



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 4, 2008

Project# 1005255

08DRB-70207 VACATION OF PUBLIC RIGHT-OF-WAY

DAC ENTERPRISES, INC agent(s) for J C & JAMES A PETERSON request(s) vacation for Harvard Dr NE BETWEEN LOTS A-1 OF BLOCK 15 & LOT C-1 OF BLOCK 10, **VISTA LARGA SUBDIVISION** located on HARVARD DR south of HANNETT AVE NE. (J-16) *[Deferred from 5/28/08]*.

At the June 4, 2008 Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance subject to calling out the width of the right-of-way, indication of pavement location, and the distance of face of curb to the property line.

(A)(1) The public utility easement vacation request was filed by the owners of a majority of the rear footage of land abutting the proposed vacation.

(B)(1) The public welfare is in no way served by retaining the public utility easements.

(B)(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office
5. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

08DRB-70236 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for JAMES A & JAMES C PETERSON request(s) the above action(s) for all or a portion of Lot(s) A-1, B-1 & C-1, Block(s) 10 & 15, **VISTA LARGA** zoned R-1, located on HANNETT AVE NE BETWEEN STANFORD DR NE AND HARVARD DR NE containing approximately 1.1773 acre(s). (J-16) *[Deferred from 5/28/08]*.

The Preliminary/Final Plat was approved with final sign-off delegated to Planning for City Real Estate and to record.

If you wish to appeal this decision, you must do so by June 19, 2008 in the manner described below.

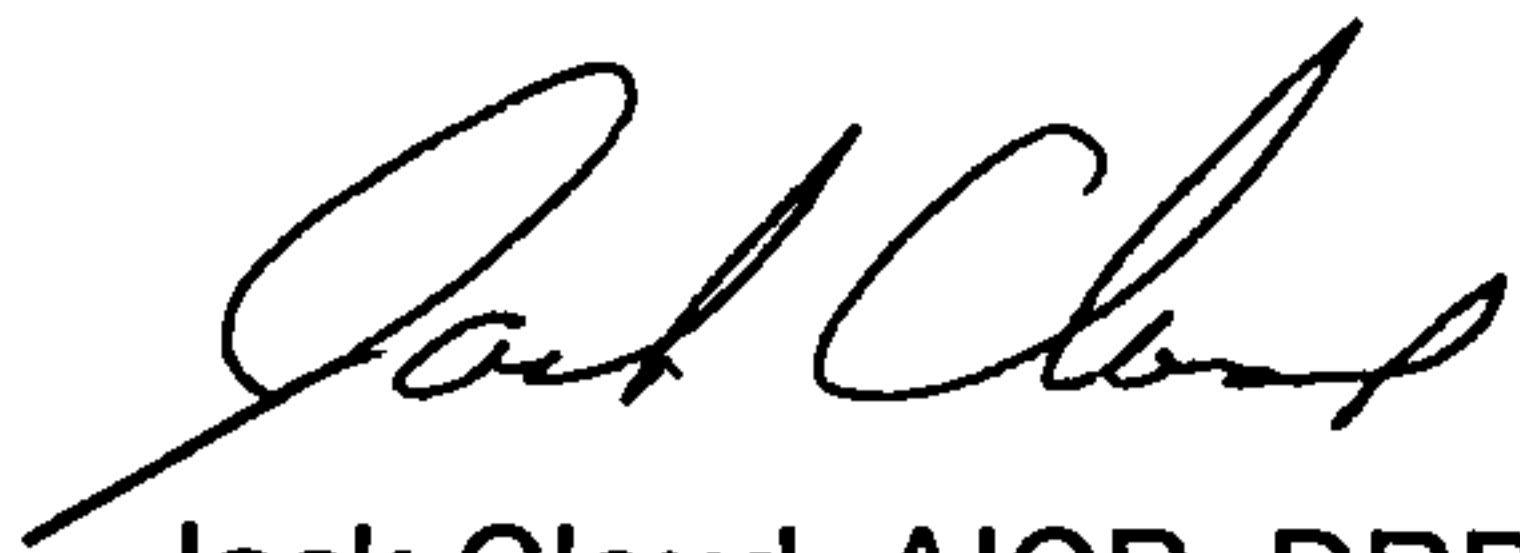
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, AICP, DRB Chair

Cc: WAYJOHN Surveying Inc. – 330 Louisiana Blvd NE – Albuquerque, NM
87108

Cc: James A. & James C. Peterson – 2325 San Pedro Drive NE Ste 2A –
Albuquerque, NM 87110

Cc: Sara Koplik – 1126 Stanford NE – Albuquerque, NM 87106

Cc: Paul Kienzle – 2307 Hannett NE – Albuquerque, NM 87106

Scott Howell

Marilyn Maldonado

File

This property is I P &
lies within an industrial
park - Interstate Industrial
whose origins were long
ago. Therefore, there ~~is~~
is no master plan
existing now.

Nevertheless, these lots
require SPBP approval
at DRB.

Station

2



COMPLETED 12/13/06 ztt
DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01638 (SBP)
Project Name INTERSTATE INDUST. TR UN 2
Agent: Design 2 Function LLC

Project # 1005257
Phone No.: 823-6481

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/13/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. (Include all pages.)**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1005257

2



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **06DRB-01638 (SBP)**
Project Name **INTERSTATE INDUST. TR UN 2**
Agent: **Design 2 Function LLC**

Project # **1005257**
Phone No.: **823-6481**

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- Tax certificate from the County Treasurer.
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- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1005257



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 13, 2006

1. Project # 1005255
06DRB-01629 Major-Vacation of Pub Right-of-Way

DAC ENTERPRISES INC agent(s) for J C PETERSON & JAMES A PETERSON request(s) the above action(s) for Lot(s) A-1 of Block(s) 15 & Lot(s) C-1 of Block(s) 10, **VISTA LARGA ADDITION**, located on HARVARD DR NE, between HANNETT AVE NE and STANFORD NE. (J-16)

At the December 13, 2006, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

A condition of final plat approval: UNM must concur with the vacation request prior to final plat approval.

If you wish to appeal this decision, you must do so by December 28, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



OFFICIAL NOTICE OF DECISION

PAGE 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

A handwritten signature in black ink, reading "S Matson", is positioned above the printed name and title.

Sheran Matson, AICP, DRB Chair

Cc: James A Peterson, 2300 Hannett Dr NE, 87106
J.C. Peterson, 1401 Harvard Ave NE, 87106
DAC Enterprises, c/o Robert E Romero, P.O. Box 16658, 87191
George Rodriguez, 12800 San Juan NE, 87123
Jean Dunlap, 2223 Hannett Ave, 87106
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 13, 2006

2. Project # 1005257
06DRB-01638 Major-SiteDev Plan BldPermit

DESIGN 2 FUNCTION LLC agent(s) for EEEEC, LLC request(s) the above action(s) for all or a portion of Lot(s) 3A1C, Block(s) A, **INTERSTATE INDUSTRIAL TRACT, UNIT 2**, zoned IP industrial park zone, located on GULTON CT NE, between OSUNA RD NE and NORTH DIVERSION CHANNEL containing approximately 1 acre(s). (E-17)

At the December 13, 2006, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Planning for 3 copies of the site plan.

If you wish to appeal this decision, you must do so by December 28, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc: EEEEC, LLC, 6100 Seagull Ln NE, Suite #8210, 87109
Nick Pirkl, Design 2 Function LLC, P.O. Box 93368, 87199
Richard Pfeiffer, 6100 Seagull Lane NE, 87109
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1005257 AGENDA#: 2 DATE: 12/13/06

1. Name: NICK PIRKL Address: ^{PO Box 93368} 46, NM 87199 Zip: 87199-3368
- 3368
2. Name: Richard Heiffer Address: 6100 Seagull Lane ^{NE} Zip: 87109
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 1149
CONNECTION TEL 9p8236481
SUBADDRESS
CONNECTION ID
ST. TIME 12/07 10:26
USAGE T 01'10
PGS. 3
RESULT OK



**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO: Nick Pirkl

FAX NUMBER: 823-6481 # PAGES 3

SENT BY: Sheran Matson, DRB Chair DATE: _____

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1005257 APPLICATION NO: _____

Dutton Cr. Site Plan

My comments only. Call if you have questions.



**PUBLIC HEARING—DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, December 13, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1005255
06DRB-01629 Major-Vacation of Pub
Right-of-Way

~~DAC ENTERPRISES INC agent(s) for J C PETERSON & JAMES A PETERSON request(s) the above action(s) for Lot(s) A-1 of Block(s) 15 & Lot(s) C-1 of Block(s) 10, **VISTA LARGA ADDITION**, located on HARVARD DR NE, between HANNETT AVE NE and STANFORD NE. (J-16)~~

~~No objection. If approved, applicant has one year to file the plat completing the vacation. Otherwise, the vacation will expire.~~

~~Real property is required to sign the plat before the DRB Chair signs due to the right of way vacation.~~

Project # 1005257
06DRB-01638 Major-SiteDev Plan
BldPermit

DESIGN 2 FUNCTION LLC agent(s) for EEEEC, LLC request(s) the above action(s) for all or a portion of Lot(s) 3A1C, Block(s) A, **INTERSTATE INDUSTRIAL TRACT, UNIT 2**, zoned IP industrial park zone, located on GULTON CT NE, between OSUNA RD NE and NORTH DIVERSION CHANNEL containing approximately 1 acre(s). (E-17)

RG ✓

The site plan is missing the Conceptual Utility Plan sheet. Planning and Utility Development need copies of this sheet.

✓

The title on the site plan sheet should read "Site Plan for Building Permit".

✓

Because the original site plan for subdivision for this IP Park was not found, this SPBP should have gone to EPC for approval. However, in exchange for not asking you to go to EPC, please go out to the site & take photos of the existing buildings in the immediate area. This way Planning can judge the compatibility and size of your proposed design with surrounding development. Bring these photos in with your site plan revisions which are due by next Monday at noon to Planning only. This will give us enough time to review the changes before Wednesday.

Keyed Note 15 on the site plan indicates a monument sign. However, Planning did not find a 15 on the site

✓ plan. We assume it is located at the corner of Gulton Court & Osuna.

Where is the wall, fence or screening? The checklist indicates it exists. If it does, a Keyed Note is needed. The refuse enclosure does not count in this instance.

The refuse enclosure split face block needs color identification.

✓ The patio area on the north & west sides of the building need tables and benches for employees and shade.

✓ The site lighting item was checked on the checklist. Is there free standing lighting? If so, locations and an elevation are needed with height & fixture type.

✓ It appears there is an existing structure to the south of this site within 20 feet of the site. It needs identification on the site plan.

Landscape Plan Comments

- ✓ 1. Easements must be identified on this sheet.
- ✓ 2. No junipers are allowed. Please remove & provide a substitution.
- ✓ 3. Indicate on this sheet where the tables & benches will be on the patio.
4. Because the parking lot is adjacent to Gulton Court, a greater effort to shield the parking area from the street should be made through the use of tall, dense shrubbery or shifting some of the taller plants to this area. The area just east of the turnaround is bare of plants.
5. The specific gravel mulch used must be identified and a minimum of 3" depth is required.
- ✓ 6. In the future, the landscape plan and site plan must be the same scale.

Lighting on the building. The west side does not appear to have lighting?? Will building mounted lighting be sufficient to light the parking light at night for security reasons?

✓ The monument sign details required on the checklist must be on the site plan. If changes are needed later, an AA can be done.

Remember to provide revised site plan to Planning by noon on Monday plus the photographs referred to earlier.

2
1005257
12/13/2006

E17

E1
6624

3A1C
6621

GULLTON

A
6608

3A2



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005257

AGENDA ITEM NO: 2

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: (UD) (CE) (TRANS) (PRKS) **(PLNG)**

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: DECEMBER 13, 2006

100 5257

rec'd 12/11/06

Kalynn & Nick Pirkl

From: SWent999@aol.com
Sent: Wednesday, December 06, 2006 7:33 AM
To: design2function@msn.com
Subject: DRB case # 06 DRB-01638 - 6621 Gulton Ct. NE

Nick,

Thank you for providing the information that was requested. This information was much better and is the type of information that should be the norm and not the exception.

The Alameda North Valley Association will offer no opinion on the application.

Thanks,
Steve Wentworth
897-3052

12/8/2006



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 6, 2006

Project # 1005257

06DRB-01638 Major-SiteDev Plan BldPermit

DESIGN 2 FUNCTION LLC agent(s) for EEEEC, LLC request(s) the above action(s) for all or a portion of Lot(s) 3A1C, Block(s) A, **INTERSTATE INDUSTRIAL TRACT, UNIT 2**, zoned IP industrial park zone, located on GULTON CT NE, between OSUNA RD NE and NORTH DIVERSION CHANNEL containing approximately 1 acre(s). (E-17)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No comments received.
Zoning Enforcement	One motorcycle space is required.
Neighborhood Coordination	Letter sent to Alameda North Valley Assoc. (R).
APS	The request to construct an office building at 6621 Gulton Ct NE (south of Osuna Rd) will have no adverse impacts to the APS district

Police Department

A review of the following DRB case(s) indicates the following problems or crime may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Lighting issues: should illuminate all building entrances walkways, parking lots and common areas, and should not conflict with proposed landscaping. All proposed landscaping (ground level) should be low level when mature, not conflicting with lighting or block visibility of pedestrian, parking and or building entrance areas. Recommend all building entrance be flush with outer walls and not in set. All entrances should not be obstructed in any way. All building windows should provide visibility to parking areas and walkways.

Fire Department	No adverse comments.
PNM Electric & Gas	No adverse comments.

Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.
City Engineer	No adverse comments.
Transportation Development	

Public sidewalk needs to be 6' wide. Note 7 needs to refer to the appropriate City Standard Drawing. Small car space needs to be labeled as such on the pavement.

Parks & Recreation	No objection.
Utilities Development	No objection to Site Plan approval.
Planning Department	

The site plan is missing the Conceptual Utility Plan sheet. Planning and Utility Development need copies of this sheet.

The title on the site plan sheet should read "Site Plan for Building Permit".

Because the original site plan for subdivision for this IP Park was not found, this SPBP should have gone to EPC for approval. However, in exchange for not asking you to go to EPC, please go out to the site & take photos of the existing buildings in the immediate area. This way Planning can judge the compatibility and size of your proposed design with surrounding development. Bring these photos in with your site plan revisions which are due by next Monday at noon to Planning only. This will give us enough time to review the changes before Wednesday.

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The refuse enclosure split face block needs color identification.

The patio area on the north & west sides of the building need tables and benches for employees and shade.

The site lighting item was checked on the checklist. Is there free standing lighting? If so, locations and an elevation are needed with height & fixture type.

It appears there is an existing structure to the south of this site within 20 feet of the site. It needs identification on the site plan.

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6. In the future, the landscape plan and site plan must be the same scale.

Lighting on the building. The west side does not appear to have lighting?? Will building mounted lighting be sufficient to light the parking lot at night for security reasons?

The monument sign details required on the checklist must be on the site plan. If changes are needed later, an AA can be done. Remember to provide revised site plan to Planning by noon on Monday plus the photographs referred to earlier.

Impact Fee Administrator

Impact Fees are not applicable at this time of site plan approval. However, Impact Fees will be required at the time a building permit is issued for the office building. Using the 4500sf of heated building area given and .42 acres for impervious acreage the estimated impact fees are as follows.

1. Public Safety Facilities for the Eastside: \$450.00
2. Drainage Facilities for the Far NE: \$4,287.36
3. Roadway Facilities for the I-25 Corridor: \$19,854.00

Impact Fees are to be paid at the time of issuance of building permits.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc:EEEC, LLC, 6100 Seagull Ln NE, Suite #8210, 87109
Nick Pirkl, Design 2 Function LLC, P.O. Box 93368, 87199



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, December 13, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1005255

06DRB-01629 Major-Vacation of Pub
Right-of-Way

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Project # 1005257

06DRB-01638 Major-SiteDev Plan
BldPermit

DESIGN 2 FUNCTION LLC agent(s) for EEEEC, LLC request(s) the above action(s) for all or a portion of Lot(s) 3A1C, Block(s) A, **INTERSTATE INDUSTRIAL TRACT, UNIT 2**, zoned IP industrial park zone, located on GULTON CT NE, between OSUNA RD NE and NORTH DIVERSION CHANNEL containing approximately 1 acre(s). (E-17)

Project # 1003572

06DRB-01626 Minor-SiteDev Plan
BldPermit

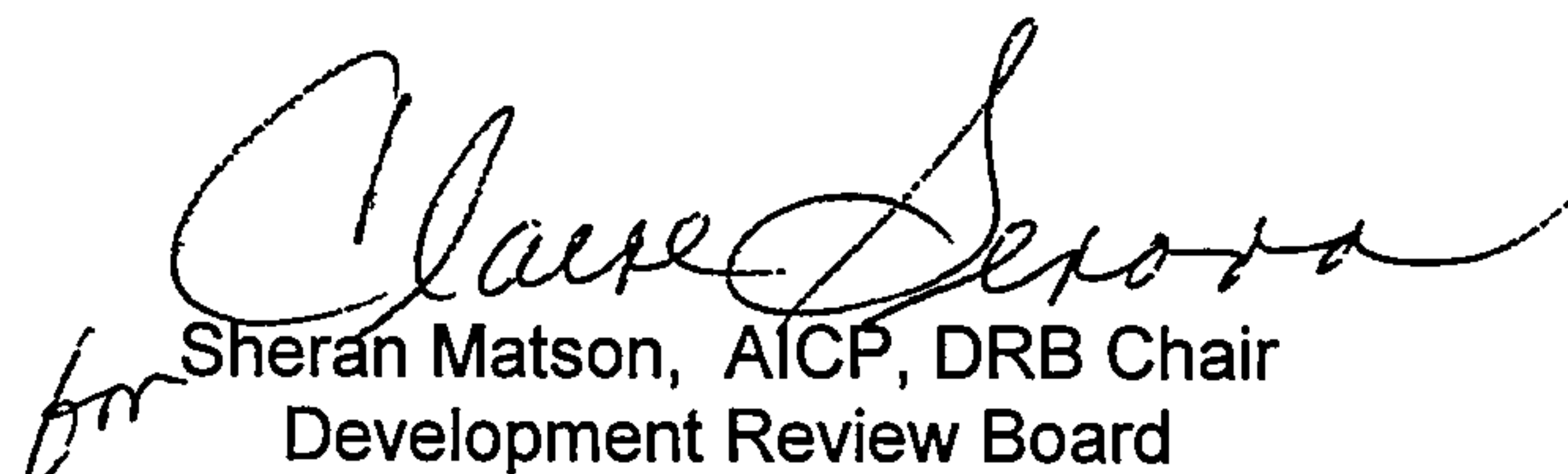
CLAUDIO VIGIL ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT LTD CO., request(s) the above action(s) for Tract(s) A-4, Block(s) 0000, Unit 2, **JOURNAL CENTER, PHASE 2**, zoned IP, located between RUTLEDGE RD NE and SNAPROLL NE containing approximately 3 acre(s). (D-17)

Project # 1003364

06DRB-01639 Major-Vacation of Public
Easements

GARCIA/KRAEMER & ASSOCIATES agent(s) for PR INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A-1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES UNIT 3**, zoned SU-2 FOR MIXED USE, located on LOUISIANA BLVD NE, between PASEO DEL NORTE NE and HOLLY AVE NE containing approximately 1 acre(s). [REF: 05DRB-01210] (C-19)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


for Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 27, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: December 13, 2006
Zone Atlas Page: E-17
Notification Radius: 100 Ft.

**Project# 1005257
App#06DRB-01638**

**Cross Reference and Location: ON GULTON COURT NE SOUTH OF OSUNA
ROAD NE AND MIDWAY PLACE NE**

**Applicant: EEEEC, LLC
6100 SEAGULL LANE NE STUE 8210
ALBUQUERQUE, NM 87109**

**Agent: NICK PIRKL
DESIGN 2 FUNCTION, LLC
P.O. BOX 93368
ALBUQUERQUE, NM 87199**

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

**Date Mailed: NOVEMBER 22, 2006
Signature: ERIN TREMLIN**

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: EEEC, LLC PHONE: 858-1456
 ADDRESS: 6100 Seagull Lane NE, Suite 100 B210 FAX: 858-1609
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: Owners List all owners: EEEC, LLC
 AGENT (if any): Design 2 Function, LLC PHONE: 823-6481
 ADDRESS: P.O. Box 93368 FAX: 823-6481
 CITY: Albuquerque STATE NM ZIP 87199-3368 E-MAIL: design2function@msn.com

DESCRIPTION OF REQUEST:

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 3A1C Block: A Unit: 2
 Subdiv. / Addn. Interstate Industrial Tract Unit 2
 Current Zoning: IP Proposed zoning: IP
 Zone Atlas page(s): E17 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 0.64AC Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101706210230720131 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: on Gulton Ct NE
 Between: South of Osuna Rd NE and MIDWAY PL NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
Z-95-279; DRB-96-120

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: N/A

SIGNATURE Nick Pirek DATE 11-16-06
 (Print) Nick Pirek Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB-01638</u>	<u>SBP</u>	<u>P(2)</u>	<u>\$385.00</u>
	<u>ADV</u>		<u>\$75.00</u>
	<u>CMF</u>		<u>\$20.00</u>
			\$
			\$
			\$
			\$
			Total
			<u>\$480.00</u>

Hearing date 12/13/06

Sandy Handley 11/16/06
 Planner signature / date

Project # 1005257

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
- ~~NA~~ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings - *SEE COMMENT IN LETTER.*
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- ~~NA~~ Copy of the document delegating approval authority to the DRB - *SEE LETTER*
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- ~~NA~~ 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies for DRB public hearings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent.
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

NICK A. PARKL
Applicant name (print)
Nick A. Parkl 11/16/06
Applicant signature / date



Form revised APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06DRB - 01638
- - -
- - -

Sandy Handley 11/16/06
Planner signature / date
Project # 1005257

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWNE R CITY	OWNE R ST ATE	OWN ER ZIP CODE	PRO PERT Y CLA SS	TAX DIS TRIC T	LEGAL
1	10170621 26314201 21	KRUGER INVEST MENTS LLC	PO BOX 26266	ALBUQ UERQU E	NM	8712 5 626 6	COM M	A1A	TR E1 OF A PLAT OF TRS A, B1, B 2, C, D E1 & INTERSTATE INDUST RI
2	10170621 02325201 32	PADILLA RAY A	4101 INDIAN S CHOOL RD NE 4 10	ALBUQ UERQU E	NM	8711 0	VAC	A1A	LT 3A1- B CORRECTION PLAT FOR P LAT OF LOTS 3A 1 -C BLK A UNIT II I
3	10170621 27301201 13	NORTHERN CORR IDOR LLC	6608 GULTON NE	ALBUQ UERQU E	NM	8710 9	COM M	A1A	TR A BLK A PLAT OF TRS A, B, C, D & E BLK A A TE INDUSTRIAL TR AC
4	10170621 29285201 14	B & B TECHNOLO GIES LTD	6610 GULTON CT NE	ALBUQ UERQU E	NM	8710 9 440 7	COM M	A1A	TR B1 OF A PLAT OF TRS A, B C, D & E BLK A U E IND TR BEING A REP
5	10170620 48275201 12	CARLO INC	PO BOX 25966	ALBUQ UERQU E	NM	8712 5 096 6	COM M	A1A	* 2 A REPLAT INTERSTATE INDUS TRIAL TRACT UNI 3 2 AC NIT #2 I
6	10170621 18255201 15	MOREL DOMINIQ UE M & MARIELLE D	333 CLAY ST 2 300	HOUST ON	TX	7700 2	COM M	A1A	*3- C A REPLAT LOT 3 INTERSTATE I NDUSTRIAL TR
7	10170620 94288201 18	DASKALOS DEME TRIOS C & KAPNI SO	2716 SAN PED RO NE D	ALBUQ UERQU E	NM	8711 0	COM M	A1A	* 3A2 REPLAT OF LT 3- A BLK A U NIT 11 INTERST T RACT CONT 1.5050 A
8	10170620 86314201 19	FAIR PLAZA ASSO CIATES	7109 PROSPEC T PL NE	ALBUQ UERQU E	NM	8711 0 431 3	COM M	A1A	LT 3A1- A CORRECTION PLAT FOR P LAT OF LOTS 3A 1 -C BLK A UNIT II I
9	10170621 02307201 31	B F GOODRICH C OMPANY % DELOI TT	333 CLAY ST 2 300	HOUST ON	TX	7700 2	VAC	A1A	LT 3A1- C CORRECTION PLAT FOR P LAT OF LOTS 3A 1 -C BLK A UNIT II I
1 0	10170621 39335201 24	NEW MEXICO ED UCATIONAL	3900 OSUNA R D NE	ALBUQ UERQU E	NM	8710 9 445 9	COM M	A1A	LT 3-B7- A BLK A INTERSTATE IND USTRIA L TR UNI L T 3-B7 & LT 3-B8 B

Or Current Resident
B & B TECHNOLOGIES LTD
6610 GULTON CT NE
ALBUQUERQUE, NM 87109 4407

Or Current Resident
DASKALOS DEMETRIOS C &
KAPNISO
2716 SAN PEDRO NE D
ALBUQUERQUE, NM 87110

Or Current Resident
MOREL DOMINIQUE M & MARIELLE
D
333 CLAY ST 2300
HOUSTON, TX 77002

Or Current Resident
PADILLA RAY A
4101 INDIAN SCHOOL RD NE 410
ALBUQUERQUE, NM 87110

Project# 1005257
STEVE WENTWORTH
Alameda North Valley Assoc.
8919 BOE LN NE
ALBUQUERQUE, NM 87113

Or Current Resident
B F GOODRICH COMPANY %
DELOITT
333 CLAY ST 2300
HOUSTON, TX 77002

Or Current Resident
FAIR PLAZA ASSOCIATES
7109 PROSPECT PL NE
ALBUQUERQUE, NM 87110 4313

Or Current Resident
NEW MEXICO EDUCATIONAL
3900 OSUNA RD NE
ALBUQUERQUE, NM 87109 4459

Project# 1005257
EEEC, LLC
6100 SEAGULL LANE NE STE B210
ALBUQUERQUE, NM 87109

Project# 1005257
LEROY COURULE
Alameda North Valley Assoc.
713 ALAMEDA BLVD NW
ALBUQUERQUE, NM 87114

Or Current Resident
CARLO INC
PO BOX 25966
ALBUQUERQUE, NM 87125 0966

Or Current Resident
KRUGER INVESTMENTS LLC
PO BOX 26266
ALBUQUERQUE, NM 87125 6266

Or Current Resident
NORTHERN CORRIDOR LLC
6608 GULTON NE
ALBUQUERQUE, NM 87109

Project# 1005257
NICK PIRKL
Design 2 Function, LLC
P.O. BOX 93368
ALBUQUERQUE, NM 87199



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: November 15, 06

TO CONTACT NAME: Nick Piskl
 COMPANY/AGENCY: Design 2 Function LLC
 ADDRESS/ZIP: P.O. Box 93368 - 87199-3368
 PHONE/FAX #: 823-6481 / Fax - 823-6481

Thank you for your inquiry of 11-15-06 (date) requesting the names of Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at LT 3A1-C Correction Plat For PLAT OF LOTS 3A1-C B1K A Unit 11 Located on Gulten Ct NE South of Osuna Rd. NE
 zone map page(s) E-17

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

Alameda North Valley Assn.
 Neighborhood Association
 Contact: Steve Wentworth
8919 Bore Ln, NE / 87113-2328
897-3052 (h)
Leroy Courule
713 Alameda Blvd NW - Alameda
8714-890-1845 (h)

Neighborhood Association
 Contact: _____

See reverse side for additional Neighborhood Association Information: YES { } NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Delana L. Armijo
 OFFICE OF NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

NOTICE TO APPLICANTS

Suggested Information for Neighborhood Notification Letters... Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

We recommend that the Notification Letter include the following information:

- The street address of the subject property.
- The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- A physical description of the location, referenced to streets and existing land uses.
- A complete description of the actions requested of the EPC:
- If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination (ONC)


The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet **-OR-**
- [] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

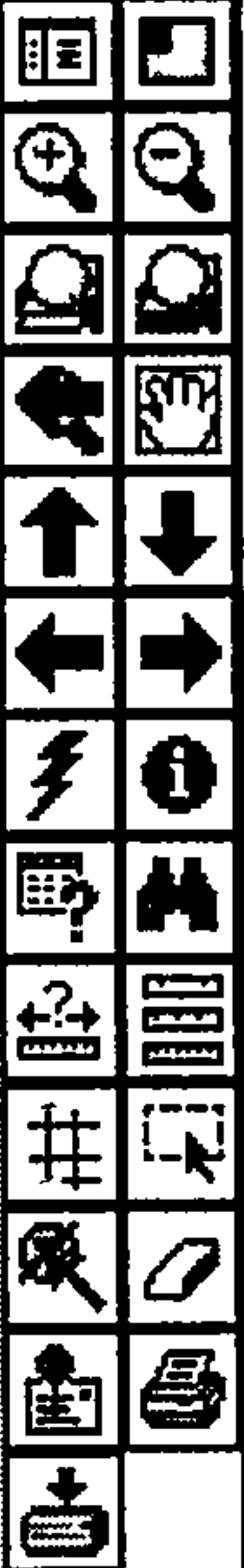
(Below this line for ONC use only)

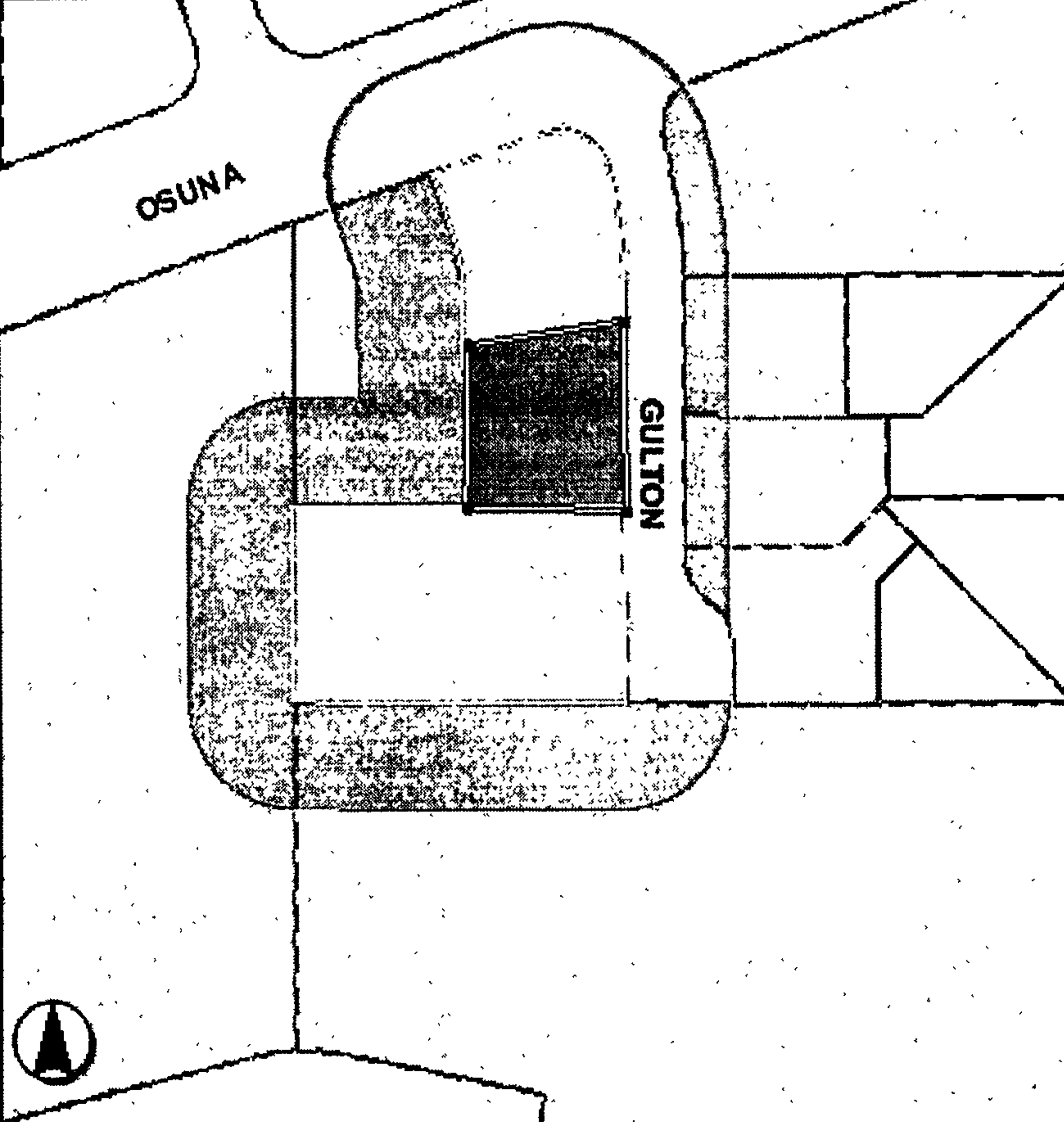
Date of Inquiry: 11-15-06 Time Entered: 9:46 am ONC Rep. Initials: DL



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
 - MUNICIPAL LIMITS
 - ZONE GRID
 - NEIGHBORHOODS
 - METRO DEV AREA
 - DASZ
 - POLICE BEATS
 - COUNCIL
 - PARKS
 - PETROGLYPH MNT
 - BOSQUE SECTORS
 - OPENSOURCE
 - COMP PLAN
 - AREA PLANS
 - SECTOR PLANS
 - SENATE DISTRICT
 - REP. DISTRICTS
 - PLANNING AREAS
 - HISTORIC ZONES
 - CORRIDORS
 - ZIPCODES
 - POVERTY POCKET
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO

OWNERSHIP

Rec	UPC CODE	OWNER	OWNER AD
1	101706212631420121	KRUGER INVESTMENTS LLC	PO BOX 26266
2	101706210232520132	PADILLA RAY A	4101 INDIAN SCHO

Pan

[SEARCH](#)

[CONTACT](#)

[REFRESH](#)

[HELP](#)

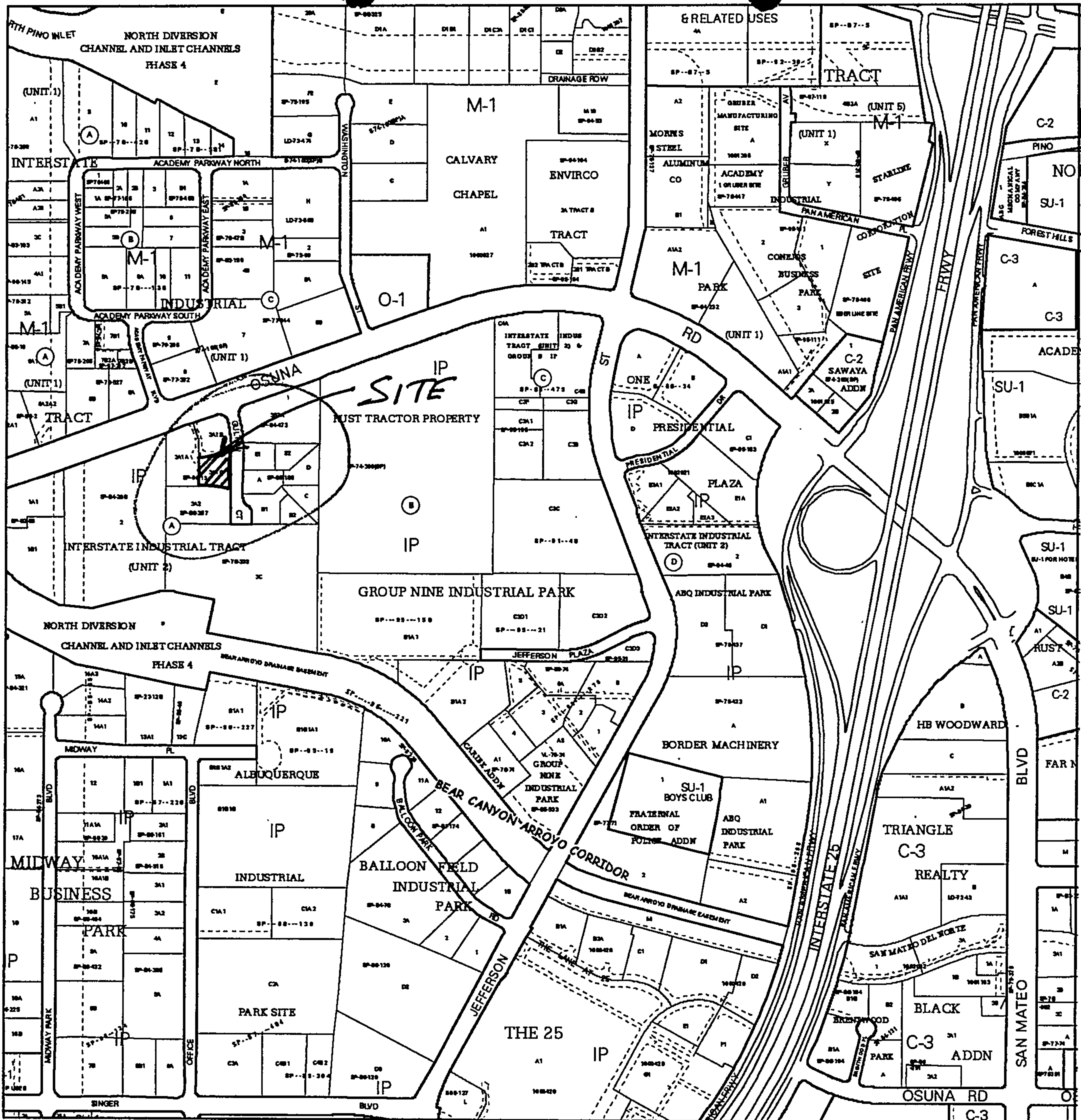
[INDEX PAGE](#)

Refresh Map

Auto Refresh

Help:

Closed group, click to open



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 9/5/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

Search Results

The following address was the closest match:
6621 GULTON CT NE



City of
Albuquerque
www.cabq.gov

City Council District: 2 - O'MALLEY

New Mexico State Legislature Districts
NM House of Representatives: 17
NM Senate: 13

School Districts

Elementary: Mission Avenue
Middle: Taft
High School: Valley

Neighborhood Association:

Zoning: IP

Zoning Description:

City Platting Information

Lot: 3A1C
Block: A
Subdivision: INTERSTATE INDUSTRIAL TRACT
UNIT 2

Flood Zone: ZONE X [Flood Zone Disclaimer](#) (opens in new window)

Police Beat/Area Command: 242 / VALLEY

Jurisdiction: ALBUQUERQUE

Zone Atlas Page: [E17](#) (opens in new window)

Ownership Data from Bernalillo County Assessor

(this information is only updated once a year)

Name: B F GOODRICH COMPANY % DELOITT

Address: 333 CLAY ST 2300

City: HOUSTON

State: TX

Zip: 77002

UPC: 101706210230720131

Tax Year: 2005

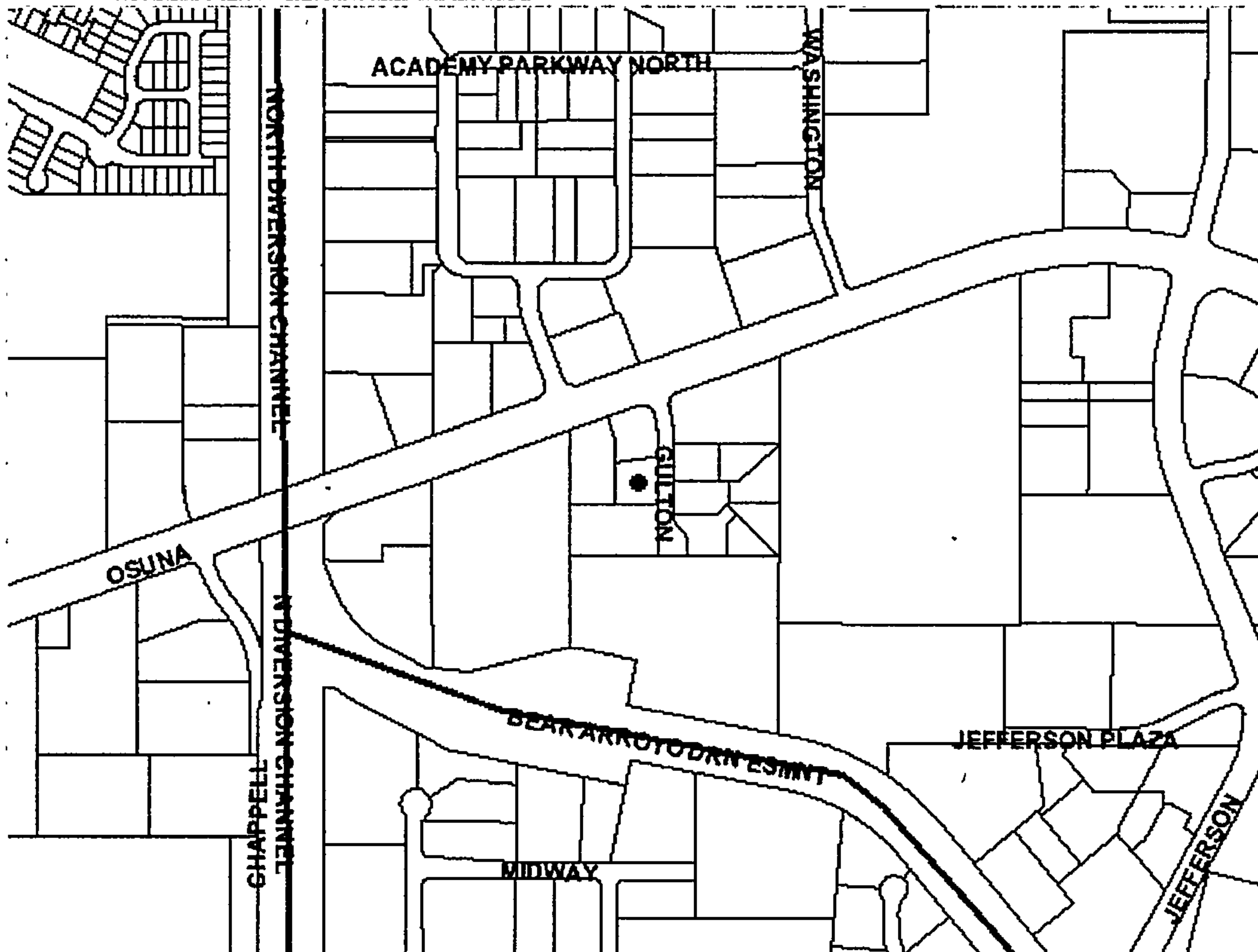
Tax District: A1A

Legal Description: LT 3A1-C CORRECTION PLAT FOR P
LAT OF LOTS 3A 1 -C BLK A UNIT II I

Property Class: VAC

Lot Size (Acres): 0.6419469

[Open interactive map in a new window](#)





F Y I

NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

December 5, 2006

TO: Steve Wentworth and Leroy Gurule, Alameda North Valley Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately one (1) acre(s) -Major Site Development Plan for Building Permit for a proposed 4,500 square foot free standing office building.**

Proposed by: Design 2→Function, LLC at (505) 823-6481

Agent for: EEEG, LLC

For property located: On or near Gulton Court NE between Osuna Road NE and the North Diversion Channel.

P.O. Box 1293

The case number(s) assigned is: 06DRB-01638, Project # 1005257.

City Planning accepted application for this request on **November 16, 2006.**

Albuquerque

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on **Wednesday, December 13, 2006** in the **Planning Hearing Room, Room 160, Plaza Del Sol Building, 600 Second St. NW. (Back in business - in the Planning Hearing Room!!!)**

www.cabq.gov

You should contact **Claire Senova** at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at **924-3902** or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

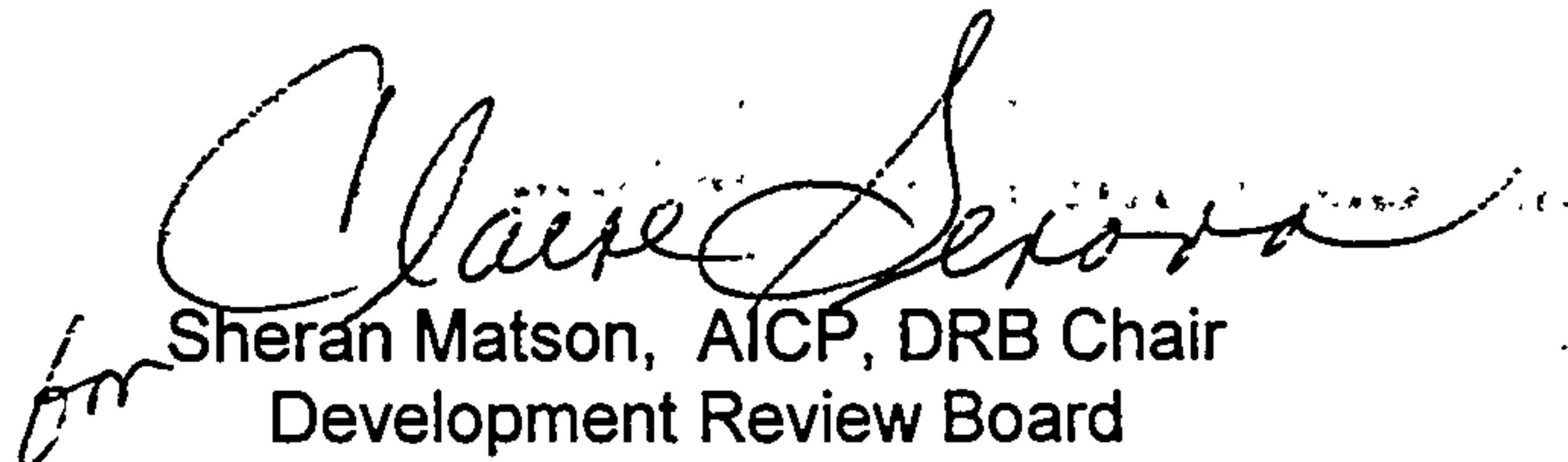


**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, December 13, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

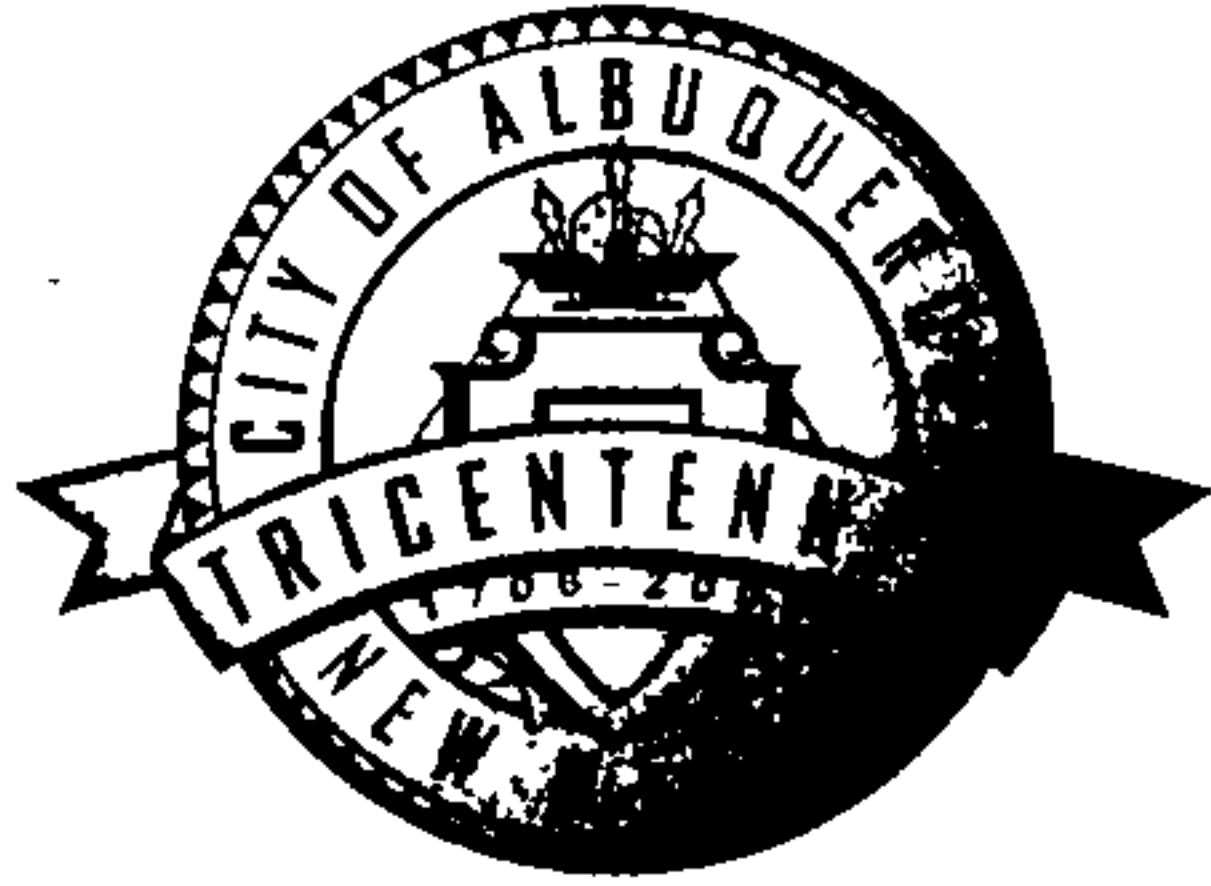
- Project # 1005255**
06DRB-01629 Major-Vacation of Pub
Right-of-Way
DAC ENTERPRISES INC agent(s) for J C PETERSON & JAMES A PETERSON request(s) the above action(s) for Lot(s) A-1 of Block(s) 15 & Lot(s) C-1 of Block(s) 10, **VISTA LARGA ADDITION**, located on HARVARD DR NE, between HANNETT AVE NE and STANFORD NE. (J-16)
- Project # 1005257**
06DRB-01638 Major-SiteDev Plan
BldPermit
DESIGN 2 FUNCTION LLC agent(s) for EEEEC, LLC request(s) the above action(s) for all or a portion of Lot(s) 3A1C, Block(s) A, **INTERSTATE INDUSTRIAL TRACT, UNIT 2**, zoned IP industrial park zone, located on GULTON CT NE, between OSUNA RD NE and NORTH DIVERSION CHANNEL containing approximately 1 acre(s). (E-17)
- Project # 1003572**
06DRB-01626 Minor-SiteDev Plan
BldPermit
CLAUDIO VIGIL ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT LTD CO., request(s) the above action(s) for Tract(s) A-4, Block(s) 0000, Unit 2, **JOURNAL CENTER, PHASE 2**, zoned IP, located between RUTLEDGE RD NE and SNAPROLL NE containing approximately 3 acre(s). (D-17)
- Project # 1003364**
06DRB-01639 Major-Vacation of Public
Easements
GARCIA/KRAEMER & ASSOCIATES agent(s) for PR INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A-1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES UNIT 3**, zoned SU-2 FOR MIXED USE, located on LOUISIANA BLVD NE, between PASEO DEL NORTE NE and HOLLY AVE NE containing approximately 1 acre(s). [REF: 05DRB-01210] (C-19)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

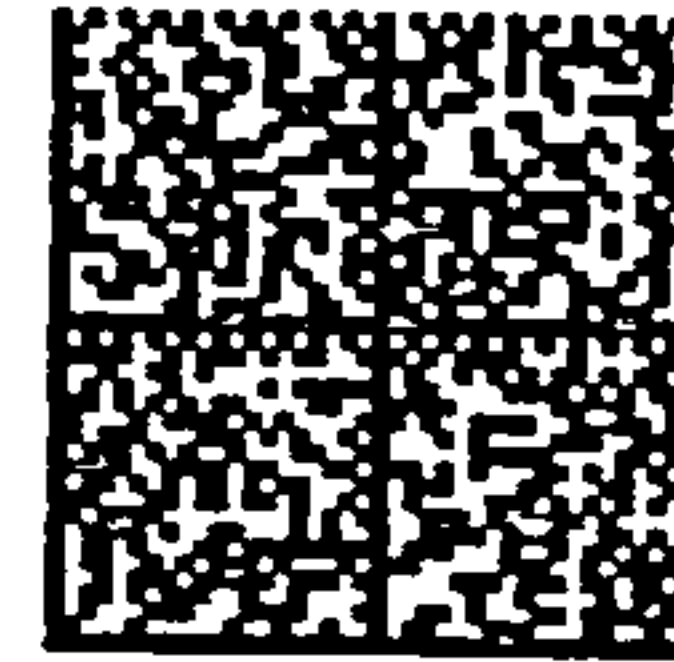
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 27, 2006.

CITY OF ALBUQUERQUE



Planning Department

Or Current Resident
NEW MEXICO EDUCATIONAL
3900 OSUNA RD NE
ALBUQUERQUE, NM 87109 4459



02 1M \$ 00.39⁰
0004219022 NOV 22 2006
MAILED FROM ZIP CODE 87102

VACANT

DRB

ANK

#710934459 C035



P O Box 1293 Albuquerque, New Mexico 87103

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 10/01/06

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- ~~NA~~ G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 23 provided: 23
Handicapped spaces required: 1 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 2
provided: 5
 - ~~NA~~ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ~~NA~~ 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - ~~NA~~ 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 10/01/06

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 10/01/06

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: EEEC, LLC PHONE: 858-1456
 ADDRESS: 6100 Seagull Lane NE, Suite 100 B210 FAX: 858-1609
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: Owners List all owners: EEEC, LLC
 AGENT (if any): Design 2 Function, LLC PHONE: 823-6481
 ADDRESS: P.O. Box 93368 FAX: 823-6481
 CITY: Albuquerque STATE NM ZIP 87199-3368 E-MAIL: design2function@msn.com

DESCRIPTION OF REQUEST:

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 3A1C Block: A Unit: 2
 Subdiv. / Addn. Interstate Industrial Tract Unit 2
 Current Zoning: IP Proposed zoning: IP
 Zone Atlas page(s): E17 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 0.64AC Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101706210230720131 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: on Gulton Ct NE
 Between: South of Osuna Rd NE and MIDWAY PL NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): NORTH DIVERSION CHANNEL
Z-95-279; DRB-96-120

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: N/A

SIGNATURE Nick Pirkel DATE 11-16-06
 (Print) Nick Pirkel Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB-01638</u>	<u>SBP</u>	<u>P(2)</u>	<u>\$ 385.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>12/13/06</u>			Total <u>\$ 480.00</u>

Sandy Handley 11/16/06
 Planner signature / date

Project # 1005257

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - ~~NA~~ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24** copies for DRB public hearings - *SEE COMMENT IN LETTER.*
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - ~~NA~~ Copy of the document delegating approval authority to the DRB - *SEE LETTER*
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - ~~NA~~ 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

NICK A. PARK
Applicant name (print)

[Signature] 4/16/06
Applicant signature / date

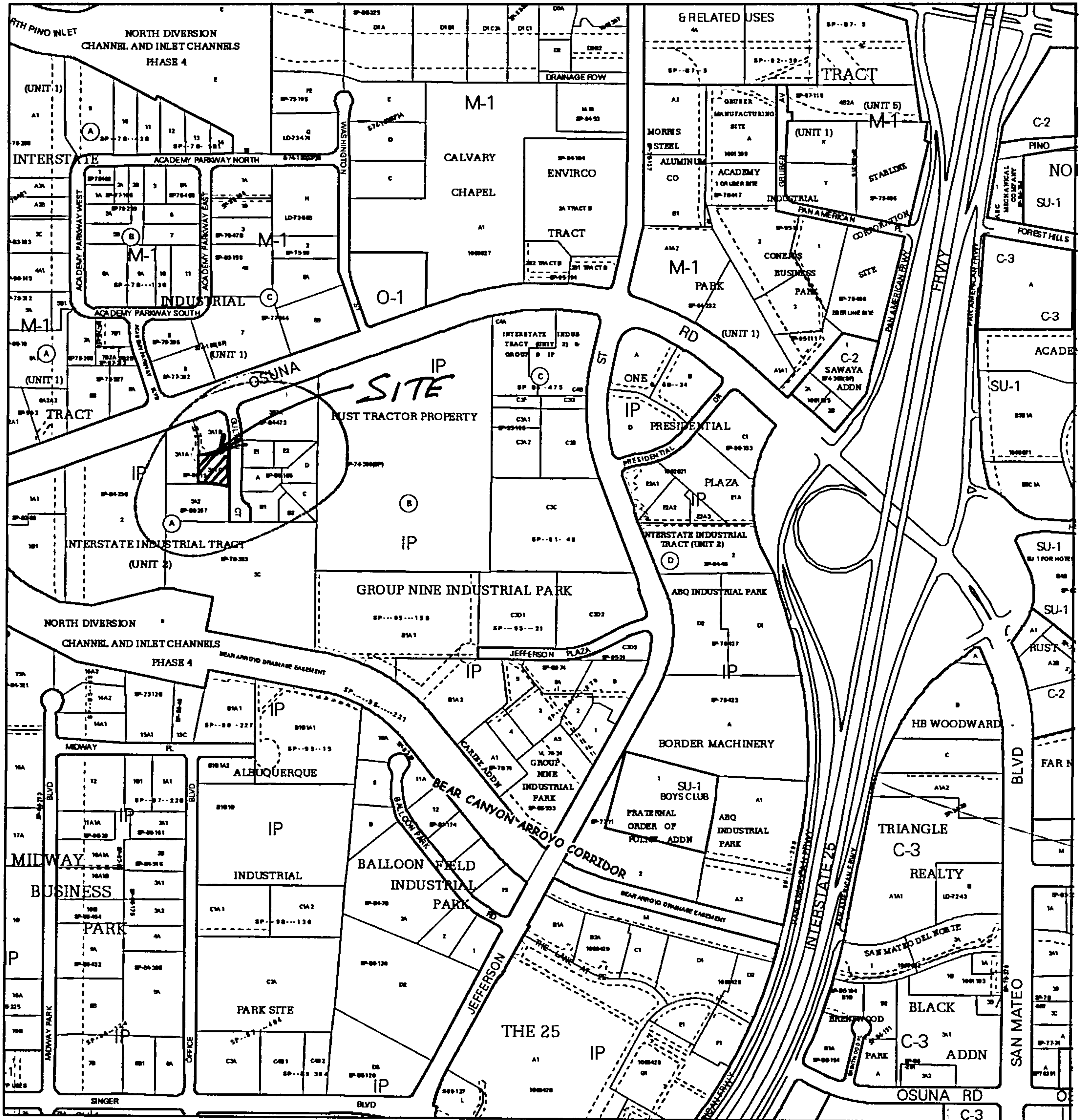


Form revised APRIL 2006

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
06DRB - _____ - 01638

Sandy Handley 11/10/06
Planner signature / date

Project # 1005257



For more current information and more details visit: <http://www.cabq.gov/gis>

Note: Grey Shading Represents Area Outside of the City Limits

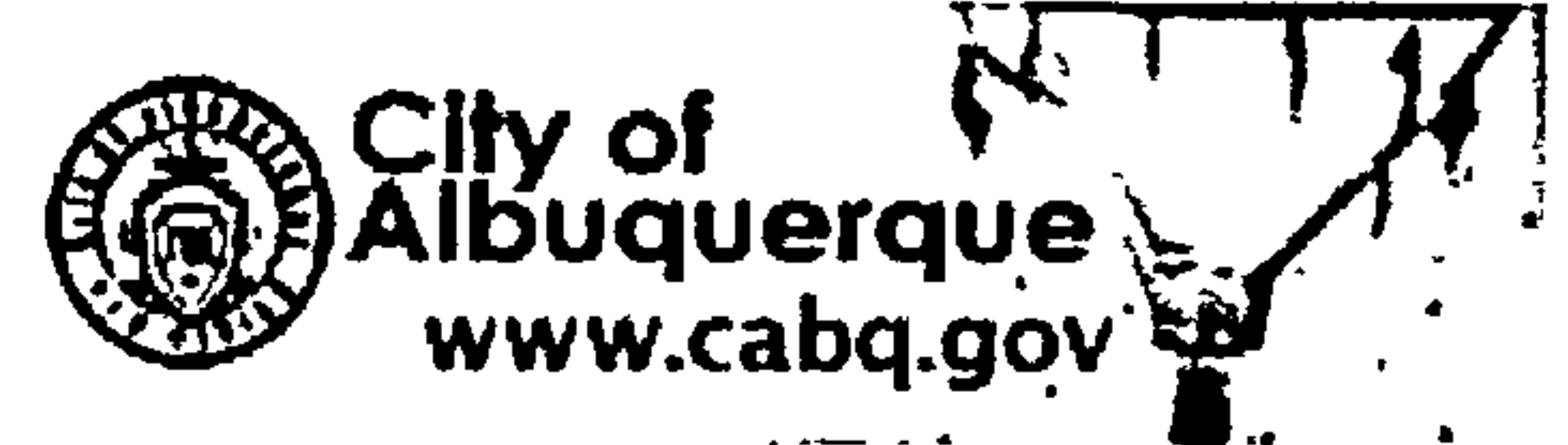
Zone Atlas Page:
E-17-Z

Selected Symbols

0 750 1,500 Feet

Search Results

The following address was the closest match:
6621 GULTON CT NE



City Council District: 2 - O'MALLEY

New Mexico State Legislature Districts

NM House of Representatives: 17
NM Senate: 13

School Districts

Elementary: Mission Avenue
Middle: Taft
High School: Valley

Neighborhood Association:

Zoning: IP

Zoning Description:

City Platting Information

Lot: 3A1C
Block: A
Subdivision: INTERSTATE INDUSTRIAL TRACT
UNIT 2

Flood Zone: ZONE X [Flood Zone Disclaimer](#)(opens in new window)

Police Beat/Area Command: 242 / VALLEY

Jurisdiction: ALBUQUERQUE

Zone Atlas Page: [E17](#) (opens in new window)

Ownership Data from [Bernalillo County Assessor](#)

(this information is only updated once a year)

Name: B F GOODRICH COMPANY % DELOITT

Address: 333 CLAY ST 2300

City: HOUSTON

State: TX

Zip: 77002

UPC: 101706210230720131

Tax Year: 2005

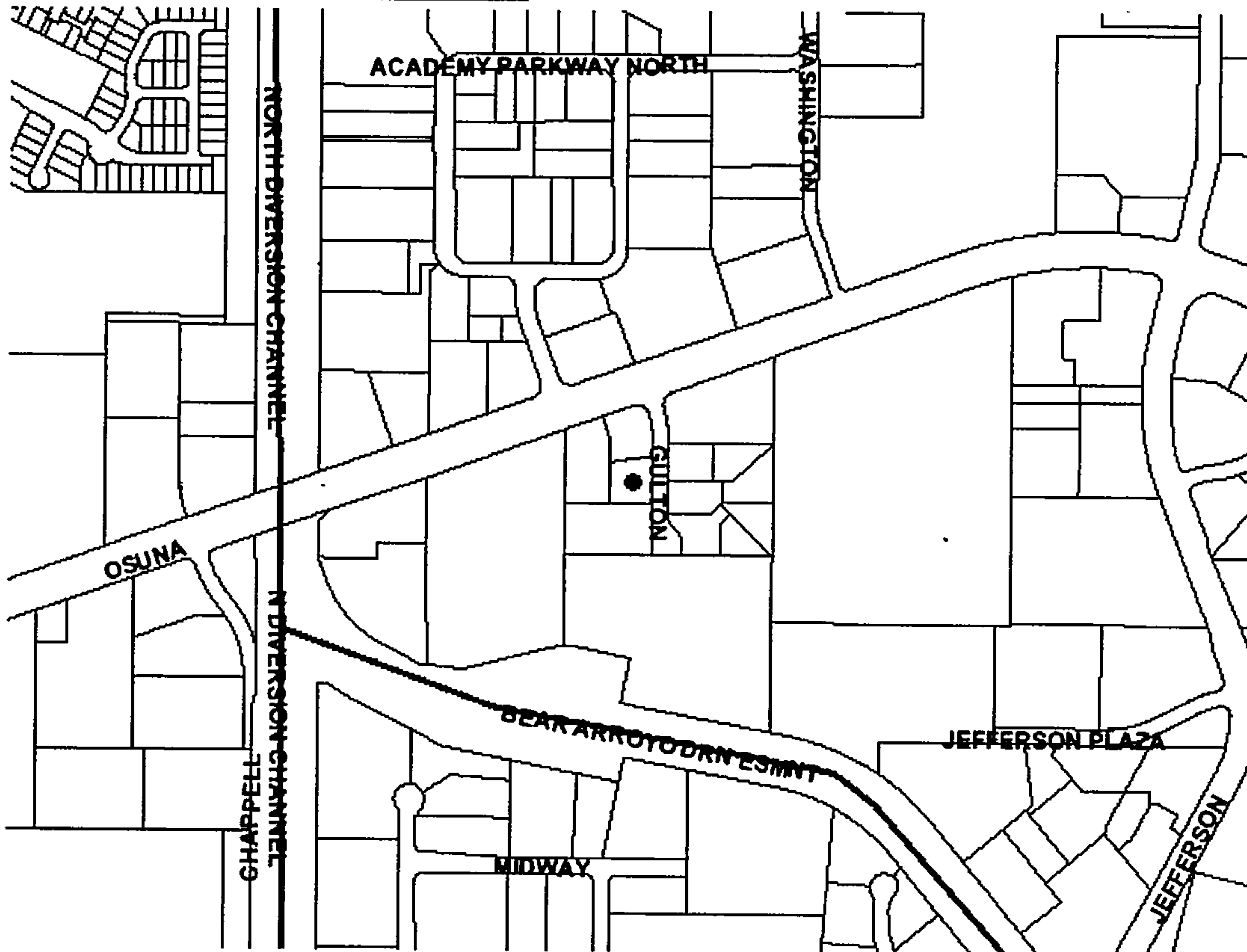
Tax District: A1A

Legal Description: LT 3A1-C CORRECTION PLAT FOR P
LAT OF LOTS 3A 1 -C BLK A UNIT II I

Property Class: VAC

Lot Size (Acres): 0.6419469

[Open interactive map in a new window](#)





DESIGN 2 FUNCTION, LLC

P. O. Box 93368, Albuquerque, N.M. 87199-3368
Design2function@msn.com * (505) 823-6481

November 16, 2006

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Re: 6621 Gulton Ct. NE – South of Osuna between Chappell and Jefferson.

EPC #: Z-95-279
DRB #: Adjacent site to the west (DRB-96-120)
Lot/Block/Subd: 3A1C, A, Interstate Industrial Tract, Unit 2
Zoning: IP
UPC: 101-706-210-230-720-131
Site Area: .64 acres (28,014 SF)
Owner: EEEEC, LLC. 6100 Seagull Lane NE, Suite B210, Albuquerque, NM 87109.
Ph. 505-858-1456

To Whom It May Concern:

The Owner of the property desires to build a 4,500 s.f. free standing office building on the site. The subject property is bounded on the south and west by developed office buildings. The east side abuts Gulton Court and the north is part of an existing private access, drainage and utility easement. Offsite improvements will consist of a new drivepad on the southeast corner of the lot onto Gulton Court. A 4'-0" wide city sidewalk will be installed along Gulton Court with an ADA accessible ramp installed at the intersection of the private drive and Gulton Court. And finally, an entrance will be created on the north side of the property into the private access easement. The TCL and G&D have already been approved for this project, but this was done without the DRB Site plan for Building Permit approval required for IP zoning.

The File Room clerk could not find the records of the EPC # Z-95-279 which relates to this site. We have based our submittal on the adjacent sites DRB submittal #96-120.

The building will be a flat roof structure with stucco finish and some stone veneer at the main entry. Exterior canopies will be installed over most of the windows. The stucco colors will be beige for the main color and maroon for the secondary color. The stone will be a mixture of these colors. The awnings will be gray along with the window/door frames. The glazing will be tinted gray as well.

The Architecture is Contemporary in nature and is similar to the existing projects in the area and incorporates the overall colors as well. The owner is requesting Site Development Plan for Building Permit approval.

If you have any questions or comments, please feel free to contact me.

Sincerely,
Design 2 Function, LLC

Nick A. Pirkl
Agent

EEEC LLC.

November 16, 2006

Planning Department
City of Albuquerque
600 Second Street NW
Second Floor
Albuquerque, NM 87103

**Re: QPEC Office Building – 6621 Gulton Ct. NE
Site Development Plan for Building Permit**

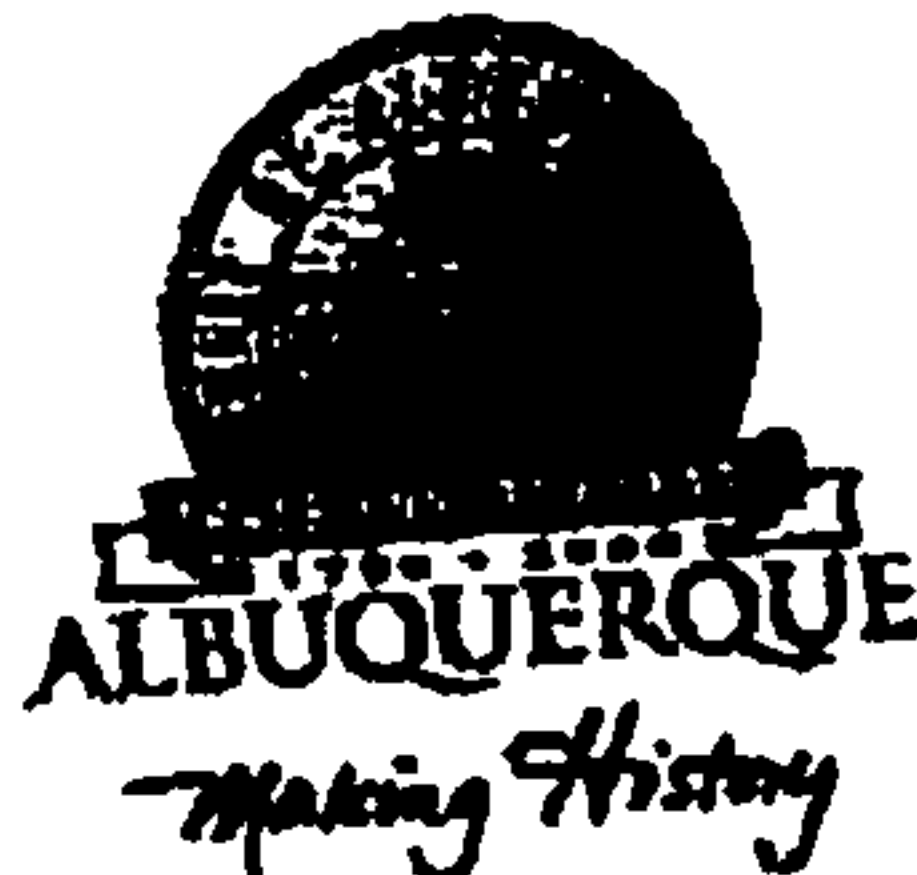
Ladies and Gentlemen:

The property at 6621 Gulton Ct. NE is owned by EEEEC, LLC., and is located south of Osuna Road NE on the west side of Gulton Ct. NE. Design 2 Function, LLC is authorized to act as our agent in its application to the Planning Department for Site Development Plan for Building Permit and is authorized to remain its agent through any appeals process, if any.

Sincerely,



Richard S. Pfeiffer



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: November 15, 06

TO CONTACT NAME: Nick Pisk
 COMPANY/AGENCY: Design 2 Function LLC
 ADDRESS/ZIP: P.O. Box 93368 - 87199-3368
 PHONE/FAX #: 823-6481 / Fax - 823-6481

Thank you for your inquiry of 11-15-06 (date) requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at LT 3A1-C Correction Plat For PLAT OF LOTS 3A1-C B1K A Unit 11 Located on Gulton Ct NE South of Osuna Rd. NE zone map page(s) E-17.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

Alameda North Valley Assn.
 Neighborhood Association
 Contacts: Steve Wentworth
8919 Boe Ln, NE / 87113-2328
897-3052 (h)
Leroy Courule
713 Alameda Blvd NW - Alameda
87114-890-1845 (h)

Neighborhood Association

Contacts:

See reverse side for additional Neighborhood Association Information: YES { } NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Delana L. Armora
 OFFICE OF NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

NOTICE TO APPLICANTS

Suggested Information for Neighborhood Notification Letters... Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

We recommend that the Notification Letter include the following information:

- The street address of the subject property.
- The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- A physical description of the location, referenced to streets and existing land uses.
- A complete description of the actions requested of the EPC:
- If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
- If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination (ONC)

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet **-OR-**
- [] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: 11-15-06 Time Entered: 9:46 am ONC Rep. Initials: DL



DESIGN 2 FUNCTION, LLC

**P. O. Box 93368, Albuquerque, N.M. 87199-3368
Design2function@msn.com * (505) 823-6481**

November 16, 2006

Steve Wentworth
Alameda North Valley Association
8919 Boe Lane NE
Albuquerque, NM 87113-2328

Re: 6621 Gulton Ct. NE – South of Osuna between Chappell and Jefferson.

EPC #: Z-95-279
DRB #: Adjacent site to the west (DRB-96-120)
Lot/Block/Subd: 3A1C, A, Interstate Industrial Tract, Unit 2
Zoning: IP
UPC: 101-706-210-230-720-131
Site Area: .64 acres (28,014 SF)
Owner: EEEEC, LLC. 6100 Seagull Lane NE, Suite B210, Albuquerque, NM 87109.
Ph. 505-858-1456

To Whom It May Concern:

The Owner of the property desires to build a 4,500 s.f. free standing office building on the site. The subject property is bounded on the south and west by developed office buildings. The east side abuts Gulton Court and the north is part of an existing private access, drainage and utility easement. Offsite improvements will consist of a new drivepad on the southeast corner of the lot onto Gulton Court. A 4'-0" wide city sidewalk will be installed along Gulton Court with an ADA accessible ramp installed at the intersection of the private drive and Gulton Court. And finally, an entrance will be created on the north side of the property into the private access easement. The TCL and G&D have already been approved for this project, but this was done without the DRB Site plan for Building Permit approval required for IP zoning.

The File Room clerk could not find the records of the EPC # Z-95-279 which relates to this site. We have based our submittal on the adjacent sites DRB submittal #96-120.

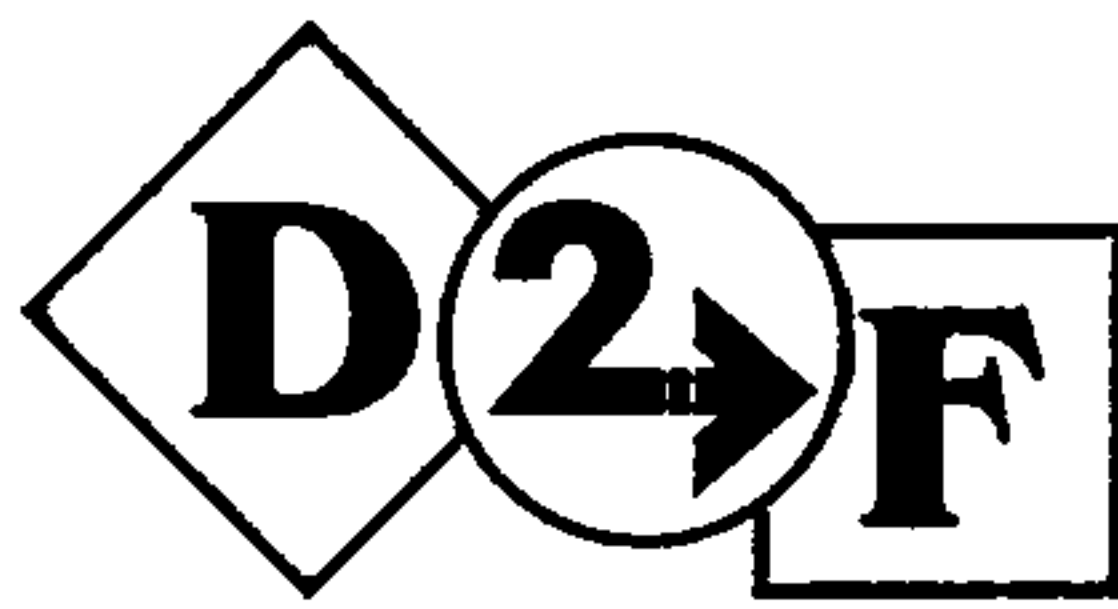
The building will be a flat roof structure with stucco finish and some stone veneer at the main entry. Exterior canopies will be installed over most of the windows. The stucco colors will be beige for the main color and maroon for the secondary color. The stone will be a mixture of these colors. The awnings will be gray along with the window/door frames. The glazing will be tinted gray as well.

The Architecture is Contemporary in nature and is similar to the existing projects in the area and incorporates the overall colors as well. The owner is requesting Site Development Plan for Building Permit approval.

If you have any questions or comments, please feel free to contact me.

Sincerely,
Design 2 Function, LLC

Nick A. Pirkl
Agent



DESIGN 2 FUNCTION, LLC

P. O. Box 93368, Albuquerque, N.M. 87199-3368
Design2function@comcast.net * (505) 823-6481

November 16, 2006

Leroy Gurule
Alameda North Valley Association
713 Alameda Blvd. NW
Albuquerque, NM 87114

Re: 6621 Gulton Ct. NE – South of Osuna between Chappell and Jefferson.

EPC #: Z-95-279
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Lot/Block/Subd: 3A1C, A, Interstate Industrial Tract, Unit 2
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Sincerely,
Design 2 Function, LLC

Nick A. Pirkl
Agent

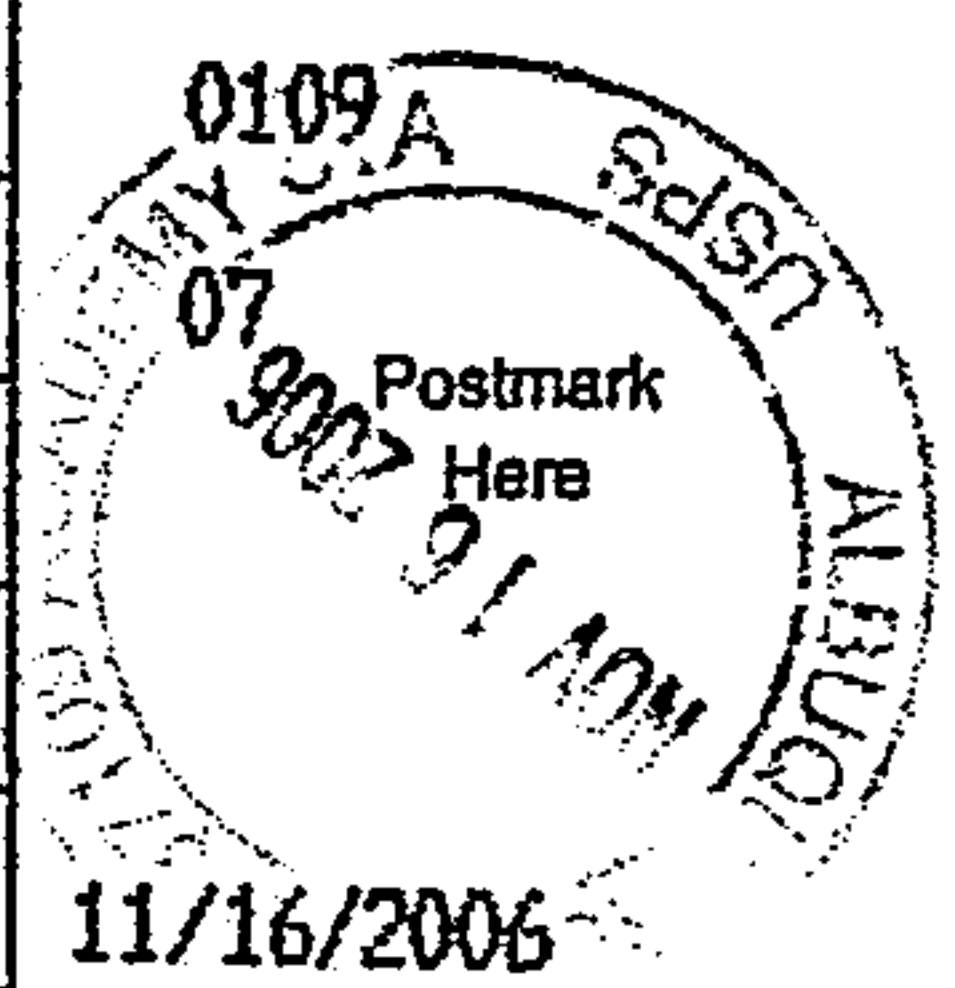
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U.S. Postal Service
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For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87114 **AL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To **LEROY GURULE**
 Street, Apt. No., or PO Box No. **713 ALAMEDA BLVD NW**
 City, State, ZIP+4 **ALB, NM 87114**

PS Form 3800, August 2006 See Reverse for Instructions

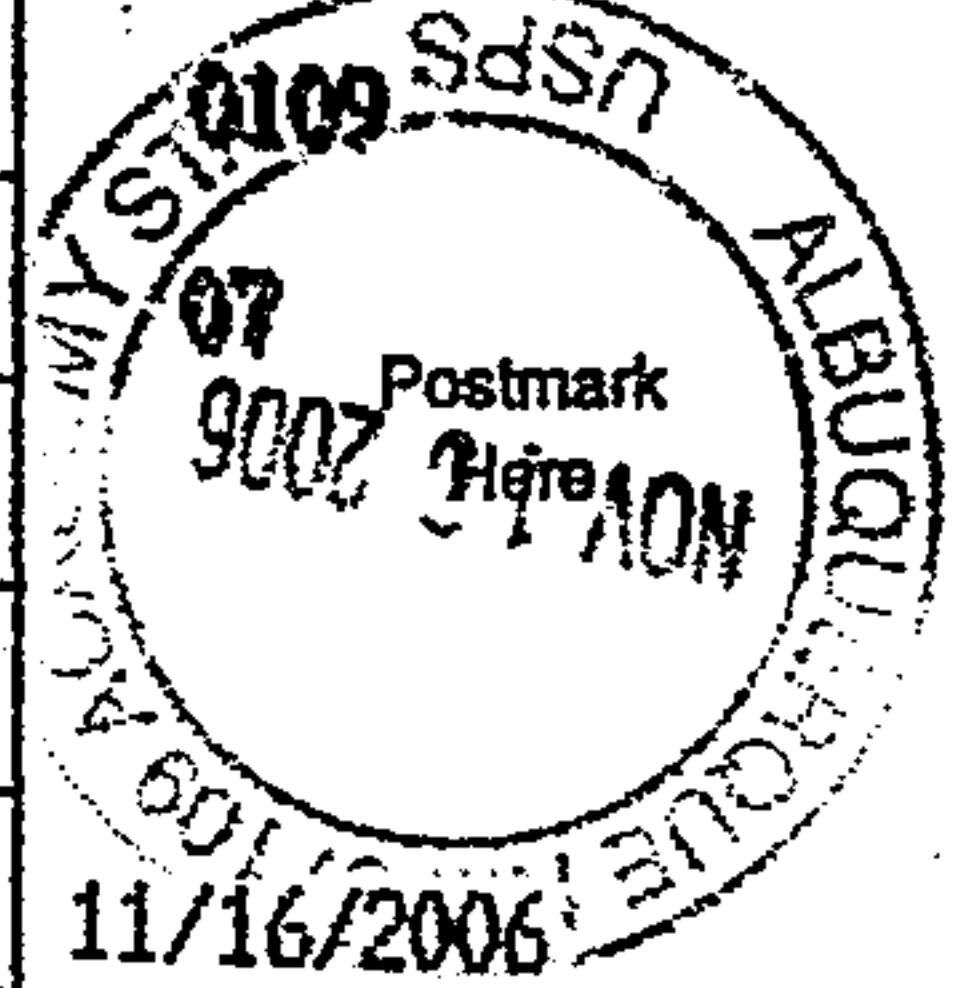
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U.S. Postal Service
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(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87113 **AL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$4.64



Sent To **STEVE WENTWORTH**
 Street, Apt. No., or PO Box No. **8919 BOE LANE NE**
 City, State, ZIP+4 **ALB, NM 87113-2328**

PS Form 3800, August 2006 See Reverse for Instructions

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Nick Pirel DATE OF REQUEST: 11/15/06 ZONE ATLAS PAGE(S): E17

CURRENT:

ZONING IP

LEGAL DESCRIPTION:

LOT OR TRACT # 3A1 C BLOCK # A

PARCEL SIZE (AC/SQ. FT.) .64 AC / 28014 SF

SUBDIVISION NAME Interstate Industrial Tract Unit 2

REQUESTED CITY ACTION(S):

ANNEXATION	[]	SECTOR PLAN	[]	SITE DEVELOPMENT PLAN:	
COMP. PLAN	[]	ZONE CHANGE	[]	A) SUBDIVISION	[] BUILDING PERMIT <input checked="" type="checkbox"/>
AMENDMENT	[]	CONDITIONAL USE	[]	B) BUILD'G PURPOSES	[] ACCESS PERMIT []
				C) AMENDMENT	[] OTHER []

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: ¹

NO CONSTRUCTION/DEVELOPMENT	[]	# OF UNITS:	<u>1</u>
NEW CONSTRUCTION	<input checked="" type="checkbox"/>	BUILDING SIZE:	<u>4500</u> (sq. ft.)
EXPANSION OF EXISTING DEVELOPMENT	[]		

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 11-15-06
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

[Signature] DATE 11-15-06
TRAFFIC ENGINEER

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. *Any subsequent changes to the development proposal identified above may require an update or new AQIA.*

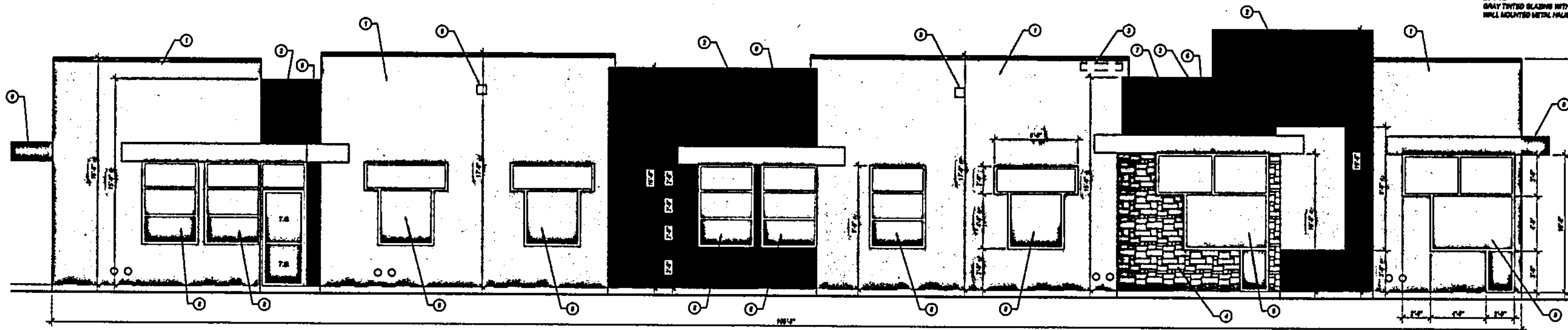
[Signature] DATE 11-15-06
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

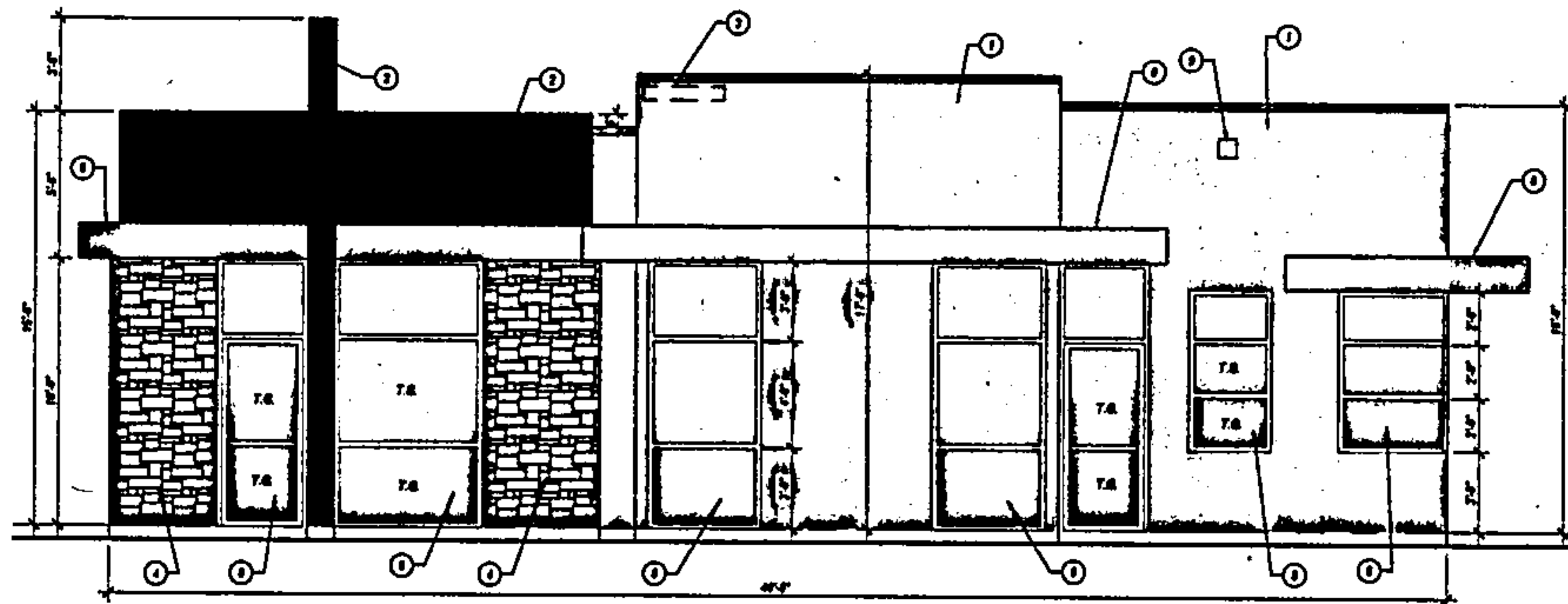
TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____

○ ELEVATION KEYED NOTES:

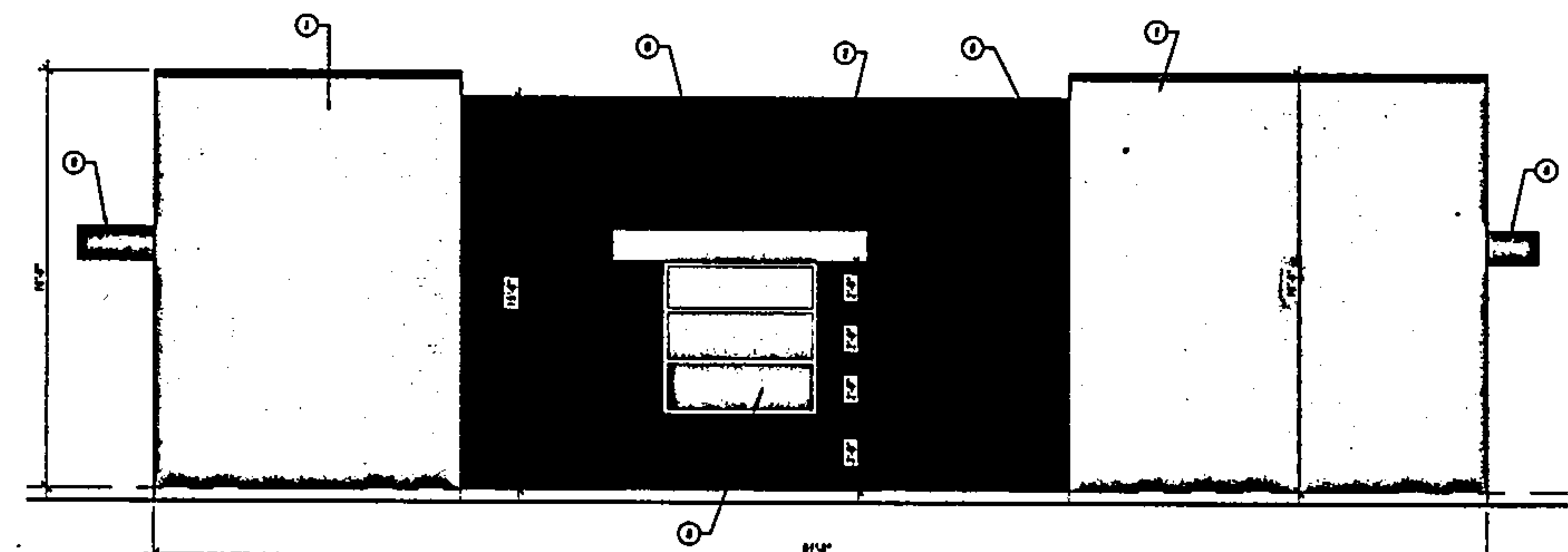
STUCCO SYSTEM LIGHT BROWN SAND STUCCO COLOR. PROVIDE BROWNSH JANTS @ 1/4" O.C.
 EACH 1/2" LIGHT PINK LAYER WITH DESIGNER PRIOR TO INSTALLATION
 STUCCO SYSTEM, SANDWICH ACCENT COLOR.
 FINISH IDENTIFICATION BRN, BLACK 1" FINISH LETTERS OR OTHER COLOR THAT CONTRASTS
 WITH THE BACKGROUND COLOR. PROVIDE #1 LOCATIONS AS SHOWN
 STONE VENEER, BRN 2" LIGHT BROWN AND LIGHT WOOD COLORS.
 ELECTRICAL AND GAS METER LOCATIONS.
 METAL CANOPY GRAY COLOR. SEE SECTIONS AND STRUCTURAL DRAWING FOR MORE
 INFORMATION.
 1/2" SET WALL MOUNTED BRN/WHY UNDER BRN/WHY FINISH FOR THE REQUIREMENTS OF P
 2008.1
 GRAY TINTED BLAINS WITH CLEAR ANODIZED ALUMINUM FRAMES TYPICAL.
 WALL MOUNTED METAL HUBS LIGHT FIXTURES, WHITE FACTORY FINISH. TYPICAL OF 16.



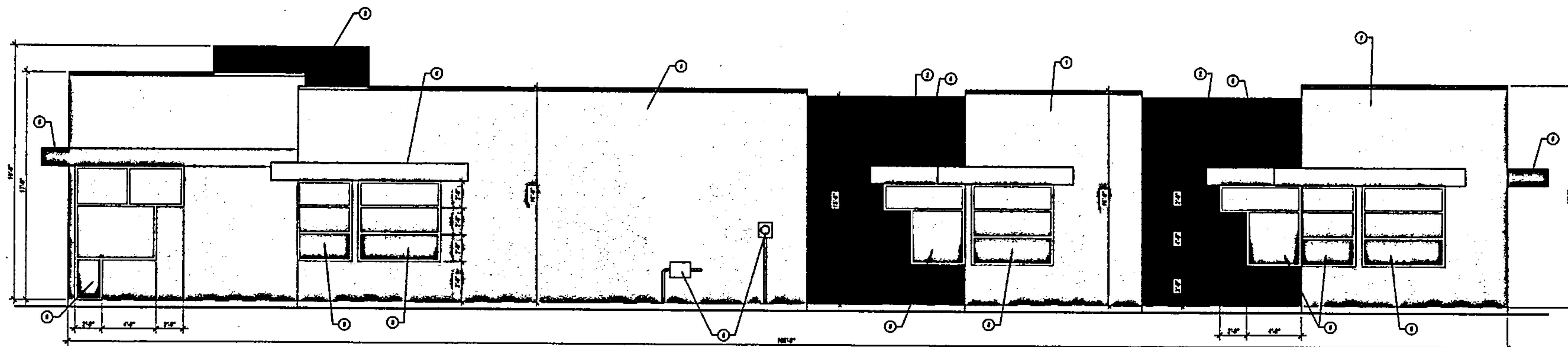
EAST ELEVATION
SCALE 1/4"=1'-0"



NORTH ELEVATION
SCALE 1/4"=1'-0"



SOUTH ELEVATION
SCALE 1/4"=1'-0"



WEST ELEVATION
SCALE 1/4"=1'-0"



DESIGN 2 FUNCTION, LLC
 P.O. BOX 50008
 ALBUQUERQUE
 NEW MEXICO 87108-0008
 505-223-8461, 505-223-8461 FAX
 © 2008 Design 2 Function, LLC



I, the Designer, in the preparation of these drawings, have used the services of the following persons:
 1. I have prepared the drawings and specifications for the building and have supervised the construction of the building.
 2. I have prepared the drawings and specifications for the building and have supervised the construction of the building.
 3. I have prepared the drawings and specifications for the building and have supervised the construction of the building.

QPEC OFFICE BUILDING
 6621 GULTON CT. NE
 ALBUQUERQUE, NM 87109

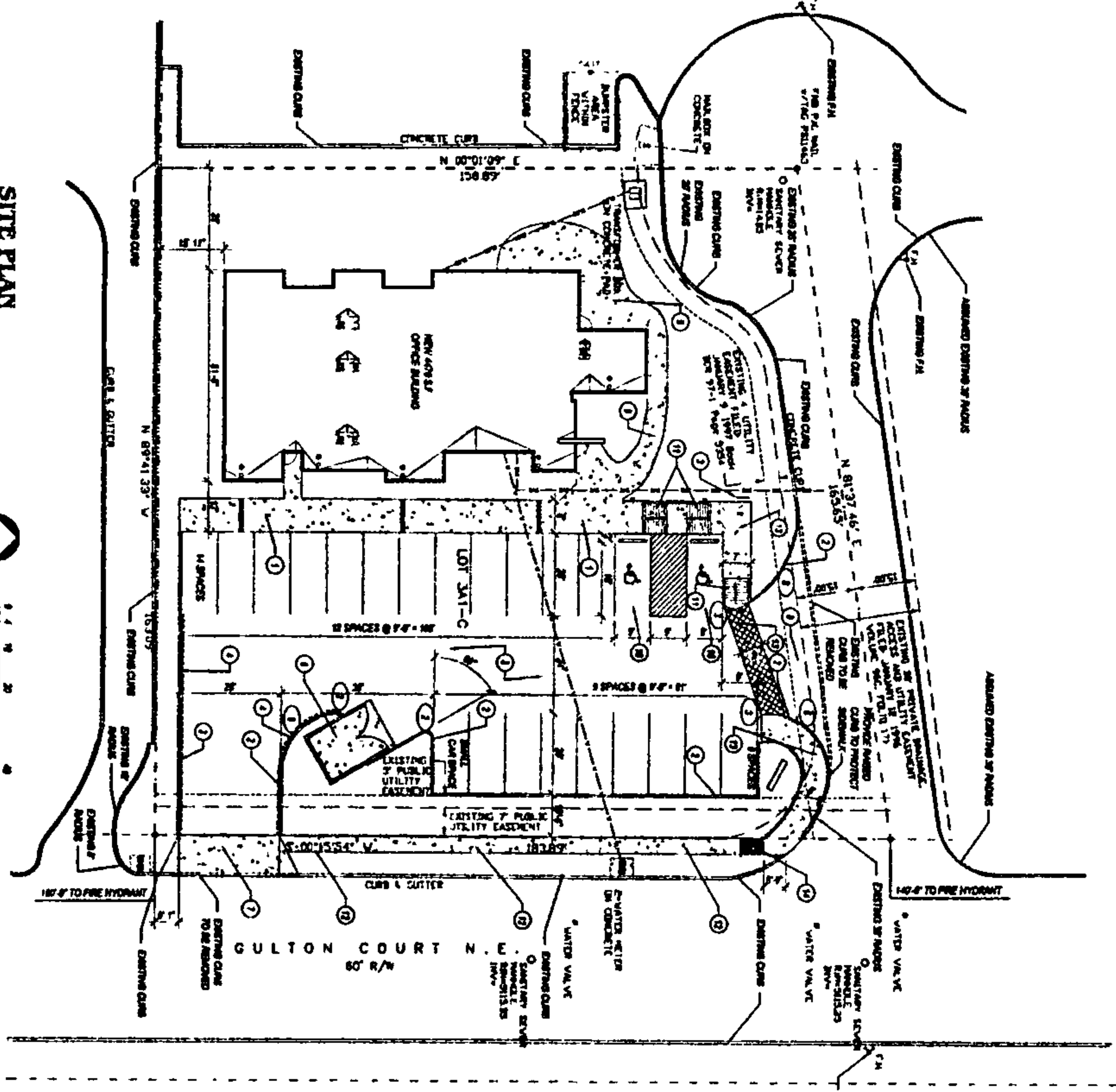
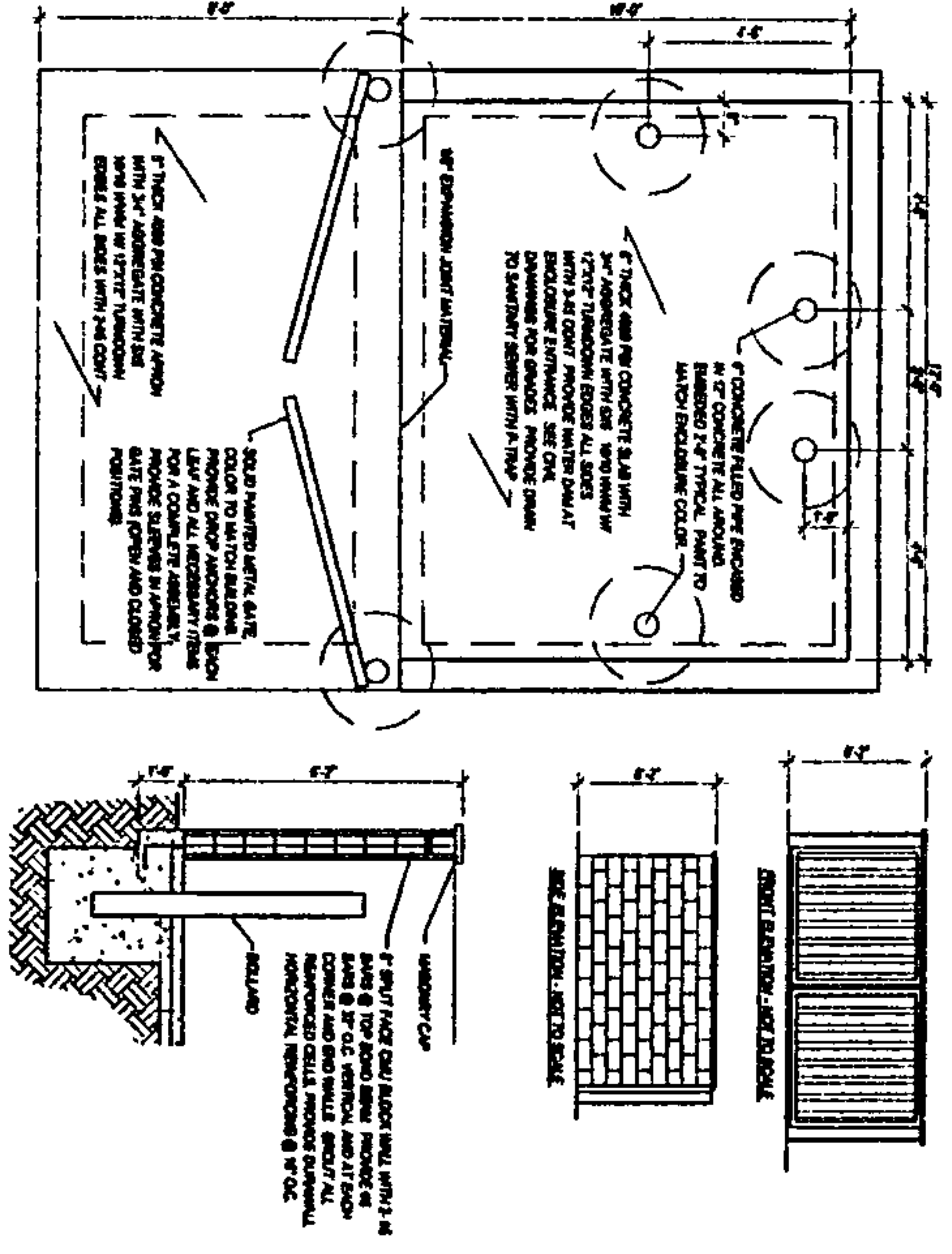
CLIENT: QPEC
 11/10/08
 11/10/08

PROJECT NUMBER:
 11/10/08
 DRAWN BY:
 11/10/08
 REVISIONS:
 EXTERIOR
 ELEVATIONS

A2.1
 SHEET OF



REFUSE ENCLOSURE DETAIL



SITE PLAN



Scale: 1" = 20'

CITY OF ALBUQUERQUE NOTES

1. THE RESPONSIBLE PARTY SHALL SUBMIT ALL UNAPPROVED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCES AND THE CITY OF ALBUQUERQUE DEVELOPMENT CODE.
2. THE RESPONSIBLE PARTY SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.
3. THE RESPONSIBLE PARTY SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.
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10. THE RESPONSIBLE PARTY SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.

RADIUS LEGEND

1" RADIUS	2" RADIUS	3" RADIUS	4" RADIUS
5" RADIUS	6" RADIUS	7" RADIUS	8" RADIUS
9" RADIUS	10" RADIUS	11" RADIUS	12" RADIUS
13" RADIUS	14" RADIUS	15" RADIUS	16" RADIUS
17" RADIUS	18" RADIUS	19" RADIUS	20" RADIUS

PARKING CALCULATIONS

4800 SQ. FT. OFFICE BUILDING, 1 SPACE PER 300 SQ. FT. = 16 SPACES REQUIRED WITH 10% ACCIDENTAL VEH. SPACES REQUIRED = 18 SPACES. TOTAL SPACES REQUIRED = 34 SPACES. 34 SPACES REQUIRED WITH 10% ACCIDENTAL VEH. SPACES REQUIRED = 38 SPACES. TOTAL SPACES REQUIRED = 42 SPACES.

SITE PLAN KEYED NOTES:

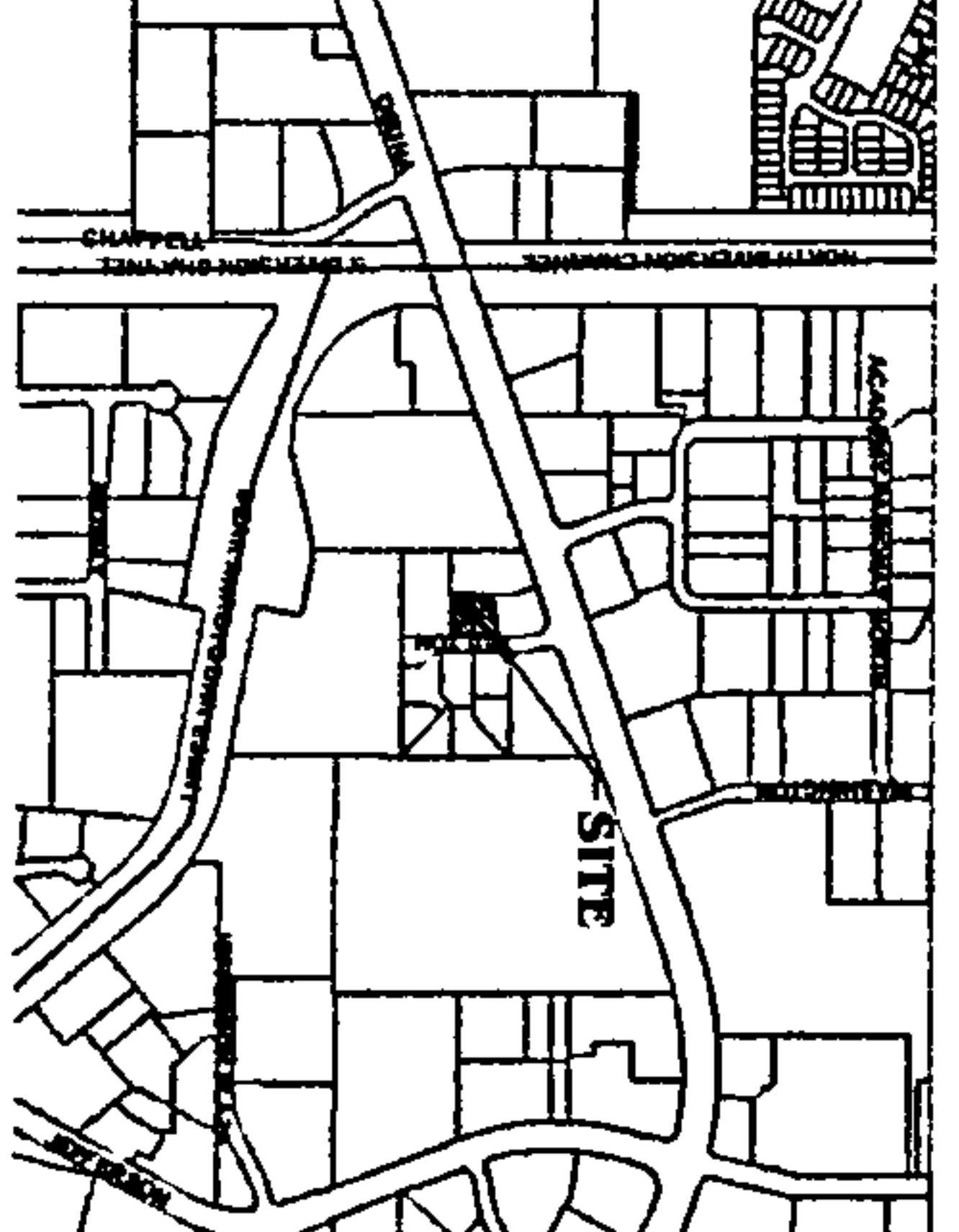
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2. SEE TYPICAL SECTION FOR DETAILS.
3. SEE TYPICAL SECTION FOR DETAILS.
4. SEE TYPICAL SECTION FOR DETAILS.
5. SEE TYPICAL SECTION FOR DETAILS.
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17. SEE TYPICAL SECTION FOR DETAILS.
18. SEE TYPICAL SECTION FOR DETAILS.
19. SEE TYPICAL SECTION FOR DETAILS.
20. SEE TYPICAL SECTION FOR DETAILS.

GENERAL SITE NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCES AND THE CITY OF ALBUQUERQUE DEVELOPMENT CODE.
2. THE RESPONSIBLE PARTY SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.
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10. THE RESPONSIBLE PARTY SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.



AERIAL MAP



VICINITY MAP



CITY OF ALBUQUERQUE
SOLID WASTE
MANAGEMENT DEPARTMENT
APPROVED 11/18/98

PROJECT NUMBER: _____

Application Number: _____

Application Date: _____

Application Fee: _____

Application Fee Refund: _____

Application Fee Waiver: _____

Application Fee Exemption: _____

Application Fee Reduction: _____

Application Fee Increase: _____

Application Fee Cancellation: _____

Application Fee Extension: _____

Application Fee Suspension: _____

Application Fee Termination: _____

Application Fee Reinstatement: _____

Application Fee Renewal: _____

Application Fee Renewal Fee: _____

Application Fee Renewal Fee Waiver: _____

Application Fee Renewal Fee Exemption: _____

Application Fee Renewal Fee Reduction: _____

Application Fee Renewal Fee Increase: _____

Application Fee Renewal Fee Cancellation: _____

Application Fee Renewal Fee Extension: _____

Application Fee Renewal Fee Suspension: _____

Application Fee Renewal Fee Termination: _____

Application Fee Renewal Fee Reinstatement: _____

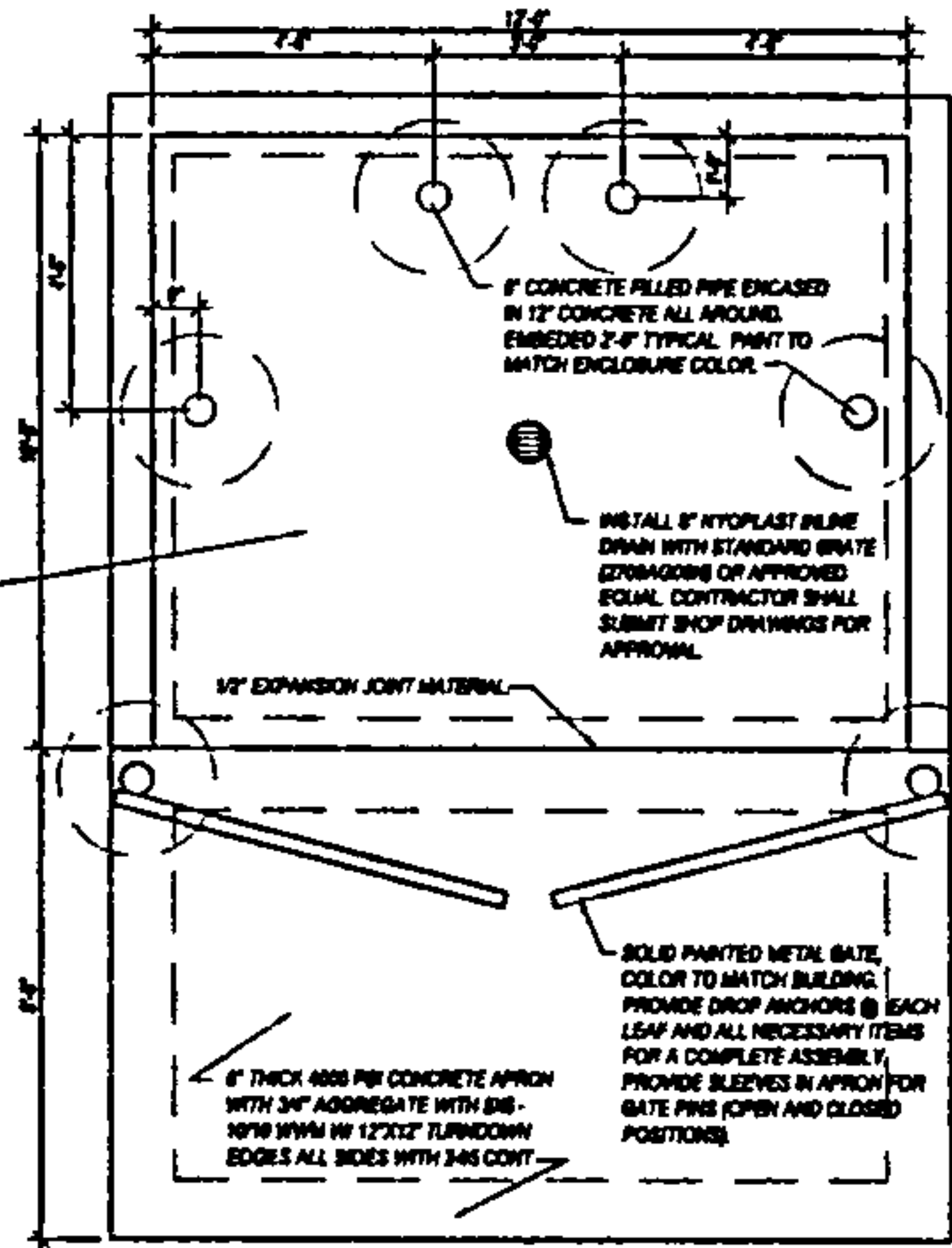
Application Fee Renewal Fee Renewal: _____

QPEC OFFICE BUILDING

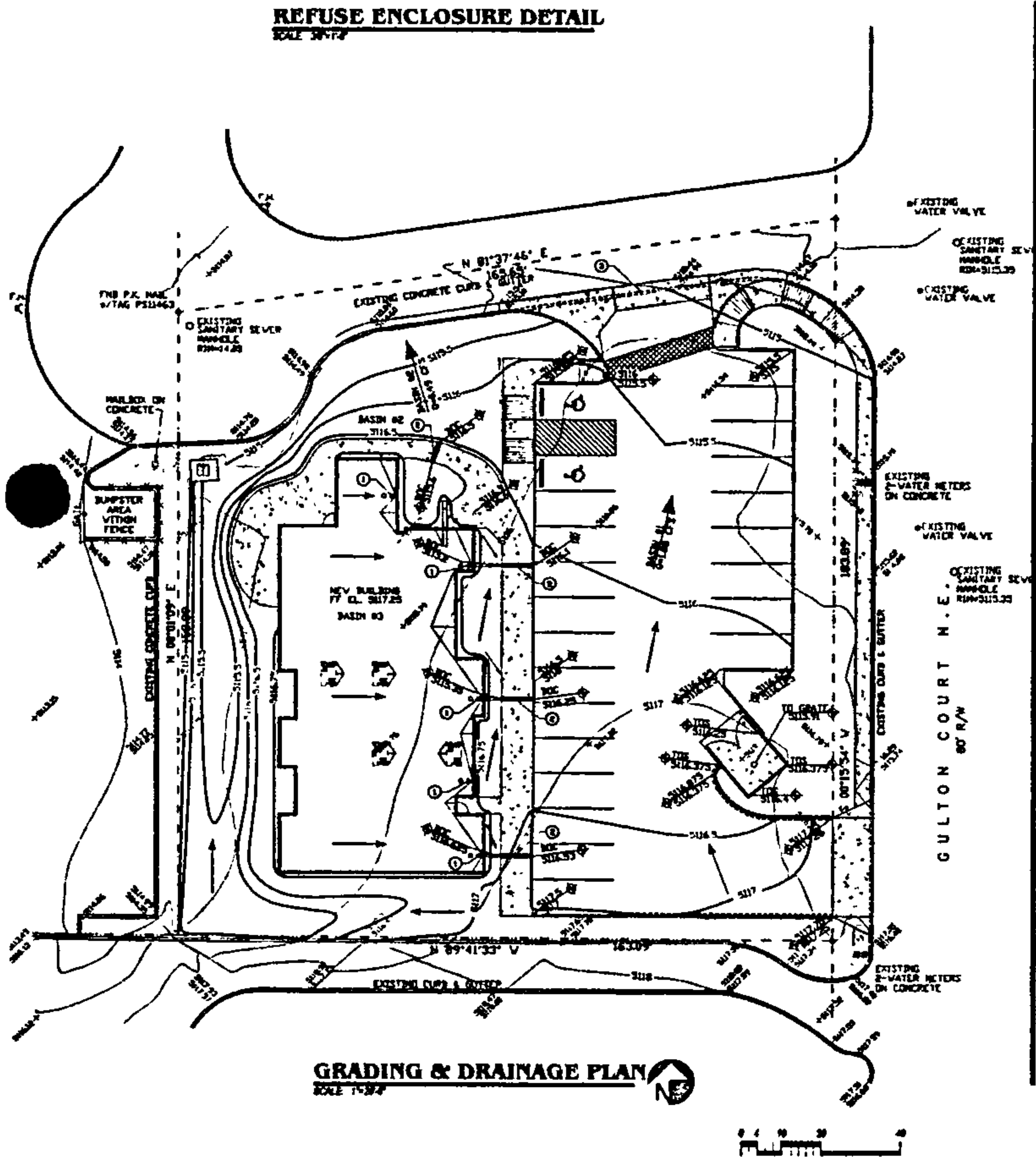
6621 GULTON CT. NE
ALBUQUERQUE, NM 87109



C1.1
SHEET OF



REFUSE ENCLOSURE DETAIL
SCALE 3/4"=1'-0"



GRADING & DRAINAGE PLAN
SCALE 1/8"=1'-0"

Hydrology Calculations - 6621 Gulton Court
Albuquerque, NM DPM Criteria (January 1993) Simple Procedure
Gulton Court Property - Precipitation Zone per DPM Figure A-1 =
Zone 2 (Between Rio Grande and San Mateo)
Design Storm (DPM Table A-2)

P	Depth (in)
1 hr	2.01
6 hr	2.35
24 hr	2.75
4 day	3.3
10 day	3.95

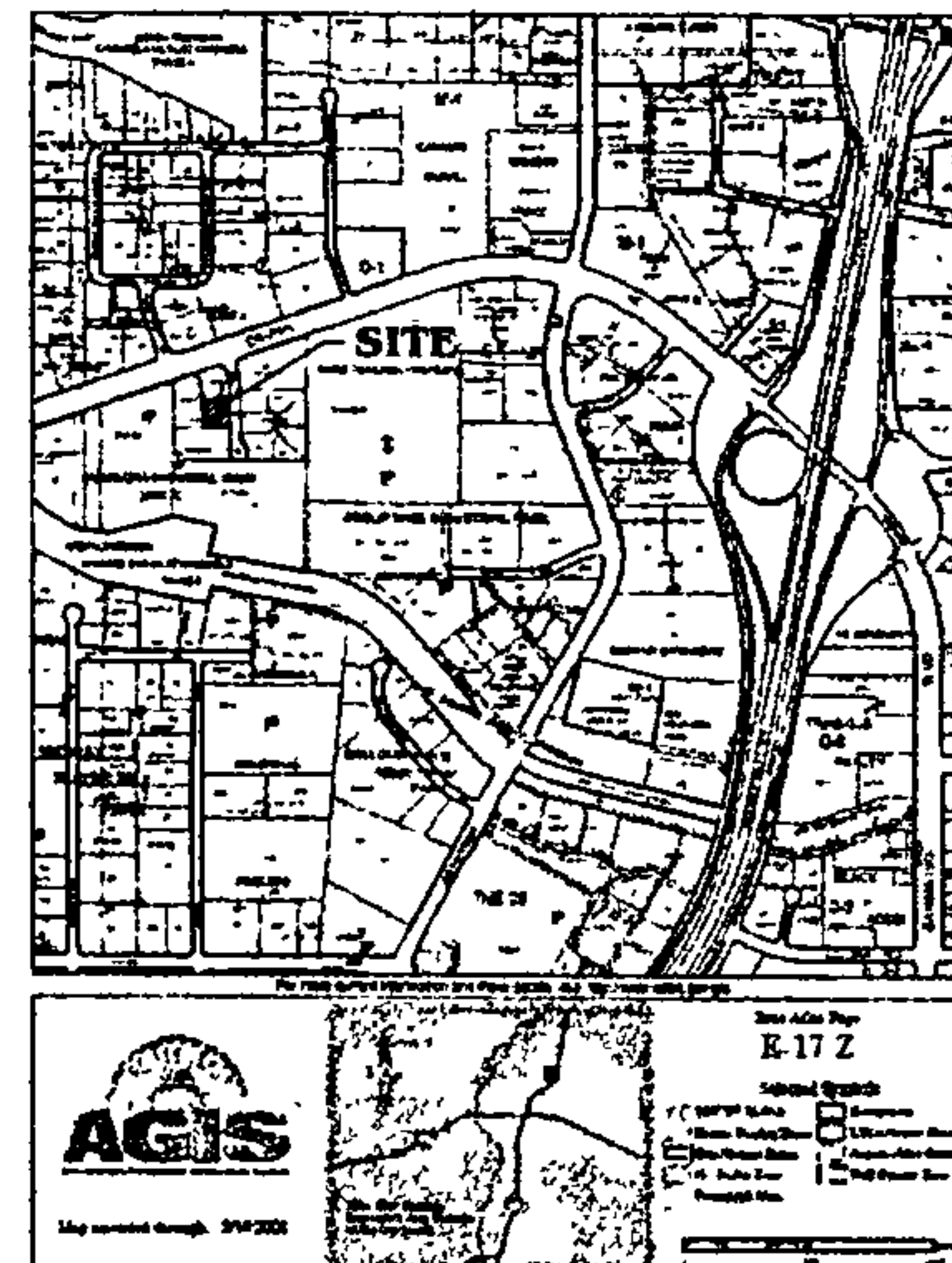
Treatment	E for Zone 2	Area (Acres)	Area %	P6 (in/AC)	Q (CFS/AC)	Q (CFS)	E*A	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.53	0	0.00%	0.53	1.56	0.00	0.00	0.00	0.00	0.00	0.00
B	0.78	0	0.00%	0.78	2.28	0.00	0.00	0.00	0.00	0.00	0.00
C	1.13	0.58	100.00%	1.13	3.14	1.82	0.66	2379.1	2379.1	2379.1	2379.1
D	2.12	0	0.00%	2.12	4.70	0.00	0.00	0.00	0.00	0.00	0.00
Total		0.58				1.82	1.13	2379.1	2379.1	2379.1	2379.1

Treatment	Area (Acres)	Area %	P6 (in/AC)	Q (CFS/AC)	Q (CFS)	E*A	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0	0.00%	0.53	1.56	0.00	0.00	0.00	0.00	0.00	0.00
B	0	0.00%	0.78	2.28	0.00	0.00	0.00	0.00	0.00	0.00
C	0.0797	18.87%	1.13	3.14	0.25	0.09	326.9	381.9	457.4	548.8
D	0.3472	81.33%	2.12	4.70	1.63	0.74	2871.9	3121.1	3738.7	4468.6
Total	0.4269				1.88	1.84	2998.8	3503.0	4196.2	5015.4

Treatment	Area (Acres)	Area %	P6 (in/AC)	Q (CFS/AC)	Q (CFS)	E*A	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0	0.00%	0.53	1.56	0.00	0.00	0.00	0.00	0.00	0.00
B	0	0.00%	0.78	2.28	0.00	0.00	0.00	0.00	0.00	0.00
C	0.134	90.17%	1.13	3.14	0.42	0.15	549.7	567.3	561.5	620.1
D	0.0146	9.83%	2.12	4.70	0.07	0.03	112.4	116.0	120.9	126.7
Total	0.1486				0.49	1.23	662.0	683.2	712.4	746.8

DESIGN NARRATIVE

THIS PROJECT IS AN IMPROVEMENT OF A VACANT LOT IN A DEVELOPED SECTION OF ALBUQUERQUE'S NORTHEAST. THE SITE CURRENTLY SLOPES RUNOFF FLOWS IMPACTING THE SITE TO THE WEST. THE PROPOSED CONSTRUCTION WILL REDUCE RUNOFF FLOWS IMPACTING THE SITE TO THE WEST BY OVER 90% AND WILL INSTEAD DIRECT DEVELOPED RUNOFF TO THE EXISTING ADJACENT PRIVATE STREET TO THE NORTH. THE INCREASED RUNOFF WILL THEN FLOW TO EXISTING STORM DRAIN FACILITIES IN O'BRIEN ROAD. THIS SITE IS LOCATED WITHIN F.I.R.M. MAP 4220C.



VICINITY MAP

GRADING PLAN KEYED NOTES:

- ROOF DRAIN
- DRAINAGE SIDEWALK CURB VERT WITH STEEL PLATE TOP AS PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING R229I
- EXISTING CURB AND GUTTER TO BE REMOVED AND REPLACED WITH CONCRETE VALLEY GUTTER AS PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING R208I FLOW LINE TO MATCH FLOW LINE OF EXISTING CURB AND GUTTER.

GRADING PLAN LEGEND:

- HIDDEN TO BE REMOVED
- - - PROPERTY LINE
- EXISTING CONTOUR
- NEW CONTOUR
- MASONRY WALL AT TRASH ENCLOSURES
- NEW SIDEWALK, EXTERIOR SLAB ON GROUND, CURB
- RUNOFF FLOW DIRECTION
- + EXISTING SPOT ELEVATION
- TOP OF CURB
- BOTTOM OF CURB
- EXISTING ELECTRICAL TRANSFORMER ON CONCRETE PAD
- 706 TOP OF SLAB
- 800 BOTTOM OF CURB VERT

D2F
DESIGN 2, FUNCTION, LLC
P.O. BOX 85348
ALBUQUERQUE, NM 87108
PHONE: (505) 263-3388
FAX: (505) 263-3388
WWW.D2FDESIGN.COM

RODOLFO PFEIFFER
Professional Engineer
No. 10110
10/11/06

THIS DOCUMENT IS THE PROPERTY OF DESIGN 2, FUNCTION, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DESIGN 2, FUNCTION, LLC.

OSUNA OFFICE BUILDING
6621 GULTON CT. NE
ALBUQUERQUE, NM 87109

DRAWING ISSUE DATE: 10/15/06
PROJECT MANAGER: ROBERT L. PFEIFFER
DRAWN BY: JES
SHEET TITLE: GRADING & DRAINAGE PLAN

QPEC
QUIROGA-PFEIFFER
ENGINEERING CORPORATION

C1.2
SHEET 3 OF 19

PLANT LEGEND

Qty	Symbol	Scientific Name Common Name	Size	Water Use
6	⊕	<i>Crataegus phaeopyrum</i> Washington Hawthorn	2" B&B	Medium
3	⊙	<i>Forsythia rostrata</i> New Mexico Olive	15-Gal	Medium
4	⊕	<i>Fraxinus velutina 'Modesto'</i> Modesto Ash	2" B&B	Medium
2	⊙	<i>Pinus nigra</i> Austrian Pine	5'-8"	Medium
3	⊙	<i>Patula chinensis</i> Chinese Platane	2" B&B	Medium
Shrubs/Groundcovers				
10	⊙	<i>Buddleia davidii</i> Butterfly Bush	5-Gal	Medium
11	⊙	<i>Caryopteris clandonensis</i> Blue Mist	1-Gal	Medium
15	⊕	<i>Cotoneaster palmifolius</i> Clusterberry	5-Gal	Low
1	⊕	<i>Hesperaloe parviflora</i> Red Yucca	5-Gal	Low
1	⊕	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	5-Gal	Medium
8	⊕	<i>Prunus besseyi</i> Western Sand Cherry	5-Gal	Medium
14	⊕	<i>Rhaphis indica</i> Indica Hawthorn	5-Gal	Medium
13	⊕	<i>Rosmarinus officinalis pm</i> Creeeping Rosemary	5-Gal	Low
8	⊕	<i>Jurpersia chinensis</i> Spartan Juniper	5-Gal	Low
Ornamental Grasses				
5	⊙	<i>Miscanthus sinensis 'Oracifolius'</i> Meadow Grass	5-Gal	Medium

SITE DATA

GROSS LOT AREA	28,014 SF
LESS BUILDING(S)	4,460 SF
NET LOT AREA	23,554 SF
REQUIRED LANDSCAPE	15% OF NET LOT AREA
PROPOSED LANDSCAPE	41%

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET 10
 REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (23 SPACES/10) 2

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 30% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER

SYSTEMS TO BE WATERED BY AUTO DRIP IRRIGATION WITH REDUCED PRESSURE BACKFLOW PREVENTER (MODEL 978) PER CITY OF ALBUQUERQUE
 MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

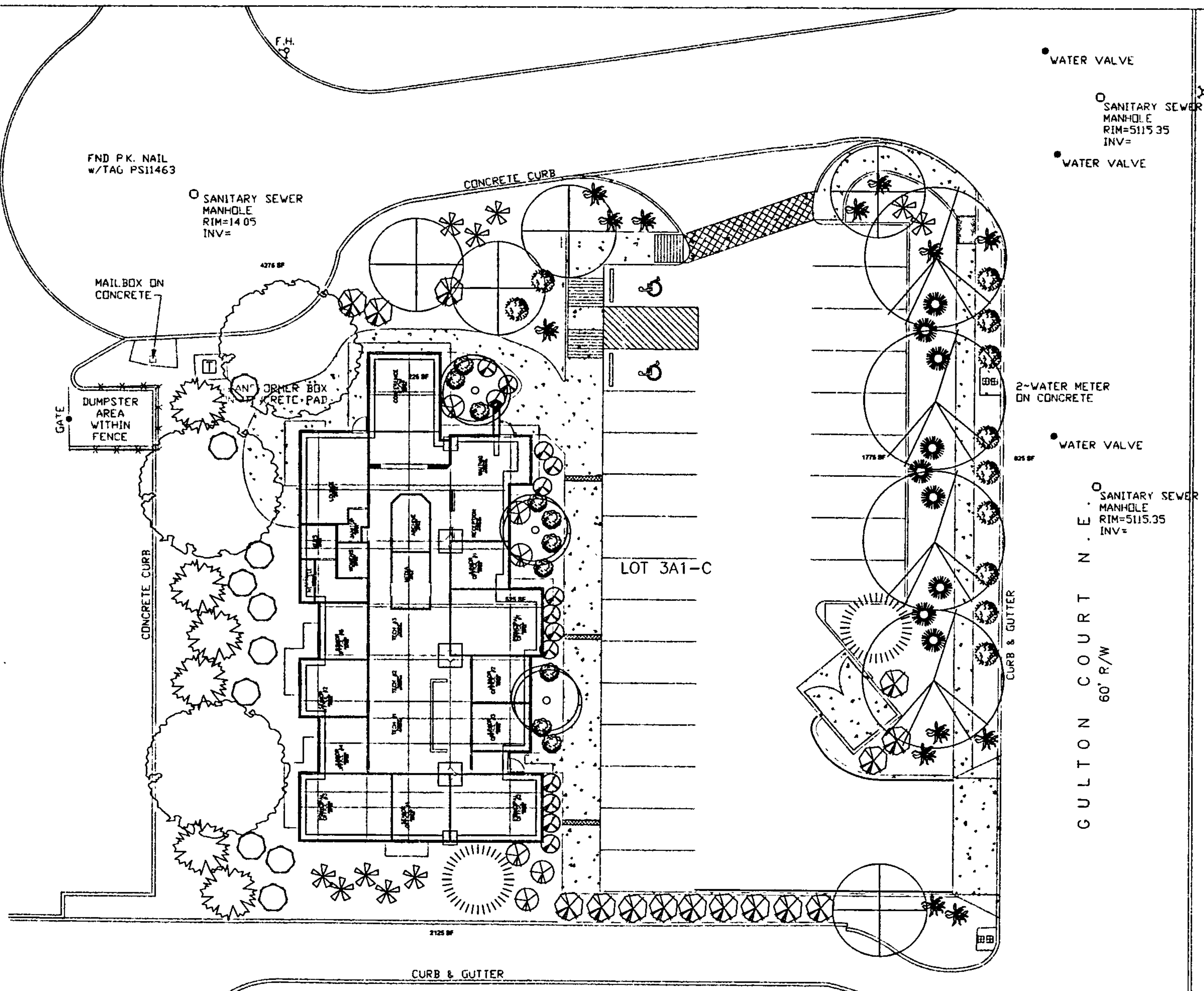
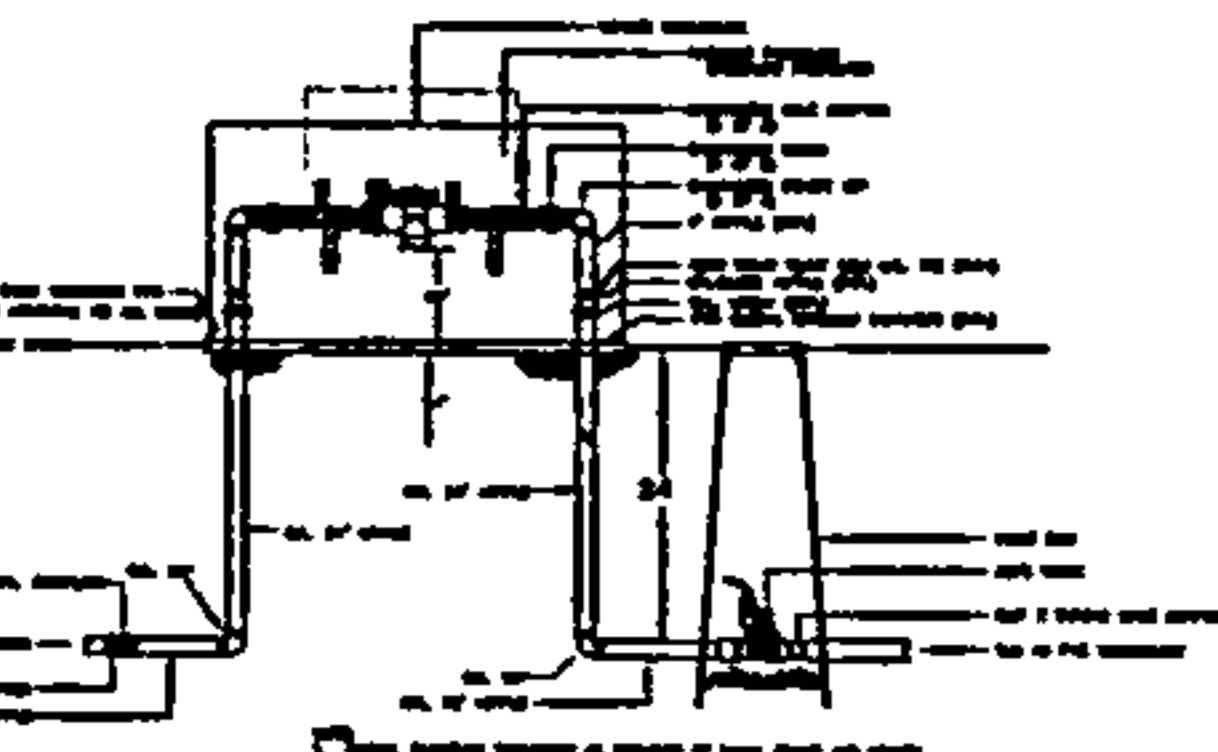
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE



Growing Better Up Heads
 LANDSCAPE CONTRACTOR
 www.headsuplandscape.com
 PO Box 10597
 Albuquerque, NM 87164
 505 898 8615
 505 898 2105 (fax)
 design@hulc.com

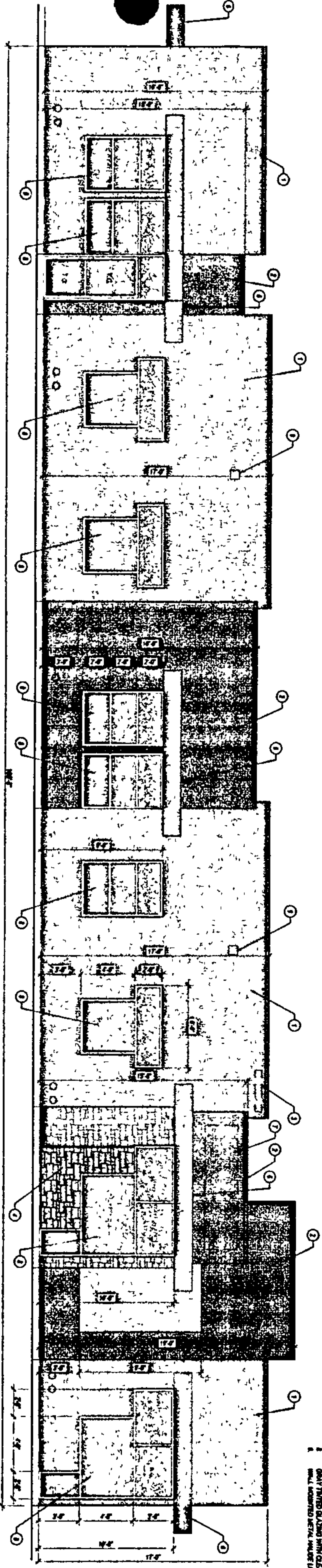
Date 9/28/08
 Revisions
 ▲ 11/1/08
 ▲
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 Drawn by jc
 Reviewed by gp

QPEC Office Building
 Albuquerque, New Mexico

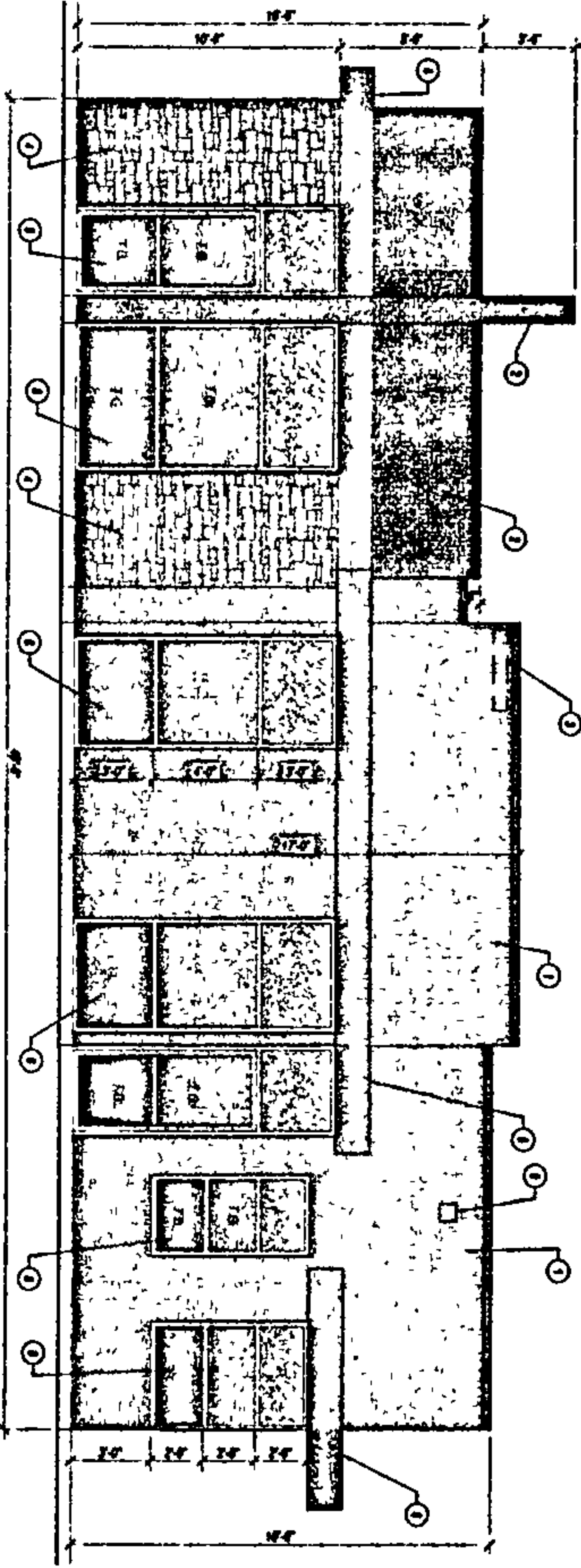
NORTH
 Scale: 1" = 10'

Sheet Title:
Landscape Plan
 Sheet Number:
LS-01
 4 of 19

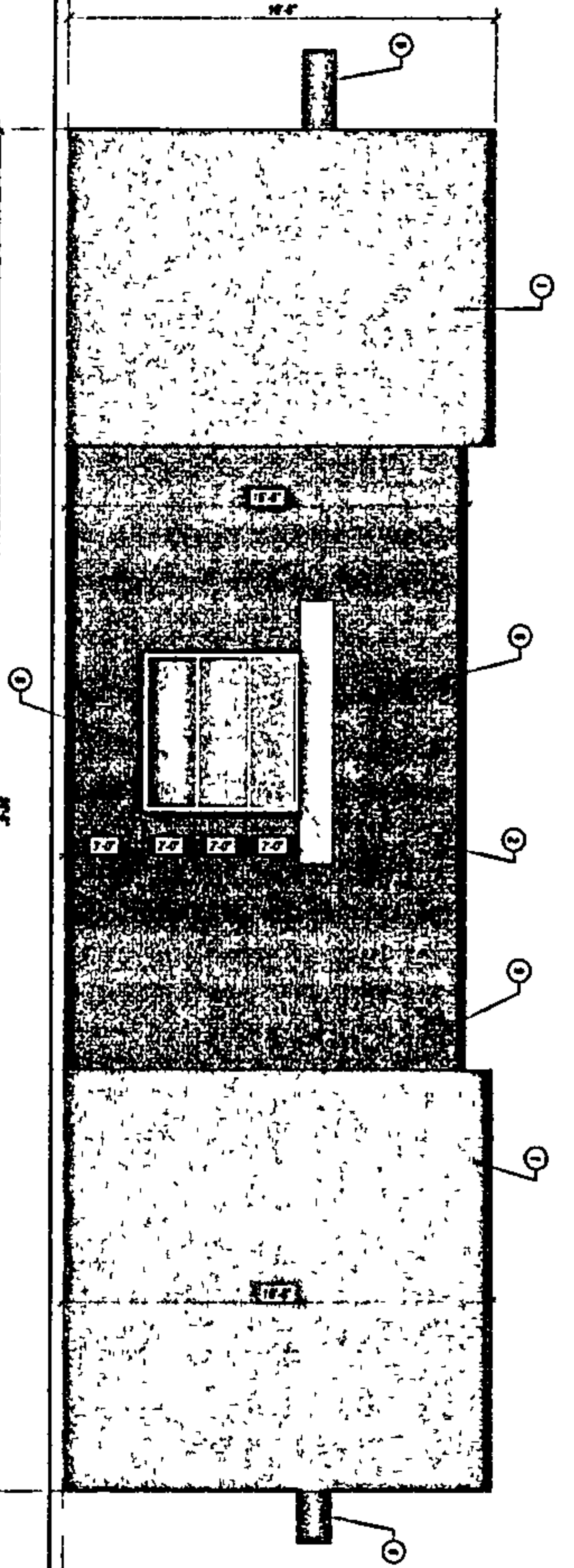
- ELEVATION KEYED NOTES:**
1. FINISH SHALL BE AS SHOWN ON THE ELEVATION DRAWINGS.
 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE LOCAL BUILDING DEPARTMENT.
 3. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
 5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
 6. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
 7. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
 8. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.



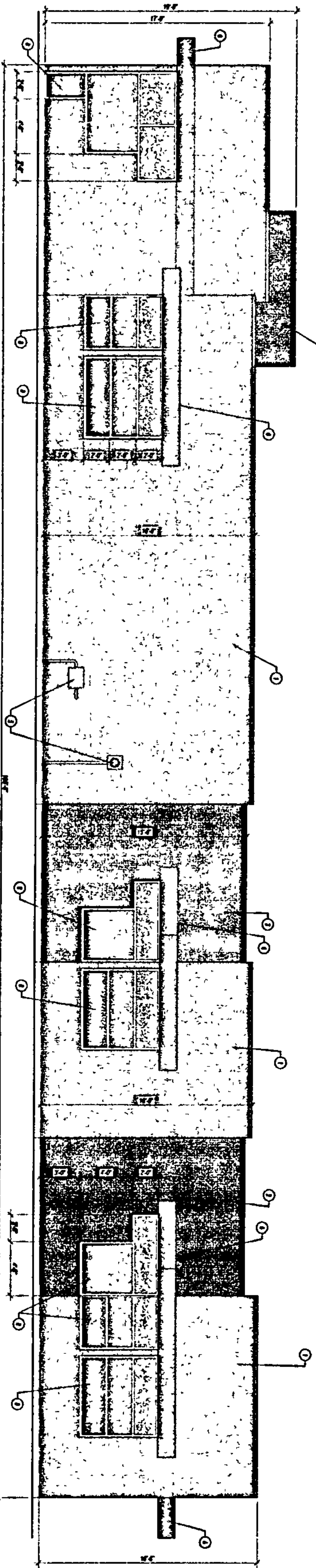
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

QPEC OFFICE BUILDING

6621 GULTON CT. NE
ALBUQUERQUE, NM 87109



D2/F

DESIGNER: R. T. HENNING, L.L.C.
F.A. BOEYER, L.L.C.

1000 UNIVERSITY AVENUE, SUITE 1000
ALBUQUERQUE, NEW MEXICO 87102
505.263.1111

DATE: 10/15/10
DRAWN BY: J. L. HENNING
CHECKED BY: R. T. HENNING
SCALE: AS SHOWN

WESTERN EXTERIORS
ELEVATIONS

A2.1
SHEET OF

Thank You

CHANGE

ONE STOP SHOP

\$0.00
\$480.00
\$75.00

CITY OF ALBUQUERQUE PLANNING DEPARTMENT

Development & Building Services

TRSVRS

Fund 0000

Account 441018

TRANS# 0035

WSH 007

PAID RECEIPT

LOC: ANNX

4:12PM

11/16/2006

APPLICANT NAME FEFC, LLC

AGENT DESIGN 2 FUNCTION, LLC

ADDRESS PO BOX 93368

PROJECT & APP # 1005257/06DRB 01638

PROJECT NAME RPEC OFFICE BUILDING

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 385.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.00 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 480.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

11/16/2006 4:12PM LOC: ANNX
 RECEIPT# 00071845 WSH 007 TRANS# 0035
 Account 441006 Fund 0000
 Activity 4983000 TRSVRS
 Trans Amt \$480.00
 J24 Misc \$385.00

City Of Albuquerque
Treasury Division

City Of Albuquerque
Treasury Division

11/16/2006 4:11PM LOC: ANNX
 RECEIPT# 00071844 WSH 007 TRANS# 0035
 Account 441032 Fund 0000
 Activity 3424000 TRSVRS
 Trans Amt \$480.00
 J24 Misc \$20.00

Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from NOVEMBER 28, 2006 to DECEMBER 13, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

11/16/06
(Date)

I issued 1 signs for this application, 11/16/06 Sandy Handley
(Date) (Staff Member)

DRB PROJECT NUMBER: 1005257

Photos of building near to 6621 Gulston Ct.
Project # 1005257
06DRB-01638



Office building northwest of project location



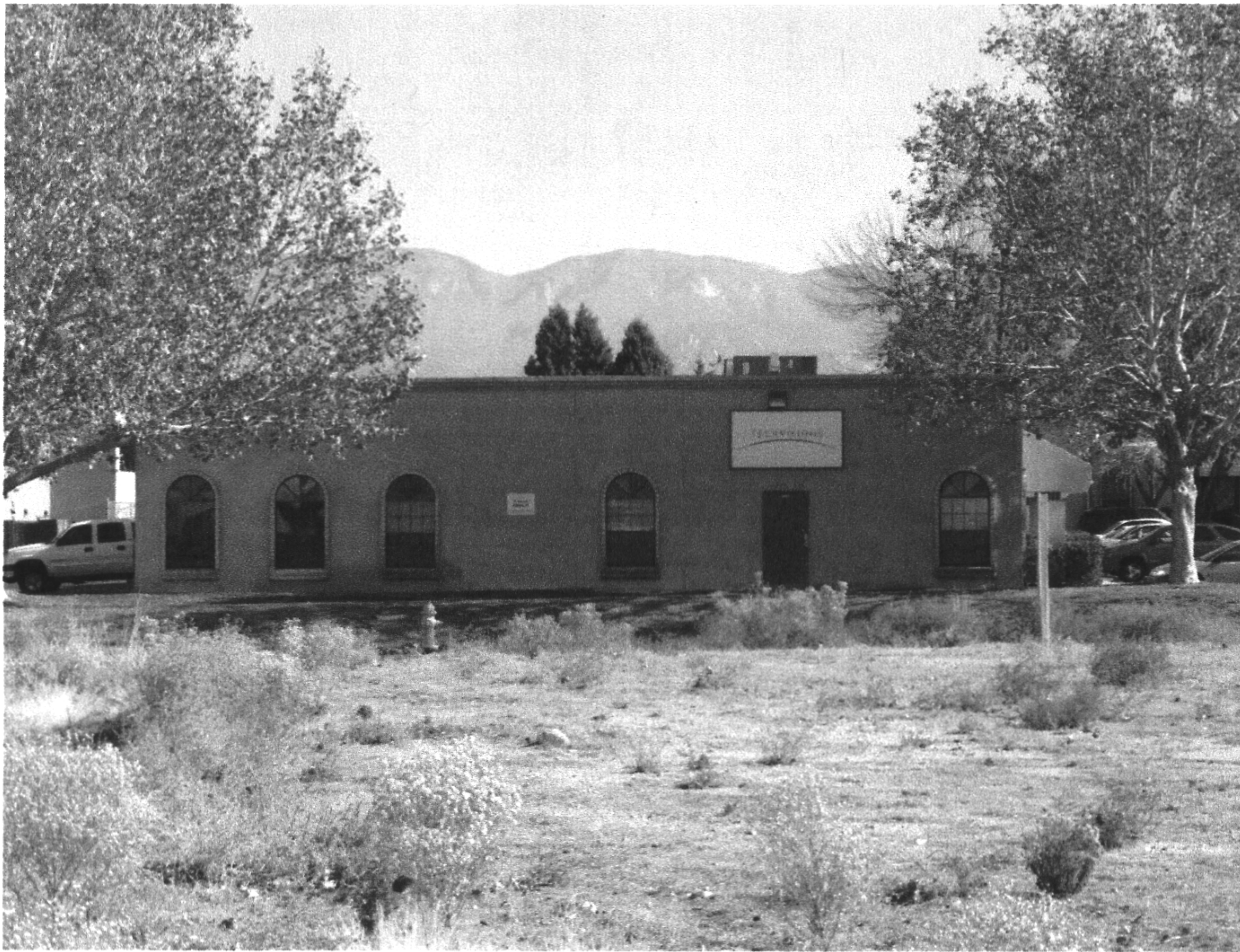
Office building west of project location



Office building south of project location



Office building southeast of project location
Located at the end of Gulton Ct.



Office building East of project location
Across Gulton Ct.



Office building East of project location
Across Gulton Ct.



Office building Northeast of project location
Located on Osuna and Gulton Ct.
Northeast corner