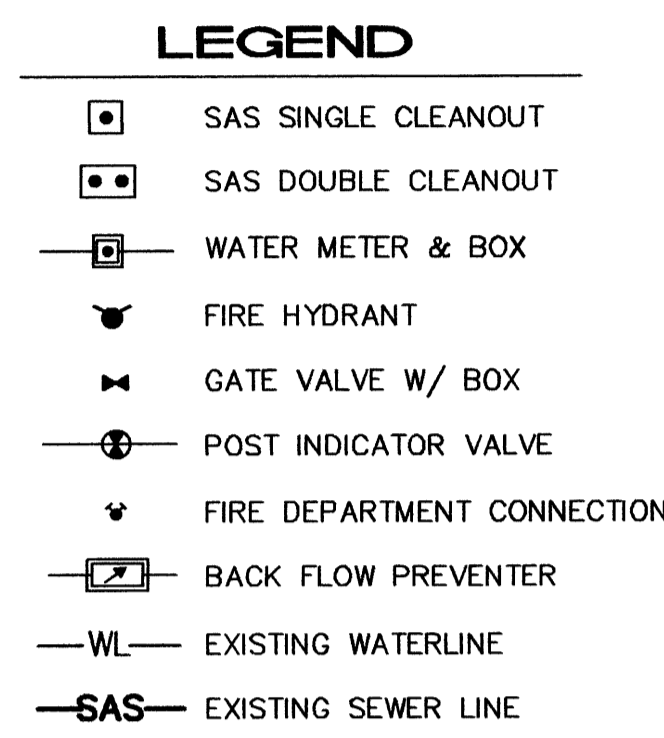
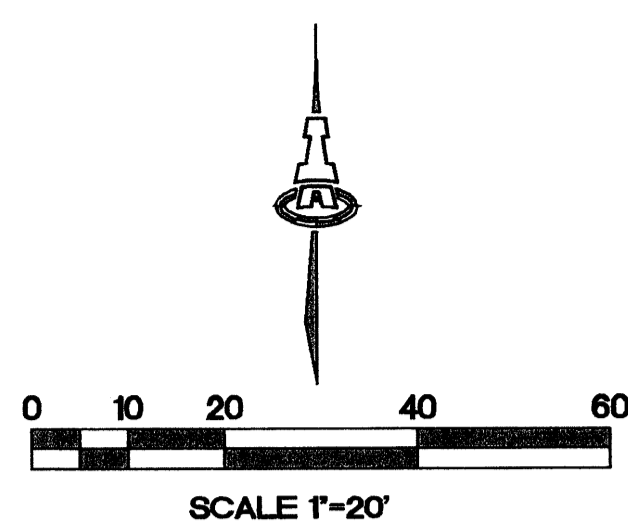
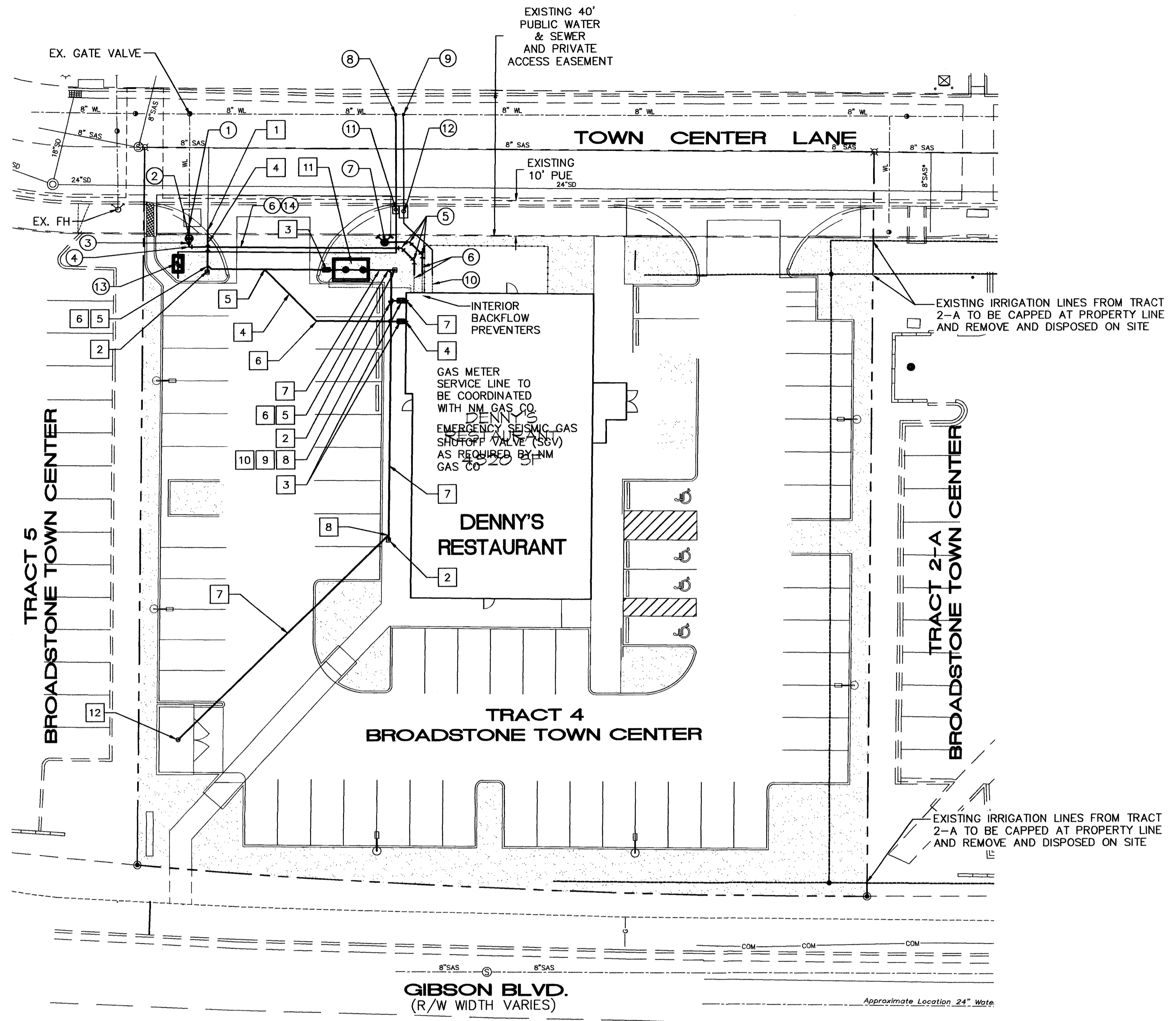
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**DENNY'S RESTAURANT
BROADSTONE TOWN CENTER**

GRADING AND DRAINAGE DETAILS

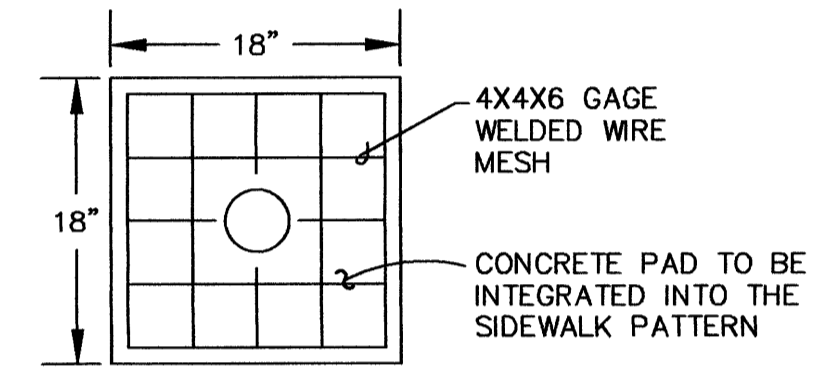
Date: 12/02/13	No. Revisions	Date	Job No. 1995
Drawn By: BjB			CG-501
Chk By: FCA			



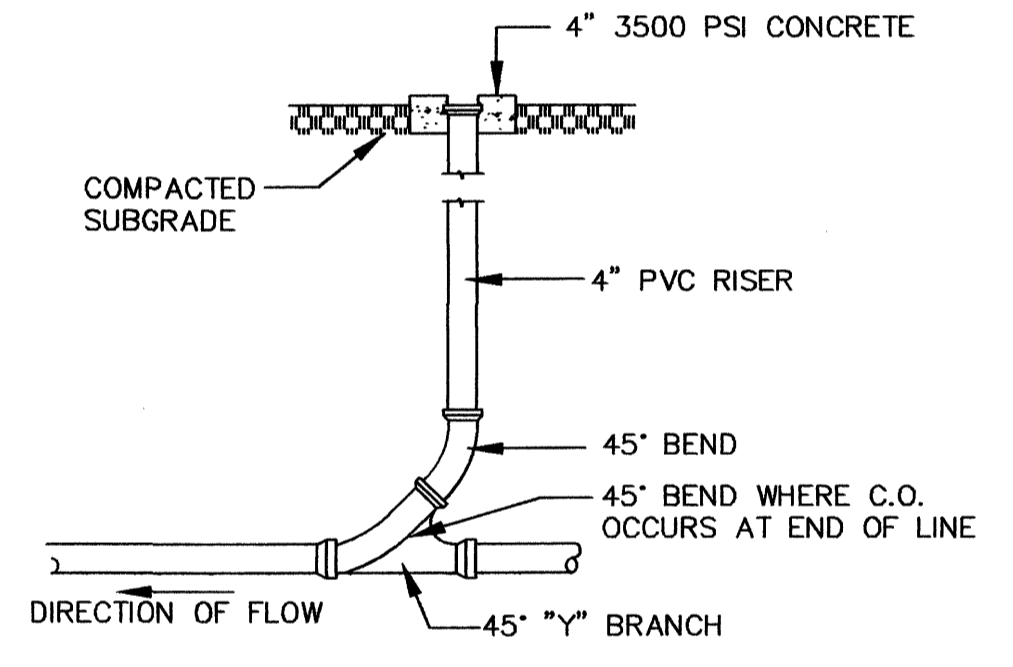
RESTRAINT NOTES:

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- THE CONTRACTOR SHALL INSTALL PCC BLOCKING AT ALL CAPS (UNLESS OTHERWISE NOTED ON PLANS). RESTRAINTS ARE BASED UPON THE FOLLOWING CRITERIA:

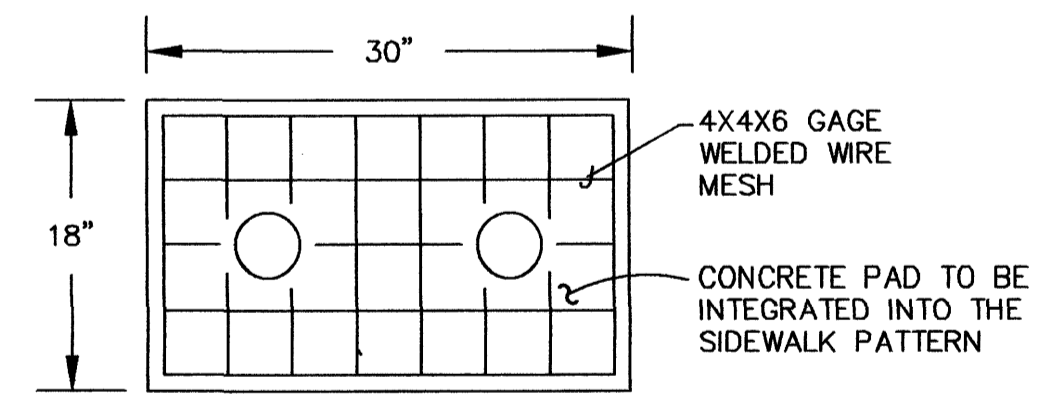
DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.25
 MATERIAL: PVC PIPE
 GW/SM - SILTY GRAVELS AND SILTY SANDS.
 SOIL TYPE: GRAVEL-SAND-SILT MIXTURES.
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.



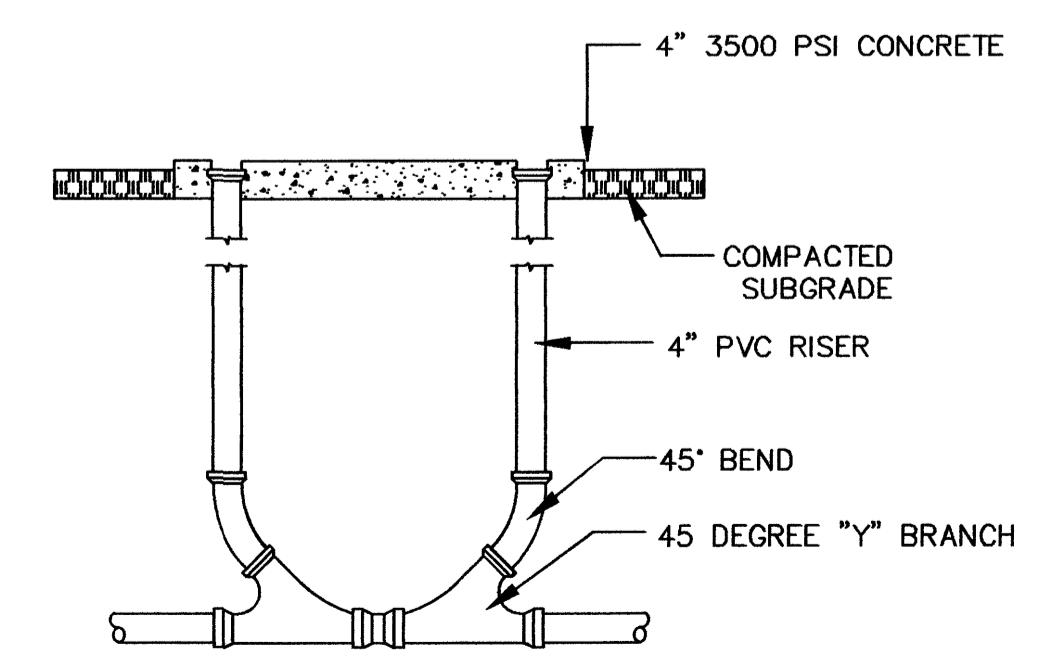
CONCRETE PAD FOR SAS CLEANOUT
NTS



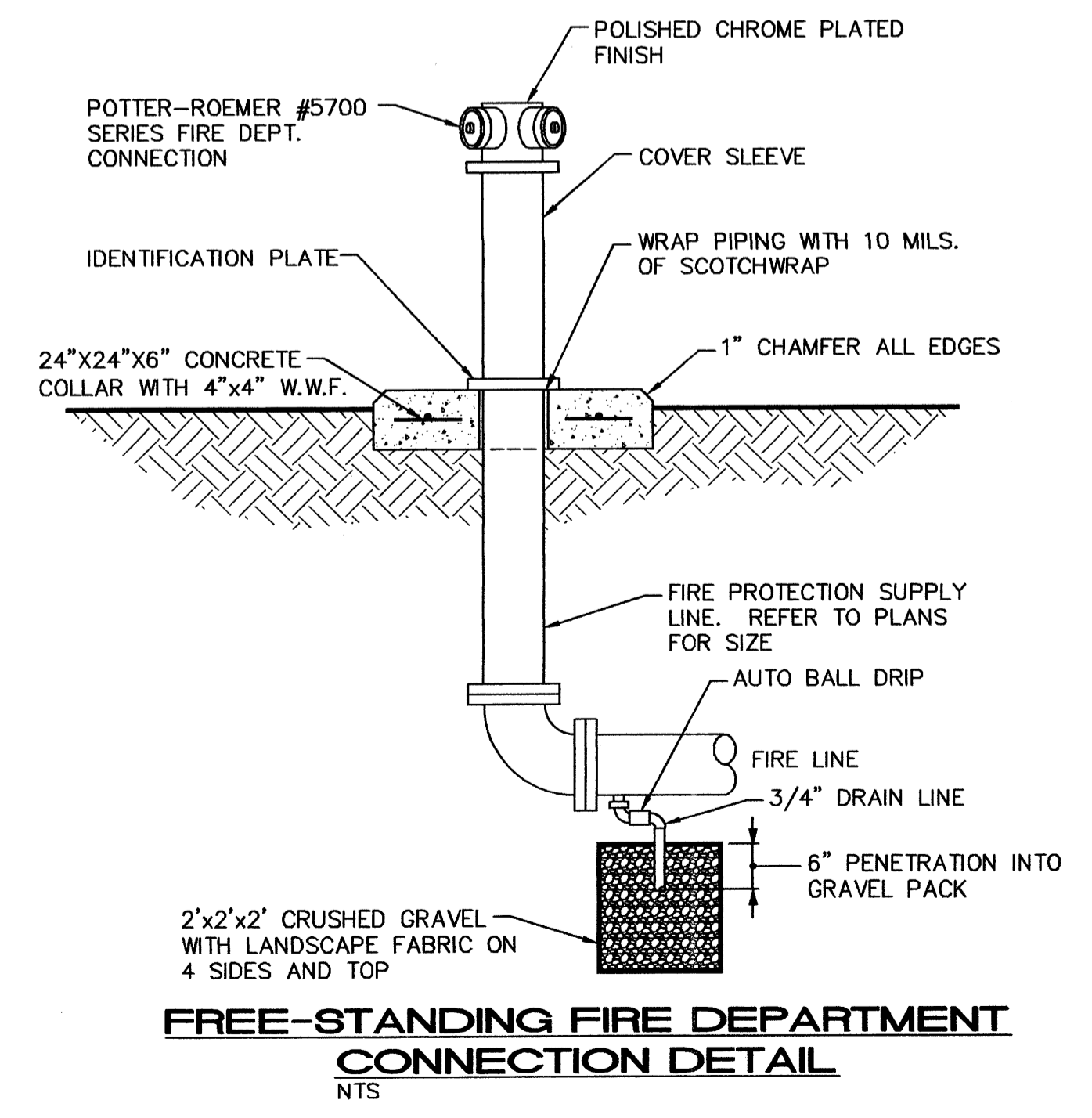
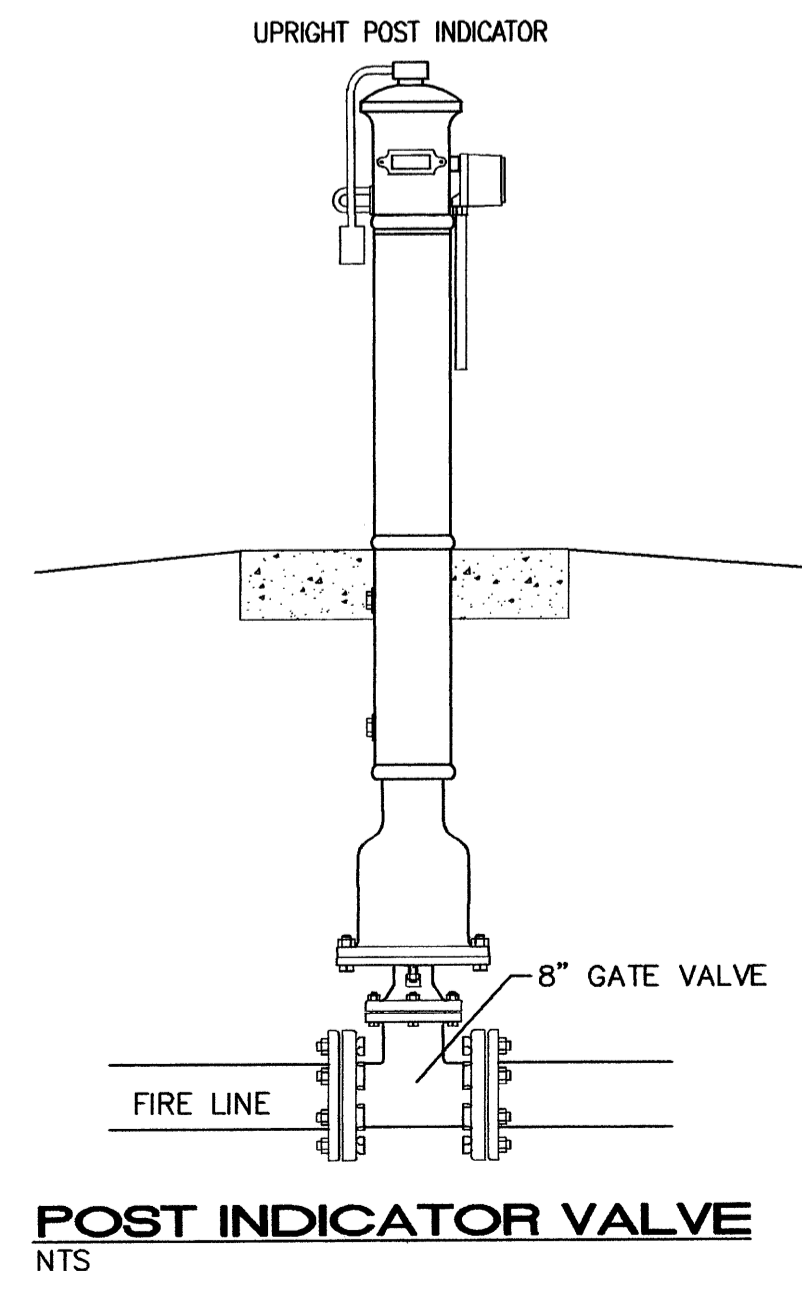
SINGLE CLEANOUT DETAIL
NTS



CONCRETE PAD FOR SAS CLEANOUT
NTS



DOUBLE/SINGLE CLEANOUT DETAIL
NTS



GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (L-).

KEYED NOTES

- WATER KEYED NOTES**
- CONNECT NEW FIRE LINE TO EXIST. 8" WATERLINE.
 - 8" POST INDICATOR VALVE (PIV) W/ RESTRAINTS. (LT=60')
 - 8"x4" REDUCER W/ RESTRAINTS.(LT=52')
 - 4" - 90° BEND W/ REITRAINTS.(LT=15')
 - 4" - 45° BEND W/ RESTRAINTS.(LT=6')
 - 4" FIRE LINE.
 - FIRE DEPARTMENT CONNECTION (FDC) W/ RESTRAINTS.(LT=32')
 - 1" SERVICE (IRRIGATION) PER ABCWJA STD. DWG. 2361 & 2362.
 - 2" SERVICE (DOMESTIC) PER ABCWJA STD. DWG. 2261 & 2363.
 - 2" WATER SERVICE LINE.
 - METER BOX PER COA STD. DWG. 2368.
 - METER BOX PER COA STD. DWG. 2367.
 - FEBCO MODEL 860 1" PRESSURE REDUCING BACK FLOW PREVENTER. (IRRIGATION) SAFE-T-COVER MODEL 100S-AL ENCLOSURE WITH CONCRETE BASE.
 - 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 6" WATERLINE.
- SEWER**
- CONNECT NEW SEWER LINE TO EXISTING SEWER STUB.
 - SINGLE CLEANOUT PER DETAIL THIS SHEET.
 - DOUBLE CLEANOUT PER DETAIL THIS SHEET.
 - 6" SANITARY SEWER LINE, AT 2% MIN. SLOPE.
 - 6" WYE.
 - 6" - 45° BEND.
 - 4" GREASE LINE, AT 2% MIN. SLOPE.
 - 4" WYE.
 - 4" - 45° BEND
 - 6" x 4" REDUCER.
 - 1500 GALLON GREASE INTERCEPTOR.
 - 4" HEAVY DUTY CAST IRON FLOOR DRAIN W/ P-TRAP.

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-265-8828 www.isaif.com

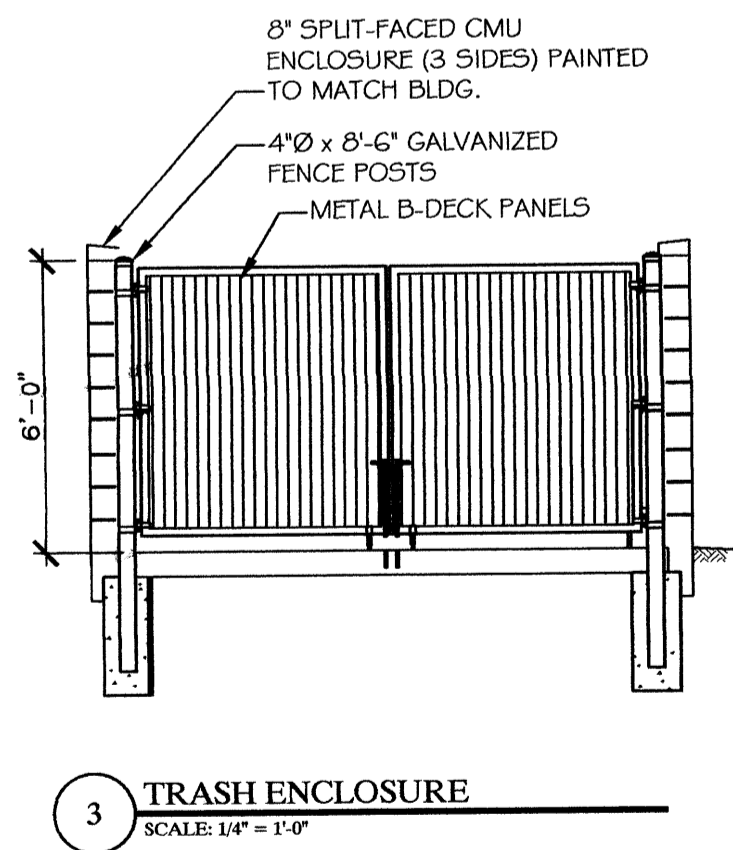
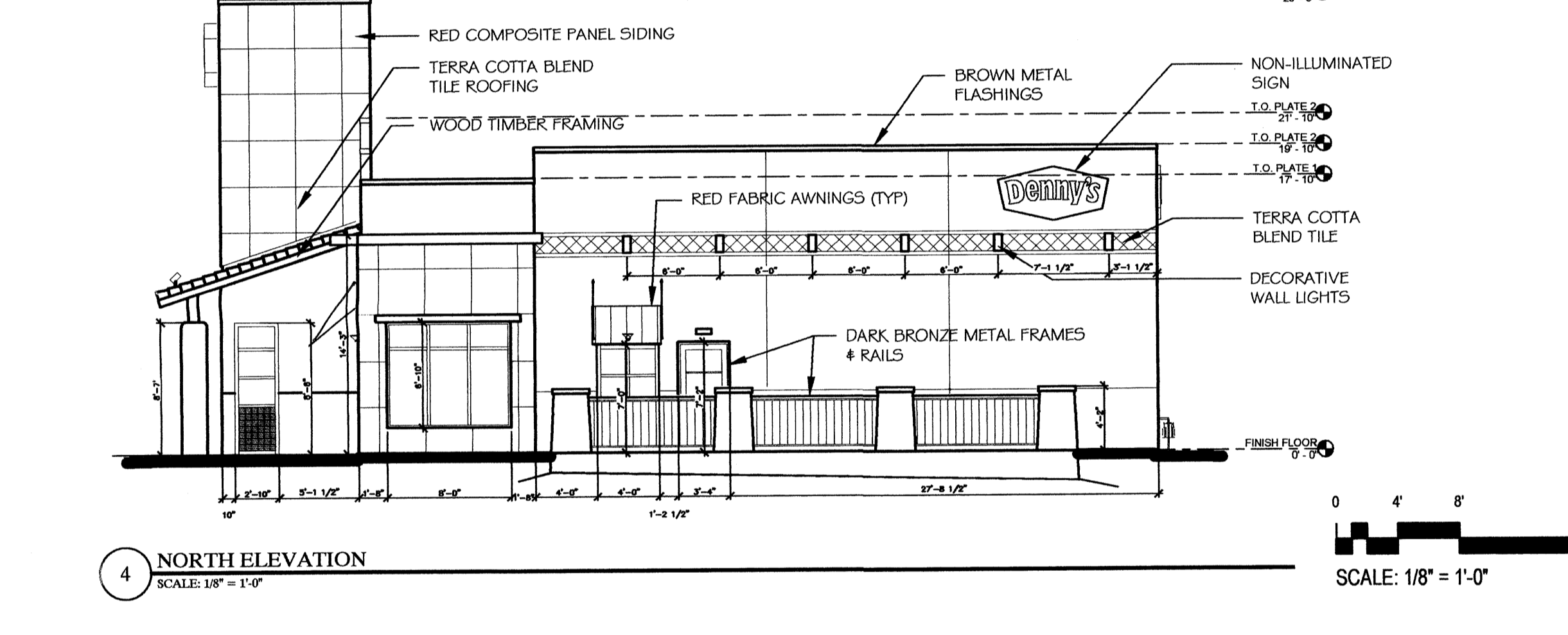
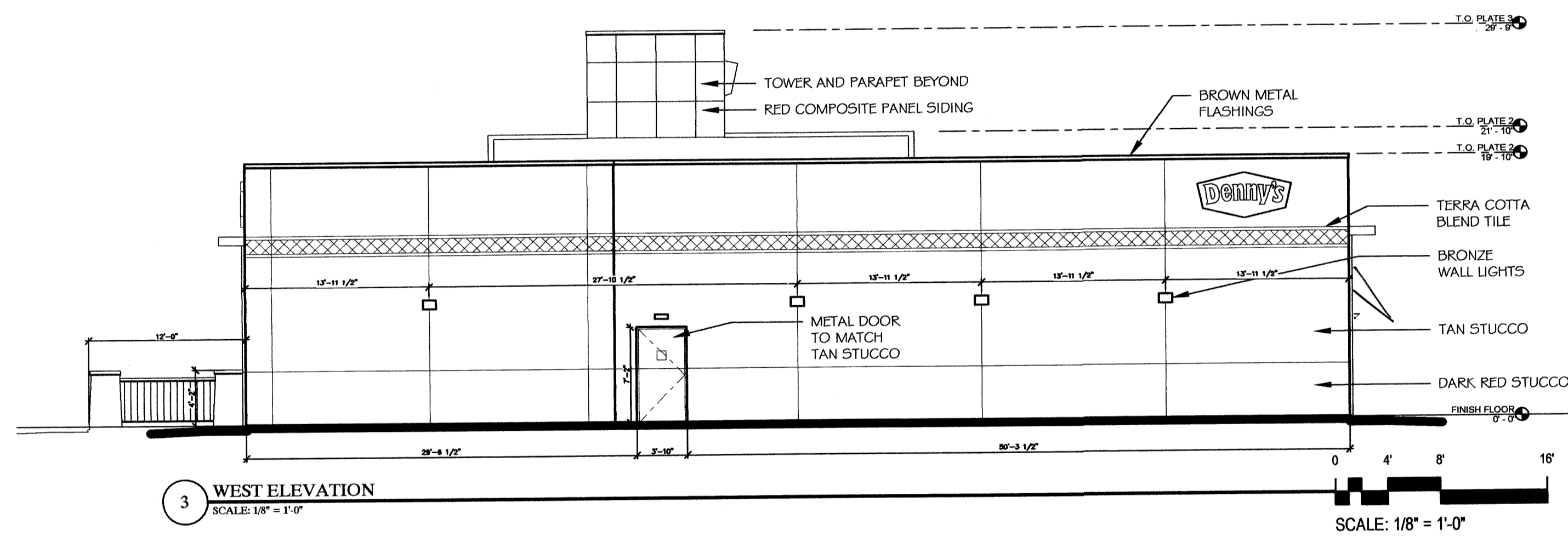
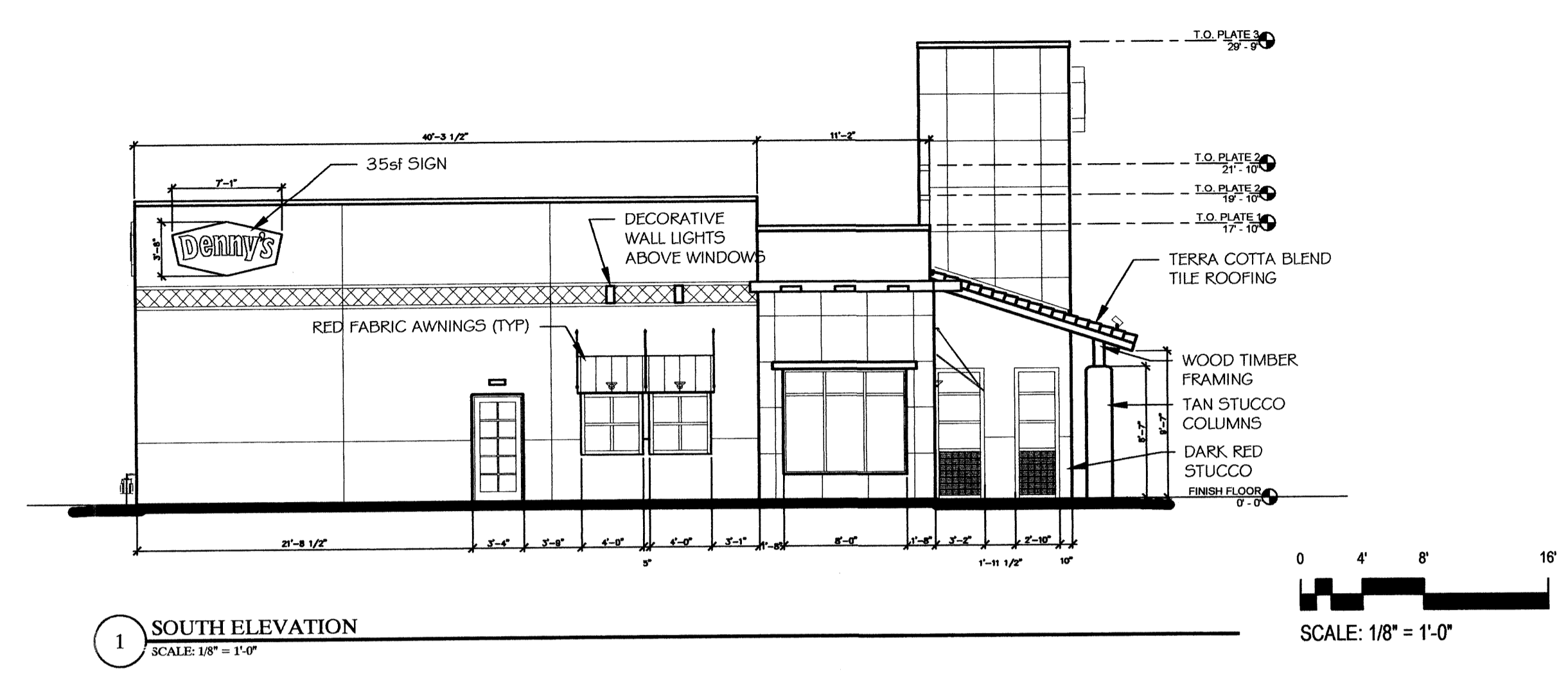
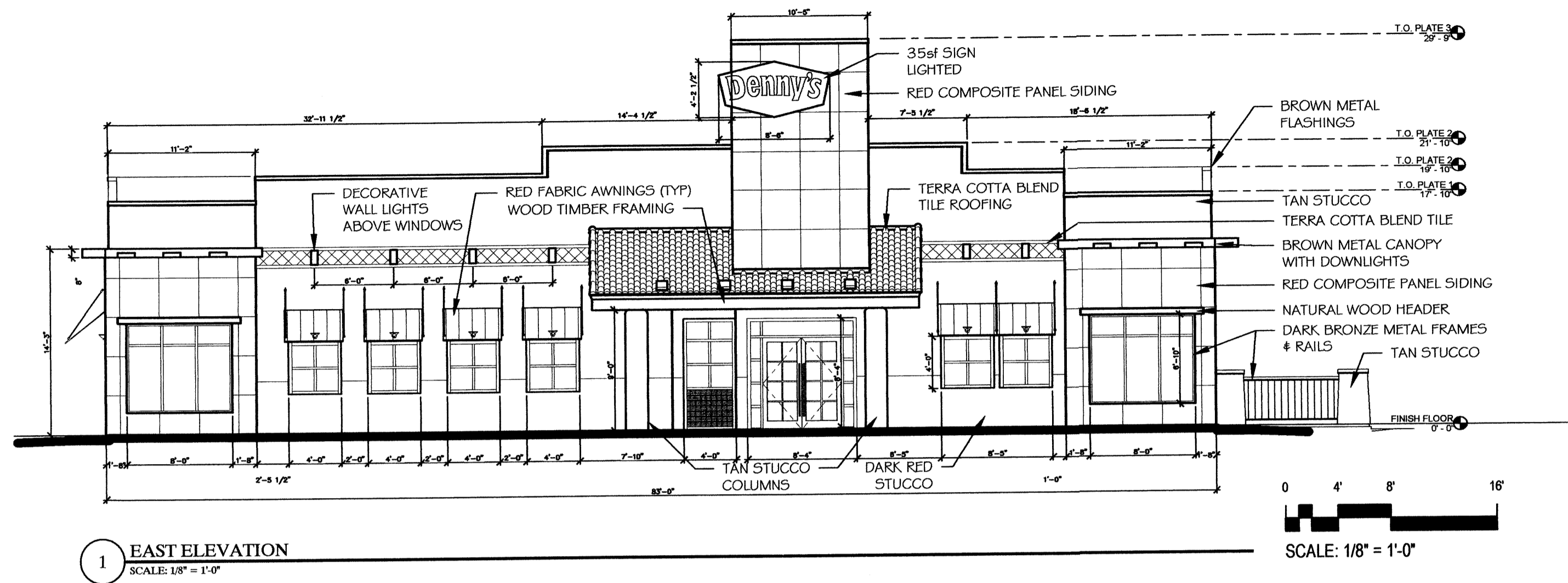
1995 CU-101.dwg Nov 26, 2013

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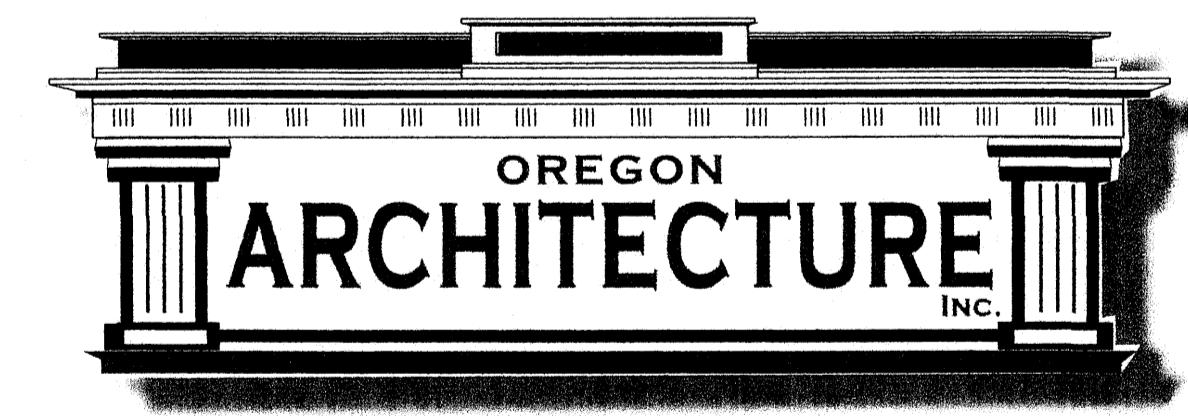
**DENNY'S RESTAURANT
BROADSTONE TOWN CENTER**

SITE UTILITY PLAN

Date:	No. Revisions	Date	Job No.
11/20/13			1995
Drawn By:	DEC		CU-101
Chd By:	FCA		SHEET X



SIGNAGE AREAS BY ELEVATION	
NORTH: 1001sf FACADE x 6% = 60sf ALLOWABLE	35sf ACTUAL
SOUTH: 1001sf FACADE x 6% = 60sf ALLOWABLE	35sf ACTUAL
EAST: 1769sf FACADE x 6% = 106sf ALLOWABLE	35sf ACTUAL
WEST: 1659sf FACADE x 6% = 100sf ALLOWABLE	35sf ACTUAL



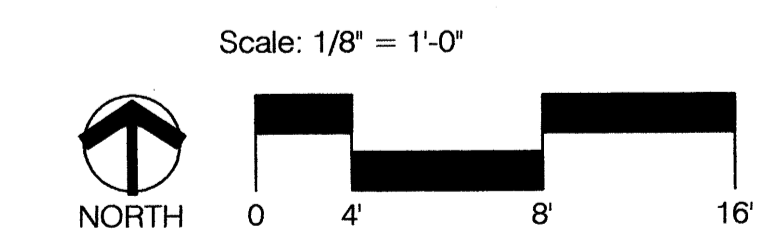
DENNY'S @ BROADSTONE TOWNE CENTER

SITE FOR DEVELOPMENT PERMIT

Prepared for:
Coast/SVN Commercial
Real Estate Services
2829 Rucker Avenue, Suite 100
Everett, WA 98201

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe St, NE
Albuquerque, NM 87108

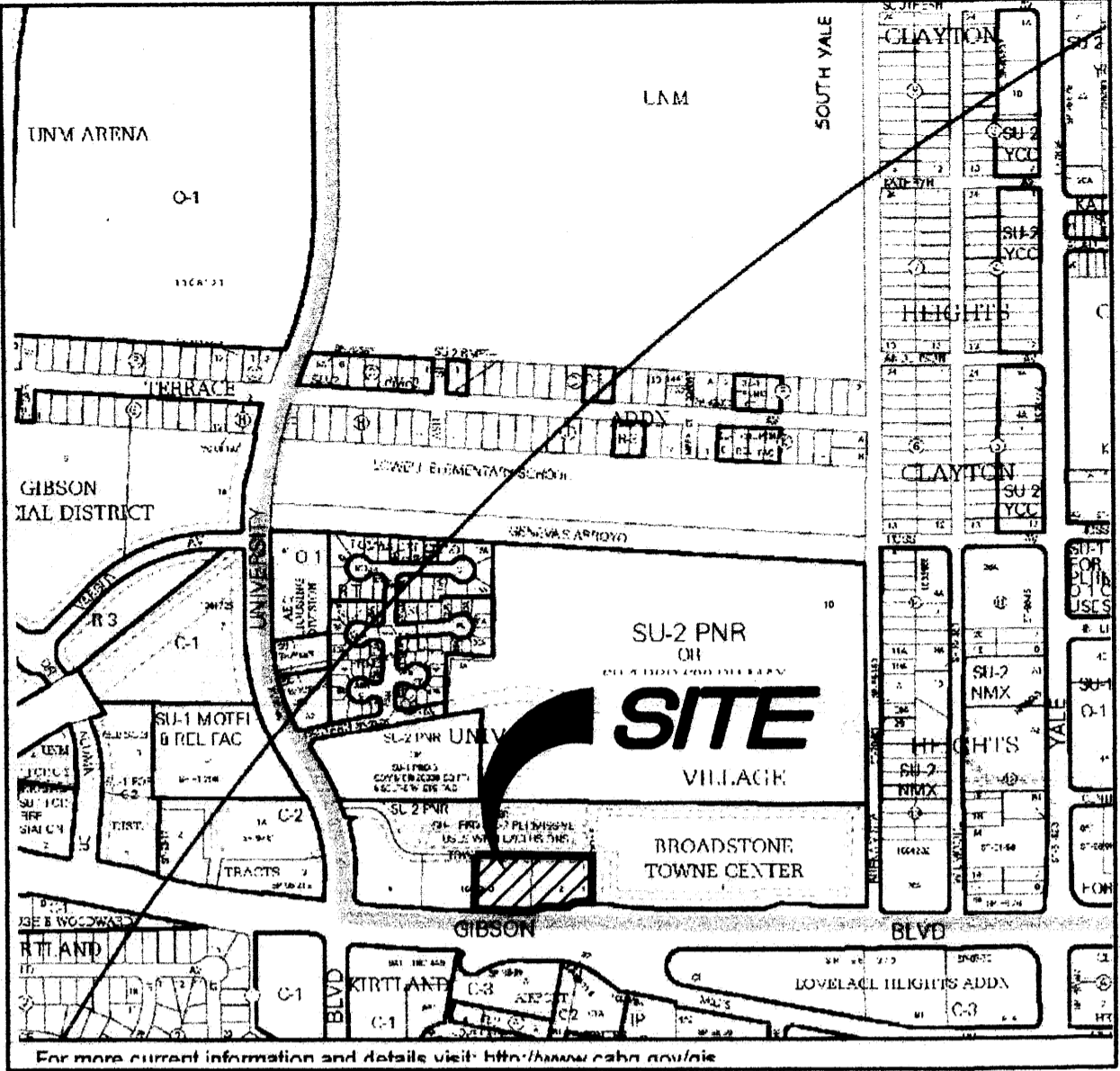


September 26, 2013

**PLAT OF
TRACT 2-A
BROADSTONE TOWNE CENTER**

(BEING A REPLAT OF TRACTS 2 AND 3,
BROADSTONE TOWNE CENTER)

SITUATE WITHIN
THE TOWN OF ALBUQUERQUE GRANT
IN
PROJECTED SECTION 28
TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2012



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page L-15-Z.

SUBDIVISION DATA

- Total number of existing Lots: 2
- Total number of Tracts created: 1
- Gross Subdivision acreage: 1.9124 acres

PURPOSE OF PLAT

The purpose of this plat is to combine Tracts 2 and 3, Broadstone Towne Center, in to one tract.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

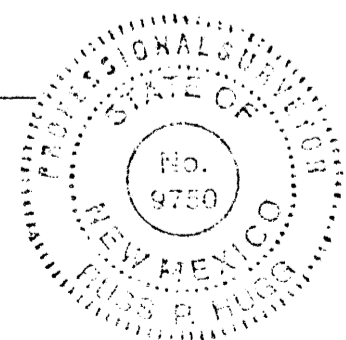
DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
October 22, 2012



PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico	_____	Date	_____
New Mexico Gas Company	_____	Date	_____
Qwest Corporation d/b/a CenturyLink QC.	_____	Date	_____
Comcast	_____	Date	_____

CITY APPROVALS:

<i>[Signature]</i> City Surveyor Department of Municipal Development	_____	11-7-12	_____
Real Property Division	_____	Date	_____
Environmental Health Department	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
ABCWJA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMAFA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF
TRACT 2-A
BROADSTONE TOWNE CENTER

(BEING A REPLAT OF TRACTS 2 AND 3,
 BROADSTONE TOWNE CENTER)

SITUATE WITHIN
 THE TOWN OF ALBUQUERQUE GRANT
 IN
 PROJECTED SECTION 28
 TOWNSHIP 10 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2012

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Albuquerque Grant in Projected Section 28, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, comprising and being Tracts 2 and 3, Broadstone Towne Center, as the same is shown and designated on the plat entitled "PLAT OF TRACTS 1, 2, 3, 4 AND 5, BROADSTONE TOWNE CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH, 2008", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 20, 2008, in Plat Book 2008C, Page 52, as Document No. 2008031639, more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northeasterly corner of the parcel herein described, a PK Nail with aluminum disk stamped "LS 1184" found in place, whence Albuquerque Control Survey Monument "7-L15" bears N 33°39'15" E, 3,009.84 feet distant; Thence,

S 00°41'03" W, 176.99 feet to the southeasterly corner of the parcel herein described, a PK Nail with aluminum disk stamped "LS 1184" found in place, said point also being a point on the northerly right of way line of Gibson Boulevard S.E.; Thence, along said northerly right of way line,

N 89°45'48" W, 60.22 feet to an angle point, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

S 67°25'14" W, 37.95 feet to an angle point, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

N 89°59'00" W, 74.92 feet to an angle point, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

S 79°27'11" W, 50.49 feet to an angle point, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

N 89°46'05" W, 160.08 feet to a point of curvature, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

Westerly, 45.41 feet on the arc of a curve to the right (said curve having a radius of 2,492.96 feet, a central angle of 01°02'37", and a chord that bears S 89°54'27" W, 45.41 feet) to the southwesterly corner of the parcel herein described, a 5/8" rebar with cap stamped "LS 11184" found in place; Thence,

N 00°41'03" E, 205.03 feet to the northwesterly corner of the parcel herein described, a PK Nail with aluminum disk stamped "LS 11184" found in place; Thence,

S 89°18'57" E, 425.00 feet to the point of beginning.

Said parcel contains 1.9124 acres, more or less.

FREE CONSENT

SURVEYED and REPLATTED and now comprising PLAT OF TRACT 2-A, BROADSTONE TOWNE CENTER (BEING A REPLAT OF TRACT 2 AND 3, BROADSTONE TOWNE CENTER) SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 28, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that it is so authorized to act.

OWNER(S)

LG Albuquerque BWW, LLC
 a Texas limited liability company

[Signature]

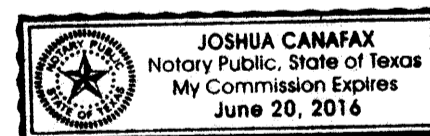
By: Fernando DeLeon, Manager

ACKNOWLEDGMENT

STATE OF TEXAS
 COUNTY OF Dallas SS

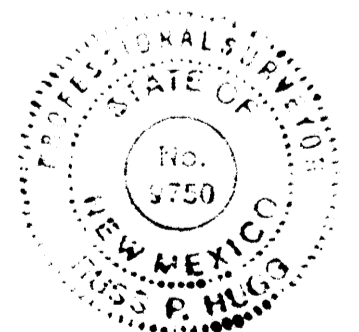
The foregoing instrument was acknowledged before me this 5th day of November, 2012, by Fernando DeLeon, as Manager of LG Albuquerque BWW, LLC.

[Signature] My commission expires 6-20-16
 Notary Public



SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

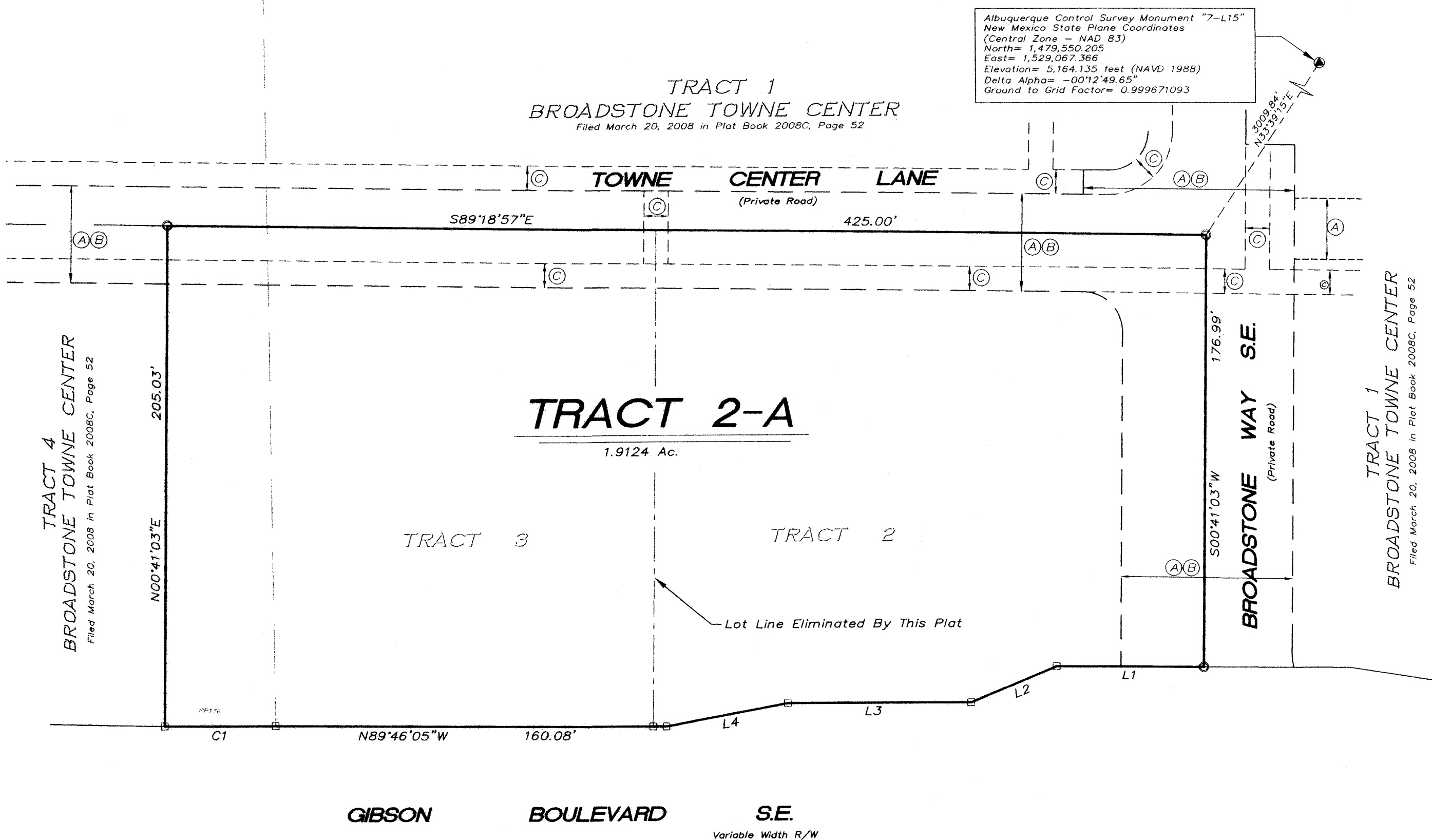
"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."



PLAT OF
TRACT 2-A
BROADSTONE TOWNE CENTER

(BEING A REPLAT OF TRACTS 2 AND 3,
 BROADSTONE TOWNE CENTER)

SITUATE WITHIN
 THE TOWN OF ALBUQUERQUE GRANT
 IN
 PROJECTED SECTION 28
 TOWNSHIP 10 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2012



PLAT EASEMENT LEGEND

- (A) ABCWUA Public Waterline and ABCWUA Sanitary Sewer Easements granted by plat filed March 20, 2008 in Plat Book 2008C, Page 52, Doc.# 2008031639.
- (B) Private Access Easement granted by plat filed March 20, 2008 in Plat Book 2008C, Page 52, Doc.# 2008031639. to serve Tracts 1 through 5, Broadstone Towne Center. maintenance and operation of this easement shall be in accordance with the Declaration of Covenants, Conditions and Restrictions for Broadstone Towne Center, filed 03-20-2008, Document No. 2008031640. Also, a Private Drainage Easement granted by plat to serve Tracts 1 through 5, Broadstone Towne Center. Maintenance and Operation of this easement shall be in accordance with the Declaration of Covenants, Conditions and Restrictions for Broadstone Towne center, filed 03-20-2008, Document No. 2008031640. North-South Private Road is named "Broadstone Way S.E.", with an entrance off Gibson Boulevard S.E. East-West Private Road is named "Towne Center Lane S.E." with an entrance off University Boulevard S.E.
- (C) 10' Public Utility Easement granted by plat filed March 20, 2008 in Plat Book 2008C, Page 52, Doc.# 2008031639.

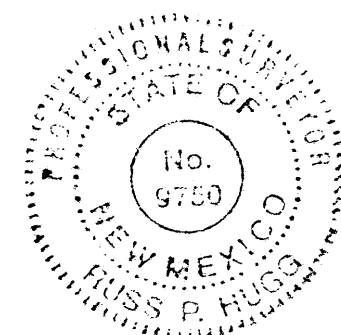
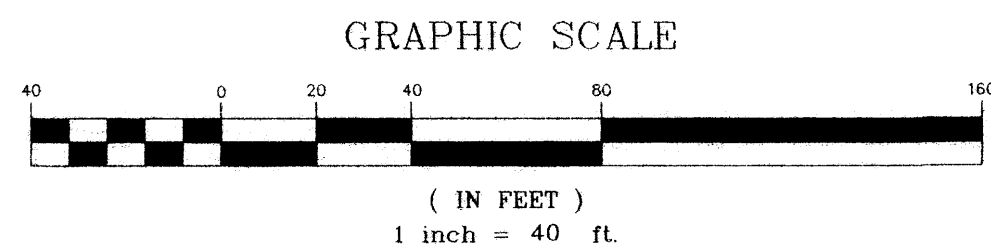
CURVE TABLE

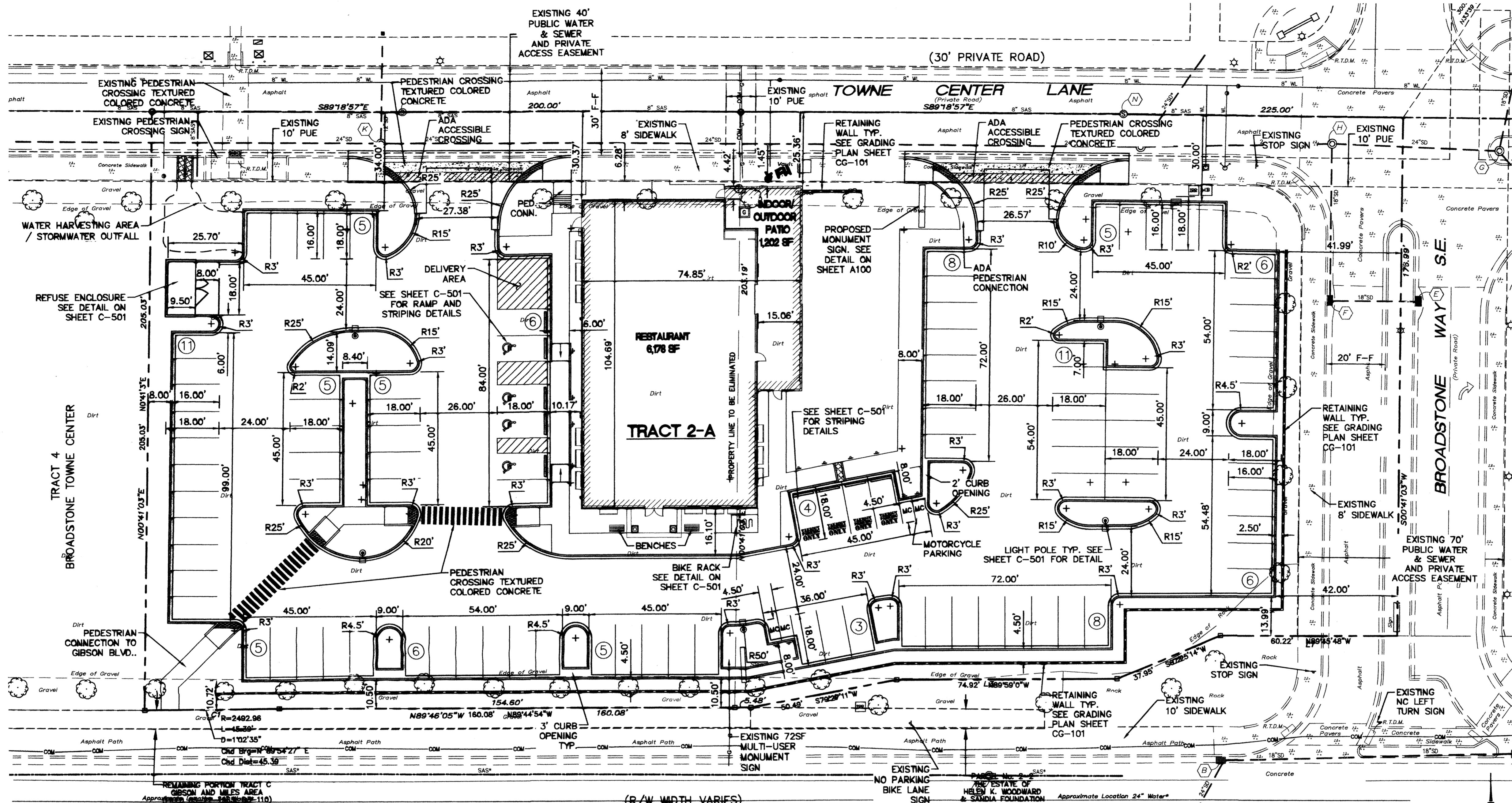
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	45.41'	2492.96'	22.70'	45.41'	S89°54'27"W	1°02'37"

LINE TABLE

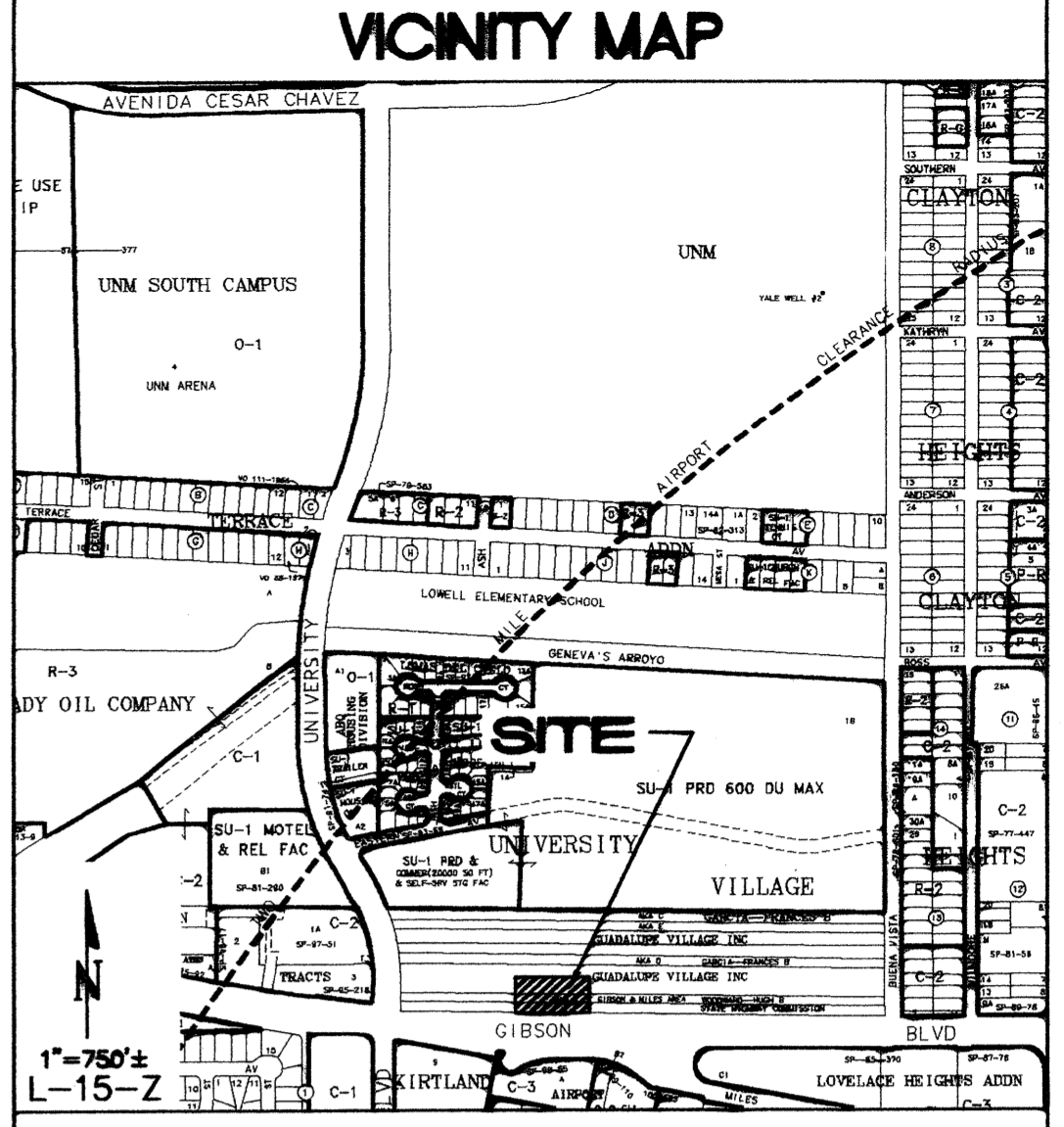
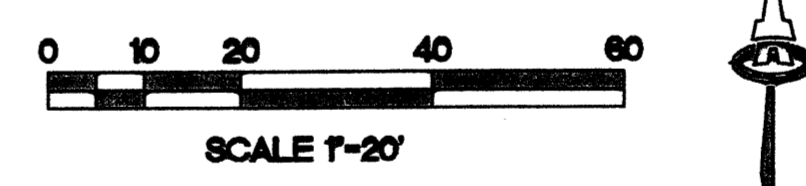
LINE	LENGTH	BEARING
L1	60.22	N89°45'48"W
L2	37.95	S67°25'14"W
L3	74.92	N89°59'00"W
L4	50.49	S79°27'11"W

○ = Fd. Pk Nail and Aluminum Disc stamped "L.S. 11184"
 □ = Fd. 5/8" Rebar and cap stamped "L.S. 11184"





SITE PLAN



PROJECT DATA

LEGAL DESCRIPTION: TRACT 2-A, BROADSTONE TOWN CENTER, ALBUQUERQUE, NM

ZONING: SU-1 FOR C-2 USES

AREAS:
 TRACT AREA: 81,474 SF
 BUILDING FOOTPRINT: 7,380 SF
 F.A.R.: 0.09

PROPOSED USE:
 RESTAURANT WITH PATIO DINING

PARKING ANALYSIS

MAXIMUM PARKING REQUIRED (15 PER 1,000 SF)	111
PARKING PROVIDED	99
ADA PARKING REQUIRED	4
ADA PARKING PROVIDED	4
BICYCLE PARKING REQUIRED (1 PER 20 VEHICLES)	5
BICYCLE PARKING PROVIDED	7
MOTORCYCLE PARKING REQUIRED	4
MOTORCYCLE PARKING PROVIDED	4

SETBACKS PER BROADSTONE TOWNE CENTER SITE PLAN FOR SUBDIVISION.

PARKING COMPARISON

RESTURANT (294 SEATS)	
1 PARKING SPACE PER 4 SEATS	74

GENERAL NOTES

- SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR BROADSTONE TOWNE CENTER. ONE MONUMENT SIGN IS PROPOSED ALONG TOWNE CENTER LANE FRONTAGE THAT IS LIMITED TO 20 SF SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
- ALL BUILDING-MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6% OF EACH BUILDING ELEVATION FACADE.
- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF SECTION 14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE BROADSTONE TOWNE CENTER SITE PLAN FOR SUBDIVISION DESIGN STANDARDS. MAXIMUM HEIGHT OF FIXTURES SHALL BE 20FT, EXCEPT 16FT WITHIN 100FT OF RESIDENTIAL DEVELOPMENT.
- ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED (SEE ARCHITECTS ELEVATIONS)
- THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE EFFICIENT USE OF ENERGY.
- RAINWATER HARVESTING MEASURES SUCH AS DEPRESSED LANDSCAPE, SHALL BE PROVIDED.
- RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-8 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES PER PNM DESIGN GUIDELINES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DEPARTMENT TO COORDINATE ELECTRICAL SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRICAL SERVICE CONNECTION.

PROJECT SUMMARY

THE PROPOSED PROJECT CONSISTS OF A SINGLE-STORY RESTAURANT WITH AN "INDOOR/OUTDOOR" PATIO SPACE (OPEN TO THE OUTSIDE VIA OPERABLE GARAGE DOORS), AN OUTDOOR PATIO AND ASSOCIATED PARKING, ACCESS AND LANDSCAPING TO BE BUILT IN A SINGLE PHASE. THE SITE IS SITUATED ON TWO TRACTS (TRACTS 2 & 3) OF THE BROADSTONE TOWNE CENTER DEVELOPMENT AND HAVING A LAND AREA OF 1.8703 ACRES (81,470 SF). A PLAT ACTION TO ASSEMBLE THE TRACTS INTO A SINGLE PARCEL WILL ACCOMPANY THE SDP THROUGH THE DEVELOPMENT REVIEW BOARD.

THE SITE PLAN SHALL COMPLY WITH THE APPROVED BROADSTONE TOWNE CENTER SITE DEVELOPMENT PLAN FOR SUBDIVISION, PROJECT NO. 1006243 AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON JAN. 18, 2007.

MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

PEDESTRIAN CONNECTIONS: THE EXISTING PEDESTRIAN CROSS-WALK FROM THE APARTMENTS TO THE NORTH WILL CONNECT TO THE ONSITE PEDESTRIAN ACCESS WALK. PEDESTRIAN ACCESS ALONG TOWNE CENTER LANE IS ENCOURAGED BY EIGHT FOOT WIDE SIDEWALKS ALONG THE NORTHERLY BORDER OF THE SITE.

APD PLANS CHECKING OFFICE
 924-3611
 APPROVED/NOT APPROVED
 ONLY
 10/23/12

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department-(conditional)	Date
Roy Mays	10-24-2012
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

PREPARED FOR: VERDAD REAL ESTATE
 502 NORTH CARROLL AVE
 SOUTHLAKE, TX 76092

PREPARED BY: CONSENSUS PLANNING, INC.
 ISAACSON & ARFMAN, P.A.
 PRANGER GROUP

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 Consulting Engineering Associates
 128 Monroe Street N.E.
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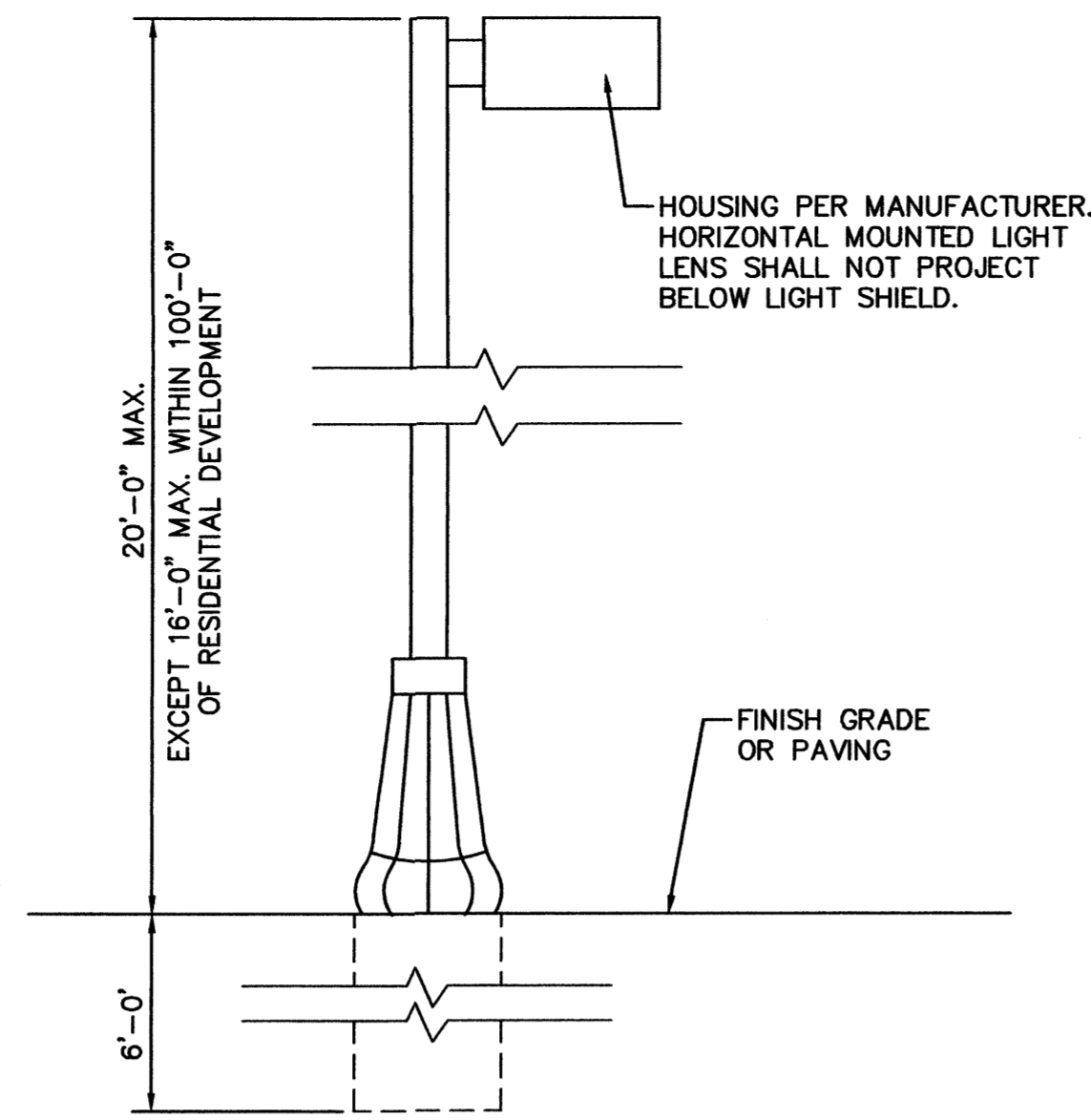
1937 CP-101.dwg Oct 25, 2012

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**BUFFALO WILD WINGS
 BROADSTONE TOWNE CENTER**

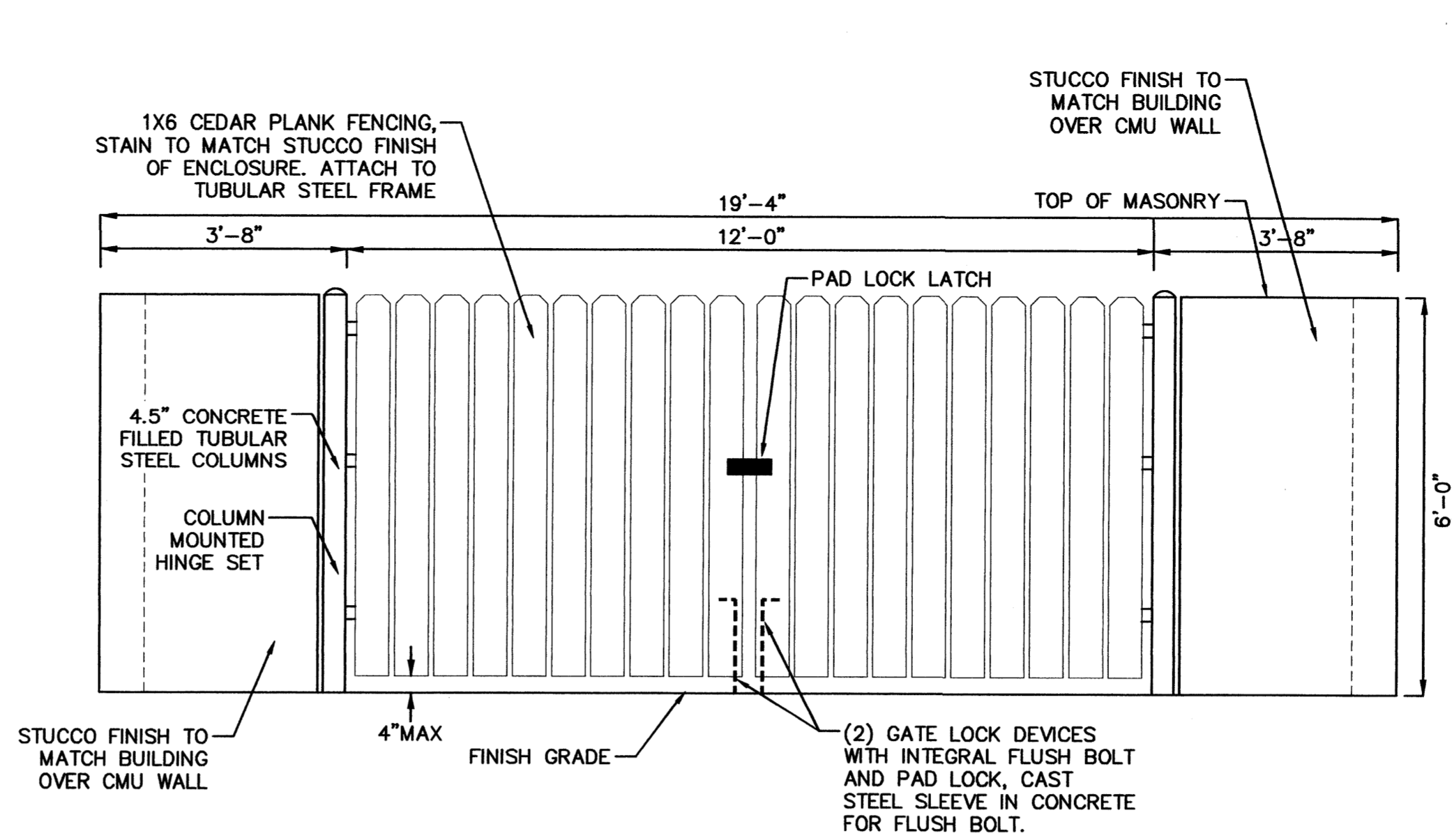
SITE PLAN FOR BUILDING PERMIT

Date:	10/05/12	Job No.:	1937
Drawn By:			C-101
Clad By:			SHEET 1



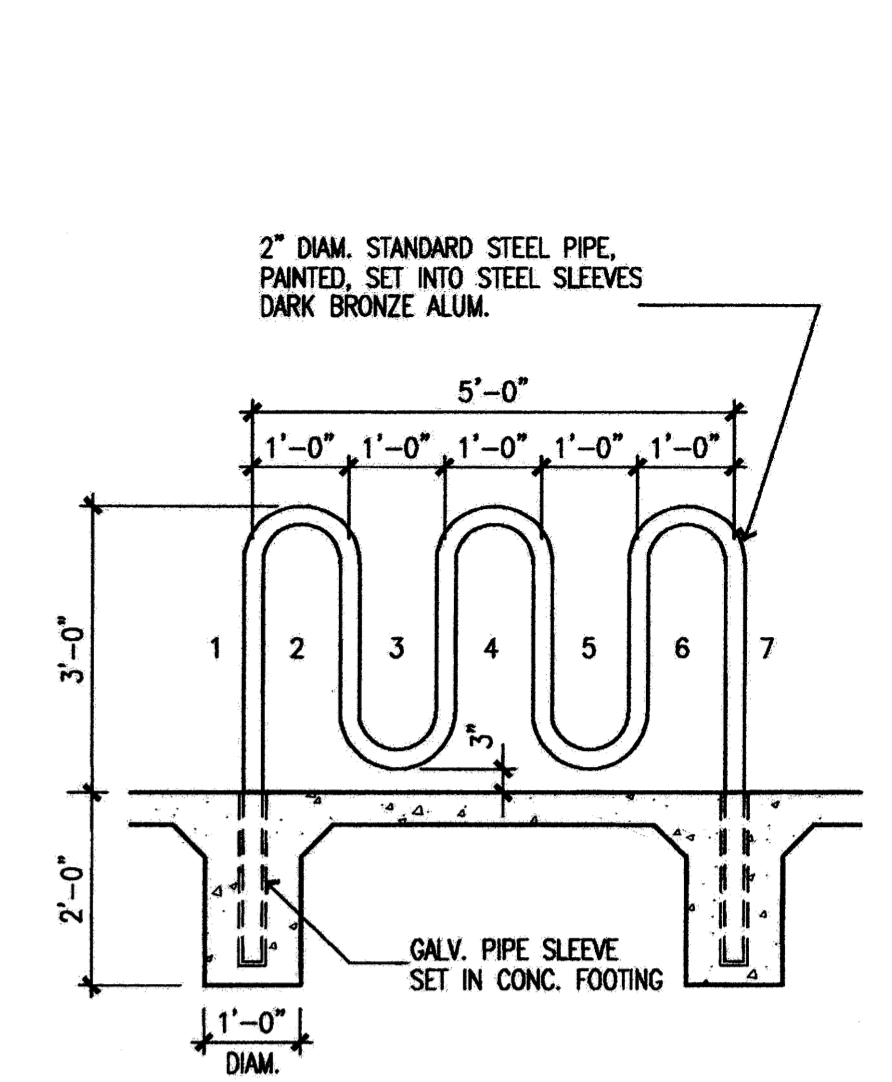
6 LIGHT FIXTURE DETAIL

SCALE: N.T.S.



6 REFUSE ENCLOSURE

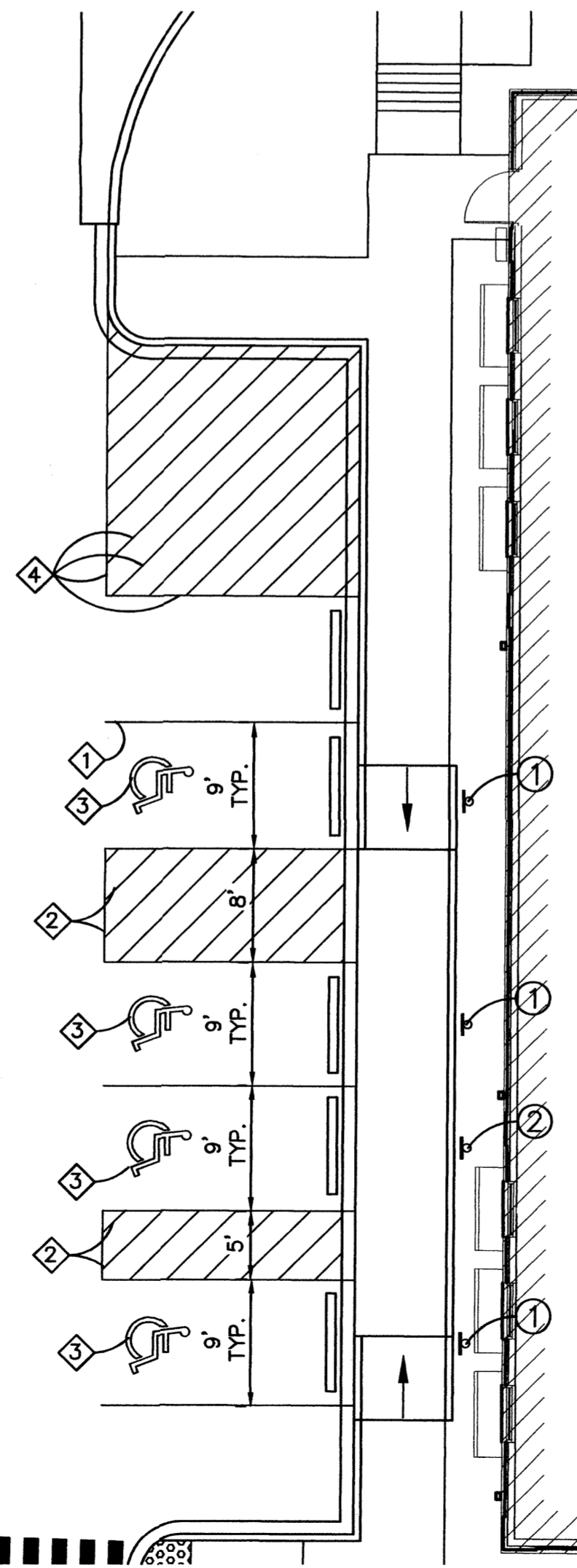
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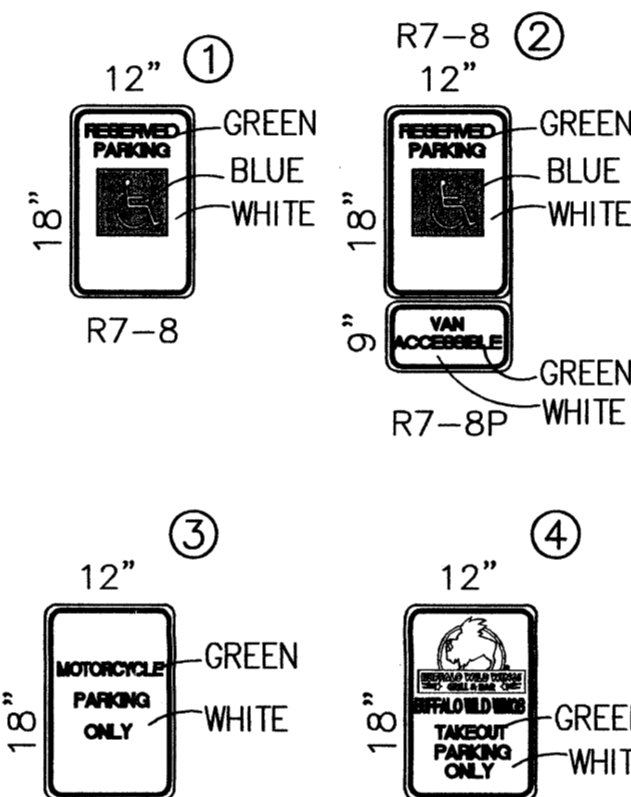
1 BICYCLE RACK DETAIL

SCALE: N.T.S.

SCALE: N.T.S.



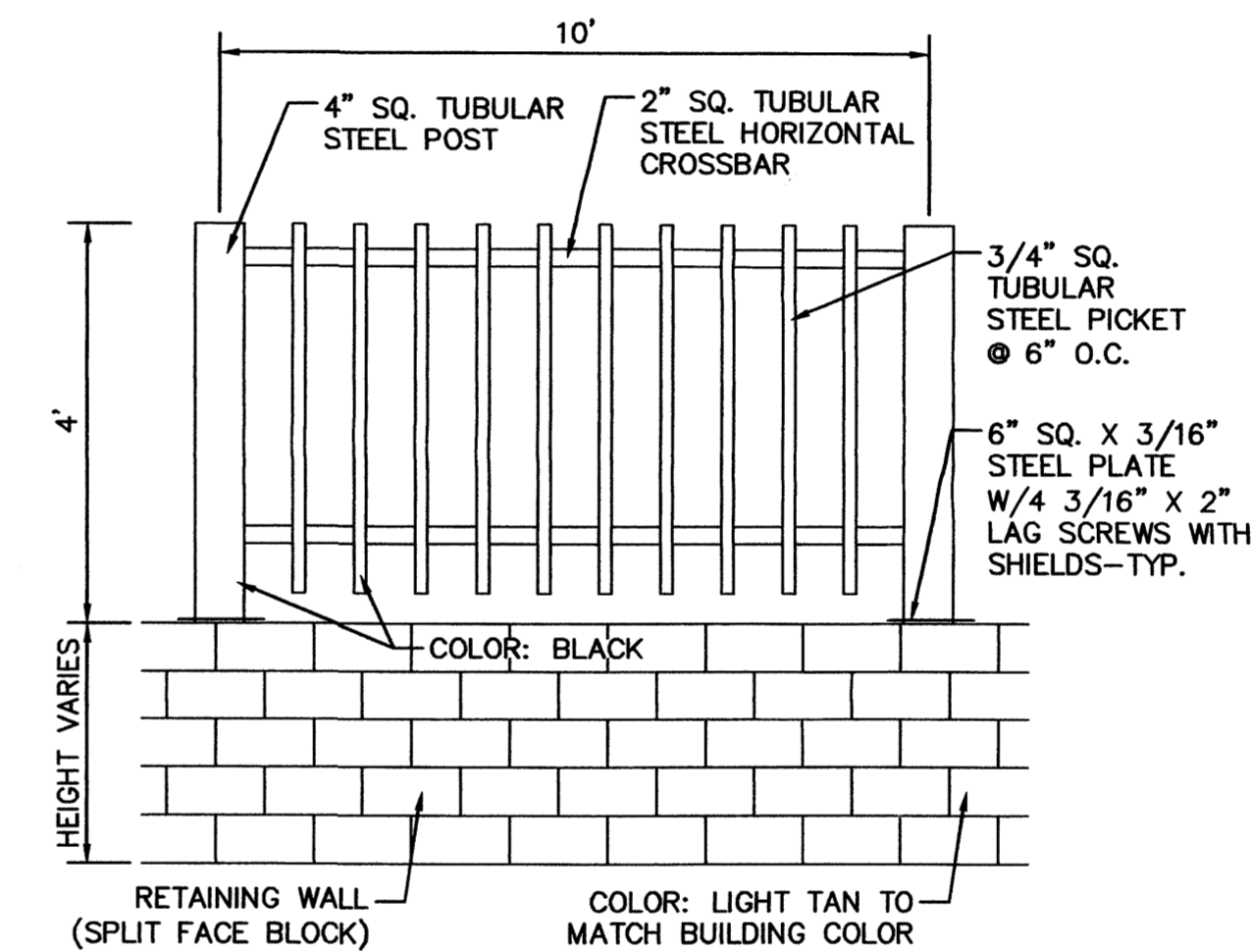
11 STRIPING DETAIL



7 SIGNS

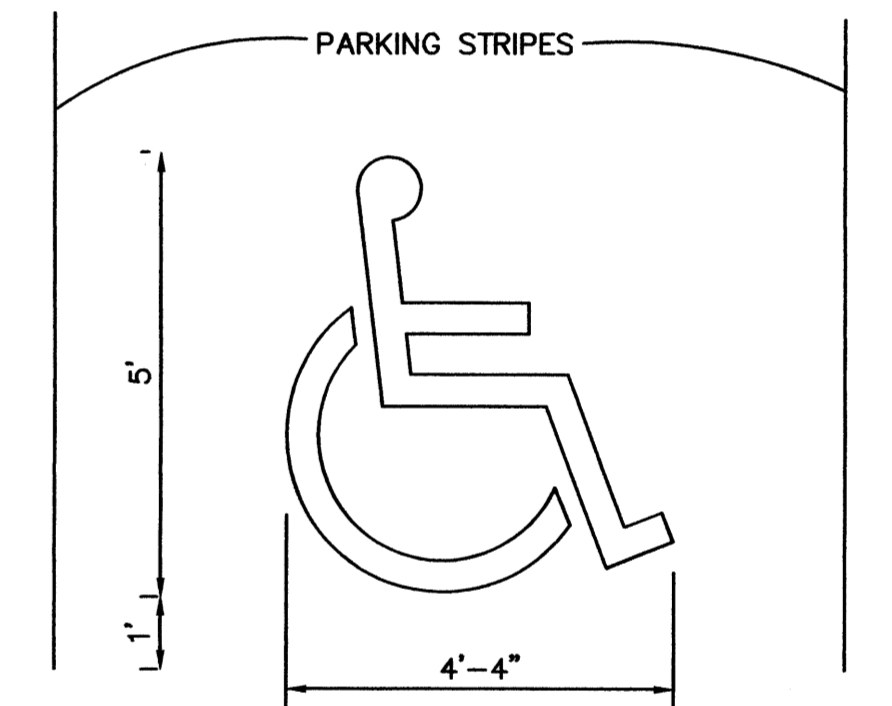
SCALE: N.T.S.

ALL SIGNS SHALL BE INSTALLED ON 2"X2" GALVANIZED STEEL POST 7' FROM GROUND TO BOTTOM OF SIGN VERTICALLY.



4 SAFETY FENCE ON TOP OF RETAINING WALL

SCALE: N.T.S.

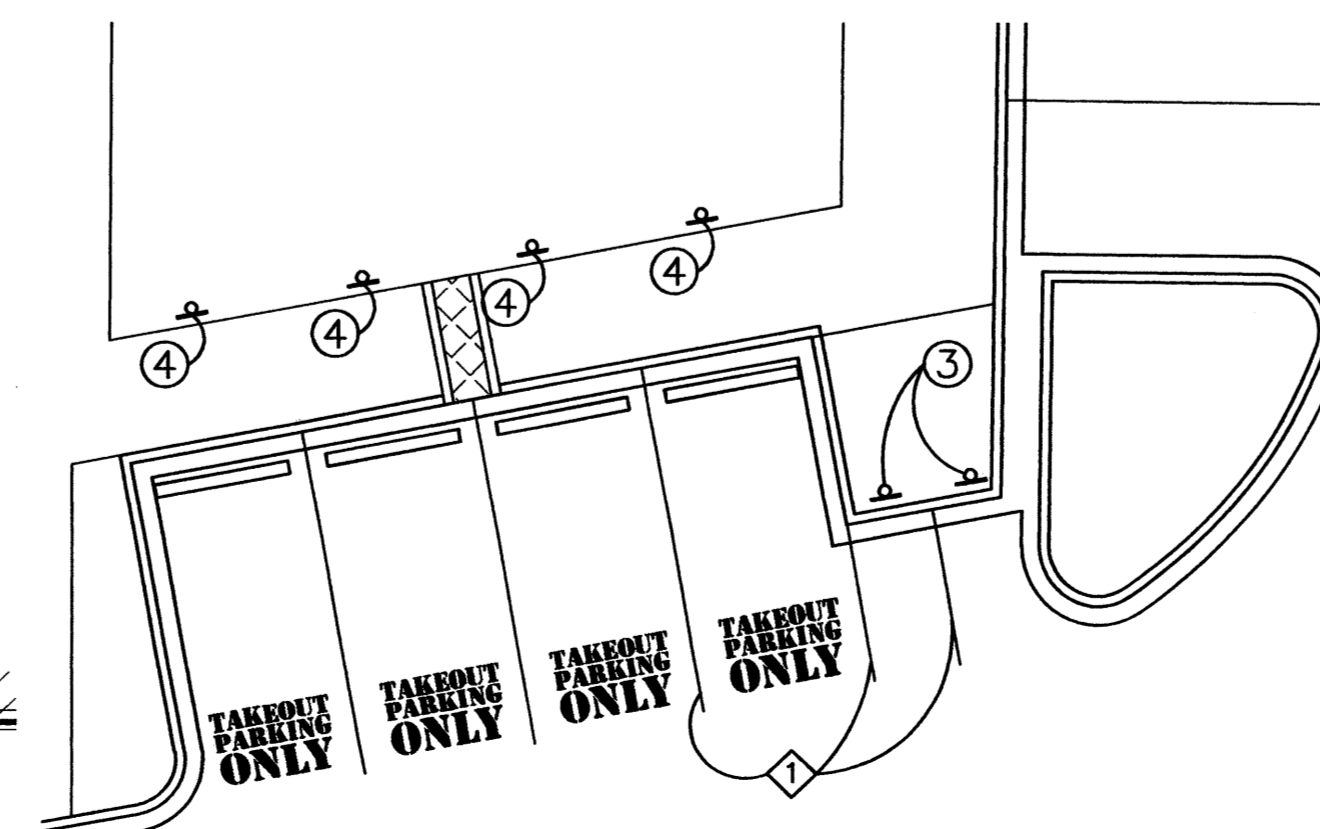


2 ACCESSIBILITY STRIPING DETAIL

SCALE: N.T.S.

KEYED STRIPING NOTES

- REFLECTORIZED PAVEMENT MARKING-- 4" SOLID WHITE STRIPE.
- REFLECTORIZED PAVEMENT MARKING-- 4" SOLID BLUE STRIPE.
- REFLECTORIZED PAVEMENT MARKING-- HANDICAP SYMBOL (DETAIL 2 THIS SHEET).
- REFLECTORIZED PAVEMENT MARKING-- 4" SOLID YELLOW STRIPE @ 3' O.C.



5 ADA RAMP DETAIL

SCALE: 1"=10'

SCALE: 1"=10'

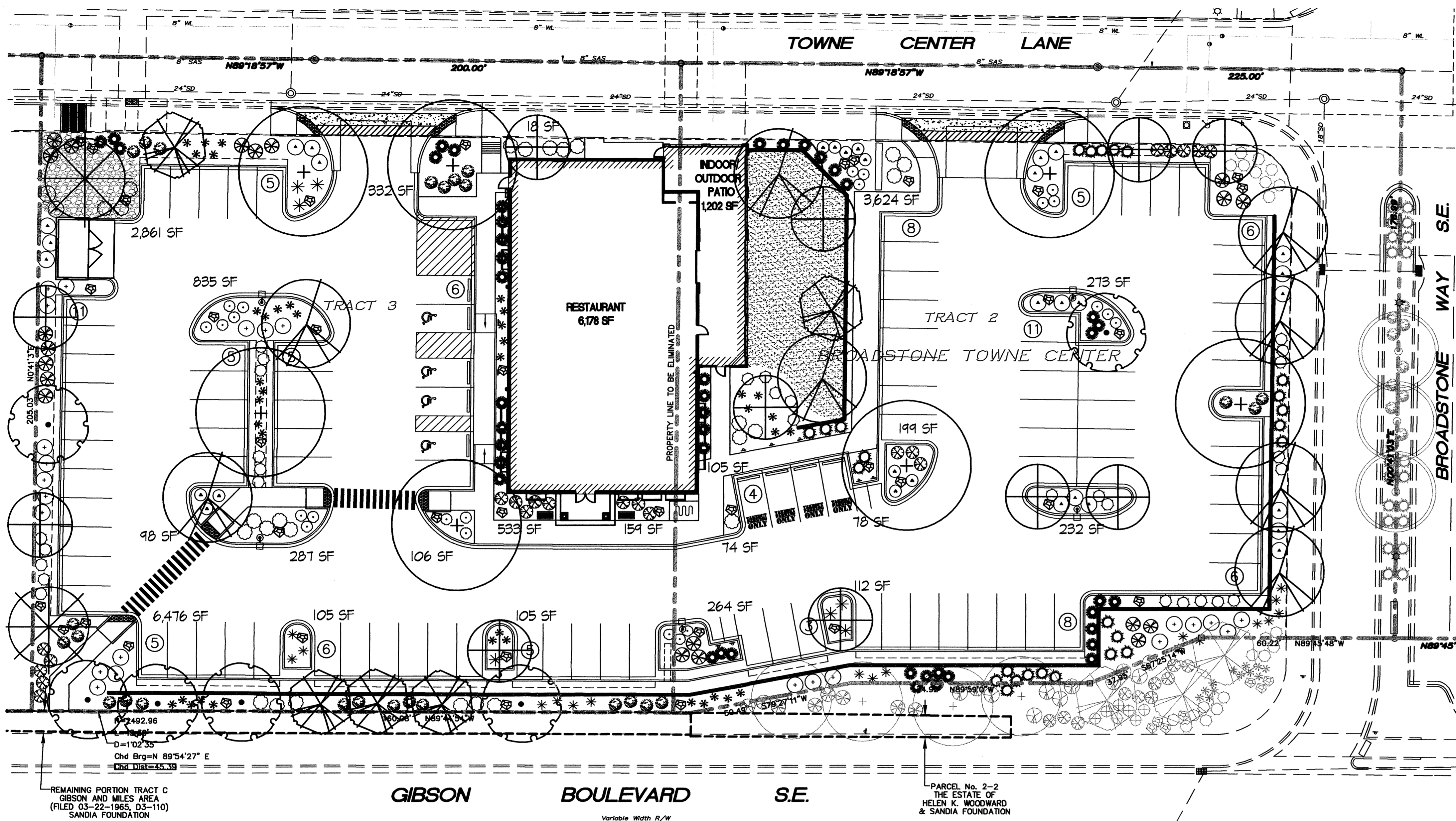
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**BUFFALO WILD WINGS
 BROADSTONE TOWN CENTER**

SITE DETAILS

Date:	No. Revisions:	Date:	Job No.
10/05/12			1937
Drawn By:			C-501
Chk By:			SHEET 2



LANDSCAPE COVERAGE
PLANTING BEDS SHALL HAVE 75% LIVING GROUND COVER AT FULL MATURITY.

LANDSCAPE CALCULATIONS	
SITE AREA (142 AC.)	81,414 SF
BUILDING FOOTPRINT:	- 7,380 SF
NET LOT AREA:	74,034 SF
IMPERVIOUS AREA:	51,218 SF
REQUIRED LANDSCAPE (15%)	11,114 SF
PROVIDED LANDSCAPE	
TOTAL ON SITE PROVIDED:	16,875 SF
PROVIDED ON-SITE LANDSCAPE:	16,875 SF
LESS UNPLANTED PARKING CLEARANCE AREAS - 2,334 SF	
TOTAL PROVIDED LANDSCAPE BEDS	14,541 SF
REQUIRED LIVE VEGETATIVE COVER (75%)	10,422 SF
PROVIDED LIVE VEGETATIVE COVER (75%)	11,231 SF
PROVIDED TURF ON SITE (14% OF TOTAL REQUIRED LANDSCAPE AREA)	2,180 SF

PARKING LOT TREES
BUFFALO WILD WINGS IS PROVIDING 49 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED:	10
PARKING LOT TREES PROVIDED:	25

STREET TREES
GIBSON BOULEVARD FRONTAGE IS 400'. STREET TREE REQUIREMENTS ARE BASED ON A RATE OF ONE TREE PER 30 LINEAR FEET, PER THE SITE PLAN FOR SUBDIVISION. NOTE: SEVEN TREES WERE INSTALLED AT SITE PLAN FOR SUBDIVISION STAGE OF DEVELOPMENT.

STREET TREES REQUIRED:	14
STREET TREES PROVIDED:	14

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/8" SANTA FE BROWN GRAVEL MULCH.

IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE IRRIGATION WILL BE DESIGNED TO CONNECT TO THE EXISTING SYSTEM. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE OWNER.

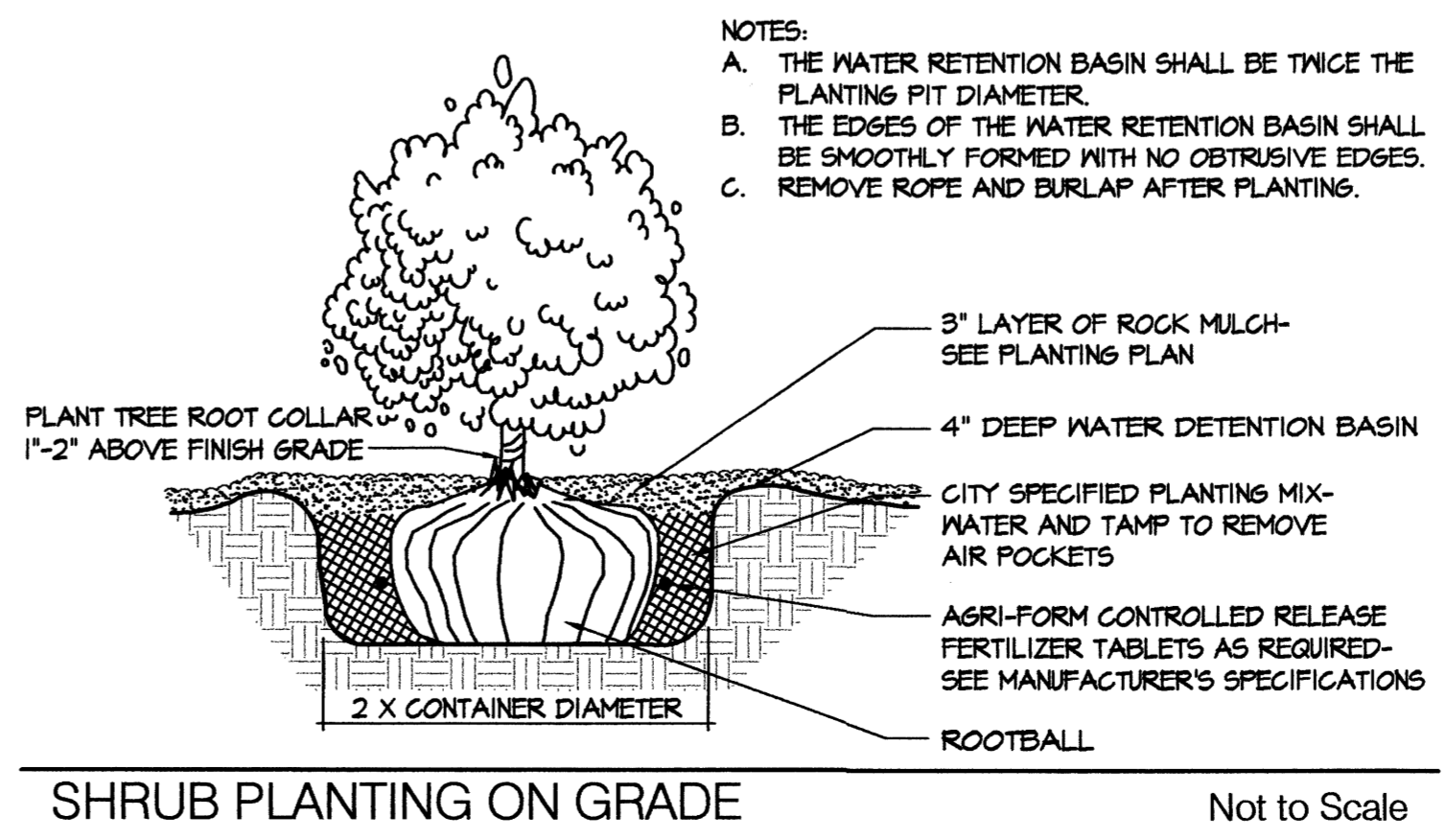
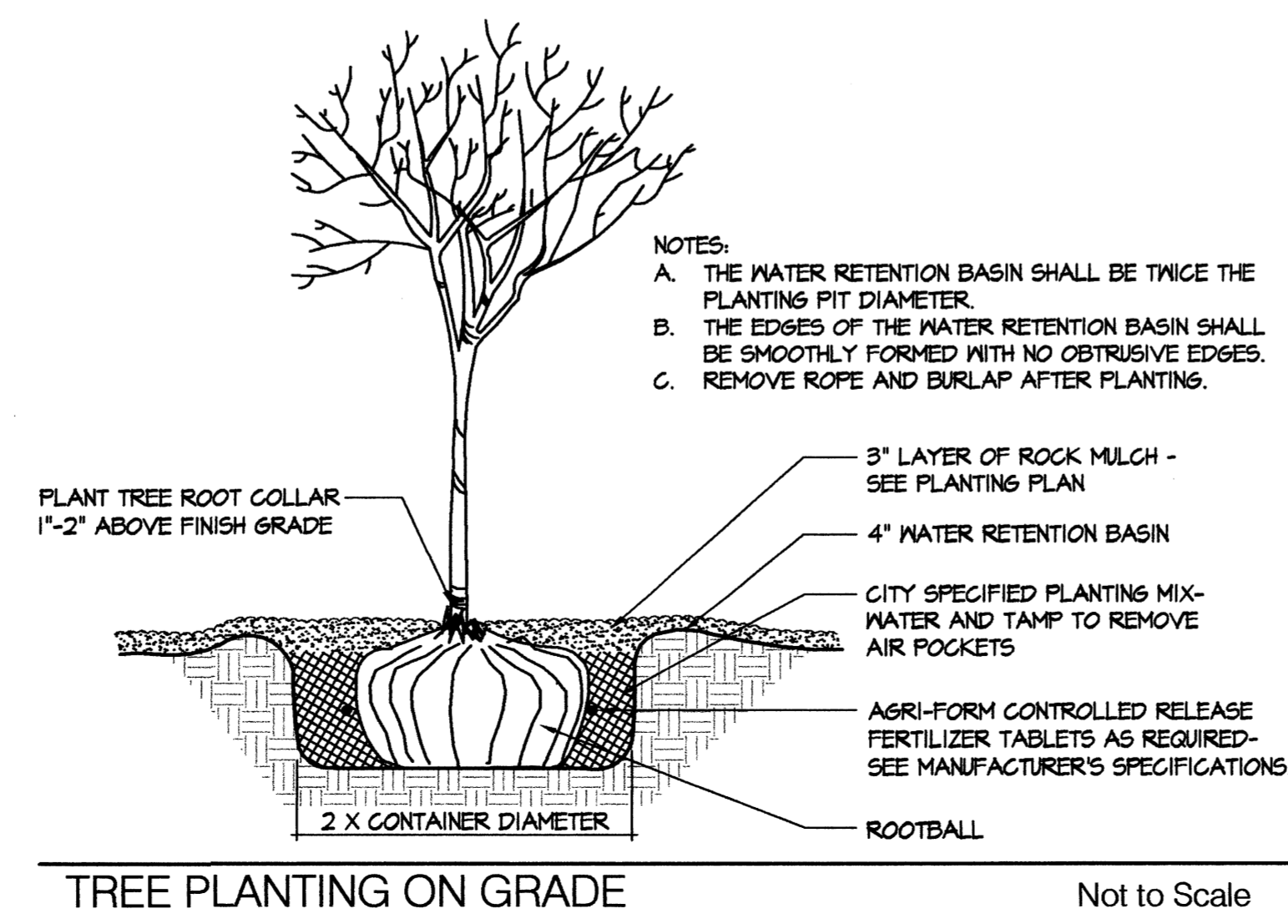
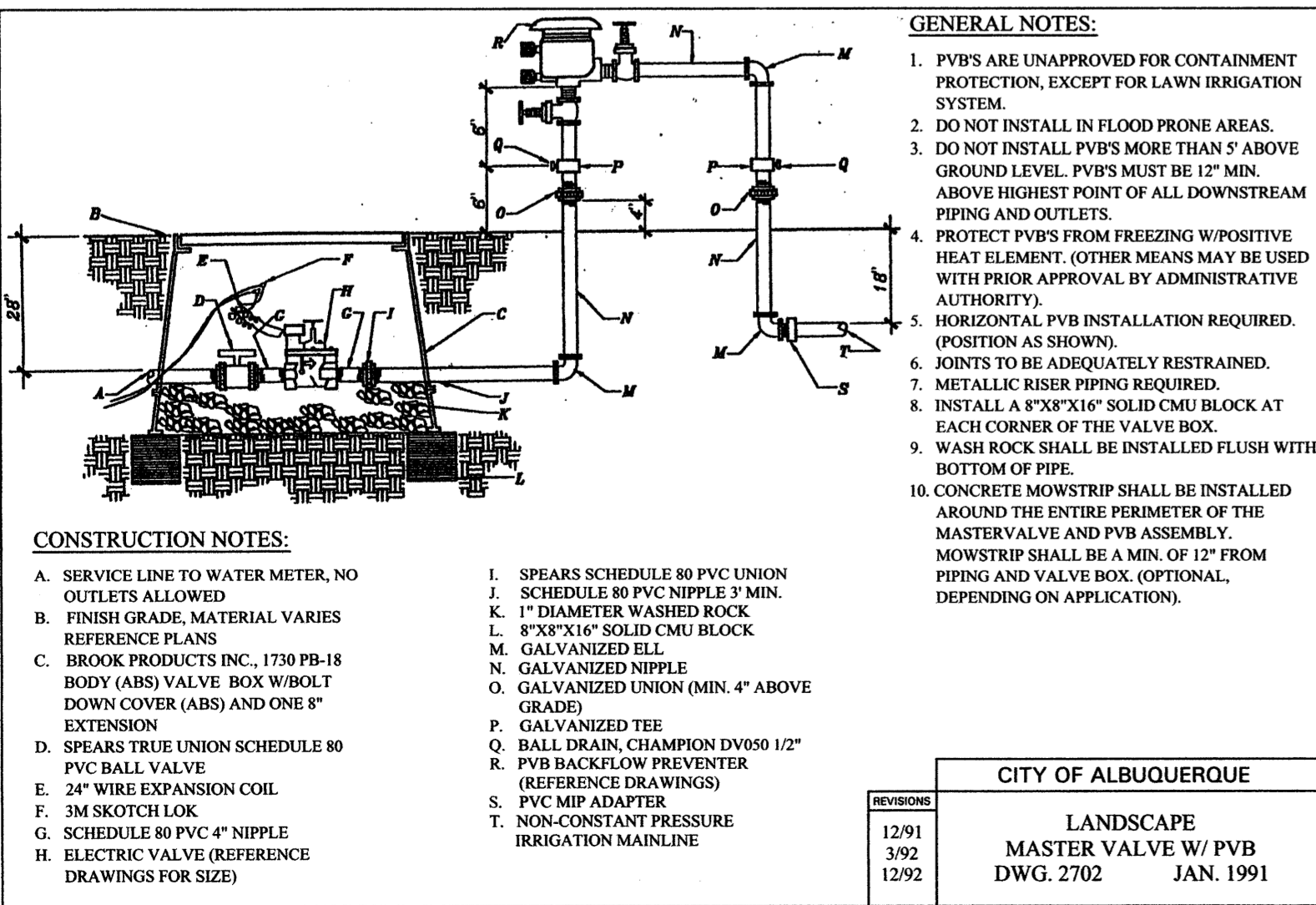
WATER CONSERVATION ORDINANCE COMPLIANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PMM COORDINATION
COORDINATION WITH PMM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LANDSCAPE PALETTE

Qty	Symbol	Botanical Name / Common Name	Installed Size	Mature Size	Water Use
Trees					
5	(Symbol)	Chitalpa tashkentensis 'Pink Dawn'	2" B&B	25' x 25'	Low
7	(Symbol)	Pistacia chinensis Chinese Pistache	2" B&B	60' x 60'	Medium
2	(Symbol)	Pinus nigra Austrian Pine	10" B&B	35' x 25'	Medium
6	(Symbol)	Quercus fusiformis Escarpment Live Oak	2" B&B	25' x 25'	Medium
8	(Symbol)	Robinia x ambigua Purple Robe Locust	2" B&B	40' x 30'	Medium
11	(Symbol)	Vitex agnus-castus Chaste Tree	15 Gal.	20' x 20'	Medium
Shrubs/Groundcovers					
23	(Symbol)	Artemesia X Powis Castle Powis Castle Sage	1 Gal.	24" x 48"	Low +
21	(Symbol)	Caryopteris clandonensis Blue Mist	5 Gal.	48" x 48"	Medium
24	(Symbol)	Chrysothamnus nauseosus Chatsisa	5 Gal.	60" x 60"	Low
20	(Symbol)	Cytisus x 'Lena' Léna's Broom	1 Gal.	36" x 42"	Low +
23	(Symbol)	Ericameria laricifolia Dwarf Turpentine Bush	1 Gal.	36" x 48"	Low +
11	(Symbol)	Erusium linifolium Wallflower Bowles' Mauve	5 Gal.	24" x 36"	Medium
33	(Symbol)	Buddleia 'Lochin' Lavender Butterfly Bush	5 Gal.	48" x 36"	Medium
26	(Symbol)	Raphiolepis indica India Hawthorn	5 Gal.	36" x 48"	Medium
23	(Symbol)	Rhus trilobata Three-leaf Sumac	5 Gal.	24" x 60"	Low +
26	(Symbol)	Rosmarinus officinalis Prostrate Rosemary	5 Gal.	24" x 60"	Low +
45	(Symbol)	Muhlenbergia capillaries 'Regal Mist' Muhly Grass	5 Gal.	36" x 36"	Medium
33	(Symbol)	Nassella tenuissima Threadgrass	1 Gal.	24" x 24"	Low +
25	(Symbol)	Hesperaloe parviflora Red/Yellow Flowering Yucca	1 Gal.	36" x 48"	Low +
2,180 SF	(Symbol)	Park Blend Sod (40% Tall Fescue, 40% Perennial Rye, 20% Kentucky Bluegrass Sod)			
13,984 SF	(Symbol)	Gravel Mulch 3/8" Santa Fe Brown			
711 SF	(Symbol)	Cobble 2-4" Santa Ana Tan			
38	(Symbol)	Moss Rock Boulders (3' average diameter)			



BUFFALO WILD WINGS LANDSCAPE PLAN BROADSTONE TOWNE CENTER

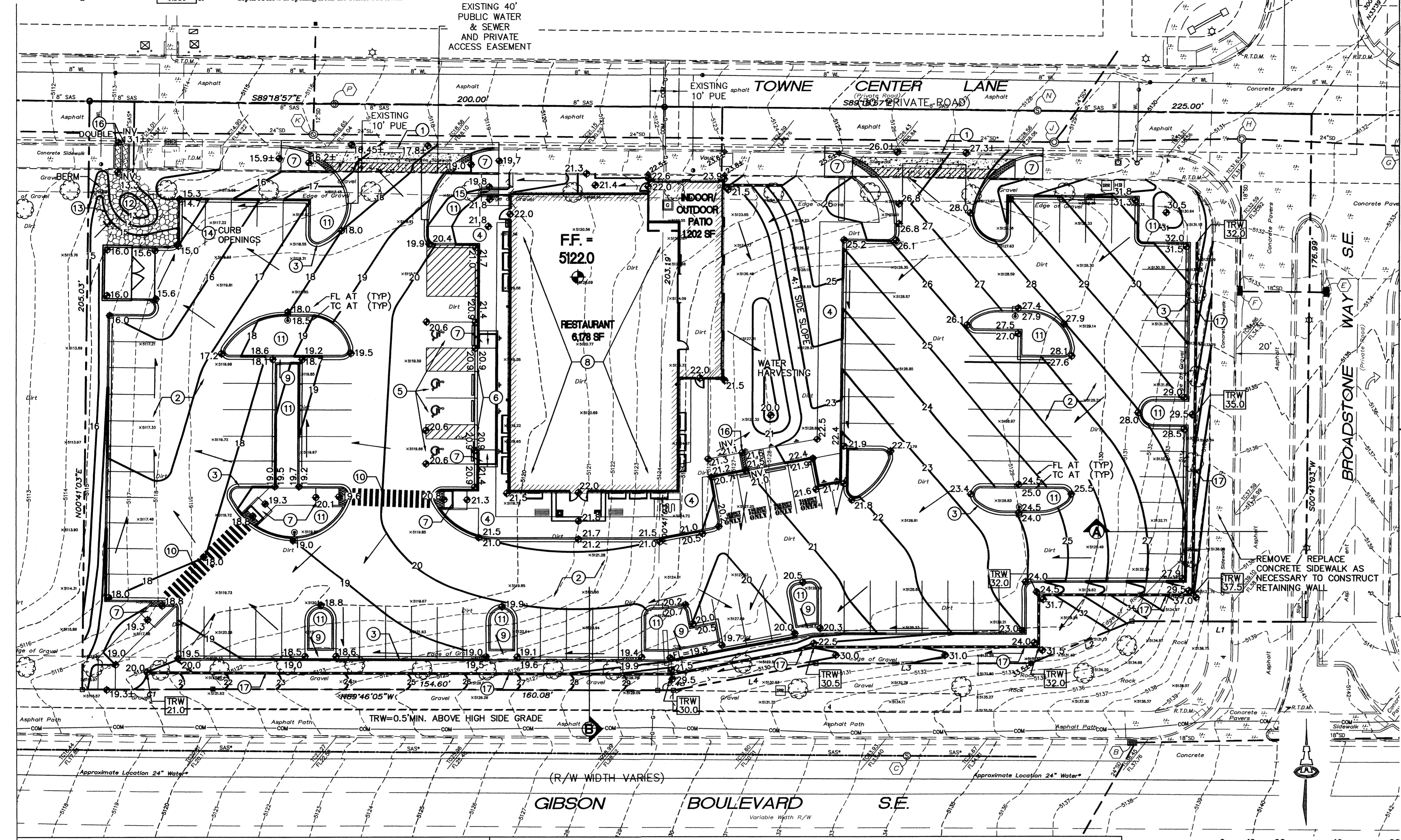
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Suite 120
Southlake, Texas 76092

Prepared by:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

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128 Monroe St. NE
Albuquerque, NM 87108

ORIFICE EQUATION - OVERFLOW SIDEWALK CULVERTS (TWO 2' WIDE X 8" HIGH)

The Orifice Equation is used to calculate the Flow at the opening of a Channel
 $Q = C \cdot A \cdot (2 \cdot g \cdot h)^{0.5}$
 Where
 Q = 3.7 cfs each (indicating that the opening will function at 60% capacity)
 C = 0.6
 A = 1.334 sq.ft.
 g = 32.2 ft/sec²
 h = 0.335 ft depth of flow at opening from the center of culvert

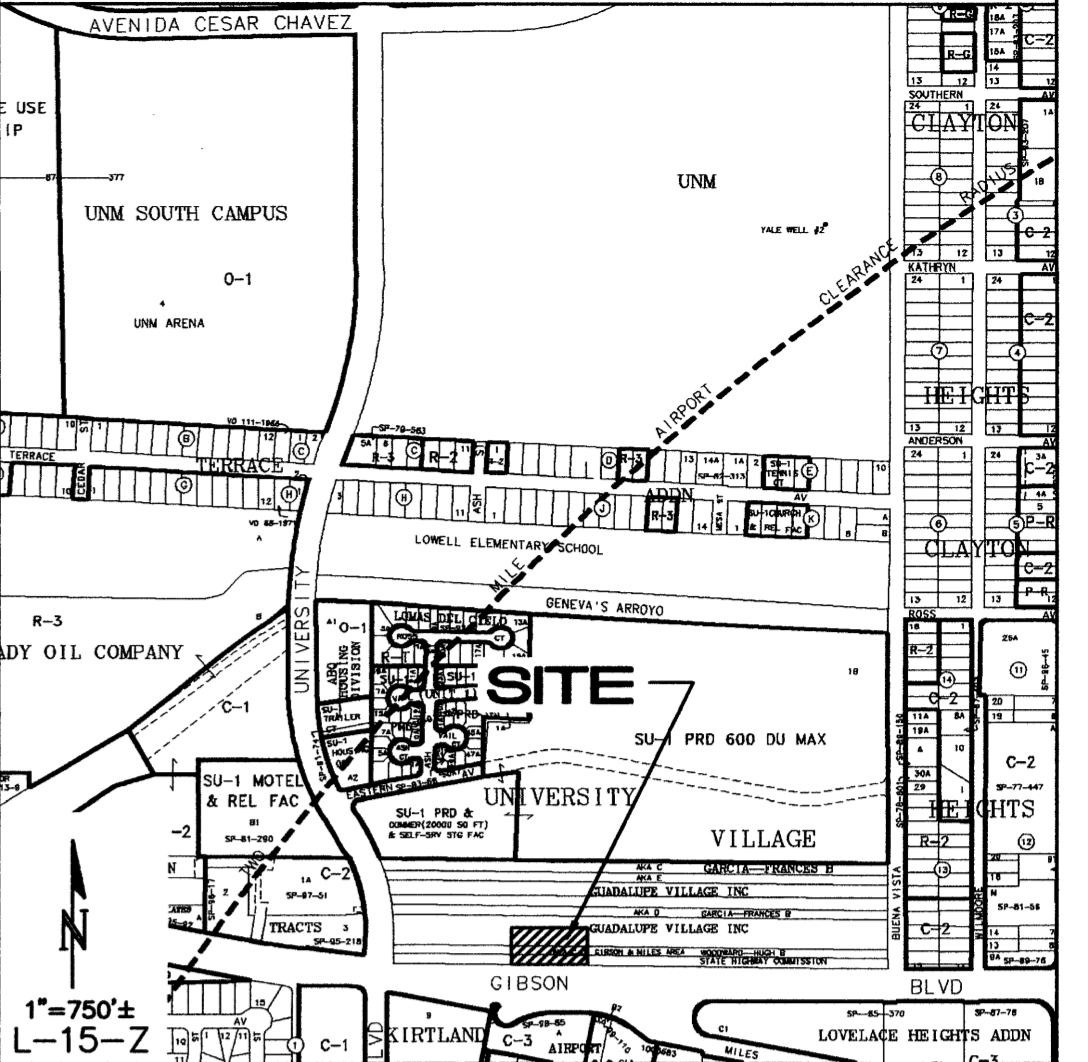


(Central Zone - NAD 83)
 North = 1,429,550.200
 East = 1,529,067.368
 Elevation = 5,164.135 feet (NAVD 1988)
 Data Alpha = -0.07248.65
 Ground to Grid Factor = 0.998671093

LEGEND

- +8.63 EXISTING SPOT ELEVATION
- 5110 EXISTING CONTOUR
- 54.5 PROPOSED SPOT ELEVATION
- 55 PROPOSED CONTOUR
- FL FLOW LINE
- FLOW DIRECTION ARROW
- FRACTURED FACE ROCK EROSION CONTROL
- F.F. FINISH FLOOR ELEVATION
- RETAINING WALL
- TRW XX.X TOP OF RETAINING WALL ELEVATION
- PEDESTRIAN CROSS WALK
- 3' WIDE ADA PATH (2% CROSS SLOPE)

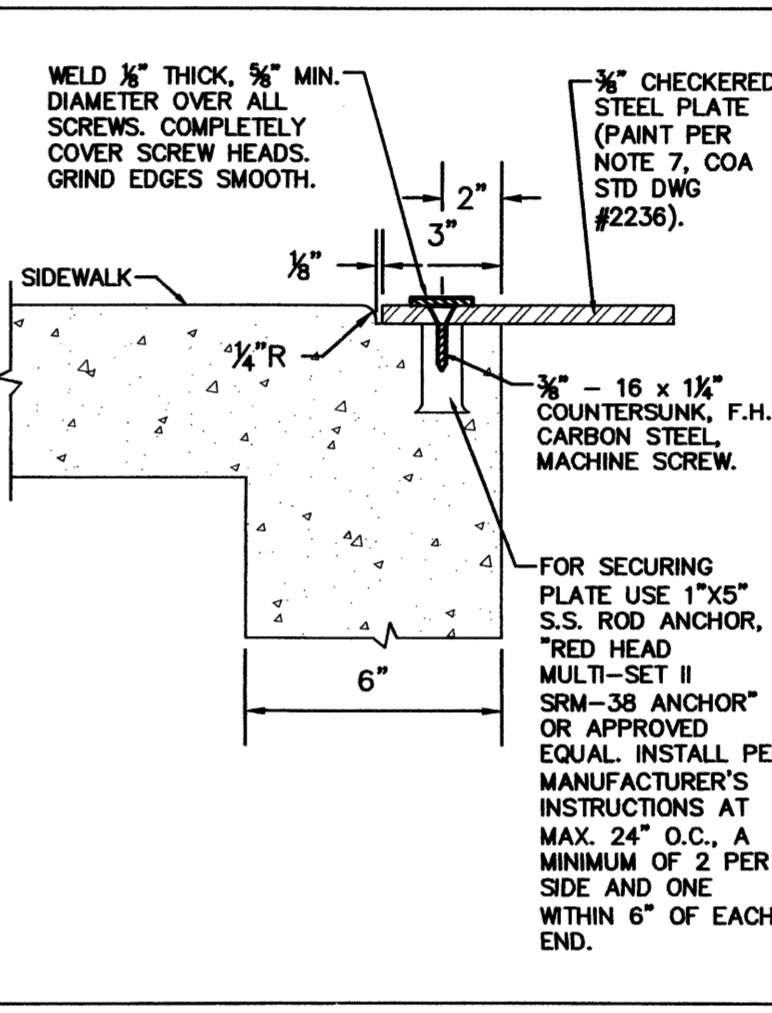
VICINITY MAP



KEYED NOTES

1. CONSTRUCT NEW PRIVATE ENTRANCE DRIVE WITH CONCRETE VALLEY GUTTER AND HANDICAP RAMPS EACH SIDE PER C.O.A. STD. DWGS. 2526 AND 2441. SAWCUT EXISTING AS REQUIRED TO PROVIDE CLEAN BONDING EDGE. MATCH EXISTING TOP OF WALK / ASPHALT / CONCRETE CURB AND GUTTER.
2. CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PAVEMENT TYPE, EXTENTS, SECTIONS, LAYOUT, ETC. NOTE: SPOT ELEVATIONS WITHIN PAVED AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
3. CONSTRUCT CURB AND GUTTER THIS AREA. SEE ARCHITECTURAL FOR SITE DETAILS.
4. CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR SITE DETAILS.
5. SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
6. TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA.
7. CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION AND DETAILS.
8. ALL ROOF DISCHARGE TO BE DISCHARGED DIRECTLY ONTO SURFACE ALONG EAST, SOUTH AND WEST SIDES OF BUILDING. SEE ARCHITECTURAL AND PLUMBING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION WITHIN 5' OF BUILDING.
9. PROVIDE 24" WIDE (BOTTOM WIDTH) 'U' SHAPED DRAINAGE CHANNEL THROUGH PARKING ISLAND AS SHOWN TO PASS FLOW. MINIMUM SLOPE = 0.5%.
10. PEDESTRIAN ACCESS TO ADA STANDARDS. MAX. SLOPE = 5%. MAX. CROSS-SLOPE = 2%.
11. PROVIDE SHALLOW DEPRESSION (4" TO 6" DEEP) WITHIN LANDSCAPING THIS AREA TO CAPTURE STORMWATER (TYPICAL FOR ALL LANDSCAPED AREAS EXCEPT WITHIN 10' OF BUILDING).
12. CONSTRUCT WATER HARVESTING BASIN TO COLLECT SITE DISCHARGE. UTILIZE FOR LANDSCAPING AND RELEASE EXCESS TO STREET. PROVIDE EROSION PROTECTION ON ALL SLOPES AND BERMS TO MAINTAIN BASIN DEFINITION.
13. PROVIDE FRACTURED FACE ROCK EROSION PROTECTION (SEE GENERAL NOTE H.) ALL AREAS EXCEEDING 3:1 SLOPE.
14. PROVIDE 18" WIDE CURB OPENINGS (FOUR TOTAL) WITHIN CURB AS SHOWN TO PASS SITE STORMWATER.
15. CONSTRUCT STEPS TO ACHIEVE REQUIRED GRADE DIFFERENCE. SEE ARCHITECTURAL FOR DETAILS INCLUDING RAILING.
16. CONSTRUCT 2' WIDE COVERED SIDEWALK CULVERT (DOUBLE WHERE SHOWN) PER C.O.A. STD. DWG. 2236.
17. CONSTRUCT SITE RETAINING WALL (MAX. RETAINING = 7.5') TO ACHIEVE GRADE TRANSITION SHOWN. DESIGN BY OTHERS.

SIDEWALK CULVERT TACK WELD



GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- B. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- C. UNLESS OTHERWISE NOTED, MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1%.
- D. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- E. THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB 3/4 ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- F. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- G. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS TO EXISTING SHALL BE SMOOTH.
- H. ALL FRACTURED FACE ROCK EROSION PROTECTION (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.).
- I. OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

PROJECT DATA

Legal: Tracts 2 and 3, Broadstone Town Center, Albuquerque, New Mexico

Zone map: L-15

Site Area: 81,474 sf (1.8704 Acres)

Flood zone: Zone X (outside 500-year flood zone) per FIRM Map #35001C0342G

Offsite flow: The property is isolated from off-site flow with the exception of a small landscape strip at the southeast end of the property. Minor flow from this area will continue to be accepted into the site to follow historic flowpath.

Existing conditions: The property, approximately 1.87 acres, is an undeveloped commercial property located in Albuquerque east of the intersection of Gibson Blvd. and University SE. The site is bound to the east and north by Town Center access roads, to the south by Gibson Blvd. SE and to the west by undeveloped commercial property. The property slopes to the northwest at approximately 5.8%.

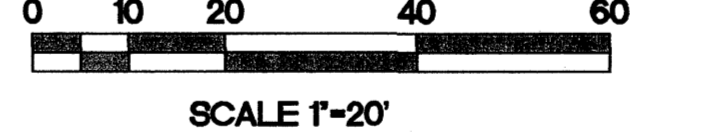
Existing conditions: Currently, undeveloped flow drains as sheetflow to the northwest and passes to Towne Center Lane. Flow is then collected within existing storm drain inlets and passed to the existing public storm drain system within Towne Center Lane.

Proposed conditions: The proposed improvements consist of a restaurant building and outdoor patio area with associated paved parking and landscaping. Retaining walls will be required along the east and south sides of the property to achieve parking grades.

Per the master drainage plan for the Towne Center prepared by High Mesa Consulting Group and per a pre-design meeting with Curtis Cherne dated 07-13-12 (COA Drainage File: 115/d055), Tracts 2 and 3 should drain to Towne Center Lane.

The proposed development will route stormwater through the proposed paved parking lot to free discharge to Towne Center Lane via the northwest access drive.

Landscaped parking islands will be depressed where possible to capture stormwater.



CALCULATIONS: BUFFALO WILD WINGS : JULY 25, 2012
 Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE			
AREA OF SITE:	81474 SF	= 1.870	
100-year, 6-hour			
DEVELOPED FLOWS:			
	Treatment SF	%	PRECIP. ZONE 2
Area A	0	0%	E _A = 0.53
Area B	8147	10%	E _B = 0.78
Area C	8147	10%	E _C = 1.13
Area D	65179	80%	E _D = 2.12
Total Area	81474	100%	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
 Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$
 Developed E = 1.89 in.

On-Site Volume of Runoff: V₃₆₀ = $\frac{E^* A}{12}$
 Developed V₃₆₀ = 12812 CF

On-Site Peak Discharge Rate: Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD} / 43,560
 For Precipitation Zone 2
 Q_{pA} = 1.56 Q_{pB} = 3.14
 Q_{pC} = 2.28 Q_{pD} = 4.70
 Developed Q_p = 8.0 CFS

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1937 CG-101.dwg Oct 22, 2012

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BUFFALO WILD WINGS BROADSTONE TOWN CENTER

GRADING AND DRAINAGE PLAN

Date:	10/05/12	No. Revisions:	0	Date:		Job No.:	1937
Drawn By:	BJB	Checked By:		Scale:		Sheet:	CG-101
Old By:	FCA	Reviewed By:		Project:		Sheet:	SHEET 4

GENERAL NOTES

- A. PUBLIC WATER LINE AND SANITARY SEWER EXISTING WITHIN A FORTY (40) FOOT WIDE PUBLIC WATER AND SANITARY SEWER EASEMENT WITH THE ADJACENT PRIVATE ROADWAY TO THE NORTH, TOWNE CENTER LANE, WERE BUILT PER THE BROADSTONE TOWNE CENTER PUBLIC INFRASTRUCTURE IMPROVEMENT PLANS (CPN 584684)
- B. FIRE LINE EXTENSION AND SANITARY SEWER LINE CONNECTION WILL UTILIZE EXISTING STUBS FOR TRACT 3.
- C. THE EXISTING 1" WATER SERVICE LINE IS UNDERSIZED TO HANDLE THE DOMESTIC WATER SUPPLY DEMAND FOR THE BUILDING. A NEW 2" WATER SERVICE LINE, METER BOX AND METER SETTING WILL BE INSTALLED.
- D. GAS AND ELECTRIC SERVICE CONNECTIONS ARE AVAILABLE AND WILL BE COORDINATED WITH THE UTILITY COMPANIES.

KEYED NOTES

- 1. EXISTING PUBLIC 8" WL (FIRE PROTECTION LINE).
- 2. 8" PUBLIC GATE VALVE.
- 3. EXISTING 1" WATER SERVICE & METER BOX W/ METER SETTING (NO METER) FOR SITE IRRIGATION.
- 4. EXISTING FIRE HYDRANT ON 6" WL.
- 5. PRIVATE POST INDICATOR VALVE & ELECTRICAL CONNECTION TO FIRE ALARM PANEL.
- 6. REMOVE & REPLACE ASPHALT PAVING (11 SY) & 6" PCC CURB & GUTTER.
- 7. NEW 2" WATER SERVICE LINE PER COA STD.
- 8. 2" REDUCED PRESSURE ZONE ASSEMBLY (FEBCO SERIES 825Y) AND HOT BOX ENCLOSURE (HB1). 2" WATER SERVICE LINE TO BUILDING W/ ALL FITTING. (CONNECT PER MECH PLAN)
- 9. EXISTING 6" SANITARY SEWER SERVICE INV. AT EASEMENT LINE = 5105.2.
- 10. REMOVE & REPLACE 4 SY PCC SIDEWALK.
- 11. DOUBLE 4" CLEAN OUT RISER ON 6" SAS SERVICE LINE.
- 12. GREASE TRAP (SEE MECH. PLANS). 1500 GAL. MIN.
- 13. SAMPLE WELL FLUSH WITH GUTTER / PAVING. (SEE MECH. PLANS).
- 14. 6" SANITARY SEWER SERVICE LINE FROM GREASE TRAP.
- 15. 4" SANITARY SEWER LINE, 6"x4" WYE CONNECTION.
- 16. 3" LOCAL VENT.
- 17. NEW FIRE HYDRANT ON EXISTING 8" WATERLINE STUB.
- 18. 4" REFUSE ENCLOSURE SANITARY SEWER LINE WITH IN-LINE SAND FILTER.

LEGEND

- WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- WATER LINE W/ FITTING
- SAS SERVICE LINE

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isaifca.com

1937 CU-101.dwg Oct 22,2012

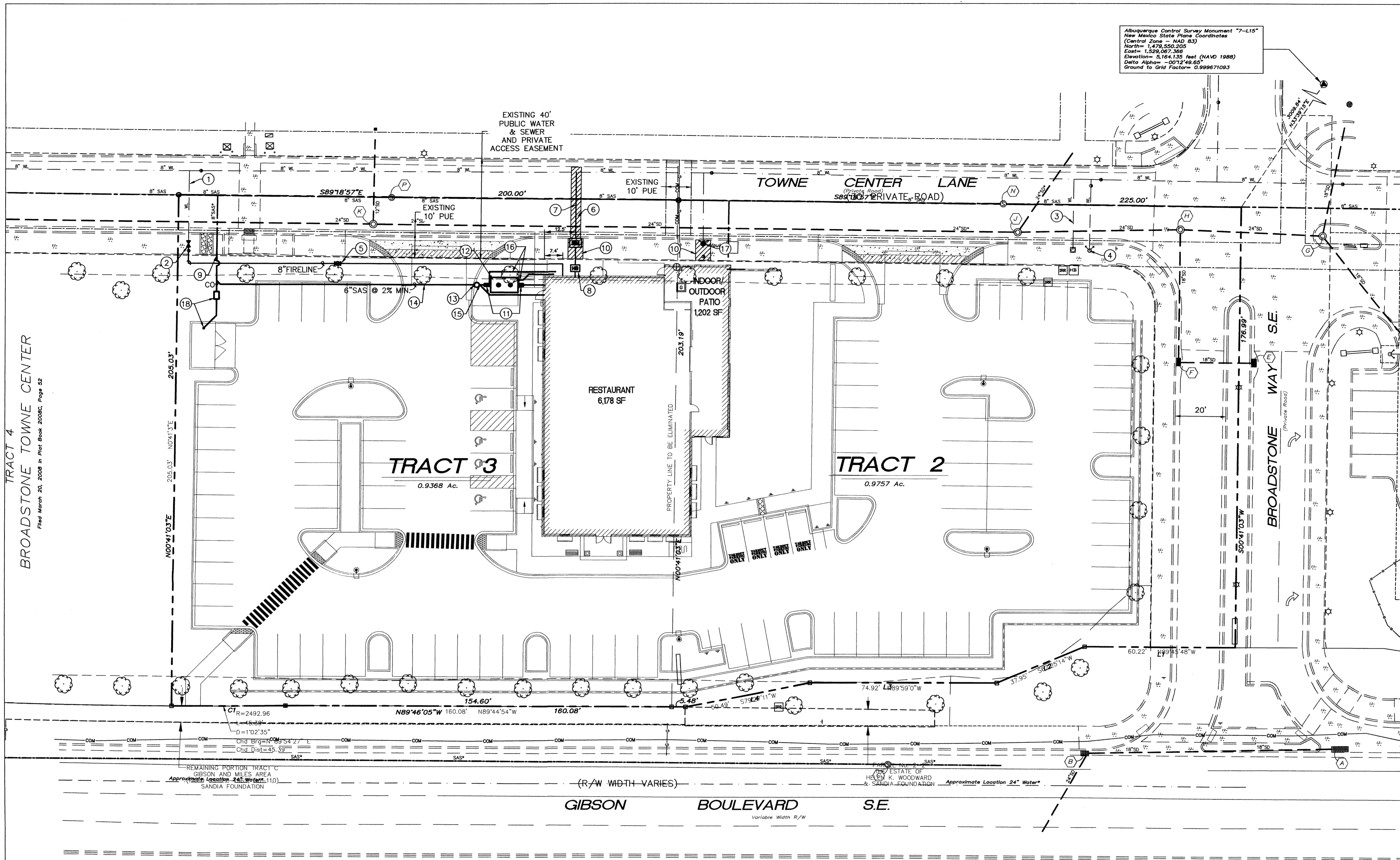
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BUFFALO WILD WINGS
BROADSTONE TOWN CENTER

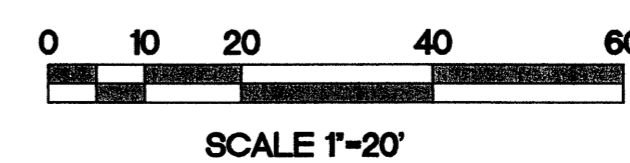
CONCEPTUAL UTILITY PLAN

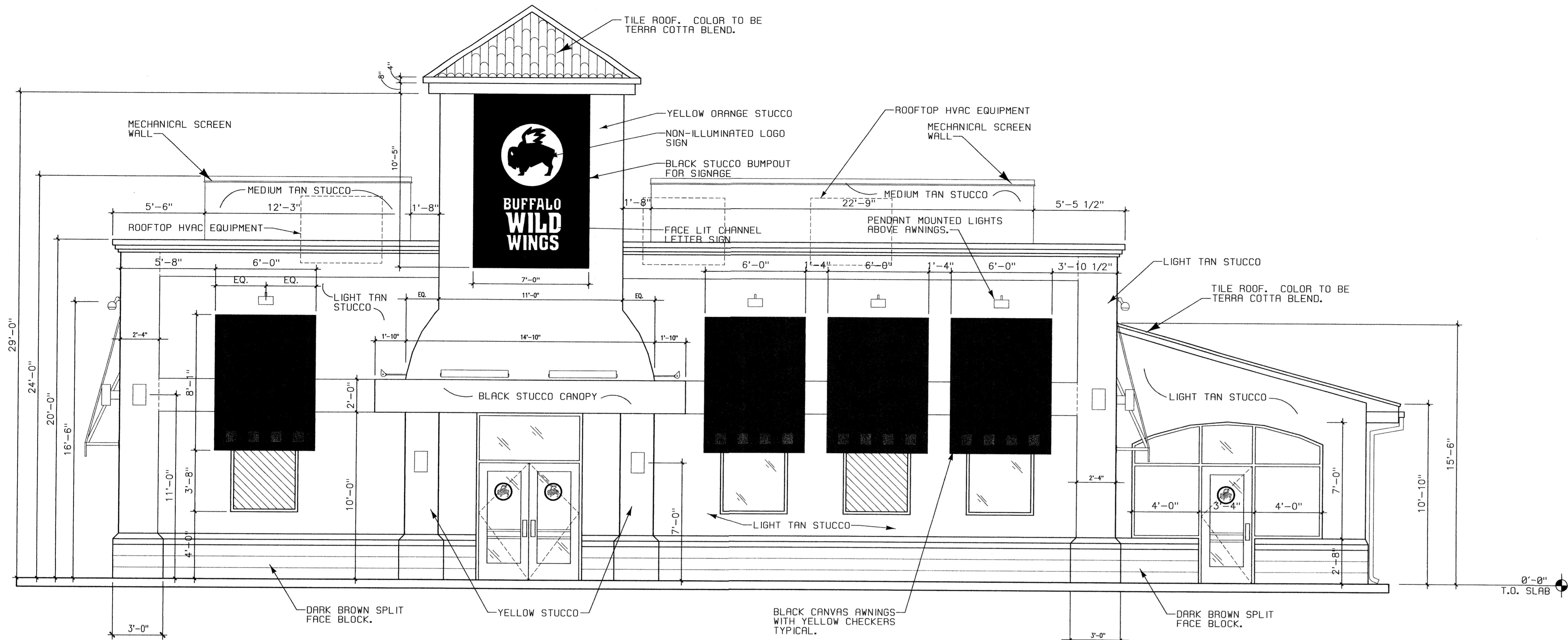
Date:	No.:	Revision:	Date:	Job No.:
10/05/12				1937
Drawn By:	JTS			CU-101
Chk By:	FCA			SHEET 5

Albuquerque Control Survey Monument "7-115"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83)
 North = 1,479,550.205
 East = 1,529,067.369
 Elevation = 5,164.135 feet (NAVD 1988)
 Delta Alpha = -007'2"48.85"
 Ground to Grid Factor = 0.999671093

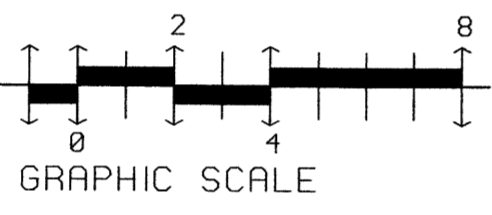


TRACT 4
 BROADSTONE TOWNE CENTER
 Filed March 20, 2008 in Plot Book 2008C, Page 52





4D SOUTH ELEVATION
A100 SCALE 1/4" = 1'-0"



BUILDING SIGN AREA SUMMARY	
SOUTH ELEVATION:	
7'-0" X 10'-5" BUFFALO WILD WINGS LOGO/LETTER SIGN	= 73 SF
ALLOWABLE	= 79.7 SF
6% OF FACADE AREA (1,329 SF)	= 79.7 SF
EAST ELEVATION:	
1'-10" X 23'-2" BUFFALO WILD WINGS CHANNEL LETTER SIGN	= 42.5 SF
ALLOWABLE	= 125.5 SF
6% OF FACADE AREA (2,092 SF)	= 125.5 SF

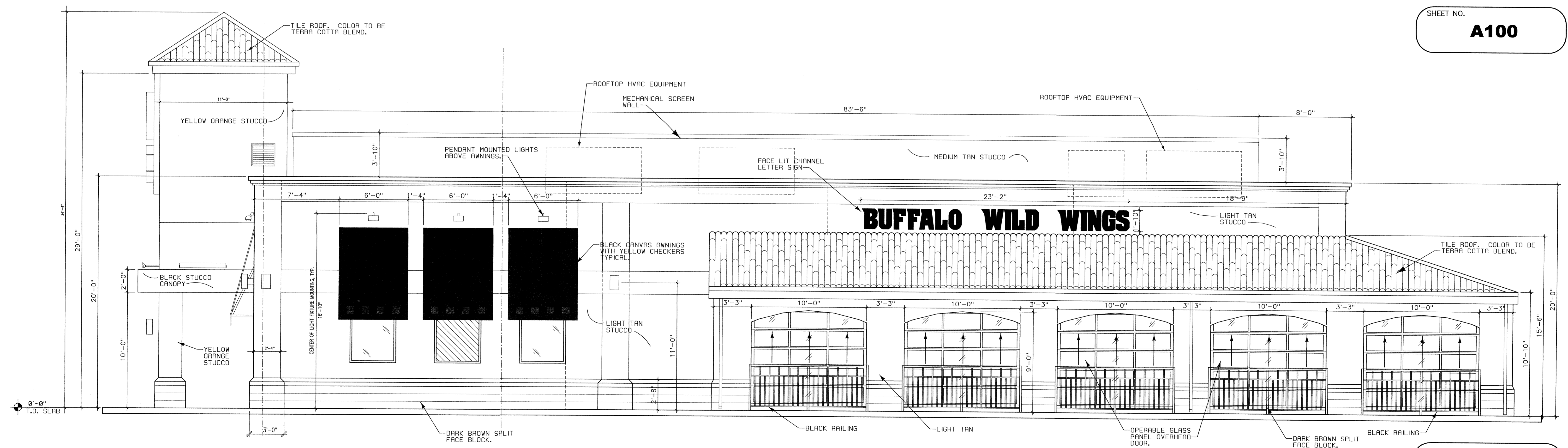


CERTIFICATION:

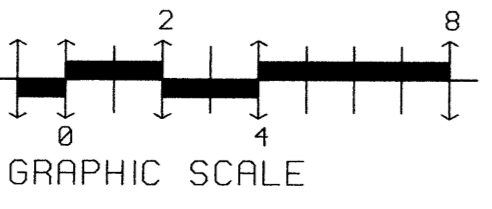
A New Facility For:
 **BUFFALO WILD WINGS**
 BUFFALO WILD WINGS Franchisee:
 BRIAN PADILLA
 BROADSTONE TOWNE CENTER ALBUQUERQUE, NEW MEXICO

DATE: **7-20-2012** PROJECT NO.: **5313**

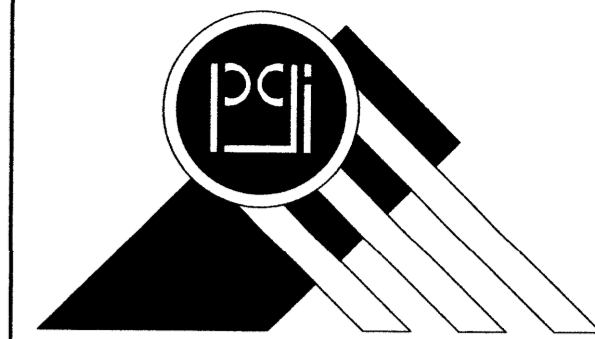
SHEET NO.: **A100**



3D EAST ELEVATION
A100 SCALE 1/4" = 1'-0"



SHEET TITLE
Exterior Elevation and Details



PRANGER GROUP INC.
 ARCHITECTURE • ENGINEERING
 3940 N. CLINTON ST. FT. WAYNE, IN 46807
 PHONE 260.471.4901 FAX 260.484.6068

CERTIFICATION:

A New Facility For:

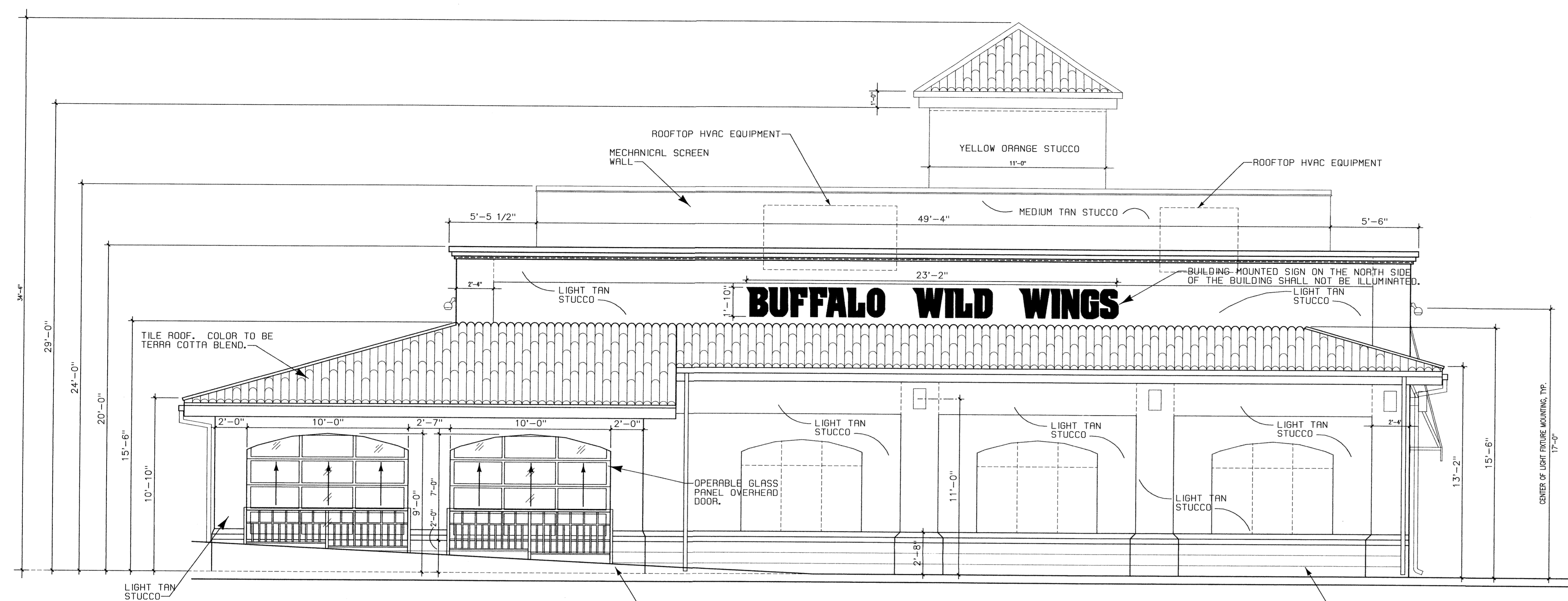


BUFFALO WILD WINGS
 Franchisee:
 BRIAN PADILLA

BROADSTONE TOWNE CENTER
 ALBUQUERQUE, NEW MEXICO

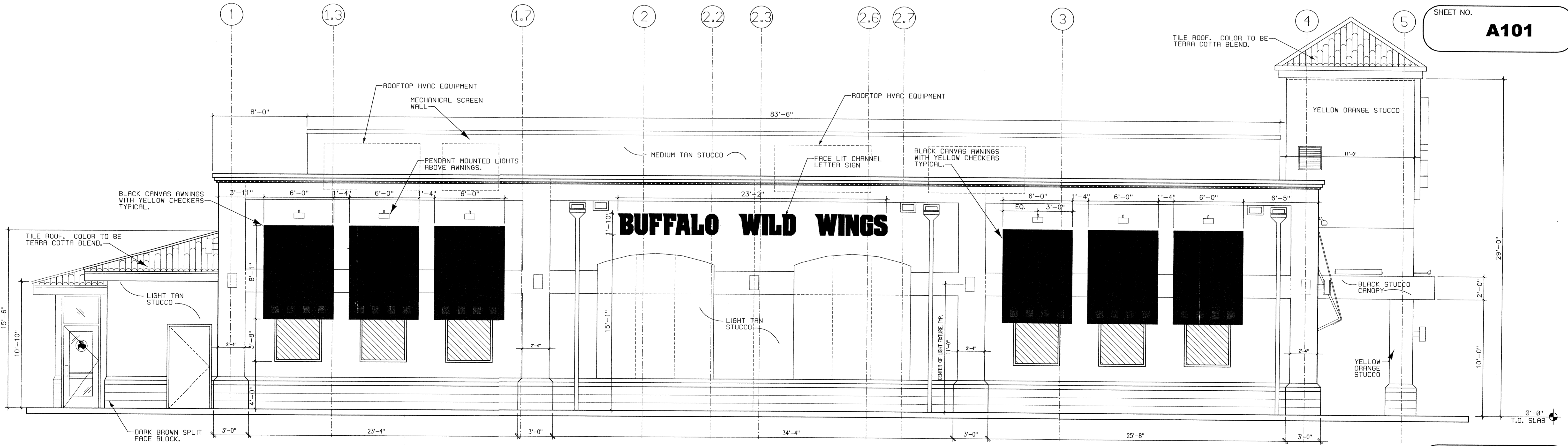
DATE: **7-20-2012** PROJECT NO.: **5313**

SHEET NO.: **A101**



BUILDING SIGN AREA SUMMARY	
NORTH ELEVATION:	
1'-10" X 23'-2" BUFFALO WILD WINGS CHANNEL LETTER SIGN =	42.5 SF
ALLOWABLE =	81.2 SF
6% OF FACADE AREA (1,353 SF) =	81.2 SF
WEST ELEVATION:	
1'-10" X 23'-2" BUFFALO WILD WINGS CHANNEL LETTER SIGN =	42.5 SF
ALLOWABLE =	114.7 SF
6% OF FACADE AREA (1,911 SF) =	114.7 SF

4D NORTH ELEVATION
 A101 SCALE 1/4" = 1'-0"
 GRAPHIC SCALE



3D WEST ELEVATION
 A101 SCALE 1/4" = 1'-0"
 GRAPHIC SCALE

SHEET TITLE
Exterior Elevation and Details

GENERAL NOTES:

1. A Site Development Plan for the residential areas has been submitted in conjunction with this Site Plan for Subdivision. Subsequent Site Plans for Building Permit shall be submitted to the Environmental Planning Commission for the commercial pad sites.
2. Minor amendments to this Site Development Plan shall be approved administratively by the Planning Director, in compliance with the City Comprehensive Zoning Code, Section 14-16-2-22 (A)(6) SU-1 Special Use Zone.
3. The 4.3 acres of the development are allocated for commercial development. Four commercial parcels are proposed. The users envisioned for the parcels would involve sit down restaurants, service retail, financial facility and drive-up fast food. These users will support the adjacent residential hotel and athletic facilities.
4. This site has been restricted to a maximum of two drive-throughs, with no more than one being a drive-through restaurant. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard.

5. Zoning for the commercial area is SU-1 for C-2 Permissive Uses with restrictions. The following land uses from the C-2 Permissive Uses as contained in the Comprehensive City Zoning Code, Section 14-16-2-17, have been determined to be incompatible with the vision for this project and shall not be allowed:
 - Freestanding Cell Towers or Antennas
 - Vehicle Sales, Rental Service, Repair, Storage
 - Package Alcohol Sales for Off Premise Consumption
 - Gasoline, Oil, & Liquefied Petroleum Gas Retailing
 - Off Premise Signs including Billboards
 - Drive-In Restaurant
 - School
 - Parking Lot
 - Storage Structure
 - Storage Yard
 - Uses/Activities in a Tent
 - Circus or Carnival
6. This site is within a proposed Metropolitan Redevelopment Area.
7. Cross access easement is required to be part of the subdivision plat.
8. Approval of Gibson Blvd. access by the TCC was made on September 14, 2007.

EASEMENTS

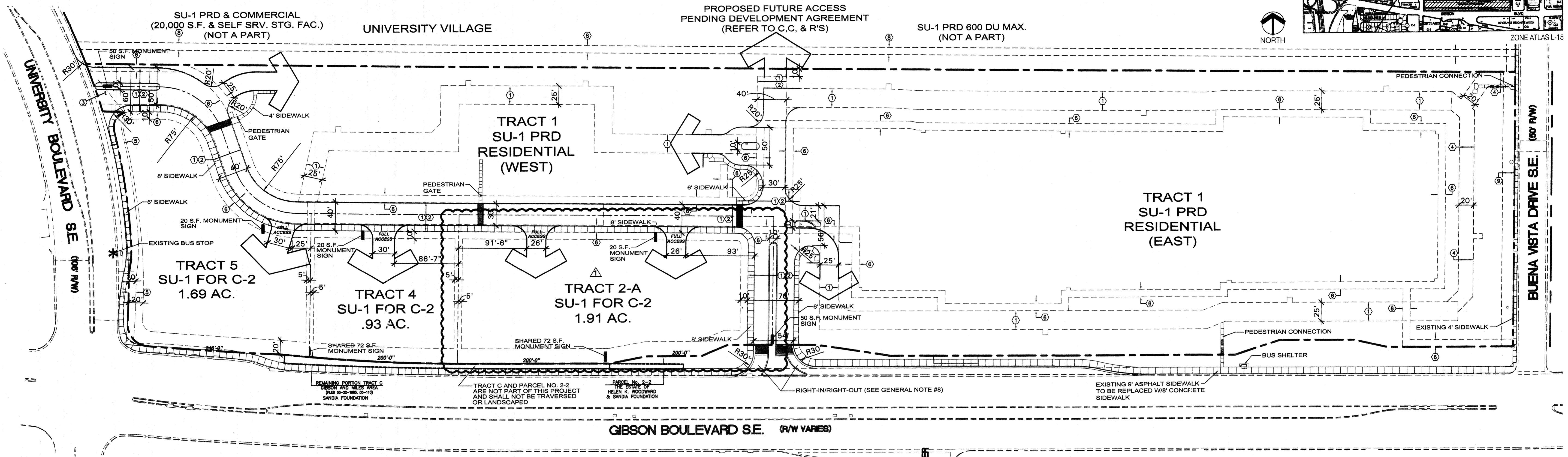
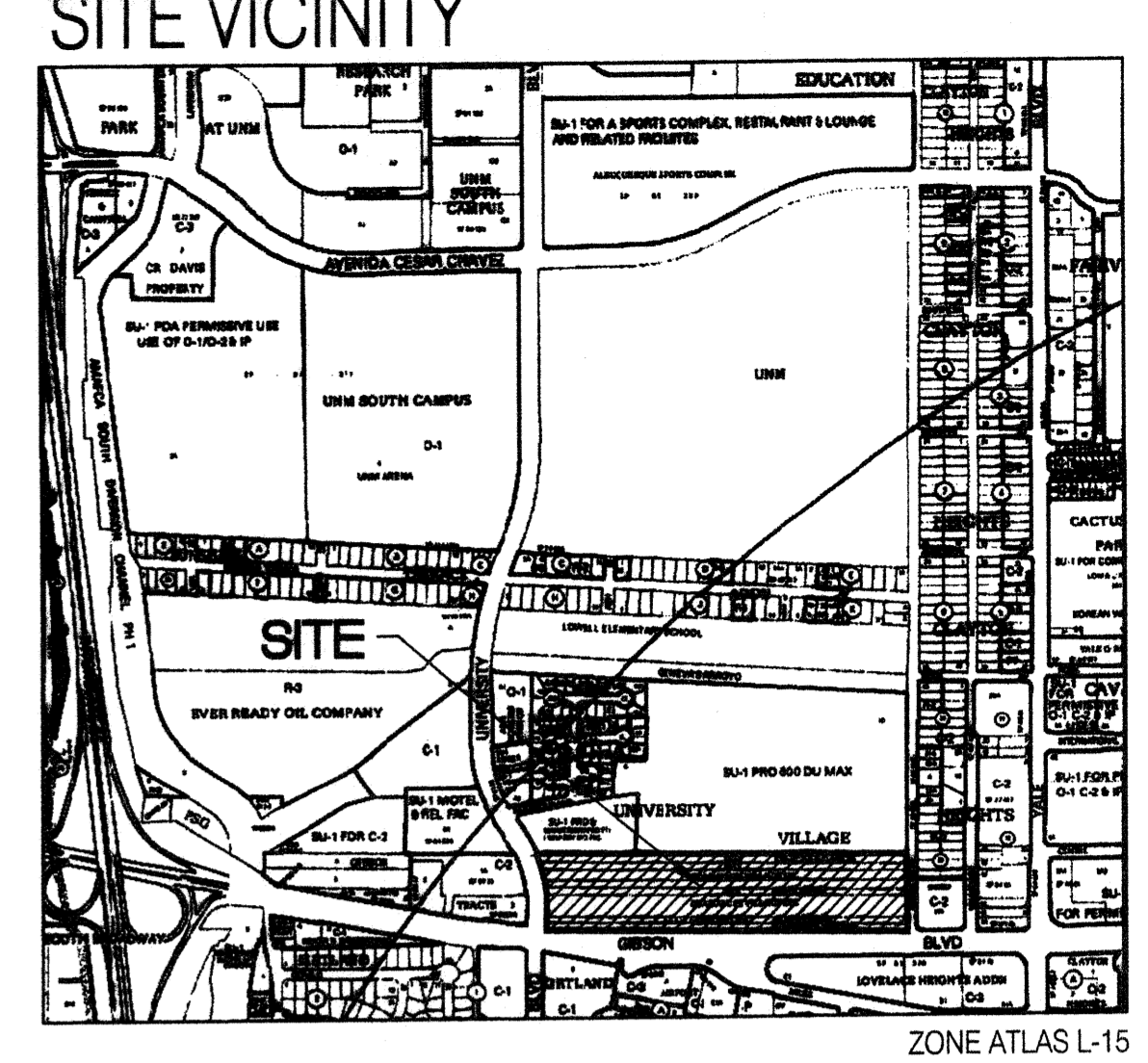
- 1 City of Albuquerque Public Waterline and Sewer Easements
- 2 Private Access Easement and Private Drainage Easement
- 3 Public Roadway and Sidewalk Easement
- 4 City of Albuquerque Public Waterline Easement
- 5 10' Qwest Corporation Easement
- 6 10' Public Utility Easement

- 7 8 Offsite Easements
- 9 Public Service Company Easement

Easement beneficiaries and maintenance / operations responsibilities shall be determined by the forthcoming platting action.

SITE LEGEND

- - - - - Proposed Property Line
- ===== Proposed Curb
- ↕↕ Vehicle Ingress/Egress



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION

The Site: Tracts 1 through 5 of the Broadstone Towne Center Subdivision located on the northeast corner of University and Gibson Boulevards. The site consists of approximately 16.76 acres.

Land Use: SU-1 PRD is on 12.2 acres - 240 total multi-family residential units organized in two areas. The western portion of the residential development contains 60 units arranged in 8 free-standing buildings. The eastern portion of the residential development contains 180 units in 16 free-standing buildings.

The gross density of the residential portion of the development is 19.76 du/acre. Both residential areas are gated and will have common use of a pool, a clubhouse, an exercise facility, and common areas.

SU-1 for C-2 Permissive Uses with exclusions is on the remaining 4.54 acres of the site adjacent to Gibson Boulevard. The commercial portion of the development will contain four commercial pad sites.

Pedestrian and Vehicular Ingress and Egress:

Vehicular Access
Vehicular access to the site will be from the south side of the property from Gibson Boulevard, designated a limited access roadway, and from the west side of the property from University Boulevard, designated a minor arterial. The Gibson access point will be a right-in, right-out turn movement only. The University access point will be right-in/ right-out.

Pedestrian Access/Circulation:

Six foot public sidewalks on both University and Gibson will provide pedestrian connectivity to the site. A 8 foot sidewalk is provided along the private access road and pedestrian connections are provided to Buena Vista, Gibson (in the vicinity of the future bus stop) and between the residential and commercial areas.

Transit Access:

The City Transit Department's 16/18 bus route provides service along Gibson and University Boulevards. There is a bus stop located along University Boulevard and a future bus stop will be located along Gibson Boulevard

Internal Circulation:

Primary access at University and Gibson Boulevards are indicated on the site plan. Conceptual locations, widths, and configurations for the access points at the commercial pad sites have been identified and will be indicated on future Site Plans for Building Permit submitted to the City Engineer. Internal sidewalks are provided throughout the site and between all buildings and parking areas as shown on the site plan.

Building Heights and Setbacks:

Maximum building height is 40 feet. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.

Setbacks:

- Gibson and University-20 foot minimum
- Internal roads- 10 foot maximum; 0 foot minimum
- Internal side yards- 5 feet

Maximum FAR:

Per the South Yale Interim Development Area Design Standards, the minimum Floor Area Ratio (FAR) for the entire 16.76 acre property shall be .5 and the maximum FAR shall be 2.0. The minimum gross density for Tract 1 shall be between 10 du/ac and 30 du/ac.



PROJECT NUMBER: 1005243
Application Number: 12EPC-40051

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated September 13, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

Landscape Plan:

The Landscape Plan (See sheet 2) provides landscaping along the public rights-of-way and along the internal drives. Design Standards (See sheet 3) provides the parameters for landscape within the commercial area.

PROJECT NUMBER: 1005243
Application Number: 06EPC-04692, 07DRB-70314

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 18, 2007 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Mc & Z</i>	10/31/07
Traffic Engineering, Transportation Division	Date
<i>William G. Baker</i>	10/31/07
Water Utility Department	Date
<i>Christina Sandoval</i>	10/31/07
Parks and Recreation Department	Date
<i>Bradley B. Bingham</i>	10/31/07
City Engineer	Date
<i>Matson</i>	10/31/07
DRB Chairperson, Planning Department	Date
<i>Catalina Schner</i>	

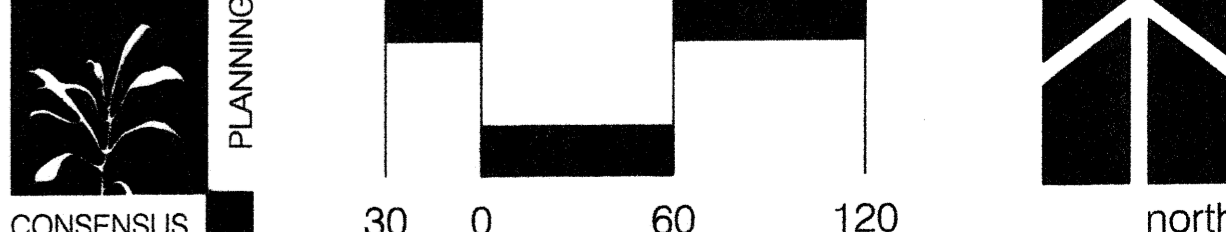
Amendment to consolidate former Tracts 2 and 3 into Tract 2-A and relocate entry access points.

SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 85016

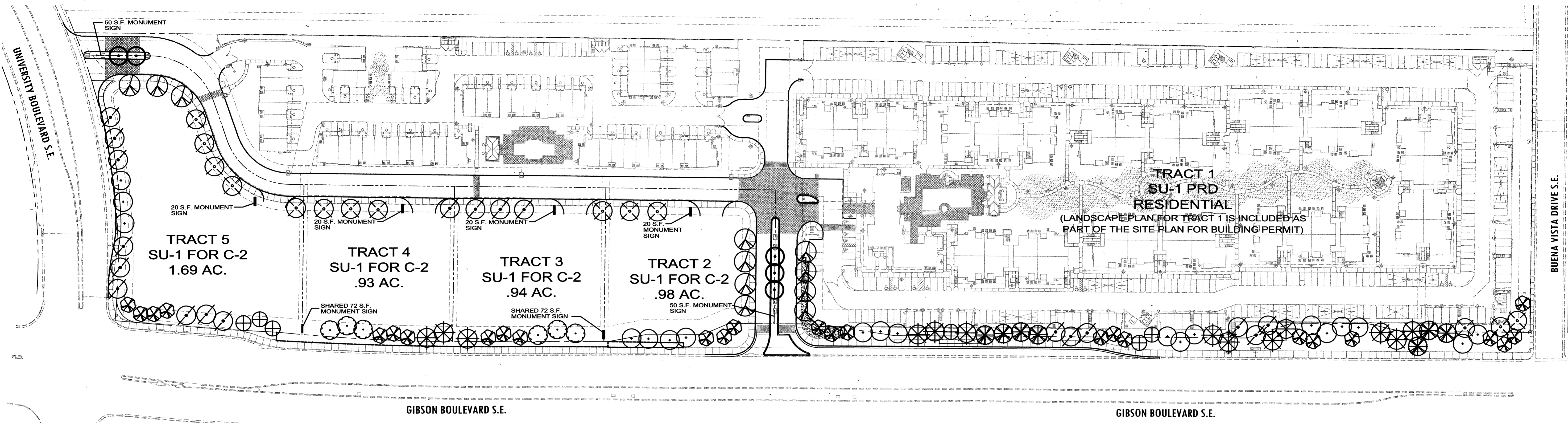
Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC
High Mesa Consulting Group

Scale 1" = 60'



October 3, 2007

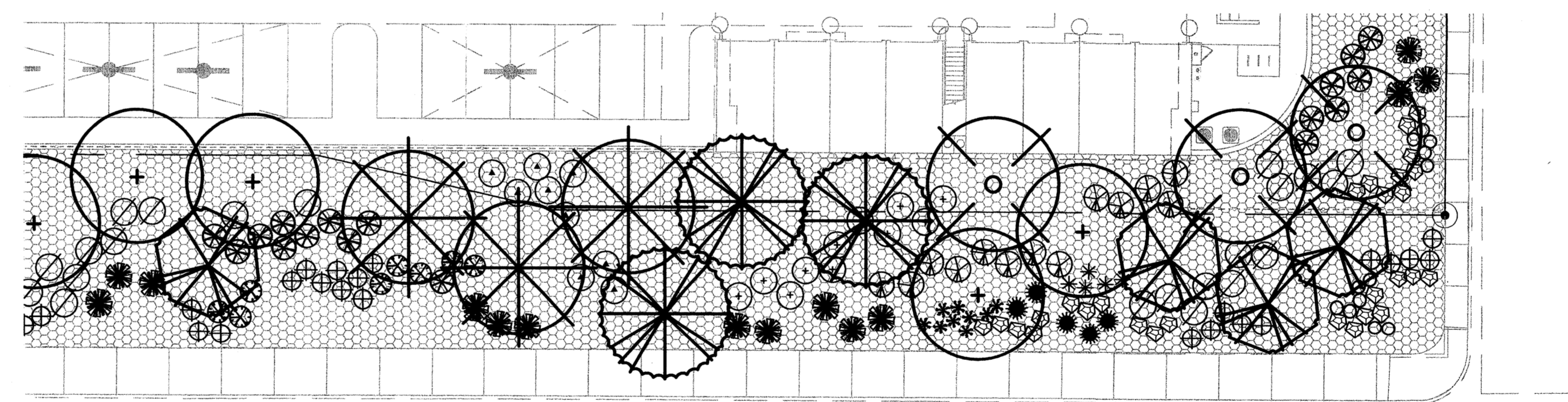
October 23, 2012



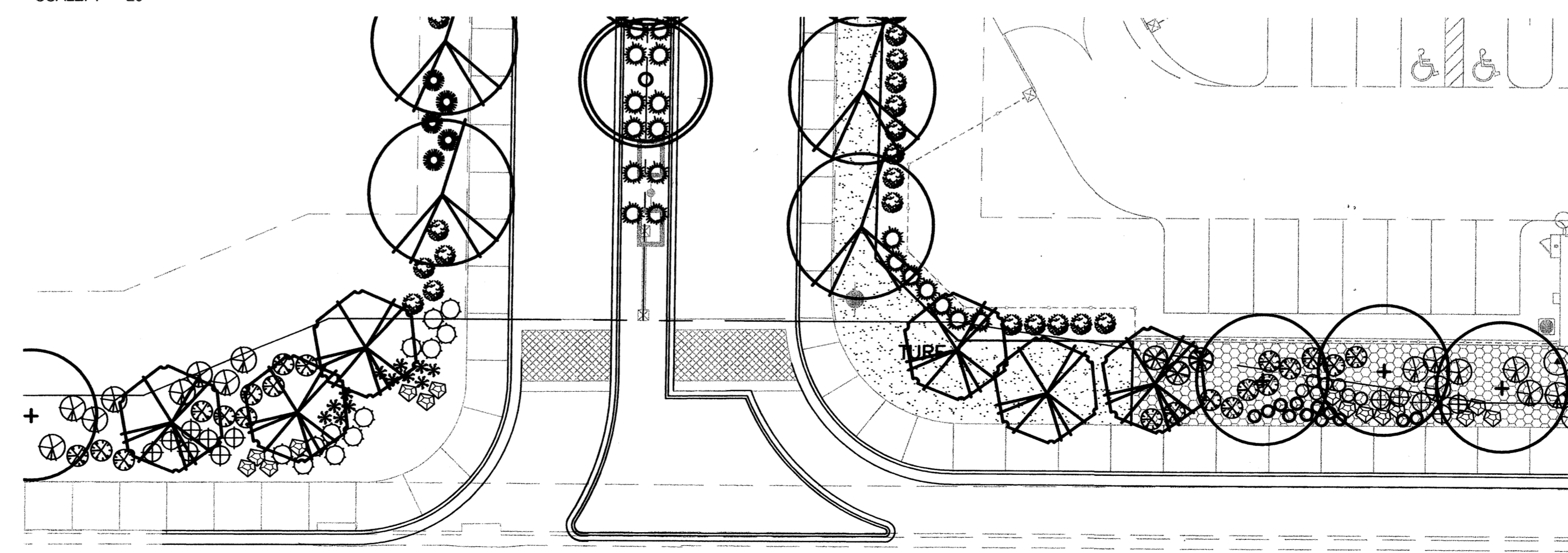
LANDSCAPE PALETTE

Qty	Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
Trees					
28	(Symbol)	<i>Chitalpa tashkentensis</i> 'Pink Dawn' Chitalpa	2" B&B	20' x 25'	Low+
21	(Symbol)	<i>Koeleruteria paniculata</i> Goldenrain Tree	2" B&B	25' x 25'	Medium
19	(Symbol)	<i>Pistacia chinensis</i> Chinese Pistache	2" B&B	60' x 60'	Medium
13	(Symbol)	<i>Pinus nigra</i> Austrian Pine	8" B&B	35' x 25'	Medium
6	(Symbol)	<i>Quercus fusiformis</i> Escarpment Live Oak	2" B&B	25' x 25'	Medium
11	(Symbol)	<i>Robinia x ambigua</i> Purple Robe Locust	2" B&B	40' x 30'	Medium
14	(Symbol)	<i>Celtis pallida</i> Desert Hackberry	2" B&B	40' x 40'	Low
6	(Symbol)	<i>Vitex agnus-castus</i> Chaste Tree	15 Gal.	20' x 20'	Medium
5	(Symbol)	<i>Chilopsis linearis</i> Desert Willow	2" B&B	20' x 25'	Low+
7	(Symbol)	<i>Prosopis velutina</i> Velvet Mesquite	5 Gal.	20' x 25'	Low
Shrubs/Groundcovers					
	(Symbol)	<i>Artemesia X Powis Castle</i> Powis Castle Sage	1 Gal.	24" x 48"	Low +
	(Symbol)	<i>Caryopteris clandonensis</i> Blue Mist	5 Gal.	48" x 48"	Medium
	(Symbol)	<i>Chrysanthemum nauseosus</i> Chamisa	5 Gal.	60" x 60"	Low
	(Symbol)	<i>Cytisus x 'Lena'</i> Lena's Broom	1 Gal.	36" x 42"	Low +
	(Symbol)	<i>Ericameria laricifolia</i> Dwarf Turpentine Bush	1 Gal.	36" x 48"	Low +
	(Symbol)	<i>Erysimum linifolium</i> Wallflower Bowles' Mauve	5 Gal.	24" x 36"	Medium
	(Symbol)	<i>Fallugia paradoxa</i> Apache Plume	5 Gal.	60" x 60"	Low
	(Symbol)	<i>Mahonia aquifolium</i> 'Compacta' Compact Oregon Grape	5 Gal.	24" x 36"	Medium
	(Symbol)	<i>Perovskia atriplicifolia</i> Russian Sage	1 Gal.	60" x 60"	Medium
	(Symbol)	<i>Buddleia 'Lochin'</i> Lavender Butterfly Bush	5 Gal.	48" x 36"	Medium

Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
(Symbol)	<i>Raphiolepis indica</i> India Hawthorn	5 Gal.	36" x 48"	Medium
(Symbol)	<i>Rhus trilobata</i> Three-leaf Sumac	5 Gal.	24" x 60"	Low+
(Symbol)	<i>Rosmarinus officinalis</i> Prostrate Rosemary	5 Gal.	24" x 60"	Low+
(Symbol)	<i>Salvia greggii</i> Cherry Sage	5 Gal.	36" x 36"	Medium
(Symbol)	<i>Verbena rigida</i> Sandpaper Verbena	1 Gal.	12" x 48"	Low
(Symbol)	Ornamental Grasses <i>Helictotrichon sempervirens</i> Blue Avena Grass	1 Gal.	24" x 12"	Medium
(Symbol)	<i>Muhlenbergia capillaries</i> 'Regal Mist' Muhly Grass	5 Gal.	36" x 36"	Medium
(Symbol)	<i>Nassella tenuissima</i> Threadgrass	1 Gal.	24" x 24"	Low+
(Symbol)	Accents <i>Dasylirion wheeleri</i> Sotol	5 Gal.	48" x 48"	Low+
(Symbol)	<i>Hesperaloe parviflora</i> Red/Yellow Flowering Yucca	1 Gal.	36" x 48"	Low+
(Symbol)	<i>Nolina microcarpa</i> Beargrass	5 Gal.	60" x 60"	Low+
(Symbol)	Park Blend Sod (40% Tall Fescue, 40% Perennial Rye, 20% Kentucky Bluegrass Sod)			
(Symbol)	Seasonal Annuals			
(Symbol)	Cobble Mulch 2"-4" Ironstone Cobble			
(Symbol)	Moss Rock Boulders (3" average diameter)			



TYPICAL LANDSCAPE TREATMENT ALONG GIBSON BOULEVARD
SCALE: 1" = 20'



TYPICAL LANDSCAPE TREATMENT AT GIBSON BOULEVARD ENTRY DRIVE
SCALE: 1" = 20'

NOTE:
This Landscape Plan covers the perimeter of the site at Gibson and University Boulevards and the internal roadway along the commercial side.

LANDSCAPE DESIGN
Due to the scale of the 50th scale plan, specific shrub species are not identified by symbol. Please see the enlarged typical area plans at the bottom of the sheet. These enlargements illustrate the design intent and intensity of plant materials. The Landscape Plan associated with this Site Plan for Subdivision addresses the landscape areas along Gibson Boulevard, University Boulevard, and the internal street as illustrated. A separate Site Plan for Building Permit for Tract 1 (residential) is being submitted simultaneous to this submittal and addresses the landscape for that area in more detail. The actual provided quantity will be sufficient to meet the design intent and landscape coverage requirements of the City Zoning Code.

MULCHES
All shrub planting areas shall be top dressed with 7/8" Santa Fe Brown Rock Mulch. 2" - 4" Ironstone Cobble will be used as an accent mulch in certain areas.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be sized and designed to sufficiently irrigate turf areas and tree, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for Broadstone Towne Center shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area (see Park Blend Sod under Landscape Palette).

LANDSCAPE PLAN BROADSTONE TOWNE CENTER

Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 85016

Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC
High Mesa Consulting Group

Scale 1" = 60'

CONSENSUS PLANNING
October 4, 2007
Sheet 2 of 3



BROADSTONE TOWNE CENTER DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The Design Standards shall be used to facilitate the design of buildings which respect the existing site conditions and the character and land uses of the adjacent properties and neighborhoods.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Broadstone Towne Center. These standards address future commercial projects.

Subsequent Site Plans for Building Permits shall be consistent with the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

A. SITE PLANNING

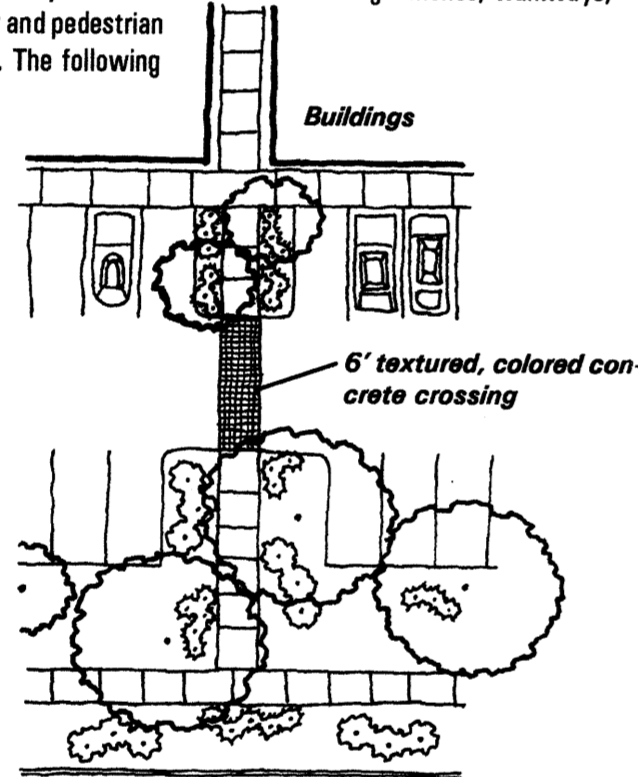
The following standards address the design of outdoor spaces within the commercial areas of Broadstone Towne Center:

- Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- Commercial development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- Each commercial parcel developer shall be required to provide a minimum outdoor plaza space of 300 sf. This area shall have a minimum of 25% shading, provided by a trellis, trees, or umbrellas. Each developer is responsible for providing pedestrian walkways around the building(s) and connecting the plaza area to adjacent developments.
- Drive-up and pick-up windows shall be oriented away from pedestrian areas and residentially zoned areas in accordance with Section 14-16-3-18(D)(5) of the Zoning Code. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard and located a minimum of 75 feet from residential uses.

B. PEDESTRIAN CIRCULATION

The goal for this property is to maintain a high quality and consistency in style for site amenities including benches, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems in order to provide a safe and pleasant environment. The following standards are intended to meet these goals:

- All pedestrian pathways through Broadstone shall be built to City standards.
- The walkway beginning at Gibson Boulevard and running north-south through the site, as well as the walkway running east-west along the internal access roadway, shall be 8 feet wide.
- All pedestrian paths shall be designed to be handicapped-accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design), except where topography makes this unfeasible.
- Pedestrian connections to buildings shall be provided in parking lots with greater than 50 spaces and shall connect to adjacent roadways, sidewalks, and pathways.
- Pedestrian crossings shall be a minimum of 6 feet wide and clearly demarcated with textured, colored concrete where they cross vehicular entrances and drive aisles.



PARKING - pedestrian crossings will be provided between parking areas and buildings

C. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. The intent is to minimize the visual impact of parking facilities. In order to lessen the visual impact, parking facilities shall be broken up into a series of smaller areas as feasible. In addition, the following guidelines shall be applied to parking area design:

- Handicapped parking spaces shall be provided adjacent to building entries.
- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas shall be designed to include a pedestrian link to buildings.
- Off-street parking areas shall be located to the rear or sides of buildings.
- In cases where parking is adjacent to roadways, landscaping for screening purposes shall be required. Screening walls shall be architecturally compatible with the surrounding buildings.
- Off-street parking requirements:
 - Retail and financial businesses shall be required to have five parking spaces per 1,000 sf of leased building area.
 - Sit down restaurants shall have 15 spaces per 1,000 sf of building area. Fast food restaurants shall have 10 spaces per 1,000 sf of building area.
 - One bicycle parking space shall be provided for every 20 parking spaces for cars.
 - Motorcycle parking for each of the commercial parcels shall be per Section 14-16-3-1 Off-Street Parking Regulations of the Comprehensive City Zoning Code.

D. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms and/or walls.

- Building setbacks for the commercial parcels include:
 - Gibson and University: 20 foot minimum
 - Internal roads: 10 foot maximum, 0 foot minimum
 - Internal side yards: 5 foot minimum

E. LANDSCAPE

The development of an overall landscape concept shall establish a framework that unifies the property and is appropriate for the nearby neighborhoods. The landscape design emphasizes low and medium water use plant materials. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies.

The following are minimum standards for the development of specific landscape plans:

- These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.
- Street trees shall be provided along roadways at a rate of one tree per 30 linear feet. They may be randomly or regularly placed.
- The developer/owner will be responsible for the installation and maintenance of the landscape on their property. All plant material, including street trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the property owner in a living, attractive condition.
- A minimum of 15 percent of the site area for commercial projects (minus the building square footage) shall be devoted to landscape materials.
- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- Landscape headers shall be used to separate any turf and groundcover areas.
- To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- Minimum plant sizes at time of installation shall be as follows:

Trees	1 1/2 inch caliper, or 10 to 12 feet in height
Shrubs & Groundcovers	1 gallon
Turf grasses	shall provide complete ground coverage within 1 growing season after installation.



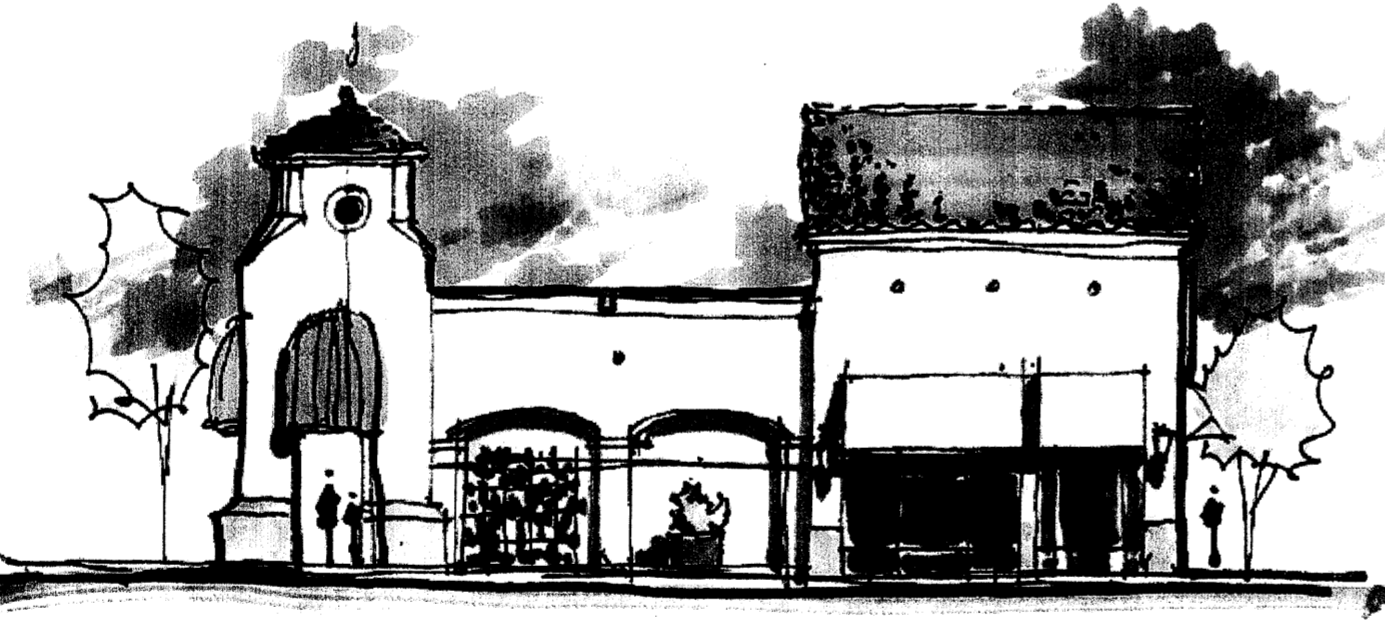
PEDESTRIAN AREAS - Should include shade trees

F. ARCHITECTURE

The architectural design is intended to demonstrate a high quality aesthetic character throughout the property and shall respond to climate, views, solar access, and aesthetic considerations.

COMMERCIAL ARCHITECTURAL STYLE

The general architectural character for retail structures is to follow the mission style theme of the residential portions of the development. A concept elevation study for a small retail shops building is provided to illustrate the desired mission style architectural theme. Retail structures may be pitched or flat roofed. Pitched roof elements shall be roofed with the mission style tile units described in the color palette. Portals (covered walkways) and other building appendages may be roofed with mission style units. These roofs shall be shed type with the high point abutting the main building wall below the top of the parapet. Cornice treatment is to be used at top of parapet walls and at eaves of pitched roof elements.



The following are minimum architectural standards for the commercial development:

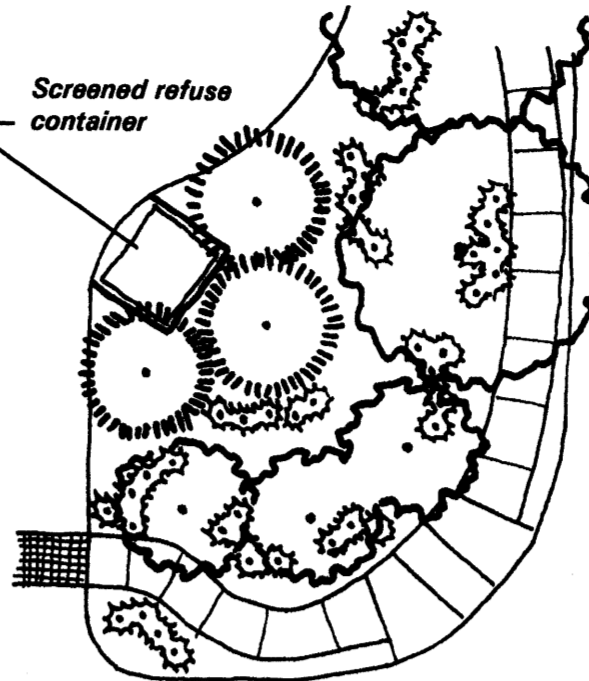
- Maximum building height is limited to 40 feet. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.
- Commercial buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed the allowable sign area of building wall. Illumination of awnings shall be from pendant mounted fixtures located above the awning. Accent colors on awnings shall be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.
- Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.
- No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings shall be made of cloth.
- Entryways to commercial buildings shall be clearly defined.
- No freestanding call towers or antennas are allowed; rather antenna shall be integrated with the building architecture.
- Roofs may be flat, pitched (tile), or a combination of both and shall be made of non-reflective materials. Roof tile color shall be terra-cotta blend. Building finish will be stucco and color shall be taupe or sand; trim shall be brown.
- Generic franchise architecture is prohibited.

G. SCREENING / BUFFERING

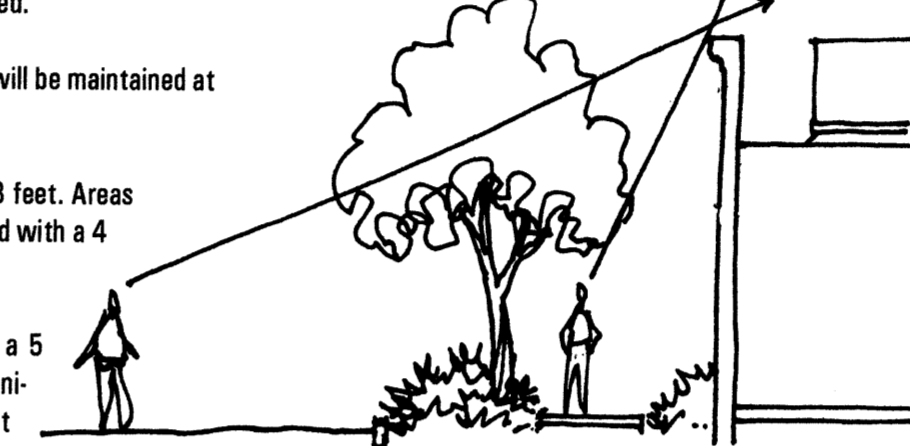
The effective use of screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and mechanical equipment is essential to limit their adverse visual impact on the property. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

Perimeter fencing is allowed on the property; however, the site designer shall lessen its visual impact through landscaping, meandering within a landscape area, or providing openings. Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls or these Design Standards as specified below.

- All mechanical/roof-top equipment shall be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical equipment can be observed from the residential area, horizontal screening per the conceptual sketch is required. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- Service areas such as refuse locations and compactors shall be screened from the view of the adjacent residential area, and public rights-of-way. Refuse enclosures shall be gated. Screening material shall match building wall color and material.
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Clear sight distances for safety purposes will be maintained at all driveway locations.
- The maximum height of retaining walls is 8 feet. Areas requiring greater retainage shall be terraced with a 4 foot horizontal separation between walls.
- Drive-up windows shall be screened with a 5 foot high opaque wall and 5 foot wide (minimum) landscape area with evergreen plant materials on the pedestrian or residential side. A berm of the same height as the wall may be provided in lieu of the wall.



REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials



MECHANICAL SCREENING - should be screened from public view

H. LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- Site lighting for pad structures is to match the site lighting provided for the main commercial parking area.
- Commercial parking area lighting shall not exceed 20 feet from the top of the pole to finished grade. Parking lot lights within 100 feet of residential areas shall be a maximum of 16 feet high from finished grade to the top of the pole.
- Exposed, unshielded light fixtures are prohibited. All lamps shall be full cut-off fixtures with down lighting only.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permit.
- Area lighting shall be restricted to a maximum off-site luminance of 1,000 foot-lamberts from any point and maximum of 200 foot-lamberts from any residential property line.
- Accent lighting is permitted, however surface lighting is limited to an average of 2 foot-candles measured 4 feet from the surface level of any point on the building surface being illuminated. Building-mounted lights must point downward. Uplighting is prohibited.

I. UTILITIES

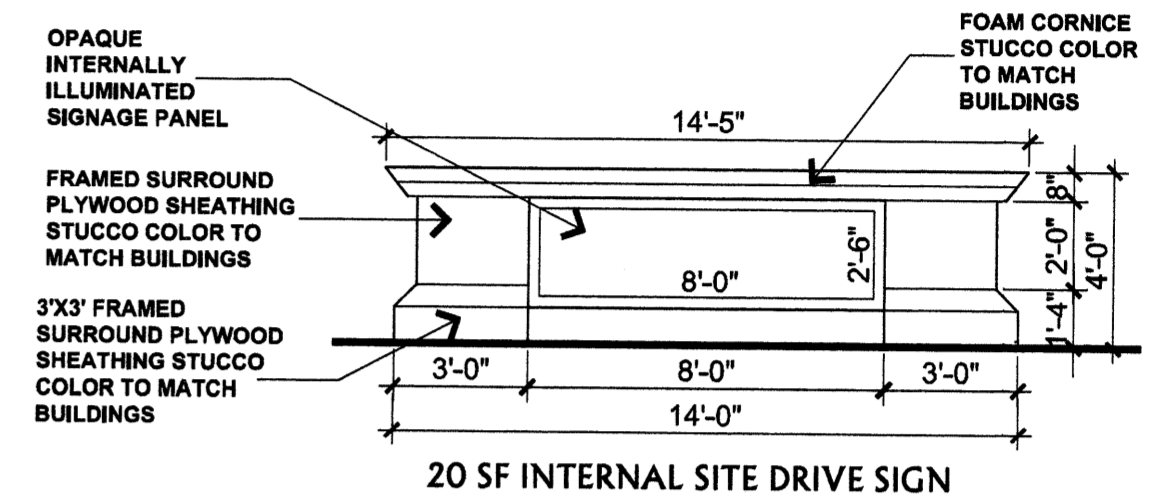
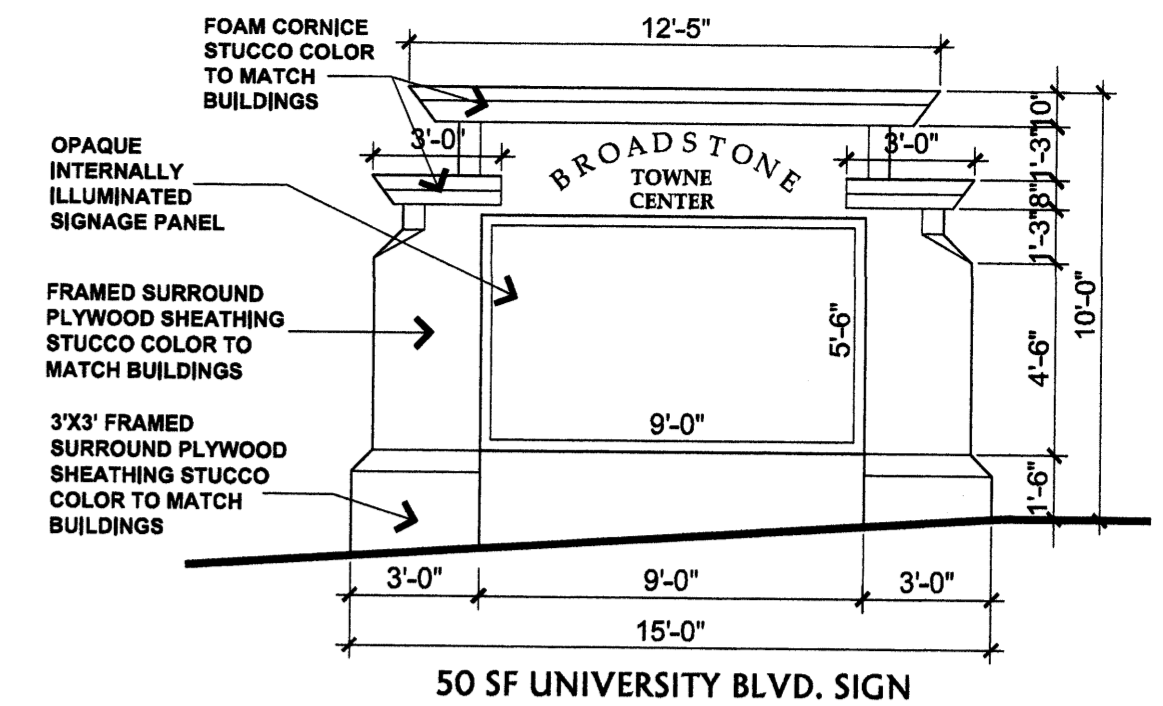
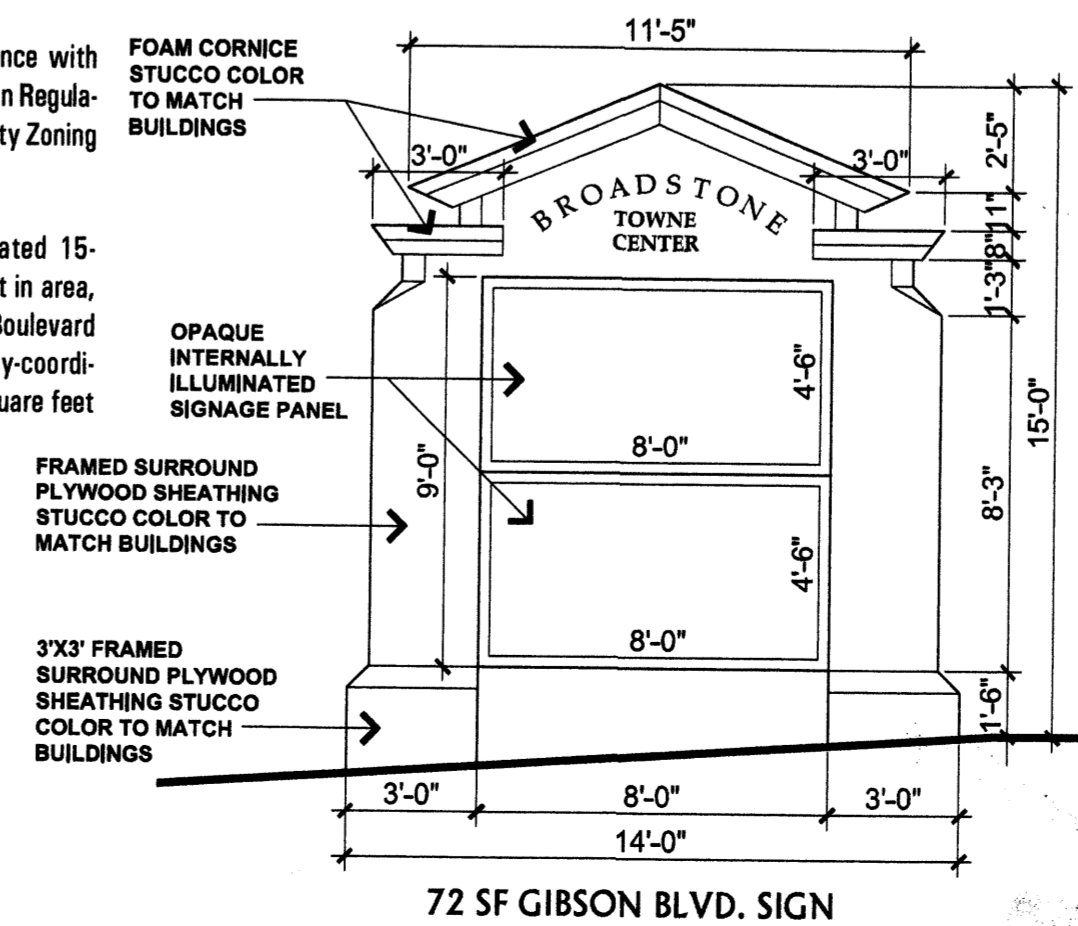
To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- When an above-ground back flow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

J. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within the Broadstone Towne Center. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

- All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code.
- Two architecturally-coordinated 15-foot tall signs, 72 square feet in area, are allowed for the Gibson Boulevard frontage. One architecturally-coordinated 10-foot tall sign, 50 square feet in area, is allowed on the University Boulevard frontage. Each building pad is permitted to have one 20 square foot monument sign adjacent to the internal site drive.



- All building-mounted signage shall be individual type lettering not to exceed 6 percent of each building elevation facade.

All signs shall be of individual letters. The following types of letters are acceptable:

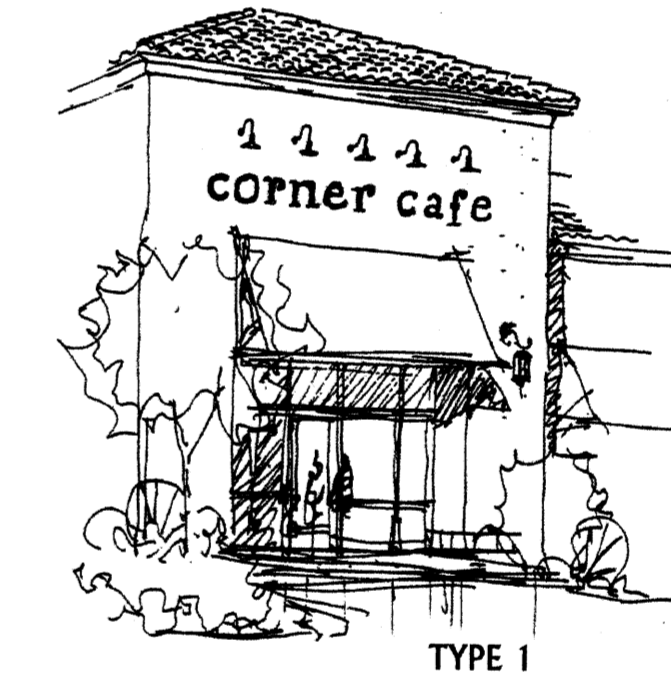
Type 1: Opaque lettering indirectly illuminated by goose neck type lighting

Type 2: Channel letters internally illuminated with letter sides to match letter face colors

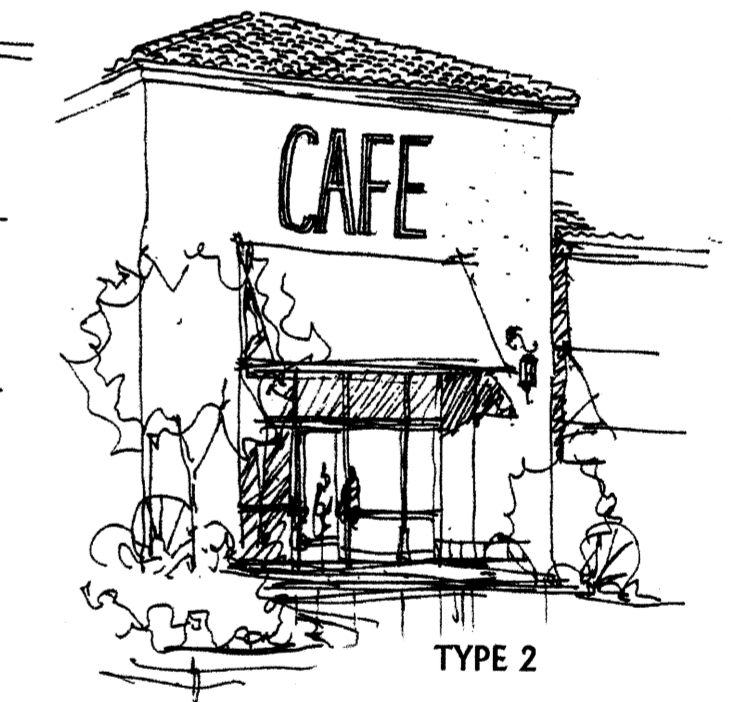
Type 3: Same as 2 except halo lit

Type 4: halo lit letters cut out of solid metal background spaced off the face of the building

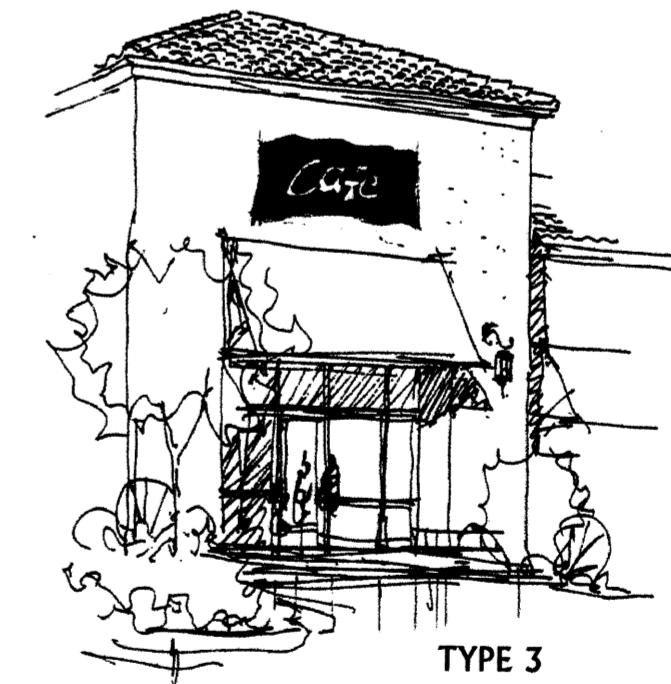
Can type signs are prohibited. Any special logos associated with a specific tenant shall be provided in a non-illuminated fashion for specific approval.



TYPE 1



TYPE 2



TYPE 3

BUILDING-MOUNTED SIGNS

SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

Prepared for:
Alliance Residential
2415 E. Camelback, Suite 600
Phoenix, AZ 85011

Prepared by:
Consensus Planning, Inc.
George Rainhart & Associates
ORB Architecture, LLC.
High Mesa Consulting Group

October 4, 2007

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