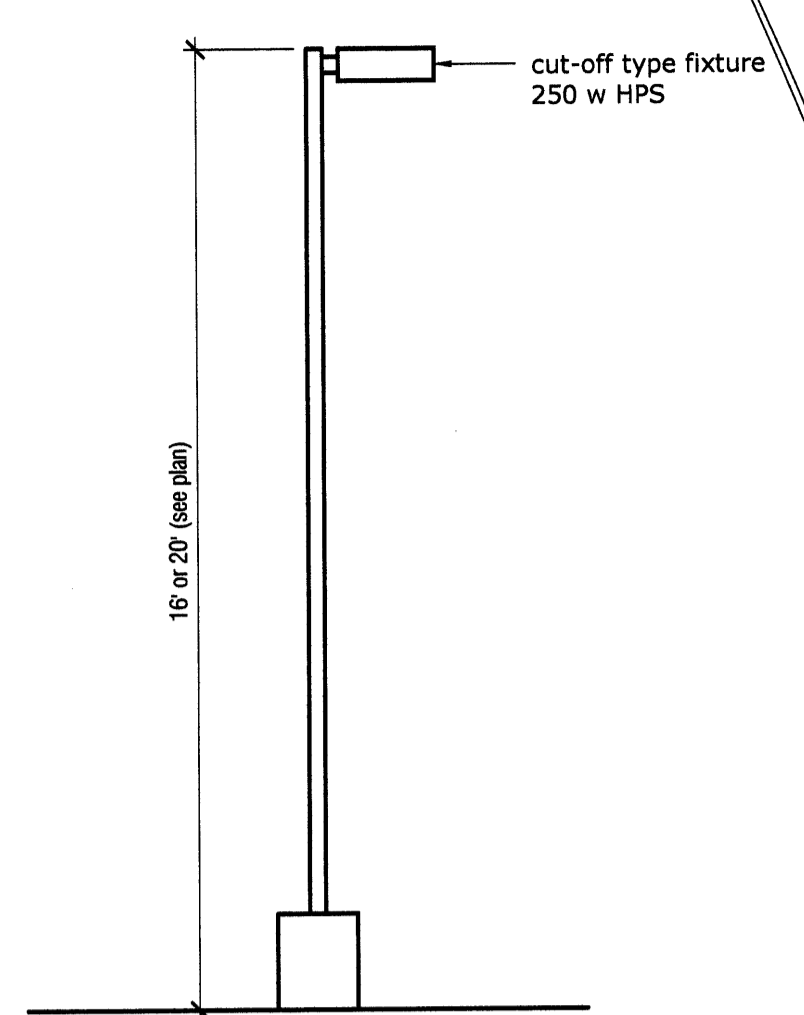
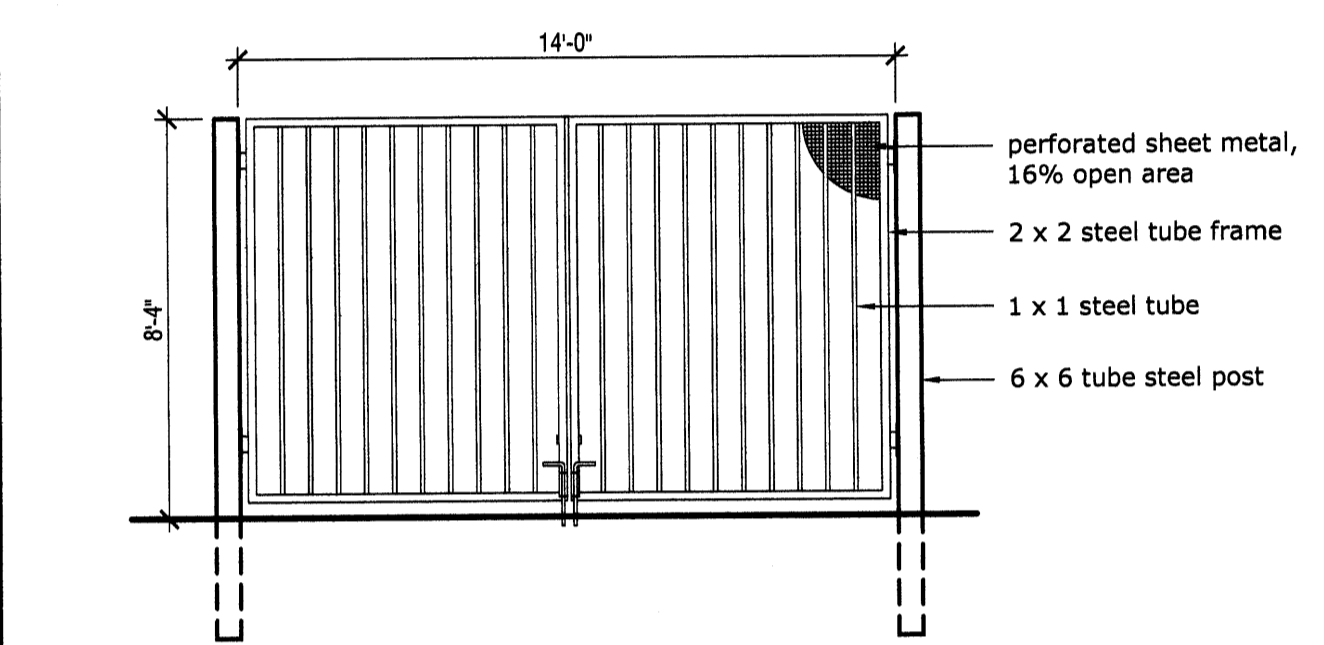


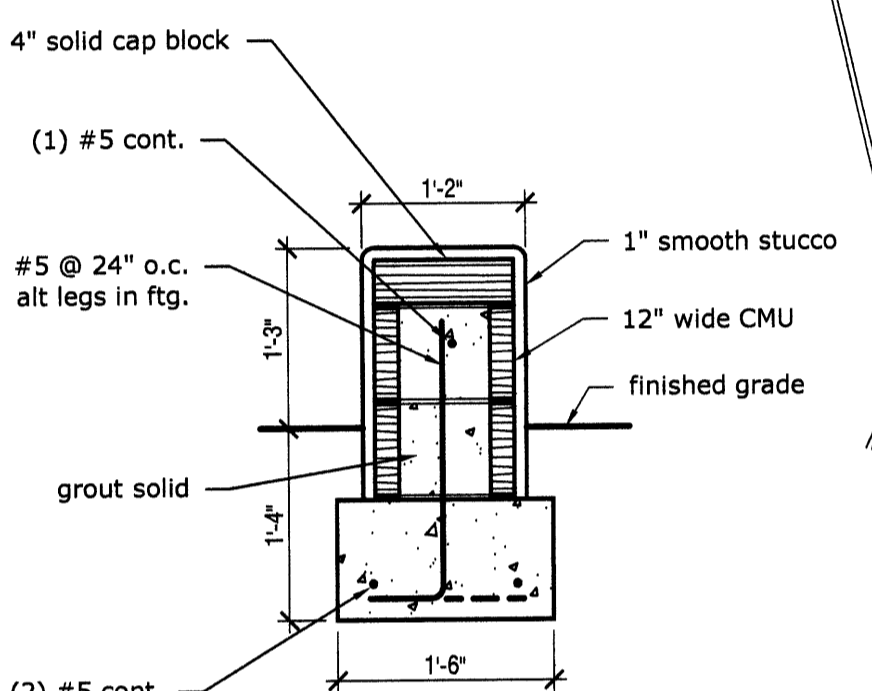
**TRASH COMPACTOR AREA**  
SCALE: 1" = 10'-0"



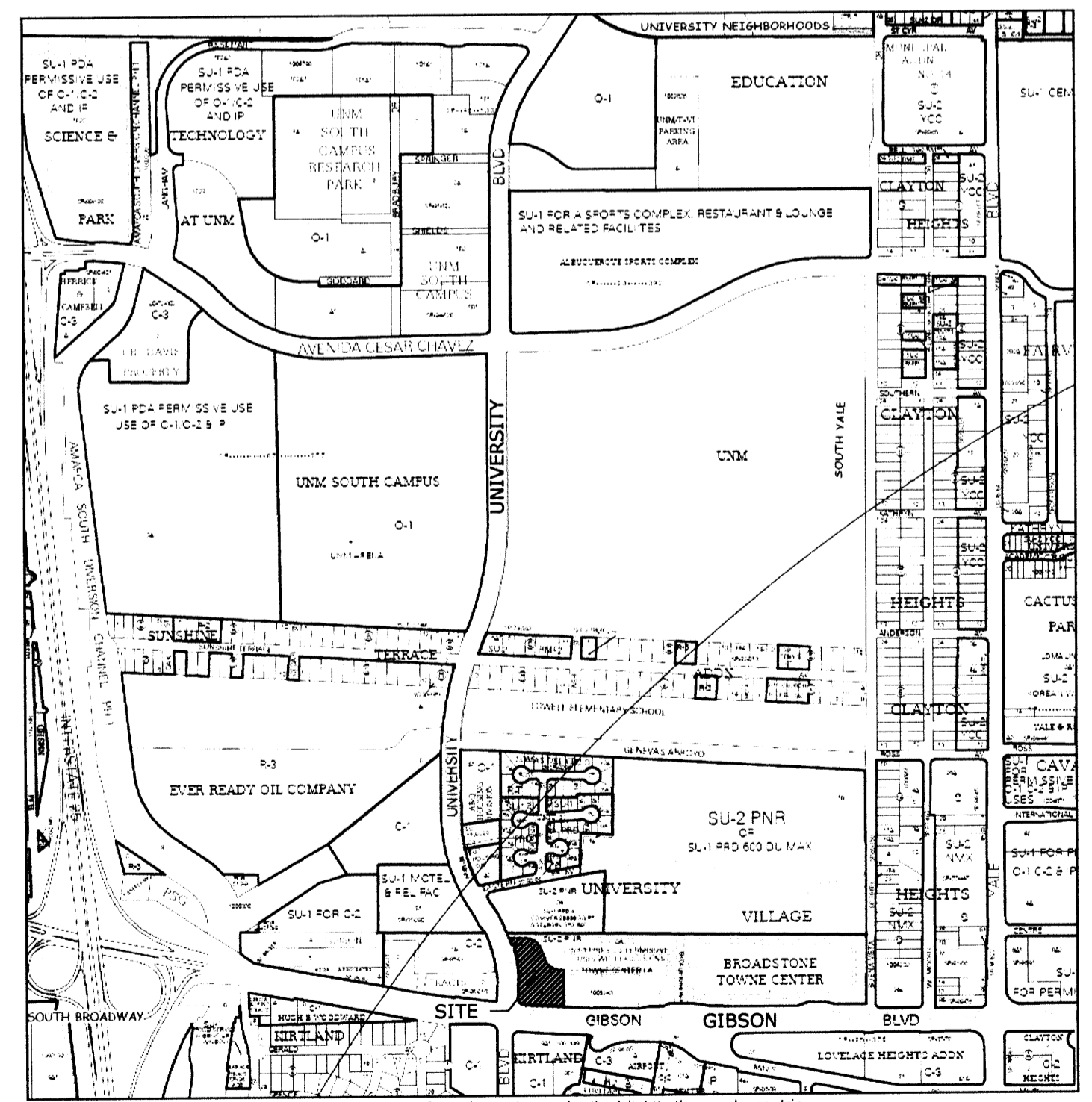
**LIGHT POLE ELEVATION**  
SCALE: 1/4" = 1'-0"



**GATE ELEVATION - Trash Compactor**  
SCALE: 1/4" = 1'-0"



**SEAT BENCH WALL**  
Scale: 3/4" = 1'-0"



**FLOOR AREA RATIO**

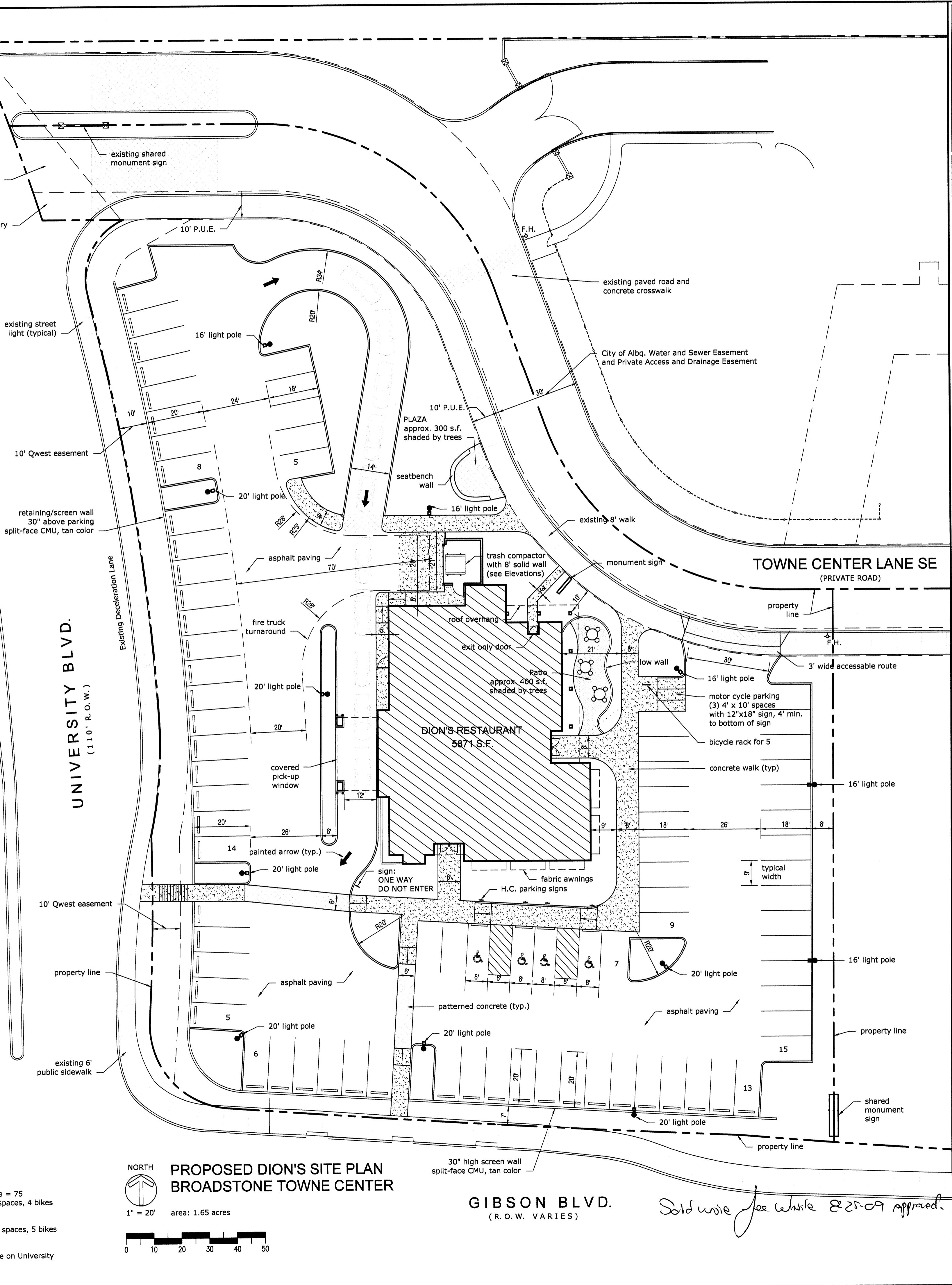
The Site Development Plan requires the FAR for the entire 16.76 acre (730,065 s.f.) property to be 0.5 minimum and 2.0 maximum.  
The minimum floor area: 730,065 \* 0.5 = 365,032 s.f.  
Currently there are 347,659 s.f. of apartments. This means that the remaining 4 commercial tracts must have a combined floor area of at least 17,373 s.f. which includes our building of 5,871 s.f.

**SIDEWALK LEGEND**

- Cross walks are to match existing Center - brown concrete with stamped, random paver pattern
- Gray concrete with broom finish
- Pavers in the Patio area, porous

**PARKING REQUIREMENTS**

Required Spaces:  
15 spaces per 1000 s.f. of building area = 75 including 4 H.C. spaces, 3 motorcycle spaces, 4 bikes  
Provided Spaces:  
82 spaces including 4 H.C. spaces, 3 motorcycles spaces, 5 bikes  
Note: There are bus stops north of the site on University and east of the site on Gibson

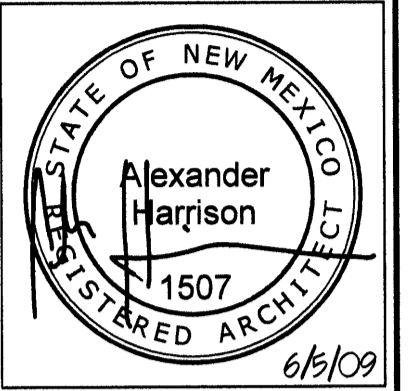
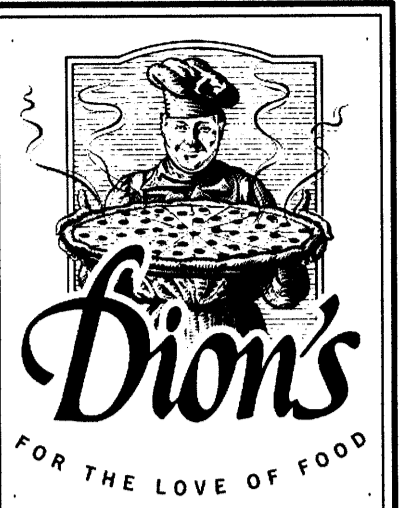


**PROPOSED DION'S SITE PLAN BROADSTONE TOWNE CENTER**

1" = 20'  
area: 1.65 acres  
0 10 20 30 40 50

**GIBSON BLVD.**  
(R.O.W. VARIES)

*Sold w/ie Joe White 8-25-09 approved.*



Alexander Harrison  
Architect  
Peter-Defries Corp.  
d.b.a. Dion's  
8525 Jefferson St. NE  
Albuquerque, NM 87113  
505-858-1010  
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**Dion's at Broadstone Towne Center**  
University and Gibson, Albuquerque, New Mexico

Project No: 804

Date: June 4, 2009

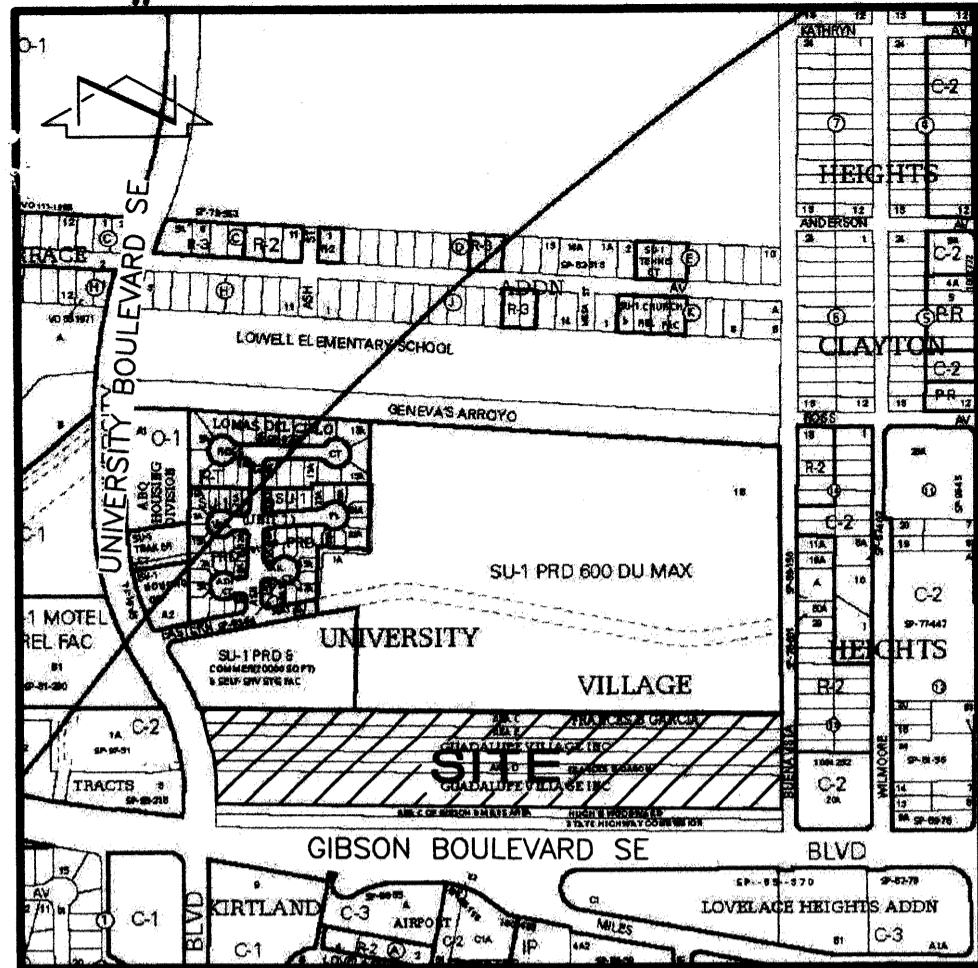
Revisions:  
5 JUN 09 - Add texture and dimensions to sidewalks  
26 JUN 09 - Correct parking calculations, add FAR, add Seat Bench detail

Sheet Title:  
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

Sheet Number:

**1**

SOLID WASTE



PLAT OF  
**TRACTS 1, 2, 3, 4 AND 5,**  
**BROADSTONE TOWNE CENTER**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2008

BROADSTONE TOWNE CENTER, LLC  
 OWNER  
 PROJECTED  
 SEC. 28, T 10 N, R 3 E, N.M.P.M.  
 LOCATION  
 BROADSTONE TOWNE CENTER  
 SUBDIVISION

DOC# 2008031639  
 03/20/2008 10:07 AM Page: 1 of 5  
 PLAT #: 2007 03 16 2008 P. 0052 H. Toulouse, Bernalillo County

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1005243

APPLICATION NUMBER 06EPC-01592, 06EPC-01593, 06EPC-01594

APPROVALS:

- John Clark* 3/19/08  
 DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Roger A. Lee* 3-19-08  
 ABCWUA DATE
- Bradley L. Bingham* 3/19/08  
 CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Bradley L. Bingham* 3/19/08  
 A.M.A.F.C.A. DATE
- W.D.S.* 3/19/08  
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Christina Sandoval* 3/19/08  
 PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Sh. B. Hat* 3-6-08  
 CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- N/A*  
 REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Fernando Vigil* 3/19/08  
 P.N.M. ELECTRIC SERVICES DATE
- Daniel Balila* 3/19/08  
 QWEST TELECOMMUNICATIONS DATE
- Fernando Vigil* 3-19-08  
 P.N.M. GAS SERVICES DATE
- Honne Babson* 3-18-08  
 COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

VICINITY MAP

SCALE: 1" = 750'

L-15

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby dedicate to the City of Albuquerque in fee simple with warranty covenants the additional public street rights-of-way and grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

*Robert M. Hutt*  
 Robert M. Hutt, Member,  
 Broadstone Towne Center, LLC,  
 By Broadstone Towne Center Alliance, LLC, Its General Partner  
 Date FEB 21, 2008

ACKNOWLEDGEMENT



STATE OF ARIZONA )  
 COUNTY OF MARICOPA ) SS

This instrument was acknowledged before me on this 29<sup>th</sup> day of February, 2008, by Robert M. Hutt, Member, Broadstone Towne Center, LLC, By Broadstone Towne Center Alliance, LLC, Its General Partner.

*Suzanne V. Hopkins*  
 Notary Public

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, Bernalillo County, New Mexico, comprising unplatted parcels of land situated within the Town of Albuquerque Grant, within projected Section 28, Township 10 North, Range 3 East, N.M.P.M., as described by Special Warranty Deed filed September 20, 2007, Document No. 2007134831, and also described by Special Warranty Deed filed September 20, 2007, Document No. 2007134832, and being more particularly described as follows:

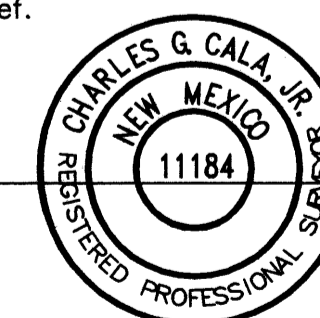
Beginning at the northeast corner of the parcel herein described, being the southeast property corner of Tract 1-B, University Village, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on January 06, 1993, Book 93C, Page 2, also being a point on the west right-of-way line of Buena Vista Drive S.E., whence the N.G.S. Control Station "Stadium" bears N 30°42'47" W a distance of 2893.44 feet; thence S 00°34'36" W a distance of 372.56 feet along said west right-of-way line to the southeast corner of the parcel herein described, being the point of intersection of the west right-of-way line of Buena Vista Drive S.E. with the north right-of-way line of Gibson Boulevard S.E.; thence N 89°45'04" W a distance of 170.06 feet along said north right-of-way line; thence N 77°12'30" W a distance of 46.00 feet along said north right-of-way line; thence N 89°42'43" W a distance of 100.12 feet along said north right-of-way line; thence S 71°50'19" W a distance of 63.24 feet along said north right-of-way line; thence N 89°45'47" W a distance of 348.04 feet along said north right-of-way line; thence S 00°20'37" E a distance of 9.95 feet along said north right-of-way line; thence N 89°39'55" W a distance of 59.90 feet along said north right-of-way line; thence N 00°20'37" W a distance of 10.00 feet along said north right-of-way line; thence N 89°42'14" W a distance of 58.50 feet along said north right-of-way line; thence N 81°14'15" W a distance of 101.05 feet along said north right-of-way line; thence N 89°45'48" W a distance of 120.11 feet along said north right-of-way line; thence S 67°25'14" W a distance of 37.95 feet along said north right-of-way line; thence N 89°59'00" W a distance of 74.92 feet along said north right-of-way line; thence S 79°27'11" W a distance of 50.49 feet along said north right-of-way line to the northwest corner of a parcel known as Parcel No. 2-2, as depicted on the New Mexico State Highway Commission, Right-of-Way Map dated May 07, 2003, owned by Helen K. Woodward and the Sandia Foundation, being the northeast property corner of the remaining portion of Tract C, Gibson and Miles Area, as shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 22, 1965, Book D3, Page 110, and also being depicted on said New Mexico State Highway Commission, Right-of-Way Map, owned by the Sandia Foundation; thence N 89°46'05" W a distance of 160.08 feet along the north property line of said remaining portion of Tract C, Gibson and Miles Area; thence along an arc of a curve to the right with Delta = 06°25'00", R = 2492.96 feet and L = 279.19 feet, (Chord Bearing = N 87°24'21" W, Chord Length = 279.05 feet) along the north property line of said remaining portion of Tract C, Gibson and Miles Area, to the northwest property corner of said Tract C, being a point on the north right-of-way line of Gibson Boulevard S.E.; thence along an arc of a curve to the right with Delta = 02°10'29", R = 5660.00 feet and L = 214.84 feet, (Chord Bearing = N 85°48'10" W, Chord Length = 214.83 feet) along said north right-of-way line to the southwest corner of the parcel herein described, being the point of intersection of the north right-of-way line of Gibson Boulevard S.E. with the east right-of-way line of University Boulevard S.E.; thence along an arc of a curve to the left with Delta = 27°35'35", R = 806.09 feet and L = 388.20 feet, (Chord Bearing = N 08°04'18" W, Chord Length = 384.46 feet) along said east right-of-way line to the northwest corner of the parcel herein described, being the southwest property corner of said Tract 1-B, University Village; thence S 89°18'57" E a distance of 1932.09 feet to the point of beginning and containing 16.7513 acres more or less.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPON: 101505623505410300  
 PROPERTY OWNER OF THIS PLAT:  
 Genales Juanita  
 BERNALILLO COUNTY TREASURER'S OFFICE  
 Cynthia S. Guevara 3/19/08

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*Charles G. Cala, Jr.*  
 Charles G. Cala, Jr., NMPS 11184



03-03-2008  
 Date

**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2006.003.2 FINALPLAT1

PLAT OF TRACTS 1, 2, 3, 4 AND 5, BROADSTONE TOWNE CENTER ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO MARCH, 2008

DOCH 2008031639 03/20/2008 10:07 AM Page: 2 of 5 PLAT R: \$27.00 B: 2008C P: 8052 M: Toulouse, Bernalillo County

COUNTY CLERK FILING DATA

Notes:

- 1. A boundary survey was performed in June, 2006 and verified in August, 2007. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 28, Township 10 North, Range 3 East, N.M.P.M. (Town of Albuquerque Grant).
...
13. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat.

BOUNDARY TABLES

Table with columns: LINE, DIRECTION, DISTANCE. Rows include L1 through L14 with bearings and distances.

Table with columns: CURVE, RADIUS, LENGTH, CHORD BEARING, CHORD, DELTA. Rows include C1 through C19 with curve data.

KEYED NOTES

NEW EASEMENTS

- 1. ABCWUA PUBLIC WATERLINE AND ABCWUA PUBLIC SANITARY SEWER EASEMENTS GRANTED BY THIS PLAT.
2. PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED 03-20-2008, DOCUMENT NO. 2008031640 ALSO, A PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED 03-20-2008, DOCUMENT NO. 2008031640 NORTH-SOUTH PRIVATE ROAD IS NAMED "BROADSTONE WAY S.E.", WITH AN ENTRANCE OFF GIBSON BOULEVARD S.E. EAST-WEST PRIVATE ROAD IS NAMED "TOWNE CENTER LANE S.E." WITH AN ENTRANCE OFF UNIVERSITY BOULEVARD S.E.
3. PUBLIC ROADWAY AND SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
4. ABCWUA PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT.
5. 10' QWEST CORPORATION EASEMENT GRANTED BY THIS PLAT.
6. 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.

EASEMENTS - OFFSITE

- 7. 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270
8. 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2

EASEMENT

- 9. PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY THE ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 09-13-2007

MONUMENTS

- A. FOUND #5 REBAR W/CAP STAMPED "MARQ LS 10283", TAGGED W/WASHER STAMPED "NMPS 11184"
B. FOUND #4 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
C. FOUND #4 REBAR W/CAP STAMPED "PS 11463", TAGGED W/WASHER STAMPED "NMPS 11184"
D. FOUND CONCRETE NAIL W/WASHER STAMPED "11463"
E. TO BE SET
F. FOUND #4 REBAR W/CAP ILLEGIBLE, NOT HONORED (N 88°14'14" W 0.92')



FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC. 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2006.003.2 FINALPLAT1

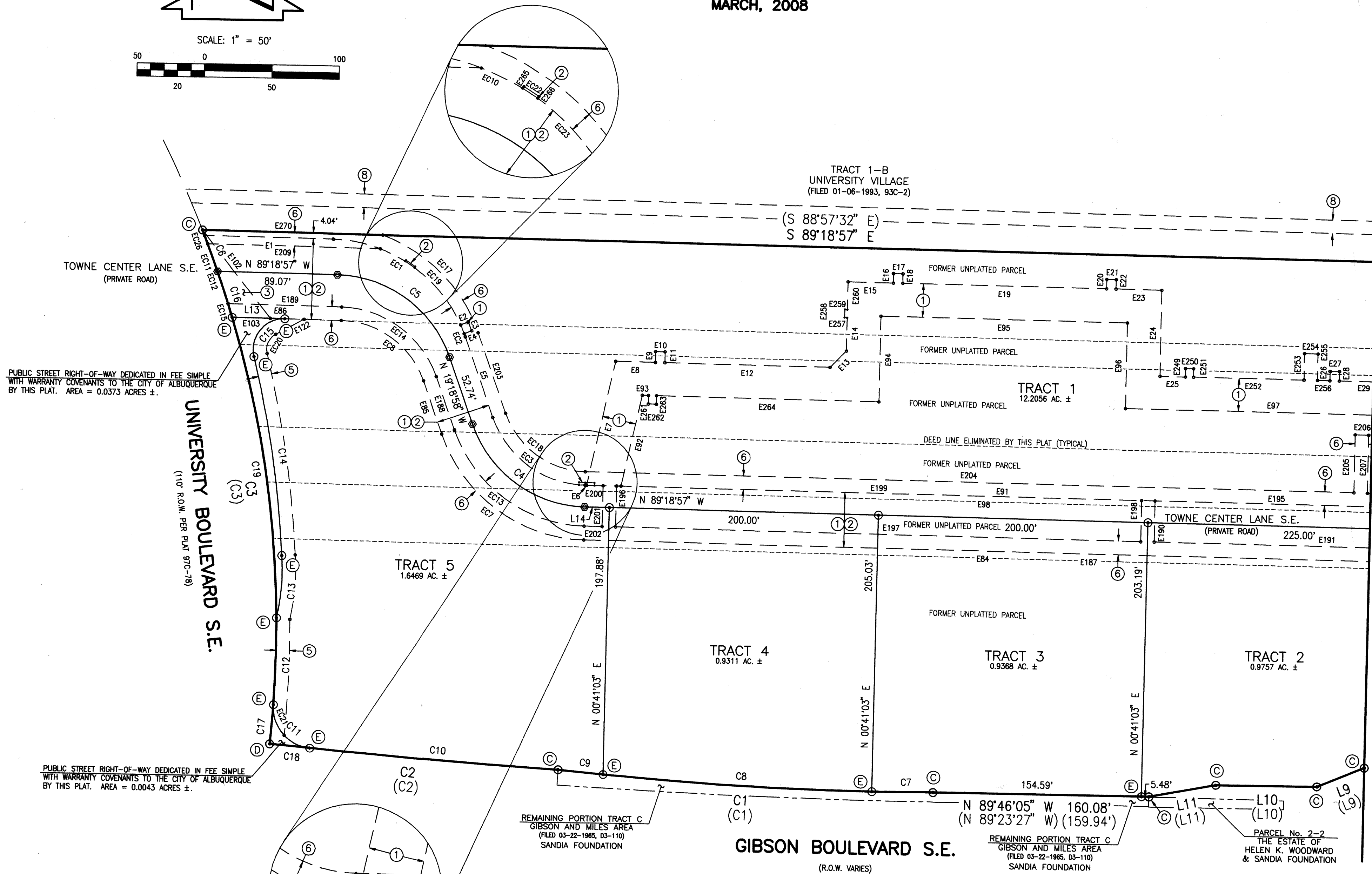
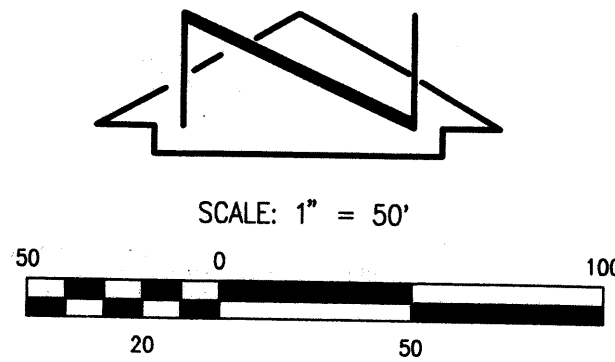


PLAT OF  
**TRACTS 1, 2, 3, 4 AND 5,**  
**BROADSTONE TOWNE CENTER**

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2008

DOC# 2008031639  
 03/20/2008 10:07 AM Page: 4 of 5  
 Plot #: 827 08 B: 2008C P: 0052 M: Toulouse, Bernalillo County

COUNTY CLERK FILING DATA



PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE BY THIS PLAT. AREA = 0.0373 ACRES ±.

PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE BY THIS PLAT. AREA = 0.0043 ACRES ±.

REMAINING PORTION TRACT C  
 GIBSON AND MILES AREA  
 (FILED 03-22-1965, 03-110)  
 SANDIA FOUNDATION

REMAINING PORTION TRACT C  
 GIBSON AND MILES AREA  
 (FILED 03-22-1965, 03-110)  
 SANDIA FOUNDATION

PARCEL No. 2-2  
 THE ESTATE OF  
 HELEN K. WOODWARD  
 & SANDIA FOUNDATION

MATCH LINE - FOR CONTINUATION SEE SHEET 5

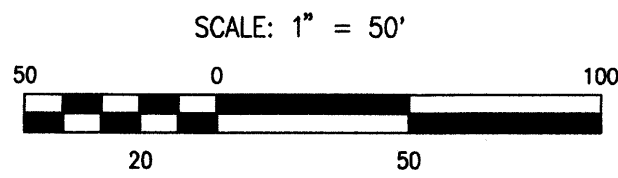
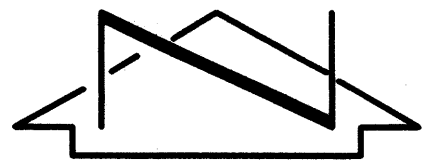
**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

4010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • [www.highmesacg.com](http://www.highmesacg.com)  
 JOB #2006.003.2 FINALPLAT1

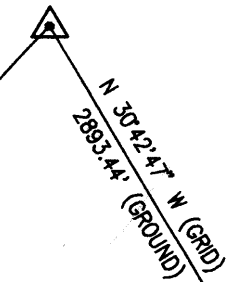
PLAT OF  
**TRACTS 1, 2, 3, 4 AND 5,**  
**BROADSTONE TOWNE CENTER**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2008

DOCH 2008031639  
 03/20/2008 10:07 AM Page: 5 of 5  
 PLAT R: S27.00 B: 2008C P: 0052 M: Toulouse, Bernalillo County

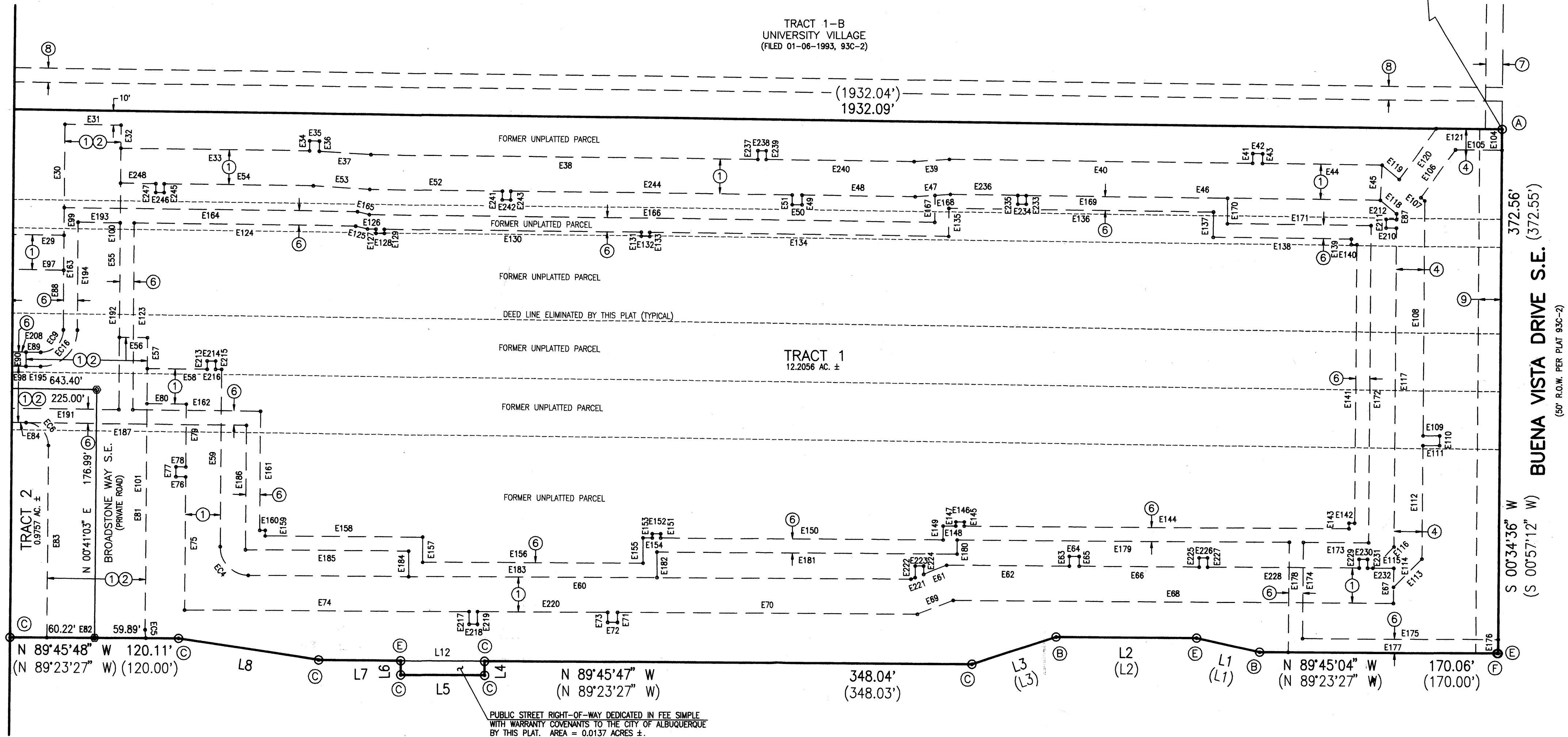
COUNTY CLERK FILING DATA



NEW MEXICO CENTRAL ZONE-NAD 1927  
 N.G.S. STA. "STADIUM"  
 X=386,679.35  
 Y=1,479,655.72  
 COMBINED FACTOR=0.99966833  
 DELTA ALPHA=-00'13"03"  
 TRIG ELEVATION=5151' (NGVD 29)



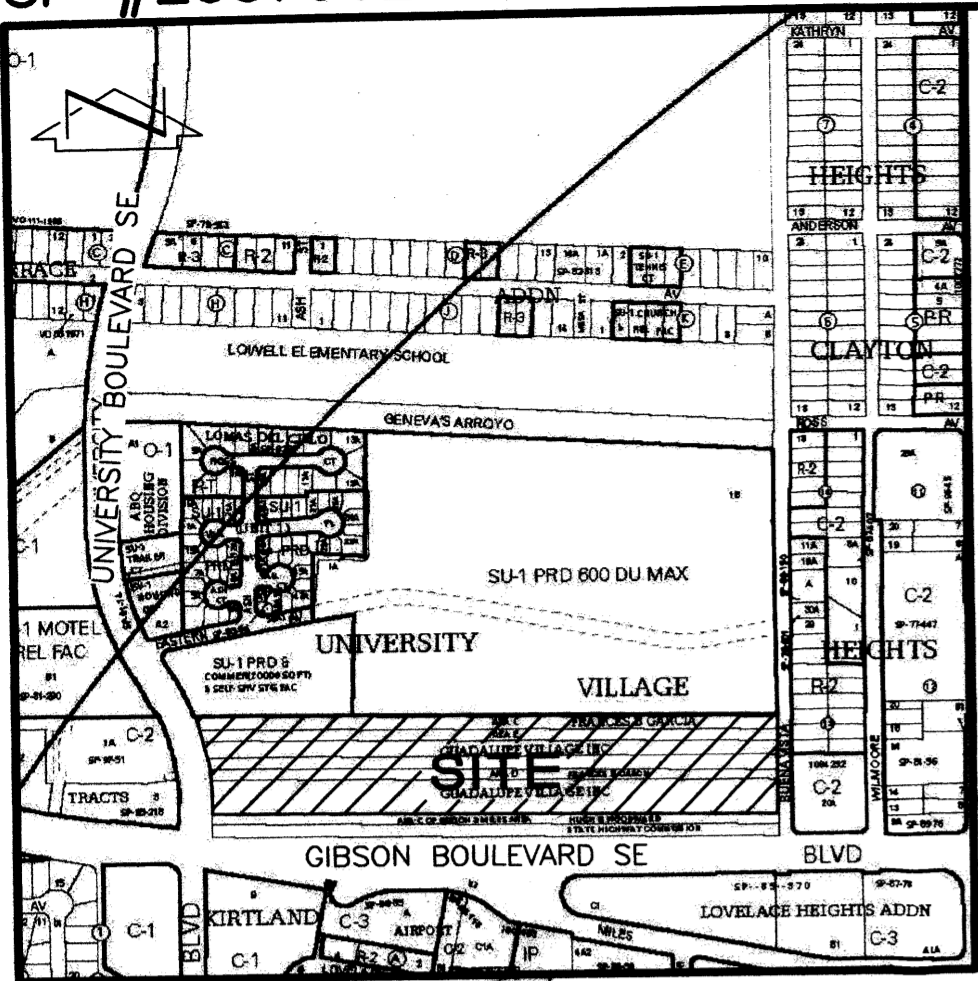
MATCH LINE - FOR CONTINUATION SEE SHEET 4



PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE  
 WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE  
 BY THIS PLAT. AREA = 0.0137 ACRES ±.

**GIBSON BOULEVARD S.E.**  
 (R.O.W. VARIES)

**HIGH MESA Consulting Group**  
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2006.003.2 FINALPLAT2



PLAT OF  
**TRACTS 1, 2, 3, 4 AND 5,**  
**BROADSTONE TOWNE CENTER**

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2008

BROADSTONE TOWNE CENTER, LLC  
 OWNER  
 PROJECTED  
 SEC. 28, T 10 N, R 3 E, N.M.P.M.  
 LOCATION  
 BROADSTONE TOWNE CENTER  
 SUBDIVISION

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1005243

APPLICATION NUMBER 06EPC-01592, 06EPC-01593, 06EPC-01594

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

ABCWUA DATE

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

A.M.A.F.C.A. DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE **3-6-08**

REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

P.N.M. ELECTRIC SERVICES DATE

QWEST TELECOMMUNICATIONS DATE

P.N.M. GAS SERVICES DATE

COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, Bernalillo County, New Mexico, comprising unplatted parcels of land situated within the Town of Albuquerque Grant, within projected Section 28, Township 10 North, Range 3 East, N.M.P.M., as described by Special Warranty Deed filed September 20, 2007, Document No. 2007134831, and also described by Special Warranty Deed filed September 20, 2007, Document No. 2007134832, and being more particularly described as follows:

Beginning at the northeast corner of the parcel herein described, being the southeast property corner of Tract 1-B, University Village, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on January 06, 1993, Book 93C, Page 2, also being a point on the west right-of-way line of Buena Vista Drive S.E., whence the N.G.S. Control Station "Stadium" bears N 30°42'47" W a distance of 2893.44 feet; thence S 00°34'36" W a distance of 372.56 feet along said west right-of-way line to the southeast corner of the parcel herein described, being the point of intersection of the west right-of-way line of Buena Vista Drive S.E. with the north right-of-way line of Gibson Boulevard S.E.; thence N 89°45'04" W a distance of 170.06 feet along said north right-of-way line; thence N 77°12'30" W a distance of 46.00 feet along said north right-of-way line; thence N 89°42'43" W a distance of 100.12 feet along said north right-of-way line; thence S 71°50'19" W a distance of 63.24 feet along said north right-of-way line; thence N 89°45'47" W a distance of 348.04 feet along said north right-of-way line; thence S 00°20'37" E a distance of 9.95 feet along said north right-of-way line; thence N 89°39'55" W a distance of 59.90 feet along said north right-of-way line; thence N 00°20'37" W a distance of 10.00 feet along said north right-of-way line; thence N 89°42'14" W a distance of 58.50 feet along said north right-of-way line; thence N 81°14'15" W a distance of 101.05 feet along said north right-of-way line; thence N 89°45'48" W a distance of 120.11 feet along said north right-of-way line; thence S 67°25'14" W a distance of 37.95 feet along said north right-of-way line; thence N 89°59'00" W a distance of 74.92 feet along said north right-of-way line; thence S 79°27'11" W a distance of 50.49 feet along said north right-of-way line to the northwest corner of a parcel known as Parcel No. 2-2, as depicted on the New Mexico State Highway Commission, Right-of-Way Map dated May 07, 2003, owned by Helen K. Woodward and the Sandia Foundation, being the northeast property corner of the remaining portion of Tract C, Gibson and Miles Area, as shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 22, 1965, Book D3, Page 110, and also being depicted on said New Mexico State Highway Commission, Right-of-Way Map, owned by the Sandia Foundation; thence N 89°46'05" W a distance of 160.08 feet along the north property line of said remaining portion of Tract C, Gibson and Miles Area; thence along an arc of a curve to the right with Delta = 06°25'00", R = 2492.96 feet and L = 279.19 feet, (Chord Bearing = N 87°24'21" W, Chord Length = 279.05 feet) along the north property line of said remaining portion of Tract C, Gibson and Miles Area, to the northwest property corner of said Tract C, being a point on the north right-of-way line of Gibson Boulevard S.E.; thence along an arc of a curve to the right with Delta = 02°10'29", R = 5660.00 feet and L = 214.84 feet, (Chord Bearing = N 85°48'10" W, Chord Length = 214.83 feet) along said north right-of-way line to the southwest corner of the parcel herein described, being the point of intersection of the north right-of-way line of Gibson Boulevard S.E. with the east right-of-way line of University Boulevard S.E.; thence along an arc of a curve to the left with Delta = 27°35'35", R = 806.09 feet and L = 388.20 feet, (Chord Bearing = N 08°04'18" W, Chord Length = 384.46 feet) along said east right-of-way line to the northwest corner of the parcel herein described, being the southwest property corner of said Tract 1-B, University Village; thence S 89°18'57" E a distance of 1932.09 feet to the point of beginning and containing 16.7513 acres more or less.

VICINITY MAP

L-15

SCALE: 1" = 750'

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby dedicate to the City of Albuquerque in fee simple with warranty covenants the additional public street rights-of-way and grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

*Robert M. Hutt*  
 Robert M. Hutt, Member,  
 Broadstone Towne Center, LLC,  
 By Broadstone Towne Center Alliance, LLC, Its General Partner  
 Date **FEB 21, 2008**

ACKNOWLEDGEMENT



STATE OF ARIZONA )  
 COUNTY OF MARICOPA ) SS

This instrument was acknowledged before me on this **29<sup>th</sup>** day of **February**, 2008, by Robert M. Hutt, Member, Broadstone Towne Center, LLC, By Broadstone Towne Center Alliance, LLC, Its General Partner.

*Suzanne Y. Hopkins*  
 Notary Public

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*Charles G. Cala, Jr.*  
 Charles G. Cala, Jr., NMPS 11184



**03-03-2008**  
 Date

**HIGH MESA Consulting Group**

FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2006.003.2 FINALPLAT1

PLAT OF  
**TRACTS 1, 2, 3, 4 AND 5,**  
**BROADSTONE TOWNE CENTER**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2008

COUNTY CLERK FILING DATA

Notes:

1. A boundary survey was performed in June, 2006 and verified in August, 2007. Properly corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 28, Township 10 North, Range 3 East, N.M.P.M. (Town of Albuquerque Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from N.G.S. Control Station "Stadium".
5. Record bearings and distances are shown in parenthesis.
6. Private street mileage created by this plat = 0.21 miles (full-width).
7. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.
8. The purpose of this plat is to:
  - a. Eliminate the interior deed lines to create 5 (five) tracts from the unplatted parcels.
  - b. Dedicate in Fee Simple, with warranty covenants, the necessary additional public street right-of-way
  - c. Grant the necessary ABCWUA Public Waterline, ABCWUA Public Sanitary Sewer, Public Roadway, Public Sidewalk, Private Access, Private Drainage, Qwest Corporation and Public Utility Easements as shown.
9. The property surveyed hereon is subject to a Public Service Company of New Mexico easement granted by document filed June 11, 1970, Book Misc. 176, Page 716, Records of Bernalillo County, New Mexico (See Keyed Note 9).
10. The following documents and instruments were used for the performance and preparation of this plat:
  - a. ALTA Land Title Survey of Parcels of Land within Section 28, T 10 N, R 3 E, NMPM, prepared by Harris Surveying, Inc., certified 09-13-2007 (unrecorded).
  - b. Plat of University Village filed 01-06-1993, Book 93C, Page 2, Records of Bernalillo County, New Mexico.
  - c. Plat of Lands of Matias Romero filed 08-08-1949, Book A, Page 118, Records of Bernalillo County, New Mexico.
  - d. Plat of Gibson & Miles Area filed 03-22-1965, Book D3, Page 110, Records of Bernalillo County, New Mexico.
  - e. New Mexico State Highway Commission, Right-of-Way Map, Project No. F-003-3 (5) dated 03-18-1981.
  - f. New Mexico State Highway Commission, Right-of-Way Map, Project No. TPU-4078(5)00 prepared by Parsons Brinckerhoff dated 05-07-2003.
  - g. Commitment for Title Insurance, File No. NCS-220536-PHX1, prepared by First American Title Insurance Company dated 09-19-2007.
  - h. Policy of Title Insurance, Policy No. 01-1085818, prepared by First American Title Insurance Company dated 09-20-2007.
  - i. Special Warranty Deed filed 09-20-2007, Doc. No. 2007134831, Records of Bernalillo County, New Mexico.
  - j. Special Warranty Deed filed 09-20-2007, Doc. No. 2007134832, Records of Bernalillo County, New Mexico.
11. Gross subdivision acreage = 16.7513 acres.
12. Current Zoning on site is SU-1/PRD and SU-1 for C-2 Permissive Uses with Exclusions, based upon review of the City of Albuquerque Zone Map Amendment (06EPC-01594).
13. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat.

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	N 77°12'30" W	46.00'
(L1)	N 76°51'43" W	46.10'
L2	N 89°42'43" W	100.12'
(L2)	N 89°23'27" W	100.00'
L3	S 71°50'19" W	63.24'
(L3)	S 72°10'27" W	63.25'
L4	S 00°20'37" E	9.95'
(L4)	S 00°00'00" E	10.00'
L5	N 89°39'55" W	59.90'
(L5)	N 89°23'25" W	60.00'
L6	N 00°20'37" W	10.00'
(L6)	N 00°00'00" W	10.00'
L7	N 89°42'14" W	58.50'
(L7)	N 89°23'27" W	58.35'
L8	N 81°14'15" W	101.05'
(L8)	N 80°51'36" W	101.12'
L9	S 67°25'14" W	37.95'
(L9)	S 67°38'56" W	38.08'
L10	N 89°59'00" W	74.92'
(L10)	N 89°43'26" W	75.00'
L11	S 79°27'11" W	50.49'
(L11)	S 79°54'42" W	50.53'
L12	N 89°37'00" W	59.90'
L13	S 89°18'57" E	39.03'
L14	S 89°18'57" E	18.40'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	2492.96'	279.19'	N 87°24'21" W	279.05'	06°25'00"
(C1)	2492.96'	279.84'	N 87°04'51" W	279.09'	06°25'04"
C2	5660.00'	214.84'	N 85°48'10" W	214.83'	02°10'29"
(C2)	5660.00'	214.91'	N 85°28'51" W	214.90'	02°10'32"
C3	806.09'	388.20'	N 08°04'18" W	384.46'	27°35'35"
(C3)	806.09'	388.66'	N 07°40'45" W	384.90'	27°37'31"
C4	90.00'	109.96'	S 54°18'57" E	103.24'	69°59'59"
C5	90.00'	109.96'	N 54°18'57" W	103.24'	69°59'59"
C6	806.09'	32.26'	N 20°43'18" W	32.26'	02°17'36"
C7	2492.96'	45.42'	S 89°54'28" W	45.42'	01°02'38"
C8	2492.96'	200.18'	N 87°16'12" W	200.13'	04°36'03"
C9	2492.96'	33.60'	N 84°35'01" W	33.60'	00°46'20"
C10	5660.00'	185.00'	N 85°57'13" W	184.99'	01°52'22"
C11	30.00'	46.42'	S 40°41'06" E	41.93'	88°39'53"
C12	806.09'	65.21'	N 01°19'48" E	65.19'	04°38'06"
C13	157.00'	46.26'	N 04°19'17" E	46.10'	16°53'00"
C14	812.55'	148.99'	N 08°35'45" W	148.78'	10°30'21"
C15	23.00'	41.96'	S 38°25'04" W	36.38'	104°31'59"
C16	806.09'	35.96'	N 18°17'15" W	35.96'	02°33'21"
C17	806.09'	29.22'	N 04°41'10" E	29.22'	02°04'38"
C18	5660.00'	29.84'	N 84°51'59" W	29.84'	00°18'07"
C19	806.09'	225.55'	N 09°00'12" W	224.81'	16°01'54"

KEYED NOTES

NEW EASEMENTS

- ① ABCWUA PUBLIC WATERLINE AND ABCWUA PUBLIC SANITARY SEWER EASEMENTS GRANTED BY THIS PLAT.
- ② PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED \_\_\_\_\_-2008, DOCUMENT NO. 2008\_\_\_\_\_. ALSO, A PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED \_\_\_\_\_-2008, DOCUMENT NO. 2008\_\_\_\_\_. NORTH-SOUTH PRIVATE ROAD IS NAMED "BROADSTONE WAY S.E.", WITH AN ENTRANCE OFF GIBSON BOULEVARD S.E. EAST-WEST PRIVATE ROAD IS NAMED "TOWNE CENTER LANE S.E." WITH AN ENTRANCE OFF UNIVERSITY BOULEVARD S.E.
- ③ PUBLIC ROADWAY AND SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ④ ABCWUA PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT.
- ⑤ 10' QWEST CORPORATION EASEMENT GRANTED BY THIS PLAT.
- ⑥ 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.

EASEMENTS - OFFSITE

- ⑦ 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270
- ⑧ 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2

EASEMENT

- ⑨ PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY THE ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 09-13-2007

MONUMENTS

- (A) FOUND #5 REBAR W/CAP STAMPED "MARQ LS 10283", TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) FOUND #4 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- (C) FOUND #4 REBAR W/CAP STAMPED "PS 11463", TAGGED W/WASHER STAMPED "NMPS 11184"
- (D) FOUND CONCRETE NAIL W/WASHER STAMPED "11463"
- (E) TO BE SET
- (F) FOUND #4 REBAR W/CAP ILLEGIBLE, NOT HONORED (N 88°14'14" W 0.92')

**HIGH MESA Consulting Group**

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 JOB #2006.003.2 FINALPLAT1



PLAT OF TRACTS 1, 2, 3, 4 AND 5, BROADSTONE TOWNE CENTER

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

MARCH, 2008

EASEMENT TABLES

COUNTY CLERK FILING DATA

Table with columns: CURVE, RADIUS, LENGTH, CHORD BEARING, CHORD, DELTA, EASEMENT. Lists curves EC1 through EC26 with their respective measurements.

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Lists easement lines E1 through E50.

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Lists easement lines E51 through E100.

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Lists easement lines E101 through E150.

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Lists easement lines E151 through E200.

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Lists easement lines E201 through E250.

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Lists easement lines E251 through E270.



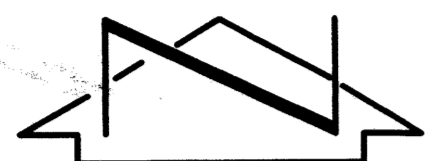
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2006.003.2 FINALPLAT1

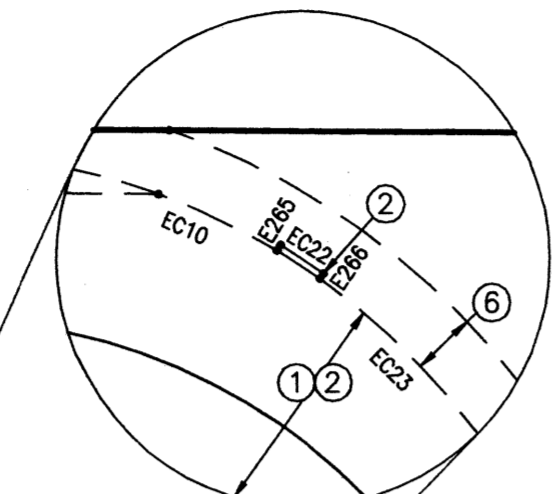
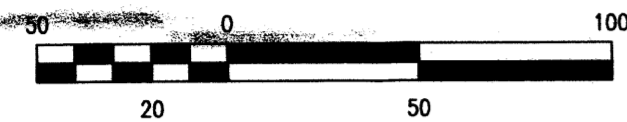
# PLAT OF TRACTS 1, 2, 3, 4 AND 5, BROADSTONE TOWNE CENTER

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2008

COUNTY CLERK FILING DATA



SCALE: 1" = 50'



TRACT 1-B  
UNIVERSITY VILLAGE  
(FILED 01-06-1993, 93C-2)

(S 88°57'32" E)  
S 89°18'57" E

TOWNE CENTER LANE S.E.  
(PRIVATE ROAD)

PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE  
WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE  
BY THIS PLAT. AREA = 0.0373 ACRES ±.

UNIVERSITY BOULEVARD S.E.  
(110' R.O.W. PER PLAT 97C-78)

TRACT 1  
12.2056 AC. ±

TRACT 5  
1.6469 AC. ±

TRACT 4  
0.9311 AC. ±

TRACT 3  
0.9368 AC. ±

TRACT 2  
0.9757 AC. ±

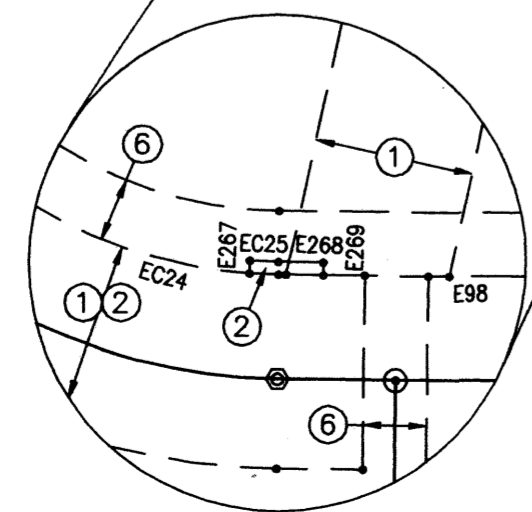
TOWNE CENTER LANE S.E.  
(PRIVATE ROAD) 225.00'

GIBSON BOULEVARD S.E.  
(R.O.W. VARIES)

REMAINING PORTION TRACT C  
GIBSON AND MILES AREA  
(FILED 03-22-1965, 03-110)  
SANDIA FOUNDATION

PARCEL No. 2-2  
THE ESTATE OF  
HELEN K. WOODWARD  
& SANDIA FOUNDATION

PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE  
WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE  
BY THIS PLAT. AREA = 0.0043 ACRES ±.



MATCH LINE - FOR CONTINUATION SEE SHEET 5

**HIGH MESA Consulting Group**

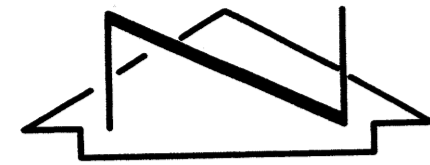
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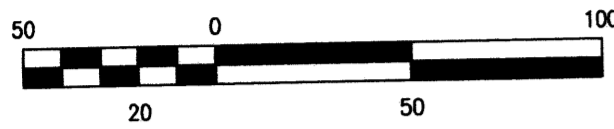
JOB #2006.003.2 FINALPLAT1

PLAT OF  
**TRACTS 1, 2, 3, 4 AND 5,**  
**BROADSTONE TOWNE CENTER**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2008

COUNTY CLERK FILING DATA



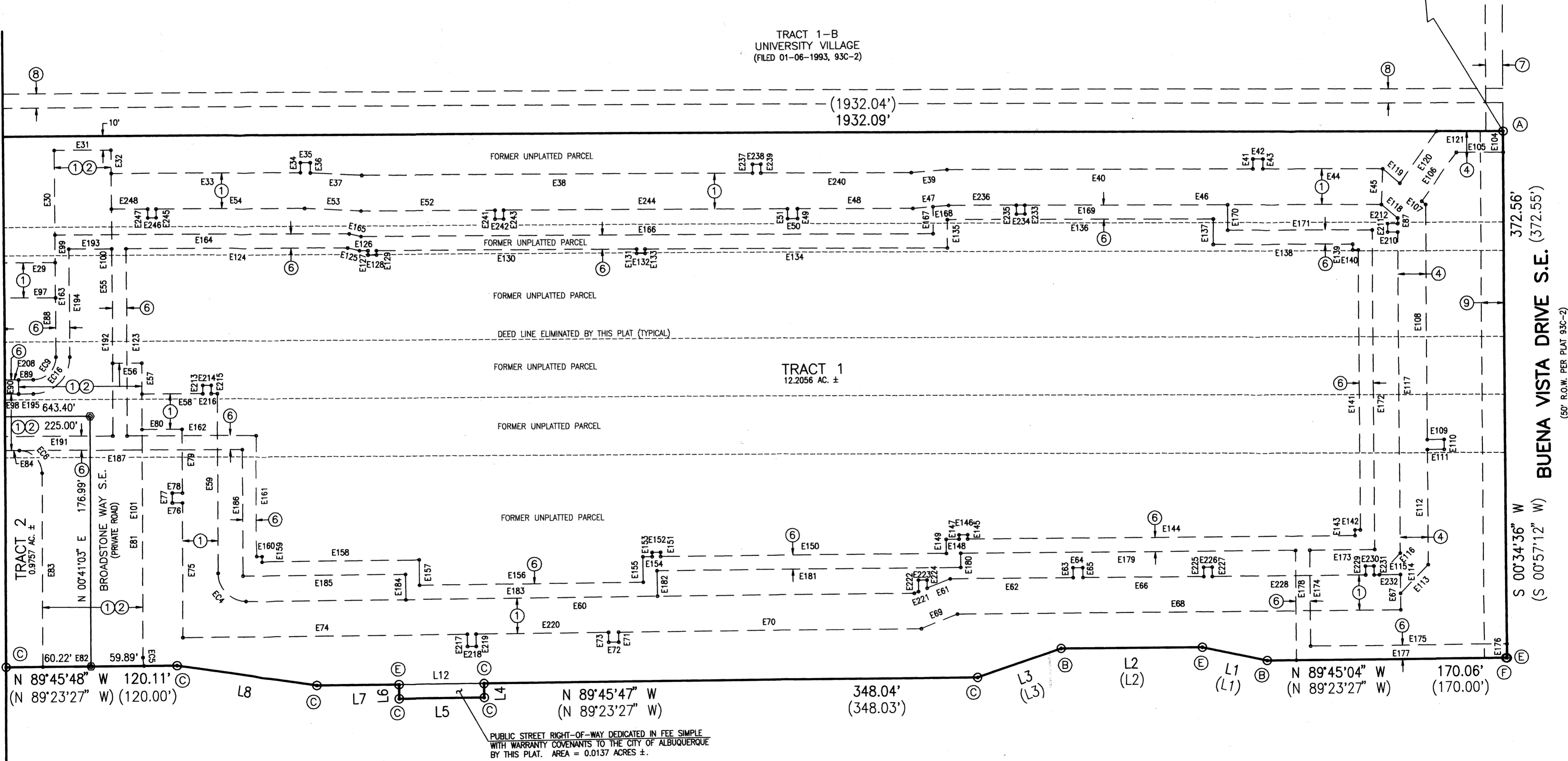
SCALE: 1" = 50'



NEW MEXICO CENTRAL ZONE-NAD 1927  
 N.G.S. STA. "STADIUM"  
 X=386,679.35  
 Y=1,479,655.72  
 COMBINED FACTOR=0.99966833  
 DELTA ALPHA=-00°13'03"  
 TRIG ELEVATION=5151' (NGVD 29)

TRACT 1-B  
 UNIVERSITY VILLAGE  
 (FILED 01-06-1993, 93C-2)

MATCH LINE - FOR CONTINUATION SEE SHEET 4



PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE  
 WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE  
 BY THIS PLAT. AREA = 0.0137 ACRES ±.

**GIBSON BOULEVARD S.E.**  
 (R.O.W. VARIES)

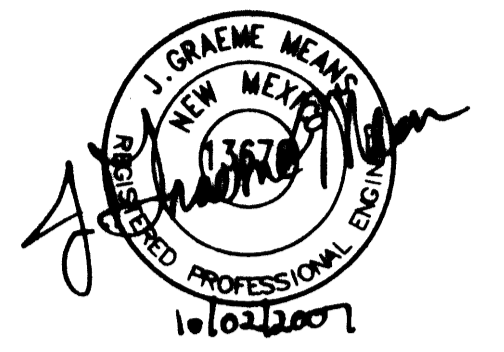
**BUENA VISTA DRIVE S.E.**  
 (372.55')  
 (S 00°57'12" W)  
 (S 00°34'36" W)

**HIGH MESA Consulting Group**

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 JOB #2006.003.2 FINALPLAT2

# BROADSTONE TOWNE CENTER

N.E.C. UNIVERSITY AND GIBSON ROADS  
ALBUQUERQUE, NEW MEXICO



Office of Rich Barber  
**ORB**  
Architecture, LLC

4530 North 40th Street  
Phoenix, Arizona 85018  
0:602-957-4530 F:602-957-4531  
WorldHQ@ORBArch.com

**ORB**  
Architecture, LLC  
The Office Of Rich Barber, Architect  
6017 North 38th Place  
Paradise Valley, Arizona 85253  
tel: 602.840.2852  
fax: 602.840.3215  
email: rarb@ORBArch.com

**Owner**  
ALLIANCE RESIDENTIAL CO.  
2415 E. Camelback Rd., Suite 600  
Phoenix, Arizona 85016  
tel: 602.778.2800  
fax: 602.778.2850  
Contact: Keith Coleman

**Planner**  
CONSENSUS PLANNING  
302 Eighth Street NW  
Albuquerque, New Mexico 87102  
tel: 505.744.9881  
fax: 505.842.5495  
Contact: Jackie Fishman

**Civil**  
HIGH MESA CONSULTING GROUP  
6010-B Midway Park Blvd. NE  
Albuquerque, New Mexico 87109  
tel: 505.345.4250  
fax: 505.345.4254  
Contact: Graeme Means

**Landscape**  
DANNY POWELL LANDSCAPE  
1452 Carrol Drive  
Atlanta, Georgia 30318  
tel: 404.352.2240  
fax: 404.352.2492  
Contact: Danny Powell

## KEYED NOTES

### NEW EASEMENTS

- ① CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
- ② PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. ALSO, A PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
- ③ PUBLIC ROADWAY AND SIDEWALK EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT.
- ④ CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY PLAT.
- ⑤ 10' QWEST CORPORATION EASEMENT TO BE GRANTED BY PLAT.
- ⑥ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY PLAT.

### EASEMENTS - OFFSITE

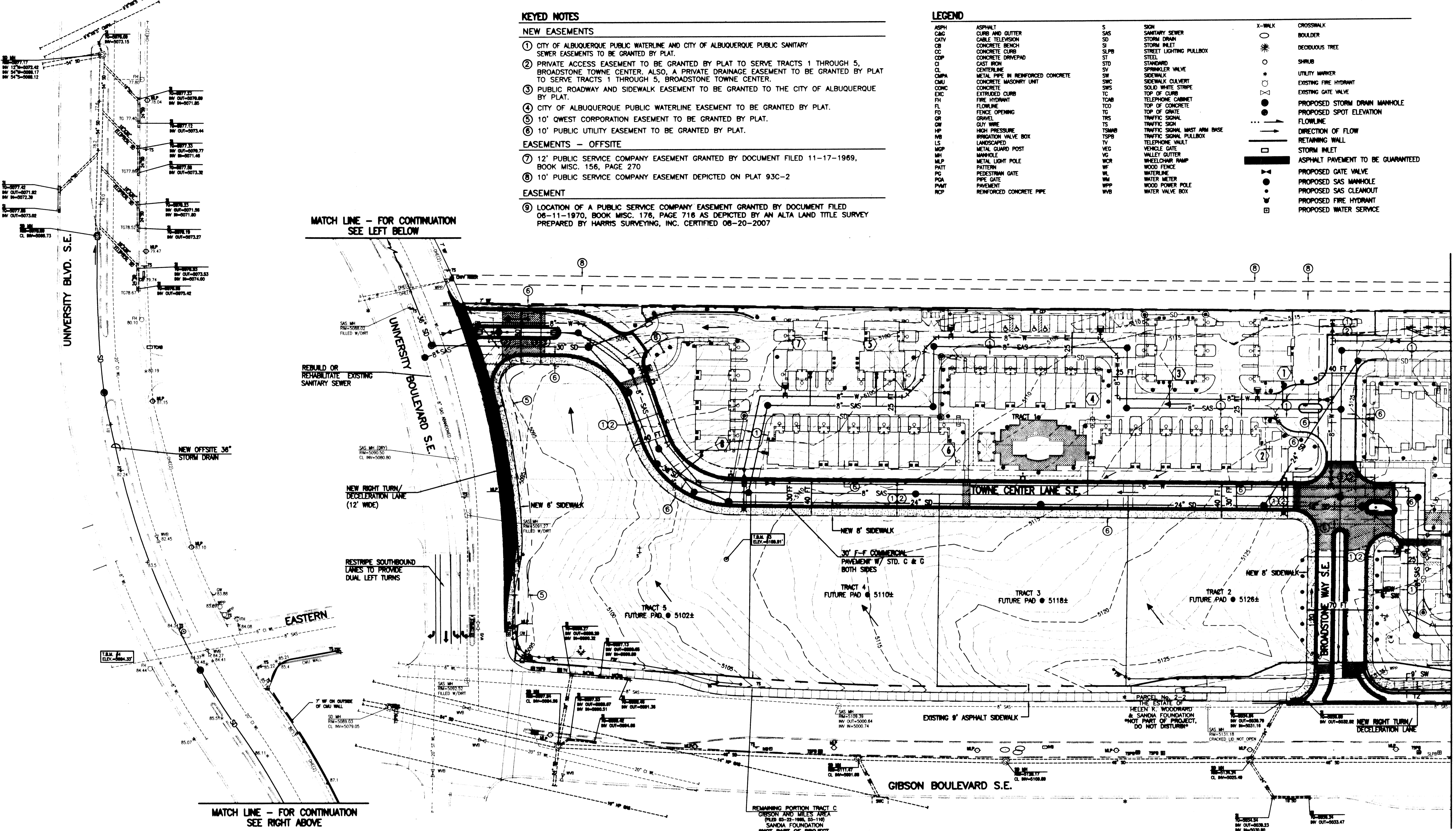
- ⑦ 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270
- ⑧ 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2

### EASEMENT

- ⑨ LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 06-20-2007

## LEGEND

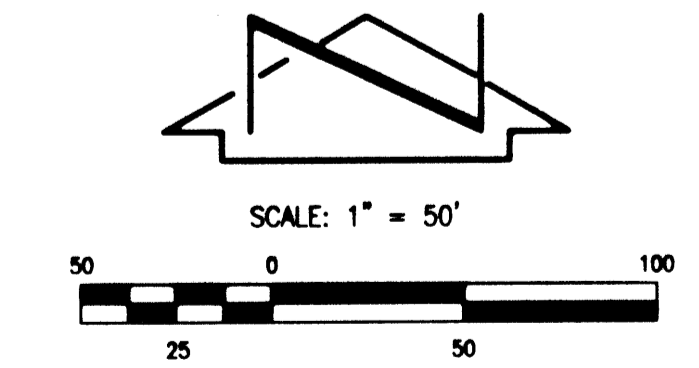
ASPH	ASPHALT	S	SIGN	X-WALK	CROSSWALK
C&G	CURB AND GUTTER	SAS	SANITARY SEWER	○	BOULDER
CATV	CABLE TELEVISION	SD	STORM DRAIN	⊗	DECIDUOUS TREE
CB	CONCRETE BENCH	SI	STORM INLET	○	SHRUB
CC	CONCRETE CURB	SLPB	STREET LIGHTING PULLBOX	○	UTILITY MARKER
CCP	CONCRETE DRIVEPAD	ST	STEEL	○	EXISTING FIRE HYDRANT
CI	CAST IRON	STD	STANDARD	○	EXISTING GATE VALVE
CL	CENTERLINE	SV	SPRINKLER VALVE	○	PROPOSED STORM DRAIN MANHOLE
COMP	METAL PIPE IN REINFORCED CONCRETE	SW	SIDEWALK	○	PROPOSED SPOT ELEVATION
CMU	CONCRETE MASONRY UNIT	SWC	SIDEWALK CULVERT	○	FLOWLINE
CMC	CONCRETE	SWS	SOLID WHITE STRIPE	○	DIRECTION OF FLOW
EXC	EXTRUDED CURB	TC	TOP OF CURB	○	RETAINING WALL
FI	FIRE HYDRANT	TCB	TELEPHONE CABINET	○	ASPHALT PAVEMENT TO BE GUARANTEED
FL	FLOWLINE	TCO	TOP OF CONCRETE	○	PROPOSED GATE VALVE
FO	FENCE OPENING	TS	TOP OF GRANITE	○	PROPOSED SAS MANHOLE
FR	FRITZ	TRS	TRAFFIC SIGNAL	○	PROPOSED SAS CLEANOUT
GR	GRAVEL	TS	TRAFFIC SIGN	○	PROPOSED FIRE HYDRANT
GW	GUY WIRE	TSMB	TRAFFIC SIGNAL MAST ARM BASE	○	PROPOSED WATER SERVICE
HP	HIGH PRESSURE	TSPB	TRAFFIC SIGNAL PULLBOX	○	
HPB	IRRIGATION VALVE BOX	TV	TELEPHONE VAULT	○	
LS	LANDSCAPED	VEG	VEGETATION	○	
LS	LANDSCAPED	WCR	WOOD CURB	○	
MGP	METAL GUARD POST	WF	WOOD FENCE	○	
MH	MANHOLE	WM	WATERLINE	○	
MLP	METAL LIGHT POLE	WM	WATER METER	○	
PATT	PATTERN	WPP	WOOD POWER POLE	○	
PG	PIPE GATE	WVB	WATER VALVE BOX	○	
PCA	PAVEMENT			○	
PWMT	REINFORCED CONCRETE PIPE			○	
RCP				○	



Plot Date: 10-01-2007  
Plot Time: 2:30 pm  
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**NOTE:**  
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE PRELIMINARY BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE PRELIMINARY BOUNDARY SURVEY PREPARED BY JMA, NMPS NO. 11184 (FINAL SURVEY PENDING). TOPOGRAPHIC SURVEY INFORMATION IS BASED UPON A PRELIMINARY TOPOGRAPHIC SURVEY PREPARED BY HMCG, NMPS NO. 11184. (FINAL SURVEY PENDING)

**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com



2006.003.1

NO.	REVISIONS

DATE: SEPTEMBER, 2007 ORB # 06-210

**INF.1**  
INFRASTRUCTURE EXHIBIT (WEST)

**LEGEND**

ASPH	ASPHALT
C&G	CURB AND GUTTER
CB	CABLE TELEVISION
CC	CONCRETE BENCH
CCP	CONCRETE CURB
CDP	CONCRETE DRIVEPAD
CI	CAST IRON
CL	CENTERLINE
CMH	METAL PIPE IN REINFORCED CONCRETE
CMU	CONCRETE MASONRY UNIT
COMC	CONCRETE
EXC	EXTRUDED CURB
FI	FIRE HYDRANT
FL	FLOWLINE
FO	FENCE OPENING
GR	GRAVEL
GW	GUY WIRE
HP	HIGH PRESSURE
IB	IRRIGATION VALVE BOX
LS	LANDSCAPED
MGP	METAL GUARD POST
MHP	MANHOLE
PAIT	PATTERN
PG	PEDESTRIAN GATE
PGA	PIPE GATE
PMT	PAVEMENT
RCP	REINFORCED CONCRETE PIPE
S	SIGN
SAS	SEWER
SD	STORM DRAIN
SDI	STORM INLET
SLPB	STREET LIGHTING PULLBOX
ST	STEEL
STD	STANDARD
SPW	SPRINKLER VALVE
SW	SIDEWALK
SWC	SIDEWALK CULVERT
SWS	SOLID WHITE STRIPE
TC	TOP OF CURB
TOB	TOP OF CONCRETE
TOC	TOP OF GRATE
TR	TRAFFIC SIGNAL
TS	TRAFFIC SIGNAL CABINET
TSMB	TRAFFIC SIGNAL MAST ARM BASE
TSPB	TRAFFIC SIGNAL PULLBOX
TV	TELEPHONE VAULT
VEG	VEGETATION
VG	VALLEY GUTTER
WCR	WOOD FENCE
WF	WHEELCHAIR RAMP
WL	WOOD FENCE
WM	WATERLINE
WMP	WOOD POWER POLE
WVB	WATER VALVE BOX
X-WALK	CROSSWALK
	BOULDER
	DECIDUOUS TREE
	SHRUB
	UTILITY MARKER
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED SPOT ELEVATION
	FLOWLINE
	DIRECTION OF FLOW
	RETAINING WALL
	STORM INLET
	ASPHALT PAVEMENT TO BE GUARANTEED
	PROPOSED GATE VALVE
	PROPOSED SAS MANHOLE
	PROPOSED SAS CLEANOUT
	PROPOSED FIRE HYDRANT
	PROPOSED WATER SERVICE

**KEYED NOTES**

**NEW EASEMENTS**

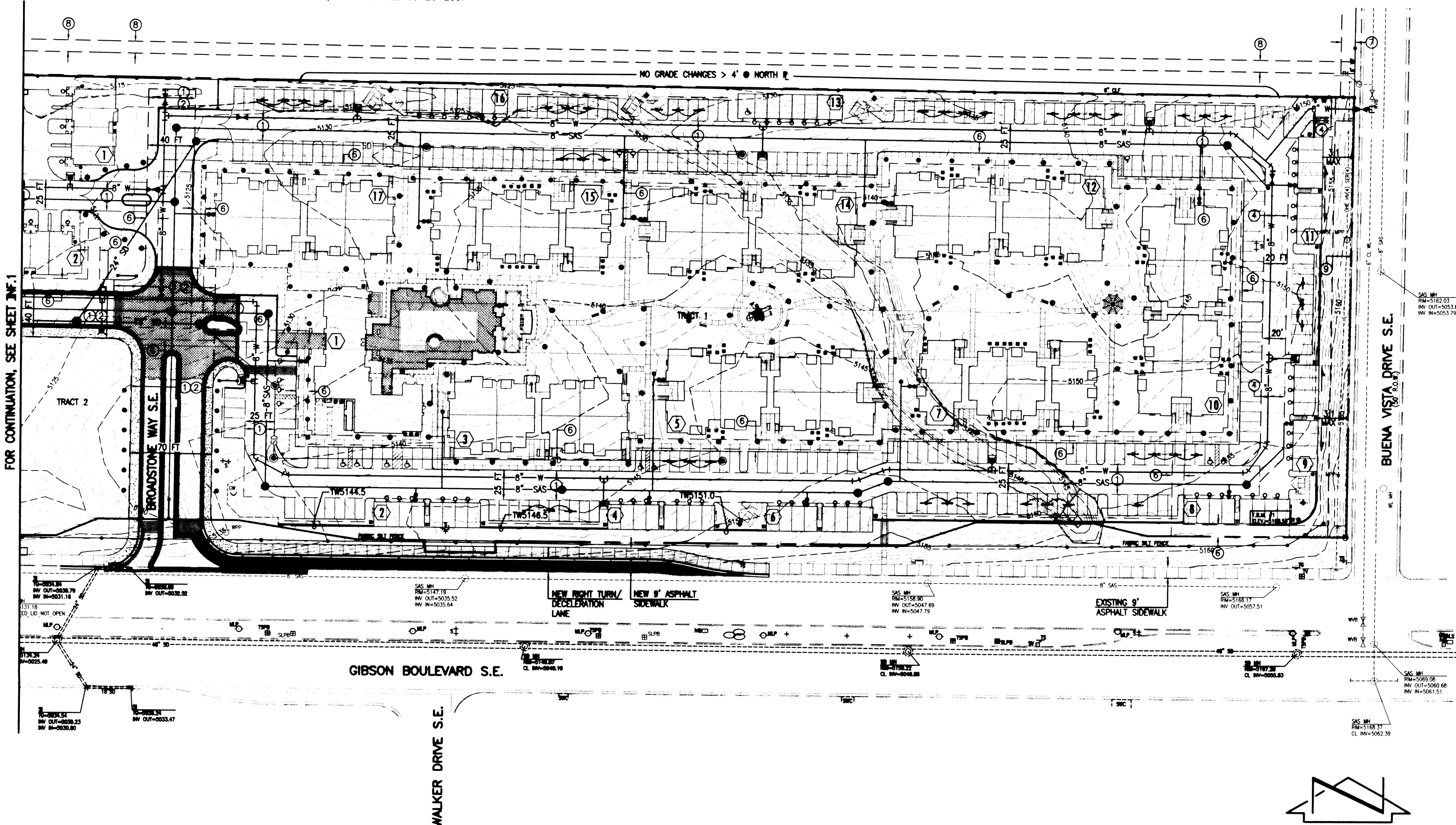
- ① CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED BY PLAT.
- ② PRIVATE ACCESS EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. ALSO, A PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER.
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**EASEMENTS - OFFSITE**

- ⑦ 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270
- ⑧ 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2

**EASEMENT**

- ⑨ LOCATION OF A PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 176, PAGE 718 AS DEPICTED BY AN ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 08-20-2007



FOR CONTINUATION, SEE SHEET INF. 1

**NOTE:**  
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**BROADSTONE TOWNE CENTER**  
 N.E.C. UNIVERSITY AND GIBSON ROADS  
 ALBUQUERQUE, NEW MEXICO



4530 North 40th Street  
 Phoenix, Arizona 85018  
 O:602-957-4530 F:602-957-4531  
 WorldHQ@ORBArch.com

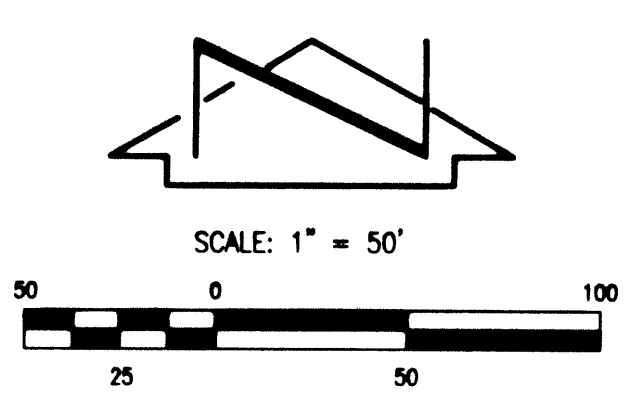
**ORB** Architecture, LLC  
 The Office Of Rich Barber, Architect  
 6017 North 38th Place  
 Paradise Valley, Arizona 85016  
 Tel: 602.840.2852  
 Fax: 602.840.3215  
 Email: rob@ORBArch.com

**Owner**  
 ALLIANCE RESIDENTIAL CO.  
 2415 E. Camelback Rd., Suite 600  
 Phoenix, Arizona 85016  
 Tel: 602.778.2000  
 Fax: 602.778.2850  
 Contact: Keith Coleman

**Planner**  
 CONSENSUS PLANNING  
 302 Eighth Street NW  
 Albuquerque, New Mexico 87102  
 Tel: 505.764.9001  
 Fax: 505.842.5495  
 Contact: Jackie Fishman

**Civil**  
 HIGH MESA CONSULTING GROUP  
 6010-B Midway Park Blvd. NE  
 Albuquerque, New Mexico 87109  
 Tel: 505.345.4250  
 Fax: 505.345.4254  
 Contact: Graeme Means

**Landscape**  
 DANNY POWELL LANDSCAPE  
 1452 Carroll Drive  
 Atlanta, Georgia 30318  
 Tel: 404.352.2240  
 Fax: 404.352.2492  
 Contact: Danny Powell



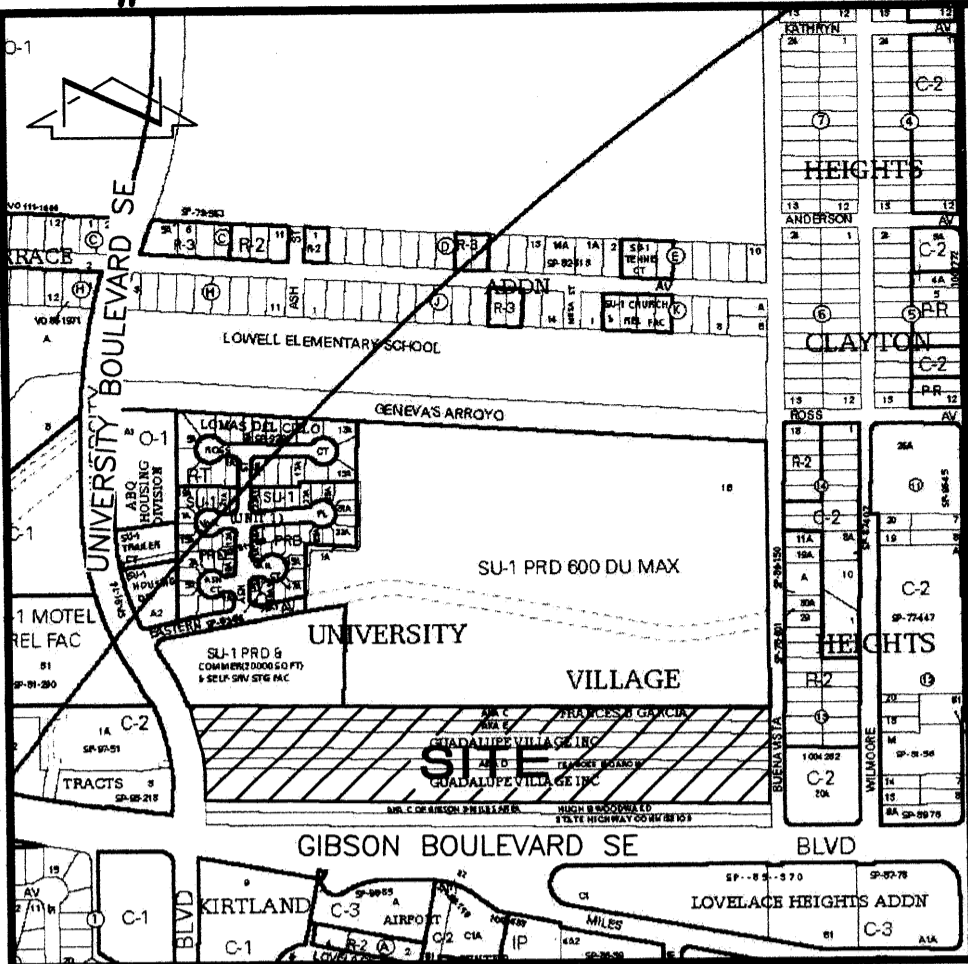
2006.003.1

**REVISIONS**


DATE: SEPTEMBER, 2007 ORB # 06-210

**INF.2**

INFRASTRUCTURE EXHIBIT (EAST)



**PRELIMINARY PLAT OF  
TRACTS 1, 2, 3, 4 AND 5,  
BROADSTONE TOWNE CENTER**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2007

BROADSTONE TOWNE CENTER, LLC  
OWNER  
PROJECTED  
SEC. 28, T 10 N, R 3 E, N.M.P.M.  
LOCATION  
BROADSTONE TOWNE CENTER  
SUBDIVISION

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1005243

APPLICATION NUMBER 06EPC-01592, 06EPC-01593, 06EPC-01594

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO	DATE
P.N.M. ELECTRIC SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
P.N.M. GAS SERVICES	DATE
COMCAST CABLE VISION OF NEW MEXICO, INC.	DATE

**VICINITY MAP**

SCALE: 1" = 750'

L-15

**DEDICATION AND FREE CONSENT**

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby dedicate to the City of Albuquerque in fee simple with warranty covenants the public street rights-of-way and grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

*Robert M. Hutt* 10/1/07  
Robert M. Hutt, Member, Broadstone Towne Center, LLC Date

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS



OFFICIAL SEAL  
CHARLES G. CALA, JR.  
NOTARY PUBLIC - STATE OF NEW MEXICO  
Notary Bond Filed with Secretary of State  
My Commission Expires 5-8-2009

This instrument was acknowledged before me on this 1st day of October, 2007, by Robert M. Hutt, Member, Broadstone Towne Center, LLC.

*Charles G. Cala, Jr.*  
Notary Public

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

**DESCRIPTION**

A certain tract of land located within the Corporate Limits of the City of Albuquerque, Bernalillo County, New Mexico, comprising unplatted parcels of land situated within the Town of Albuquerque Grant, within projected Section 28, Township 10 North, Range 3 East, N.M.P.M., as described by Special Warranty Deed filed September 20, 2007, Document No. 2007134831, and also described by Special Warranty Deed filed September 20, 2007, Document No. 2007134832, and being more particularly described as follows:

Beginning at the northeast corner of the parcel herein described, being the southeast property corner of Tract 1-B, University Village, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on January 06, 1993, Book 93C, Page 2, also being a point on the west right-of-way line of Buena Vista Drive S.E., whence the N.G.S. Control Station "Stadium" bears N 30°42'47" W a distance of 2893.44 feet; thence S 00°34'36" W a distance of 372.56 feet along said west right-of-way line to the southeast corner of the parcel herein described, being the point of intersection of the west right-of-way line of Buena Vista Drive S.E. with the north right-of-way line of Gibson Boulevard S.E.; thence N 89°45'04" W a distance of 170.06 feet along said north right-of-way line; thence N 77°12'30" W a distance of 46.00 feet along said north right-of-way line; thence N 89°42'43" W a distance of 100.12 feet along said north right-of-way line; thence S 71°50'19" W a distance of 63.24 feet along said north right-of-way line; thence N 89°45'47" W a distance of 348.04 feet along said north right-of-way line; thence S 00°20'37" E a distance of 9.95 feet along said north right-of-way line; thence N 89°39'55" W a distance of 59.90 feet along said north right-of-way line; thence N 00°20'37" W a distance of 10.00 feet along said north right-of-way line; thence N 89°42'14" W a distance of 58.50 feet along said north right-of-way line; thence N 81°14'15" W a distance of 101.05 feet along said north right-of-way line; thence N 89°45'48" W a distance of 120.11 feet along said north right-of-way line; thence S 67°25'14" W a distance of 37.95 feet along said north right-of-way line; thence N 89°59'00" W a distance of 74.92 feet along said north right-of-way line; thence S 79°27'11" W a distance of 50.49 feet along said north right-of-way line to the northwest corner of a parcel known as Parcel No. 2-2, as depicted on the New Mexico State Highway Commission, Right-of-Way Map dated May 07, 2003, owned by Helen K. Woodward and the Sandia Foundation, being the northeast property corner of the remaining portion of Tract C, Gibson and Miles Area, as shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 22, 1965, Book D3, Page 110, and also being depicted on said New Mexico State Highway Commission, Right-of-Way Map, owned by the Sandia Foundation; thence N 89°46'05" W a distance of 160.08 feet along the north property line of said remaining portion of Tract C, Gibson and Miles Area; thence along an arc of a curve to the right with Delta = 06°25'00", R = 2492.96 feet and L = 279.19 feet, (Chord Bearing = N 87°24'21" W, Chord Length = 279.05 feet) along the north property line of said remaining portion of Tract C, Gibson and Miles Area, to the northwest property corner of said Tract C, being a point on the north right-of-way line of Gibson Boulevard S.E.; thence along an arc of a curve to the right with Delta = 02°10'29", R = 5660.00 feet and L = 214.84 feet, (Chord Bearing = N 85°48'10" W, Chord Length = 214.83 feet) along said north right-of-way line to the southwest corner of the parcel herein described, being the point of intersection of the north right-of-way line of Gibson Boulevard S.E. with the east right-of-way line of University Boulevard S.E.; thence along an arc of a curve to the left with Delta = 27°35'35", R = 806.09 feet and L = 388.20 feet, (Chord Bearing = N 08°04'18" W, Chord Length = 384.46 feet) along said east right-of-way line to the northwest corner of the parcel herein described, being the southwest property corner of said Tract 1-B, University Village; thence S 89°18'57" E a distance of 1932.09 feet to the point of beginning and containing 16.7513 acres more or less.

APPROVED:

*Charles G. Cala, Jr.*

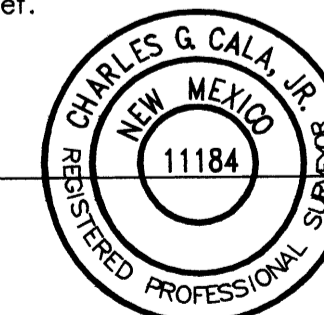
CITY SURVEYOR, DEPARTMENT OF MUNICIPAL DEVELOPMENT,  
CITY OF ALBUQUERQUE, NEW MEXICO

10-2-07  
DATE

**SURVEYORS CERTIFICATION**

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

*Charles G. Cala, Jr.*  
Charles G. Cala, Jr., NMPS 11184



09-28-2007  
Date

**HIGH MESA Consulting Group**

FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
JOB #2006.003.2 PREPLAT1

PRELIMINARY PLAT OF  
**TRACTS 1, 2, 3, 4 AND 5,**  
**BROADSTONE TOWNE CENTER**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 SEPTEMBER, 2007

COUNTY CLERK FILING DATA

Notes:

1. A boundary survey was performed in June, 2006 and verified in August, 2007. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 28, Township 10 North, Range 3 East, N.M.P.M. (Town of Albuquerque Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from N.G.S. Control Station "Stadium".
5. Record bearings and distances are shown in parenthesis.
6. Private street mileage created by this plat = 0.21 miles (full-width).
7. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.
8. The purpose of this plat is to:
  - a. Eliminate the interior deed lines to create 5 (five) tracts from the unplatted parcels.
  - b. Dedicate in Fee Simple, with warranty covenants, the necessary additional public street right-of-way
  - c. Grant the necessary City of Albuquerque Public Waterline, City of Albuquerque Public Sanitary Sewer, Public Roadway, Public Sidewalk, Private Access, Private Drainage, Qwest Corporation and Public Utility Easements as shown.
9. The property surveyed hereon is subject to a Public Service Company of New Mexico easement granted by document filed June 11, 1970, Book Misc. 176, Page 716, Records of Bernalillo County, New Mexico (See Keyed Note 9).
10. The following documents and instruments were used for the performance and preparation of this plat:
  - a. ALTA Land Title Survey of Parcels of Land within Section 28, T 10 N, R 3 E, NMPM, prepared by Harris Surveying, Inc., certified 09-13-2007 (unrecorded).
  - b. Plat of University Village filed 01-06-1993, Book 93C, Page 2, Records of Bernalillo County, New Mexico.
  - c. Plat of Lands of Matias Romero filed 08-08-1949, Book A, Page 118, Records of Bernalillo County, New Mexico.
  - d. Plat of Gibson & Miles Area filed 03-22-1965, Book D3, Page 110, Records of Bernalillo County, New Mexico.
  - e. New Mexico State Highway Commission, Right-of-Way Map, Project No. F-003-3 (5) dated 03-18-1981.
  - f. New Mexico State Highway Commission, Right-of-Way Map, Project No. TPU-4078(5)00 prepared by Parsons Brinckerhoff dated 05-07-2003.
  - g. Commitment for Title Insurance, File No. NCS-220536-PHX1, prepared by First American Title Insurance Company dated 09-19-2007.
  - h. Policy of Title Insurance, Policy No. 01-1085818, prepared by First American Title Insurance Company dated 09-20-2007.
  - i. Special Warranty Deed filed 09-20-2007, Doc. No. 2007134831, Records of Bernalillo County, New Mexico.
  - j. Special Warranty Deed filed 09-20-2007, Doc. No. 2007134832, Records of Bernalillo County, New Mexico.
11. Gross subdivision acreage = 16.7513 acres.
12. Current Zoning on site is SU-1/PRD and SU-1 for C-2 Permissive Uses with Exclusions, based upon review of the City of Albuquerque Zone Map Amendment (06EPC-01594).

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	N 77°12'30" W	46.00'
(L1)	N 76°51'43" W	46.10'
L2	N 89°42'43" W	100.12'
(L2)	N 89°23'27" W	100.00'
L3	S 71°50'19" W	63.24'
(L3)	S 72°10'27" W	63.25'
L4	S 00°20'37" E	9.95'
(L4)	S 00°00'00" E	10.00'
L5	N 89°39'55" W	59.90'
(L5)	N 89°23'25" W	60.00'
L6	N 00°20'37" W	10.00'
(L6)	N 00°00'00" W	10.00'
L7	N 89°42'14" W	58.50'
(L7)	N 89°23'27" W	58.35'
L8	N 81°14'15" W	101.05'
(L8)	N 80°51'36" W	101.12'
L9	S 67°25'14" W	37.95'
(L9)	S 67°38'56" W	38.08'
L10	N 89°59'00" W	74.92'
(L10)	N 89°43'26" W	75.00'
L11	S 79°27'11" W	50.49'
(L11)	S 79°54'42" W	50.53'
L12	N 89°37'00" W	59.90'
L13	S 89°18'57" E	39.03'
L14	S 89°18'57" E	18.40'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	2492.96'	279.19'	N 87°24'21" W	279.05'	06°25'00"
(C1)	2492.96'	279.84'	N 87°04'51" W	279.09'	06°25'04"
C2	5660.00'	214.84'	N 85°48'10" W	214.83'	02°10'29"
(C2)	5660.00'	214.91'	N 85°28'51" W	214.90'	02°10'32"
C3	806.09'	388.20'	N 08°04'18" W	384.46'	27°35'35"
(C3)	806.09'	388.66'	N 07°40'45" W	384.90'	27°37'31"
C4	90.00'	109.96'	S 54°18'57" E	103.24'	69°59'59"
C5	90.00'	109.96'	N 54°18'57" W	103.24'	69°59'59"
C6	2781.94'	32.33'	N 21°02'28" W	32.33'	00°39'57"
C7	2492.96'	45.42'	S 89°54'28" W	45.42'	01°02'38"
C8	2492.96'	200.18'	N 87°16'12" W	200.13'	04°36'03"
C9	2492.96'	33.60'	N 84°35'01" W	33.60'	00°46'20"
C10	5660.00'	185.00'	N 85°57'13" W	184.99'	01°52'22"
C11	30.00'	46.42'	S 40°41'06" E	41.93'	88°39'53"
C12	806.09'	65.21'	N 01°19'48" E	65.19'	04°38'06"
C13	157.00'	46.26'	N 04°19'17" E	46.10'	16°53'00"
C14	812.55'	148.99'	N 08°35'45" W	148.78'	10°30'21"
C15	23.00'	41.96'	S 38°25'04" W	36.38'	104°31'59"
C16	1305.86'	35.89'	N 18°00'17" W	35.89'	01°34'30"
C17	806.09'	29.22'	N 04°41'10" E	29.22'	02°04'38"
C18	5660.00'	29.84'	N 84°51'59" W	29.84'	00°18'07"
C19	806.09'	225.55'	N 09°00'12" W	224.81'	16°01'54"

KEYED NOTES

NEW EASEMENTS

- ① CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENTS GRANTED BY THIS PLAT.
- ② PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED \_\_\_\_\_-2007, DOCUMENT NO. 2007\_\_\_\_\_. ALSO, A PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT SHALL BE IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED \_\_\_\_\_-2007, DOCUMENT NO. 2007\_\_\_\_\_. NORTH-SOUTH PRIVATE ROAD IS NAMED "BROADSTONE WAY S.E.", WITH AN ENTRANCE OFF GIBSON BOULEVARD S.E. EAST-WEST PRIVATE ROAD IS NAMED "TOWNE CENTER LANE S.E." WITH AN ENTRANCE OFF UNIVERSITY BOULEVARD S.E.
- ③ PUBLIC ROADWAY AND SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ④ CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT.
- ⑤ 10' QWEST CORPORATION EASEMENT GRANTED BY THIS PLAT.
- ⑥ 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.

EASEMENTS - OFFSITE

- ⑦ 12' PUBLIC SERVICE COMPANY EASEMENT GRANTED BY DOCUMENT FILED 11-17-1969, BOOK MISC. 156, PAGE 270
- ⑧ 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2

EASEMENT

- ⑨ PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT GRANTED BY DOCUMENT FILED 06-11-1970, BOOK MISC. 176, PAGE 716 AS DEPICTED BY THE ALTA LAND TITLE SURVEY PREPARED BY HARRIS SURVEYING, INC. CERTIFIED 09-13-2007

MONUMENTS

- (A) FOUND #5 REBAR W/CAP STAMPED "MARQ LS 10283", TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) FOUND #4 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- (C) FOUND #4 REBAR W/CAP STAMPED "PS 11463", TAGGED W/WASHER STAMPED "NMPS 11184"
- (D) FOUND CONCRETE NAIL W/WASHER STAMPED "11463"
- (E) TO BE SET
- (F) FOUND #4 REBAR W/CAP ILLEGIBLE, NOT HONORED (N 88°14'14" W 0.92')



FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com  
 JOB #2006.003.2 PREPLAT1

PRELIMINARY PLAT OF TRACTS 1, 2, 3, 4 AND 5, BROADSTONE TOWNE CENTER ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO SEPTEMBER, 2007

COUNTY CLERK FILING DATA

EASEMENT TABLES

Table with columns: CURVE, RADIUS, LENGTH, CHORD BEARING, CHORD, DELTA, EASEMENT. Contains 21 rows of curve data (EC1-EC21).

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Contains 50 rows of easement data (E1-E50).

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Contains 50 rows of easement data (E51-E100).

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Contains 50 rows of easement data (E101-E150).

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Contains 50 rows of easement data (E151-E200).

Table with columns: LINE, DIRECTION, DISTANCE, EASEMENT. Contains 9 rows of easement data (E201-E209).



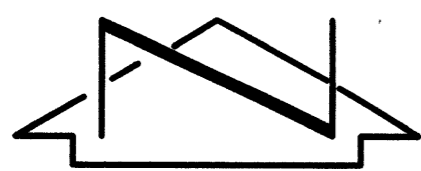
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC. 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2006.003.2 PREPLAT1

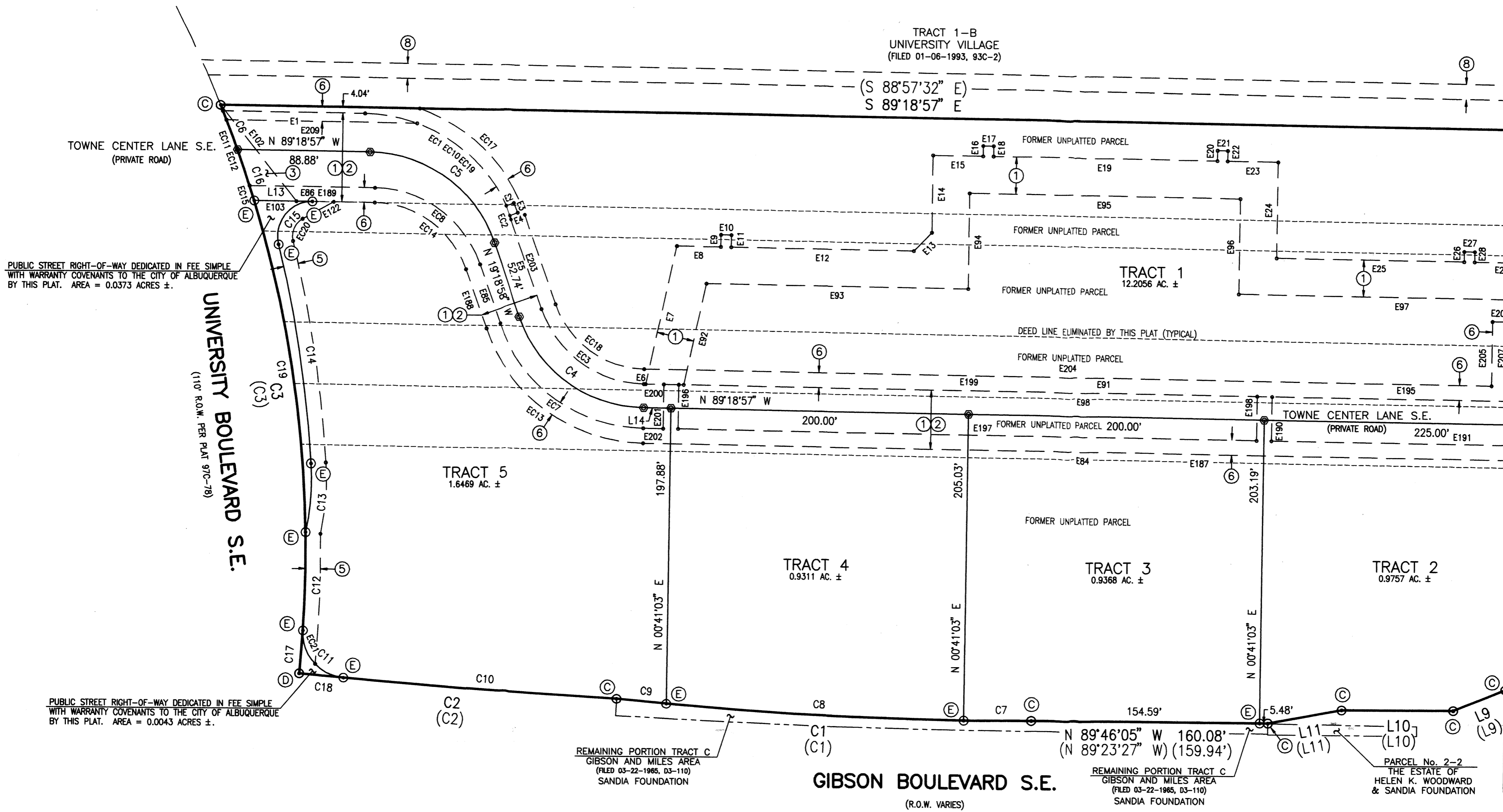
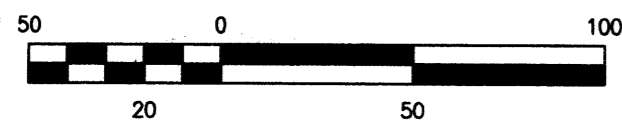


PRELIMINARY PLAT OF  
**TRACTS 1, 2, 3, 4 AND 5,**  
**BROADSTONE TOWNE CENTER**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2007

COUNTY CLERK FILING DATA



SCALE: 1" = 50'



MATCH LINE - FOR CONTINUATION SEE SHEET 5

PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE BY THIS PLAT. AREA = 0.0373 ACRES ±.

UNIVERSITY BOULEVARD S.E.  
(110' R.O.W. PER PLAT 97C-78)

PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE BY THIS PLAT. AREA = 0.0043 ACRES ±.

REMAINING PORTION TRACT C  
GIBSON AND MILES AREA  
(FILED 03-22-1985, 03-110)  
SANDIA FOUNDATION

GIBSON BOULEVARD S.E.  
(R.O.W. VARIES)

REMAINING PORTION TRACT C  
GIBSON AND MILES AREA  
(FILED 03-22-1985, 03-110)  
SANDIA FOUNDATION

PARCEL No. 2-2  
THE ESTATE OF  
HELEN K. WOODWARD  
& SANDIA FOUNDATION

**HIGH MESA Consulting Group**

FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

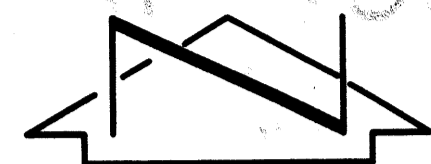
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2006.003.2 PREPLAT1

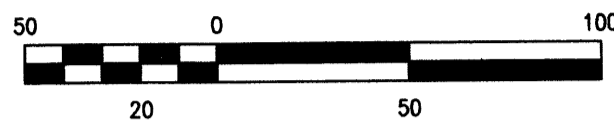
# PRELIMINARY PLAT OF TRACTS 1, 2, 3, 4 AND 5, BROADSTONE TOWNE CENTER

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER, 2007

COUNTY CLERK FILING DATA



SCALE: 1" = 50'

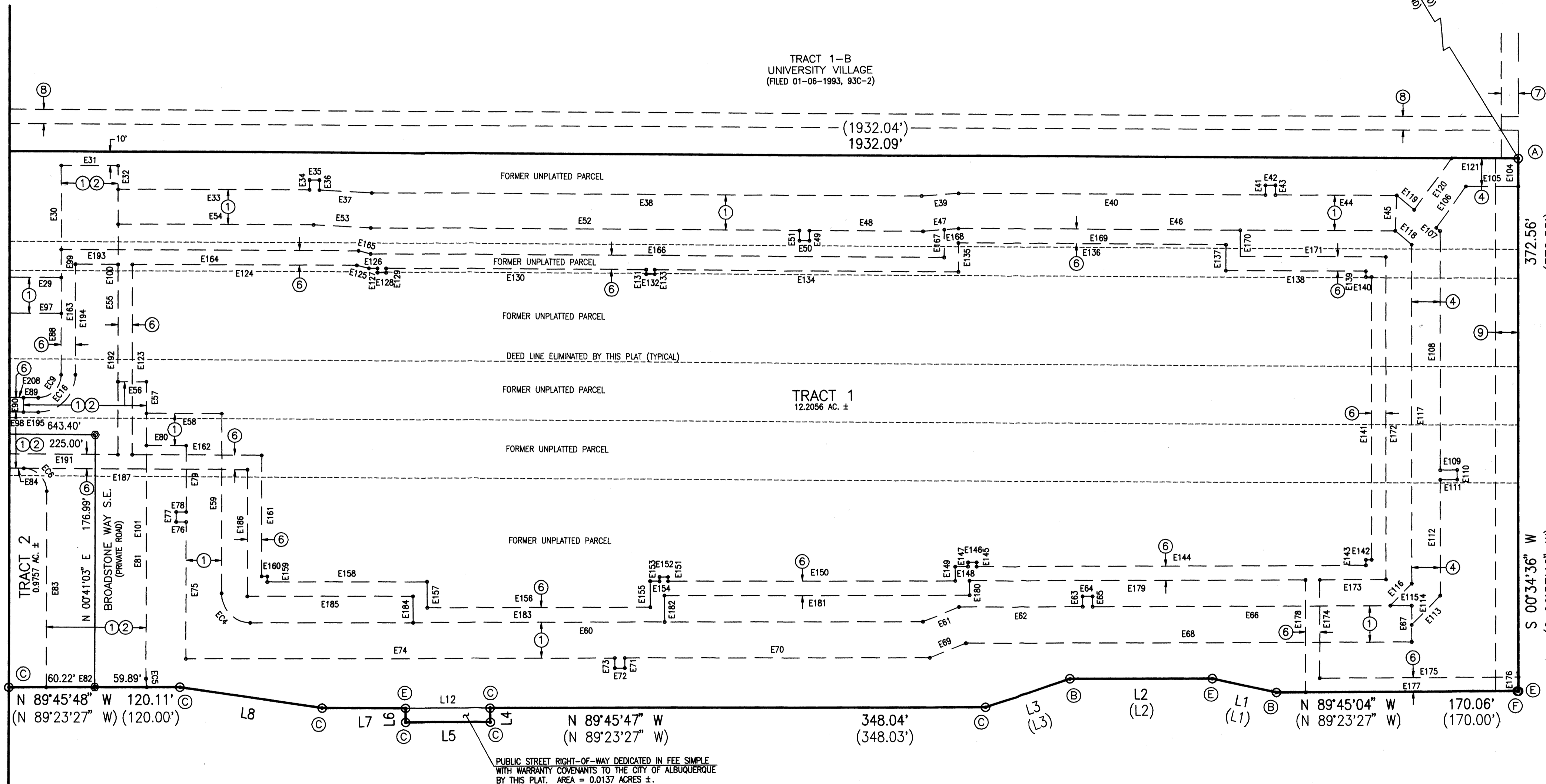


NEW MEXICO CENTRAL ZONE-NAD 1927  
N.G.S. STA. "STADIUM"  
X=386,679.35  
Y=1,479,655.72  
COMBINED FACTOR=0.99966833  
DELTA ALPHA=-00°13'03"  
TRIG ELEVATION=5151' (NGVD 29)



TRACT 1-B  
UNIVERSITY VILLAGE  
(FILED 01-06-1993, 93C-2)

MATCH LINE - FOR CONTINUATION SEE SHEET 4



372.56'  
(372.55')  
BUENA VISTA DRIVE S.E.  
(50' R.O.W. PER PLAT 93C-2)  
S 00°34'36\"/>

N 89°45'48\"/>

PUBLIC STREET RIGHT-OF-WAY DEDICATED IN FEE SIMPLE  
WITH WARRANTY COVENANTS TO THE CITY OF ALBUQUERQUE  
BY THIS PLAT. AREA = 0.0137 ACRES ±.

**GIBSON BOULEVARD S.E.**  
(R.O.W. VARIES)

**HIGH MESA Consulting Group**  
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

4010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

JOB #2006.003.2 PREPLAT2

**GENERAL NOTES:**

1. A Site Development Plan for the residential areas has been submitted in conjunction with this Site Plan for Subdivision. Subsequent Site Plans for Building Permit shall be submitted to the Environmental Planning Commission for the commercial pad sites.
2. Minor amendments to this Site Development Plan shall be approved administratively by the Planning Director, in compliance with the City Comprehensive Zoning Code, Section 14-16-2-22 (A)(6) SU-1 Special Use Zone.
3. The 4.3 acres of the development are allocated for commercial development. Four commercial parcels are proposed. The users envisioned for the parcels would involve sit down restaurants, service retail, financial facility and drive-up fast food. These users will support the adjacent residential hotel and athletic facilities.
4. This site has been restricted to a maximum of two drive-throughs, with no more than one being a drive-through restaurant. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard.

5. Zoning for the commercial area is SU-1 for C-2 Permissive Uses with restrictions. The following land uses from the C-2 Permissive Uses as contained in the Comprehensive City Zoning Code, Section 14-16-2-17, have been determined to be incompatible with the vision for this project and shall not be allowed:
  - Freestanding Cell Towers or Antennas
  - Vehicle Sales, Rental Service, Repair, Storage
  - Package Alcohol Sales for Off Premise Consumption
  - Gasoline, Oil, & Liquefied Petroleum Gas Retailing
  - Off Premise Signs including Billboards
  - Drive-In Restaurant
  - School
  - Parking Lot
  - Storage Structure
  - Storage Yard
  - Uses/Activities in a Tent
  - Circus or Carnival
6. This site is within a proposed Metropolitan Redevelopment Area.
7. Cross access easement is required to be part of the subdivision plat.
8. Approval of Gibson Blvd. access by the TCC was made on September 14, 2007.

**PROPOSED EASEMENTS**

- ① City of Albuquerque Public Waterline and Sewer Easements
- ② Private Access Easement and Private Drainage Easement
- ③ Public Roadway and Sidewalk Easement
- ④ City of Albuquerque Public Waterline Easement
- ⑤ 10' Qwest Corporation Easement
- ⑥ 10' Public Utility Easement

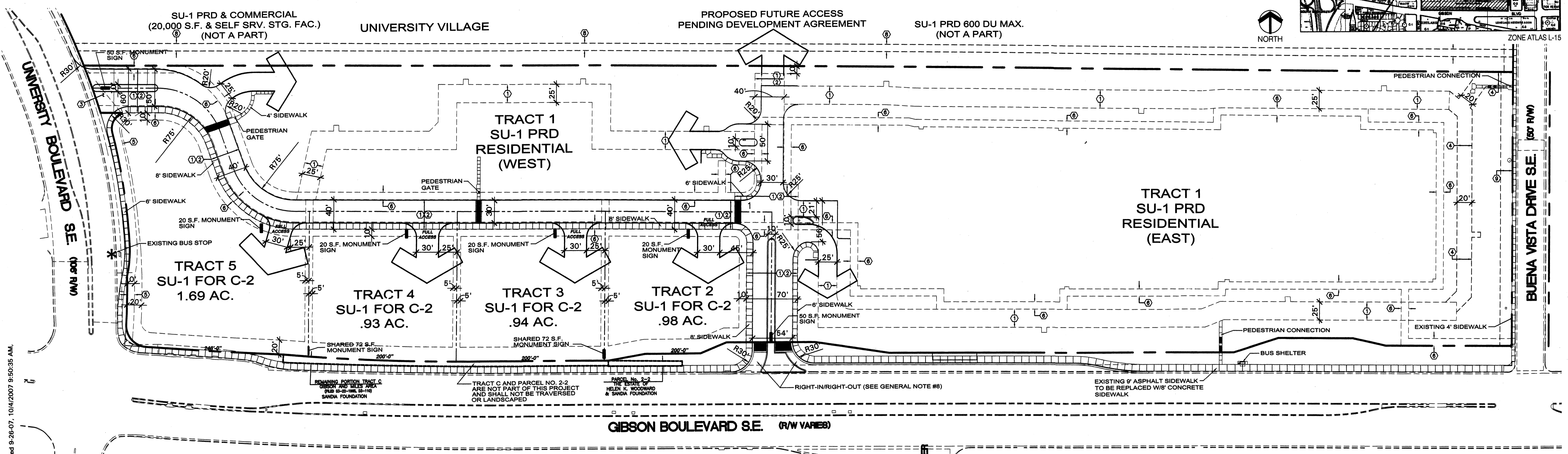
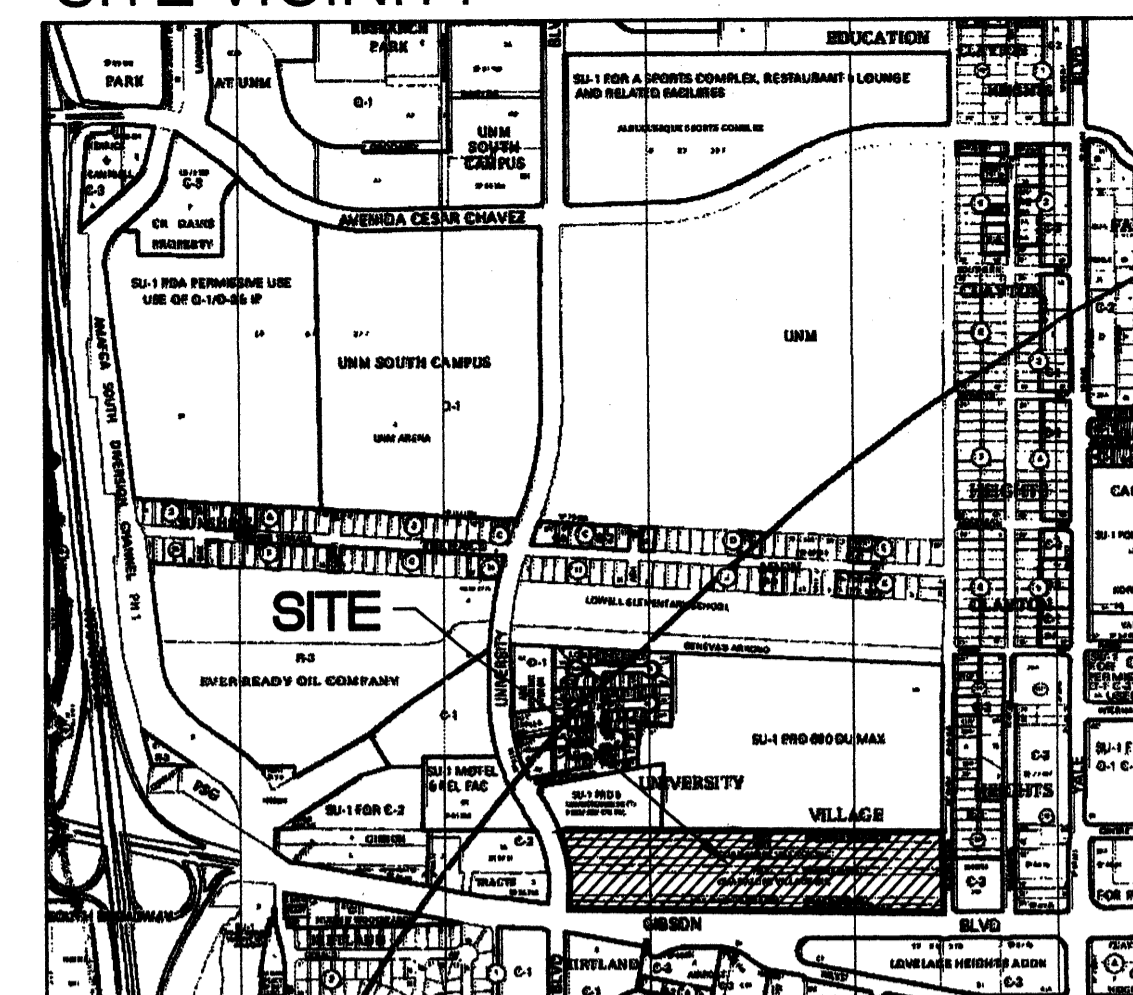
- ⑦ ⑧ Offsite Easements
- ⑨ Public Service Company Easement

Easement beneficiaries and maintenance / operations responsibilities shall be determined by the forthcoming platting action.

**SITE LEGEND**

- - - - - Proposed Property Line
- Proposed Curb
- ↕ Vehicle Ingress/Egress

**SITE VICINITY**



**SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION**  
**The Site:** Tracts 1 through 5 of the Broadstone Towne Center Subdivision located on the northeast corner of University and Gibson Boulevards. The site consists of approximately 16.76 acres.  
**Land Use:** SU-1 PRD is on 12.2 acres - 240 total multi-family residential units organized in two areas. The western portion of the residential development contains 60 units arranged in 8 free-standing buildings. The eastern portion of the residential development contains 180 units in 16 free-standing buildings.  
 The gross density of the residential portion of the development is 19.76 du/acre. Both residential areas are gated and will have common use of a pool, a clubhouse, an exercise facility, and common areas.  
 SU-1 for C-2 Permissive Uses with exclusions is on the remaining 4.54 acres of the site adjacent to Gibson Boulevard. The commercial portion of the development will contain four commercial pad sites.

**Pedestrian Access/Circulation:**  
 Six foot public sidewalks on both University and Gibson will provide pedestrian connectivity to the site. A 8 foot sidewalk is provided along the private access road and pedestrian connections are provided to Buena Vista, Gibson (in the vicinity of the future bus stop) and between the residential and commercial areas.  
**Transit Access:**  
 The City Transit Department's 16/18 bus route provides service along Gibson and University Boulevards. There is a bus stop located along University Boulevard and a future bus stop will be located along Gibson Boulevard  
**Internal Circulation:**  
 Primary access at University and Gibson Boulevards are indicated on the site plan. Conceptual locations, widths, and configurations for the access points at the commercial pad sites have been identified and will be indicated on future Site Plans for Building Permit submitted to the City Engineer. Internal sidewalks are provided throughout the site and between all buildings and parking areas as shown on the site plan.

**Maximum FAR:**  
 Per the South Yale Interim Development Area Design Standards, the minimum Floor Area Ratio (FAR) for the entire 16.76 acre property shall be .5 and the maximum FAR shall be 2.0. The minimum gross density for Tract 1 shall be between 10 du/ac and 30 du/ac.  
**Landscape Plan:**  
 The Landscape Plan (See sheet 2) provides landscaping along the public rights-of-way and along the internal drives. Design Standards (See sheet 3) provides the parameters for landscape within the commercial area.

**Building Heights and Setbacks:**  
 Maximum building height is 40 feet. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.  
**Setbacks:**  
 -Gibson and University-20 foot minimum  
 -Internal roads- 10 foot maximum; 0 foot minimum  
 -Internal side yards- 5 feet

SPS  
**PRELIMINARY PLAT**  
 APPROVED BY DRB  
**SITE PLAN**  
 FOR SUBDIVISION  
**BROADSTONE**  
**TOWNE CENTER**

Prepared for:  
 Alliance Residential  
 2415 E. Camelback, Suite 600  
 Phoenix, AZ 85016

Prepared by:  
 Consensus Planning, Inc.  
 George Rainhart & Associates  
 ORB Architecture, LLC  
 High Mesa Consulting Group

PROJECT NUMBER: 1005243  
 Application Number: 06EPC-01592

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 18, 2007 and the Findings and Conditions in the Official Notification of Decision are satisfied.

**Is an infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

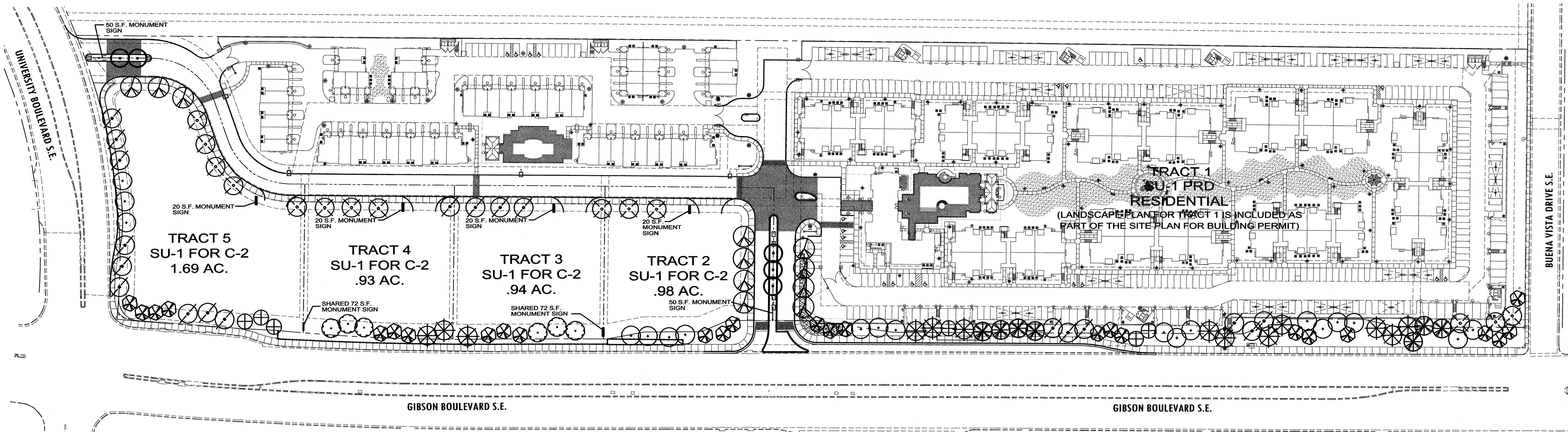
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

Scale 1" = 60'

October 3, 2007

Sheet 1 of 3

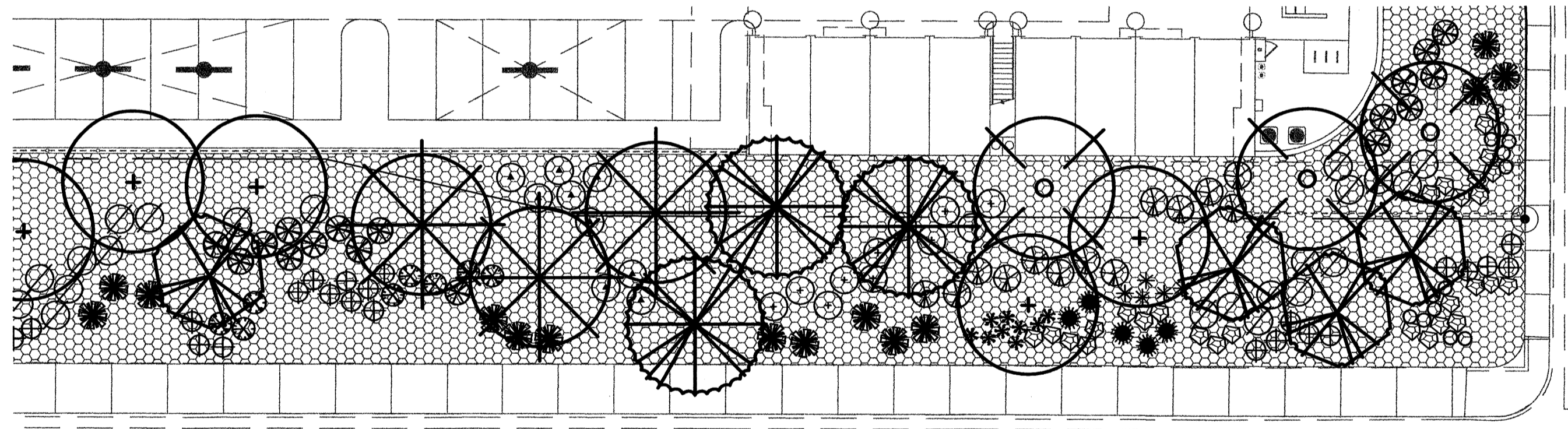
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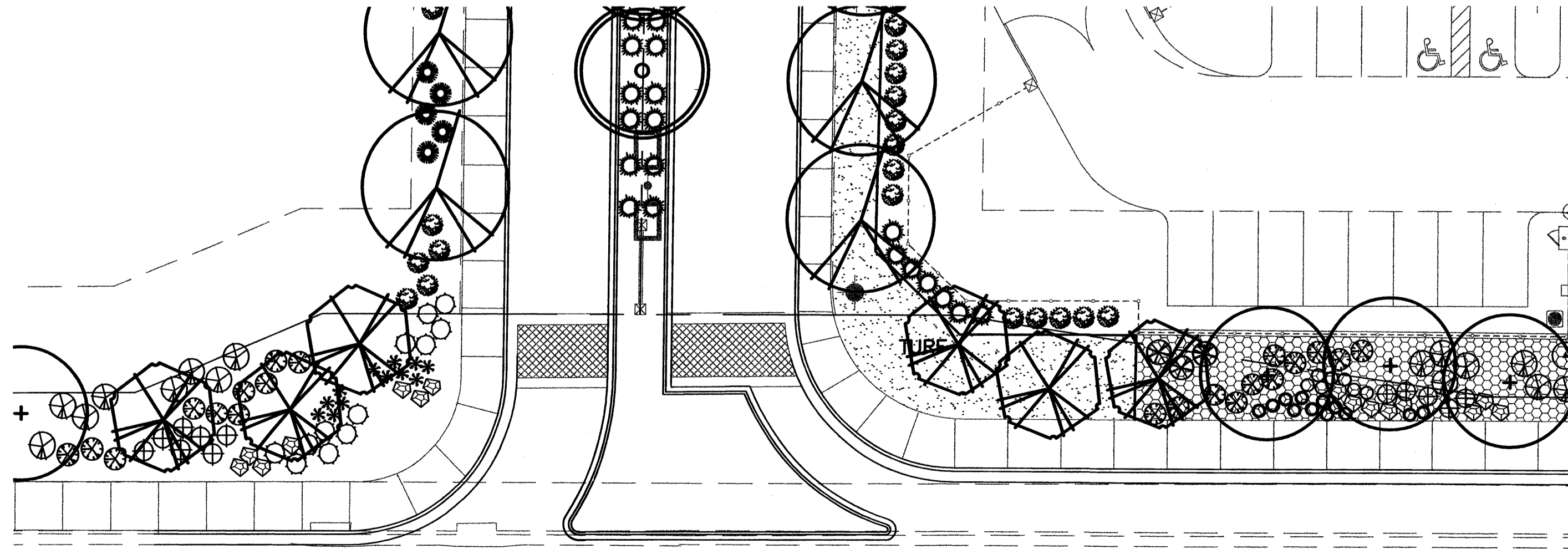
**LANDSCAPE PALETTE**

Qty	Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
<b>Trees</b>					
28	⊗	Chitalpa tashkentensis 'Pink Dawn' / Chitalpa	2' B&B	20' x 25'	Low+
21	⊗	Koeberuteria paniculata / Goldenrain Tree	2' B&B	25' x 25'	Medium
19	⊗	Pistacia chinensis / Chinese Pistache	2' B&B	60' x 60'	Medium
13	⊗	Pinus nigra / Austrian Pine	8' B&B	35' x 25'	Medium
6	⊗	Quercus fusiformis / Escarpment Live Oak	2' B&B	25' x 25'	Medium
11	⊗	Robinia x ambigua / Purple Robe Locust	2' B&B	40' x 30'	Medium
14	⊗	Celtis pallida / Desert Hackberry	2' B&B	40' x 40'	Low
6	⊕	Vitex agnus-castus / Chaste Tree	15 Gal.	20' x 20'	Medium
5	⊗	Chilopsis linearis / Desert Willow	2' B&B	20' x 25'	Low+
7	⊗	Prosopis velutina / Velvet Mesquite	5 Gal.	20' x 25'	Low
<b>Shrubs/Groundcovers</b>					
	○	Artemisia X Powis Castle / Powis Castle Sage	1 Gal.	24' x 48'	Low +
	⊗	Caryopteris clandonensis / Blue Mist	5 Gal.	48' x 48'	Medium
	⊗	Chrysothamnus nauseosus / Chamisa	5 Gal.	60' x 60'	Low
	⊗	Cytisus x 'Lena' / Lena's Broom	1 Gal.	36' x 42'	Low +
	⊗	Ericameria laricifolia / Dwarf Turpentine Bush	1 Gal.	36' x 48'	Low +
	⊗	Erysimum linifolium / Wallflower Bowles' Mauve	5 Gal.	24' x 36'	Medium
	⊗	Fallugia paradoxa / Apache Plume	5 Gal.	60' x 60'	Low
	⊗	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	5 Gal.	24' x 36'	Medium
	⊗	Perovskia atriplicifolia / Russian Sage	1 Gal.	60' x 60'	Medium
	⊗	Buddleia 'Lochinch' / Lavender Butterfly Bush	5 Gal.	48' x 36'	Medium

Symbol	Botanical Name / Common Name	Size	Mature Size	Water Use
⊗	Raphiolepis indica / India Hawthorn	5 Gal.	36' x 48'	Medium
⊗	Rhus trilobata / Three-leaf Sumac	5 Gal.	24' x 60'	Low+
⊗	Rosmarinus officinalis / Prostrate Rosemary	5 Gal.	24' x 60'	Low+
⊗	Salvia greggii / Cherry Sage	5 Gal.	36' x 36'	Medium
⊗	Verbena rigida / Sandpaper Verbena	1 Gal.	12' x 48'	Low
⊗	Ornamental Grasses	1 Gal.	24' x 12'	Medium
⊗	Helictotrichon sempervirens / Blue Avena Grass	1 Gal.	24' x 12'	Medium
⊗	Muhlenbergia capillaries 'Regal Mist' / Muthly Grass	5 Gal.	36' x 36'	Medium
⊗	Nassella tenuissima / Threadgrass	1 Gal.	24' x 24'	Low+
⊗	Accents			
⊗	Dasylirion wheeleri / Sotol	5 Gal.	48' x 48'	Low+
⊗	Hesperaloe parviflora / Red/Yellow Flowering Yucca	1 Gal.	36' x 48'	Low+
⊗	Nolina microcarpa / Beargrass	5 Gal.	60' x 60'	Low+
⊗	Park Blend Sod (40% Tall Fescue, 40% Perennial Rye, 20% Kentucky Bluegrass Sod)			
⊗	Seasonal Annuals			
⊗	Cobble Mulch (2'-4" Ironstone Cobble)			
⊗	Moss Rock Boulders (3' average diameter)			



TYPICAL LANDSCAPE TREATMENT ALONG GIBSON BOULEVARD  
SCALE: 1" = 20'



TYPICAL LANDSCAPE TREATMENT AT GIBSON BOULEVARD ENTRY DRIVE  
SCALE: 1" = 20'

**NOTE:**  
This Landscape Plan covers the perimeter of the site at Gibson and University Boulevards and the internal roadway along the commercial side.

**LANDSCAPE DESIGN**  
Due to the scale of the 50th scale plan, specific shrub species are not identified by symbol. Please see the enlarged typical area plans at the bottom of the sheet. These enlargements illustrate the design intent and intensity of plant materials. The Landscape Plan associated with this Site Plan for Subdivision addresses the landscape areas along Gibson Boulevard, University Boulevard, and the internal street as illustrated. A separate Site Plan for Building Permit for Tract 1 (residential) is being submitted simultaneous to this submittal and addresses the landscape for that area in more detail. The actual provided quantity will be sufficient to meet the design intent and landscape coverage requirements of the City Zoning Code.

**MULCHES**  
All shrub planting areas shall be top dressed with 7/8" Santa Fe Brown Rock Mulch. 2' - 4" Ironstone Cobble will be used as an accent mulch in certain areas.

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be sized and designed to sufficiently irrigate turf areas and tree, shrub and groundcover planting areas.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

**STATEMENT OF WATER WASTE**  
The Landscape Plan for Broadstone Towne Center shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area (see Park Blend Sod under Landscape Palette).

# LANDSCAPE PLAN BROADSTONE TOWNE CENTER

Prepared for:  
Alliance Residential  
2415 E. Camelback, Suite 600  
Phoenix, AZ 85016

Prepared by:  
Consensus Planning, Inc.  
George Rainhart & Associates  
ORB Architecture, LLC  
High Mesa Consulting Group

Scale 1" = 60'

CONSENSUS PLANNING

October 4, 2007

Sheet 2 of 3



## BROADSTONE TOWNE CENTER DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The Design Standards shall be used to facilitate the design of buildings which respect the existing site conditions and the character and land uses of the adjacent properties and neighborhoods.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Broadstone Towne Center. These standards address future commercial projects.

Subsequent Site Plans for Building Permits shall be consistent with the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

### A. SITE PLANNING

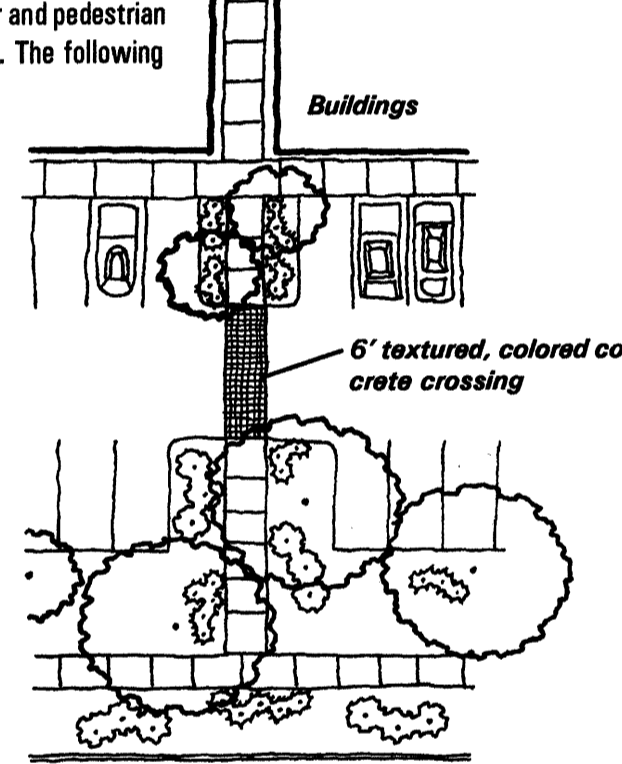
The following standards address the design of outdoor spaces within the commercial areas of Broadstone Towne Center:

- 1) Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- 2) Commercial development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- 3) Each commercial parcel developer shall be required to provide a minimum outdoor plaza space of 300 sf. This area shall have a minimum of 25% shading, provided by a trellis, trees, or umbrellas. Each developer is responsible for providing pedestrian walkways around the building(s) and connecting the plaza area to adjacent developments.
- 4) Drive-up and pick-up windows shall be oriented away from pedestrian areas and residentially zoned areas in accordance with Section 14-16-3-18(D)(5) of the Zoning Code. The order board and service window shall be oriented towards University Boulevard and/or Gibson Boulevard and located a minimum of 75 feet from residential uses.

### B. PEDESTRIAN CIRCULATION

The goal for this property is to maintain a high quality and consistency in style for site amenities including benches, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems in order to provide a safe and pleasant environment. The following standards are intended to meet these goals:

- 1) All pedestrian pathways through Broadstone shall be built to City standards.
- 2) The walkway beginning at Gibson Boulevard and running north-south through the site, as well as the walkway running east-west along the internal access roadway, shall be 8 feet wide.
- 3) All pedestrian paths shall be designed to be handicapped-accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design), except where topography makes this unfeasible.
- 4) Pedestrian connections to buildings shall be provided in parking lots with greater than 50 spaces and shall connect to adjacent roadways, sidewalks, and pathways.
- 5) Pedestrian crossings shall be a minimum of 6 feet wide and clearly demarcated with textured, colored concrete where they cross vehicular entrances and drive aisles.



**PARKING** - pedestrian crossings will be provided between parking areas and buildings

### C. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. The intent is to minimize the visual impact of parking facilities. In order to lessen the visual impact, parking facilities shall be broken up into a series of smaller areas as feasible. In addition, the following guidelines shall be applied to parking area design:

- 1) Handicapped parking spaces shall be provided adjacent to building entries.
- 2) Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- 3) Parking areas shall be designed to include a pedestrian link to buildings.
- 4) Off-street parking areas shall be located to the rear or sides of buildings.
- 5) In cases where parking is adjacent to roadways, landscaping for screening purposes shall be required. Screening walls shall be architecturally compatible with the surrounding buildings.
- 6) Off-street parking requirements:
  - Retail and financial businesses shall be required to have five parking spaces per 1,000 sf of leased building area.
  - Sit down restaurants shall have 15 spaces per 1,000 sf of building area. Fast food restaurants shall have 10 spaces per 1,000 sf of building area.
  - One bicycle parking space shall be provided for every 20 parking spaces for cars.
  - Motorcycle parking for each of the commercial parcels shall be per Section 14-16-3-1 Off-Street Parking Regulations of the Comprehensive City Zoning Code.

### D. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms and/or walls.

- 1) Building setbacks for the commercial parcels include:
  - Gibson and University: 20 foot minimum
  - Internal roads: 10 foot maximum, 0 foot minimum
  - Internal side yards: 5 foot minimum

### E. LANDSCAPE

The development of an overall landscape concept shall establish a framework that unifies the property and is appropriate for the nearby neighborhoods. The landscape design emphasizes low and medium water use plant materials. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies.

The following are minimum standards for the development of specific landscape plans:

- 1) These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.
- 2) Street trees shall be provided along roadways at a rate of one tree per 30 linear feet. They may be randomly or regularly placed.
- 3) The developer/owner will be responsible for the installation and maintenance of the landscape on their property. All plant material, including street trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the property owner in a living, attractive condition.
- 4) A minimum of 15 percent of the site area for commercial projects (minus the building square footage) shall be devoted to landscape materials.
- 5) Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- 6) All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- 7) Landscape headers shall be used to separate any turf and groundcover areas.
- 8) To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 9) 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- 10) An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- 11) Minimum plant sizes at time of installation shall be as follows:

Trees	1 1/2 inch caliper, or 10 to 12 feet in height
Shrubs & Groundcovers	1 gallon
Turf grasses	shall provide complete ground coverage within 1 growing season after installation.



**PEDESTRIAN AREAS** - Should include shade trees

### F. ARCHITECTURE

The architectural design is intended to demonstrate a high quality aesthetic character throughout the property and shall respond to climate, views, solar access, and aesthetic considerations.

#### COMMERCIAL ARCHITECTURAL STYLE

The general architectural character for retail structures is to follow the mission style theme of the residential portions of the development. A concept elevation study for a small retail shops building is provided to illustrate the desired mission style architectural theme. Retail structures may be pitched or flat roofed. Pitched roof elements shall be roofed with the mission style tile units described in the color palette. Portals (covered walkways) and other building appendages may be roofed with mission style units. These roofs shall be shed type with the high point abutting the main building wall below the top of the parapet. Cornice treatment is to be used at top of parapet walls and at eaves of pitched roof elements.



The following are minimum architectural standards for the commercial development:

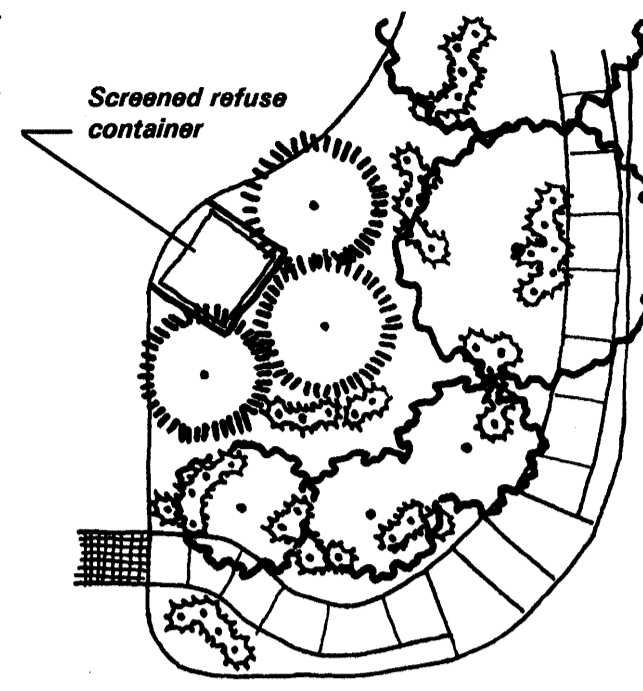
- 1) Maximum building height is limited to 40 feet. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.
- 2) Commercial buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- 3) Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed the allowable sign area of building wall. Illumination of awnings shall be from pendant mounted fixtures located above the awning. Accent colors on awnings shall be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.
- 4) Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.
- 5) No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings shall be made of cloth.
- 6) Entryways to commercial buildings shall be clearly defined.
- 7) No freestanding cell towers or antennas are allowed; rather antenna shall be integrated with the building architecture.
- 8) Roofs may be flat, pitched (tile), or a combination of both and shall be made of non-reflective materials. Roof tile color shall be terra-cotta blend. Building finish will be stucco and color shall be taupe or sand; trim shall be brown.
- 9) Generic franchise architecture is prohibited.

### G. SCREENING / BUFFERING

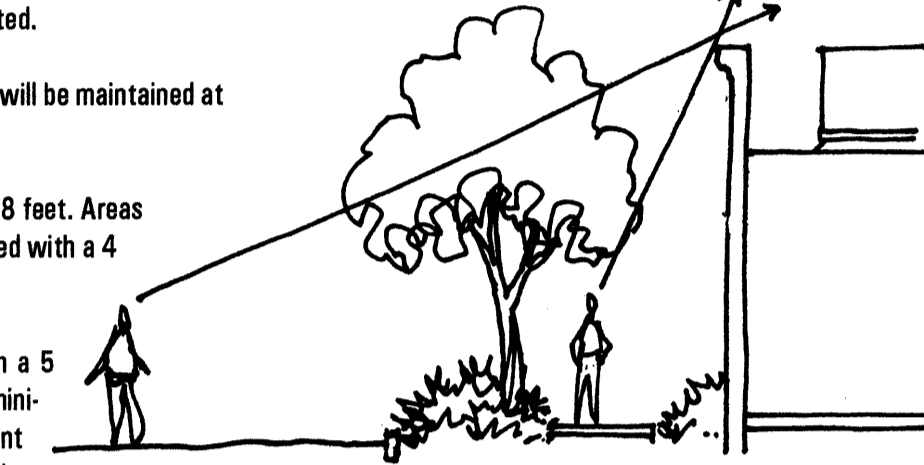
The effective use of screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and mechanical equipment is essential to limit their adverse visual impact on the property. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

Perimeter fencing is allowed on the property; however, the site designer shall lessen its visual impact through landscaping, meandering within a landscape area, or providing openings. Walls and fences shall comply with Section 14-16-3-18, General Height and Design Regulations for Walls, Fences, and Retaining Walls or these Design Standards as specified below.

- 1) All mechanical/roof-top equipment shall be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical equipment can be observed from the residential area, horizontal screening per the conceptual sketch is required. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- 2) Service areas such as refuse locations and compactors shall be screened from the view of the adjacent residential area, and public rights-of-way. Refuse enclosures shall be gated. Screening material shall match building wall color and material.
- 3) Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- 4) Clear sight distances for safety purposes will be maintained at all driveway locations.
- 5) The maximum height of retaining walls is 8 feet. Areas requiring greater retainage shall be terraced with a 4 foot horizontal separation between walls.
- 6) Drive-up windows shall be screened with a 5 foot high opaque wall and 5 foot wide (minimum) landscape area with evergreen plant materials on the pedestrian or residential side. A berm of the same height as the wall may be provided in lieu of the wall.



**REFUSE CONTAINERS** - shall be screened by a 6 foot tall enclosure and plant materials



**MECHANICAL SCREENING** - should be screened from public view

### H. LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- 1) All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- 2) Site lighting for pad structures is to match the site lighting provided for the main commercial parking area.
- 3) Commercial parking area lighting shall not exceed 20 feet from the top of the pole to finished grade. Parking lot lights within 100 feet of residential areas shall be a maximum of 18 feet high from finished grade to the top of the pole.
- 4) Exposed, unshielded light fixtures are prohibited. All lamps shall be full cut-off fixtures with down lighting only.
- 5) Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- 6) The location of light fixtures shall be identified on subsequent Site Plans for Building Permit.
- 7) Area lighting shall be restricted to a maximum off-site luminance of 1,000 foot-lamberts from any point and maximum of 200 foot-lamberts from any residential property line.
- 8) Accent lighting is permitted, however surface lighting is limited to an average of 2 foot-candles measured 4 feet from the surface level of any point on the building surface being illuminated. Building-mounted lights must point downward. Uplighting is prohibited.

### I. UTILITIES

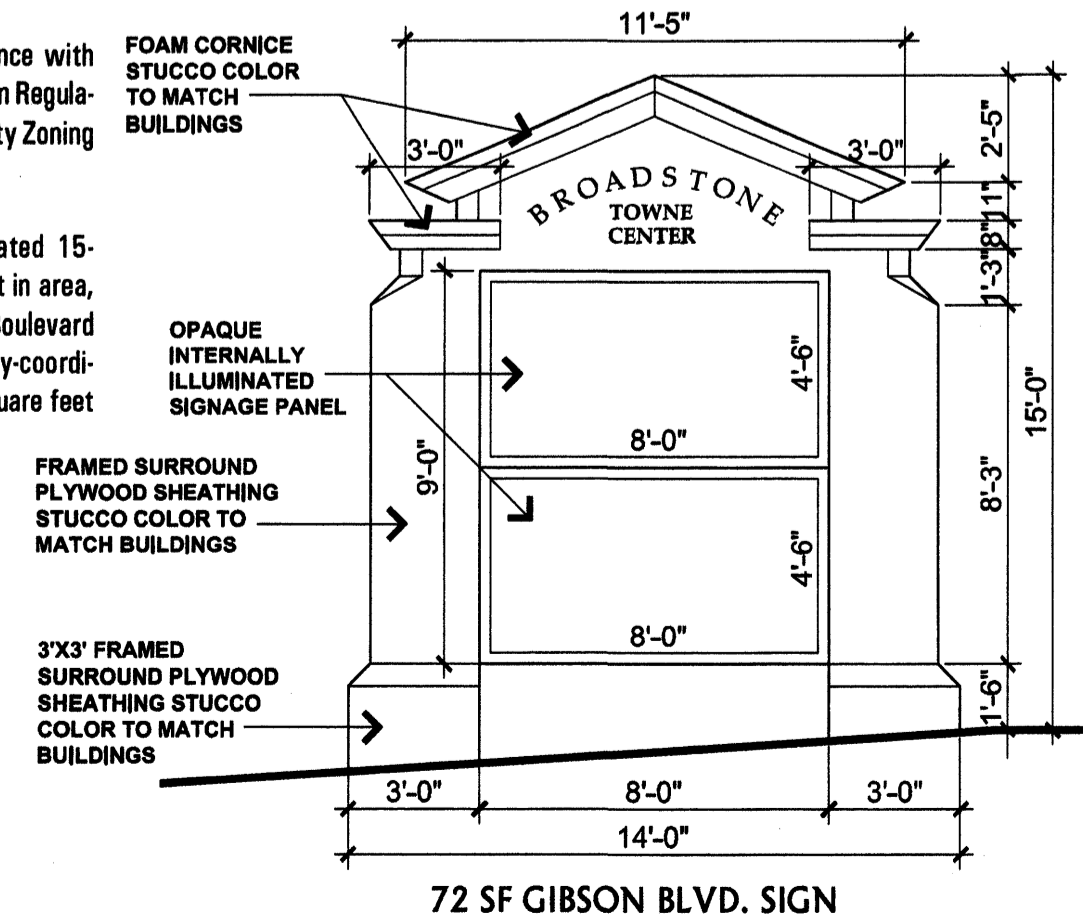
To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- 1) Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- 2) When an above-ground back flow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

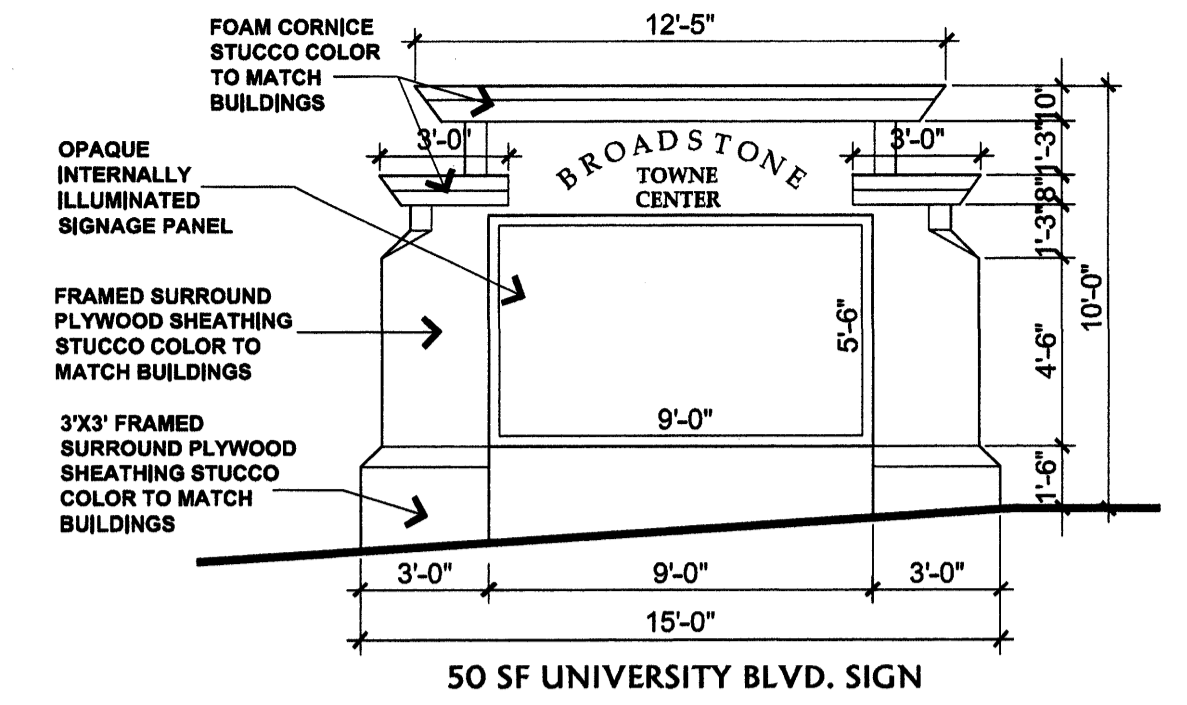
### J. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within the Broadstone Towne Center. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

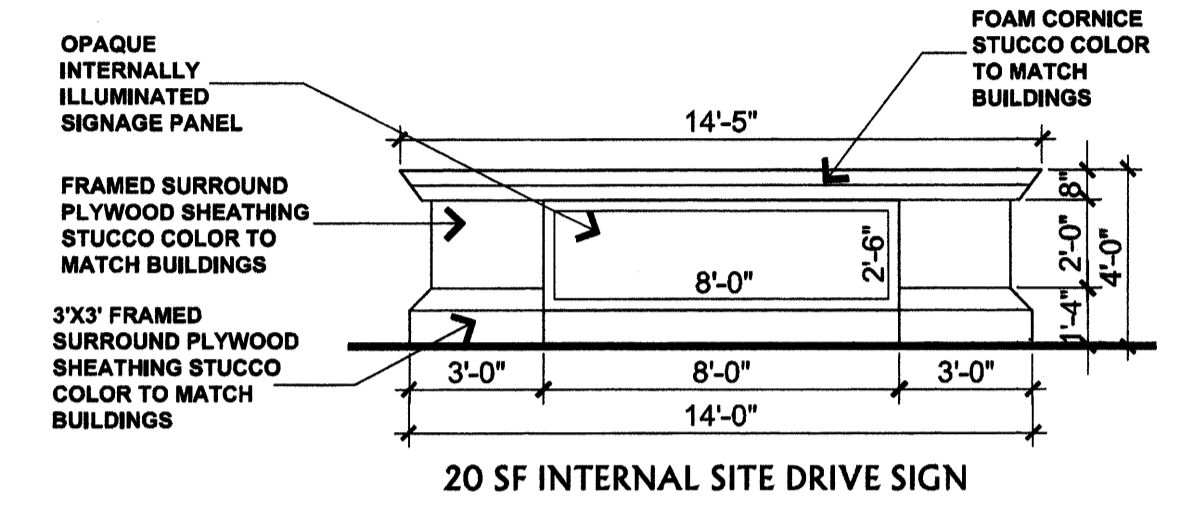
- 1) All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code.
- 2) Two architecturally-coordinated 15-foot tall signs, 72 square feet in area, are allowed for the Gibson Boulevard frontage. One architecturally-coordinated 10-foot tall sign, 50 square feet in area, is allowed on the University Boulevard frontage. Each building pad is permitted to have one 20 square foot monument sign adjacent to the internal site drive.



**72 SF GIBSON BLVD. SIGN**



**50 SF UNIVERSITY BLVD. SIGN**



**20 SF INTERNAL SITE DRIVE SIGN**

- 3) All building-mounted signage shall be individual type lettering not to exceed 6 percent of each building elevation facade.

All signs shall be of individual letters. The following types of letters are acceptable:

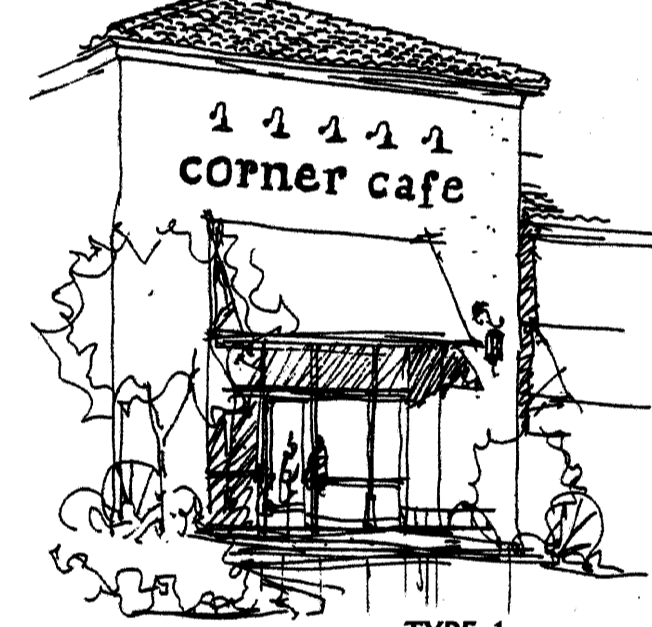
**Type 1:** Opaque lettering indirectly illuminated by goose neck type lighting

**Type 2:** Channel letters internally illuminated with letter sides to match letter face colors

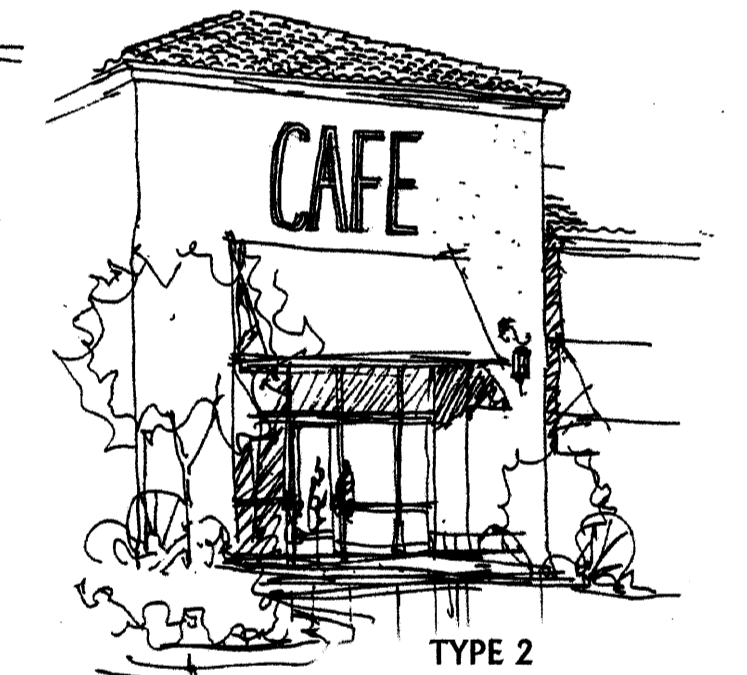
**Type 3:** Same as 2 except halo lit

**Type 4:** halo lit letters cut out of solid metal background spaced off the face of the building

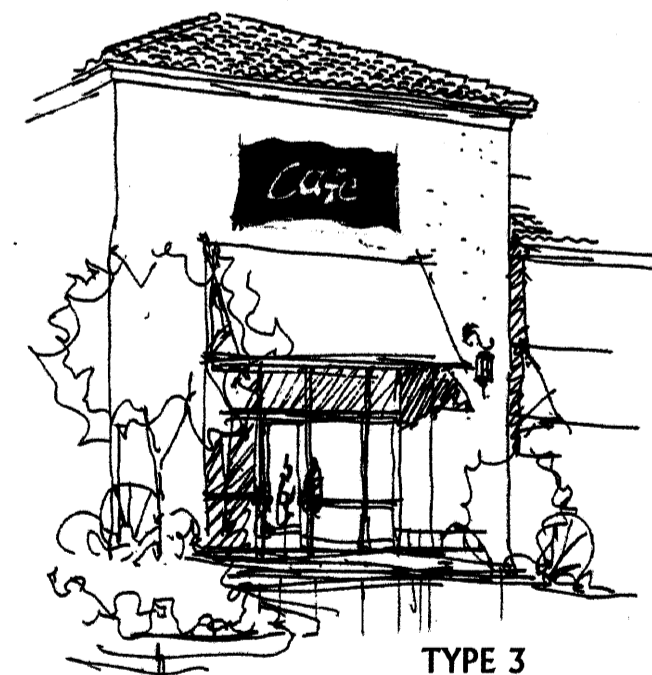
Can type signs are prohibited. Any special logos associated with a specific tenant shall be provided in a non-illuminated fashion for specific approval.



**TYPE 1**



**TYPE 2**



**TYPE 3**

**BUILDING-MOUNTED SIGNS**

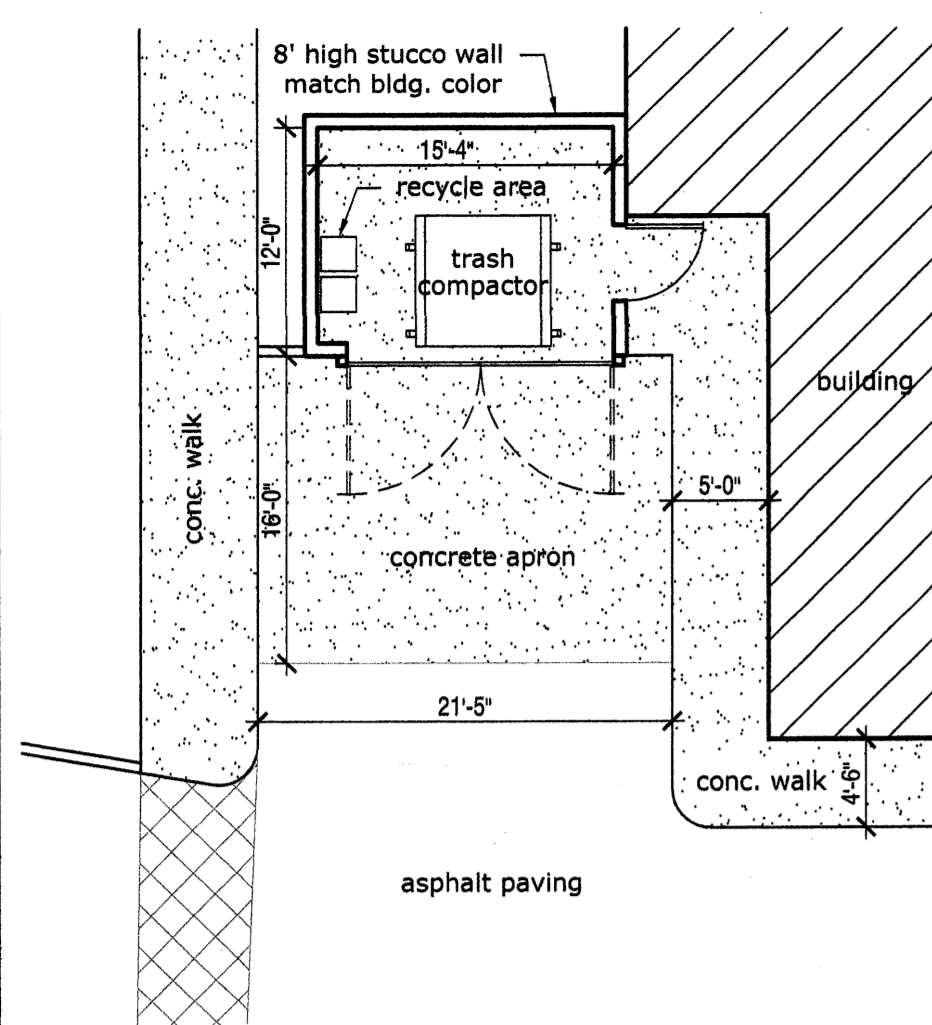
## SITE PLAN FOR SUBDIVISION BROADSTONE TOWNE CENTER

Prepared for:  
Alliance Residential  
2415 E. Camelback, Suite 600  
Phoenix, AZ 8501

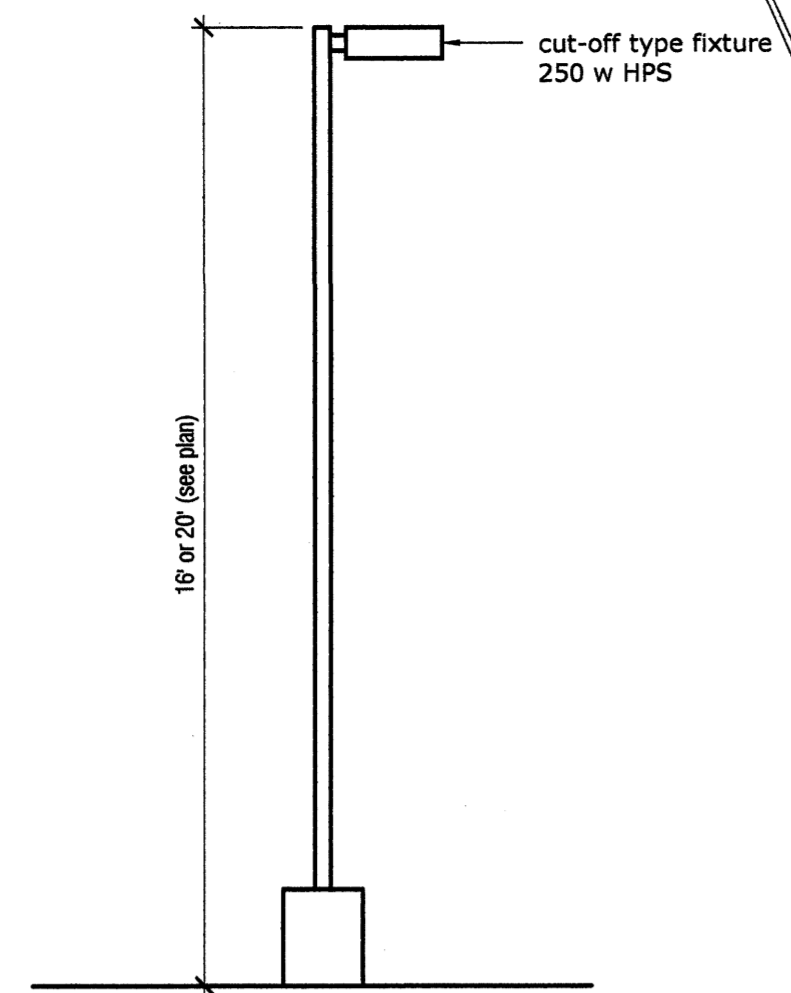
Prepared by:  
Consensus Planning, Inc.  
George Rainhart & Associates  
ORB Architecture, LLC.  
High Mesa Consulting Group

October 4, 2007

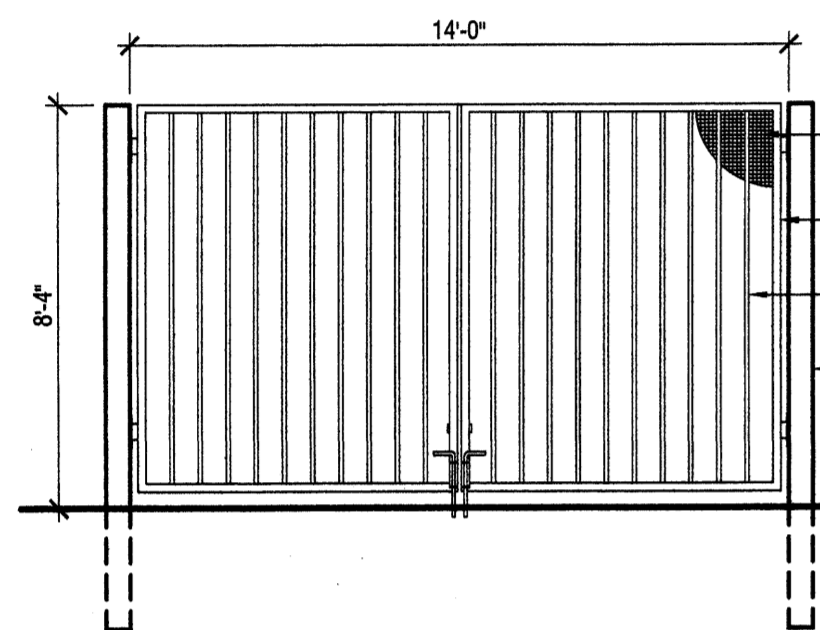
Sheet 3 of 3



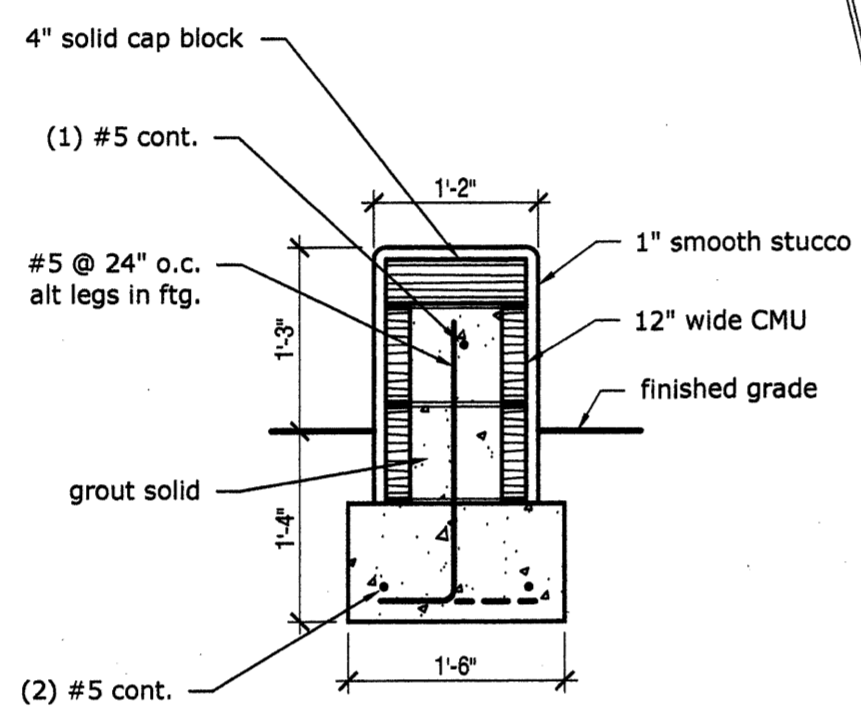
**TRASH COMPACTOR AREA**  
SCALE: 1" = 10'-0"



**LIGHT POLE ELEVATION**  
SCALE: 1/4" = 1'-0"



**GATE ELEVATION - Trash Compactor**  
SCALE: 1/4" = 1'-0"



**SEAT BENCH WALL**  
Scale: 3/4" = 1'-0"

PROJECT NUMBER: 1005243  
APPLICATION NUMBER:  
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 26, 2009 (rev.) and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-Of-Way for or construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

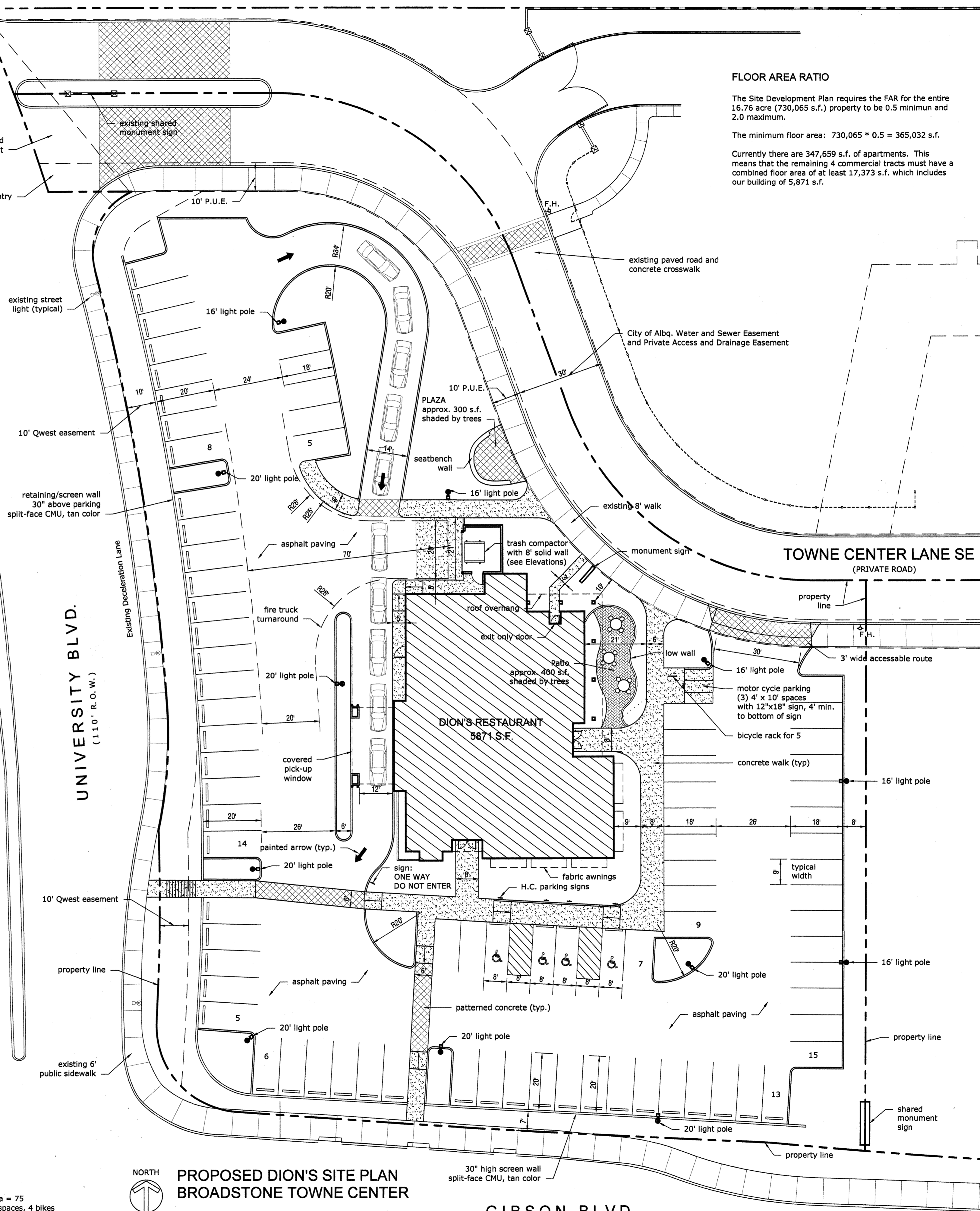
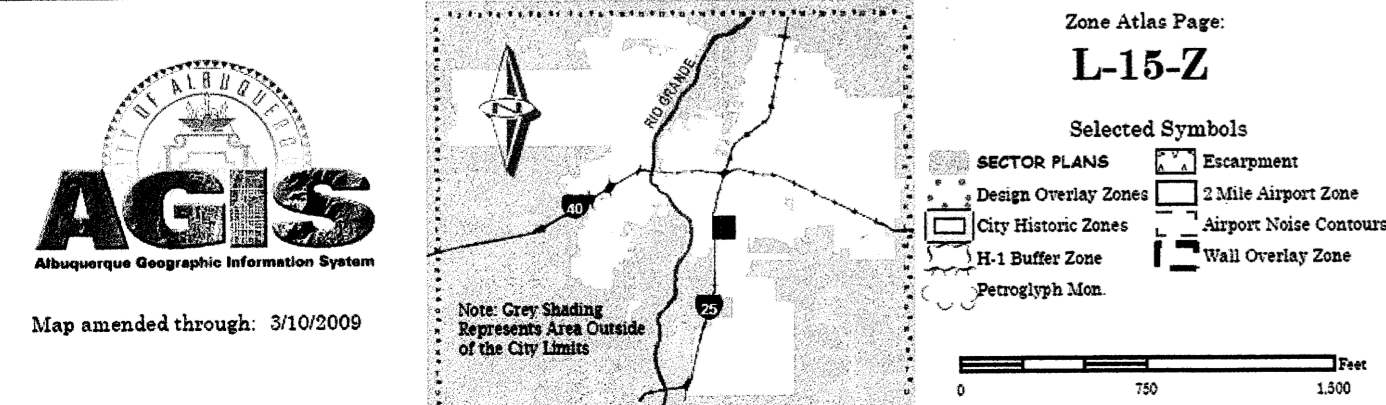
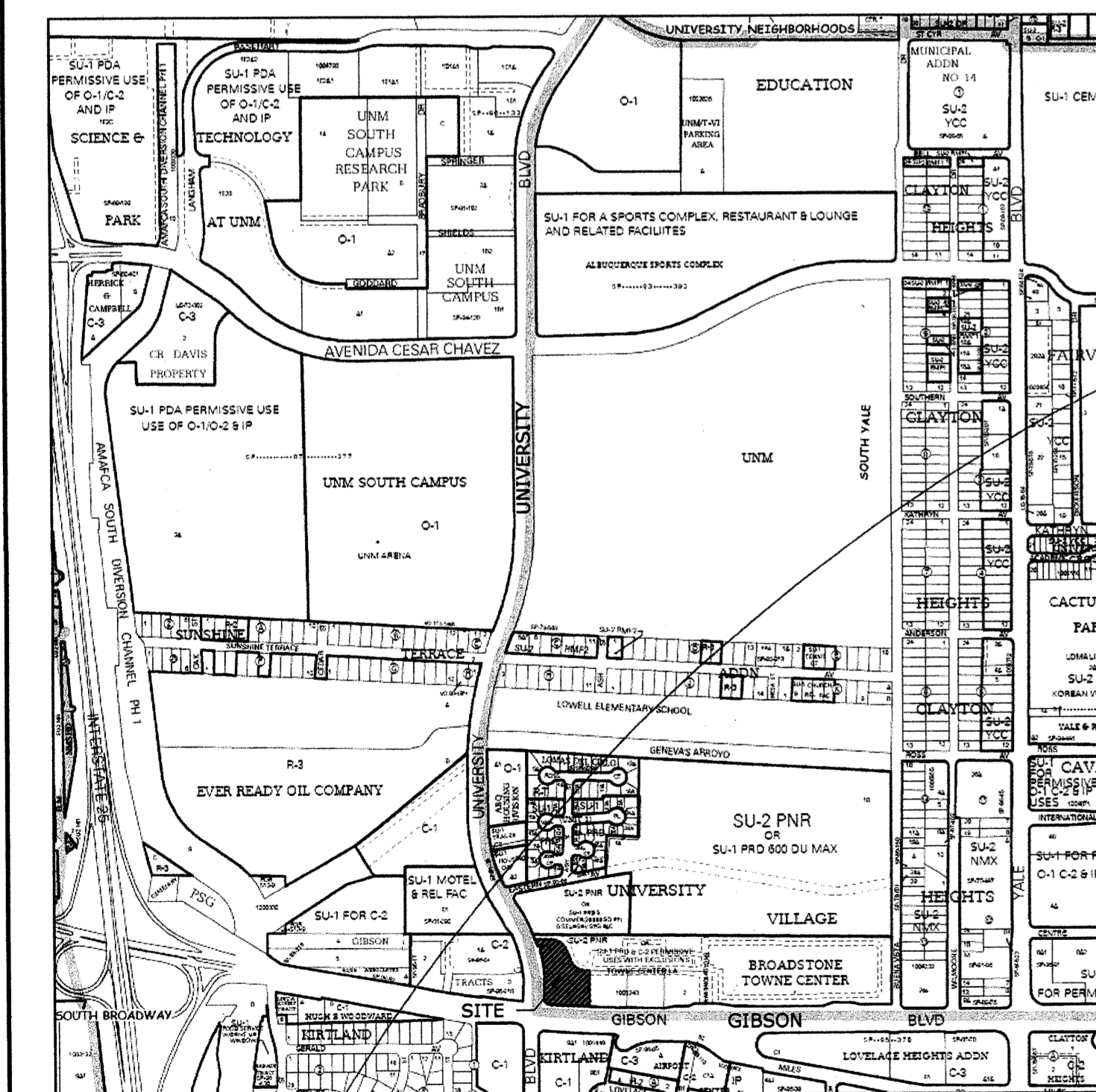
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**SIDEWALK LEGEND**

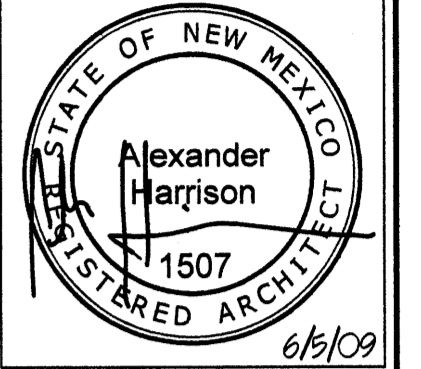
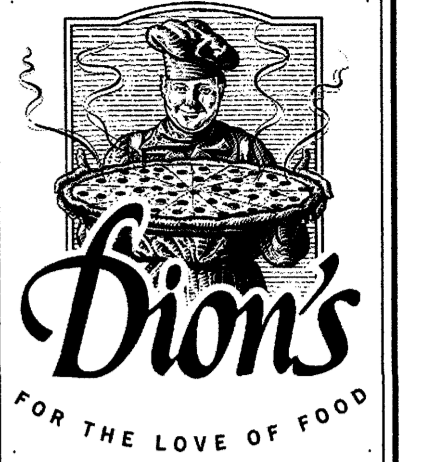
- Cross walks are to match existing Center - brown concrete with stamped, random paver pattern
- Gray concrete with broom finish
- Pavers in the Patio area, porous

**PARKING REQUIREMENTS**

Required Spaces:  
15 spaces per 1000 s.f. of building area = 75 including 4 H.C. spaces, 3 motorcycle spaces, 4 bikes  
Provided Spaces:  
82 spaces including 4 H.C. spaces, 3 motorcycles spaces, 5 bikes  
Note: There are bus stops north of the site on University and east of the site on Gibson



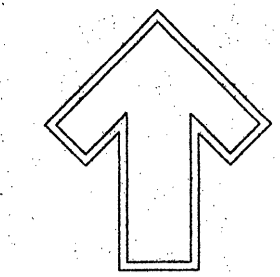
**FLOOR AREA RATIO**  
The Site Development Plan requires the FAR for the entire 16.76 acre (730,065 s.f.) property to be 0.5 minimum and 2.0 maximum.  
The minimum floor area: 730,065 \* 0.5 = 365,032 s.f.  
Currently there are 347,659 s.f. of apartments. This means that the remaining 4 commercial tracts must have a combined floor area of at least 17,373 s.f. which includes our building of 5,871 s.f.



Alexander Harrison  
Architect  
Peter-Defries Corp.  
d.b.a. Dion's  
8525 Jefferson St. NE  
Albuquerque, NM 87113  
505-858-1010  
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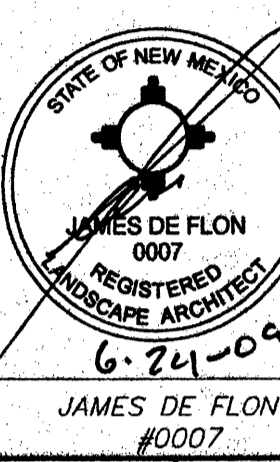
**Dion's at Broadstone Towne Center**  
University and Gibson, Albuquerque, New Mexico

Project No: 804
Date: June 4, 2009
Revisions: 5 JUN 09 - Add texture and dimensions to sidewalks 26 JUN 09 - Correct parking calculations, add FAR, add Seat Bench detail
Sheet Title: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
Sheet Number: 1



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



DION'S BROADSTONE TOWNE CENTER  
UNIVERSITY AND GIBSON, ALBUQUERQUE, NM  
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and contractors and are protected by copyright laws. This drawing and any other drawings or documents copied unless applicable (see have been paid for job order placed.

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: rmc  
REVISION # 6-25-09 rc  
DATE: 6-2-09 spm

SHEET #  
L1 of L2

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	11885	square feet
TOTAL BUILDINGS AREA	6020	square feet
NET LOT AREA	65865	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	9880	square feet
TOTAL BED PROVIDED	16127	square feet
GROUND COVER REQ.	75%	
TOTAL GROUND COVER REQUIREMENT	12045	square feet
TOTAL GROUND COVER PROVIDED	12110 (75%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	16127 (24%)	square feet

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

**TO MATCH EXISTING PLANTINGS IN BROADSTONE TOWNE CENTER**

**SHRUBS/ORNAMENTAL TREES**  
FIFTEEN GAL.

- CHINESE PISTACHE 14  
*Pistacia chinensis*  
2" Cal., 12-14" Inst./60" x 60" maturity  
Water (M) Allergy (H) Osf
- ASH T  
*Fraxinus spp.*  
2" Cal., 12-14" Inst./ 60" x 60" maturity  
Water (M+) Allergy (H) Osf
- WESTERN HACKBERRY 4  
*Celtis occidentalis*  
15 Gal., 4-10" Inst./40" x 40" maturity  
Water (M) Allergy (L) Osf
- VITEX 2  
*Vitex agnus-castus*  
2" Cal., 12-14" Inst./ 20" x 20" maturity  
Water (M) Allergy (L) 225sf

**SHRUBS/ORNAMENTAL GRASSES**  
FIVE GAL.

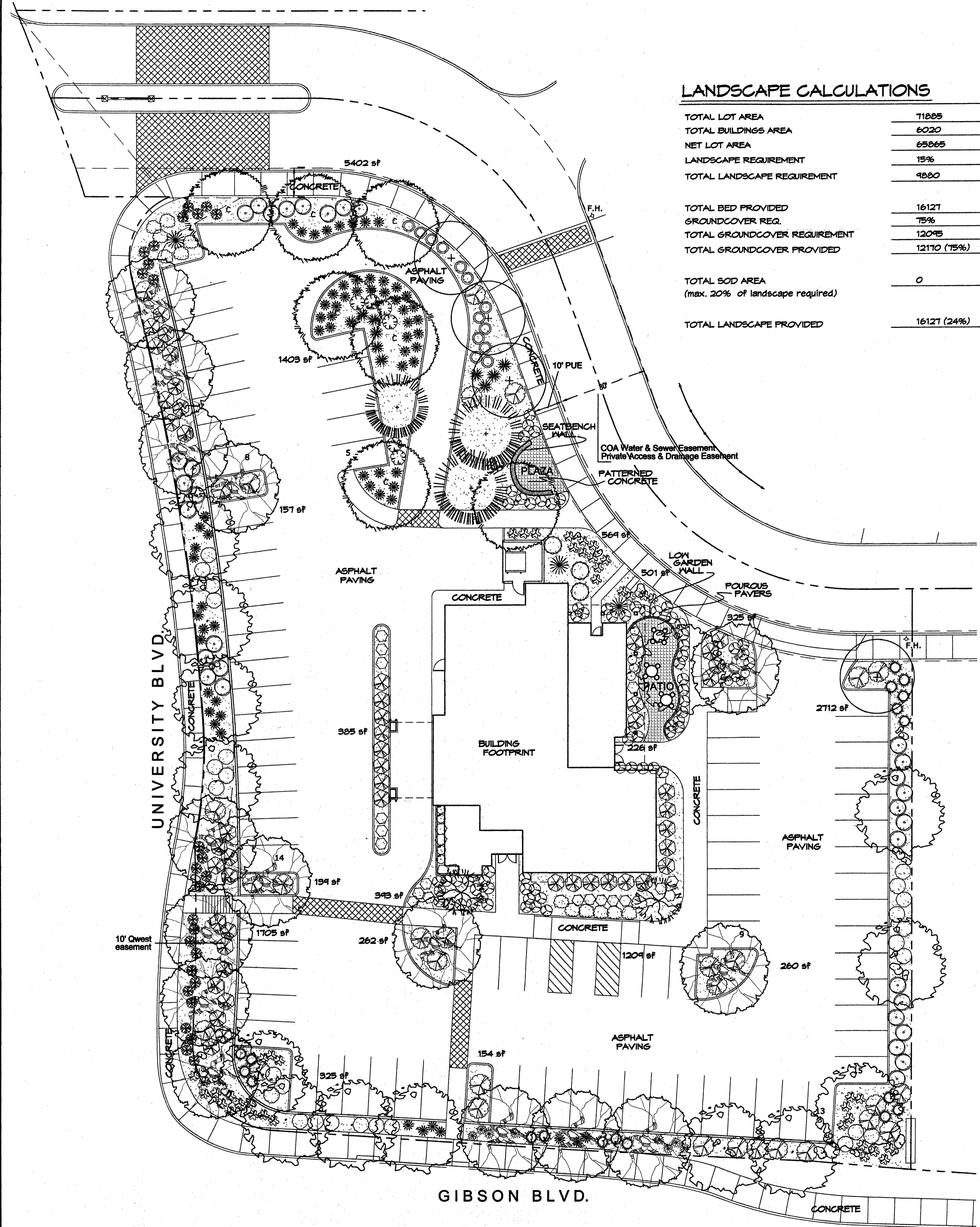
- APACHE PLUME 24  
*Fallugia paradoxa*  
5 Gal., 18"-3" Inst./6" x 7" maturity  
Water (L) Allergy (L) 44sf
- THREE-LEAF SUMAC 3  
*Rhus trilobata*  
5 Gal., 18"-3" Inst./6" x 6" maturity  
Water (L+) Allergy (L) 36sf
- INDIAN HAWTHORN 50  
*Raphiolepis indica*  
5 Gal., 18"-3" Inst./6" x 6" maturity  
Water (M) Allergy (L) 36sf
- RUSSIAN SAGE 32  
*Perovskia atriplicifolia*  
5 Gal., 18"-3" Inst./6" x 6" maturity  
Water (M) Allergy (L) 36sf
- LENA'S BROOM 18  
*Cytisus x Lena*  
5 Gal., 18"-3" Inst./4" x 4" maturity  
Water (M) Allergy (L) 16sf
- BLUE MIST SPIREA 8  
*Caryopteris clandestinis*  
5 Gal., 12"-3" Inst./3" x 3" maturity  
Water (M) Allergy (L) 4sf
- OREGON GRAPE 12  
*Mahonia aquifolium*  
5 Gal., 12"-3" Inst./2" x 3" maturity  
Water (M) Allergy (L) 4sf
- REGAL MIST 27  
*Muhlenbergia capillaris*  
5 Gal., 12"-3" Inst./3" x 3" maturity  
Water (M) Allergy (L) 4sf

**HARDSCAPES**

- OVERSIZED GRAVEL
- 22 BOULDERS
- DENOTES EVERGREEN PLANT MATERIAL

**DESERT ACCENTS**

- AUSTRIAN PINE 3  
*Pinus nigra*  
6"-8" Inst., 35" x 25" maturity  
Water (M) Allergy (L) Osf
- BEARGRASS 3  
*Nolina microcarpa*  
5 Gal., 18"-3" Inst./5" x 6" maturity  
Water (L+) Allergy (L) 36sf
- RED YUCCA 10  
*Hesperaloe parviflora*  
5 Gal., 18"-3" Inst./3" x 4" maturity  
Water (L+) Allergy (L) 16sf
- CHAMISA 6  
*Chrysothamnus nauseosus*  
1 Gal., 6"-15" Inst./3" x 5" maturity  
Water (L) Allergy (L) 25sf
- POWIS CASTLE SAGE 13  
*Artemisia X Powis Castle*  
1 Gal., 6"-15" Inst./2" x 5" maturity  
Water (L+) Allergy (L) 25sf
- TURPENTINE BUSH 13  
*Ericameria laricifolia*  
1 Gal., 6"-15" Inst./3" x 4" maturity  
Water (L+) Allergy (L) 16sf
- AUTUMN SAGE 24  
*Salvia greggii*  
1 Gal., 3"-15" Inst./2" x 3" maturity  
Water (M) Allergy (L) 4sf
- BLUE AVEN/OAT GRASS 66  
*Helictotrichon sempervirens*  
1 Gal., 3"-15" Inst./2" x 3" maturity  
Water (M) Allergy (L) 4sf
- THREADGRASS 42  
*Stipa tenuissima*  
1 Gal., 3"-15" Inst./2" x 2" maturity  
Water (L+) Allergy (L) 4sf
- WINTER CREEPER 10  
*Euonymus fortunei*  
1 Gal., 3"-15" Inst./1" x 4" maturity  
Water (M+) Allergy (L) 4sf
- HONEYSUCKLE 30  
*Lonicera japonica 'Halliana'*  
1 Gal., 6"-15" Inst./3" x 12" maturity  
Water (M) Allergy (L) 144sf  
Unstaked-Groundcover
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH



**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Gibson  
Required # 4 Provided # 4

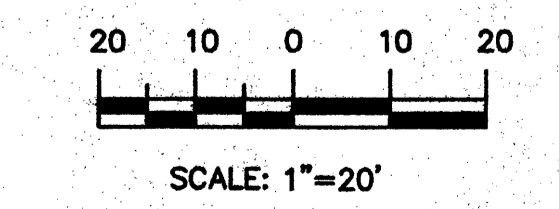
Name of Street: University  
Required # 11 Provided # 11

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

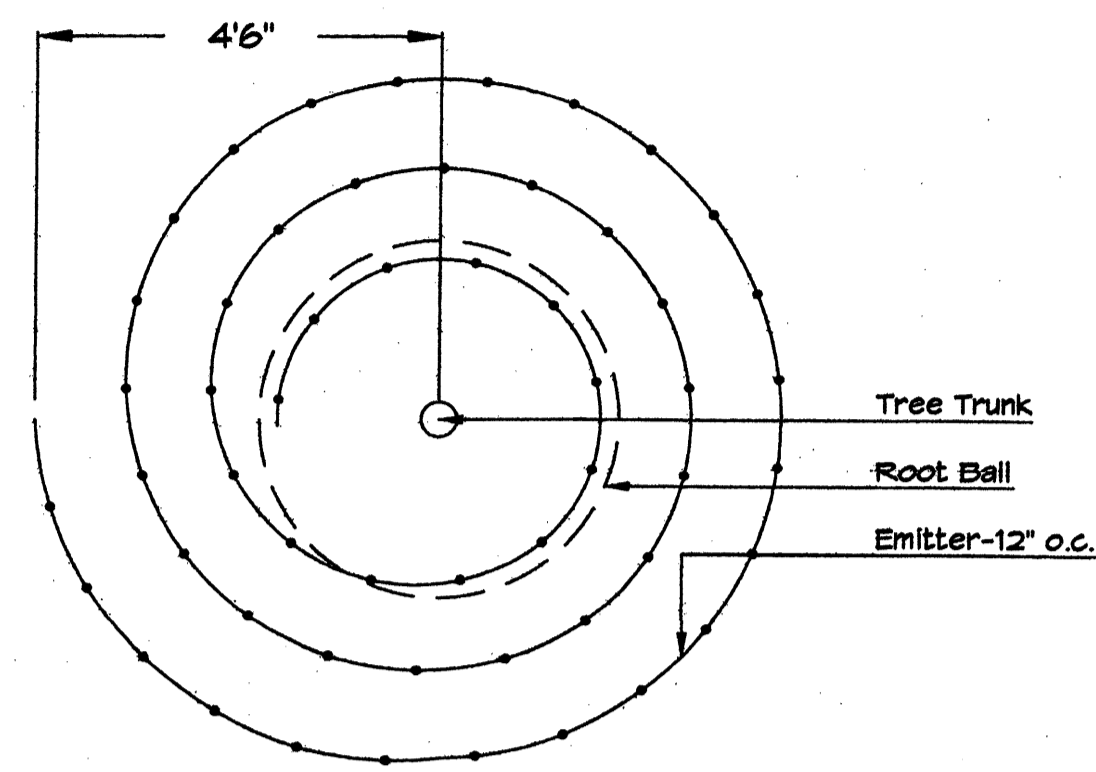
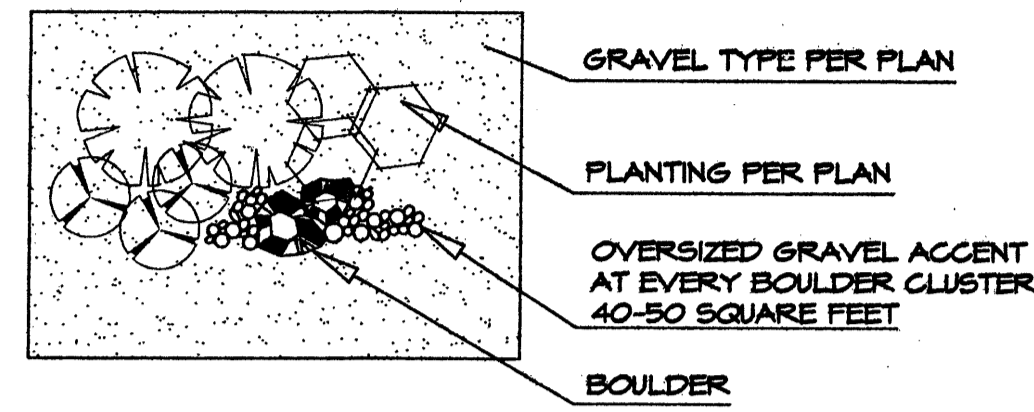
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 4 Provided # 4

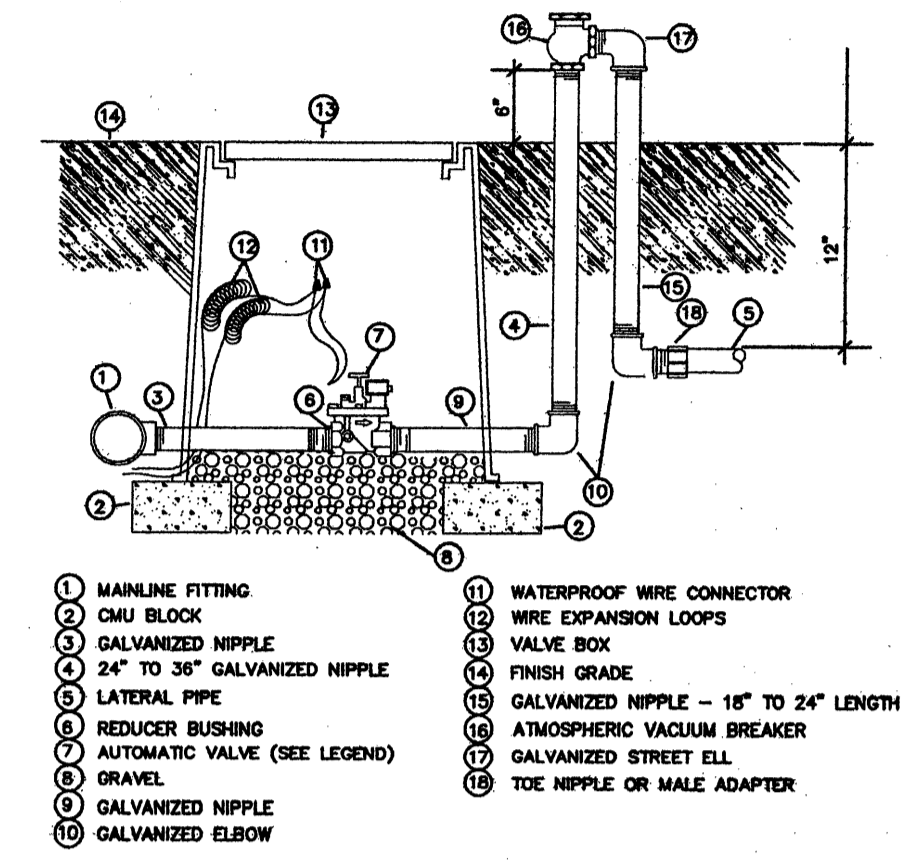
GRAPHIC SCALE



**GRAVEL ACCENT DETAIL**



**Netafim Spiral Detail**



**AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER**

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees, shrubs, groundcovers, wildflowers, etc. in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

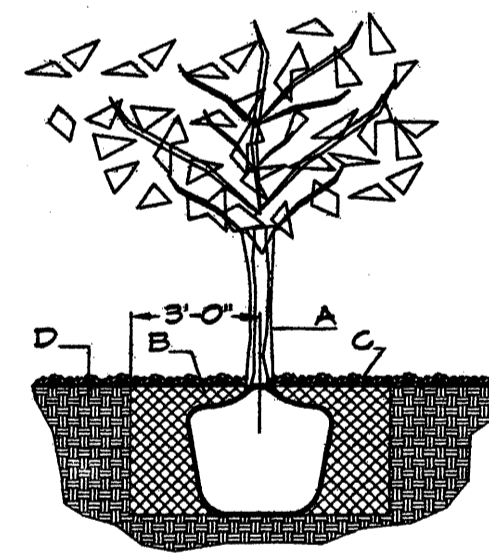
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



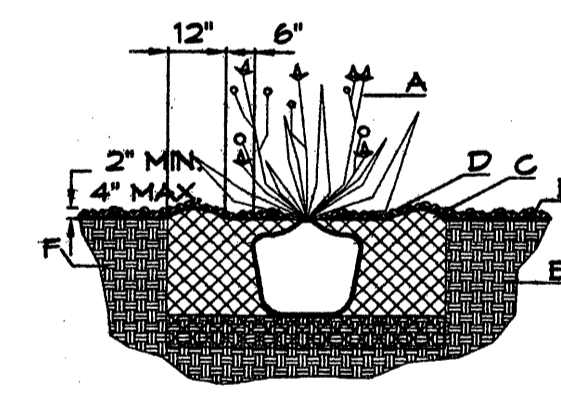
**TREE PLANTING DETAIL**

**GENERAL NOTES:**

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



**SHRUB PLANTING DETAIL**

**GENERAL NOTES:**

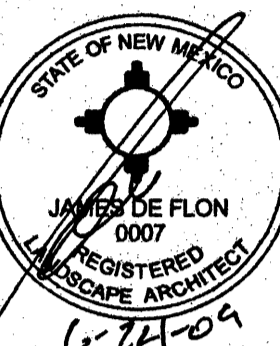
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**CONSTRUCTION NOTES:**

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

Cont. Lic. #26458  
7809 Edith N.E.  
Albuquerque, NM 87184  
Ph: (505) 898-9690  
Fax: (505) 898-7737  
cmj@hilltoplandscaping.com

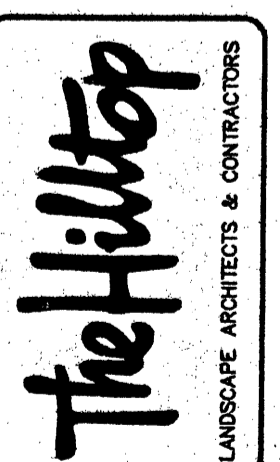
LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

DION'S BROADSTONE TOWNE CENTER  
UNIVERSITY AND GIBSON, ALBUQUERQUE, NM  
LANDSCAPE DETAIL

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DRAWN BY: rmc  
REVISION # 6-25-09 PC  
DATE 6-2-09 3pm

SHEET # L2 of L2



- LEGEND**
- ASPH ASPHALT
  - C&G CURB AND GUTTER
  - CC CONCRETE CURB
  - CONC CONCRETE
  - FF FINISHED FLOOR
  - FL FIRE HYDRANT
  - FW FLOWLINE
  - GW GUY WIRE
  - INV INVERT
  - MH MANHOLE
  - MLP METAL LIGHT POLE
  - SAS SANITARY SEWER
  - SD STORM DRAIN
  - SI STANDARD
  - SV SPRINKLER VALVE
  - SW SIDEWALK
  - SWC SIDEWALK CULVERT
  - SWS SOLID WHITE STRIPE
  - TA TOP OF ASPHALT PAVEMENT
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TCO TOP OF CONCRETE
  - TS TRAFFIC SIGN
  - TSMAB TRAFFIC SIGNAL MAST ARM BASE
  - TSPB TRAFFIC SIGNAL PULLBOX
  - TSW TOP OF SIDEWALK
  - TV TELEPHONE VAULT
  - TW TOP OF WALL
  - VG VALLEY GUTTER
  - WF WOOD FENCE
  - WL WATERLINE
  - WM WATER METER
  - WMP WOOD POWER POLE
  - WVB WATER VALVE BOX
  - X-WALK CROSSWALK
  - \* UTILITY MARKER
- EXISTING FIRE HYDRANT
  - EXISTING GATE VALVE
  - EXISTING STORM DRAIN MANHOLE
  - EXISTING SAS MANHOLE
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE PAVEMENT
  - 25.41 PROPOSED SPOT ELEVATION
  - 24.96 EXISTING FLOWLINE ELEVATION
  - 5008 PROPOSED CONTOUR
  - EXISTING CONTOUR
  - PROPOSED FLOWLINE
  - ROOF DRAINAGE
  - RIGHT OF WAY LINE
  - PUBLIC EASEMENT LINE
  - PROPOSED RETAINING WALL
  - HIGH POINT
  - TC99.00  
FL98.90 TOPOGRAPHIC INFORMATION FROM 01-2007 SURVEY
  - TC89.00  
FL88.40 PRELIMINARY AS-BUILT ELEVATIONS

**PRELIMINARY GRADING PLAN NARRATIVE**

THE SITE IS AN UNDEVELOPED PAD SITE PREPARED AS PART OF A LARGER DEVELOPMENT, BROADSTONE TOWNE CENTER. THE SITE INCLUDES A LARGE FLAT GRADED PAD WITH 5:1+/- SLOPES DOWN TO UNIVERSITY BLVD SE AT THE WEST, AND 10:1 SLOPES UP TO THE NEXT PAD SITE TO THE EAST. TOWNE CENTER LANE INCLUDES A PRIVATE STORM DRAIN SIZED TO ACCEPT FULLY DEVELOPED RUNOFF FROM THE PAD SITES. THE SITE WILL BE GRADED TO SURFACE DRAIN TO THE NORTH (LOW) END OF THE SITE WHERE A NEW STORM INLET WILL INTERCEPT RUNOFF AND CONVEY IT DIRECTLY TO THE EXISTING STORM DRAIN SIZED FOR THIS DISCHARGE IN ACCORDANCE WITH THE APPROVED PLAN FOR THE OVERALL DEVELOPMENT.

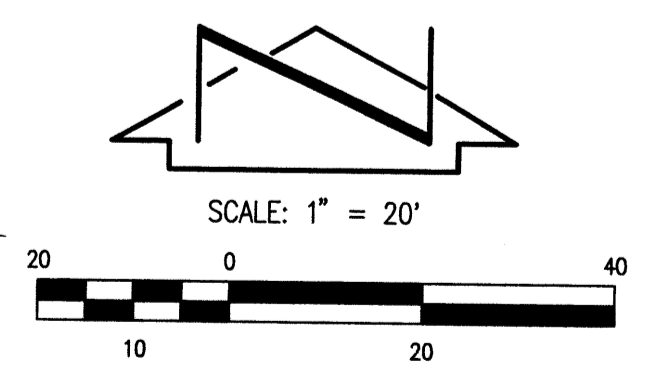
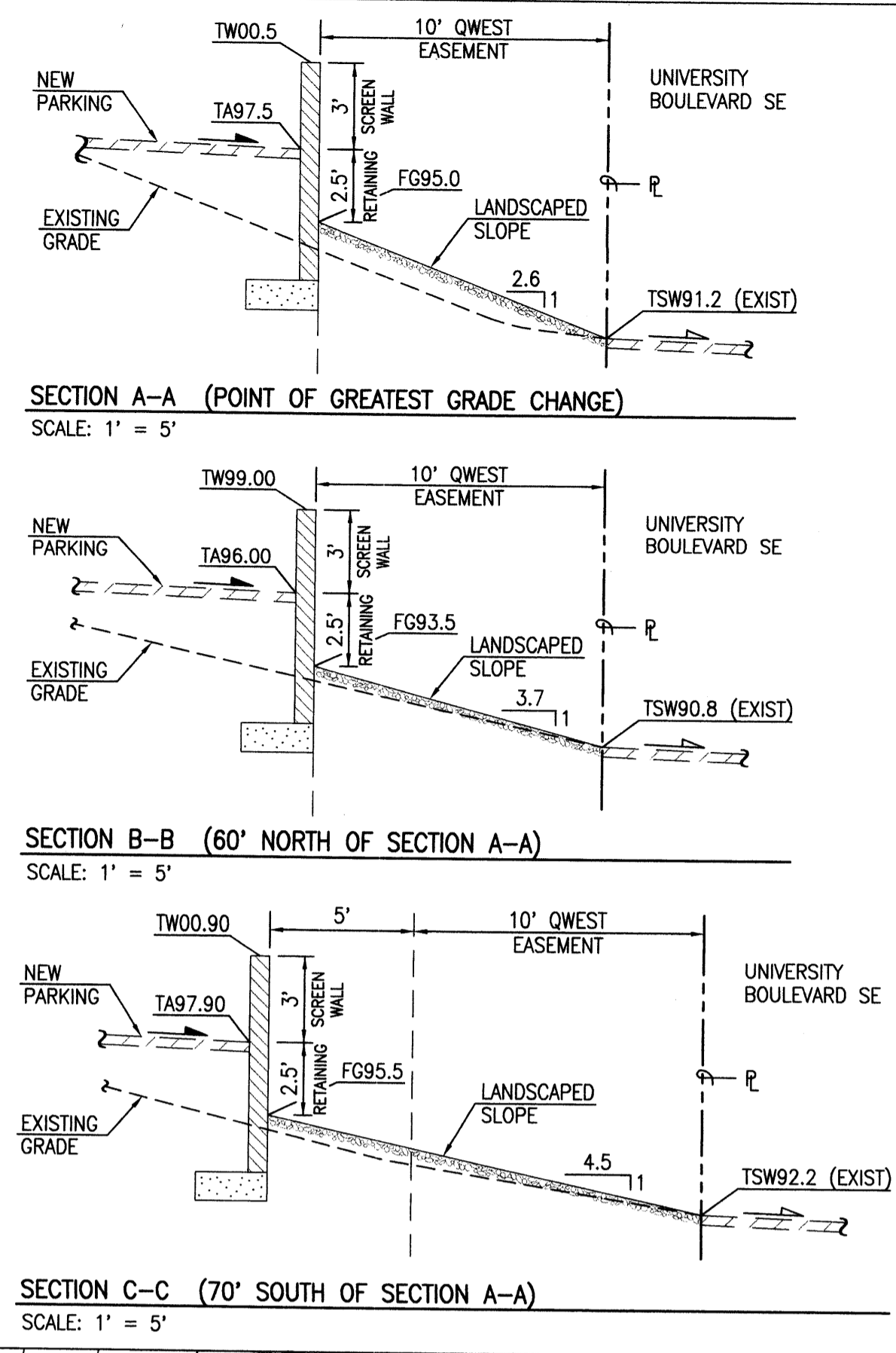
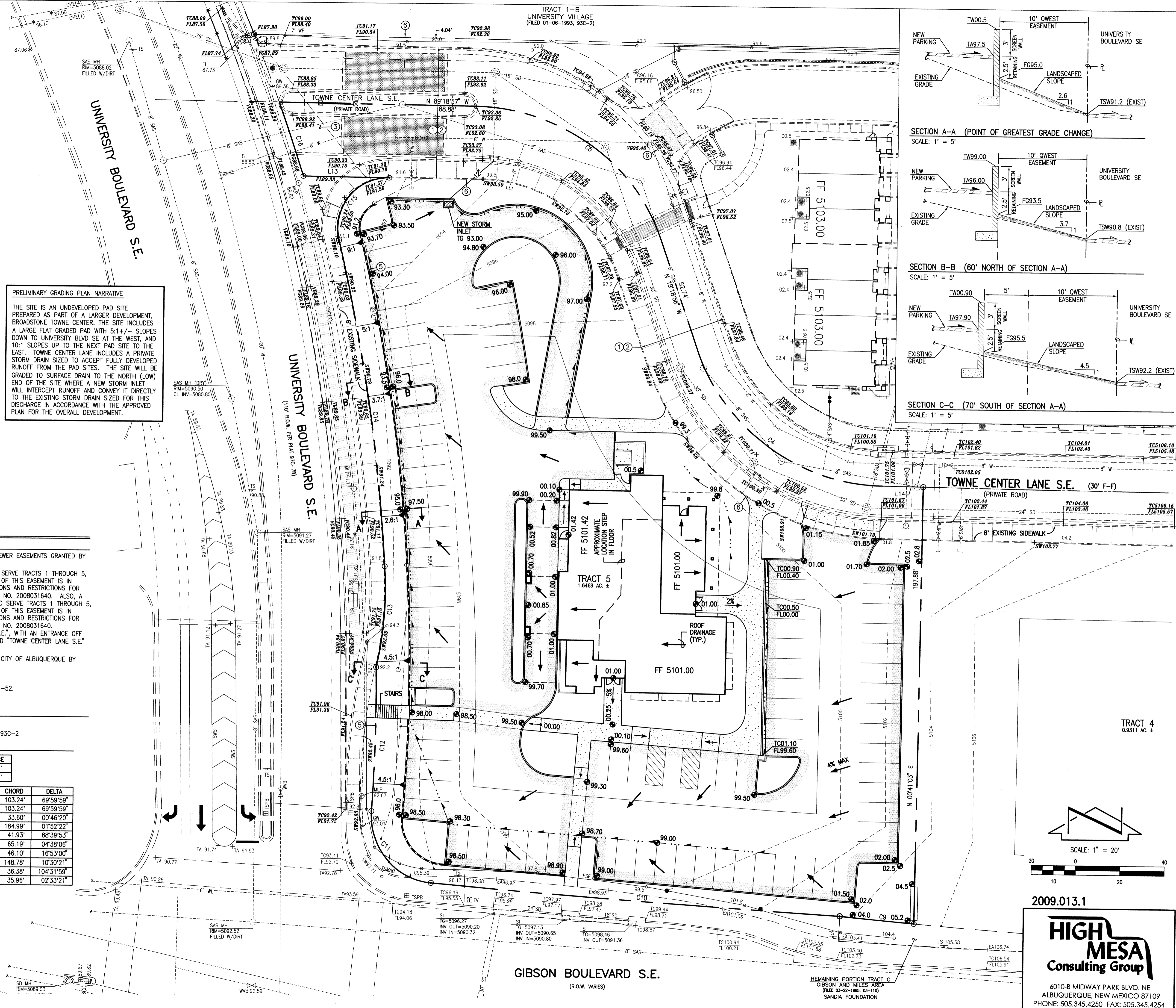
- LEGAL DESCRIPTION**  
TRACT 5, BROADSTONE TOWNE CENTER
- EASEMENT KEYED NOTES**
- NEW EASEMENTS**
- ABCWUA PUBLIC WATERLINE AND ABCWUA PUBLIC SANITARY SEWER EASEMENTS GRANTED BY PLAT 2008C-52.
  - PRIVATE ACCESS EASEMENT GRANTED BY PLAT 2008C-52 TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT IS IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED 03-20-2008, DOCUMENT NO. 2008031640. ALSO, A PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2008C-52 TO SERVE TRACTS 1 THROUGH 5, BROADSTONE TOWNE CENTER. MAINTENANCE AND OPERATION OF THIS EASEMENT IS IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BROADSTONE TOWNE CENTER, FILED 03-20-2008, DOCUMENT NO. 2008031640. NORTH-SOUTH PRIVATE ROAD IS NAMED "BROADSTONE WAY S.E.", WITH AN ENTRANCE OFF GIBSON BOULEVARD S.E. EAST-WEST PRIVATE ROAD IS NAMED "TOWNE CENTER LANE S.E." WITH AN ENTRANCE OFF UNIVERSITY BOULEVARD S.E.
  - PUBLIC ROADWAY AND SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT 2008C-52.
  - NOT USED
  - 10' QWEST CORPORATION EASEMENT GRANTED BY PLAT 2008C-52.
  - 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2008C-52.
- EASEMENTS - OFFSITE**
- NOT USED
  - 10' PUBLIC SERVICE COMPANY EASEMENT DEPICTED ON PLAT 93C-2

**BOUNDARY TABLES**

LINE	DIRECTION	DISTANCE
L13	S 89°18'57" E	39.03'
L14	S 89°18'57" E	18.40'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C4	90.00'	109.96'	S 54°18'57" E	103.24'	69°59'59"
C5	90.00'	109.96'	N 54°18'57" W	103.24'	69°59'59"
C9	2492.96'	33.60'	N 84°35'01" W	33.60'	00°46'20"
C10	5660.00'	185.00'	N 85°57'13" W	184.99'	01°52'22"
C11	30.00'	46.42'	S 40°41'06" E	41.93'	88°39'53"
C12	806.09'	65.21'	N 01°19'48" E	65.19'	04°38'06"
C13	157.00'	46.26'	N 04°19'17" E	46.10'	16°53'00"
C14	812.55'	148.99'	N 08°35'45" W	148.78'	10°30'21"
C15	23.00'	41.96'	S 38°25'04" W	36.38'	104°31'59"
C16	806.09'	35.96'	N 18°17'15" W	35.96'	02°33'21"

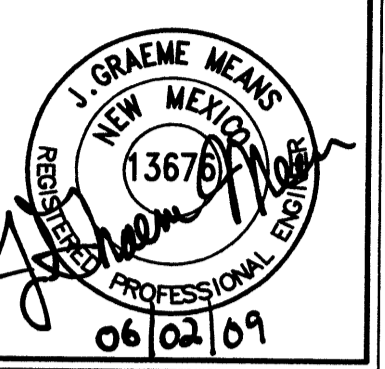
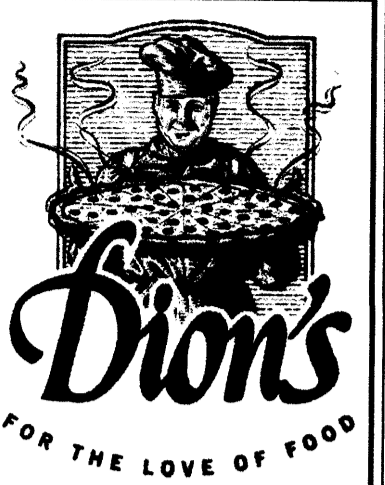
**SURVEY NOTE:**  
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE PLAT 2008C-52 PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, FILED 3-20-2008, (2006.003.2). TOPOGRAPHIC SURVEY INFORMATION IS BASED UPON A PRELIMINARY TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184 (01-2007, FINAL SURVEY PENDING), CONTOURS ON TRACTS 5 AND 4 ARE DESIGNED CONTOURS FROM THE MASS GRADING PLAN PREPARED BY HIGH MESA CONSULTING GROUP, NMPE NO. 13676, DATED 1-28-2008 (2006.003.4). SUPPLEMENTAL TOP OF CURB, SIDEWALK AND FLOWLINE ELEVATIONS ALONG UNIVERSITY AND TOWNE CENTER LANE ARE PRELIMINARY AS-BUILT ELEVATIONS.



2009.013.1

**HIGH MESA**  
Consulting Group

6010-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 FAX: 505.345.4254  
www.highmesacg.com



Alexander Harrison  
Architect

Peter-Defries Corp.  
d.b.a. Dion's  
8525 Jefferson St. NE  
Albuquerque, NM 87113  
505-858-1010

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**Dion's at Broadstone Towne Center**  
University and Gibson, Albuquerque, New Mexico

Project No: 2009.013.1

Date: 06/03/2009

Revisions:

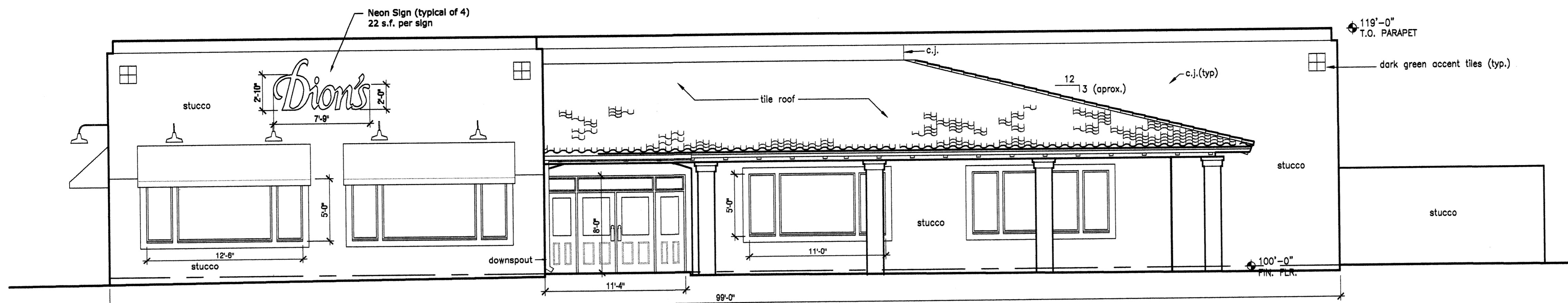
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PRELIMINARY GRADING PLAN

Sheet Number:

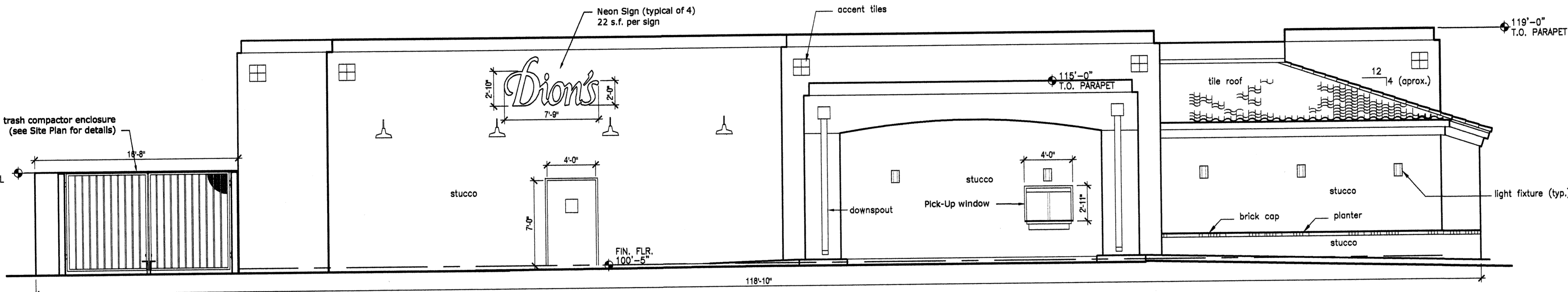
3

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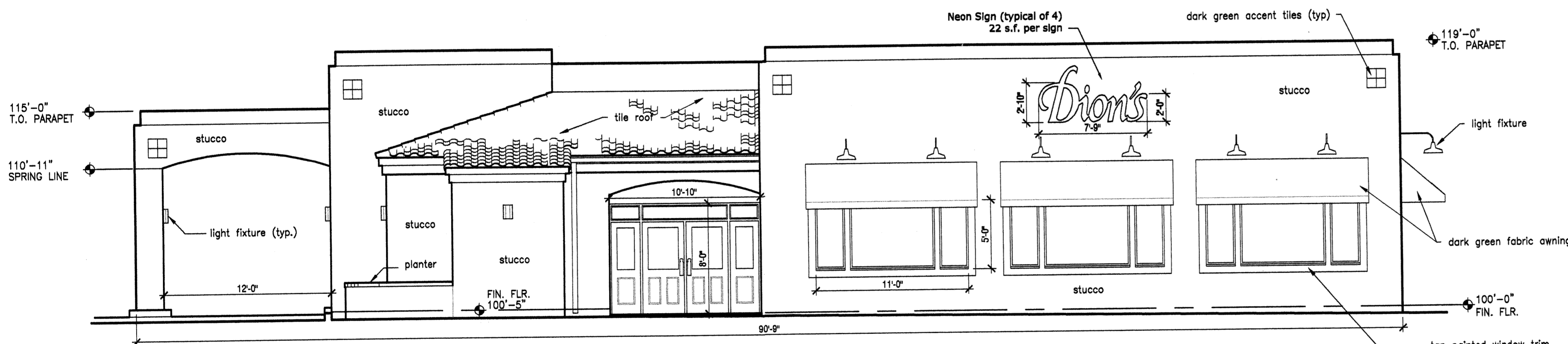
**EAST ELEVATION**

SCALE: 3/16" = 1'-0"



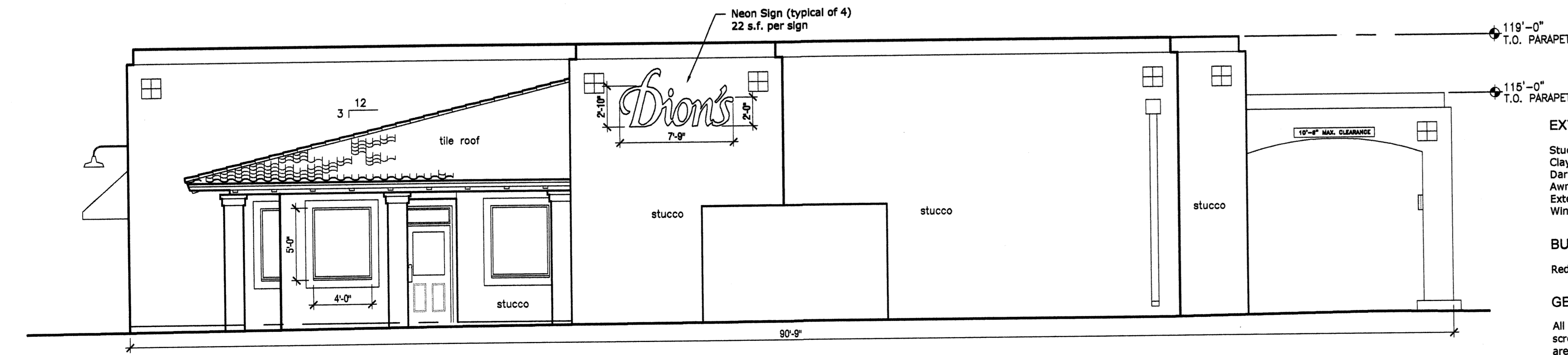
**WEST ELEVATION**

SCALE: 3/16" = 1'-0"



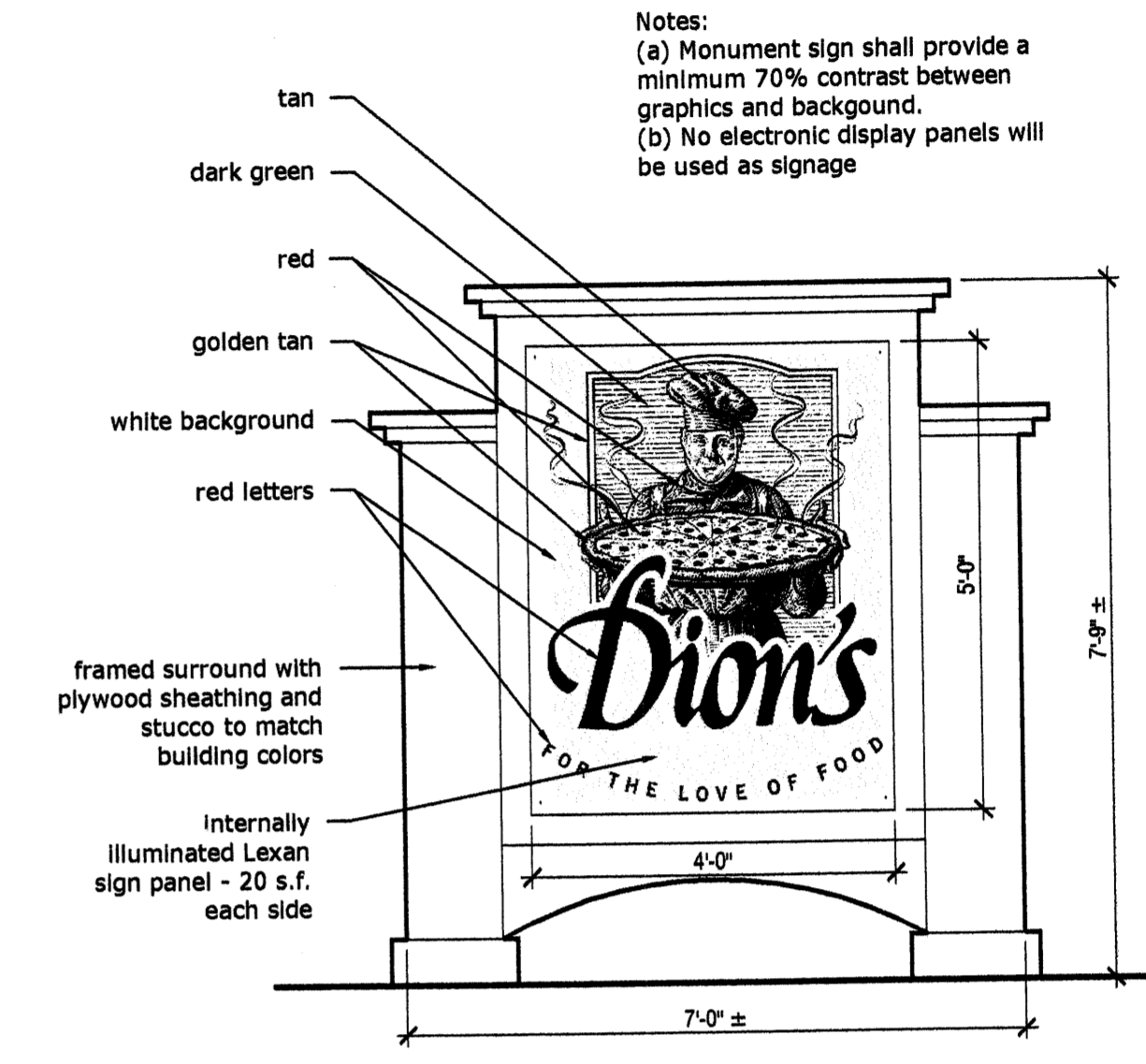
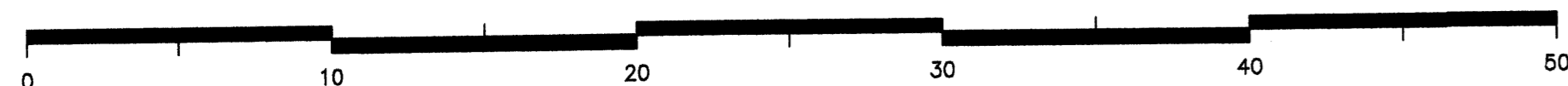
**SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"



**NORTH ELEVATION**

SCALE: 3/16" = 1'-0"

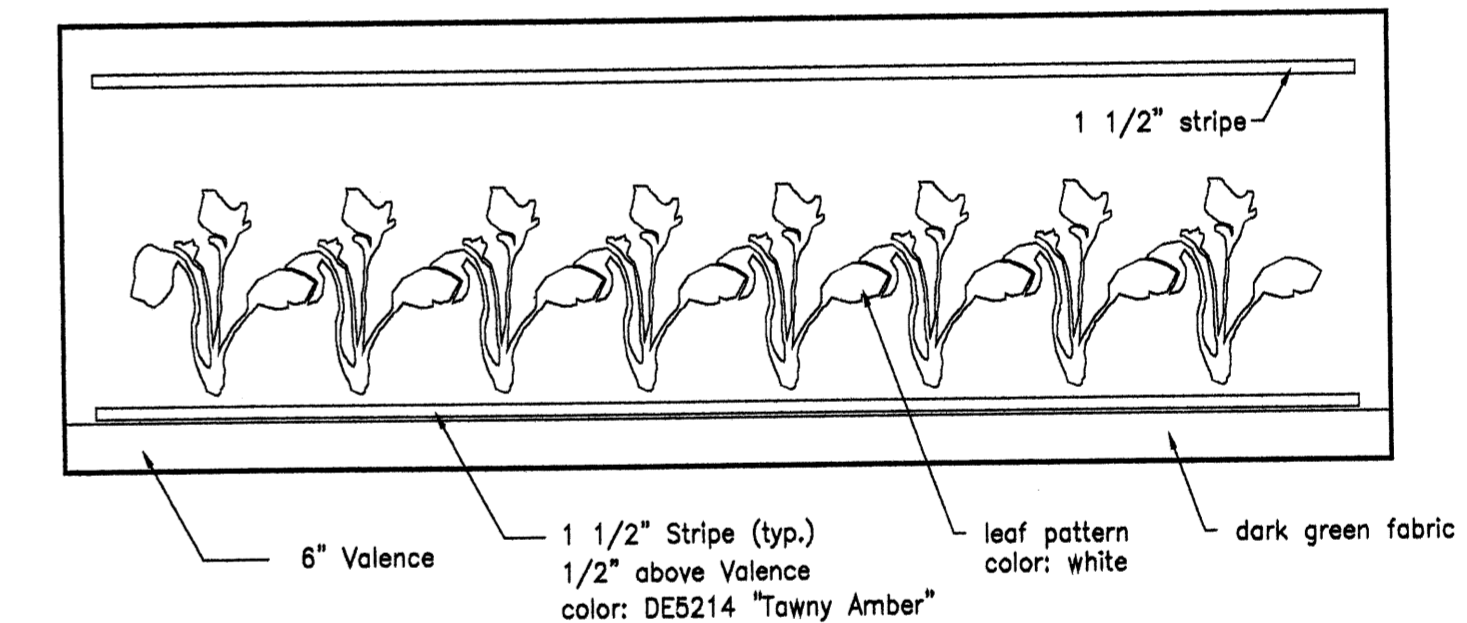


Notes:  
 (a) Monument sign shall provide a minimum 70% contrast between graphics and background.  
 (b) No electronic display panels will be used as signage

Note: this sign matches the style of the existing sign on University Blvd.

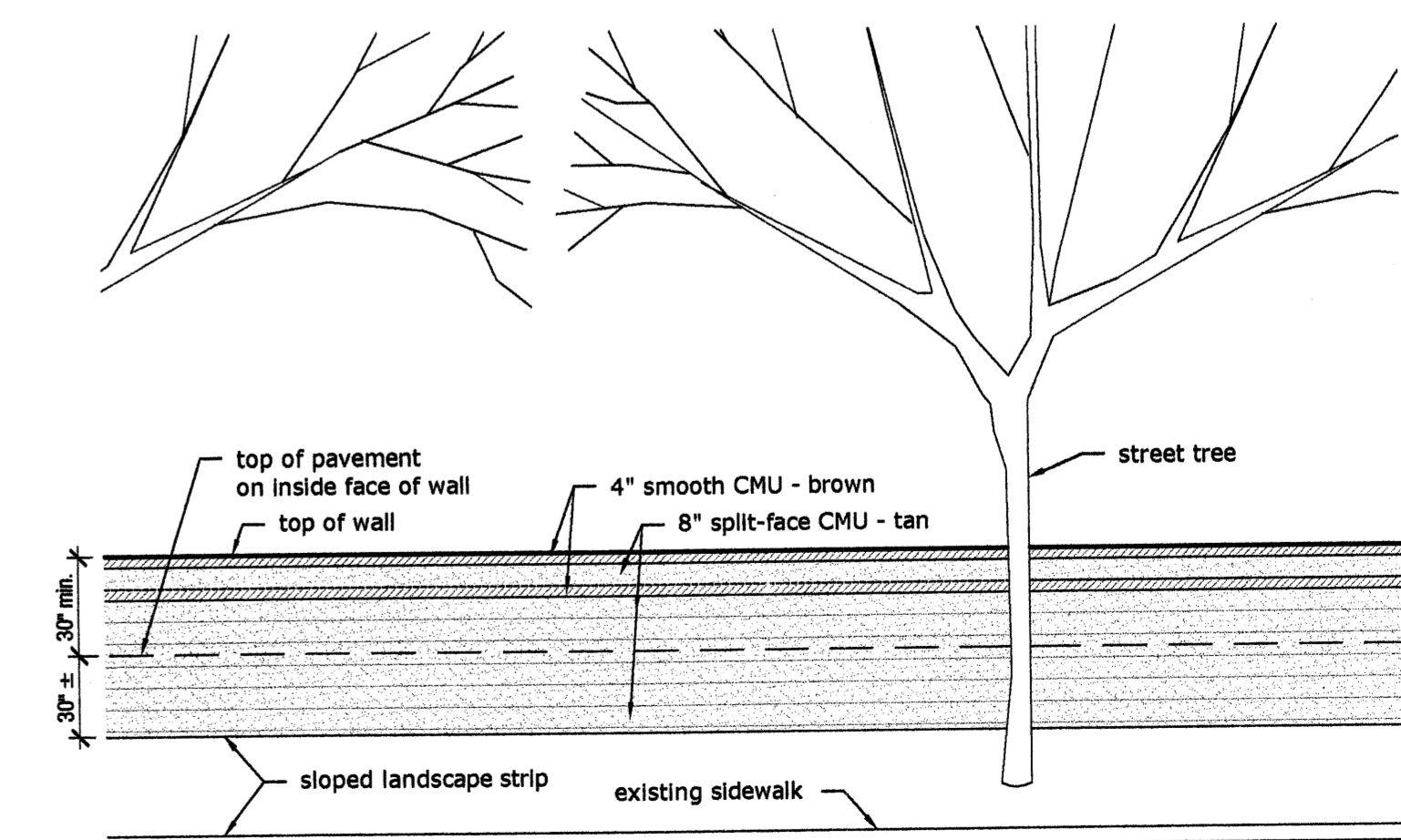
**MONUMENT SIGN ALONG INTERNAL DRIVE**

SCALE: 1/2" = 1'-0"



**AWNING GRAPHICS**

SCALE: 1/2" = 1'-0"

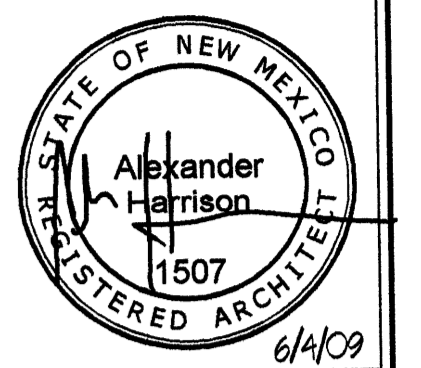
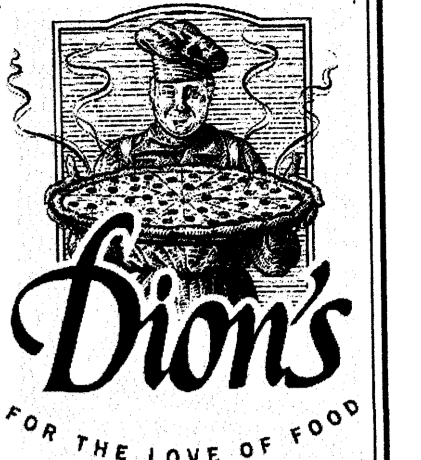


**PERIMETER SCREEN/RETAINING WALL - ELEVATION**

SCALE: 3/16" = 1'-0"

See Sheet 3 for section thru wall

- EXTERIOR FINISHES**  
 Stucco Walls - light tan  
 Clay Tile Roof - reddish brown blend  
 Dark green accent tiles  
 Awnings - dark green fabric with white graphics  
 Exterior Doors - natural oak  
 Window Trim - light tan
- BUILDING SIGNS**  
 Red neon in white channel letters
- GENERAL NOTES**  
 All mechanical rooftop equipment shall be screened from view of the adjacent parking area and public right-of-way, and shall be on the flat portion of the roof with parapets high enough to shield them from view. Screening material shall match building wall color and material.  
 Window glass is to be clear, non-reflective, solar control, low-e



Alexander Harrison  
 Architect  
 Peter-Defries Corp.  
 d.b.a. Dion's  
 8525 Jefferson St. NE  
 Albuquerque, NM 87113  
 505-858-1010  
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**Dion's at Broadstone Towne Center**  
 University and Gibson, Albuquerque, New Mexico

Project No: 804  
 Date: June 4, 2009  
 Revisions:  
 5 JUN 09 - Add info to monument sign  
 26 JUN 09 - Add Screen Wall Elevation  
 27 AUG 09 - Add notes to monument sign detail per EPC

Sheet Title:  
**BUILDING ELEVATIONS**

Sheet Number:  
**4**

**LEGEND**

ASPH	ASPHALT
C&G	CURB AND GUTTER
CC	CONCRETE CURB
CONC	CONCRETE
FH	FIRE HYDRANT
FL	FLOWLINE
GW	GUY WIRE
MH	MANHOLE
MLP	METAL LIGHT POLE
SAS	SANITARY SEWER
SD	STORM DRAIN
SI	STORM INLET
STD	STANDARD
SV	SPRINKLER VALVE
SW	SIDEWALK
SWC	SIDEWALK CULVERT
SWS	SOLID WHITE STRIPE
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TG	TOP OF GRATE
TS	TRAFFIC SIGNAL
TSMAB	TRAFFIC SIGNAL MAST ARM BASE
TSPB	TRAFFIC SIGNAL PULLBOX
TV	TELEPHONE VAULT
WF	WOOD FENCE
WL	WATERLINE
WM	WATER METER
WPP	WOOD POWER POLE
WVB	WATER VALVE BOX
X-WALK	CROSSWALK
*	UTILITY MARKER
○	EXISTING FIRE HYDRANT
○	EXISTING GATE VALVE
○	EXISTING STORM DRAIN MANHOLE
○	EXISTING SAS MANHOLE
▨	PROPOSED ASPHALT PAVEMENT
▨	PROPOSED CONCRETE PAVEMENT
○	PROPOSED STORM DRAIN MANHOLE
○	STORM INLET
○	PROPOSED GATE VALVE
○	PROPOSED SAS MANHOLE
○	PROPOSED SAS CLEANOUT
○	PROPOSED FIRE HYDRANT
○	PROPOSED WATER SERVICE

**EASEMENT KEYED NOTES**

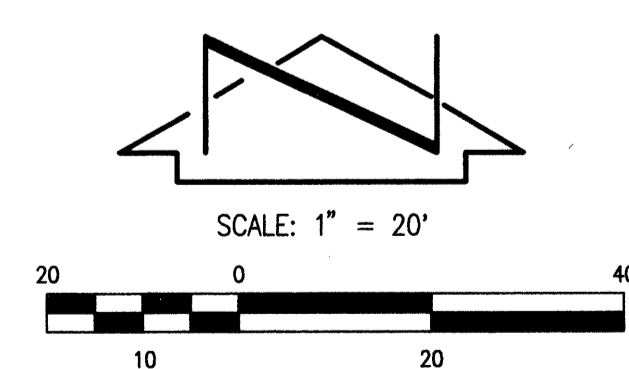
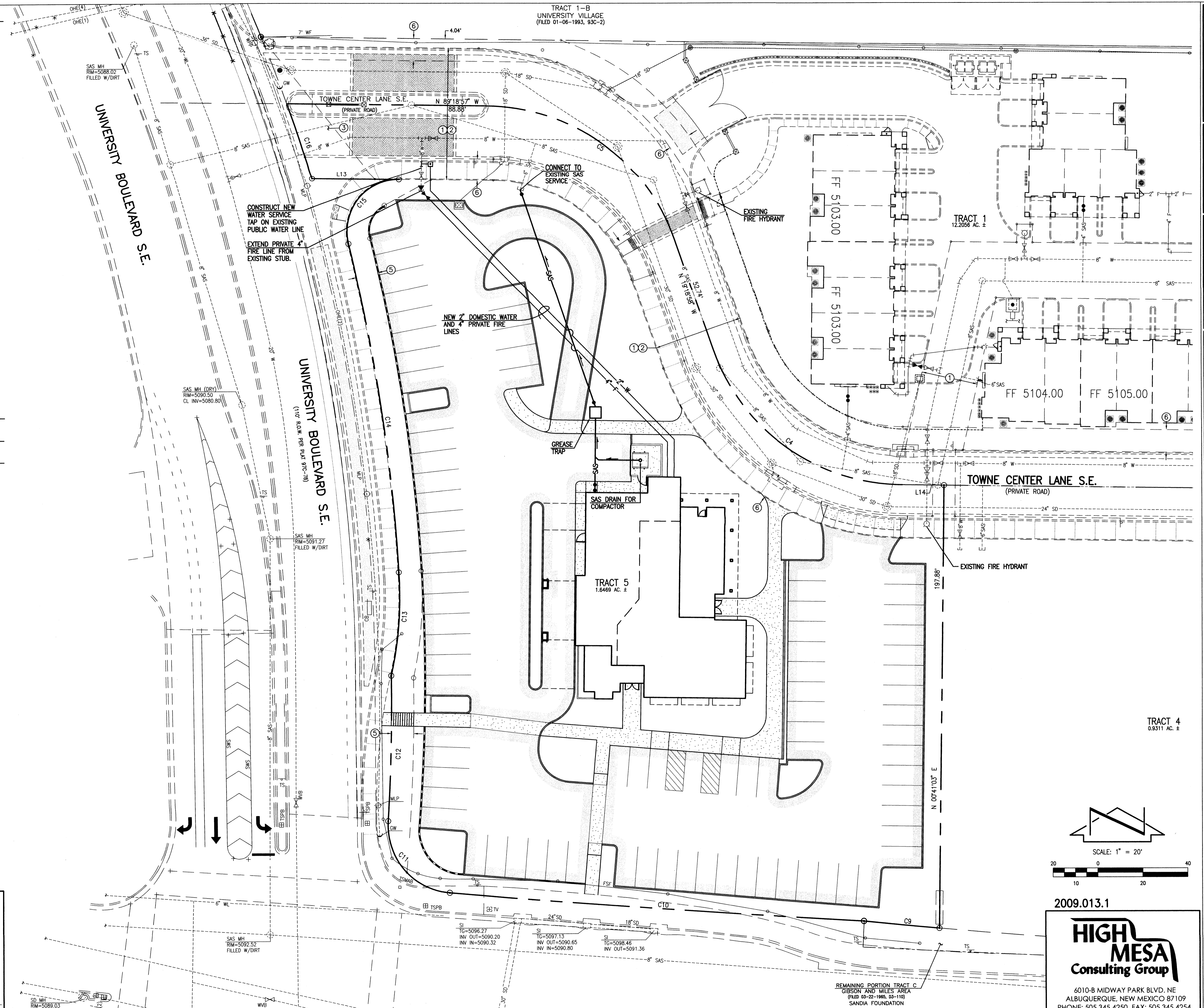
FOR EASEMENT KEYED NOTES, SEE SHEET 3.  
 FOR BOUNDARY TABLES, SEE SHEET 3.  
 FOR BOUNDARY TABLES, SEE SHEET 3.

**LEGAL DESCRIPTION**

TRACT 5, BROADSTONE TOWNE CENTER

**SURVEY NOTE:**

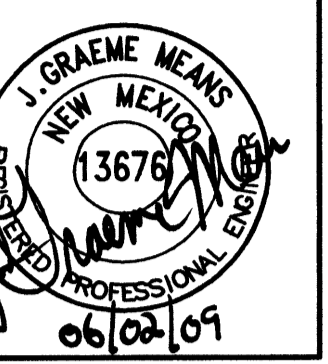
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2009.013.1



6010-B MIDWAY PARK BLVD. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE: 505.345.4250 FAX: 505.345.4254  
 www.highmesacg.com



Alexander Harrison  
 Architect

Peter-Defries Corp.  
 d.b.a. Dion's  
 8525 Jefferson St. NE  
 Albuquerque, NM 87113  
 505-858-1010

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**Dion's at Broadstone Towne Center**  
 University and Gibson, Albuquerque, New Mexico

Project No: 2009.013.1

Date: 06/03/2009

Revisions:

Sheet Title:

CONCEPTUAL UTILITY PLAN

Sheet Number:

5

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 File Name: 90131\_CUP.DWG Plot Time: 12:07 pm