

LEGAL DESCRIPTION	VARIES: REFER TO DESCRIPTION BELOW								
PROPOSED TRACT NUMBER:	LOT-1	LOT-2	LOT-3	LOT-4	LOT-5	LOT-6A	LOT-7	LOT-8	LOT-9
TOTAL ACREAGE:	AREA= 1.14 AC	AREA= 1.2093 AC	AREA =1.6598 AC	AREA= .9179 AC	AREA= .82 AC	AREA= .15 AC	AREA= 1.3989 AC	AREA= .72 AC	AREA= 4.12 AC
EXISTING ZONING:	VARIES: REFER TO APPLICATION PAGE								
PROPOSED ZONING:	VARIES: REFER TO APPLICATION PAGE								
BUILDING SIZE/ REQ DINNING SEATS:	3,000SF/100 SEATS	5,000SF/N/A	16,031SF/N/A	4,000SF/90 SEATS	7,500SF/120 SEATS	7,500SF/120 SEATS	7,200SF/220 SEATS	6,300 SF/40 SEATS	30,000SF/100 SEATS
FAR:	.06	.0929	.222	.1075	.1775	.1775	.1181	.20	.17
PROPOSED NUMBER OF STRUCTURES:	1	1	1	1	1	0	1	1	3
PROPOSED USE:	RESTAURANT W/ DRIVE THRU	BANK W/ DRIVE THRU	DRUG STORE	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE
TOTAL PARKING PROVIDED:	24 SPACES	38 SPACES	79 SPACES	32 SPACES	33 SPACES	RE:LOT-5	80 SPACES	21 SPACES	178 SPACES
TOTAL PARKING REQ (INC. EMPLOYEE):	25 SPACES	25 CARS	80 SPACES	23 SPACES	58 CARS	RE:LOT-5	55 SPACES	37 SPACES	162 SPACES
HC PROVIDED:	2 H.C. (INC. 2 VAN ACCESSIBLE)	4 H.C. (INC. 4 VAN ACCESSIBLE)	4 H.C. (INC. 2 VAN ACCESS.)	3 H.C. (INC. 3 VAN ACCESSIBLE)	4 H.C. (INC. 4 VAN ACCESSIBLE)	RE:LOT-5	4 H.C. (INC. 4 VAN ACCESSIBLE)	2 H.C. (INC. 2 VAN ACCESSIBLE)	10 H.C. (INC.10 VAN ACCESSIBLE)
HC REQUIRED:	1 H.C SPACES	1 H.C SPACES	4 H.C SPACES	1 H.C SPACES	2 H.C SPACES	RE:LOT-5	4 H.C SPACES	1 H.C SPACES	8 H.C SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	RE:LOT-5	5 BIKE SPACES	5 BIKE SPACES	10 BIKE SPACES
BIKE SPACES REQUIRED:	2 BIKE SPACES	3 BIKE SPACES	4 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	RE:LOT-5	4 BIKE SPACES	3 BIKE SPACES	9 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 MOTORCYCLE SPACE	2 MOTORCYCLE SPACE	3 MOTORCYCLE SPACES	2 MOTORCYCLE SPACE	3 MOTORCYCLE SPACE	RE:LOT-5	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	8 MOTORCYCLE SPACES
MOTORCYCLE SPACES REQUIRED:	1 MOTORCYCLE SPACE	1 MOTORCYCLE SPACE	3 MOTORCYCLE SPACES	2 MOTORCYCLE SPACE	3 MOTORCYCLE SPACE	RE:LOT-5	3 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	5 MOTORCYCLE SPACES
MAX BUILDING HT	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	RE:LOT-5	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET

**1 SITE DATA TABLE**  
Scale: N.T.S

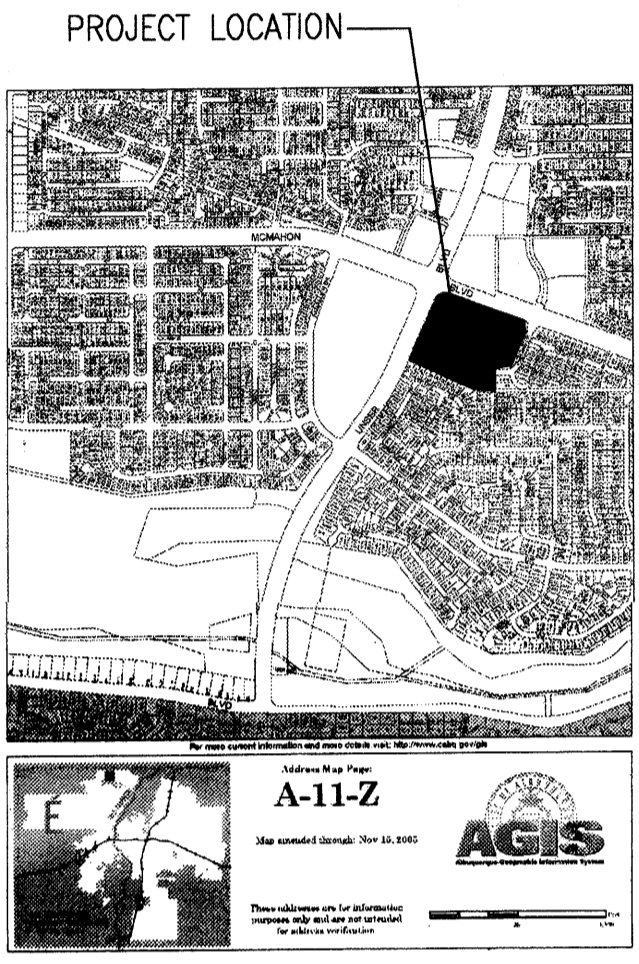
PROJECT NUMBER: 1005280  
APPLICATION NUMBER:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on April 12, 2007 and the findings and conditions in the Official Notification of Decision are satisfied.

is an Infrastructure List required? ( ) YES ( ) NO if yes, then a set of approved ORC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

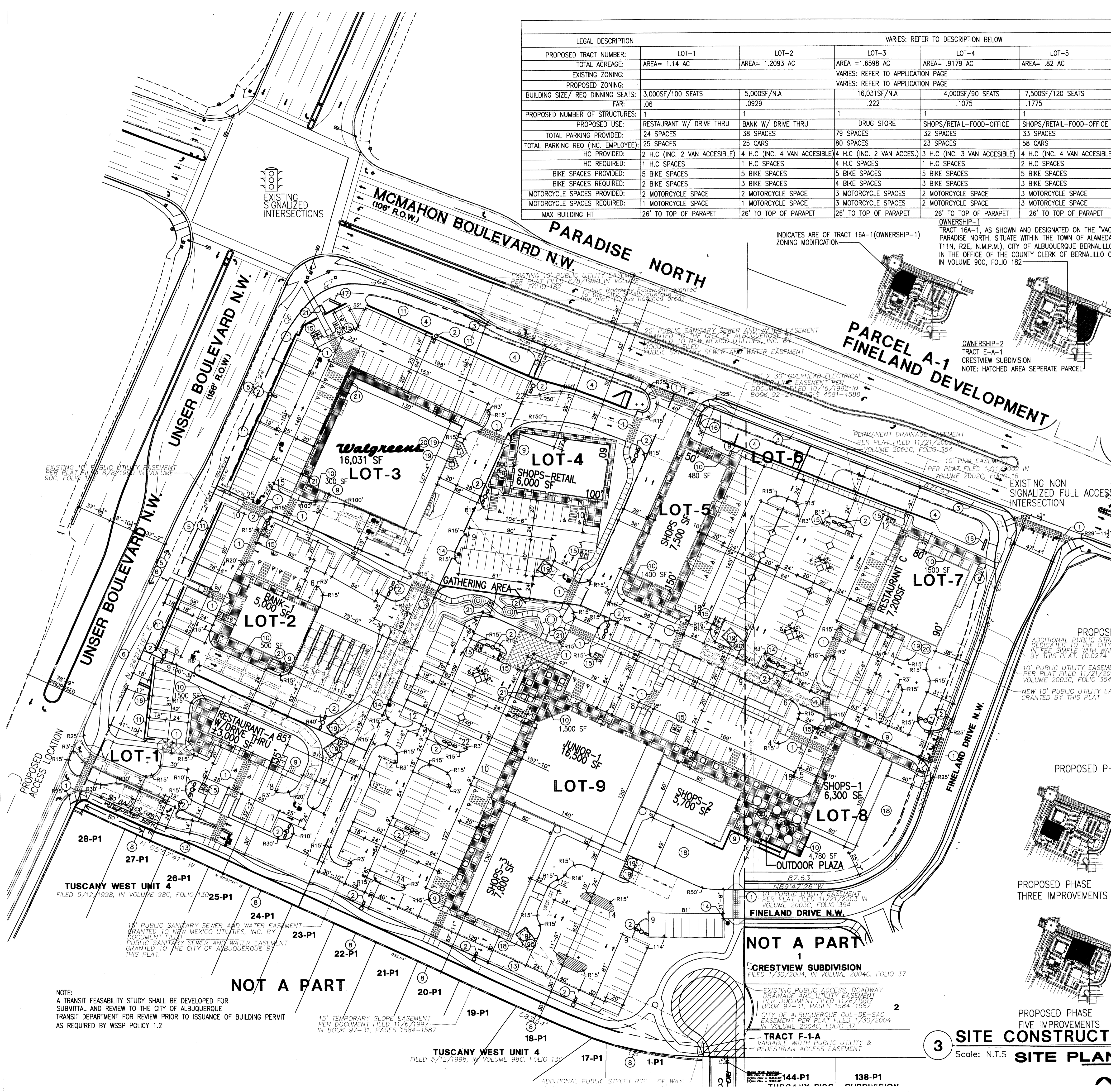
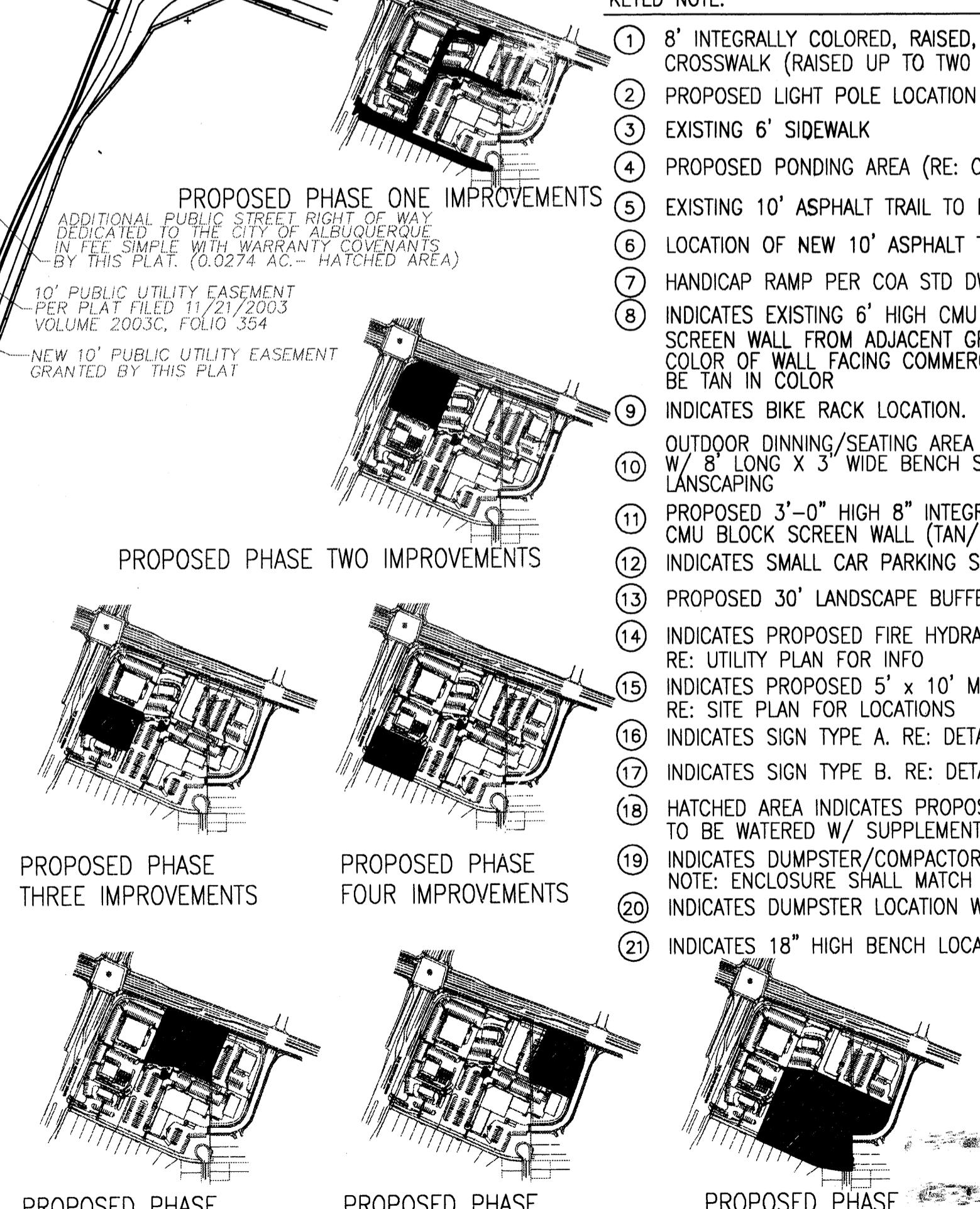
Engineering, Transportation Division 7-30-09  
Date  
Kaye A. Green 8/8/07  
Date  
Water Utility Department 8/8/07  
Date  
Christina Sandoval 8/8/07  
Date  
Parks and Recreation Department 8/8/07  
Date  
Bradley D. Bix  
Date  
City Engineer  
Environmental Health Department  
Date  
Sally Waste Management 7-23-09  
Date  
DRB Chairperson, Planning Department  
Date  
Catalina De Luna 7-23-09  
Date



**2 VICINITY MAP**  
Scale: N.T.S

- KEYED NOTE:
- 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK (RAISED UP TO TWO INCHES WHERE ALLOWED BY GRADES)
  - PROPOSED LIGHT POLE LOCATION RE: 6"/A13.0 FOR POLE DETAIL
  - EXISTING 6" SIDEWALK
  - PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
  - EXISTING 10' ASPHALT TRAIL TO REMAIN
  - LOCATION OF NEW 10' ASPHALT TRAIL
  - HANDICAP RAMP PER COA STD DWG #2441
  - INDICATES EXISTING 6" HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA. COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR
  - INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
  - OUTDOOR DINNING/SEATING AREA (RE: LOCATION FOR SIZE) W/ 8" LONG X 3" WIDE BENCH SHADED BY BUILDING AND LANDSCAPING
  - PROPOSED 3"-0" HIGH 8" INTEGRALLY COLORED SPLITFACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A30 FOR DET.
  - INDICATES SMALL CAR PARKING SPACE (9' X 15'-6" TYP.)
  - PROPOSED 30' LANDSCAPE BUFFER W/ 8' PEDESTRIAN PATHWAY
  - INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
  - INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
  - INDICATES SIGN TYPE A. RE: DETAIL 13/A3.0 FOR INFO
  - INDICATES SIGN TYPE B. RE: DETAIL 13/A3.0 FOR INFO
  - HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED W/ SUPPLEMENTAL WATER HARVESTING SYSTEM
  - INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/A3.0 NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
  - INDICATES DUMPSTER LOCATION W/ RECYCLE
  - INDICATES 18" HIGH BENCH LOCATION

**3 SITE CONSTRUCTION PHASE DIAGRAMS**  
Scale: N.T.S



REVISION

REV	DATE	BY
1	7/6/07	S
2	3/28/07	S
3	2/5/07	S
4	1/26/07	S

DRB COMMENTS  
CITY COMMENTS  
REVISION SPACE ADDITION  
REV SUBMITAL

PROJECT TITLE  
**MCMAHON MARKET PLACE**  
S.E.C. OF UNSER AND MCMAHON  
ALBUQUERQUE NEW MEXICO

PROJECT MANAGER  
STEPHEN DUNBAR AIA

JOB NO.  
0670

DRAWN BY  
S

SHEET TITLE  
**SITE PLAN FOR BLDG PERMIT**

DATE:  
12/6/06

SCALE:  
1"=50'

sheet:  
**A1.0**

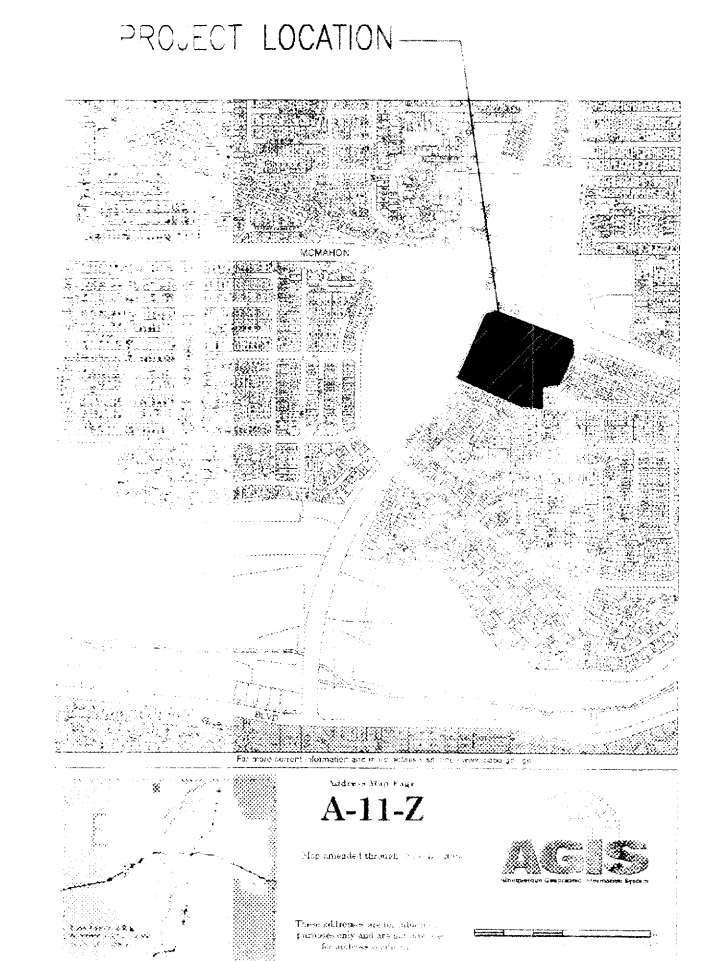
of:

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

082500

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**1 SITE DATA TABLE**  
Scale: N.T.S



**2 VICINITY MAP**  
Scale: N.T.S

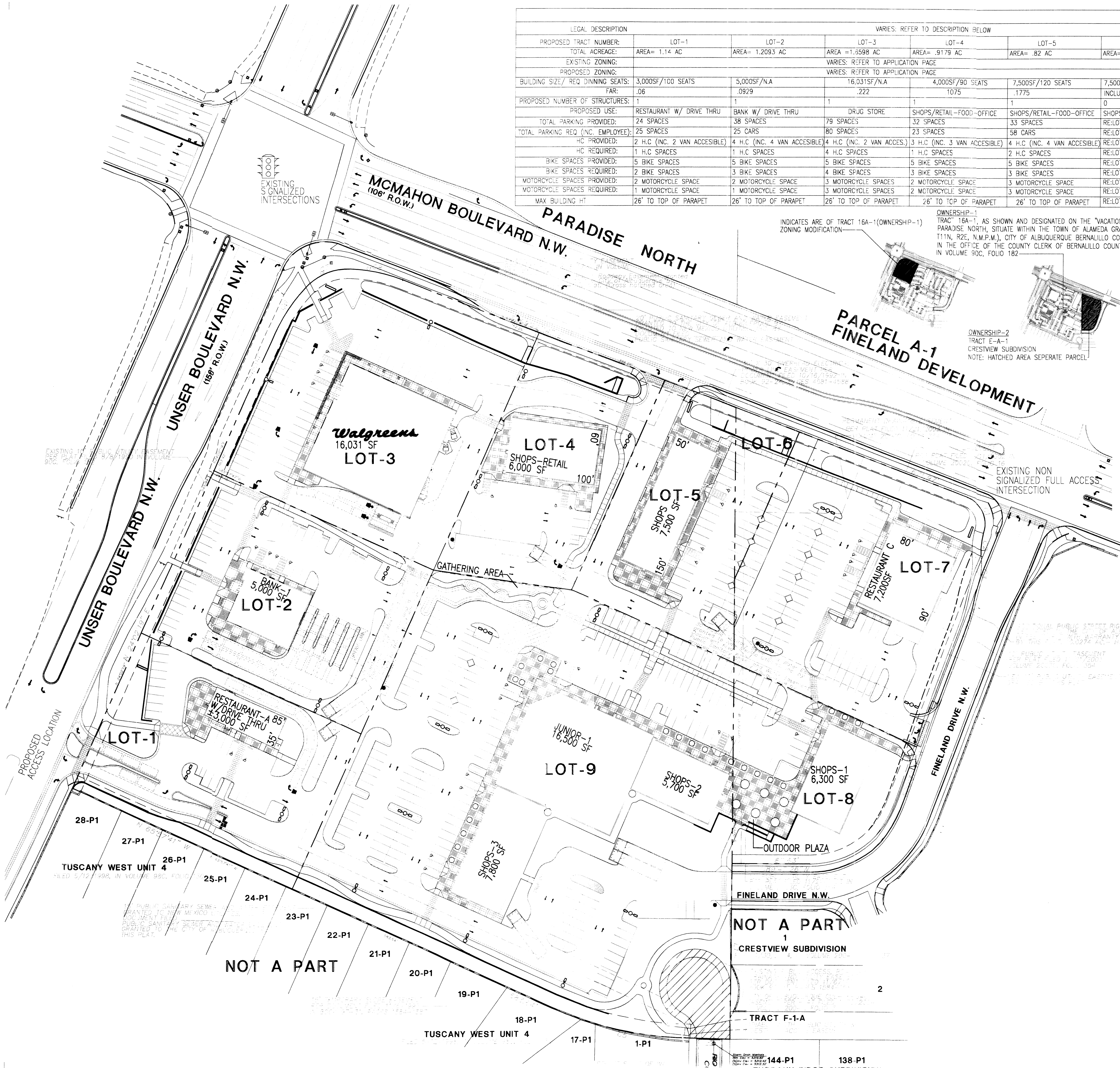
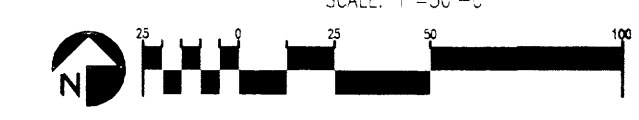
PROJECT NUMBER: 1005280  
APPLICATION NUMBER:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission on 08/08/07 and the findings and conclusions in the final Verification of Decision on the same date.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

<i>[Signature]</i>	08-08-07
<i>[Signature]</i>	08-08-07
<i>[Signature]</i>	8/8/07
<i>[Signature]</i>	8-8-07
<i>[Signature]</i>	7-23-08
<i>[Signature]</i>	7-30-08
<i>[Signature]</i>	Catalina Scherz

**SITE PLAN FOR SUBDIVISION**  
SCALE: 1"=50'-0"

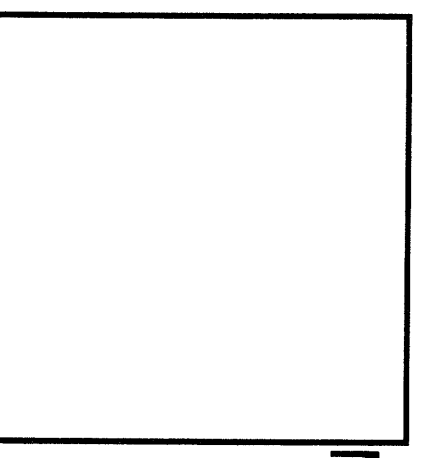


NOT A PART  
1  
CRESTVIEW SUBDIVISION

TRACT F-1-A

REV	DATE	BY	REVISION
6	7/6/07	S	DRB COMMENTS
5	3/28/07	S	CITY COMMENTS
4	2/5/07	S	GATHERING SPACE ADDITION
3	1/26/07	S	REV SUBMITTAL

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877



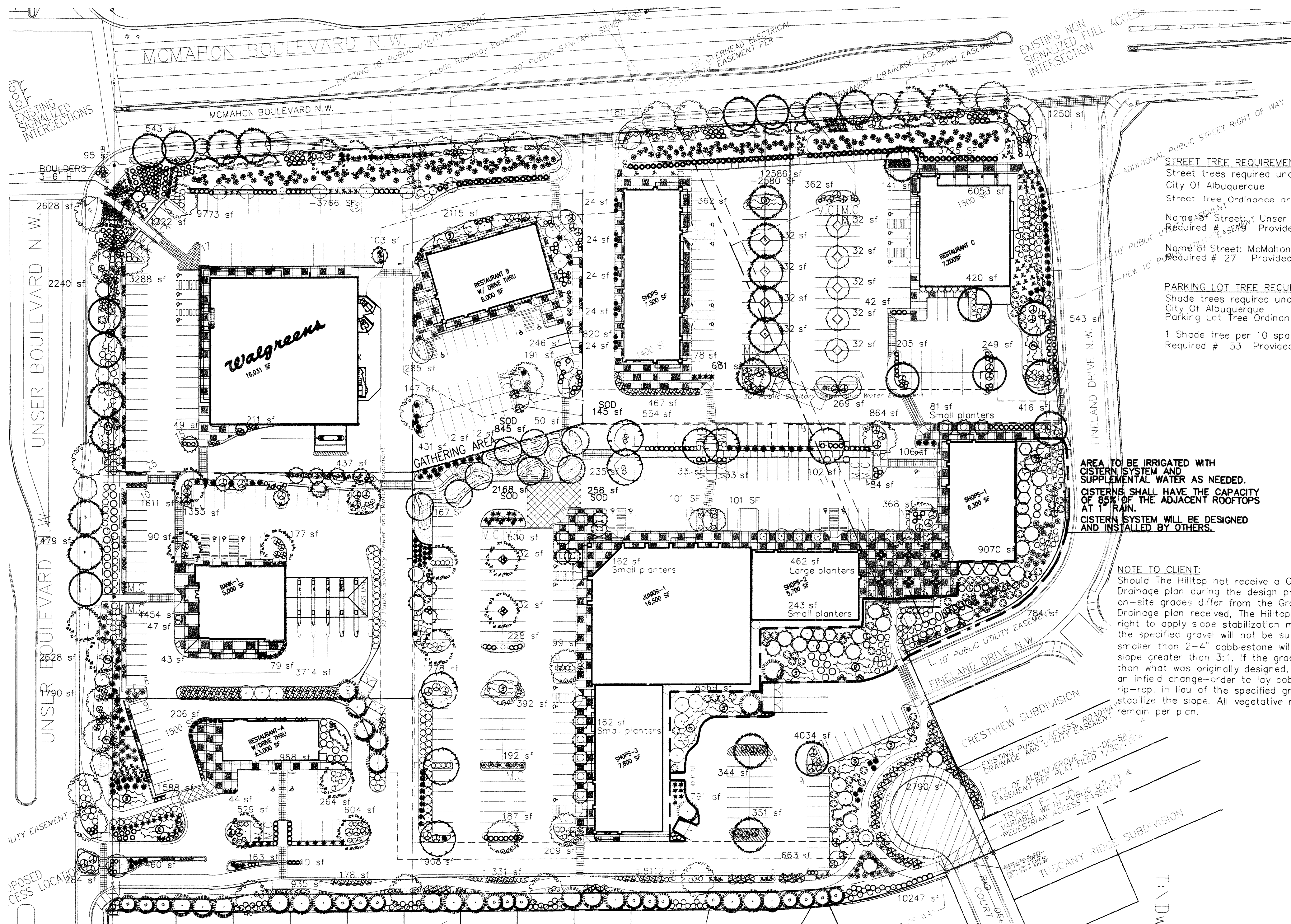
PROJECT TITLE: **McMAHON MARKET PLACE**  
S.L.C. OF UNSER AND McMAHON ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: **STEPHEN DUNBAR AIA** JOB NO. 0670 DRAWN BY: S

SHEET TITLE: **SITE PLAN FOR SUBDIVISION**

DATE: 12/6/06  
SCALE: 1"=50'  
SHEET: **A1.1**





**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner, and property owner shall maintain street trees and trees in the southern buffer in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 80% live ground cover at maturity using a majority of low-water (xeric) plants. Tree canopies shall not count toward the requirement for living, vegetative coverage.

Santa Fe Brown Gravel Mulch over Filter Fabric shall be placed in all landscape areas which

- 7-18-07 RMM comments
- 5-21-07 RMM comments
- 5-10-07 RMM comments & revised site

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

It is determined that the irrigation system mentioned above will maintain the quality of trees and plants in a living, healthy, and attractive condition. The irrigation system has been determined to be adequate by the City Forester and the landscape architects at The Hilltop.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Water provided by the water harvesting

LANDSCAPE CALCULATIONS	
TOTAL LOT AREA	533697 square feet
TOTAL BUILDINGS AREA	77676 square feet
OFFSITE	15766 square feet
NET LOT AREA	456021 square feet
LANDSCAPE REQUIREMENT	15% square feet
TOTAL LANDSCAPE REQUIREMENT	68403 square feet
TOTAL BED PROVIDED	96625 square feet
GROUND COVER REQ.	80% per comments
TOTAL GROUND COVER REQUIREMENT	72469 square feet
TOTAL GROUND COVER PROVIDED	83973 (87%) square feet
TOTAL SOD PROVIDED	3416 (3%) square feet
TOTAL LANDSCAPE PROVIDED	*112391 (25%) square feet
* INCLUDES OFFSITE	

Water provided by the water harvesting system shall be supplemental to the irrigation system. Cisterns shall have a capacity of 85% of the adjacent rooftops to a 1" rain. Cistern to be designed and installed by others.

Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Developer/Builder.

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**AREA TO BE IRRIGATED WITH CISTERN SYSTEM AND SUPPLEMENTAL WATER AS NEEDED. CISTERN SHALL HAVE THE CAPACITY OF 85% OF THE ADJACENT ROOFTOPS AT 1" RAIN. CISTERN SYSTEM WILL BE DESIGNED AND INSTALLED BY OTHERS.**

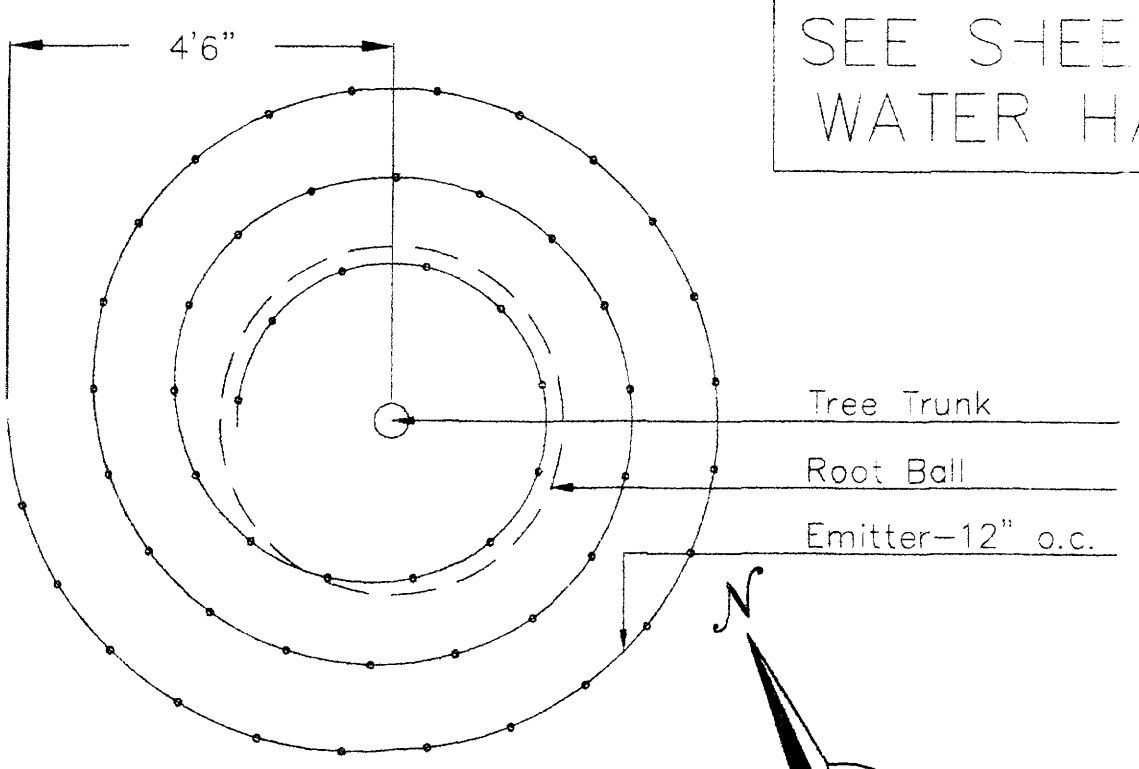
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**PLANT LEGEND**

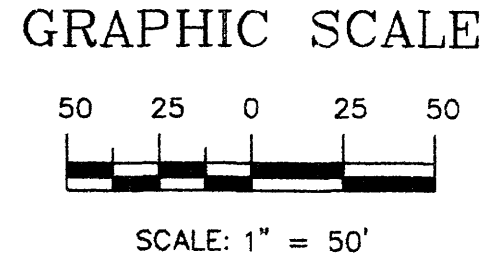
- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>CHINESE PISTACHE (M) 26<br/><i>Pistacia chinensis</i><br/>2" Cal.</li> <li>SHUMARD OAK (M) 17<br/><i>Quercus shumardii</i><br/>2" Cal.</li> <li>COMMON HACKBERRY (M) 17<br/><i>Celtis occidentalis</i><br/>2" Cal.</li> <li>CHITALPA (M) 20<br/><i>Chiopsis X Catalpa</i><br/>2" Cal.</li> <li>DESERT WILLOW (L) 54<br/><i>Chiopsis linearis</i><br/>5 Gal. 225sf</li> <li>SILVERBERRY (M) 50<br/><i>Elaeagnus pungens</i><br/>5 Gal. 100sf</li> <li>BUTTERFLY BUSH (M) 11<br/><i>Buddleia davidii</i><br/>5 Gal. 100sf</li> <li>BIRD OF PARADISE (L) 16<br/><i>Caesalpinia gilliesii</i><br/>5 Gal. 100sf</li> <li>GIANT SACATON (M) 156<br/><i>Sporobolus wrightii</i><br/>5 Gal. 25sf</li> <li>RUSSIAN SAGE (M) 56<br/><i>Perovskia stipularis</i><br/>5 Gal. 96sf</li> <li>CLIFFROSE (M) 63<br/><i>Cowanix mexicana</i><br/>5 Gal. 36sf</li> <li>INDIAN HAWTHORN (M) 96<br/><i>Raphiolepis indica</i><br/>5 Gal. 36sf</li> <li>FERN BUSH (L+) 75<br/><i>Chamaebotaria millefolium</i><br/>5 Gal. 25sf</li> <li>APACHE PLUME (L) 141<br/><i>Fallugia parviflora</i><br/>5 Gal. 25sf</li> <li>BIG SAGE (L+) 87<br/><i>Artemisia tridentata</i><br/>5 Gal. 16sf</li> <li>BLUE SCOTL (L) 40<br/><i>Dasylyrin wheeleri</i><br/>5 Gal. 9sf</li> <li>REGAL MIST (M) 80<br/><i>Muhlenbergia capillaris</i><br/>5 Gal. 9sf</li> <li>RED YUCCA (L) 65<br/><i>Hesperaloe parviflora</i><br/>5 Gal. 9sf</li> <li>GREYLEAF COTONEASTER (M) 30<br/><i>Cotoneaster buxifolius</i><br/>5 Gal. 81sf</li> <li>SANTA FE BROWN GRAVEL MULCH WITH FILTER FABRIC</li> <li>SOD WITH POP-UP IRRIGATION HEADS</li> </ul> | <ul style="list-style-type: none"> <li>LITTLE-LEAF LINDEN (H) 9<br/><i>Tilia cordata</i><br/>2" Cal.</li> <li>PURPLE ROBE LOCUST (M) 14<br/><i>Rabatia roseo-ovoides</i><br/>2" Cal.</li> <li>JAPANESE PAGODA TREE (M) 8<br/><i>Sophora japonica</i><br/>2" Cal.</li> <li>GLOBE WILLOW (H) 8<br/><i>Salix matsudana</i><br/>2" Cal.</li> <li>AFGHAN PINE (M) 23<br/><i>Pinus ghafurii</i><br/>min 10' with cv. caliper of 3"</li> <li>GREEN GIANT ARBORVITAE (M) 17<br/><i>Thuja plicata</i><br/>min 10' with cv. caliper of 2"</li> <li>NEW MEXICO OLIVE (L) 47<br/><i>Forestiera neomexicana</i><br/>15 Gal. 225sf</li> <li>PRICKLY PEAR (L) 126<br/><i>Opuntia macrocentra</i><br/>9 sf</li> <li>CHAMISA (L) 94<br/><i>Chrysothamnus nauseosus</i><br/>1 Gal. 25sf</li> <li>SANTOLINA (L) 82<br/><i>Santolina spp.</i><br/>1 Gal. 25sf</li> <li>POWIS CASTLE SAGE (L+) 81<br/><i>Artemisia X Powis Castle</i><br/>1 Gal. 25sf</li> <li>TURPENTINE BUSH (L) 179<br/><i>Eriogonum fasciculatum</i><br/>1 Gal. 16sf</li> <li>ALTEMA SAGE (V) 73<br/><i>Salvia greggii</i><br/>1 Gal. 9sf</li> <li>POTENTILLA (M) 52<br/><i>Potentilla fruticosa</i><br/>1 Gal. 9sf</li> <li>PRAIRIE CONEFLOWER (M) 106<br/><i>Ratibida columnifera</i><br/>1 Gal. 4sf</li> <li>THREADGRASS (M) 127<br/><i>Stipa tenuiflora</i><br/>1 Gal. 4sf</li> <li>PERKY SUE (L) 173<br/><i>Hymenoxys orientata</i><br/>1 Gal. 1sf</li> <li>WILDFLOWER 35<br/>1 Gal. 4sf</li> <li>WINTER JASMINE (L-) 54<br/><i>Osmanthus multiflorum</i><br/>1 Gal. 144sf</li> <li>Symbol indicates 3 plants</li> <li>HONEY-SUCKLE (V) 81<br/><i>Lonicera japonica 'Halliana'</i><br/>1 Gal. 44sf</li> <li>Unstaked-Groundcover</li> <li>BOULDER MONOLITH 1</li> </ul> |
|--|---|

**STREET TREE REQUIREMENTS**  
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:  
Name of Street: Unser Blvd. Required # 15 Provided # 22  
Name of Street: McMahon Blvd. Required # 27 Provided # 30

**PARKING LOT TREE REQUIREMENTS**  
Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance:  
1 Shade tree per 10 spaces  
Required # 53 Provided # 53



SEE SHEET L1.2 FOR WATER HARVESTING DETAIL



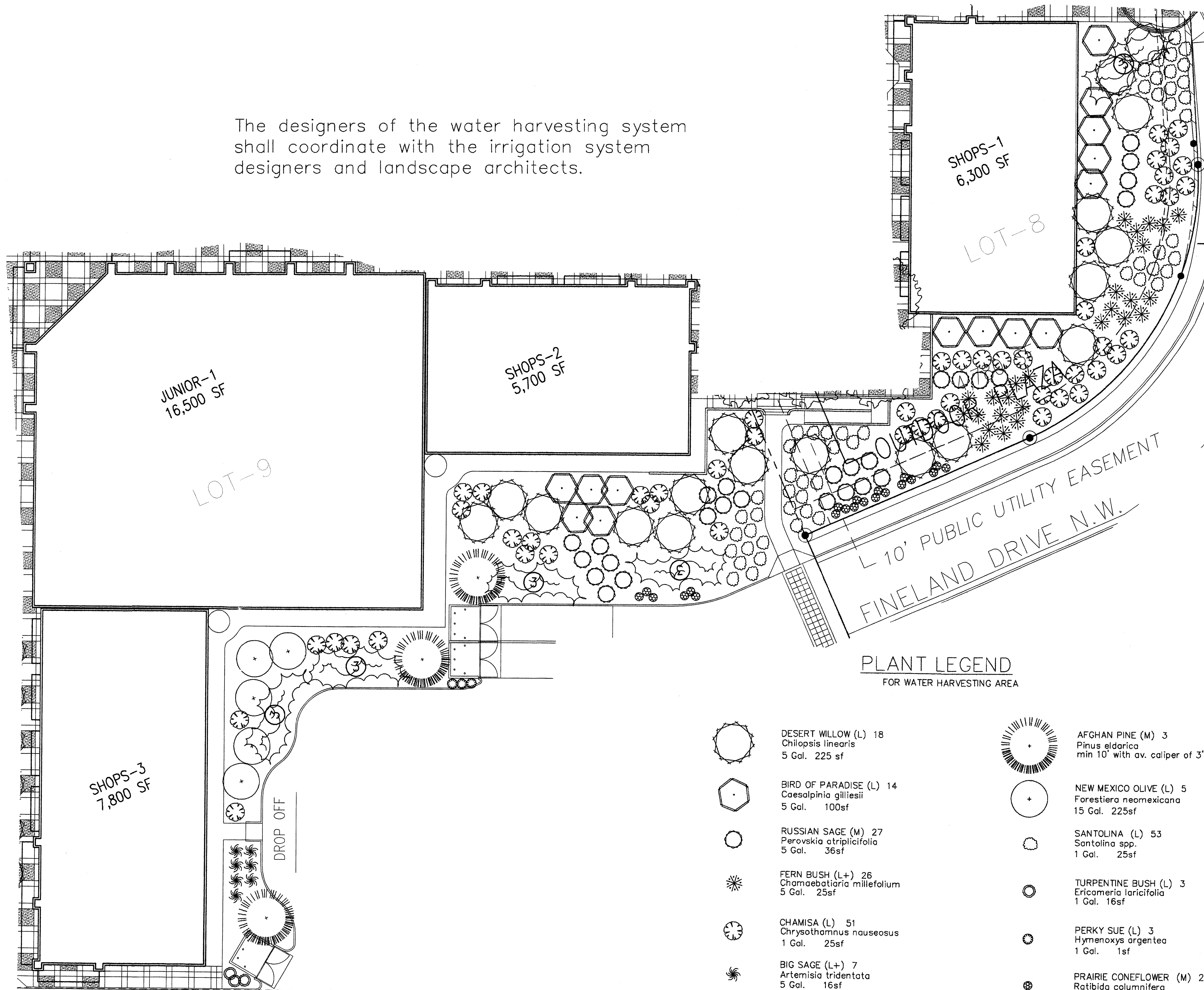
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@thehilltoplandscaping.com

REV	DATE	BY	REVISION
1	3-29-07	mm	revised site plan and comments from each
2	2-22-07	mm	revised site plan and comments
3	2-8-07	CJ	REVISED SITE PLAN
4	1-24-07	mm	site revision
5	12-4-06	adf	site revision
6	11-20-06	adf	site revision

**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE <b>McMahon Marketplace</b> S.E.C. OF UNSER AND MCMAHON ALBUQUERQUE, NEW MEXICO	JOB NO.	DRAWN BY STEPHEN DUNBAR/AVA	DRAWN DATE mm 10-19-06
PROJECT MANAGER		SHEET TITLE <b>CONCEPTUAL LANDSCAPE PLAN</b>	
DATE 081505	sheet L1.1		
SCALE 1"=50'	of L1.2		

The designers of the water harvesting system shall coordinate with the irrigation system designers and landscape architects.

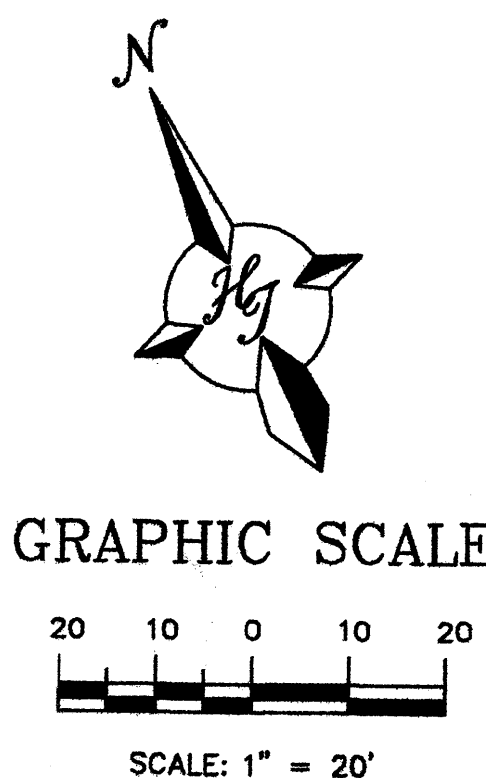


AREA TO BE IRRIGATED WITH CISTERN SYSTEM AND SUPPLEMENTAL WATER AS NEEDED. CISTERN SHALL HAVE THE CAPACITY OF 85% OF THE ADJACENT ROOFTOPS AT 1" RAIN. CISTERN SYSTEM WILL BE DESIGNED AND INSTALLED BY OTHERS.

**PLANT LEGEND**  
FOR WATER HARVESTING AREA

- |  |   |  |   |
|--|---|--|---|
|  | DESERT WILLOW (L) 18<br><i>Chilopsis linearis</i><br>5 Gal. 225 sf      |  | AFGHAN PINE (M) 3<br><i>Pinus eldarica</i><br>min 10' with av. caliper of 3"                      |
|  | BIRD OF PARADISE (L) 14<br><i>Caesalpinia gilliesii</i><br>5 Gal. 100sf |  | NEW MEXICO OLIVE (L) 5<br><i>Forestiera neomexicana</i><br>15 Gal. 225sf                          |
|  | RUSSIAN SAGE (M) 27<br><i>Perovskia atriplicifolia</i><br>5 Gal. 36sf   |  | SANTOLINA (L) 53<br><i>Santolina spp.</i><br>1 Gal. 25sf  |
|  | FERN BUSH (L+) 26<br><i>Chamaebatiaria millefolium</i><br>5 Gal. 25sf   |  | TURPENTINE BUSH (L) 3<br><i>Ericameria laricifolia</i><br>1 Gal. 16sf                             |
|  | CHAMISA (L) 51<br><i>Chrysothamnus nauseosus</i><br>1 Gal. 25sf         |  | PERKY SUE (L) 3<br><i>Hymenoxys argentea</i><br>1 Gal. 1sf  |
|  | BIG SAGE (L+) 7<br><i>Artemisia tridentata</i><br>5 Gal. 16sf           |  | PRAIRIE CONEFLOWER (M) 20<br><i>Ratibida columnifera</i><br>1 Gal. 4sf                            |
|  | SANTA FE BROWN GRAVEL<br>MULCH WITH FILTER FABRIC                       |  | WINTER JASMINE (L+) 15<br><i>Jasminum nudiflorum</i><br>1 Gal. 144sf<br>Symbol indicates 3 plants |

DETAIL OF WATER HARVESTING AREA



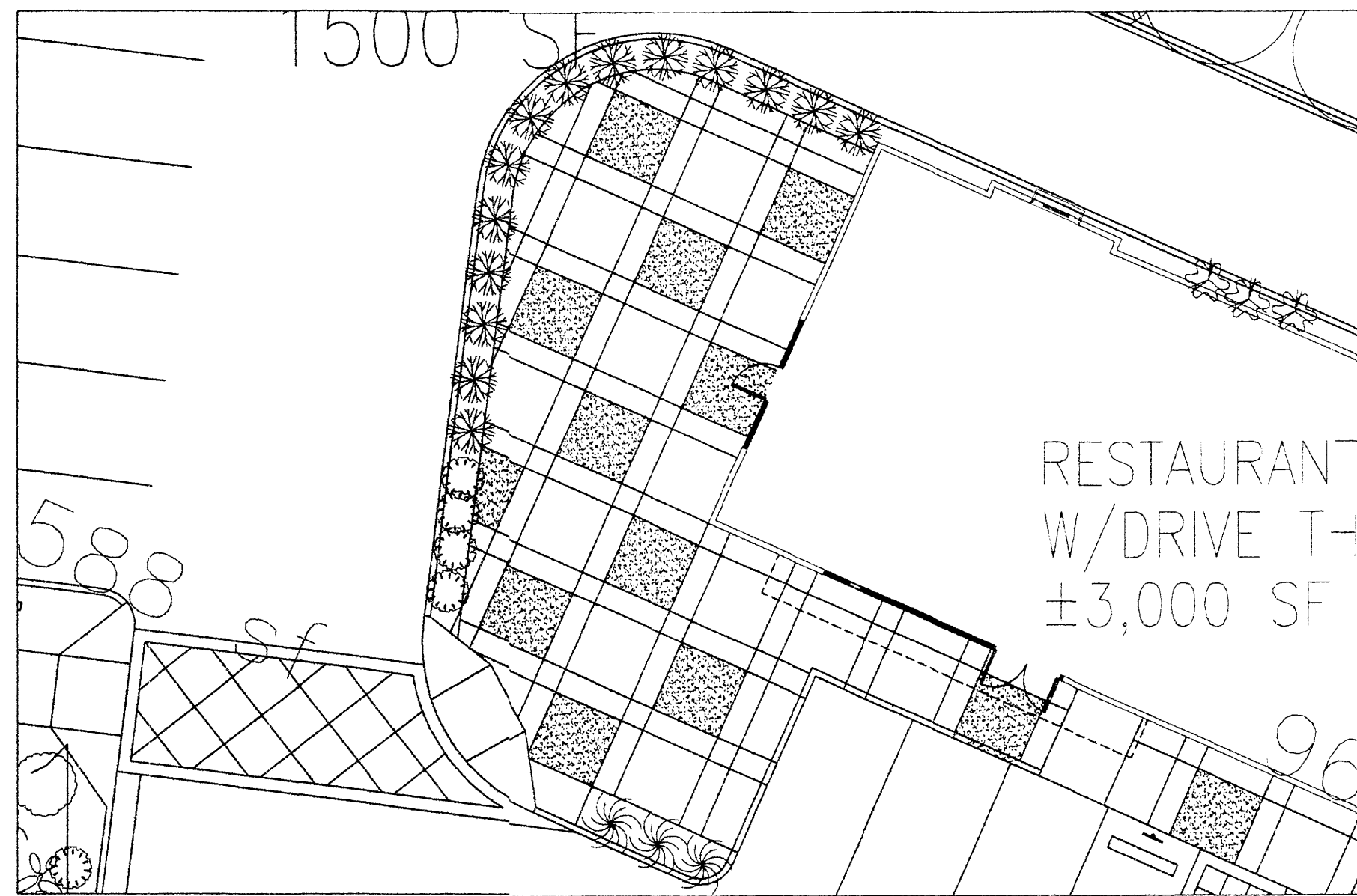
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

REV	DATE	BY	REVISION
6	3-28-07	rmm	revised site plan and comments from arch
5	2-22-07	rmm	revised site plan and comments
4	2-9-07	CJ	REVISED SITE PLAN
3	1-24-07	rmm	site revision
2	12-4-06	adf	site revision
1	11-30-06	adf	site revision

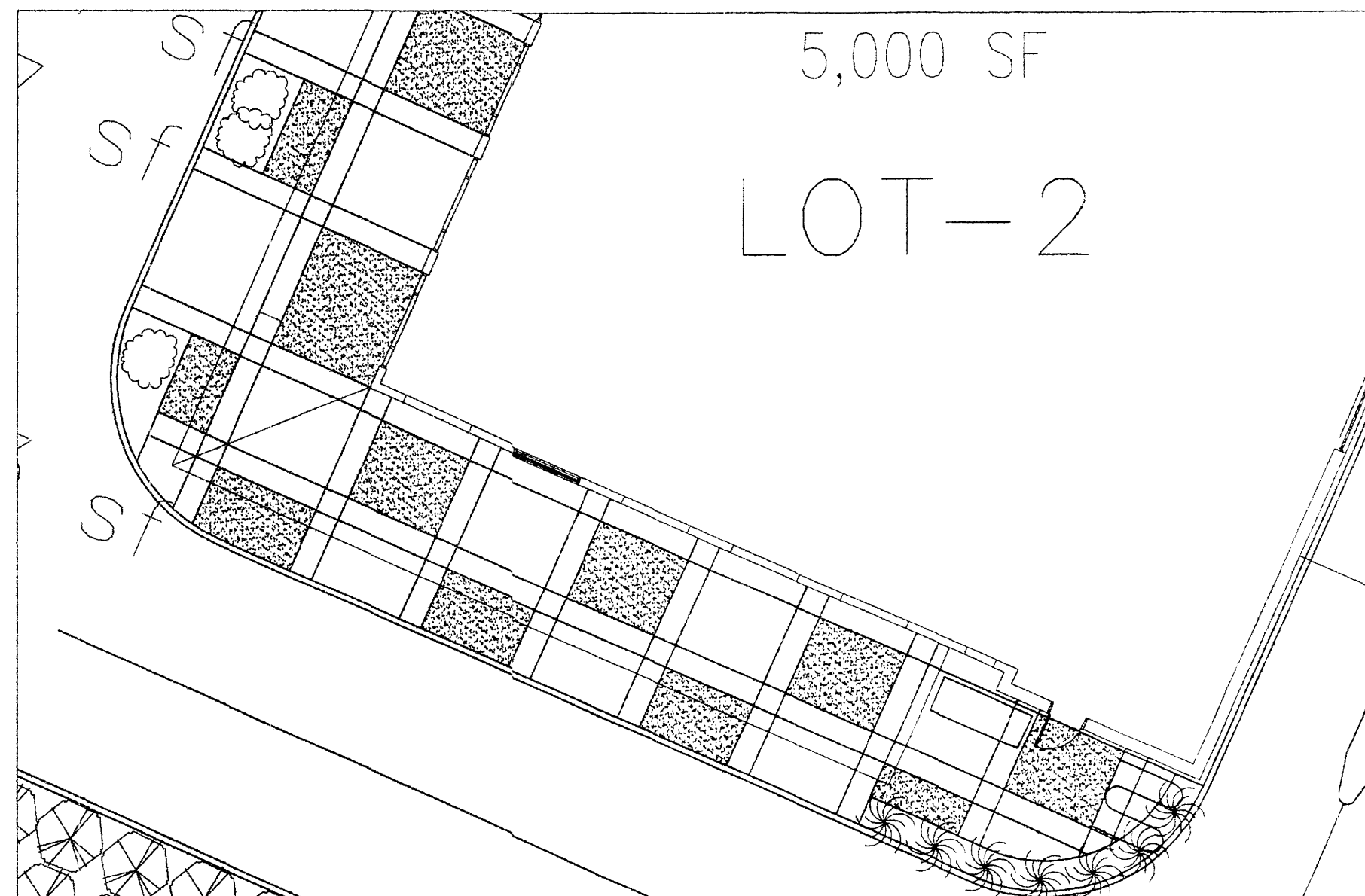
**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	McMahon Marketplace
CLIENT	S.E.C. OF UNSER AND MCMANON ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	STEPHEN DANBAR, AIA
DRAWN BY	rmm 10-19-06
JOB NO.	
SHEET TITLE	CONCEPTUAL LANDSCAPE PLAN
DATE	sheet-081505
SCALE	L1.2 of L1.2
	1"=50'

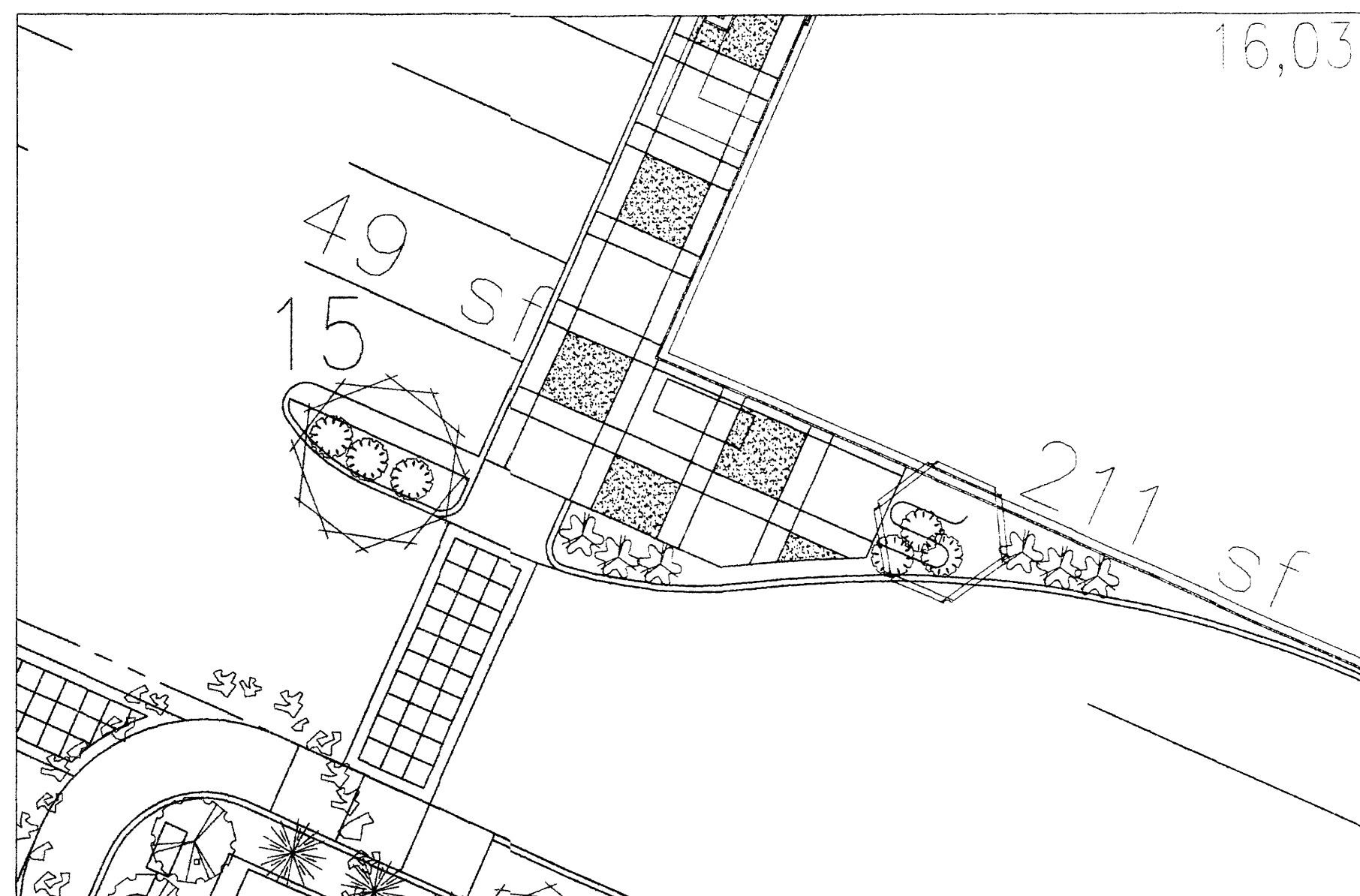
9 7-18-07 RMM comments  
8 5-21-07 RMM comments  
7 5-10-07 RMM comments & revised site



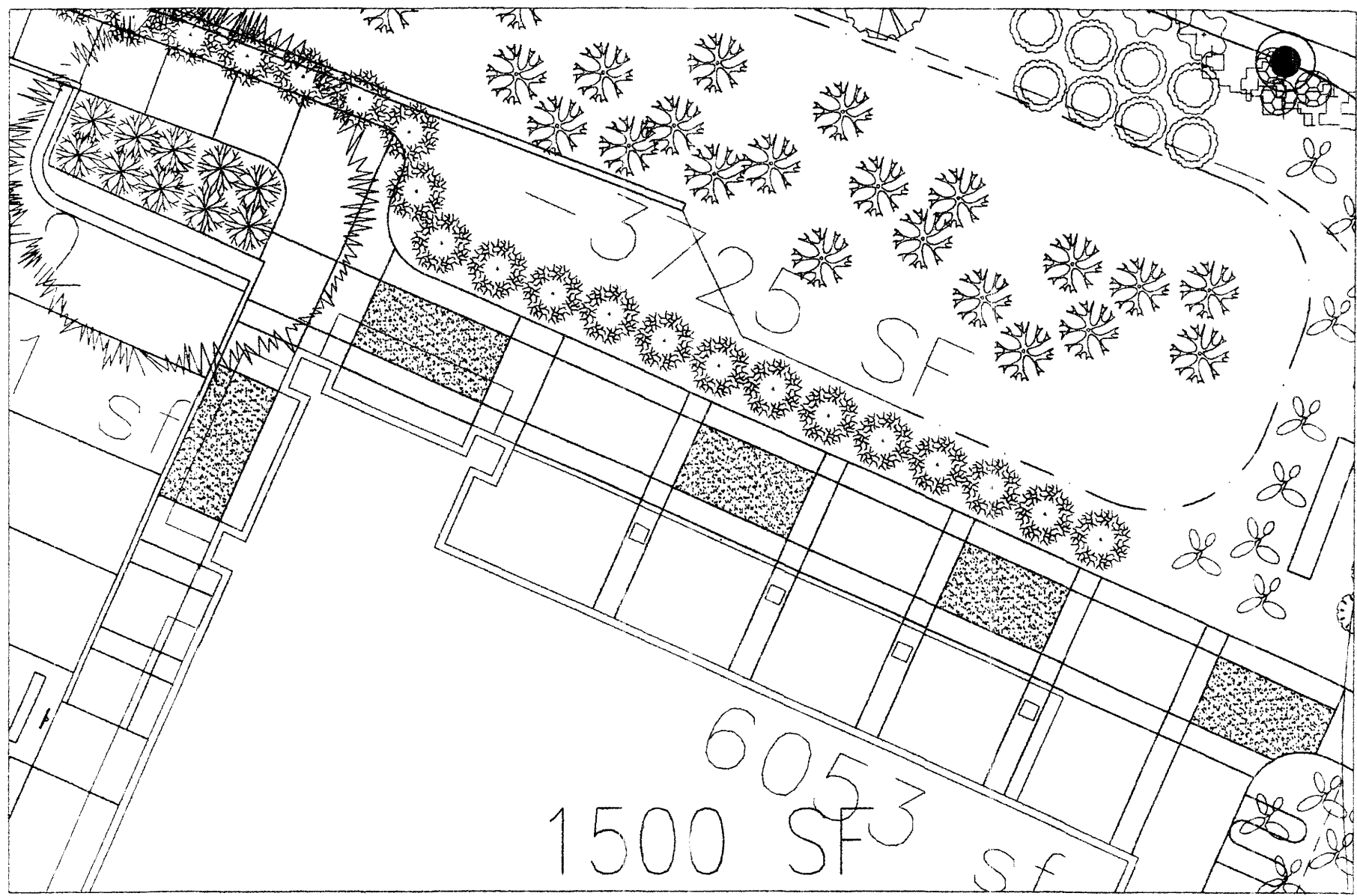
LOT 1 PROPOSED OUTDOOR AREA



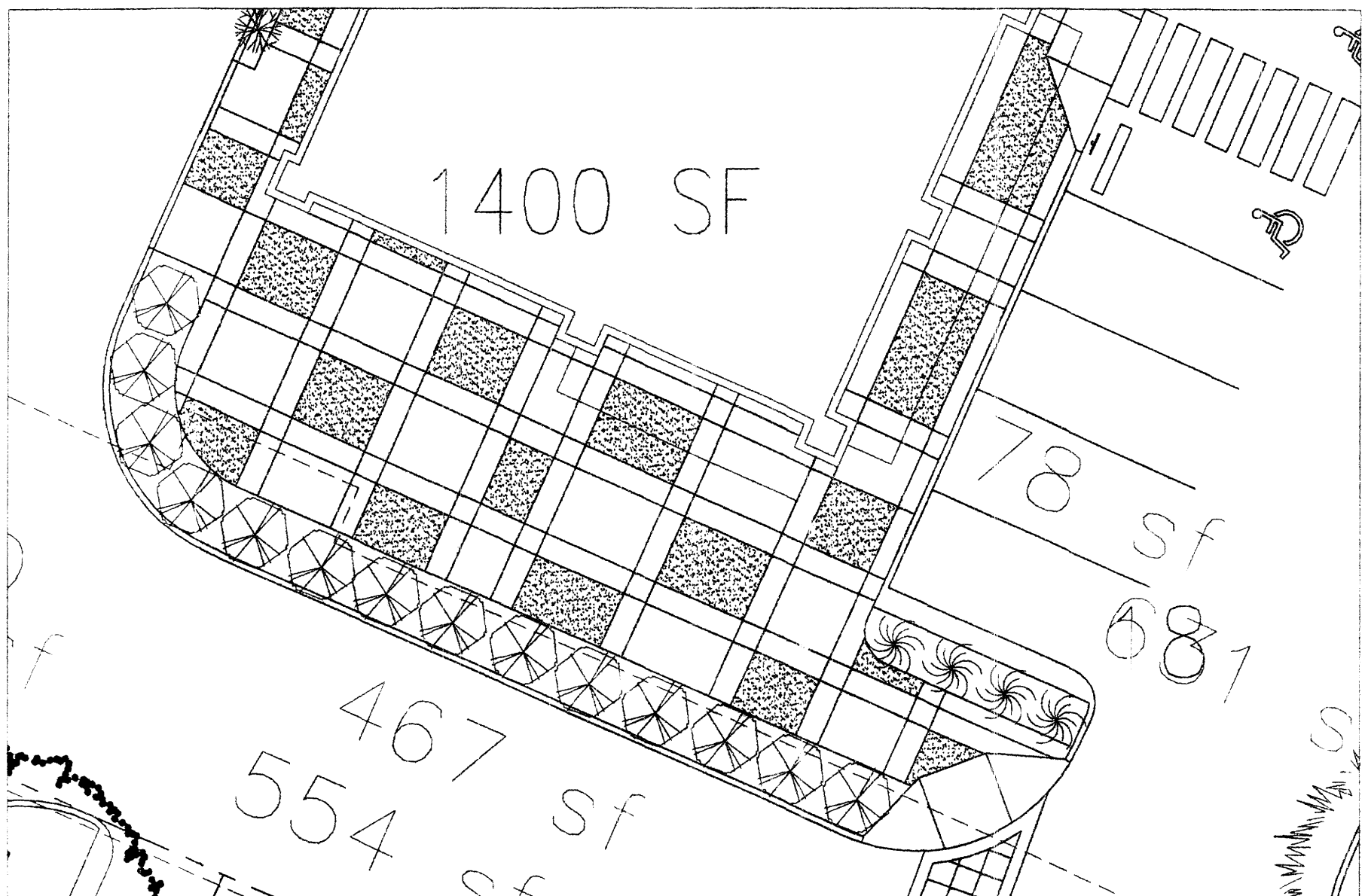
LOT 2 PROPOSED OUTDOOR AREA



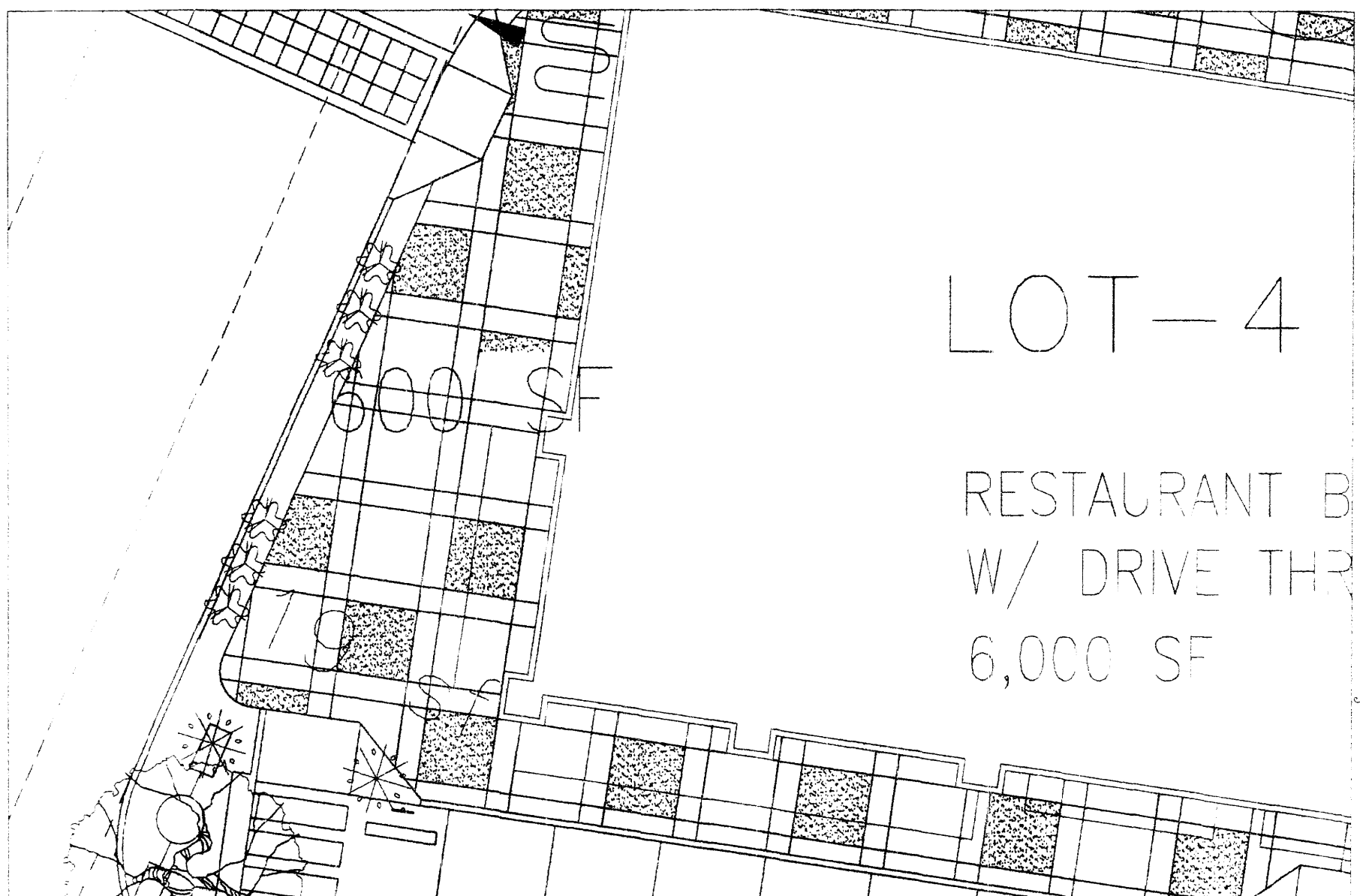
LOT 3 PROPOSED OUTDOOR AREA



LOT 7 PROPOSED OUTDOOR AREA



LOT 5 PROPOSED OUTDOOR AREA



LOT 4 PROPOSED OUTDOOR AREA

**PLANT LEGEND**

CHINESE PISTACHE (M) 26 <i>Pistacia chinensis</i> 2 Gal	WITTELEAF LINDEN (M) 9 <i>Tilia cordata</i> 2 Gal
SHUMARD OAK (M) 17 <i>Quercus shumardii</i> 2 Gal	PURPLE ROBE LOCUST (M) 14 <i>Robinia pseudoacacia</i> 2 Gal
COMMON HACKBERRY (M) 17 <i>Celastrus occidentalis</i> 2 Gal	ARGANSE PADDIA TREE (M) 8 <i>Quercus agrifolia</i> 2 Gal
CHITALPA (M) 20 <i>Chitalpa X Canapa</i> 2 Gal	GLOBE WILLOW (M) 8 <i>Salix glauca</i> 2 Gal
DESERT WILLOW (L) 54 <i>Salix lasiolepis</i> 2 Gal	AFGHAN PINE (M) 23 <i>Pinus edulis</i> min 10' with ov. caliper of 3"
SILVERBERRY (M) 50 <i>Erigeron phillyria</i> 2 Gal	GREEN GIANT ARBOVITAE (M) 17 <i>Thuja glauca</i> min 10' with ov. caliper of 2"
BUTTERFLY BUSH (M) 11 <i>Buddleia davidii</i> 2 Gal	NEW MEXICO OLIVE (L) 47 <i>Forsythia rooseae</i> 15 Gal
BIRD OF PARADISE (L) 16 <i>Passiflora ligularis</i> 1 Gal	PRICKLY PEAR (L) 126 <i>Cylindropuntia</i> 5 Gal
GIANT SACATON (M) 156 <i>Opuntia basilaris</i> 5 Gal	CHAMISA (L) 84 <i>Opuntia roseuseus</i> 1 Gal
RUSSIAN SAGE (M) 58 <i>Perovskia atrorubra</i> 5 Gal	SANTOLINA (L) 82 <i>Santolina</i> 1 Gal
CLIFFORDIA (M) 63 <i>Cliffordia</i> 5 Gal	POWERS CASTLE SAGE (L) 81 <i>Artemisia tridentata</i> 1 Gal
INDIAN HAWTHORN (M) 56 <i>Rhamnus indica</i> 5 Gal	TURPENTINE BUSH (L) 176 <i>Quercus agrifolia</i> 1 Gal
FERM BUSH (L) 75 <i>Ononis montana</i> 2 Gal	AUTUMN SAGE (M) 73 <i>Salvia greggii</i> 1 Gal
INDIAN HAWTHORN (M) 56 <i>Rhamnus indica</i> 5 Gal	POTENTILLA (M) 52 <i>Potentilla fruticosa</i> 1 Gal
PRUNE PLUM (L) 147 <i>Prunella sp.</i> 2 Gal	BRASSICA CONIFLOWER (M) 100 <i>Brassica</i> 1 Gal
BIG SAGE (L) 87 <i>Salvia rigida</i> 2 Gal	THREADESS (M) 127 <i>Threades</i> 1 Gal
BLUE SOTOL (L) 40 <i>Dasiphora</i> 2 Gal	PERKY SUE (L) 173 <i>Hydrangea</i> 1 Gal
REAL MIST (M) 80 <i>Wibauxia</i> 5 Gal	WINTER LAMINE (L) 54 <i>Winter Lamine</i> 1 Gal
RED YUCCA (L) 85 <i>Yucca rostrata</i> 5 Gal	HONEYBUCKLE (M) 81 <i>Lonicera</i> 1 Gal
CHEWLEAF COTONEASTER (M) 30 <i>Cotoneaster</i> 2 Gal	WINTER LAMINE (L) 54 <i>Winter Lamine</i> 1 Gal
SANTA FE BROWN GRAPE MULCH WITH WATER FABRIC	BOULDER MORTAR 1

LOT 8-9 PROPOSED PLAZA AREA



**REVISION**

REV	DATE	BY	REVISION
1	3-28-07	mm	revised site plan and comments from arch
2	2-22-07	CJJ	revised site plan and comments
3	2-8-07	mm	REVISED SITE PLAN
4	1-24-07	mm	site revision
5	12-4-06	mm	site revision
6	11-20-06	mm	site revision

**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

**McMahon Marketplace**  
 S.E.C. OF UNSER AND McMAHON  
 ALBUQUERQUE, NEW MEXICO

**PROJECT MANAGER**  
 STEPHEN DUNBAR, AIA

**DRAWN BY**  
 mm 10-19-06

**SHEET TITLE**  
 OUTDOOR SEATING SPACES

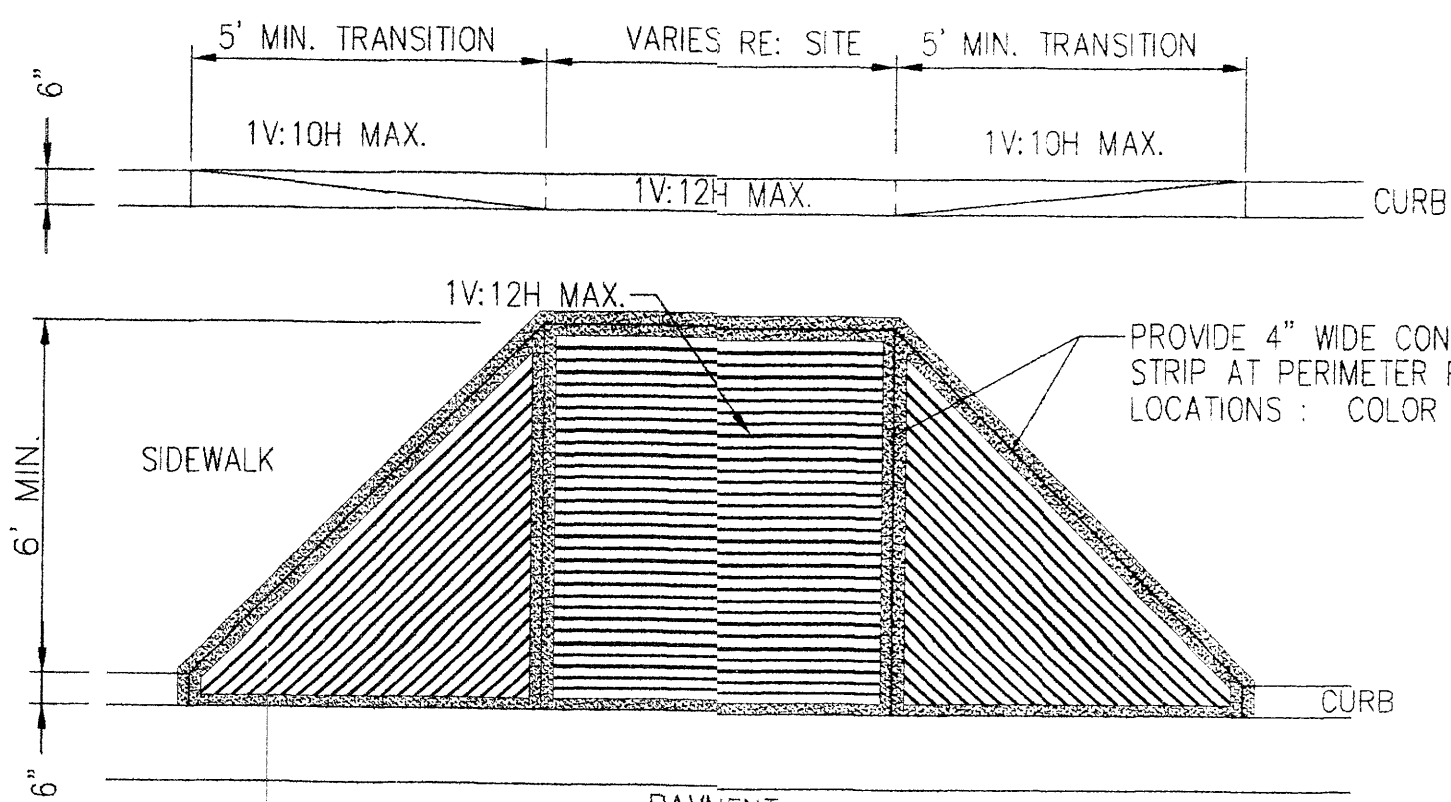
**DATE**  
 081505

**SCALE**  
 1"=50'

**sheet**  
 L1.3

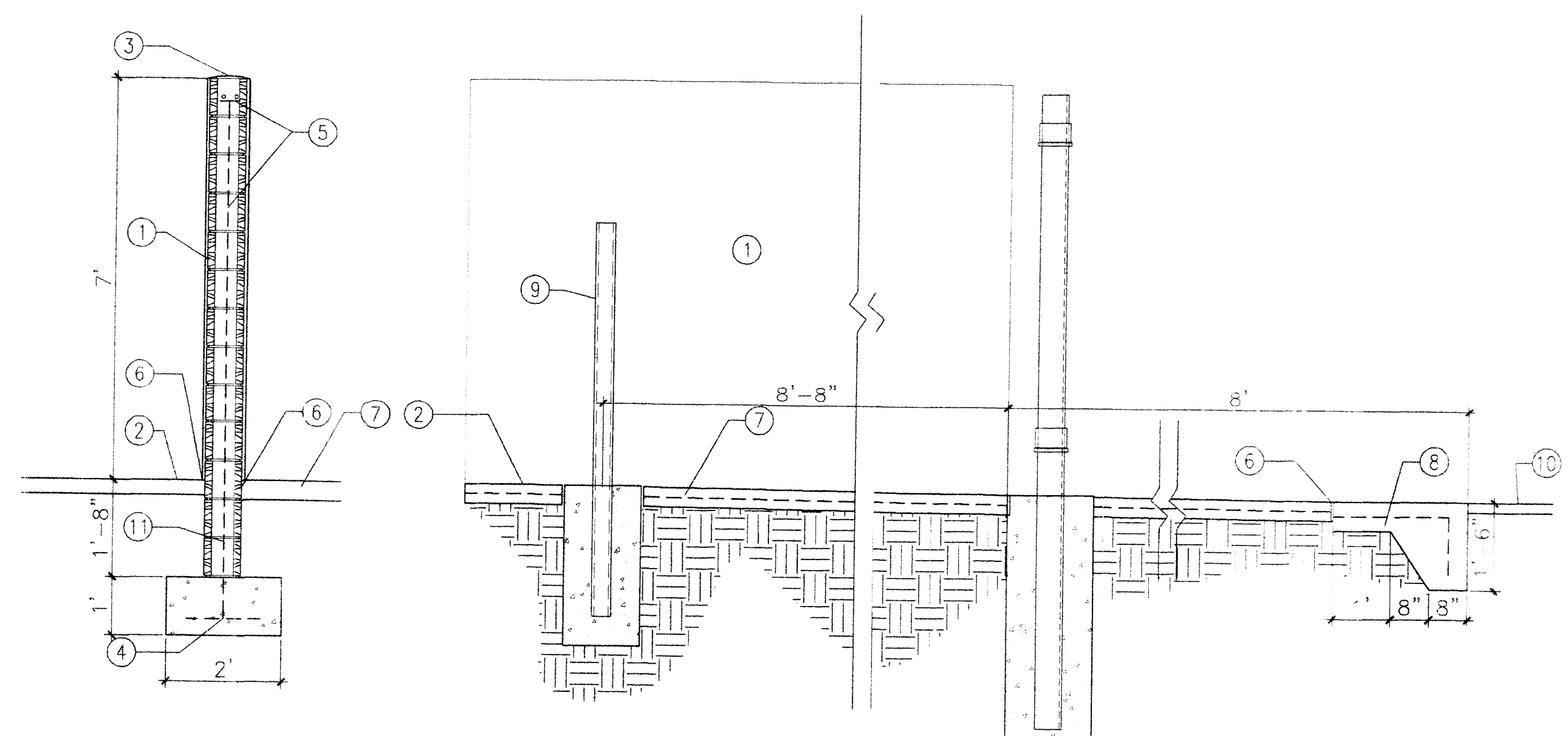
**The Hilltop**  
 LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edin N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9653  
 Fax (505) 898-7737  
 cmj@hilltoplandscaping.com

*Plantings to be provided as shown on sheet A3.1*



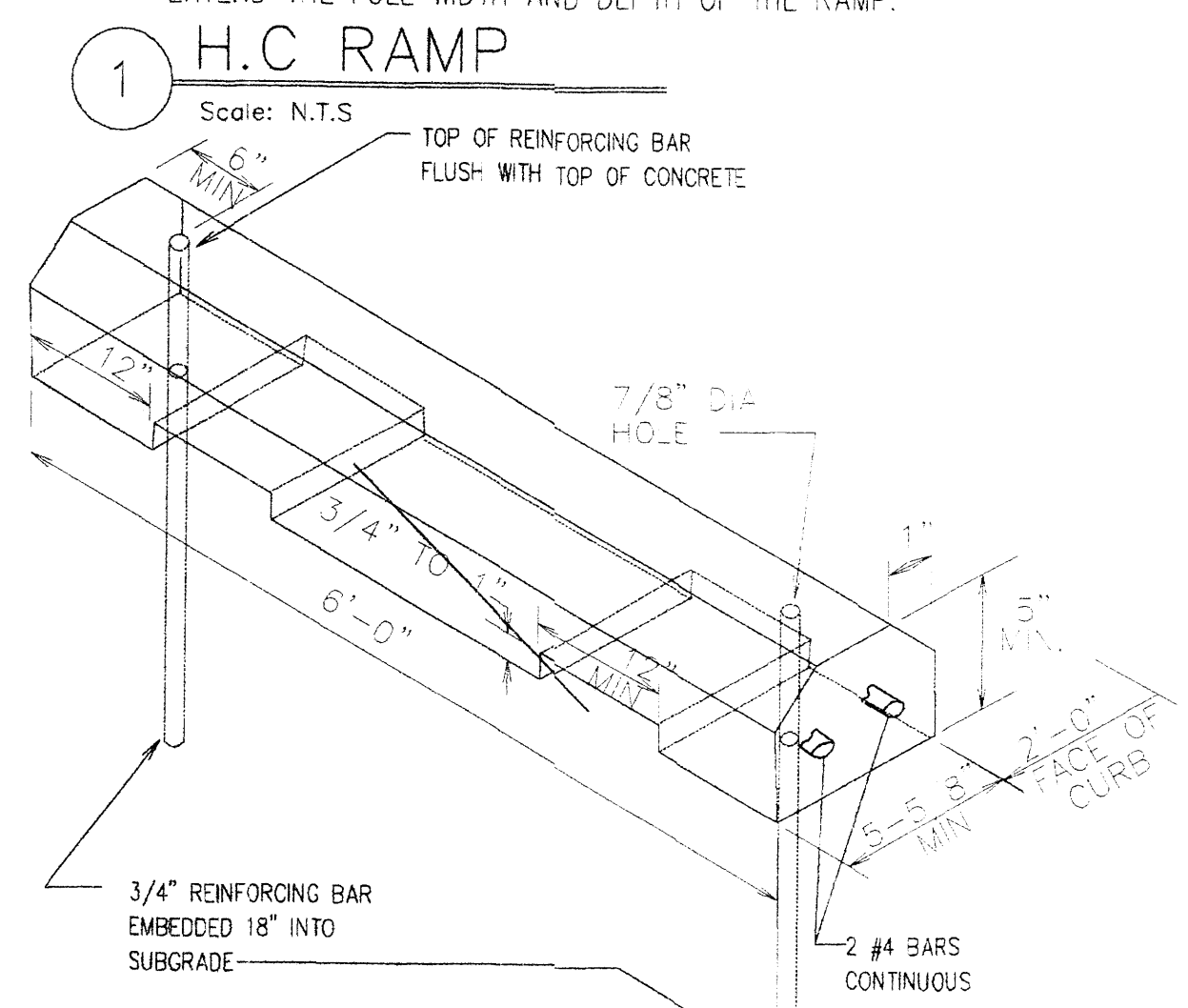
- KEYED NOTES**
- 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR TO MATCH ADJACENT BUILDING COLOR.
  - FINISH GRADE.
  - SLOPE STUCCO CAP.
  - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS. #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURAWALL @ 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
  - 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAVING
  - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

**7 ENCLOSURE NOTES**  
Scale: N.T.S.

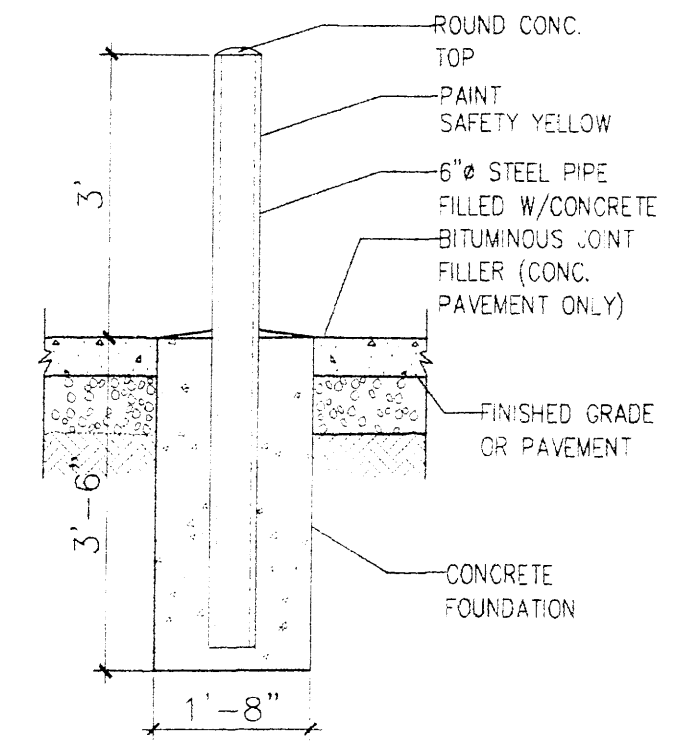


**10 DUMPSTER SEC**  
Scale: 1/2"=1'-0"

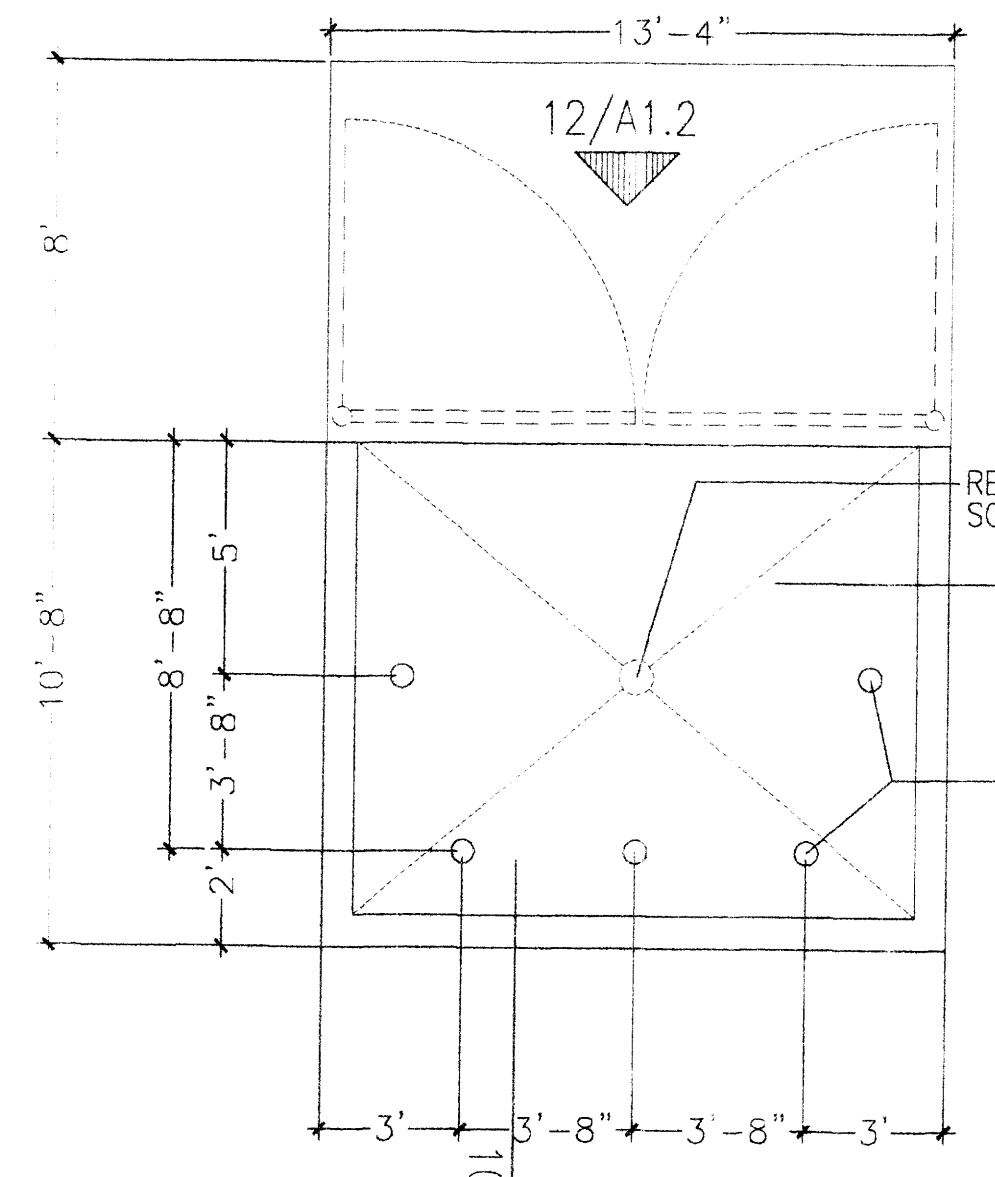
**11 DUMPSTER SEC**  
Scale: 1/2"=1'-0"



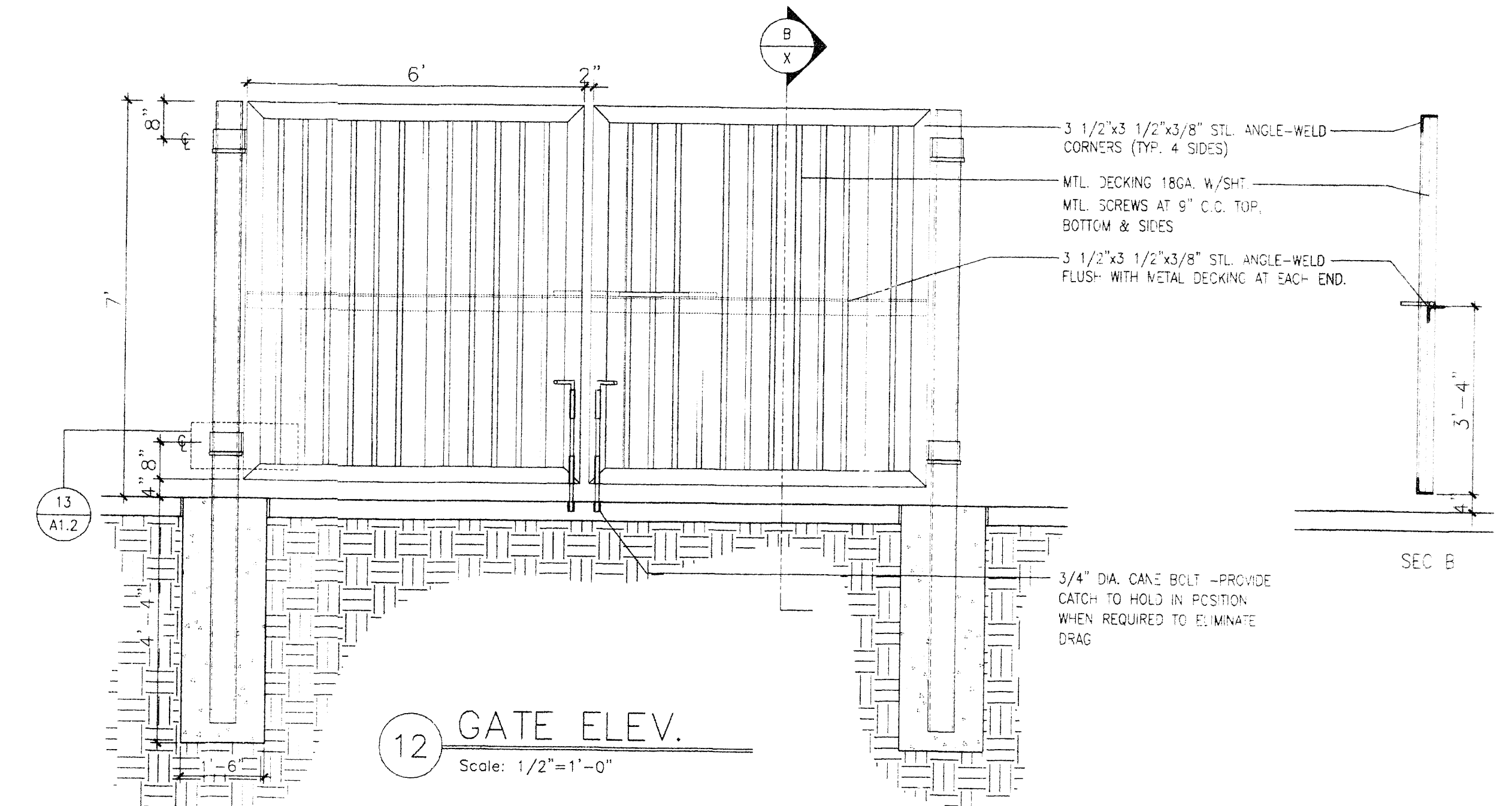
**1 H.C RAMP**  
Scale: N.T.S.



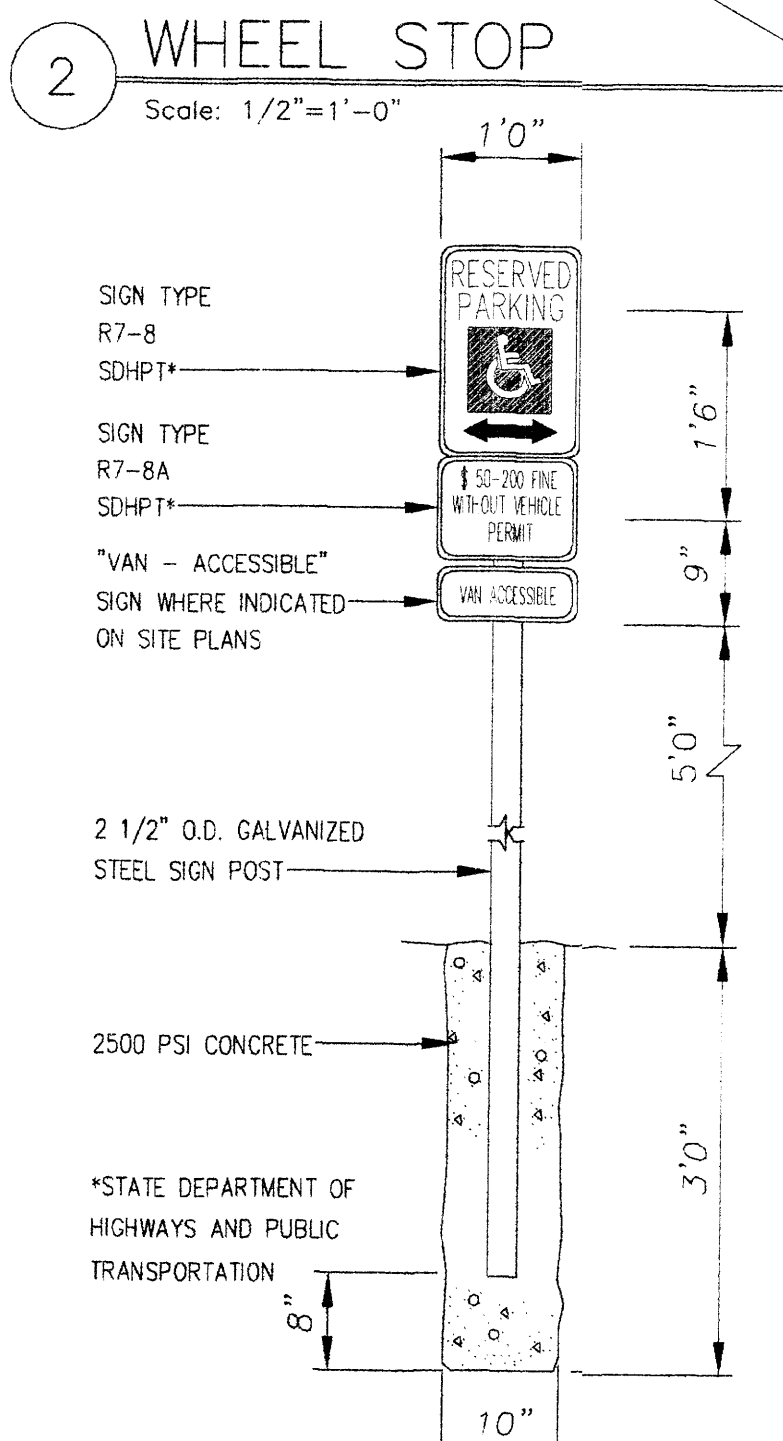
**5 BOLLARD DETAIL**  
Scale: 1/2"=1'-0"



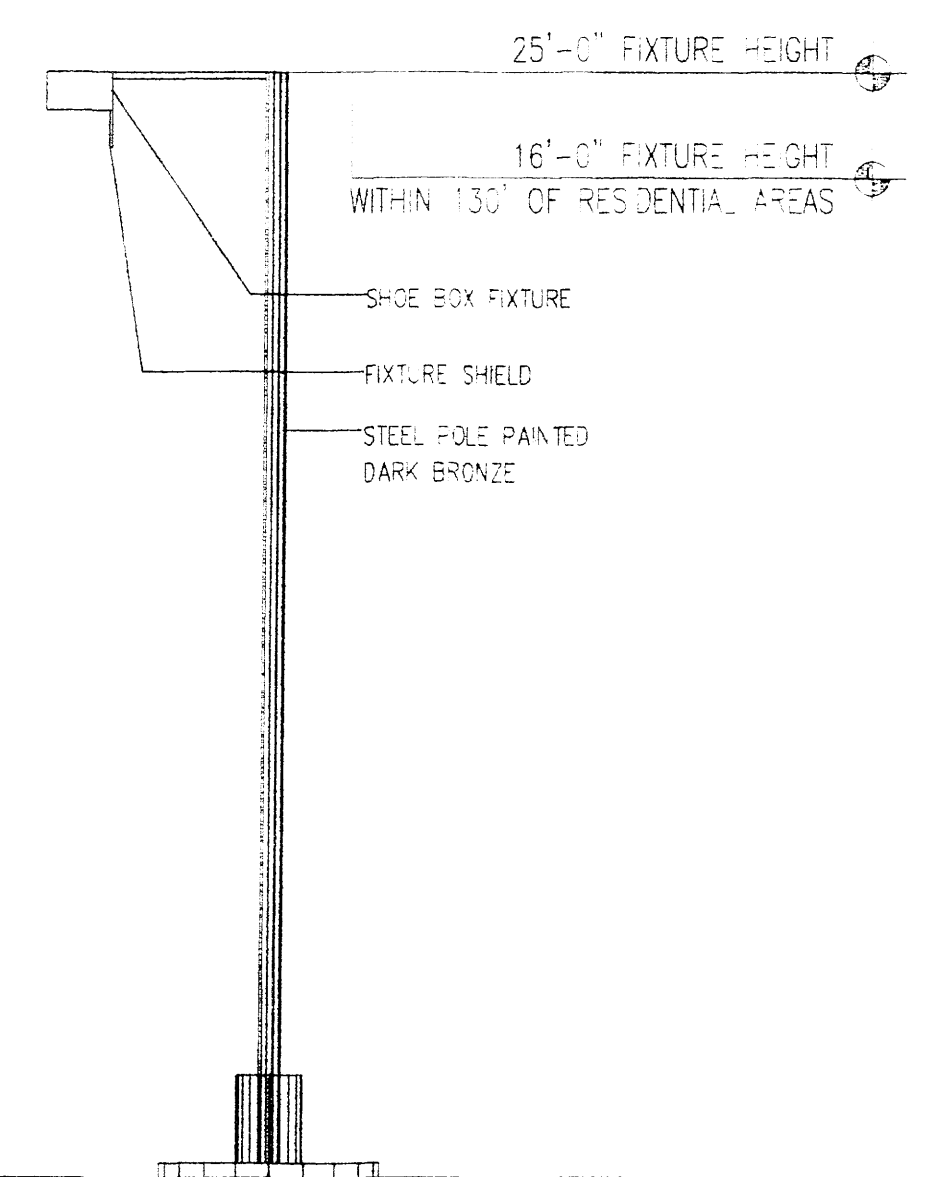
**8 DUMPSTER PLAN**  
Scale: 1/2"=1'-0"



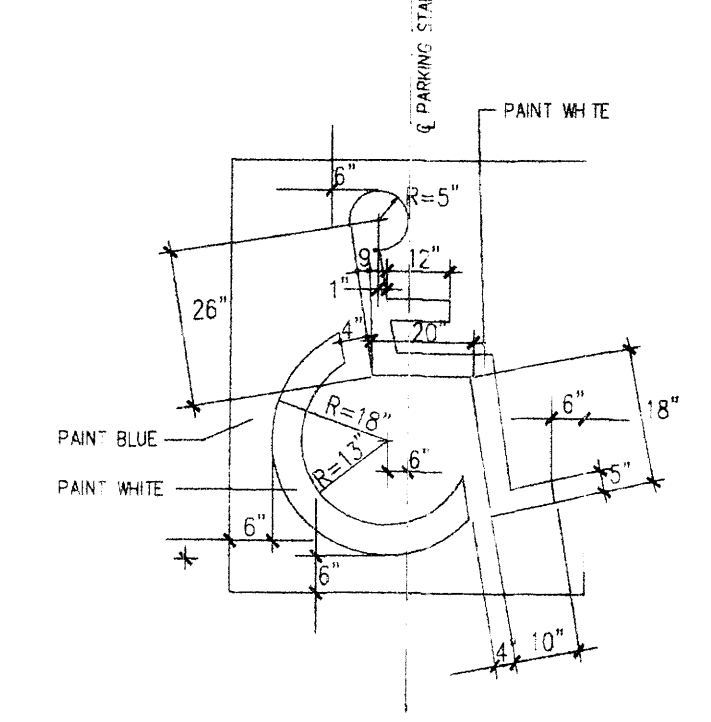
**12 GATE ELEV.**  
Scale: 1/2"=1'-0"



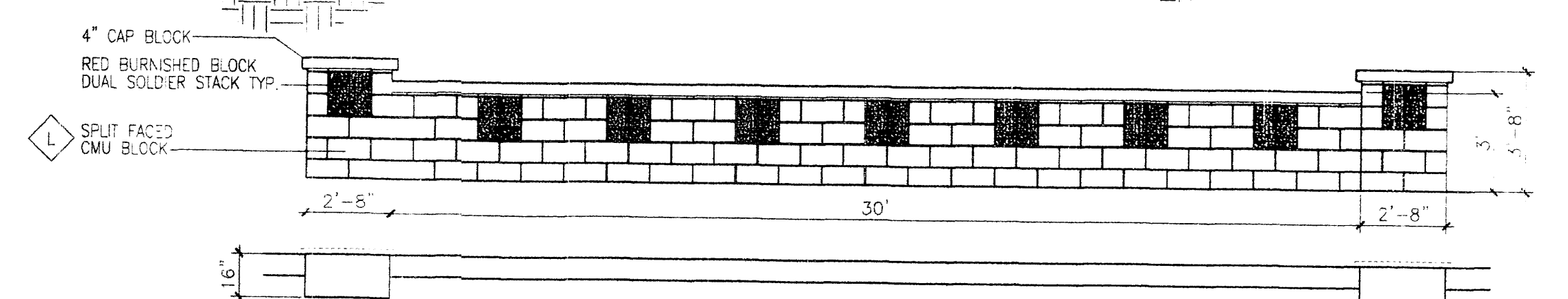
**2 WHEEL STOP**  
Scale: 1/2"=1'-0"



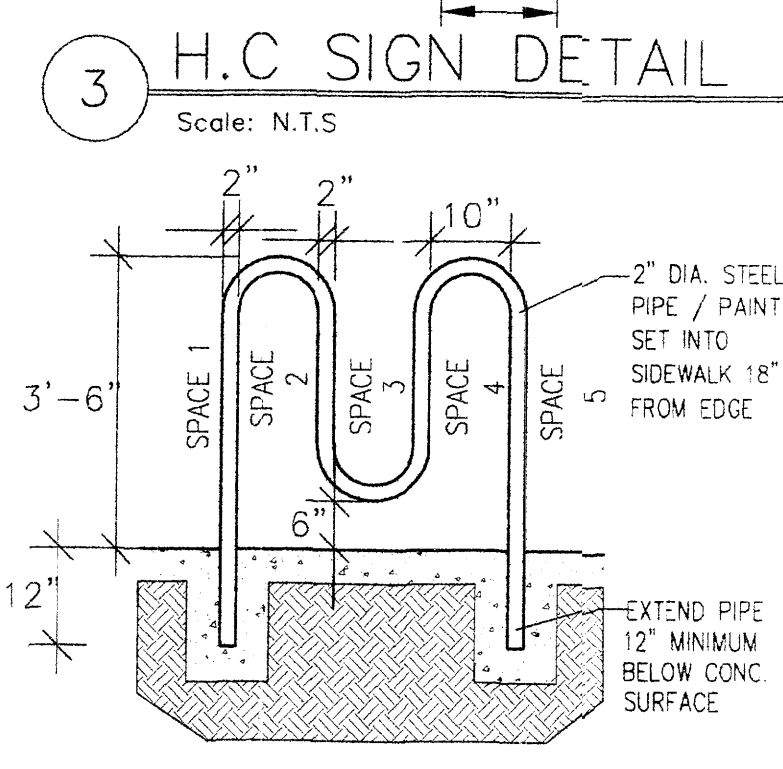
**6 LIGHT POLE DETAIL**  
Scale: N.T.S.



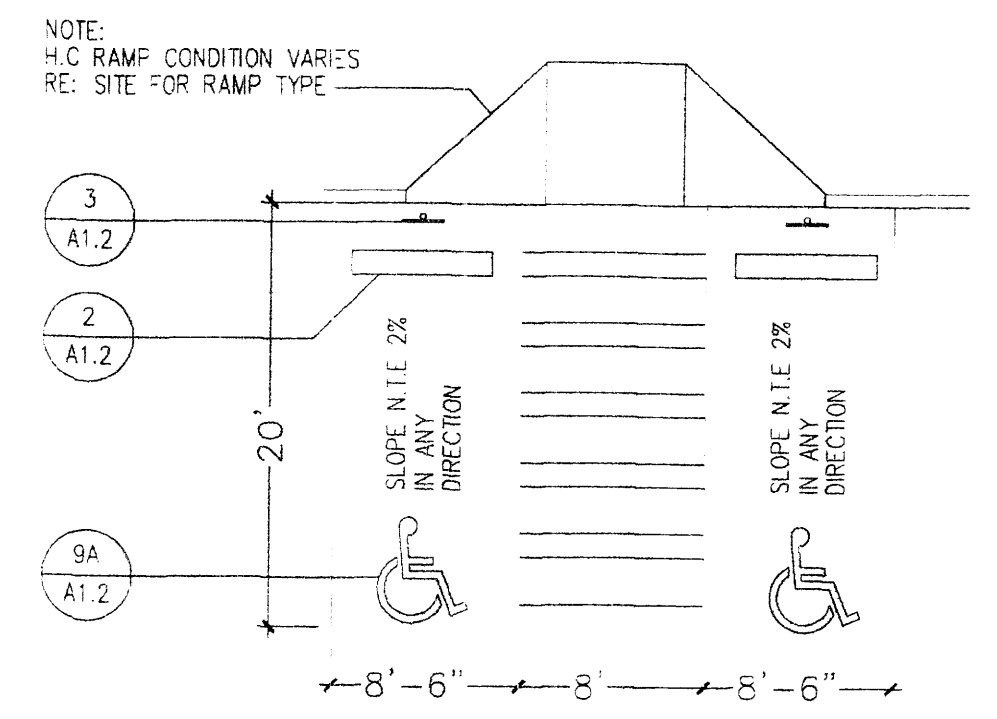
**9A H.C SYMBOL**  
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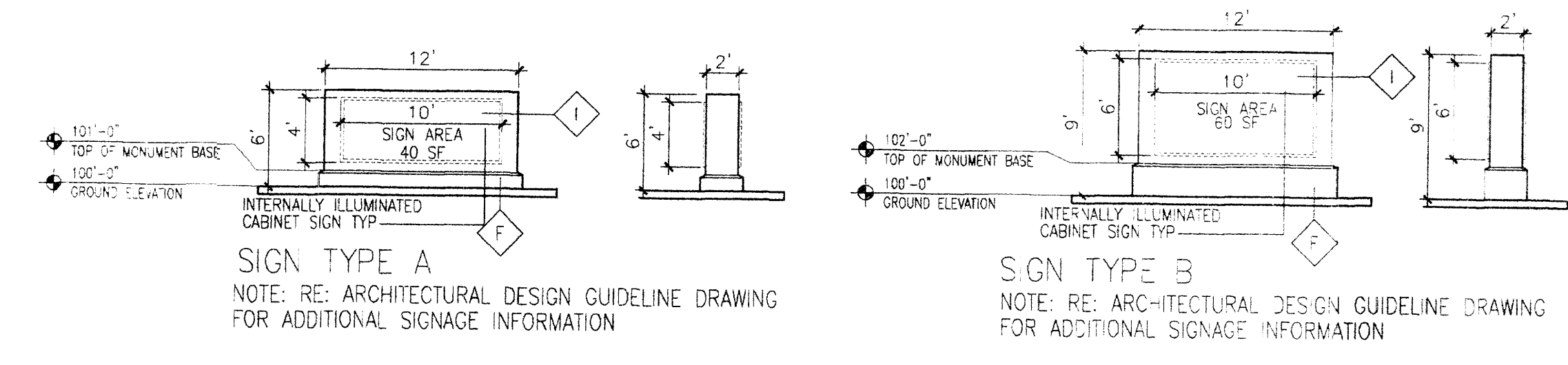
**14 SCREEN WALL ELEV (TYP 30' SECTION)**  
Scale: 1/2"=1'-0"



**4 BIKE RACK**  
Scale: 1/2"=1'-0"



**9 H.C TYP. PARKING DET.**  
Scale: 1"=1'-0"



**13 MONUMENT SIGN ELEVATIONS**  
Scale: N.T.S.

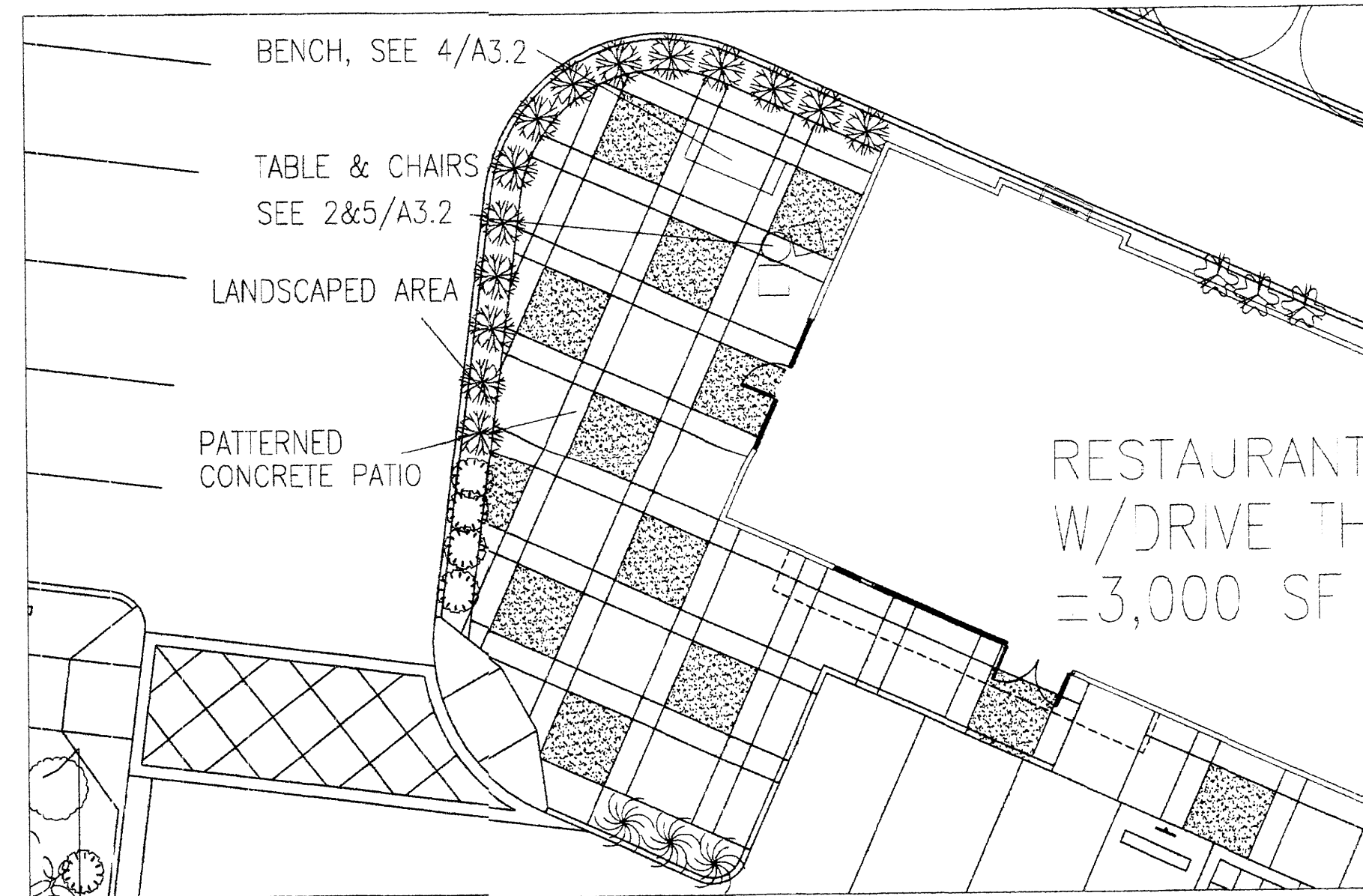
REV	DATE	BY	REVISION
1			
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GEORGE RAINHART ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-8777

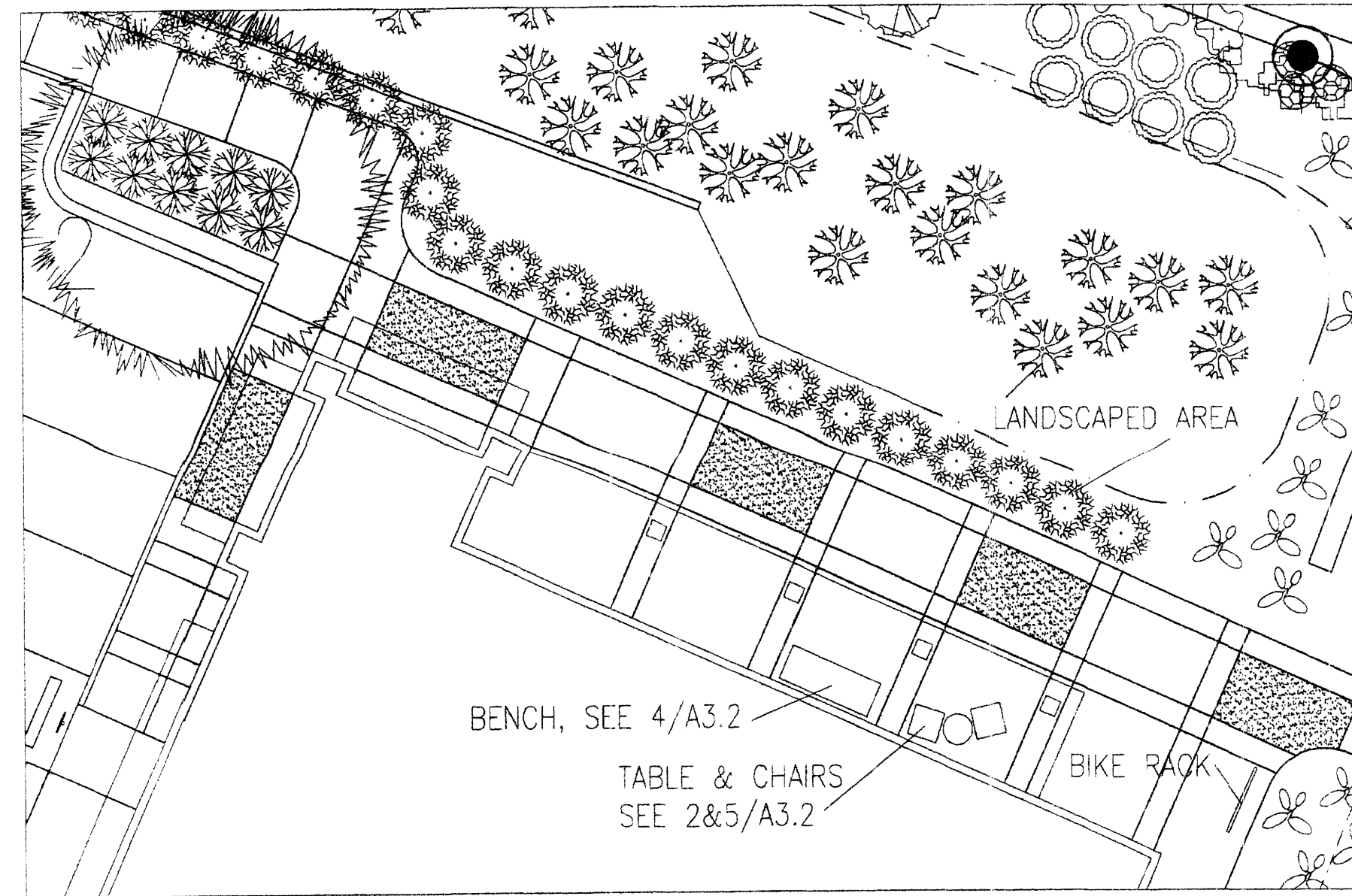
PROJECT TITLE  
MCMAHON MARKETPLACE  
S.E.C. OF UNSER AND MCMAHON BLVD  
ALBUQUERQUE, NEW MEXICO

JOB NO. 0670  
PROJECT MANAGER STEPHEN DUNBAR, AIA  
DRAWN BY: SD  
SHEET TITLE  
SITE DETAILS

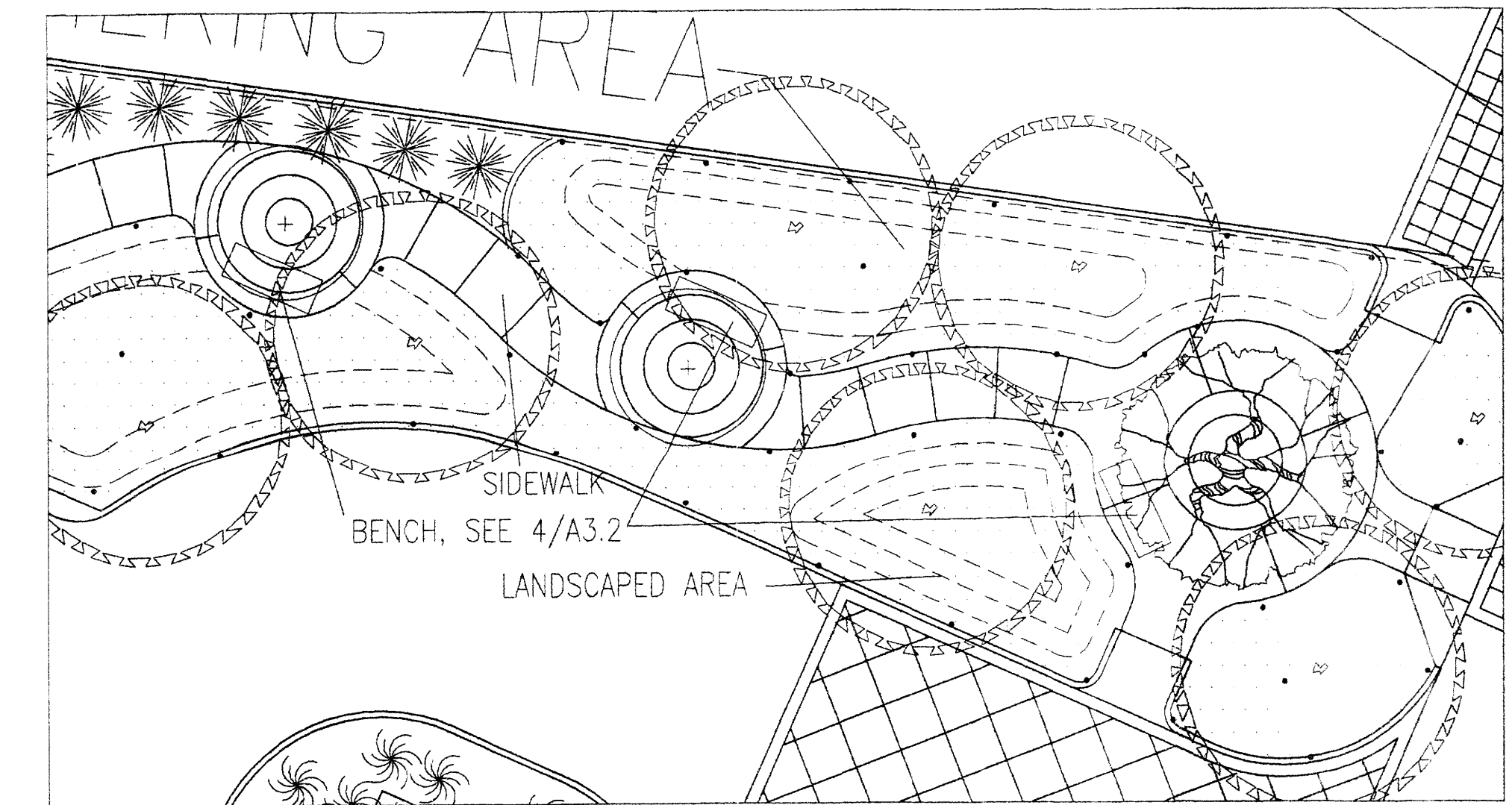
DATE: 12/6/06  
SCALE: 1/8"=1'-0"  
sheet-  
A3.0  
of-



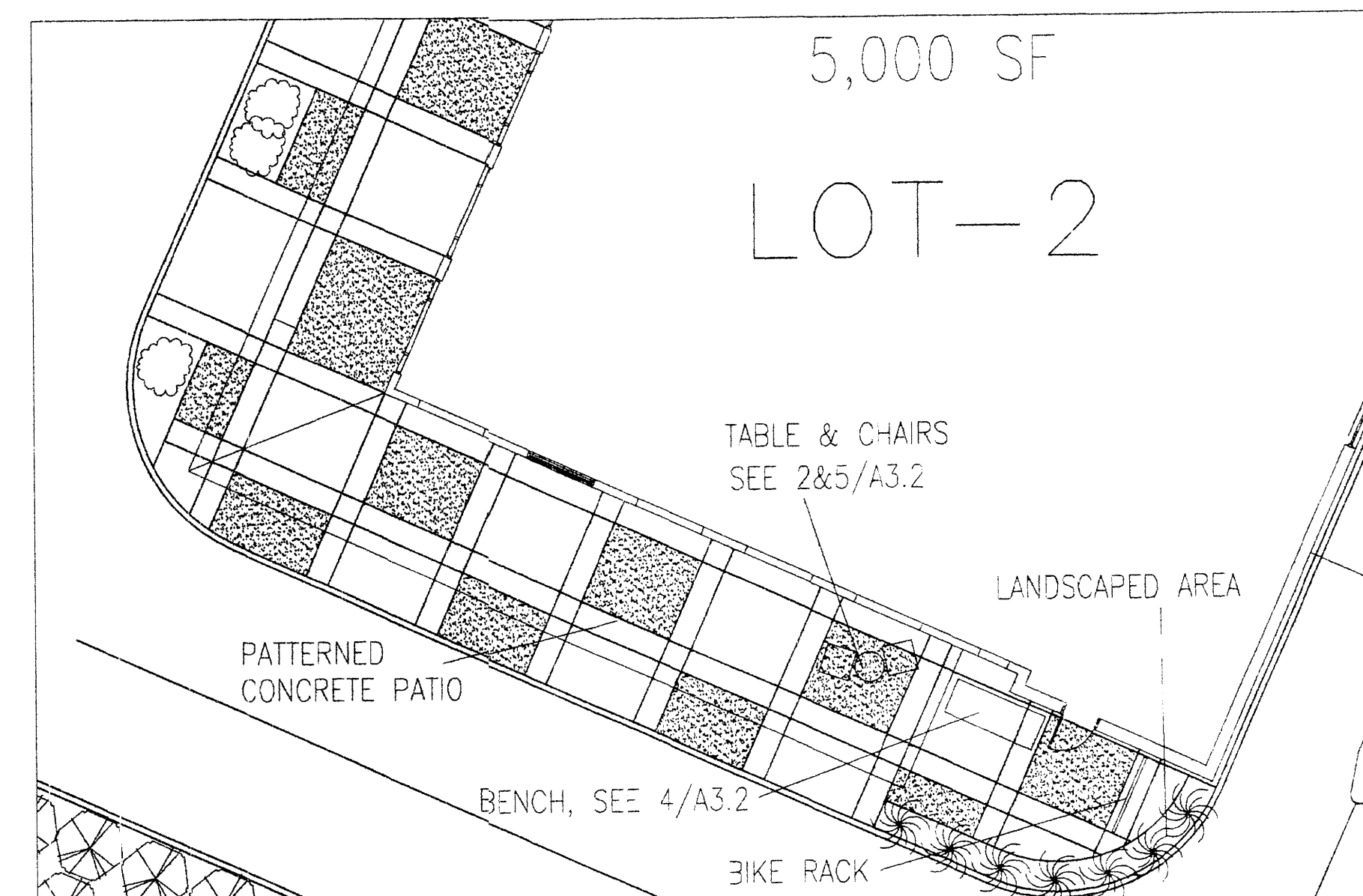
LOT 1 PROPOSED OUTDOOR AREA



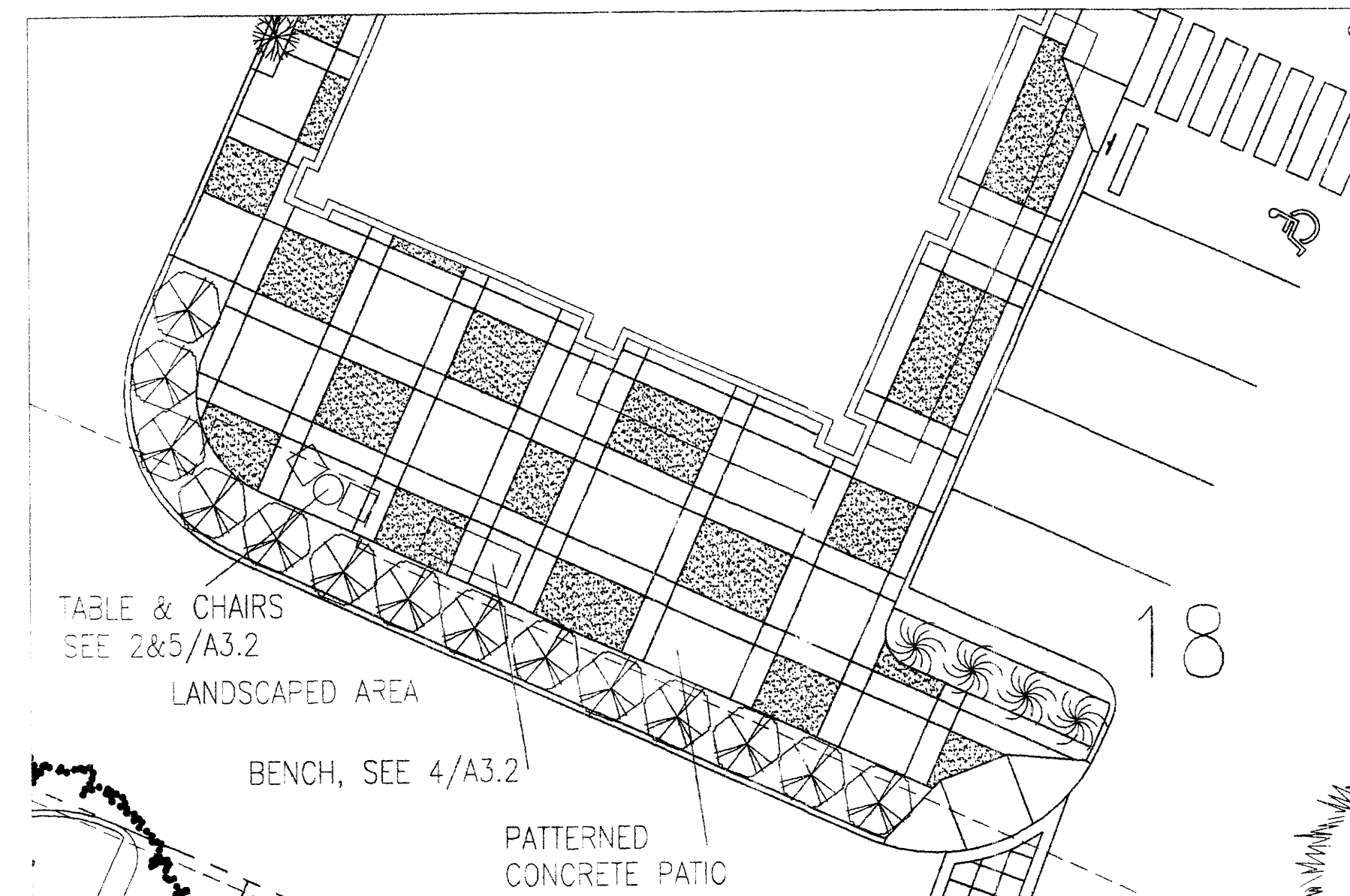
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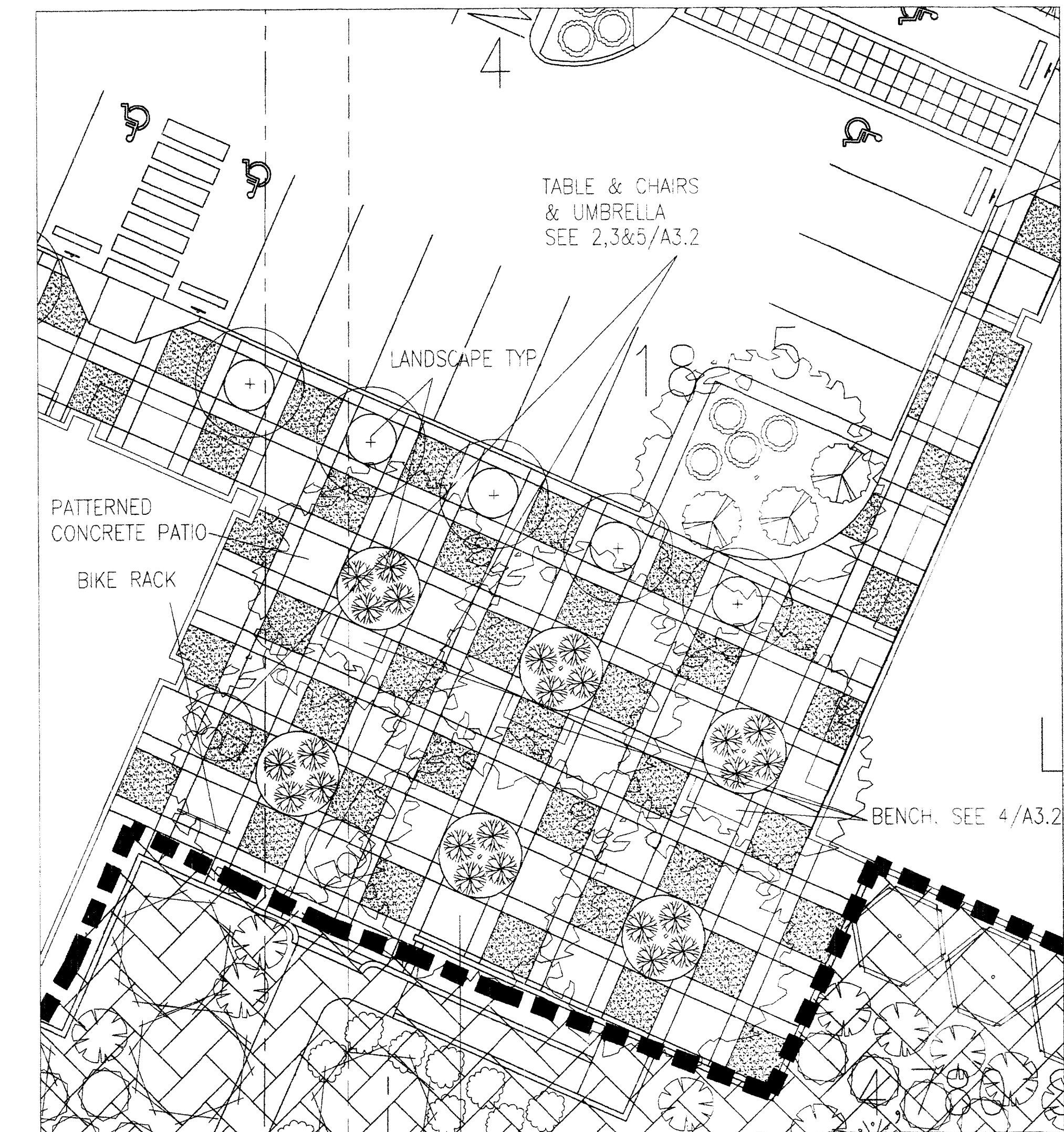
PROPOSED GATHERING AREA



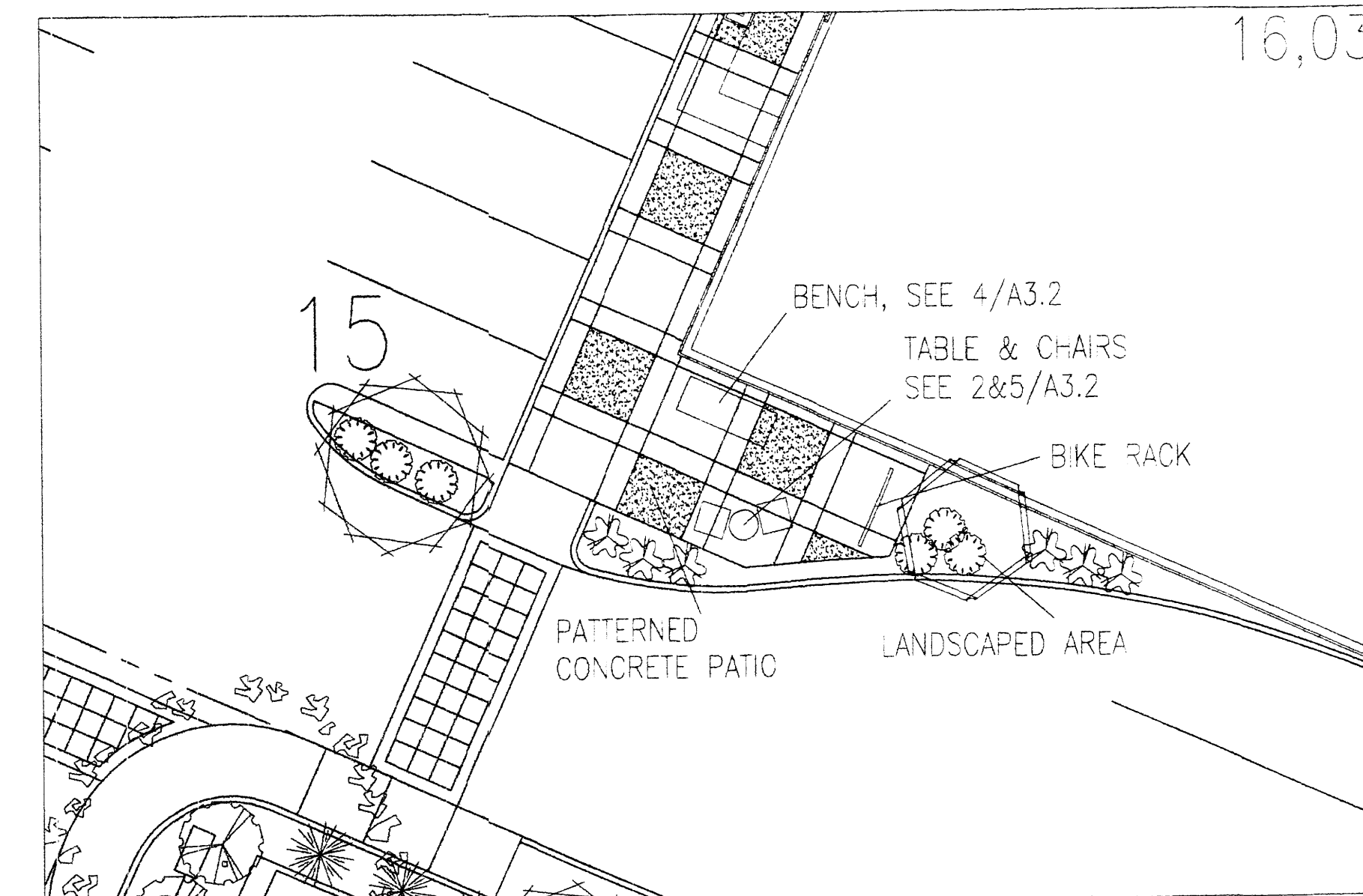
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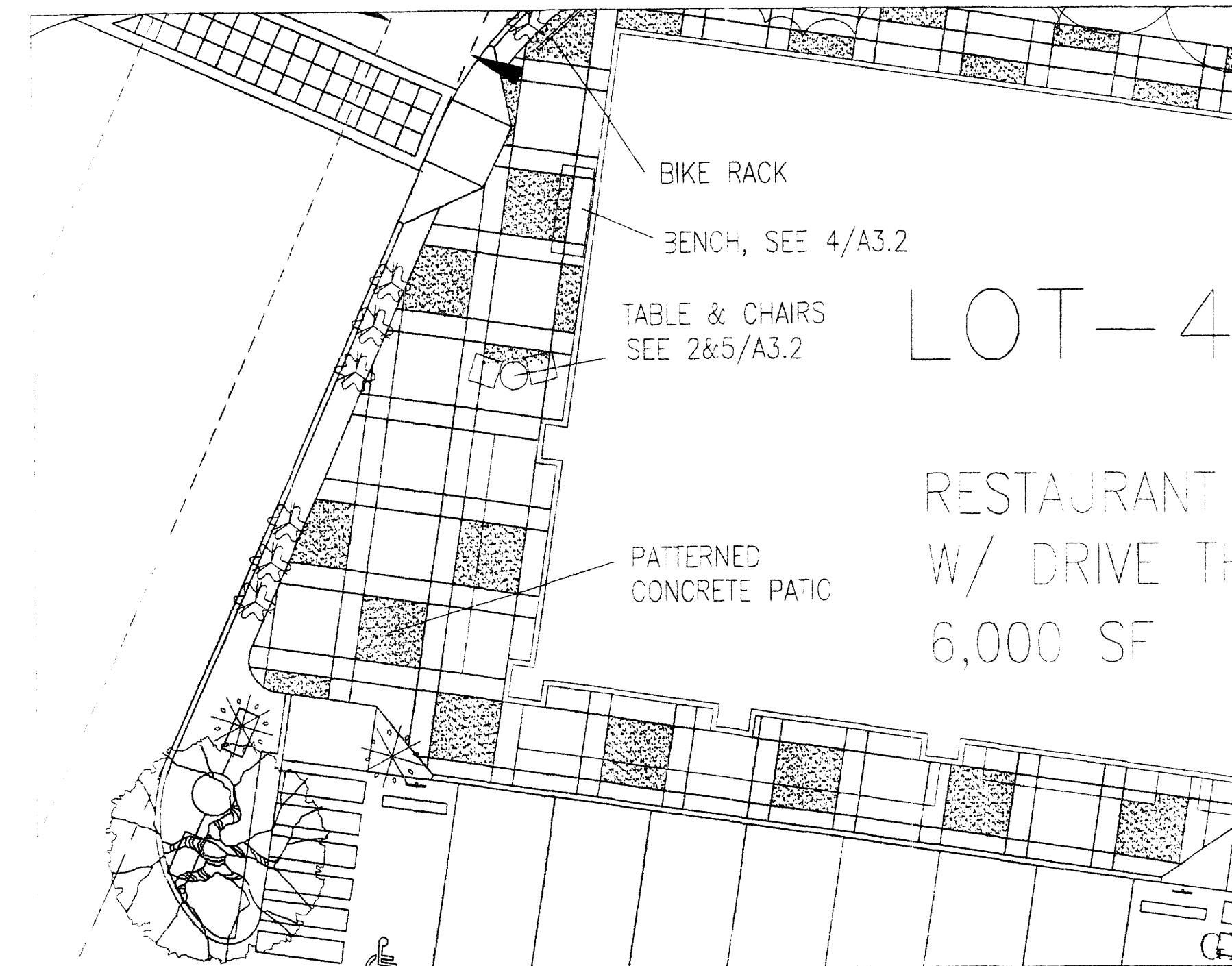
LOT 5 PROPOSED OUTDOOR AREA



LOT 8-9 PROPOSED PLAZA AREA

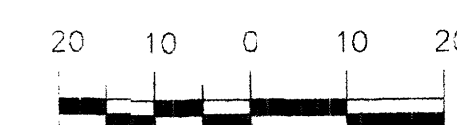


LOT 3 PROPOSED OUTDOOR AREA



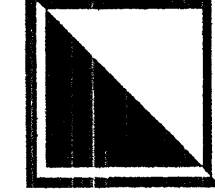
LOT 4 PROPOSED OUTDOOR AREA

GRAPHIC SCALE



SCALE: 1" = 20'

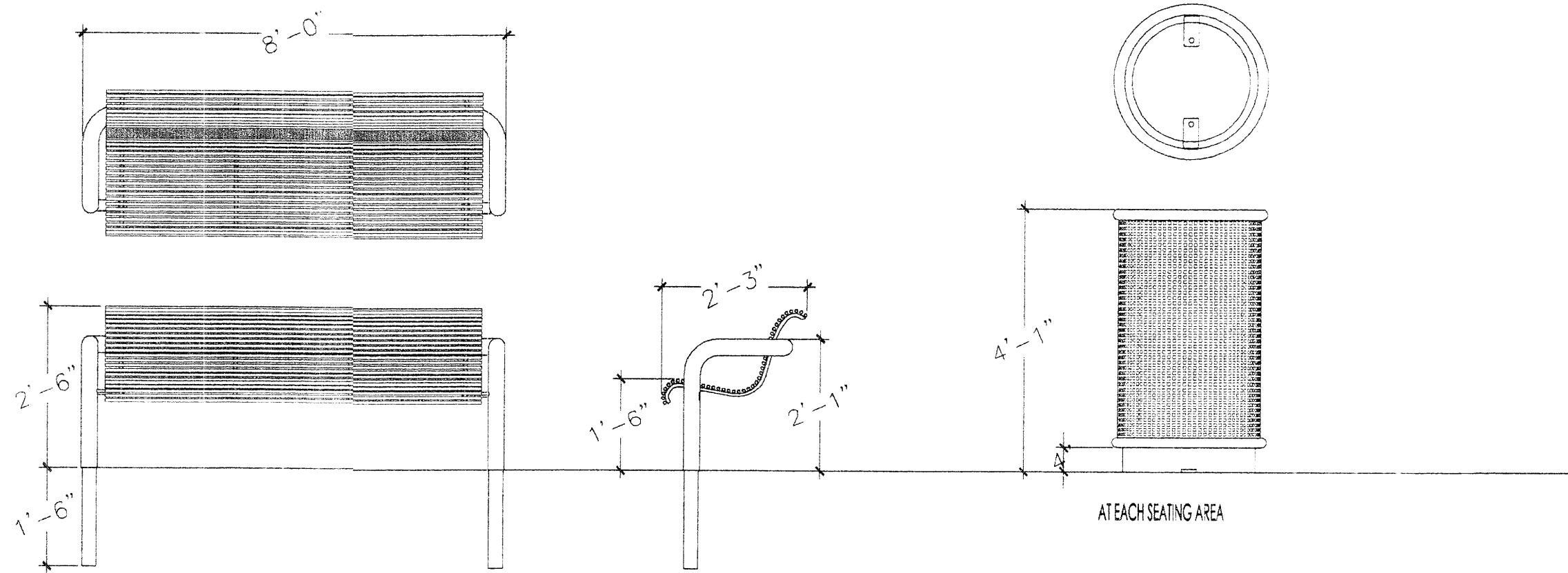
REV	DATE	BY	REVISION
1			
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 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	McMahon Marketplace	DATE	081505
SEC. OF DESIGN AND ARCHITECT	ALBUQUERQUE, NEW MEXICO	SCALE	AS NOTED
PROJECT MANAGER	STEPHEN DUNBAR	SHEET NO.	A3.1
DRAWN BY	J	of	

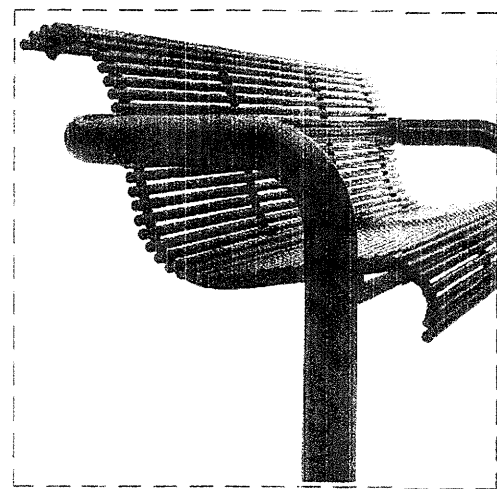
OUTDOOR SEATING SPACES



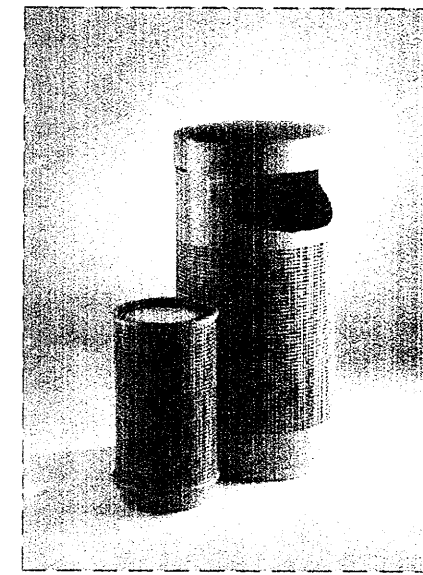


landscapeforms®  
 431 LAWDALE AVE. PHONE: 800-521-2546  
 KALAMAZOO, MI 49048 FAX: 269-381-3455  
 DESIGN GROUP: PETOSKEY  
 DESCRIPTION: BACKED BENCH 8', EMBEDDED, WOOD

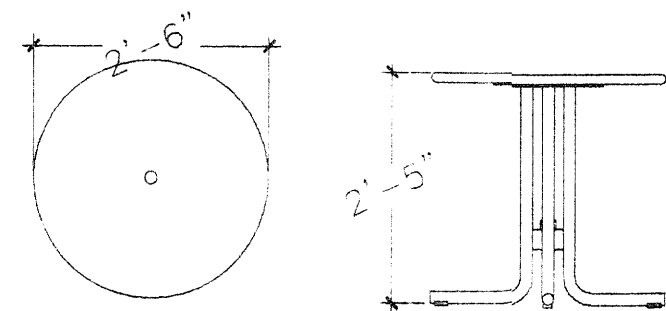
DESIGN: PETOSKEY REFUSE CONTAINER



4 OUTDOOR BENCH  
 Scale: N.T.S

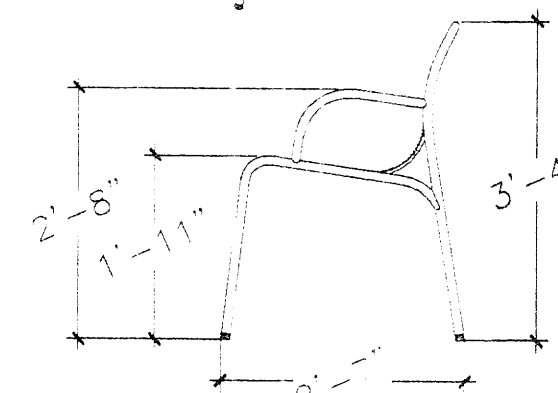
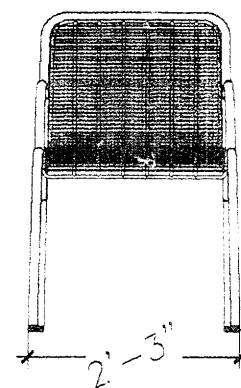
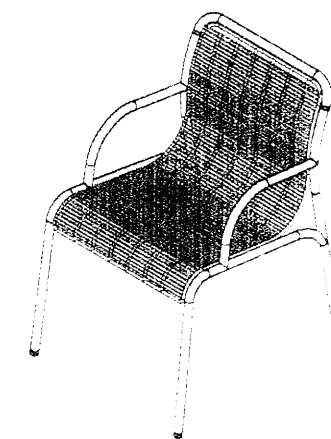
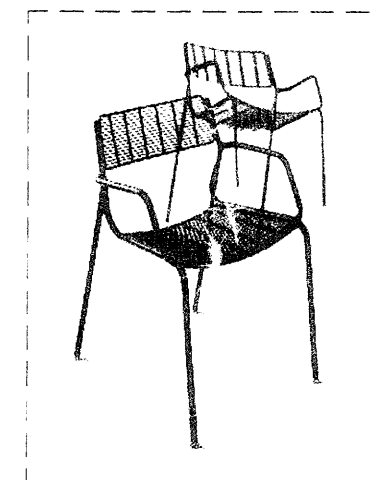


1 OUTDOOR REFUSE  
 Scale: N.T.S



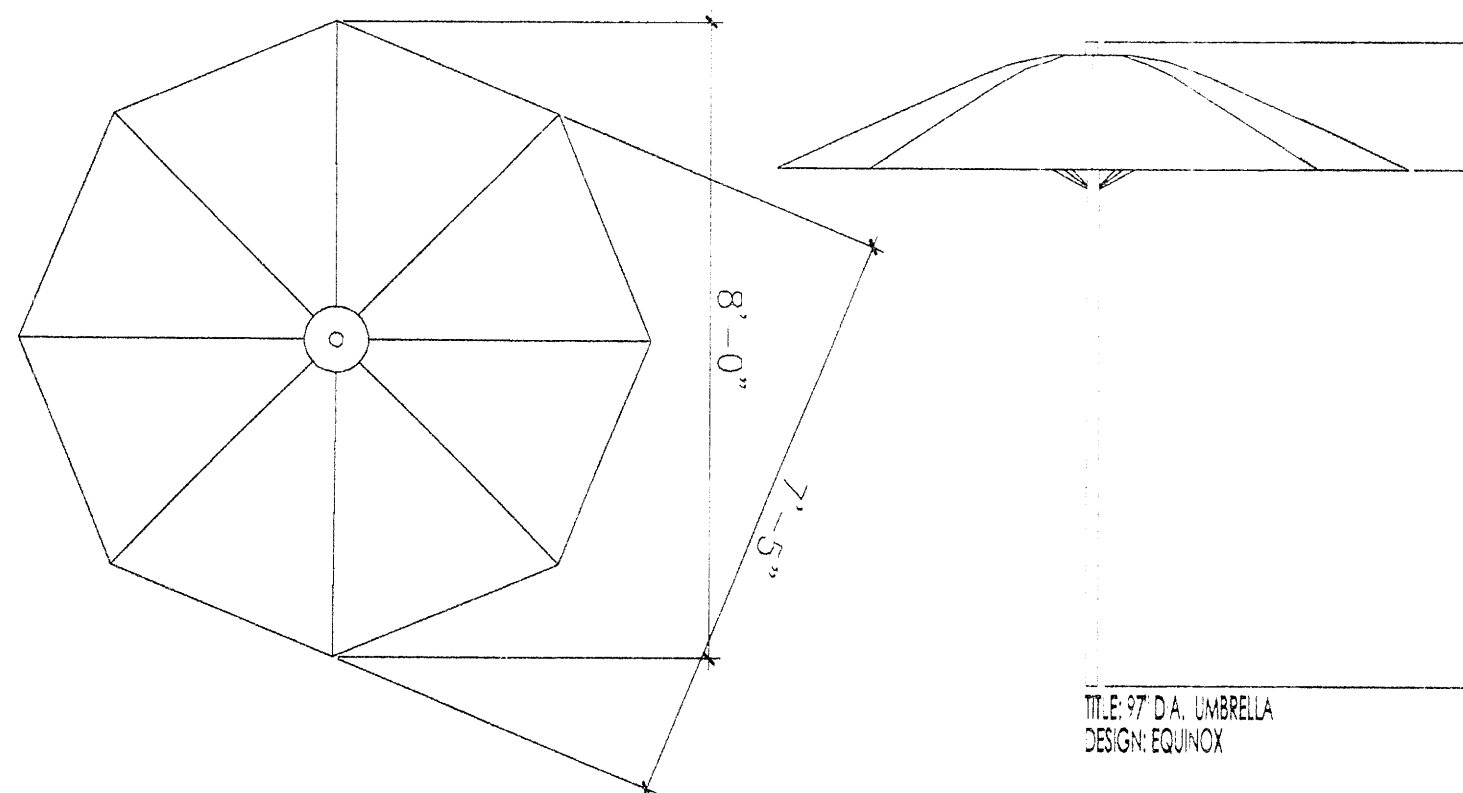
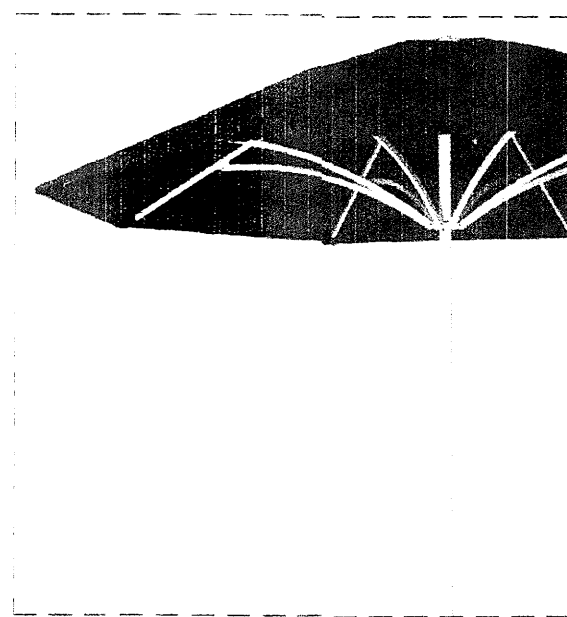
TITLE: 30" ROUND CATENA TABLE - QI-AD SURFACE MOUNT OR FREESTANDING  
 DESIGN: CATENA

5 OUTDOOR TABLE  
 Scale: N.T.S



DESCRIPTION: TRAVERSE CHAIR, GRID, W/ ARMS

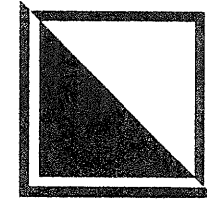
2 OUTDOOR SEATING  
 Scale: N.T.S



TITLE: 97" DIA. UMBRELLA  
 DESIGN: EQUINOX

3 OUTDOOR UMBRELLA  
 Scale: N.T.S

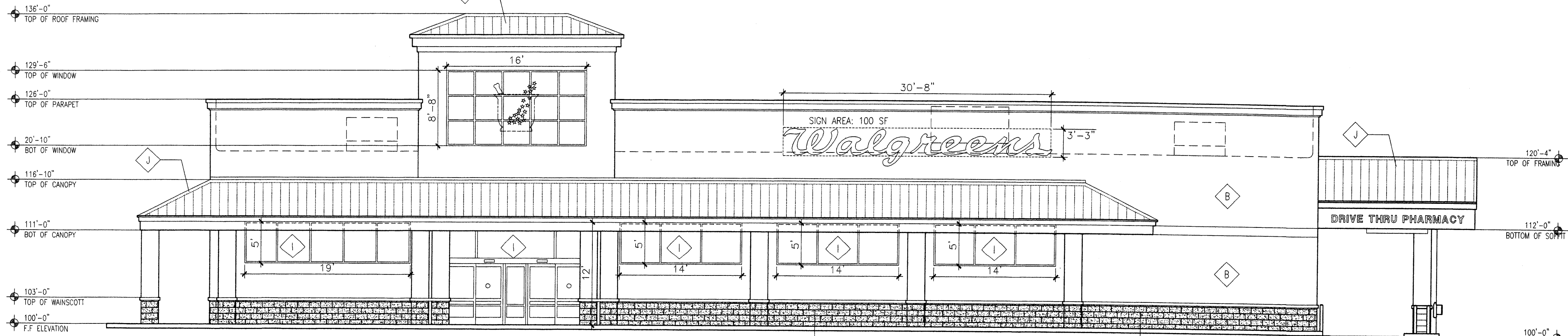
REV	DATE	BY	REVISION
6			
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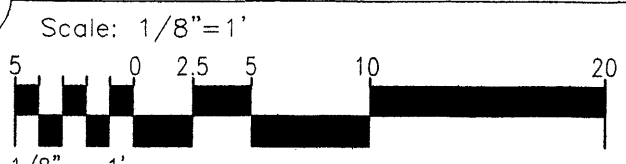
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	<b>McMahon Marketplace</b>		
	S.E.C. OF UNSER AND MCMAHON ALBUQUERQUE, NEW MEXICO		
PROJECT MANAGER	JOB NO.	DRAWN BY:	J
STEPHEN DUNBAR AA			
SHEET TITLE	<b>OUTDOOR SEATING DETAILS</b>		

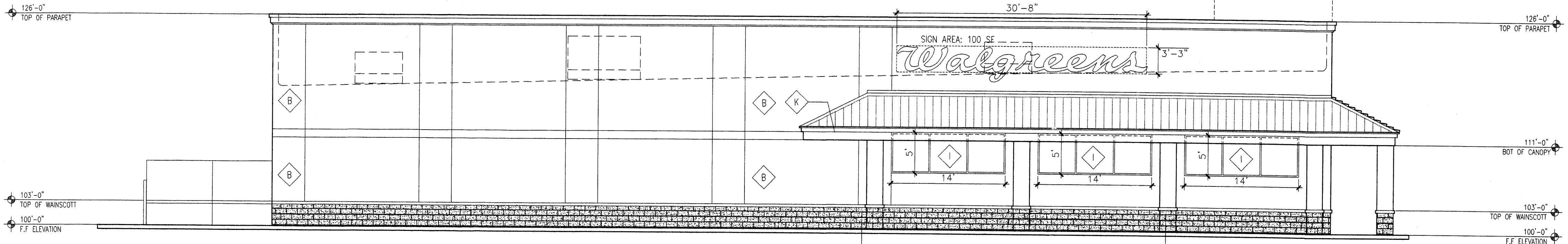
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081505	<b>A3.2</b>
SCALE:	of.
AS NOTED	



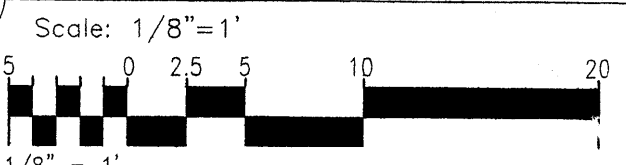
**1 WESTERN ELEVATION**



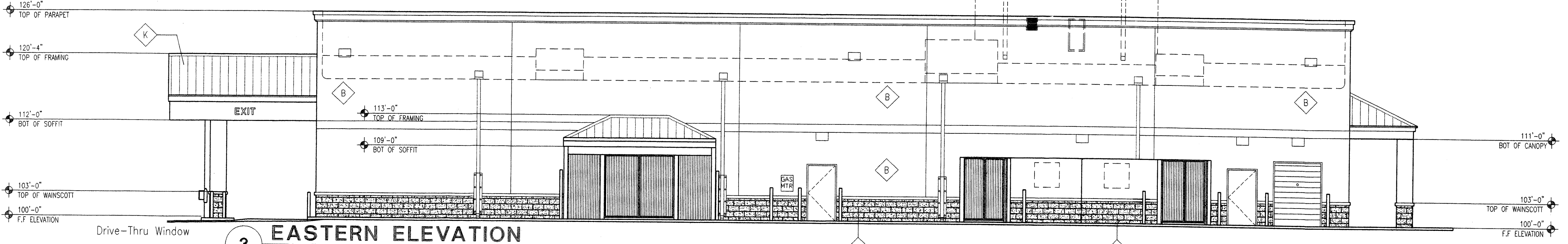
NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



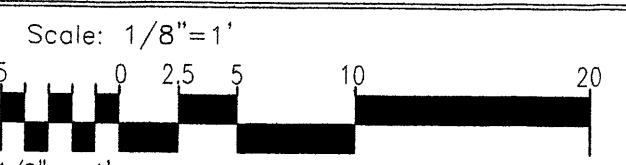
**2 NORTHERN ELEVATION**



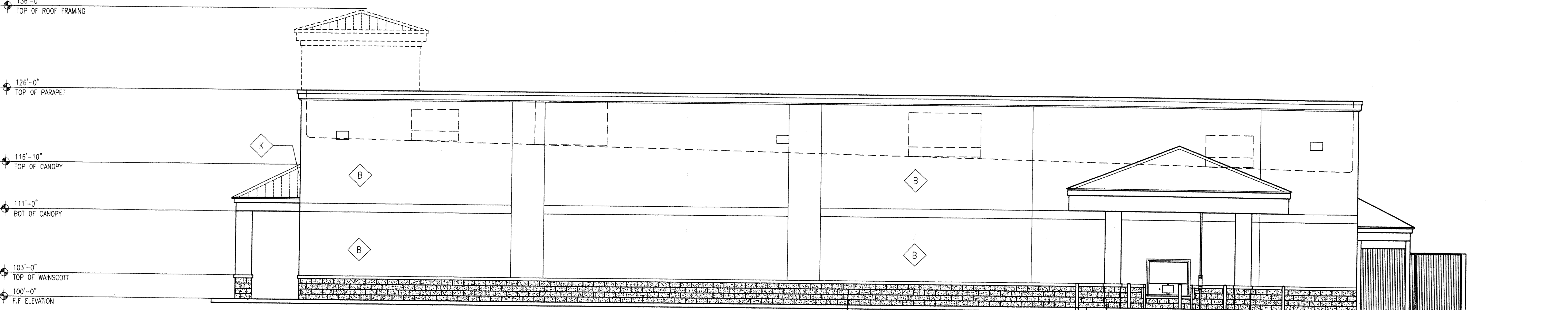
NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



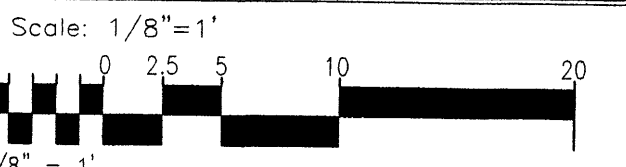
**3 EASTERN ELEVATION**



NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



**4 SOUTHERN ELEVATION**



NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

Keyed Color / Material Schedule	
◇ A	WALL FINISH COLOR BENJAMIN MOORE #1032 (DARK TAN)
◇ B	WALL FINISH COLOR BENJAMIN MOORE #951 (LIGHT TAN)
◇ C	WALL FINISH COLOR SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)
◇ D	WALL FINISH COLOR SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT TAN COLOR)
◇ E	WALL FINISH COLOR SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)
◇ F	WALL FINISH COLOR SHERWIN WILLIAMS DONETAL SW 7018 (GREY COLOR)
◇ G	WALL FINISH COLOR SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)
◇ H	WALL FINISH COLOR SHERWIN WILLIAMS PACER WHITE SW 6098 (OFF WHITE COLOR)
◇ I	STOREFRONT CLEAR ANNOXIDIZED ALUMINUM(SILVER COLOR)
◇ J	ROOF FINISH MATERIAL SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
◇ K	AWNING SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL OVER AWNING FRAME
◇ L	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR TO CLOSELY MATCH BENJAMIN MOORE #1032 BROWN
◇ M	AWNING FABRIC SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN)

REV	DATE	BY	REVISION
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**GEORGE RAINHART ARCHITECT AND ASSOCIATES P.A.**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**McMAHON MARKETPLACE**  
 S.E.C. OF UNSER AND McMAHON BLVD  
 ALBUQUERQUE NEW MEXICO

PROJECT MANAGER  
 STEPHEN DUNBAR AIA

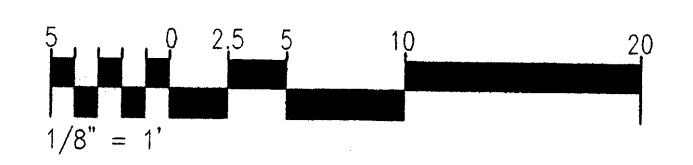
JOB NO.  
 DRAWN BY:  
 SD

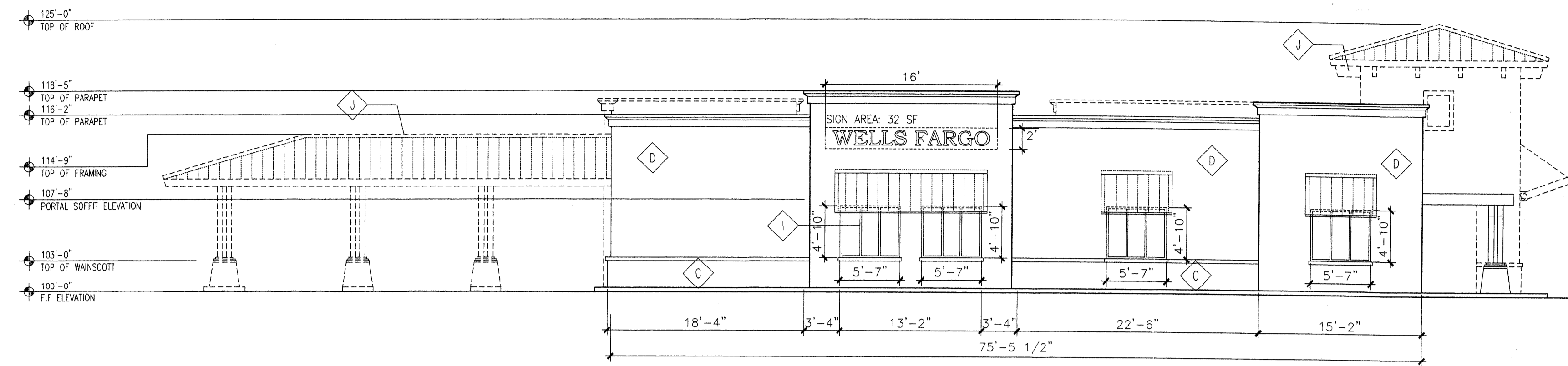
SHEET TITLE  
**WALGREENS ELEVATIONS**

DATE  
 10/10/04

SCALE  
 1/8"=1'-0"

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**A4.0**  
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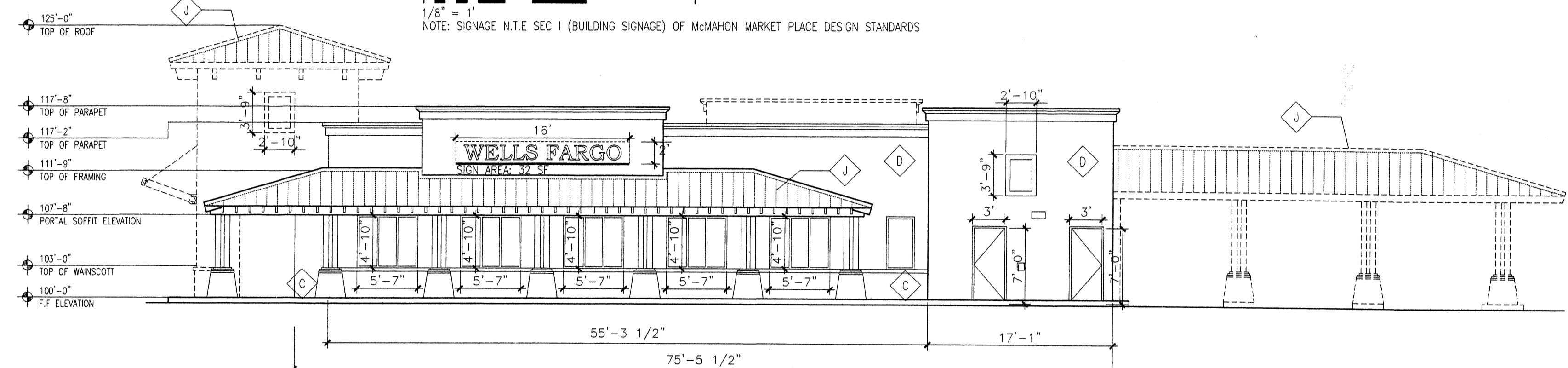


**1 NORTHERN ELEVATION**

Scale: 1/8"=1'



NOTE: SIGNAGE N.T.E SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

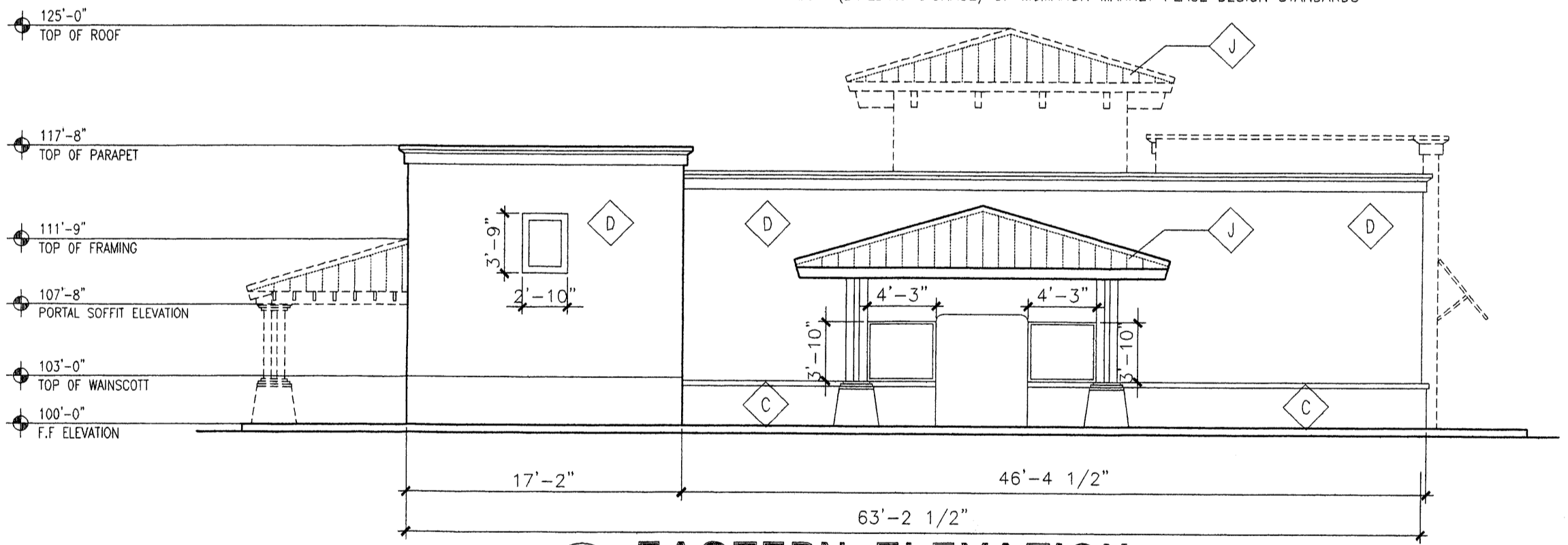


**2 SOUTHERN ELEVATION**

Scale: 1/8"=1'



NOTE: SIGNAGE N.T.E SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



**3 EASTERN ELEVATION**

Scale: 1/8"=1'



NOTE: SIGNAGE N.T.E SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



**4 WESTERN ELEVATION**

Scale: 1/8"=1'



NOTE: SIGNAGE N.T.E SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

**Keyed Color / Material Schedule**

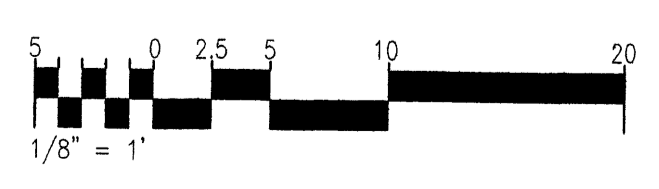
A	WALL FINISH COLOR	BENJAMIN MOORE #1032 (DARK TAN)
B	WALL FINISH COLOR	BENJAMIN MOORE #951 (LIGHT TAN)
C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)
D	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKIN SW 6148 (LIGHT TAN COLOR)
E	WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)
F	WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)
G	WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)
H	WALL FINISH COLOR	SHERWIN WILLIAMS PACER WHITE SW 6098 (OFF WHITE COLOR)
I	STOREFRONT	CLEAR ANNOXIDIZED ALUMINUM(SILVER COLOR)
J	ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
K	AWNING	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL OVER AWNING FRAME
L	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR TO CLOSELY MATCH BENJAMIN MOORE #1032 BROWN
M	AWNING FABRIC	SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN)

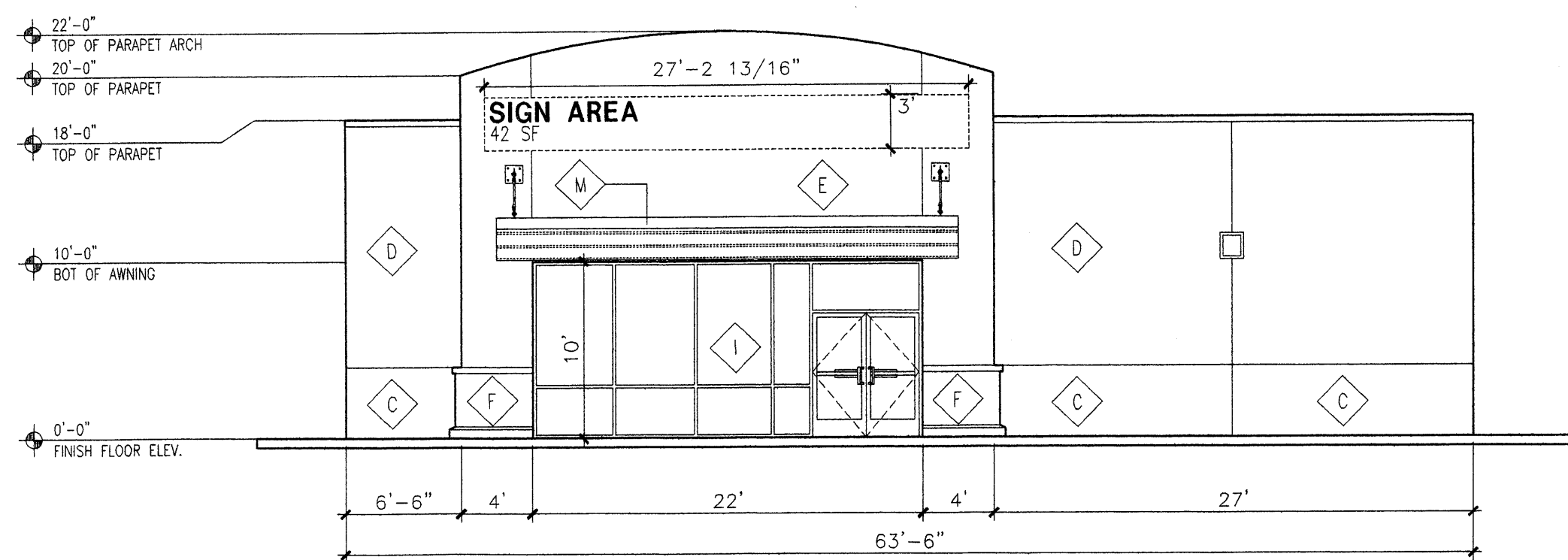
REV	DATE	BY	REVISION
6			
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1	1/26/07	S	REV SUBMITTAL

**GEORGE RAINHART ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	PROJECT MANAGER	JOB NO.	DRAWN BY:
McMAHON MARKETPLACE	STEPHEN DUNBAR AIA		SD
S.E.C. OF LINSEY AND McMAHON BLVD ALBUQUERQUE NEW MEXICO	SHEET TITLE	BANK ELEVATIONS	

DATE	sheet-
10/10/04	A4.1
SCALE	of
1/8"=1'-0"	



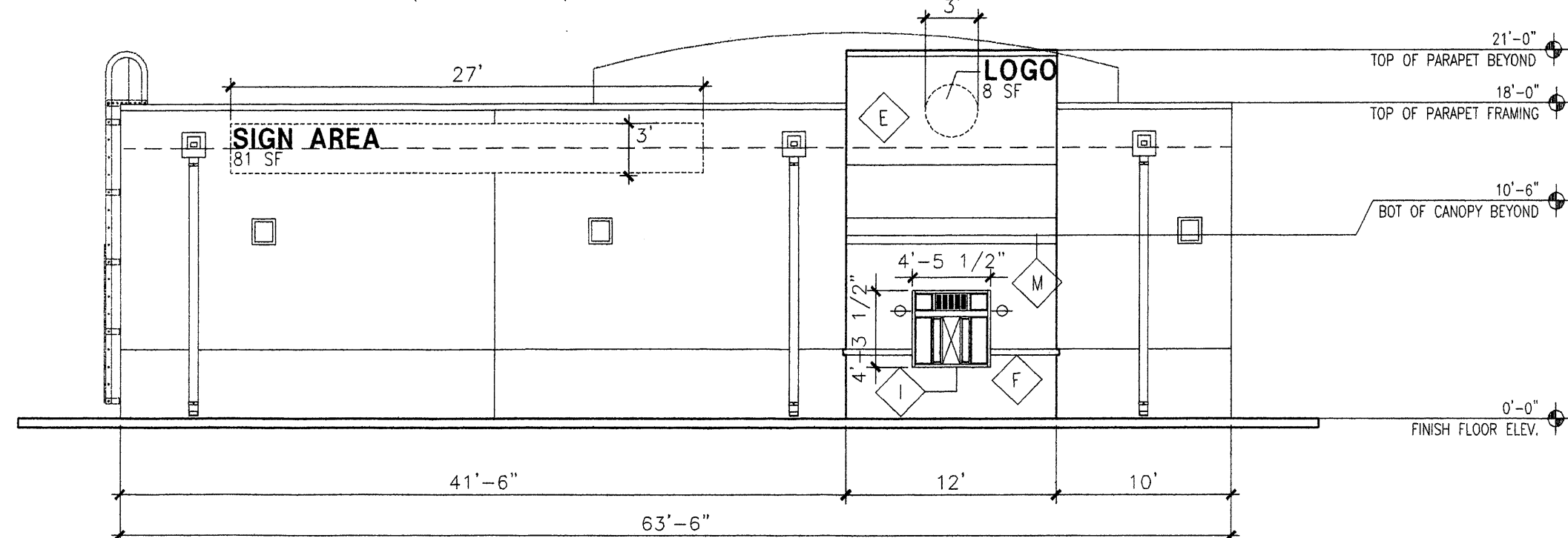


**1 RESTAURANT SOUTHERN ELEVATION**

Scale: 1/8"=1'

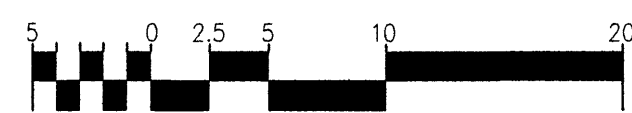


1/8" = 1'  
NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

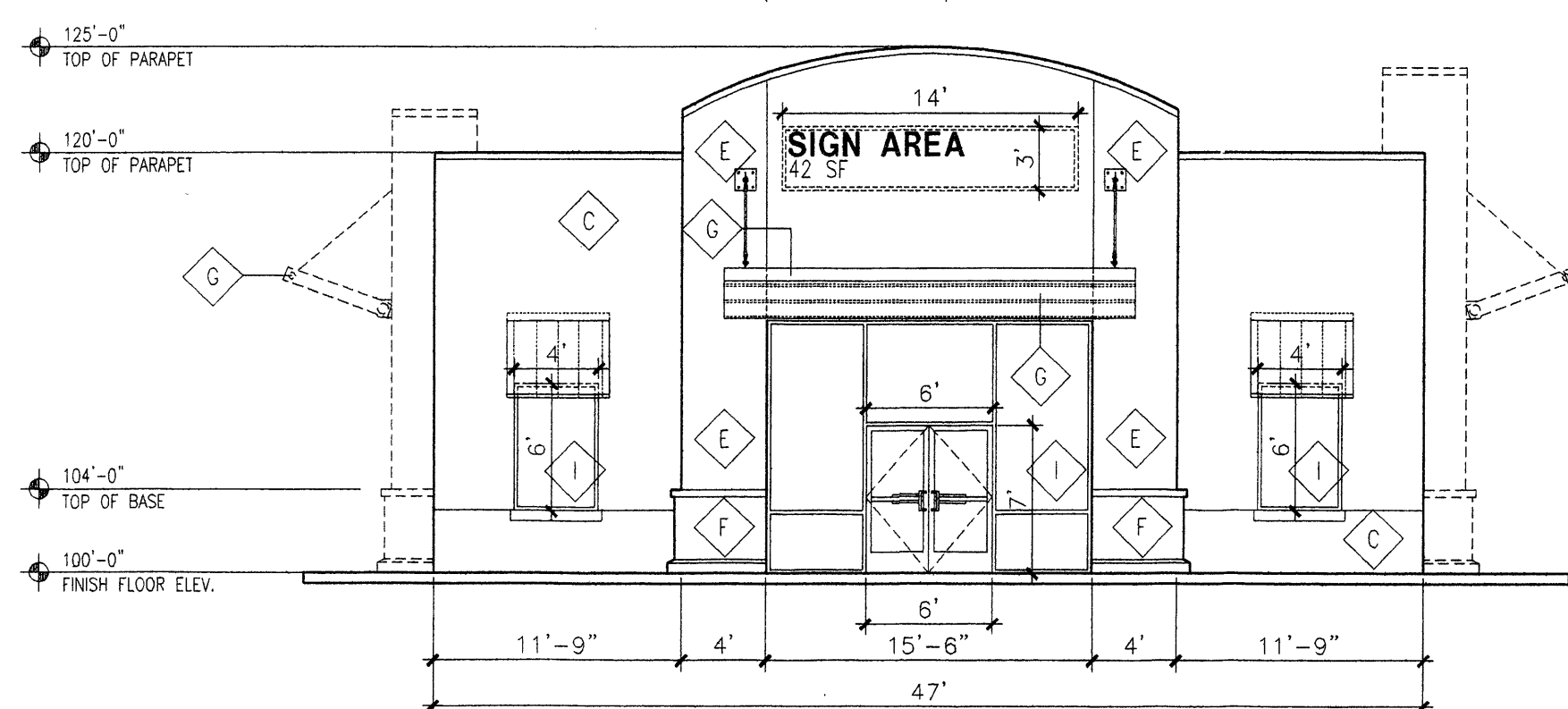


**3 RESTAURANT NORTHERN ELEVATION**

Scale: 1/8"=1'

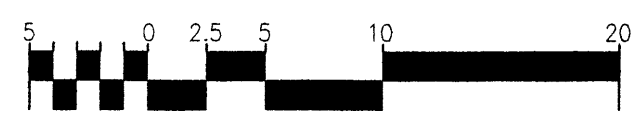


1/8" = 1'  
NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

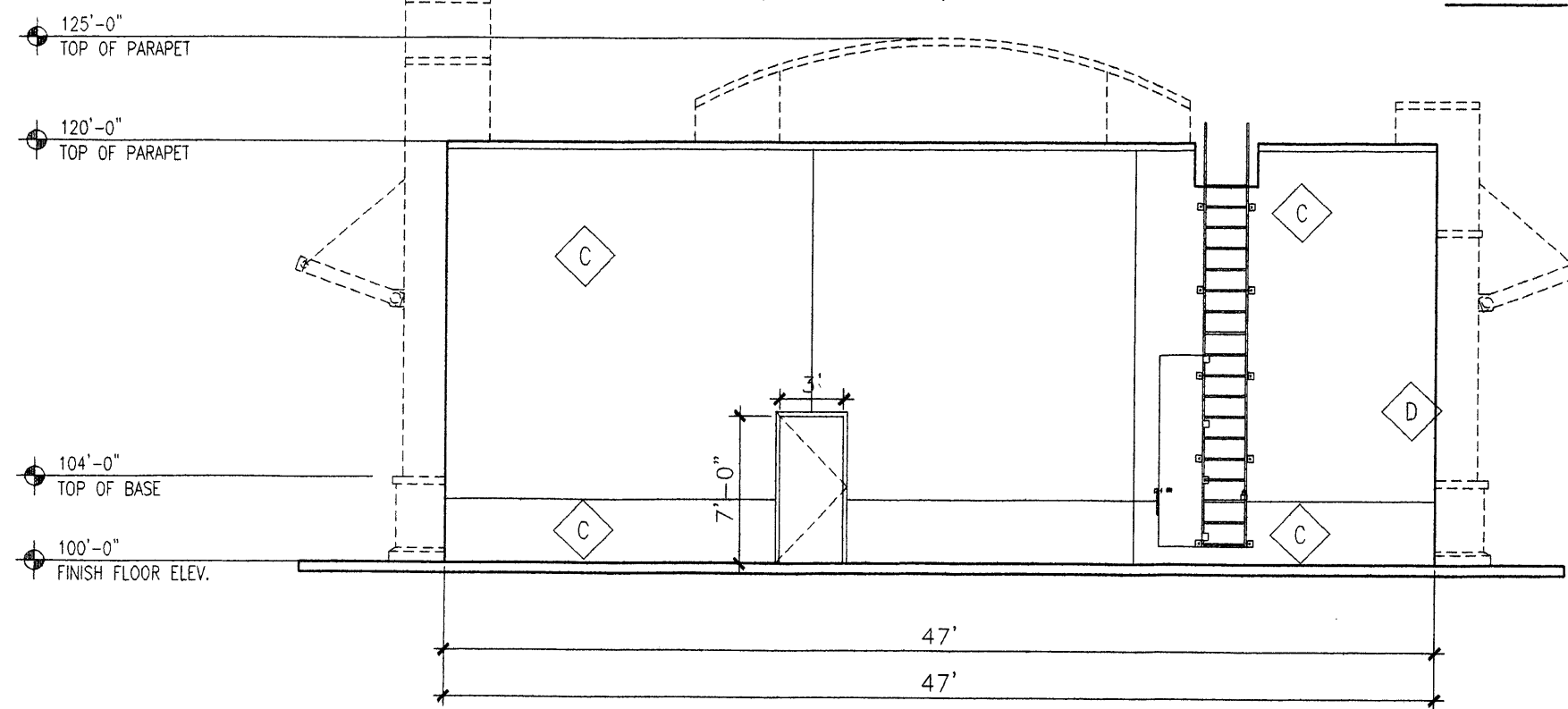


**5 FASTFOOD FRONT ELEVATION**

Scale: 1/8"=1'

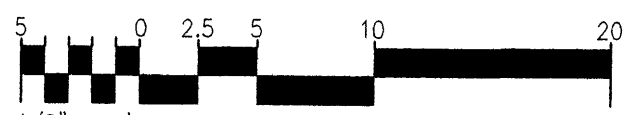


1/8" = 1'  
NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

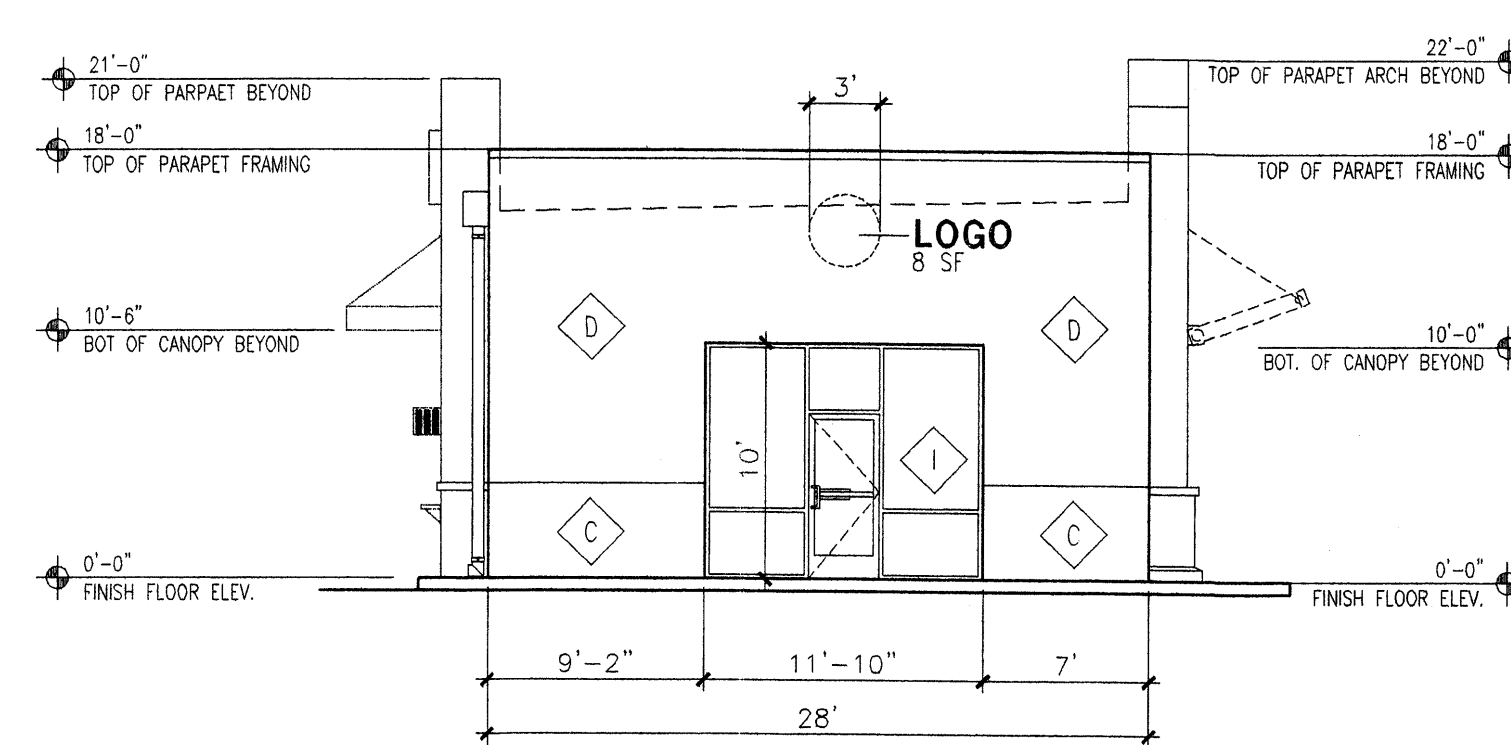


**7 FAST FOOD REAR ELEVATION**

Scale: 1/8"=1'

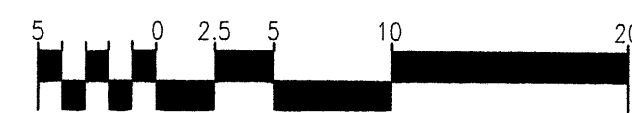


1/8" = 1'  
NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

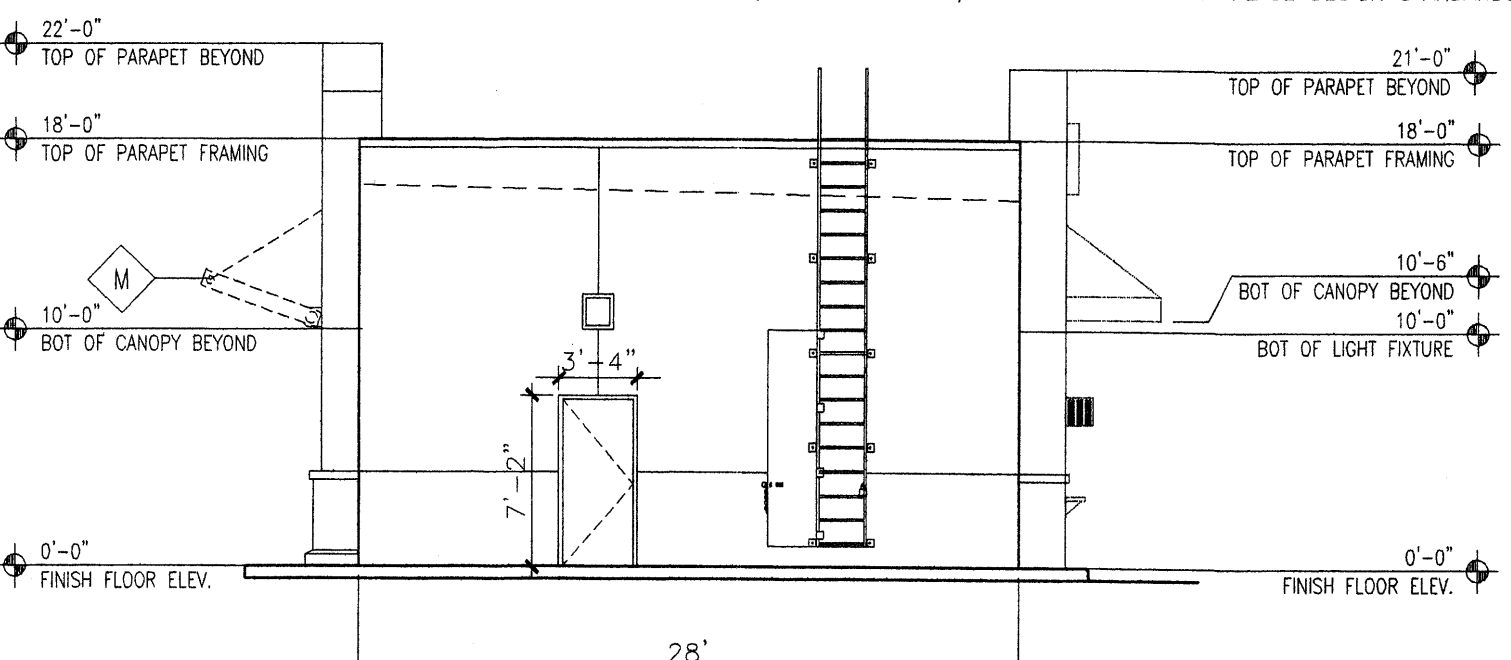


**2 RESTAURANT WESTERN ELEVATION**

Scale: 1/8"=1'

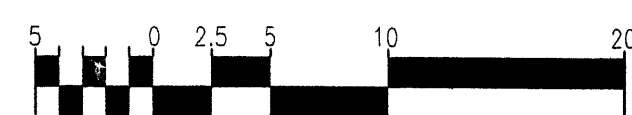


1/8" = 1'  
NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

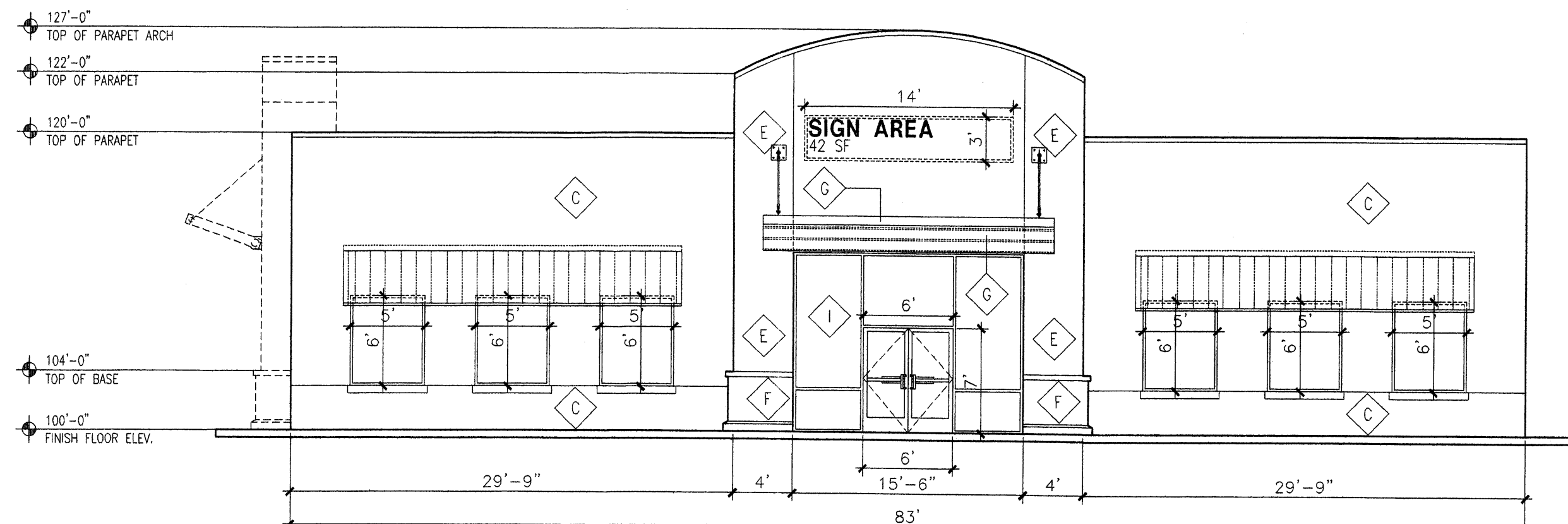


**4 RESTAURANT EASTERN ELEVATION**

Scale: 1/8"=1'

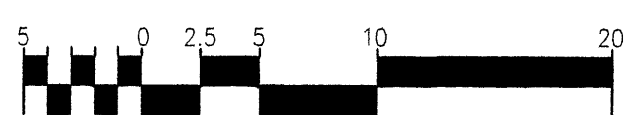


1/8" = 1'  
NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

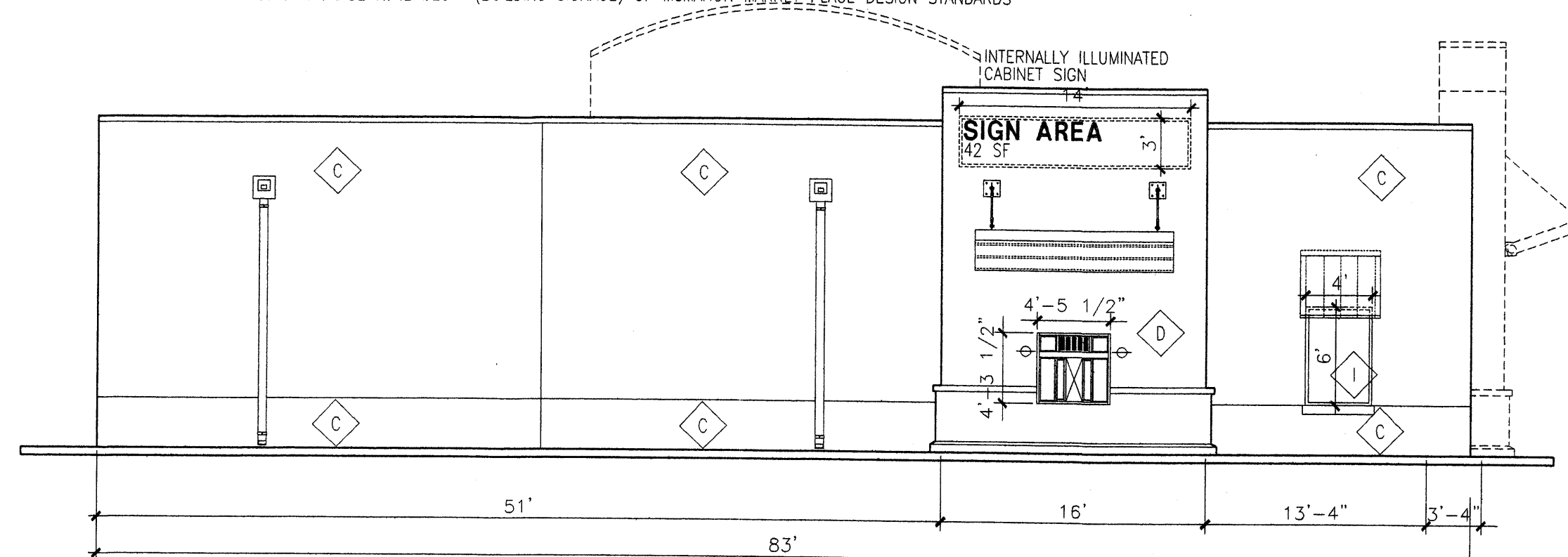


**6 FAST FOOD FRONT ELEVATION**

Scale: 1/8"=1'



1/8" = 1'  
NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



**8 FAST FOOD DRIVE THRU ELEVATION**

Scale: 1/8"=1'



1/8" = 1'  
NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

**Keyed Color / Material Schedule**

A	WALL FINISH COLOR	BENJAMIN MOORE #1032 (DARK TAN)
B	WALL FINISH COLOR	BENJAMIN MOORE #951 (LIGHT TAN)
C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)
D	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEN SW 6148 (LIGHT TAN COLOR)
E	WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)
F	WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)
G	WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)
H	WALL FINISH COLOR	SHERWIN WILLIAMS PACER WHITE SW 6098 (OFF WHITE COLOR)
I	STOREFRONT	CLEAR ANNOXIDIZED ALUMINUM (SILVER COLOR)
J	ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
K	AWNING	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL OVER AWNING FRAME
L	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR TO CLOSELY MATCH BENJAMIN MOORE #1032 BROWN
M	AWNING FABRIC	SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN)

REV	DATE	BY	REVISION
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**GEORGE RAINHART ARCHITECT AND ASSOCIATES P**  
**2325 SAN PEDRO N.E. SUITE 2-B**  
**ALBUQUERQUE, NEW MEXICO 87110**  
**PHONE (505) 884-9110 FAX (505) 837-9877**

**COFFEE-DRIVE THRU FOOD**

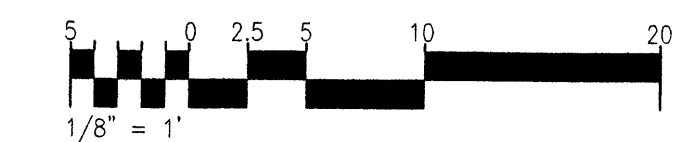
**PROJECT TITLE**  
**McMAHON MARKETPLACE**  
 S.E.C. OF UNISER AND McMAHON BLVD  
 ALBUQUERQUE, NEW MEXICO

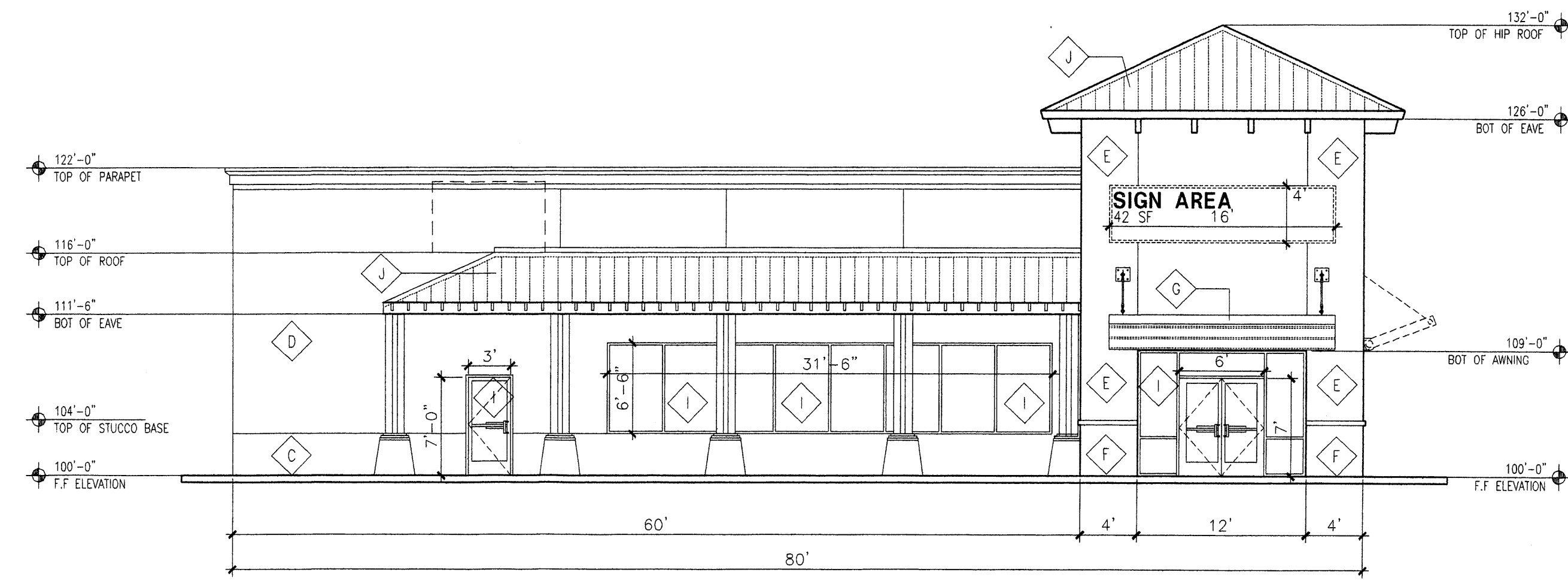
**PROJECT MANAGER**  
 STEPHEN DUNBAR AIA

**DRAWN BY:**  
 SD

**JOB NO.**  
 SHEET TITLE

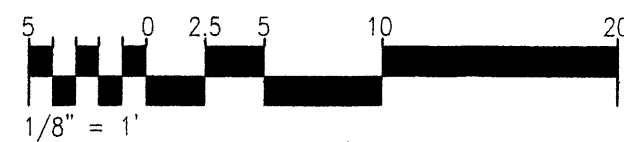
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**SCALE:** 1/8"=1'-0"  
**SHEET:** A4.2  
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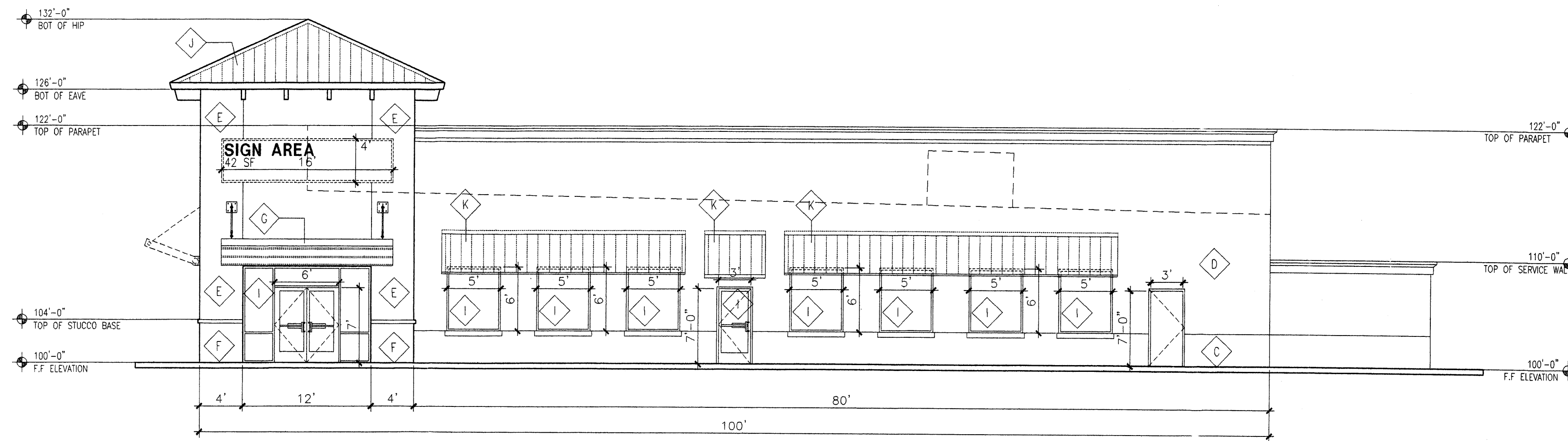


**1 NORTHERN ELEVATION**

Scale: 1/8"=1'

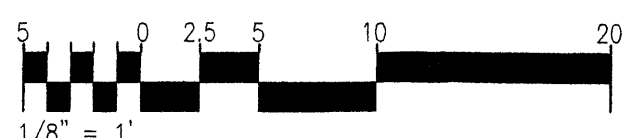


NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

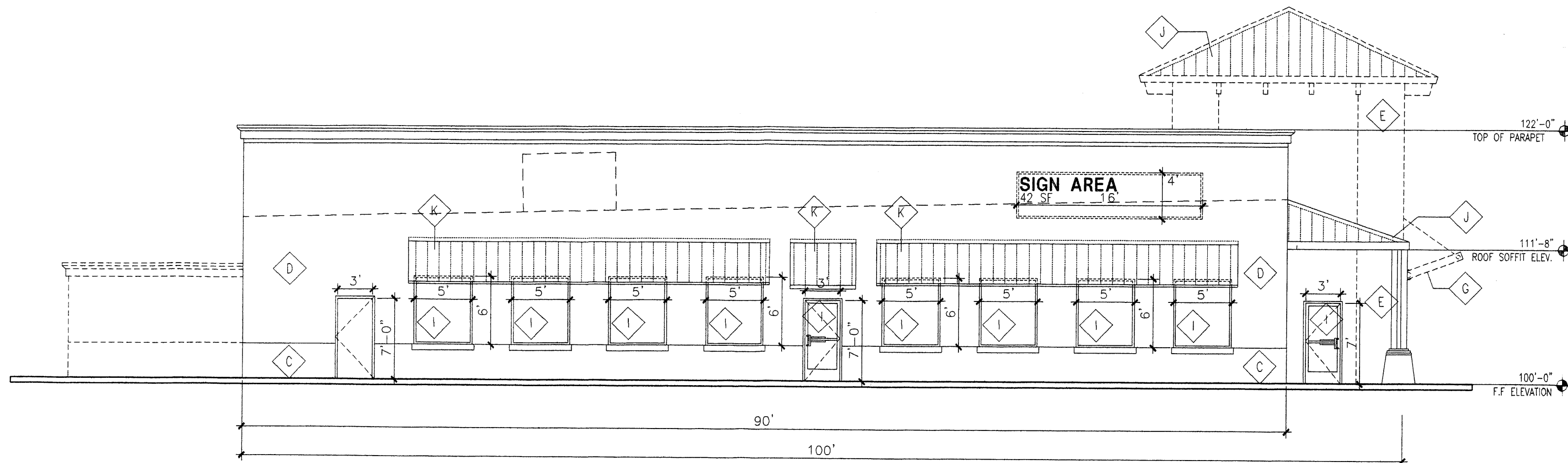


**2 WESTERN ELEVATION**

Scale: 1/8"=1'



NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

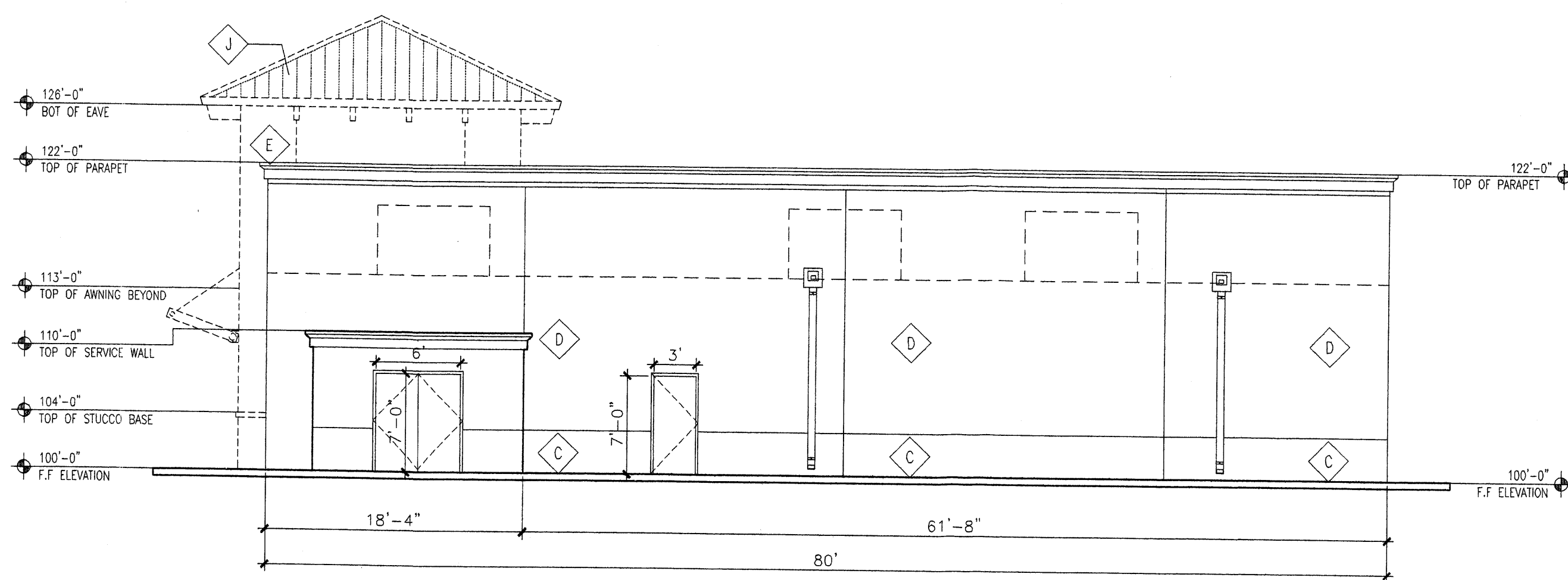


**4 EASTERN ELEVATION**

Scale: 1/8"=1'

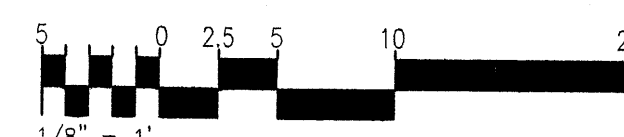


NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



**3 SOUTHERN ELEVATION**

Scale: 1/8"=1'

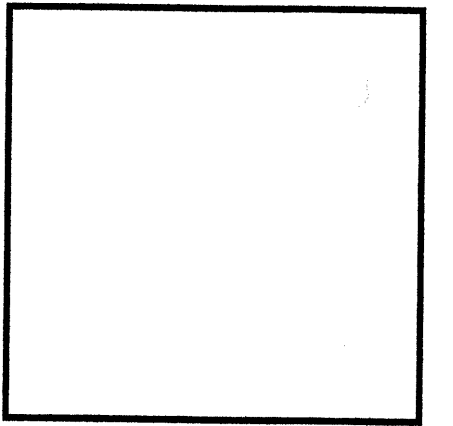


NOTE: SIGNAGE N.T.E. SEC 1 (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

Keyed Color / Material Schedule	
◇ A	WALL FINISH COLOR BENJAMIN MOORE #1032 (DARK TAN)
◇ B	WALL FINISH COLOR BENJAMIN MOORE #951 (LIGHT TAN)
◇ C	WALL FINISH COLOR SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)
◇ D	WALL FINISH COLOR SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT TAN COLOR)
◇ E	WALL FINISH COLOR SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)
◇ F	WALL FINISH COLOR SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)
◇ G	WALL FINISH COLOR SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)
◇ H	WALL FINISH COLOR SHERWIN WILLIAMS PACER WHITE SW 6098 (OFF WHITE COLOR)
◇ I	STOREFRONT CLEAR ANNOZIDED ALUMINUM (SILVER COLOR)
◇ J	ROOF FINISH MATERIAL SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
◇ K	AWNING SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL OVER AWNING FRAME
◇ L	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR TO CLOSELY MATCH BENJAMIN MOORE #1032 BROWN
◇ M	AWNING FABRIC SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN)

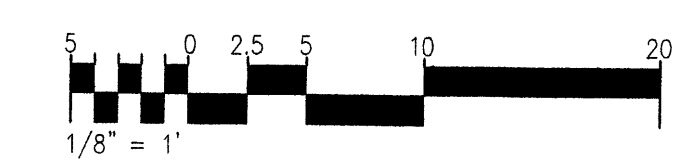
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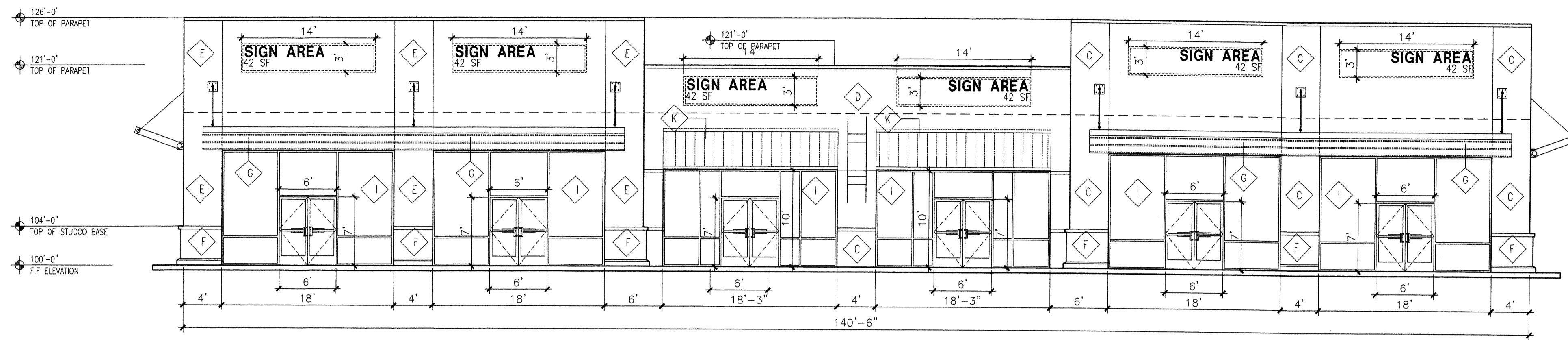
**GEORGE RAINHART ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE <b>McMAHON MARKETPLACE</b> S.E.C. OF UNSER AND McMAHON BLVD ALBUQUERQUE NEW MEXICO	JOB NO. DRAWN BY: SD
PROJECT MANAGER STEPHEN DURIBAR AIA	SHEET TITLE <b>RESTAURANT-1 ELEVATIONS</b>

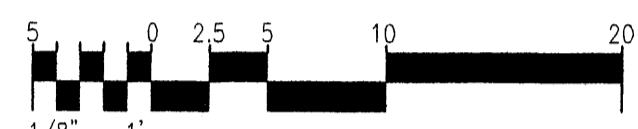
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**1 SHOPS WESTERN ELEVATION**

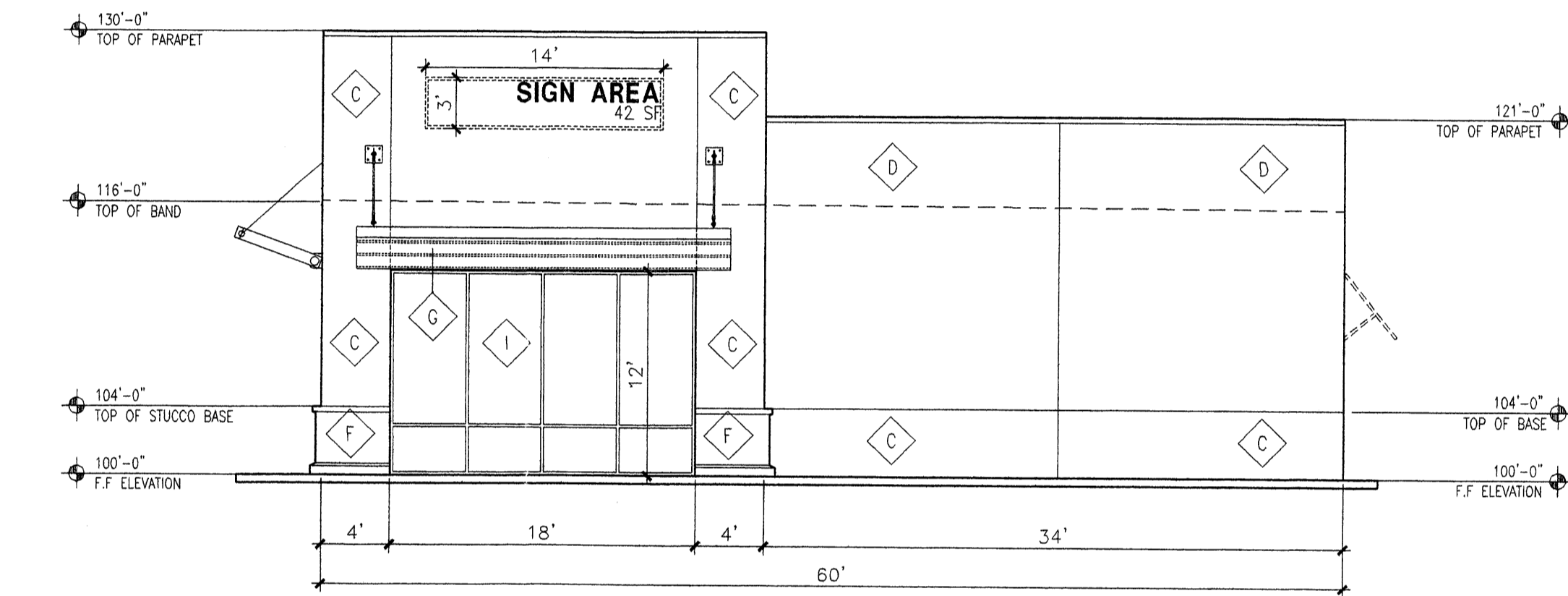
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NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

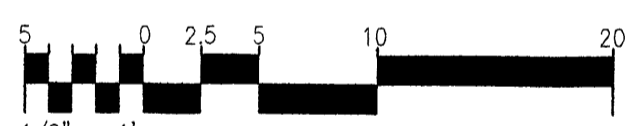
**Keyed Color / Material Schedule**

A	WALL FINISH COLOR	BENJAMIN MOORE #1032 (DARK TAN)
B	WALL FINISH COLOR	BENJAMIN MOORE #951 (LIGHT TAN)
C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)
D	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT TAN COLOR)
E	WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)
F	WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)
G	WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)
H	WALL FINISH COLOR	SHERWIN WILLIAMS PACER WHITE SW 6098 (OFF WHITE COLOR)
I	STOREFRONT	CLEAR ANNOXIDIZED ALUMINUM (SILVER COLOR)
J	ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
K	AWNING	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL OVER AWNING FRAME
L	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR TO CLOSELY MATCH BENJAMIN MOORE #1032 BROWN
M	AWNING FABRIC	SUNBRELLA HEMLOCK TWEED #4805 AWNING FABRIC (DARK GREEN)

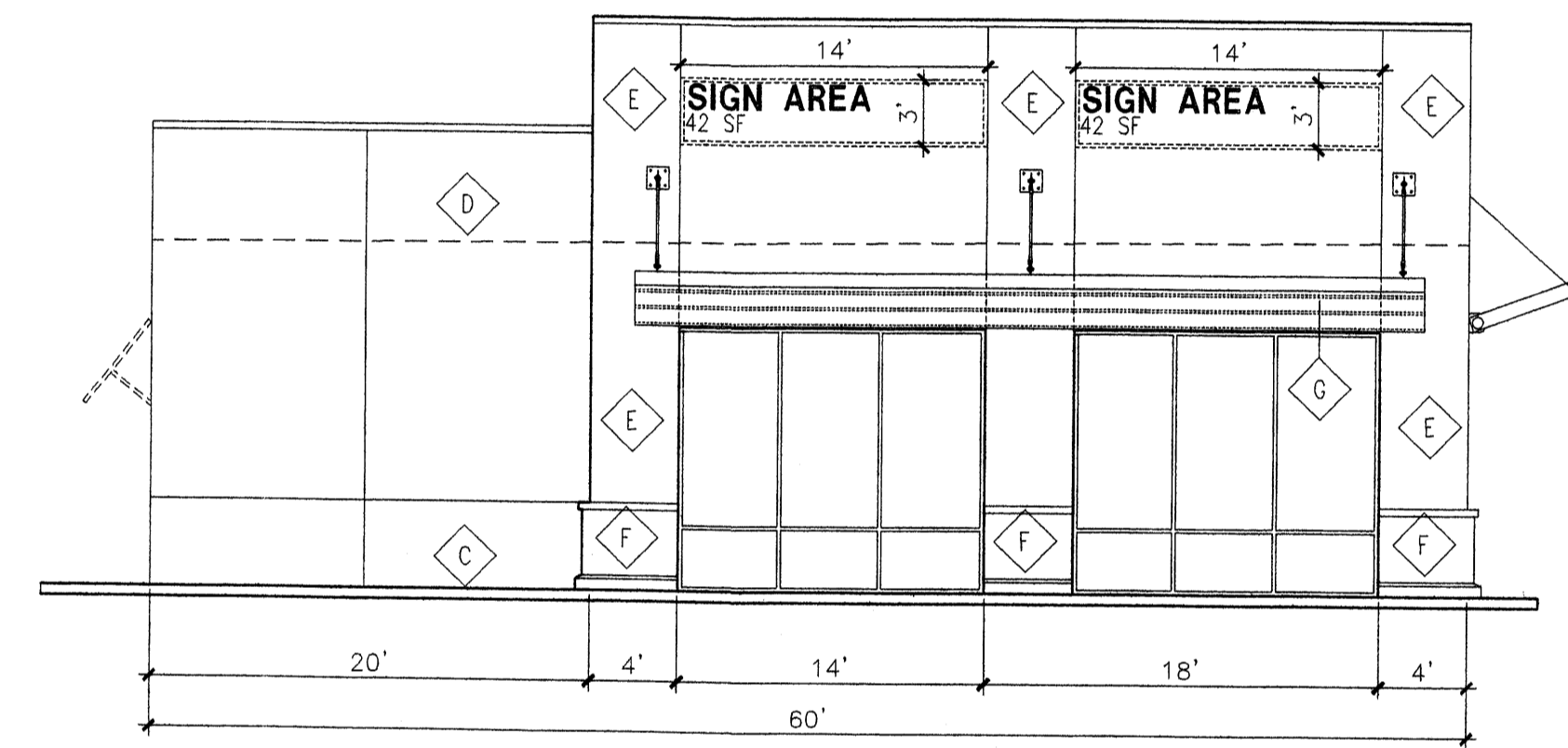


**2 SHOPS SOUTHERN ELEVATION**

Scale: 1/8"=1'

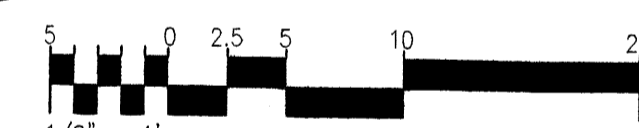


NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

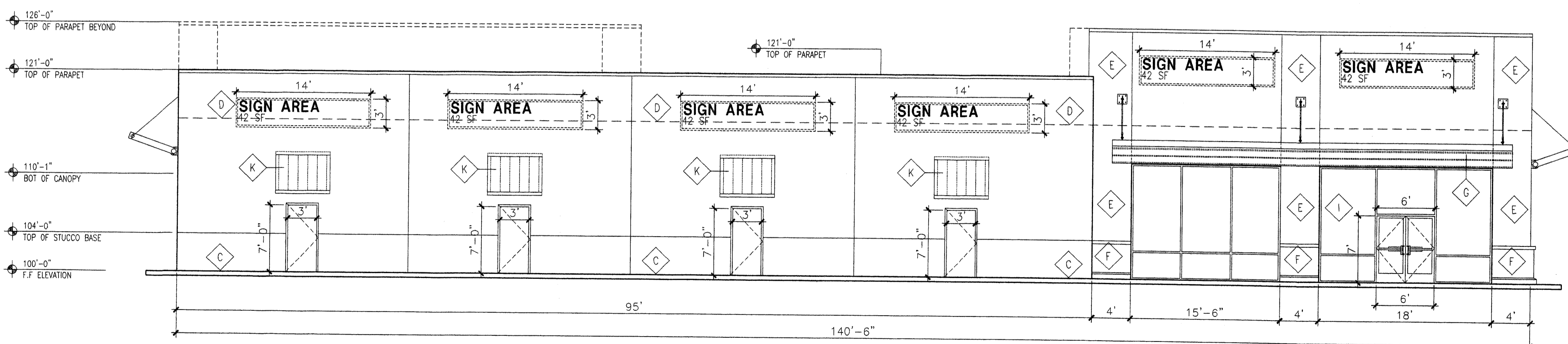


**3 SHOPS NORTHERN ELEVATION**

Scale: 1/8"=1'

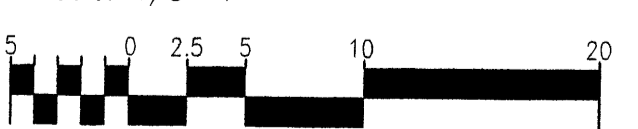


NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

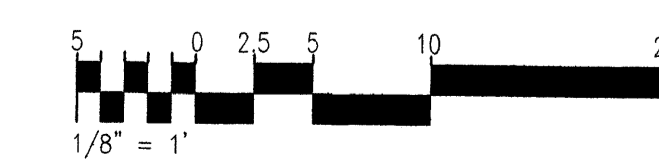


**4 SHOPS EASTERN ELEVATION**

Scale: 1/8"=1'



NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

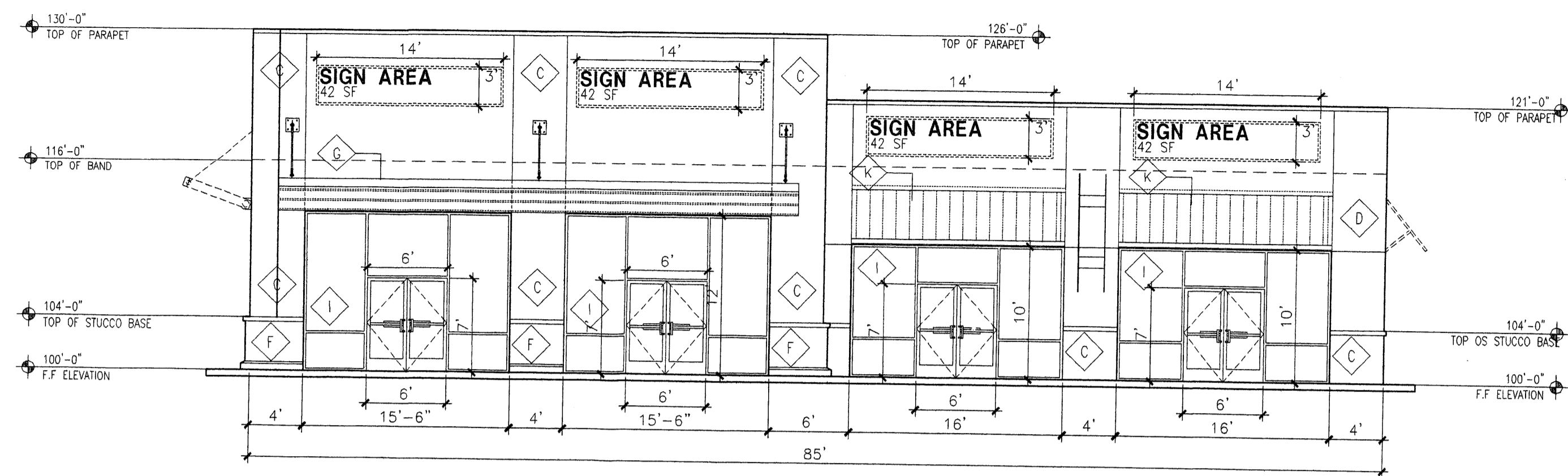


REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**GEORGE RAINHART ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	McMAHON MARKETPLACE
PROJECT MANAGER	S.E.C. OF UNSER AND McMAHON BLVD ALBUQUERQUE NEW MEXICO
JOB NO.	STEPHEN DUNBAR AIA
DRAWN BY:	SD
SHEET TITLE	SHOPS ELEVATIONS

DATE	10/10/04
SCALE	1/8"=1'-0"
SHEET	A4.4



**1 SHOPS 1 NORTHERN ELEVATION**

Scale: 1/8"=1'

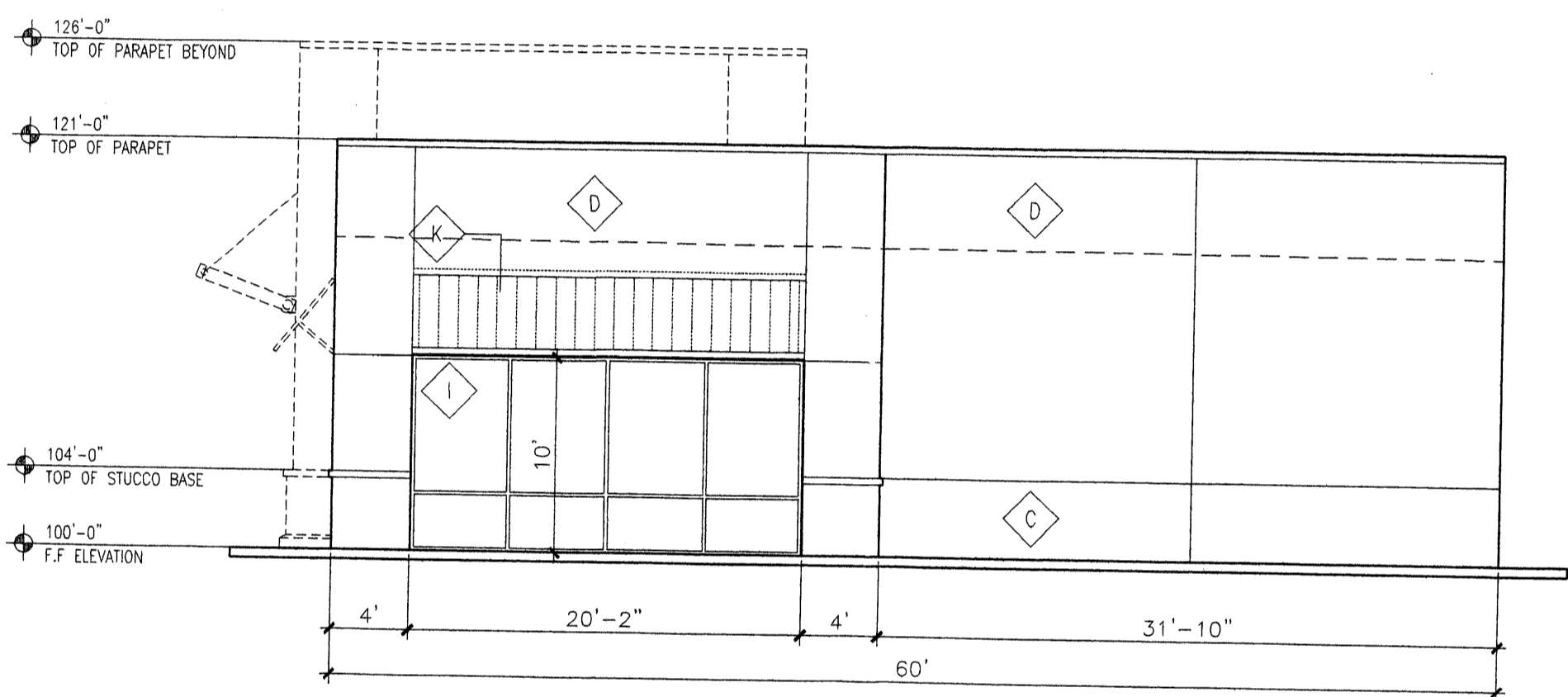


NOTE: SIGNAGE N.T.E SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

Keyed Color / Material Schedule	
A	WALL FINISH COLOR: BENJAMIN MOORE #1032 (DARK TAN)
B	WALL FINISH COLOR: BENJAMIN MOORE #951 (LIGHT TAN)
C	WALL FINISH COLOR: SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)
D	WALL FINISH COLOR: SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT TAN COLOR)
E	WALL FINISH COLOR: SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)
F	WALL FINISH COLOR: SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)
G	WALL FINISH COLOR: SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)
H	WALL FINISH COLOR: SHERWIN WILLIAMS PACER WHITE SW 609B (OFF WHITE COLOR)
I	STOREFRONT: CLEAR ANNOZIZED ALUMINUM(SILVER COLOR)
J	ROOF FINISH MATERIAL: SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
K	AWNING: SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL OVER AWNING FRAME
L	CMU BLOCK: UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR TO CLOSELY MATCH BENJAMIN MOORE #1032 BROWN
M	AWNING FABRIC: SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN)

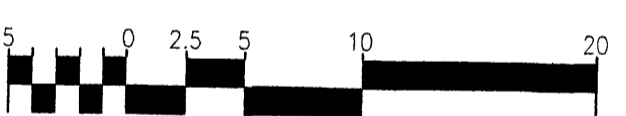
REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

**GEORGE RAINHART ARCHITECT AND ASSOCIATES P**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

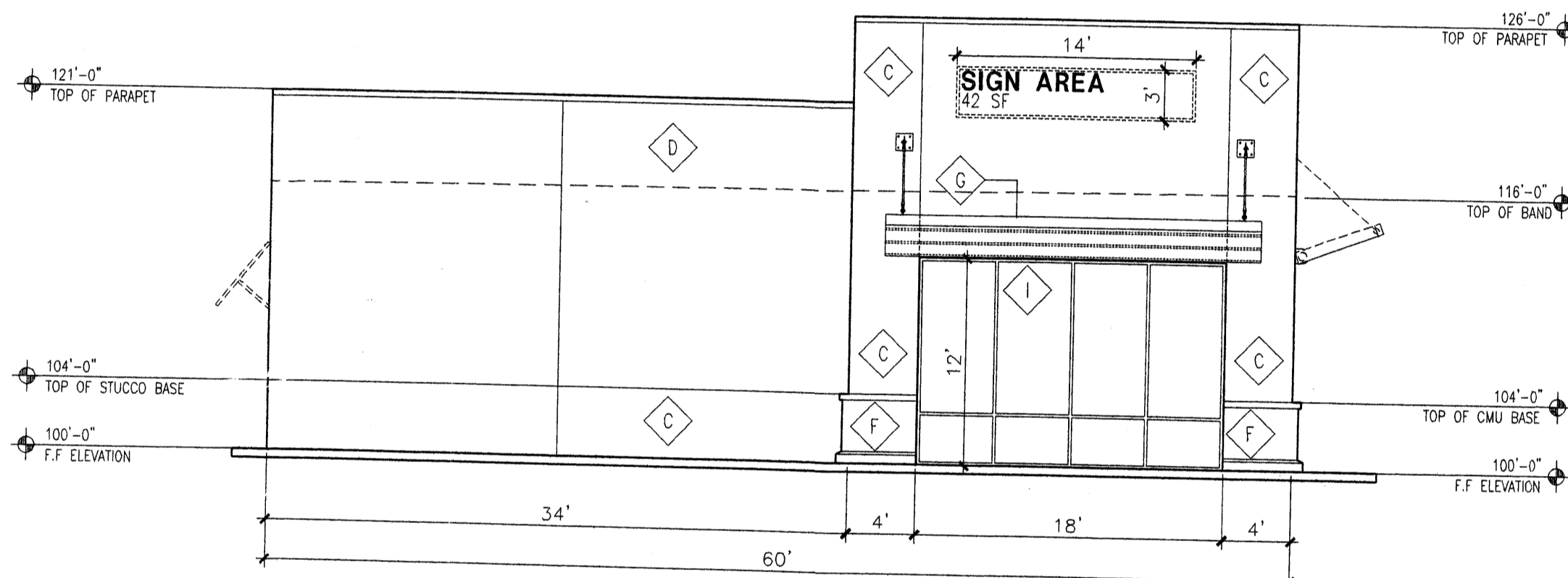


**2 SHOPS 1 WESTERN ELEVATION**

Scale: 1/8"=1'

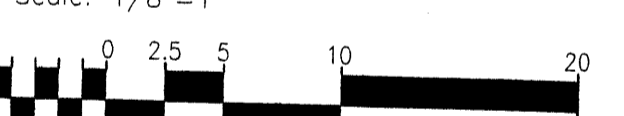


NOTE: SIGNAGE N.T.E SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

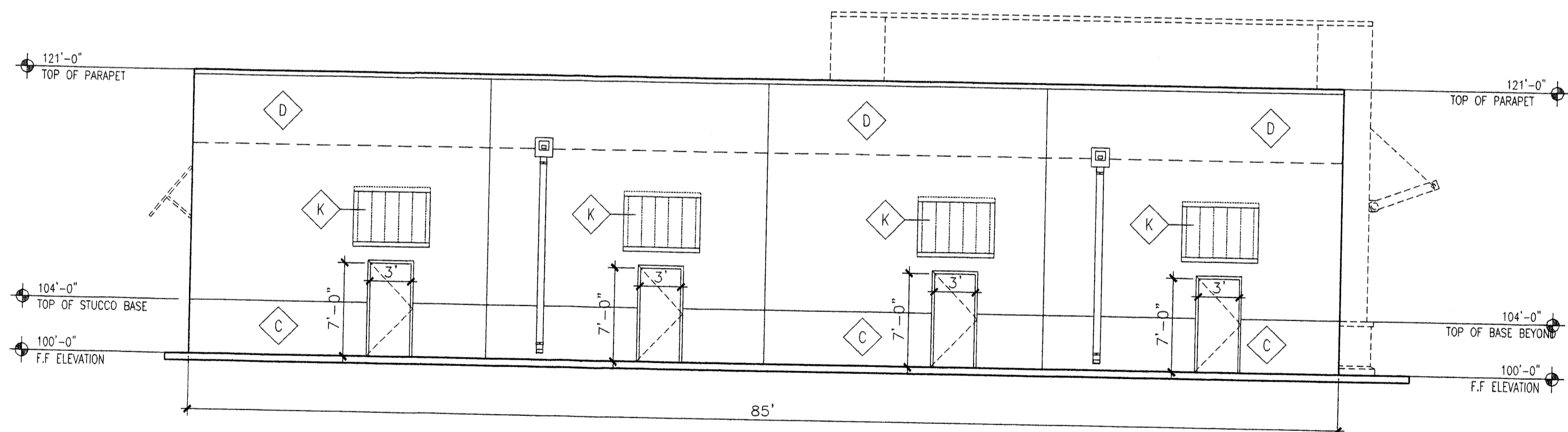


**3 SHOPS 1 EASTERN ELEVATION**

Scale: 1/8"=1'

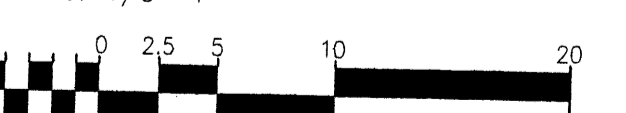


NOTE: SIGNAGE N.T.E SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



**4 SHOPS 1 SOUTHERN ELEVATION**

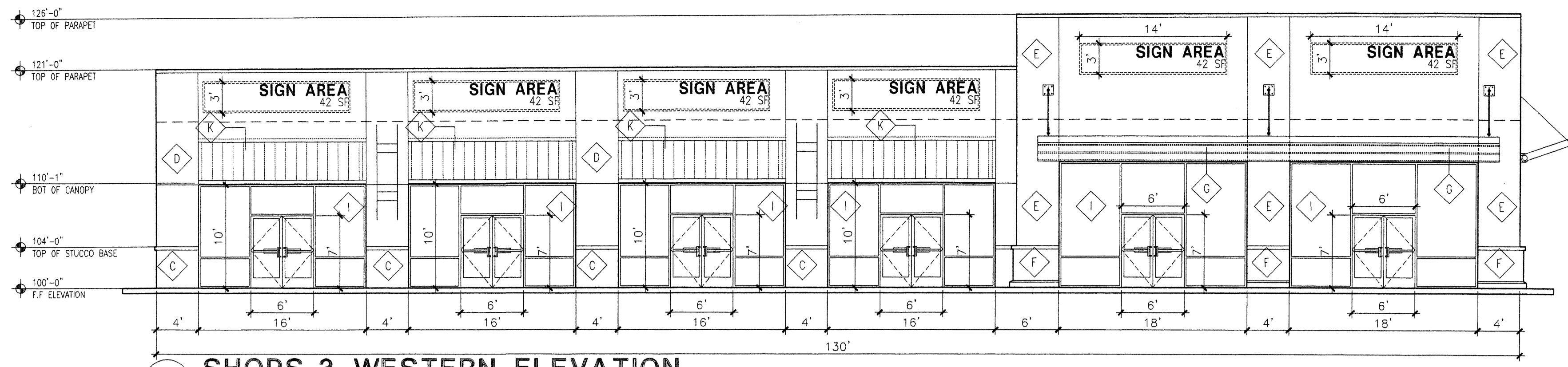
Scale: 1/8"=1'



NOTE: SIGNAGE N.T.E SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



PROJECT TITLE	MCMAHON MARKETPLACE		
	S.E.C OF UNSER AND MCMAHON BLDG		
	ALBUQUERQUE NEW MEXICO		
PROJECT MANAGER	JOB NO.	DRAWN BY.	
STEPHEN DUNBAR AIA		SD	
SHEET TITLE	SHOPS 1 ELEVATIONS		
DATE	10/10/04	sheet-	
SCALE	1/8"=1'-0"	<b>A4.5</b>	of-

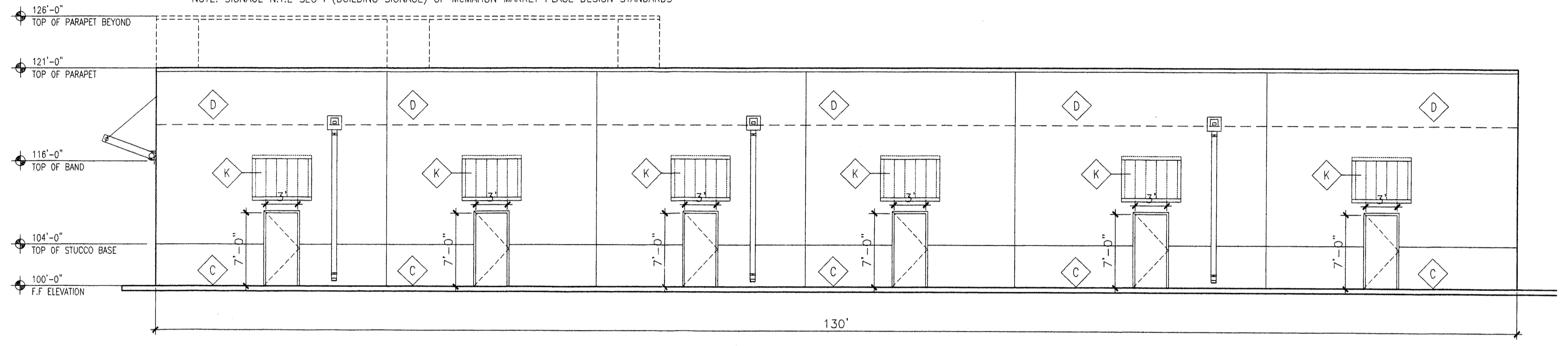


**1 SHOPS-3 WESTERN ELEVATION**

Scale: 1/8"=1'



NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

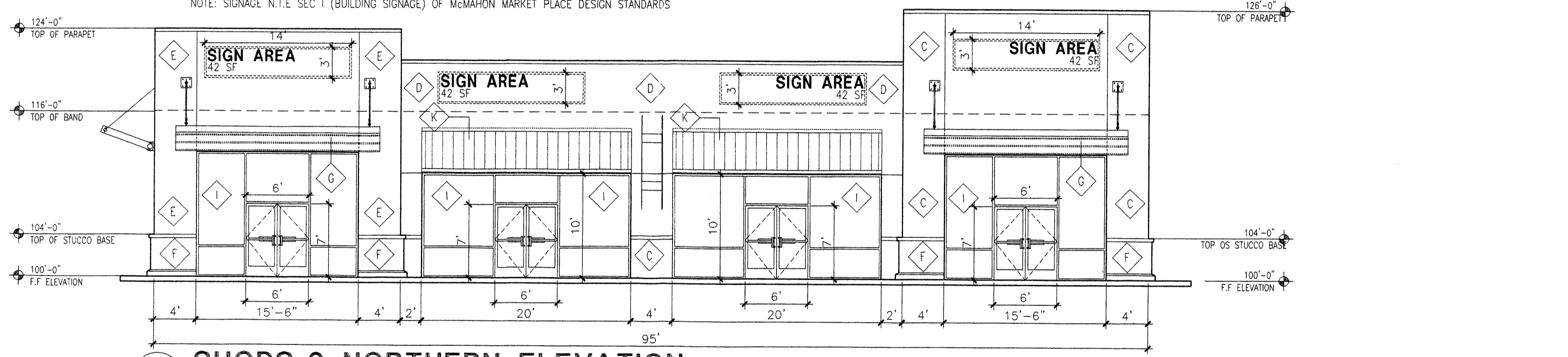


**3 SHOPS-3 EASTERN ELEVATION**

Scale: 1/8"=1'

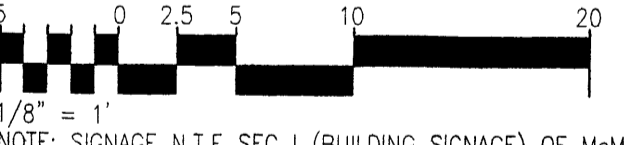


NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

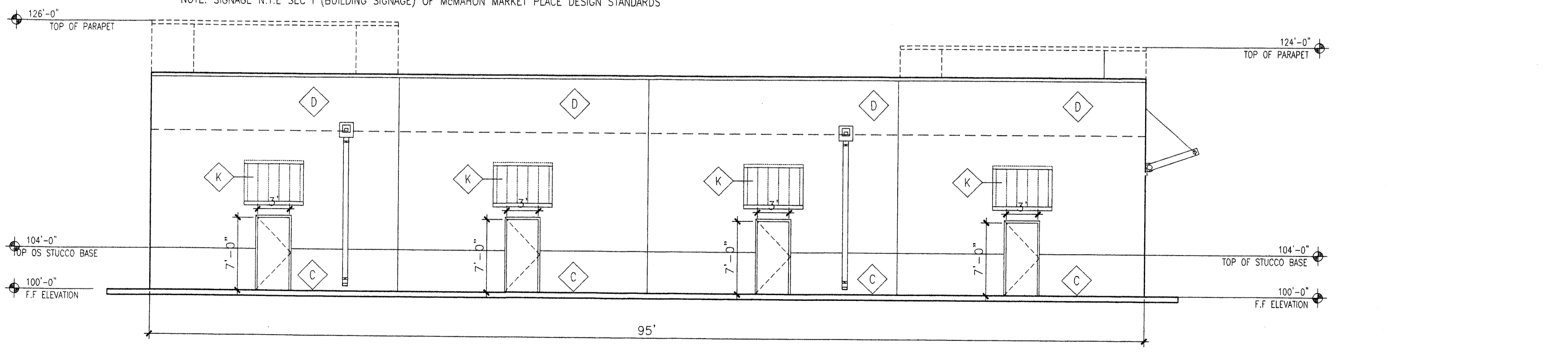


**4 SHOPS-2 NORTHERN ELEVATION**

Scale: 1/8"=1'

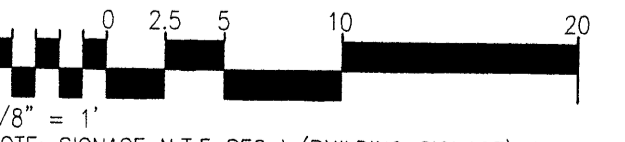


NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



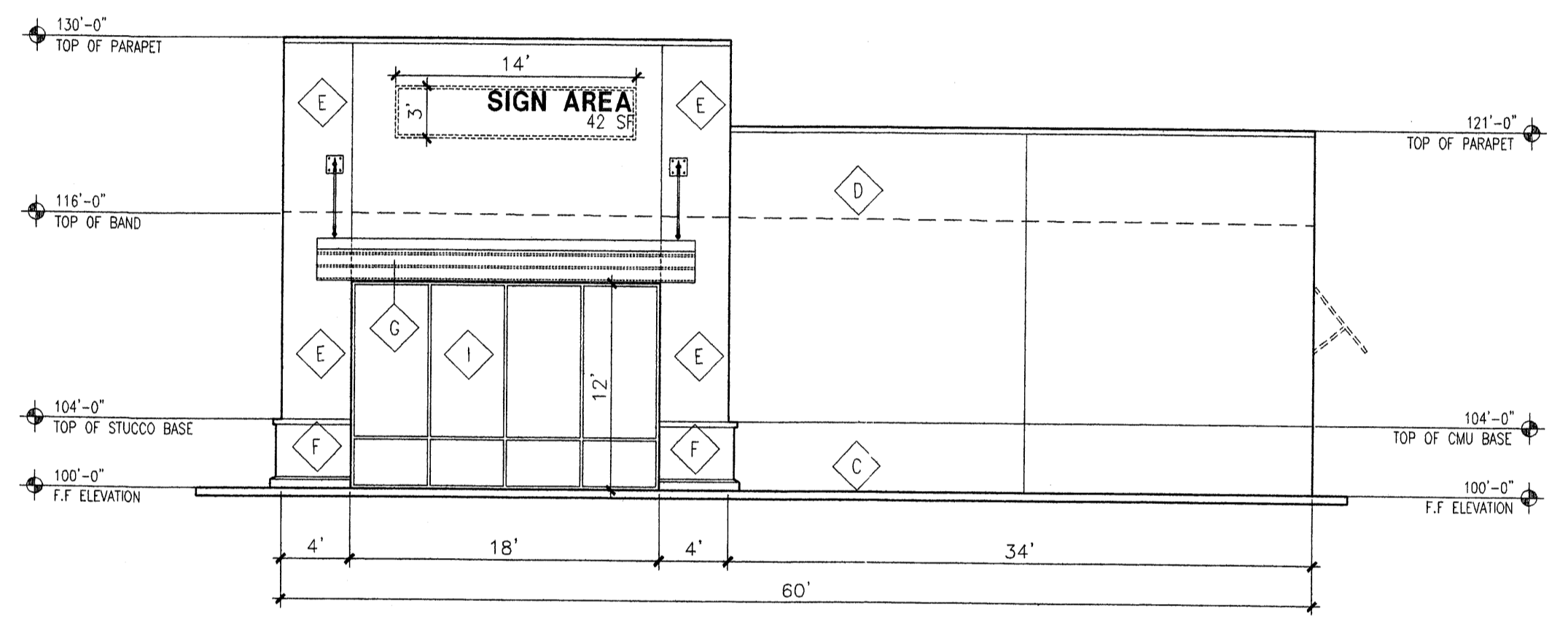
**6 SHOPS-2 SOUTHERN ELEVATION**

Scale: 1/8"=1'



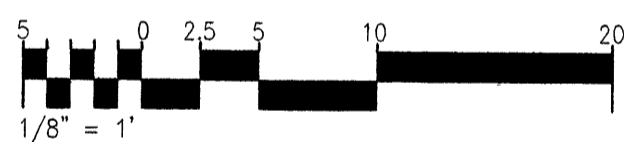
NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

Keyed Color / Material Schedule	
◇ A	WALL FINISH COLOR BENJAMIN MOORE #1032 (DARK TAN)
◇ B	WALL FINISH COLOR BENJAMIN MOORE #951 (LIGHT TAN)
◇ C	WALL FINISH COLOR SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)
◇ D	WALL FINISH COLOR SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT TAN COLOR)
◇ E	WALL FINISH COLOR SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)
◇ F	WALL FINISH COLOR SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)
◇ G	WALL FINISH COLOR SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)
◇ H	WALL FINISH COLOR SHERWIN WILLIAMS PACER WHITE SW 6098 (OFF WHITE COLOR)
◇ I	STOREFRONT CLEAR ANNOXIDIZED ALUMINUM(SILVER COLOR)
◇ J	ROOF FINISH MATERIAL SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
◇ K	AWNING SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL OVER AWNING FRAME
◇ L	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR TO CLOSELY MATCH BENJAMIN MOORE #1032 BROWN
◇ M	AWNING FABRIC SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN)

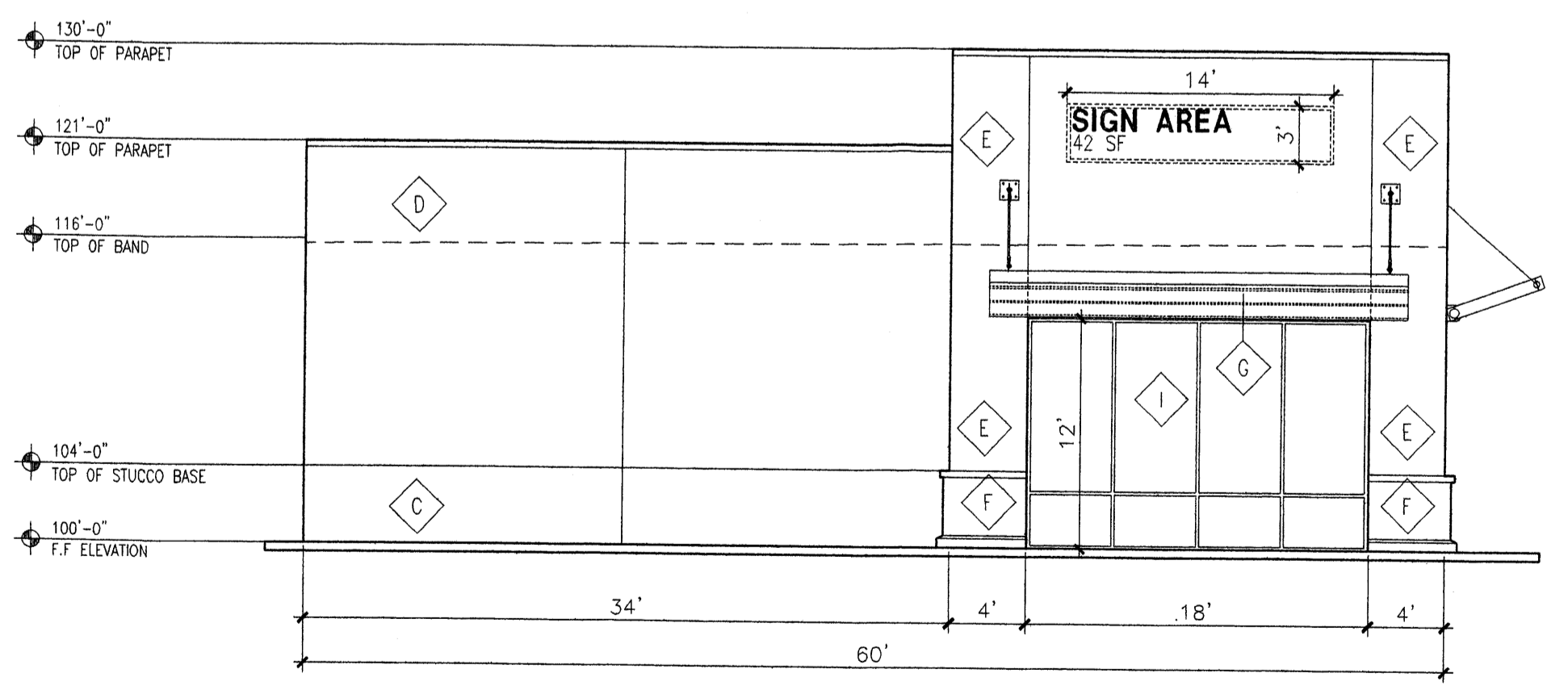


**2 SHOPS-3 SOUTHERN ELEVATION**

Scale: 1/8"=1'

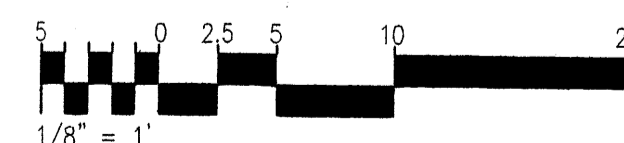


NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS



**5 SHOPS-2 EASTERN ELEVATION**

Scale: 1/8"=1'



NOTE: SIGNAGE N.T.E. SEC I (BUILDING SIGNAGE) OF McMAHON MARKET PLACE DESIGN STANDARDS

REV	DATE	BY	REVISION
6			
5	1/26/07		REV SUBMITAL

**GEORGE RAINHART ARCHITECT AND ASSOCIATES P**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**McMAHON MARKETPLACE**  
 S.E.C. OF UNSER AND McMAHON BLVD  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
 STEPHEN DUNBAR AIA

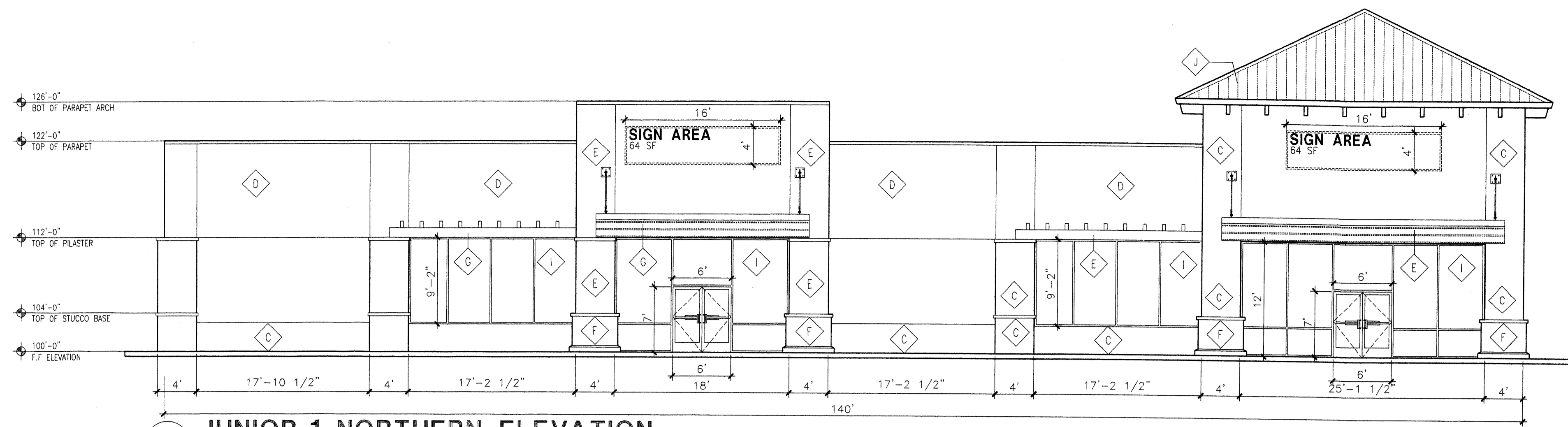
DRAWN BY  
 SD

JOB NO.  
**SHOPS-2-3**

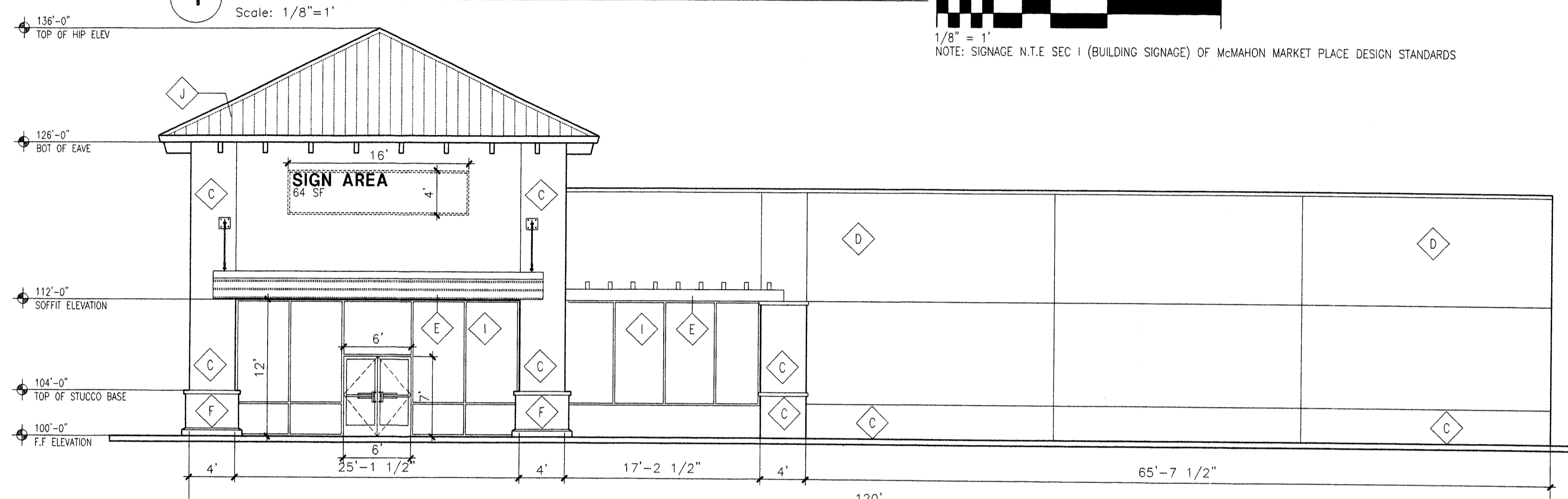
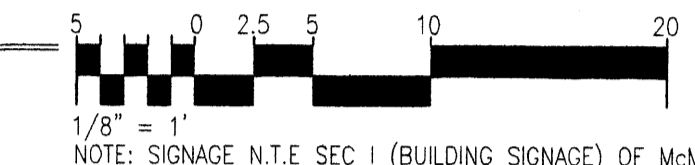
SHEET TITLE  
**SHOPS-2-3**

DATE: 10/10/04 sheet-  
 SCALE: 1/8"=1'-0" of  
**A4.6**

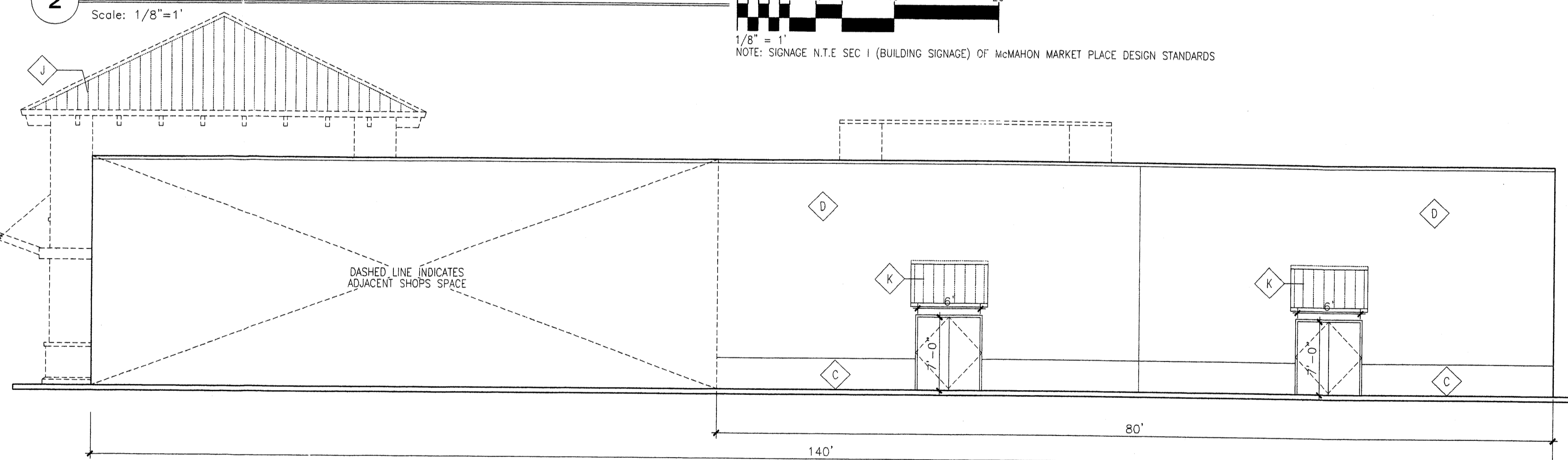
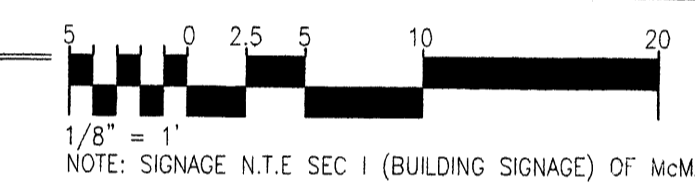




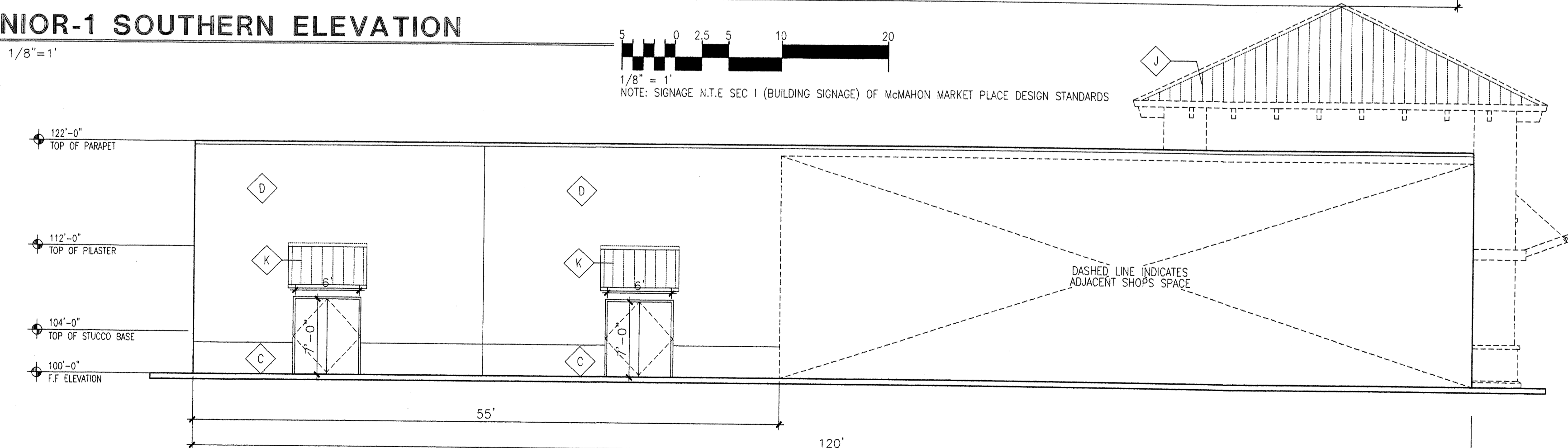
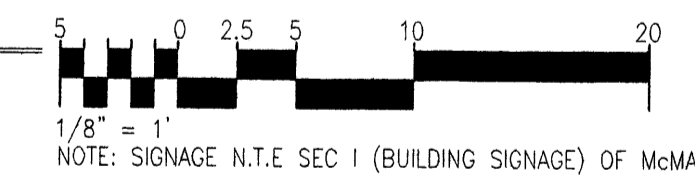
**1 JUNIOR-1 NORTHERN ELEVATION**  
Scale: 1/8"=1'



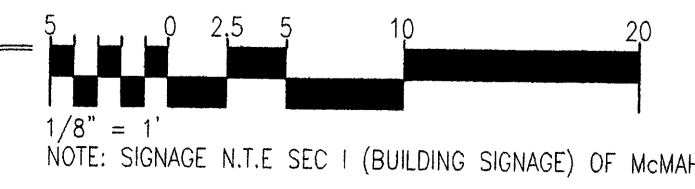
**2 JUNIOR-1 WESTERN ELEVATION**  
Scale: 1/8"=1'



**3 JUNIOR-1 SOUTHERN ELEVATION**  
Scale: 1/8"=1'



**4 JUNIOR-1 EASTERN ELEVATION**  
Scale: 1/8"=1'



Keyed Color / Material Schedule	
A	WALL FINISH COLOR BENJAMIN MOORE #1032 (DARK TAN)
B	WALL FINISH COLOR BENJAMIN MOORE #951 (LIGHT TAN)
C	WALL FINISH COLOR SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)
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G	WALL FINISH COLOR SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)
H	WALL FINISH COLOR SHERWIN WILLIAMS PACER WHITE SW 6096 (OFF WHITE COLOR)
I	STOREFRONT CLEAR ANNOXIDIZED ALUMINUM(SILVER COLOR)
J	ROOF FINISH MATERIAL SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
K	AWNING SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL OVER AWNING FRAME
L	CMU BLOCK UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR TO CLOSELY MATCH BENJAMIN MOORE #1032 BROWN
M	AWNING FABRIC SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN)

REV	DATE	BY	REVISION
6			
5	1/25/07	S	REV SUBMITAL

**GEORGE RAINHART ARCHITECT AND ASSOCIATES P**  
**2325 SAN PEDRO N.E. SUITE 2-B**  
**ALBUQUERQUE, NEW MEXICO 87110**  
**PHONE (505) 884-9110 FAX (505) 837-9877**

**PROJECT TITLE**  
**McMAHON MARKETPLACE**  
 S.E.C. OF UNSER AND McMAHON BLVD  
 ALBUQUERQUE NEW MEXICO

**PROJECT MANAGER**  
 STEPHEN DUNBAR, AIA

**JOB NO.**  
 SD

**DRAWN BY:**  
 SD

**SHEET TITLE**  
**JUNIOR 1 ELEVATIONS**

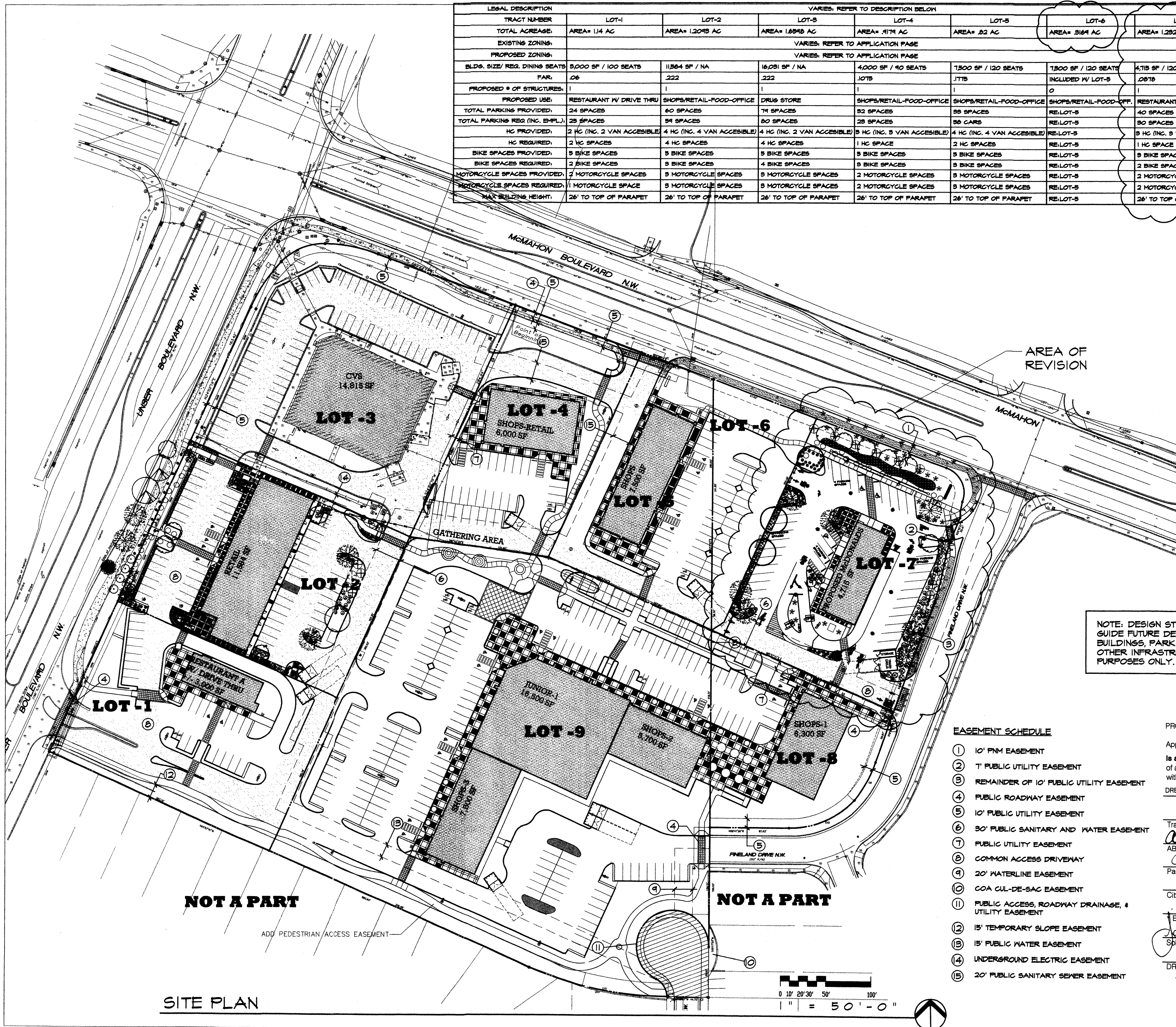
**DATE:**  
 10/10/04

**SCALE:**  
 1/8"=1'-0"

**Sheet-**  
**A4.7**

**of-**

LEGAL DESCRIPTION	VARIES; REFER TO DESCRIPTION BELOW								
TRACT NUMBER	LOT-1	LOT-2	LOT-3	LOT-4	LOT-5	LOT-6	LOT-7	LOT-8	LOT-9
TOTAL ACREAGE:	AREA= 1.14 AC	AREA= 1.209 AC	AREA= 1.6898 AC	AREA= .9179 AC	AREA= .82 AC	AREA= 3.64 AC	AREA= 1.282 AC	AREA= .72 AC	AREA= 4.12 AC
EXISTING ZONING:	VARIES; REFER TO APPLICATION PAGE								
PROPOSED ZONING:	VARIES; REFER TO APPLICATION PAGE								
BLDG. SIZE/ REG. DINING SEATS	9,000 SF / 100 SEATS	11,864 SF / NA	16,051 SF / NA	4,000 SF / 40 SEATS	7,500 SF / 120 SEATS	7,500 SF / 120 SEATS	4,715 SF / 120 SEATS	6,800 SF / 40 SEATS	30,000 SF / 100 SEATS
FAR:	.06	.222	.222	.1075	.1775	INCLUDED W/ LOT-5	.0875	.2	.17
PROPOSED # OF STRUCTURES:	1	1	1	1	1	0	1	1	5
PROPOSED USE:	RESTAURANT W/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	DRUG STORE	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	RESTAURANT W/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE
TOTAL PARKING PROVIDED:	24 SPACES	60 SPACES	74 SPACES	52 SPACES	88 SPACES	RE:LOT-5	40 SPACES	21 SPACES	178 SPACES
TOTAL PARKING REQ (INC. EMPL.):	25 SPACES	54 SPACES	80 SPACES	25 SPACES	50 CARS	RE:LOT-5	50 SPACES (1 PER 4 SEATS)	27 SPACES	162 SPACES
HC PROVIDED:	2 HC (INC. 2 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 2 VAN ACCESSIBLE)	5 HC (INC. 3 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	RE:LOT-5	3 HC (INC. 3 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	10 HC (INC. 10 VAN ACCESSIBLE)
HC REQUIRED:	2 HC SPACES	4 HC SPACES	4 HC SPACES	1 HC SPACE	2 HC SPACES	RE:LOT-5	1 HC SPACE	1 HC SPACE	8 HC SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES	9 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	RE:LOT-5	9 BIKE SPACES	5 BIKE SPACES	10 BIKE SPACES
BIKE SPACES REQUIRED:	2 BIKE SPACES	5 BIKE SPACES	4 BIKE SPACES	2 BIKE SPACES	5 BIKE SPACES	RE:LOT-5	2 BIKE SPACES	3 BIKE SPACES	4 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	RE:LOT-5	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	8 MOTORCYCLE SPACES
MOTORCYCLE SPACES REQUIRED:	1 MOTORCYCLE SPACE	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	RE:LOT-5	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	5 MOTORCYCLE SPACES
MAX BUILDING HEIGHT:	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	RE:LOT-5	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET

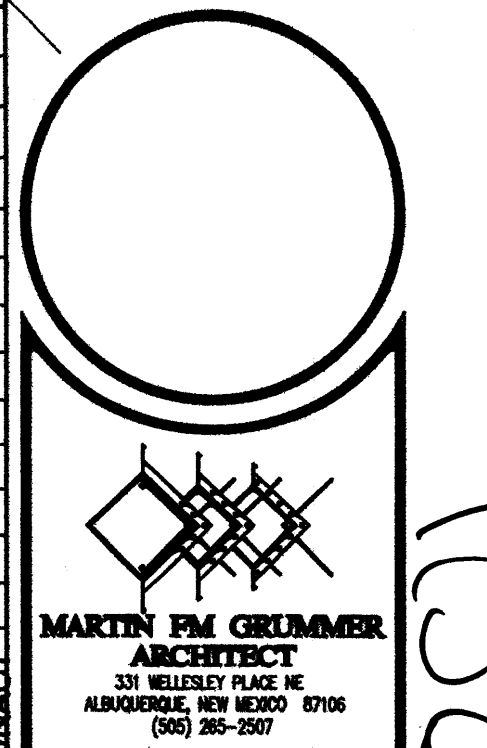


NOTE: DESIGN STANDARDS ARE PROVIDED TO GUIDE FUTURE DEVELOPMENT. THE LOCATION OF BUILDINGS, PARKING LOTS, DUMPSTERS, AND OTHER INFRASTRUCTURE ARE FOR ILLUSTRATIVE PURPOSES ONLY.

- EASEMENT SCHEDULE**
- ① 10' PNM EASEMENT
  - ② 7' PUBLIC UTILITY EASEMENT
  - ③ REMAINDER OF 10' PUBLIC UTILITY EASEMENT
  - ④ PUBLIC ROADWAY EASEMENT
  - ⑤ 10' PUBLIC UTILITY EASEMENT
  - ⑥ 30' PUBLIC SANITARY AND WATER EASEMENT
  - ⑦ PUBLIC UTILITY EASEMENT
  - ⑧ COMMON ACCESS DRIVEWAY
  - ⑨ 20' WATERLINE EASEMENT
  - ⑩ COA CUL-DE-SAC EASEMENT
  - ⑪ PUBLIC ACCESS, ROADWAY DRAINAGE, & UTILITY EASEMENT
  - ⑫ 15' TEMPORARY SLOPE EASEMENT
  - ⑬ 15' PUBLIC WATER EASEMENT
  - ⑭ UNDERGROUND ELECTRIC EASEMENT
  - ⑮ 20' PUBLIC SANITARY SEWER EASEMENT

PROJECT NUMBER: 1005280  
 Application Number: 13EPC-40125  
 Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
 DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division ABCWUA	10-30-13 Date
<i>[Signature]</i> Parks and Recreation Department	10-30-13 Date
<i>[Signature]</i> City Engineer	10-31-13 Date
<i>[Signature]</i> Environmental Health Department - (conditional)	Date
<i>[Signature]</i> Solid Waste Management	10-21-13 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	11-13-13 Date



MCMAHON MARKET PLACE  
 McDONALD'S RESTAURANT  
 SHELL BUILDING  
 ALBUQUERQUE, NM 87114  
 AMENDMENT TO  
 SITE PLAN FOR SUBDIVISION

DATE: 8 OCT 2013  
 DRAWN BY: MFMG  
 CHECKED BY:  
 VERIFIED BY:

REVISIONS

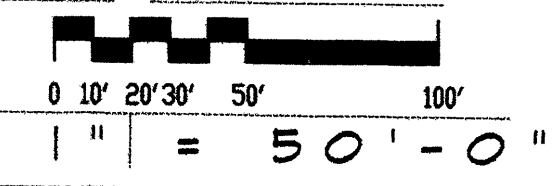
SHEET NO:  
**A1.0**  
 1 OF 2

NOT A PART

ADD PEDESTRIAN ACCESS EASEMENT

NOT A PART

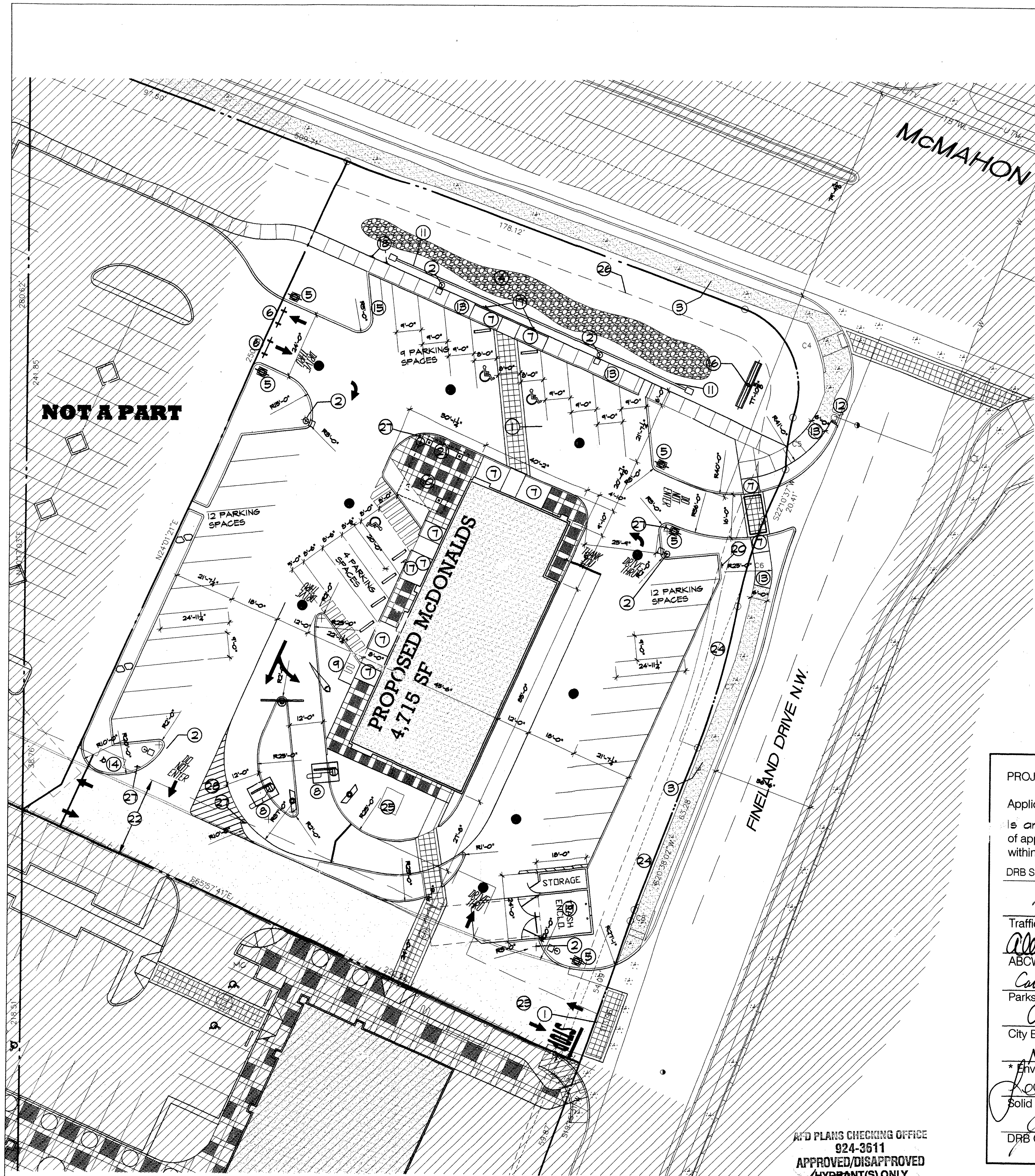
SITE PLAN



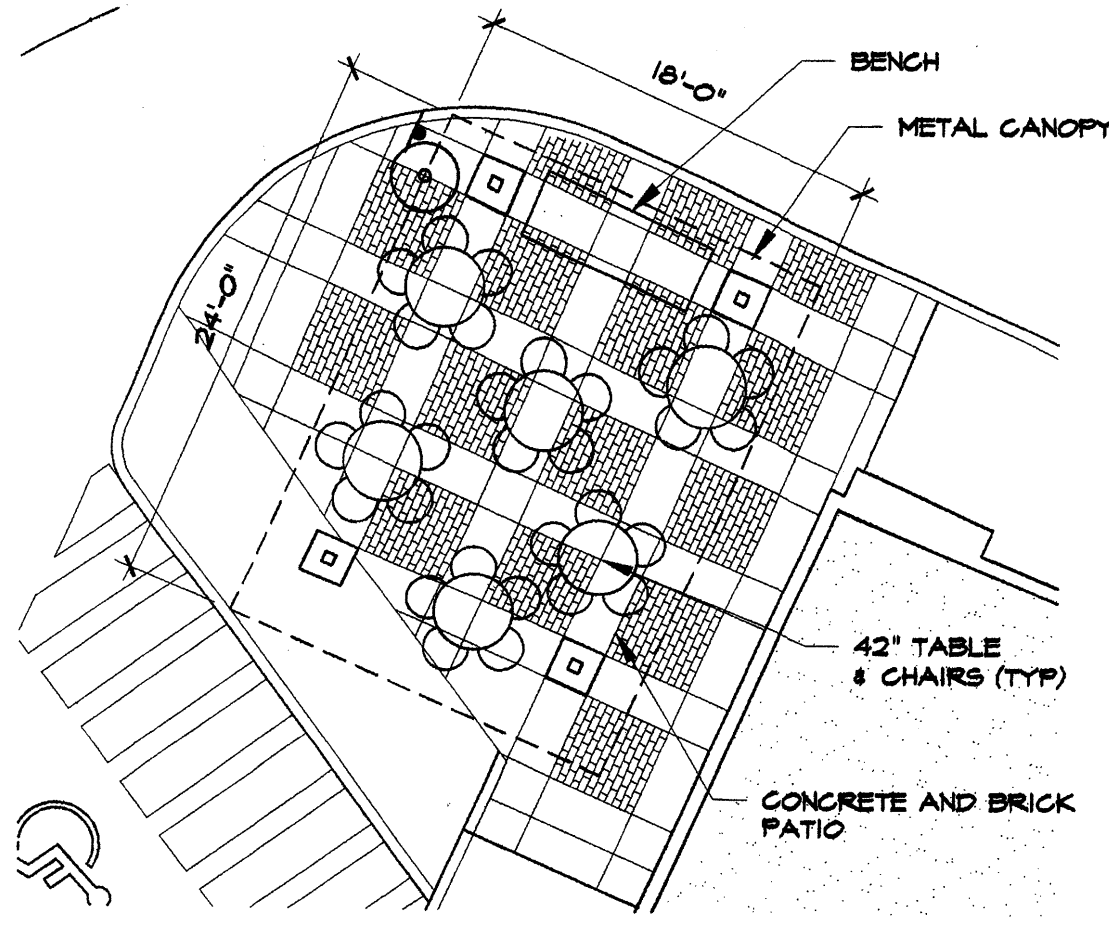
ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

08250501





LEGAL DESCRIPTION	
TRACT NUMBER	LOT-7
TOTAL ACREAGE	AREA 1.282 AC
EXISTING ZONING	SUI FOR CI USES
PROPOSED ZONING	SUI FOR CI USES
BLDG. SIZE/ REG. DINING SEATS	4,715 SF / 120 SEATS
FAR	0.878
PROPOSED # OF STRUCTURES	1
PROPOSED USE	RESTAURANT W/ DRIVE THRU
TOTAL PARKING PROVIDED	87 SPACES
TOTAL PARKING REQ (INC. EMPL.)	80 SPACES (1 PER 4 SEATS)
HC PROVIDED	5 HC (INC. 3 VAN ACCESSIBLE)
HC REQUIRED	1 HC SPACE
BIKE SPACES PROVIDED	9 BIKE SPACES
BIKE SPACES REQUIRED	2 BIKE SPACES
MOTORCYCLE SPACES PROVIDED	2 MOTORCYCLE SPACES
MOTORCYCLE SPACES REQUIRED	2 MOTORCYCLE SPACES
MAX BUILDING HEIGHT	26' TO TOP OF PARAPET



OUTDOOR SEATING AREA

KEYED NOTES

- ① 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- ② PROPOSED LIGHT POLE LOCATION RE: 3/4" FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN) IN BLANKET DRAINAGE EASEMENT
- ⑤ McDONALD'S DIRECTIONAL SIGN
- ⑥ TYPE III BARRICADE (PER CITY STANDARDS)
- ⑦ HANDICAP RAMP PER COA DMS #2441
- ⑧ DETECTOR LOOP (PER McDONALD'S)
- ⑨ INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: 1/4" 1/3
- ⑩ OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) 1/4" 8' LONG X 5' WIDE BENCH SHADED BY TRELIS AND LANDSCAPING (641 SF PROVIDED, 482 SF COVERED)
- ⑪ PROPOSED 8'-0" HIGH ON SOUTH SIDE X 8' INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN/RETAINING WALL (TAN/RED COLOR) RE: 10/4" 1/3 FOR DET. SEE GRADING PLAN
- ⑫ EXISTING FIRE HYDRANT.
- ⑬ NEW 6' WIDE SIDEWALK
- ⑭ INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- ⑮ INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
- ⑯ INDICATES SIGN TYPE A. RE: DETAIL 7/4" 1/3 FOR INFO
- ⑰ HANDICAP ACCESSIBLE SIGN
- ⑱ MOTORCYCLE PARKING SIGN
- ⑲ INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 2/4" 1/3. NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- ⑳ McDONALD'S OOSP SIGN
- ㉑ INDICATES 18" HIGH BENCH LOCATION
- ㉒ 30' PUBLIC SANITARY SEWER AND WATER EASEMENT COMMON ACCESS DRIVEWAY
- ㉓ PUBLIC UTILITY EASEMENT
- ㉔ ELECTRICAL TRANSFORMER AND UTILITY BOXES
- ㉕ 10' PNM EASEMENT
- ㉖ DO NOT ENTER SIGN - "RS-1"
- ㉗ PAVEMENT STRIPING @ 24" O.C.

PROJECT NUMBER: 1005280

Application Number: 13 EPC-40124

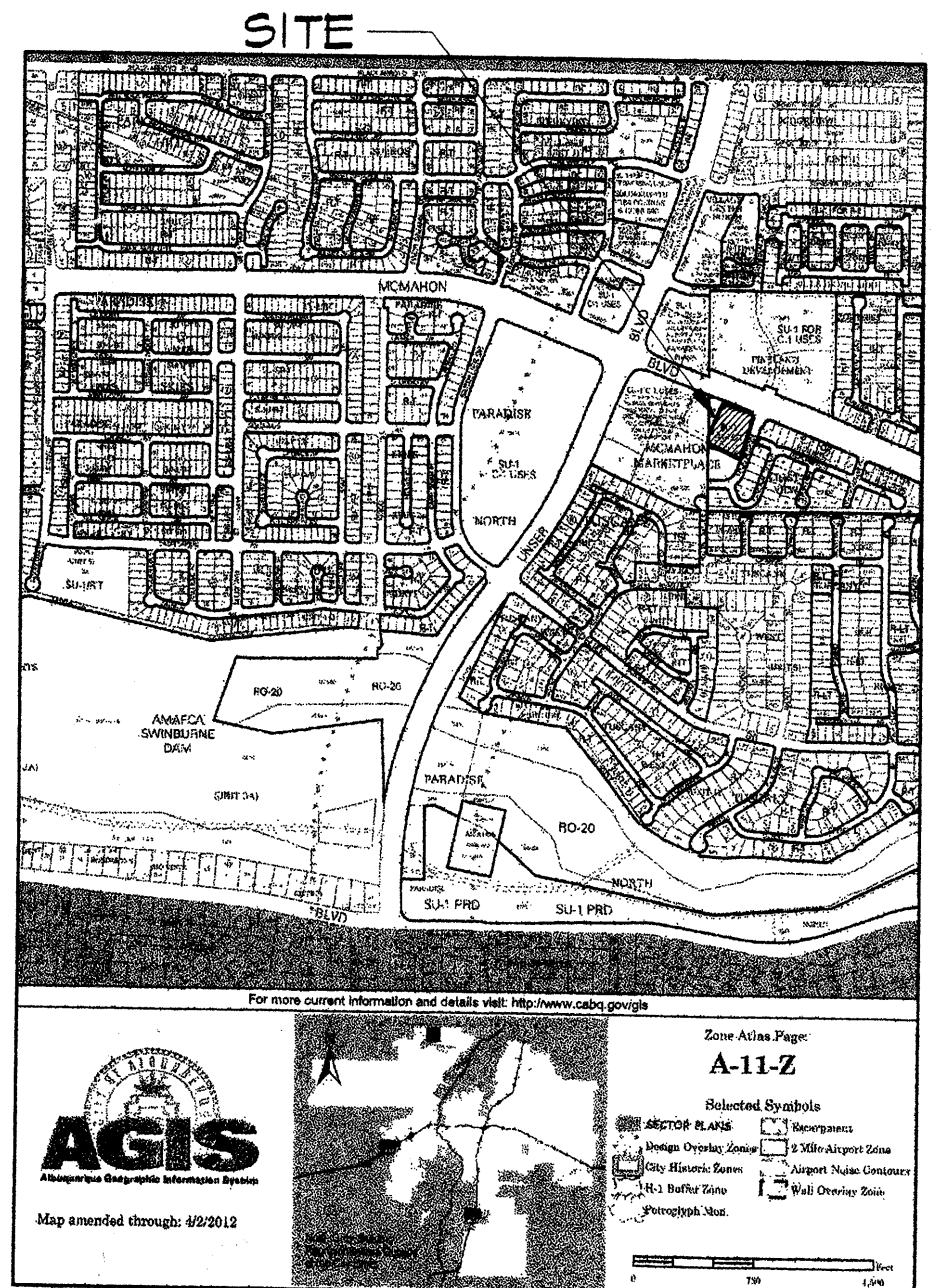
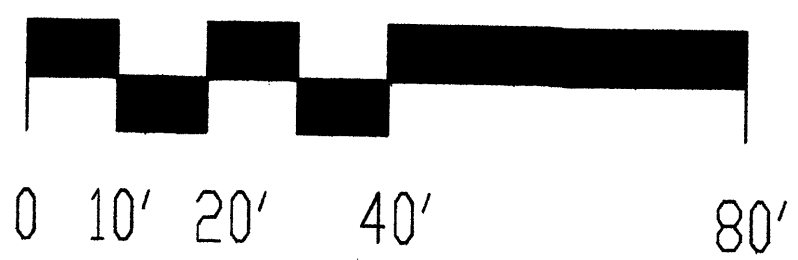
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

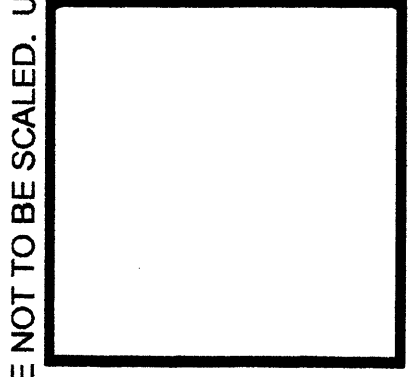
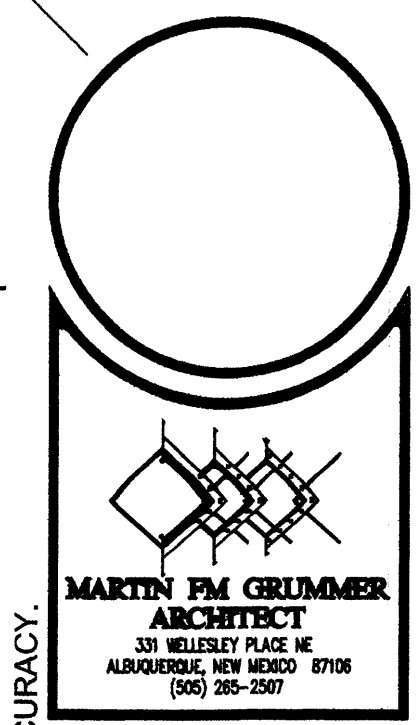
<i>[Signature]</i> Traffic Engineering, Transportation Division	10-30-13 Date
<i>[Signature]</i> ABCWUA	10/30/13 Date
<i>[Signature]</i> Parks and Recreation Department	10-30-13 Date
<i>[Signature]</i> City Engineer	11-13-13 Date
<i>[Signature]</i> * Environmental Health Department-(conditional)	Date
<i>[Signature]</i> Solid Waste Management	10-18-13 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	11-13-13 Date

APD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
DATE 10/21/13  
SIGNATURE & DATE

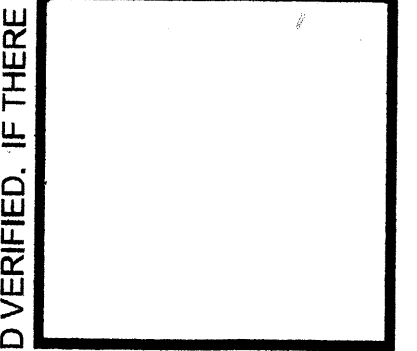
1" = 20'-0"



VICINITY MAP NTS



McMAHON MARKET PLACE  
McDONALD'S RESTAURANT  
SHELL BUILDING  
ALBUQUERQUE, NM 87114  
SITE PLAN FOR BUILDING PERMIT



DATE: 8 OCT 2013  
DRAWN BY: MFMG  
CHECKED BY:  
VERIFIED BY:

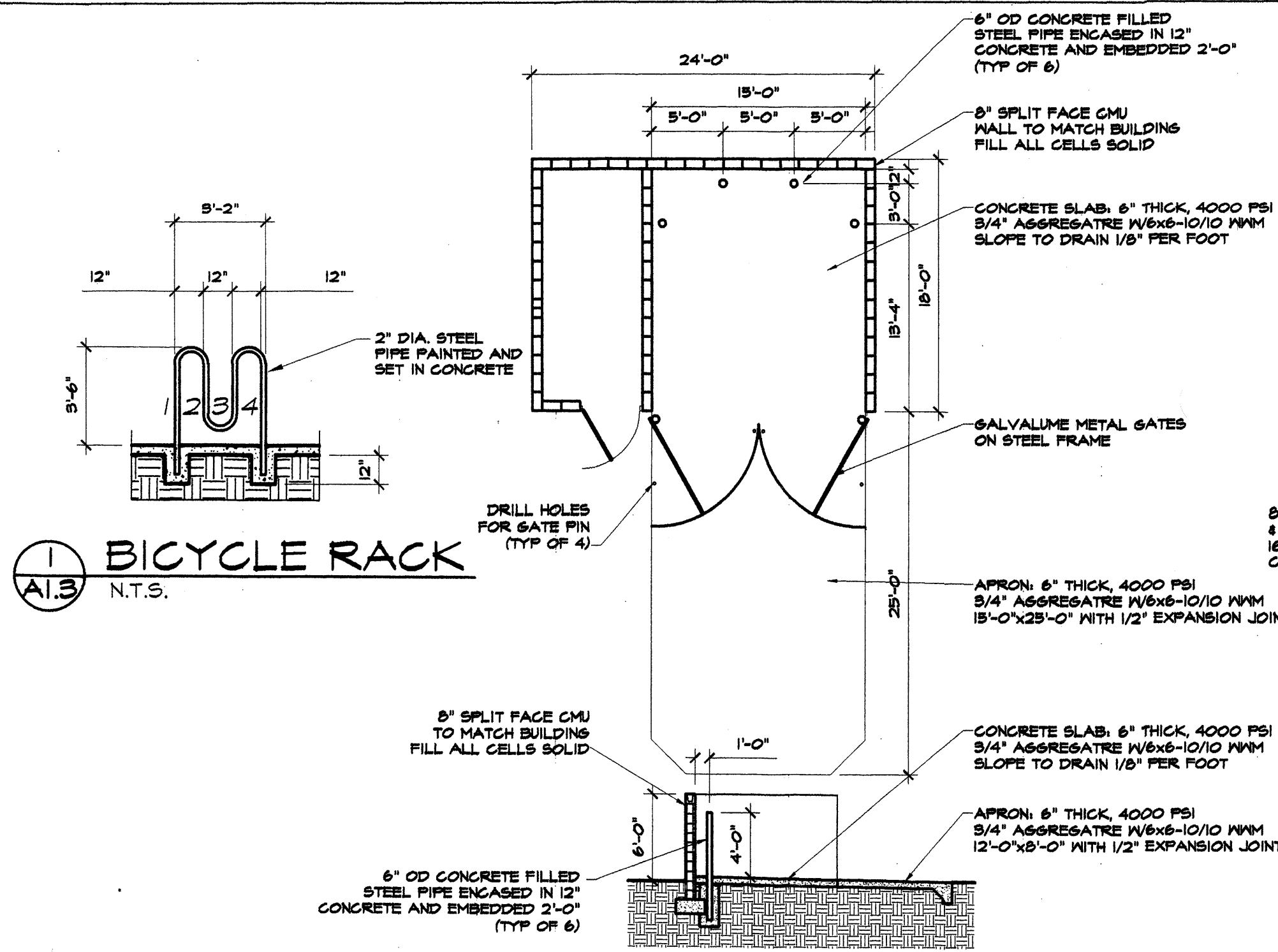
REVISIONS

SHEET NO:  
A1.2  
1 OF 6

SITE PLAN - LOT 7

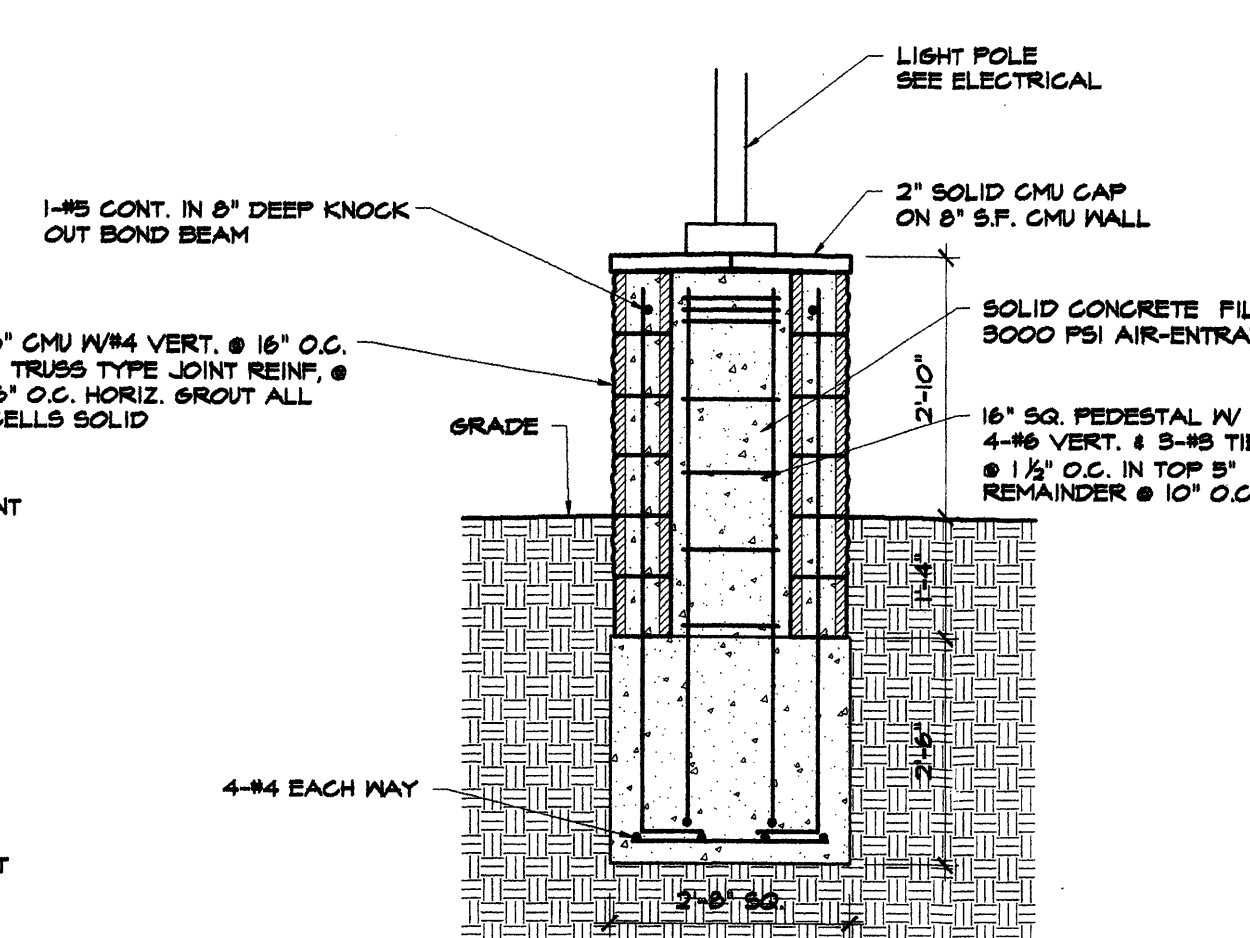
1005280

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

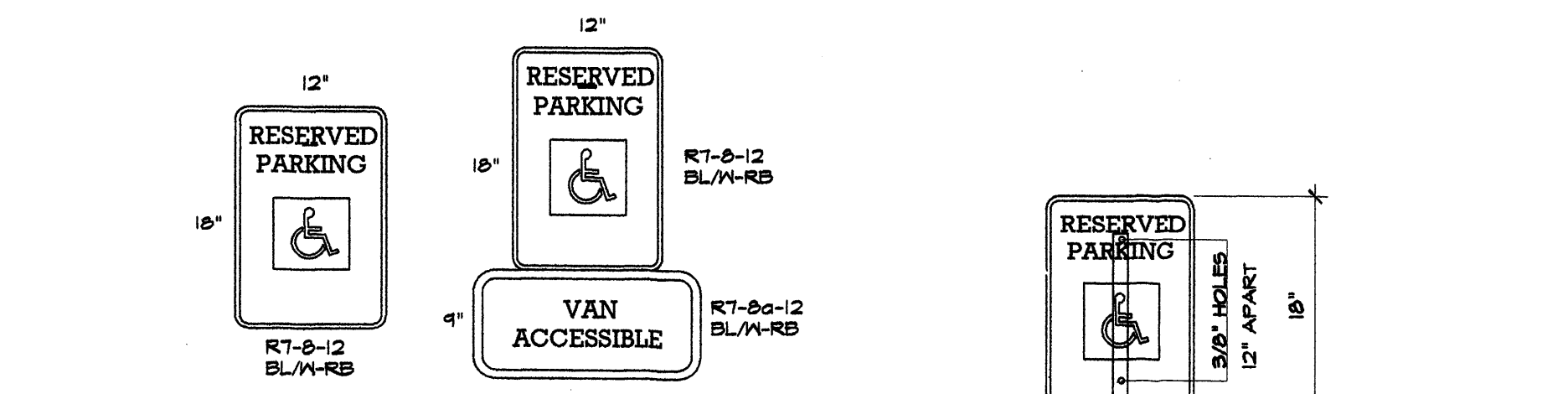


1 BICYCLE RACK  
A1.3 N.T.S.

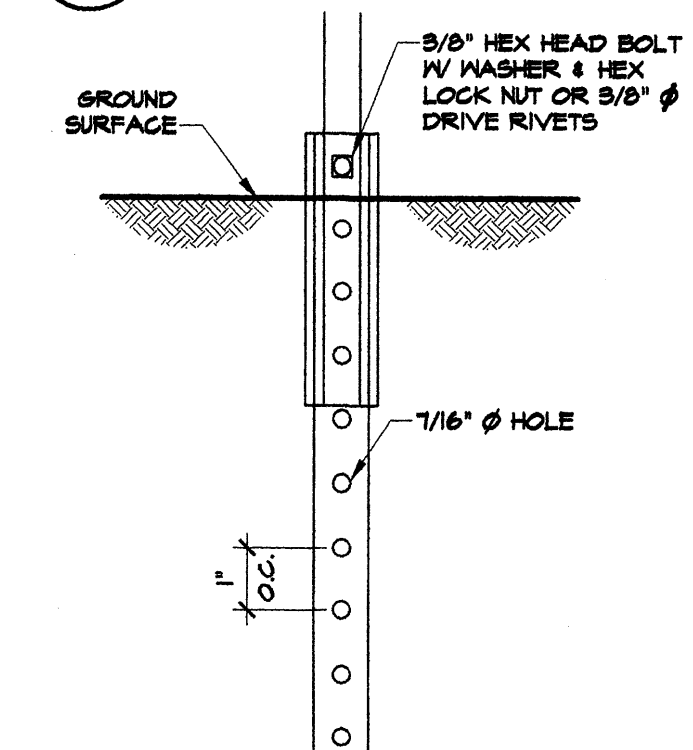
2 REFUSE ENCLOSURE  
A1.3 N.T.S.



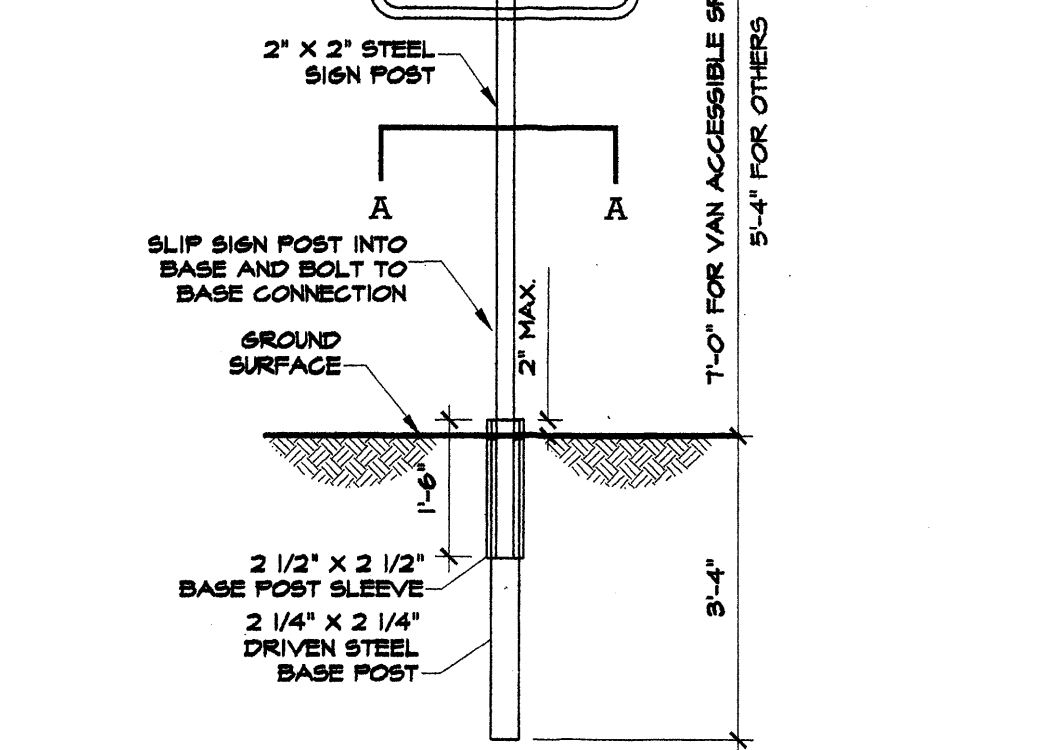
3 LIGHT POLE BASE  
A1.3 1/2" = 1'-0"



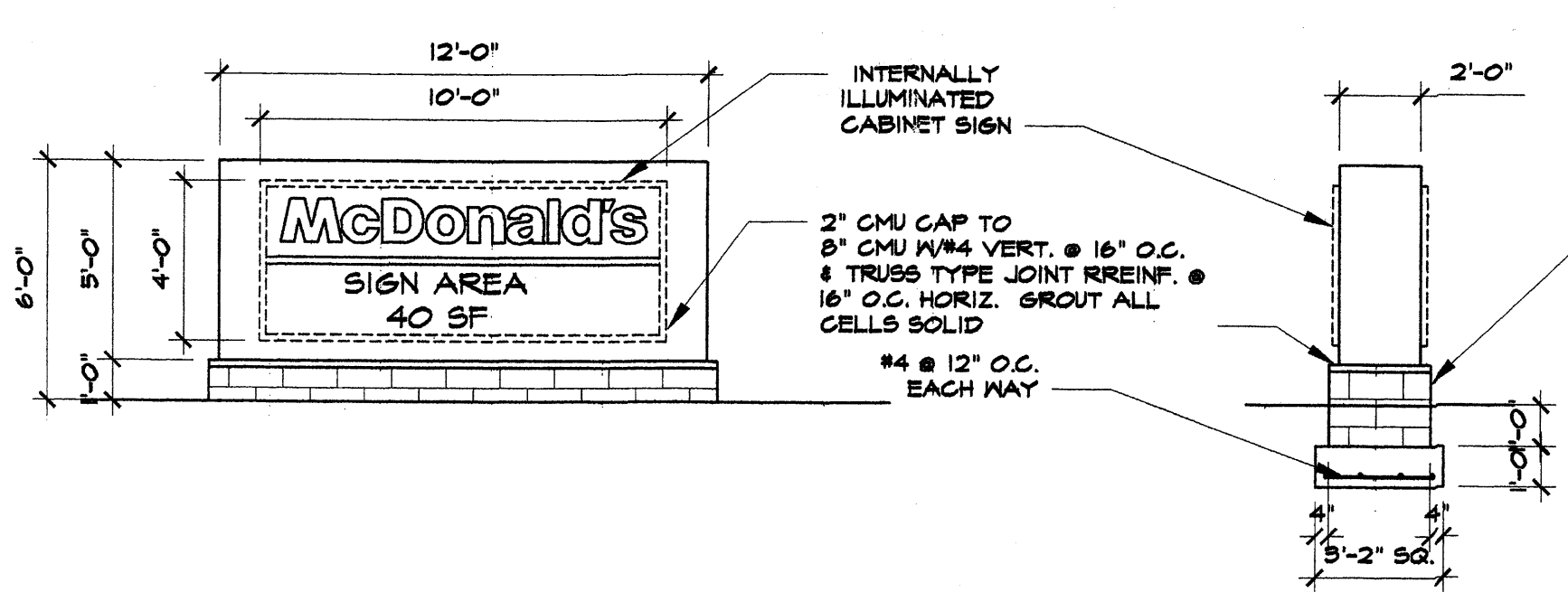
4 HANDICAP PARKING SIGNS  
A1.3 N.T.S.



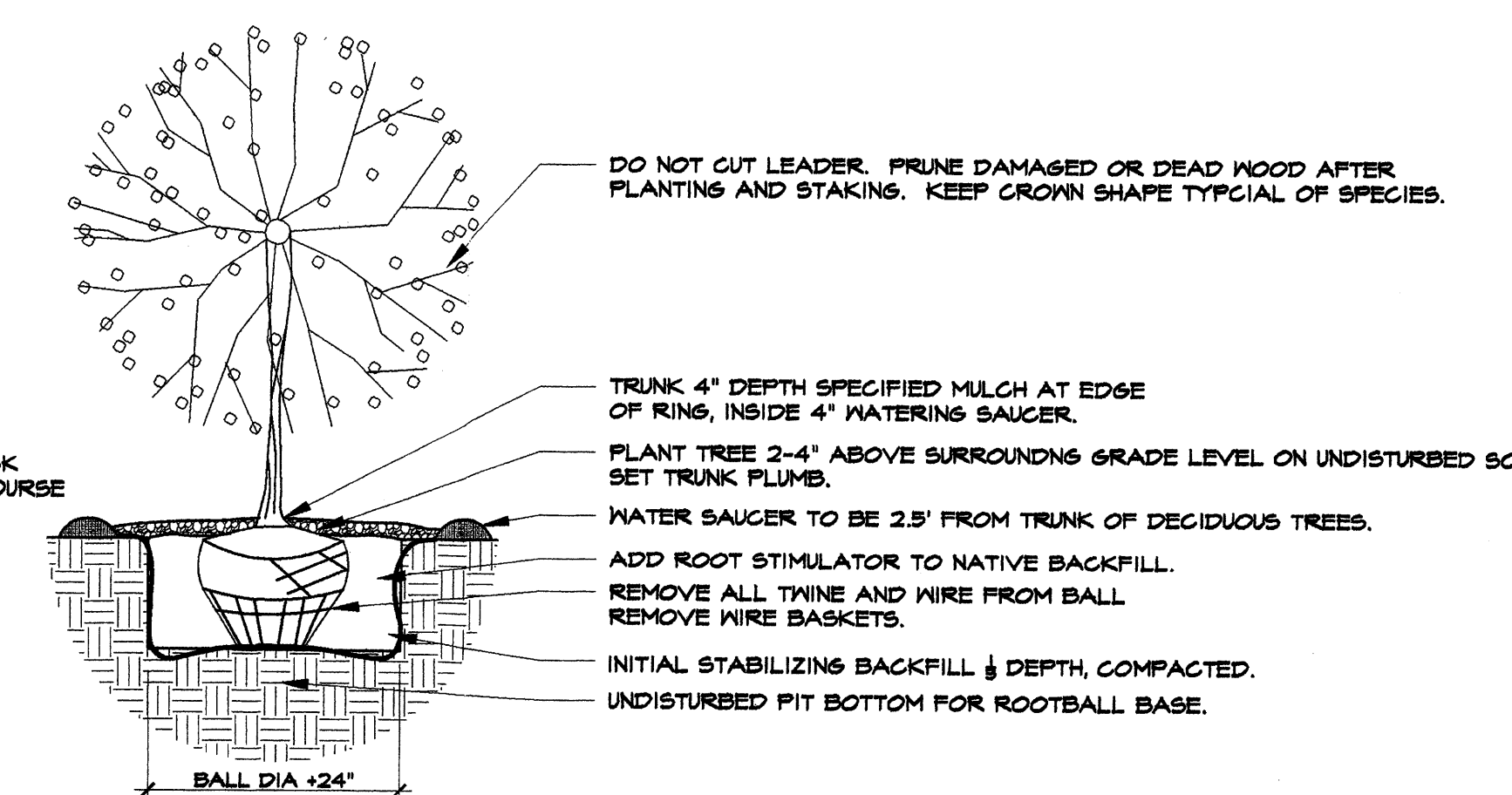
5 SECTION A-A  
A1.3 N.T.S.



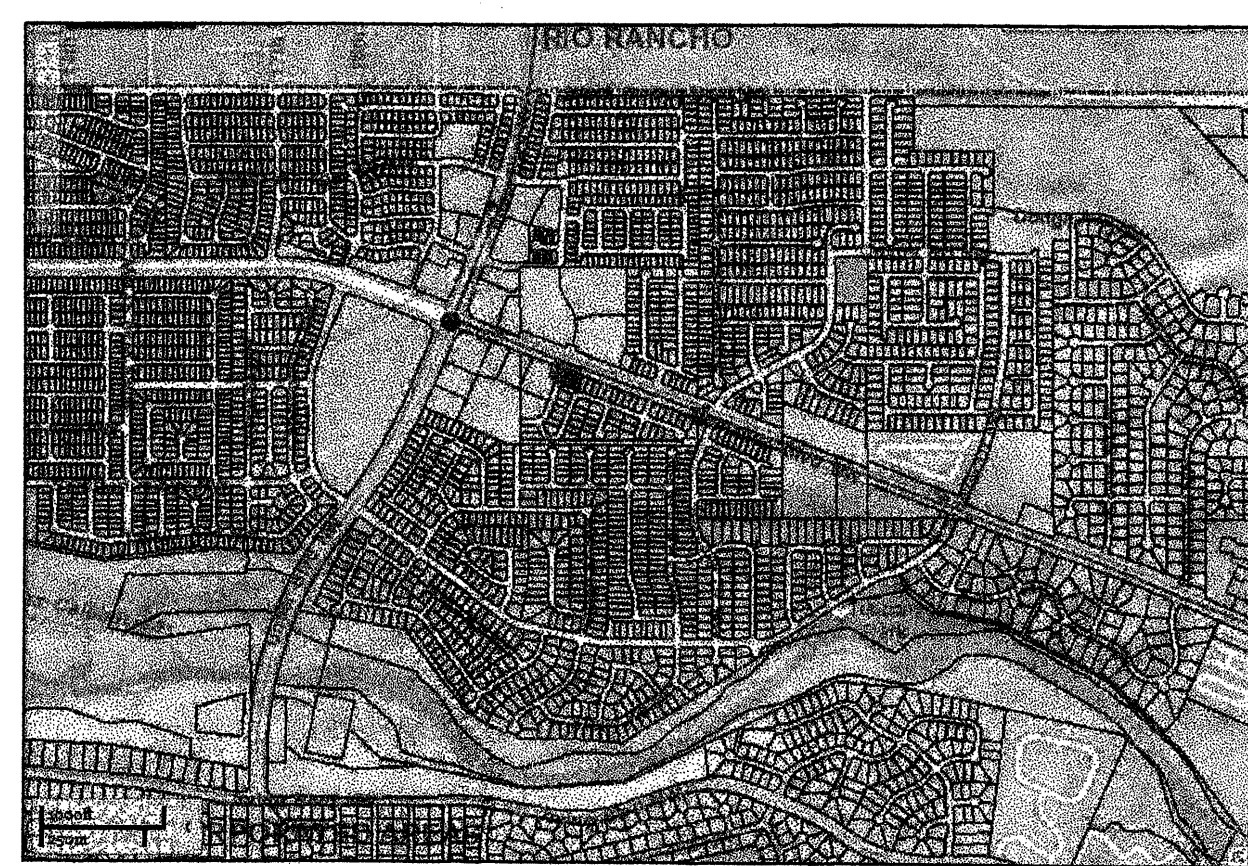
6 SIGN MOUNTING DETAIL  
A1.3 N.T.S.



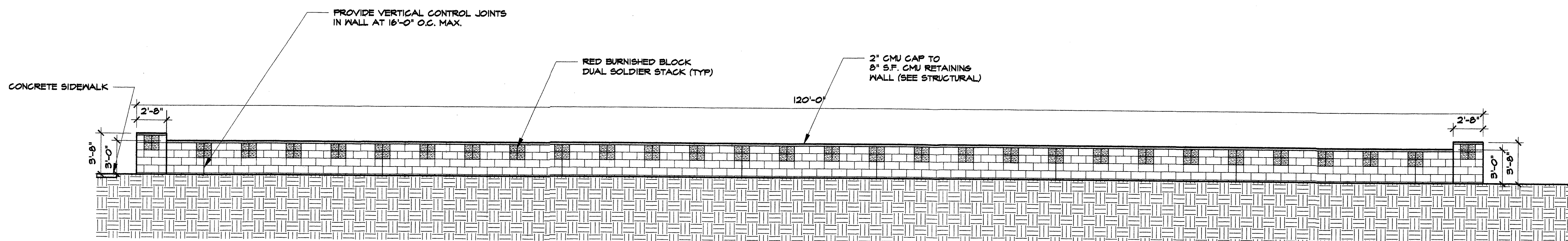
7 MONUMENT SIGN DETAIL  
A1.3 N.T.S.



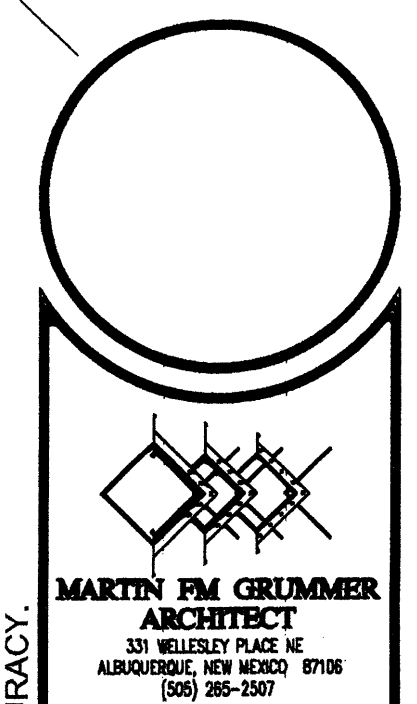
8 TREE PLANTING DETAIL  
A1.3 N.T.S.



9 BUS ROUTE PLAN  
A1.3 N.T.S.



10 NORTH SCREEN WALL ELEVATION  
A1.3 3/8" = 1'-0"



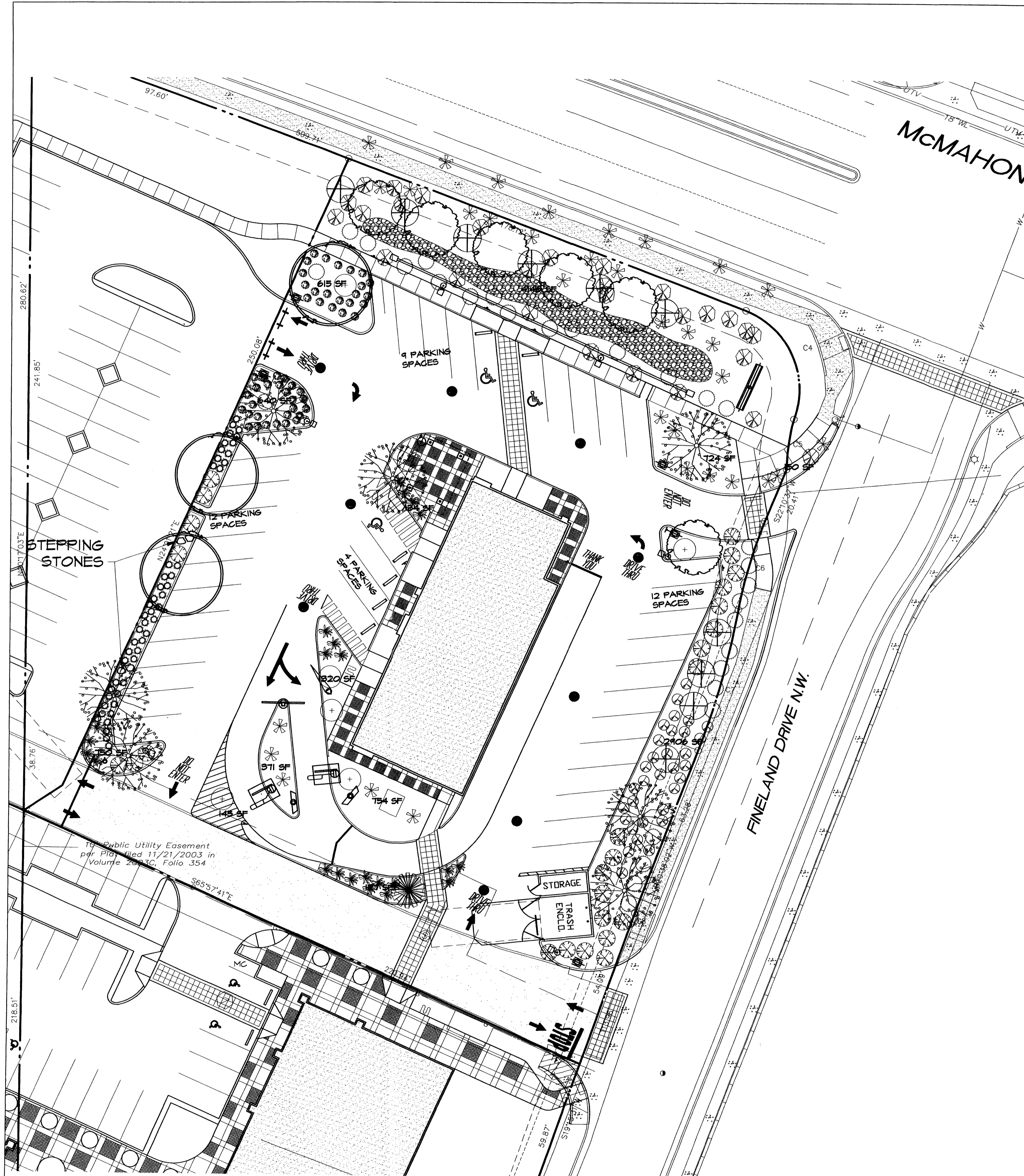
MGMAHON MARKET PLACE  
MCDONALD'S RESTAURANT  
SHELL BUILDING  
ALBUQUERQUE, NM 87114  
SITE PLAN FOR BUILDING PERMIT  
SITE DETAILS

DATE: 8 OCT 2013  
DRAWN BY: MFMG  
CHECKED BY:  
VERIFIED BY:

NO.	REVISIONS

SHEET NO:  
**A1.3**  
2 OF 6

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## PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	COVERAGE AREA
<b>TREES</b>						
	1	PINUS ELДАРICA	AFGHAN PINE	3' GAL.	M	
	6	CHILOPSIS X GATALPA	CHITALPA	2' GAL.	M	
	6	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2' GAL.	M	
	3	PISTACIA CHINENSIS	CHINESE PISTACHE	2' GAL.	M	
	10	CHILOPSIS LINEARIS	DESERT WILLOW	5 GAL.	L	225 SF X 10 = 2250 SF
			3-4" COBBLE STONE IN DRAINAGE AREA			
			STEPPING STONES			
<b>SHRUBS</b>						
	28	ERICAMERIA LARIGIFOLIA	TURPENTINE BUSH	1 GAL.	L	16 SF X 28 = 448 SF
	24	POTENTILLA FRUTICOSA	POTENTILLA	1 GAL.	M	9 SF X 24 = 216 SF
	32	RAMPHOLEPIS INDICA	INDIAN HAWTHORN	5 GAL.	M	36 SF X 32 = 1152 SF
	58	MUHLENBERGIA CAPILLARIS	REGAL MIST	5 GAL.	M	9 SF X 58 = 471 SF
	44	ARTIMESIA X POMIS CASTLE	POMIS CASTLE SAGE	1 GAL.	L+	16 SF X 44 = 704 SF
	24	BUDDELEIA DAVIDII	BUTTERFLY BUSH	5 GAL.	L	100 SF X 24 = 2400 SF
	25	SALVIA GREGGII	AUTUMN SAGE	1 GAL.	M	9 SF X 25 = 225 SF
	25	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	L	9 SF X 25 = 225 SF
	6	CAESALPINIA GILLIESII	BIRD OF PARADISE	5 GAL.	L	100 SF X 6 = 600 SF

### NOTES

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH G.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 80% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE G.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

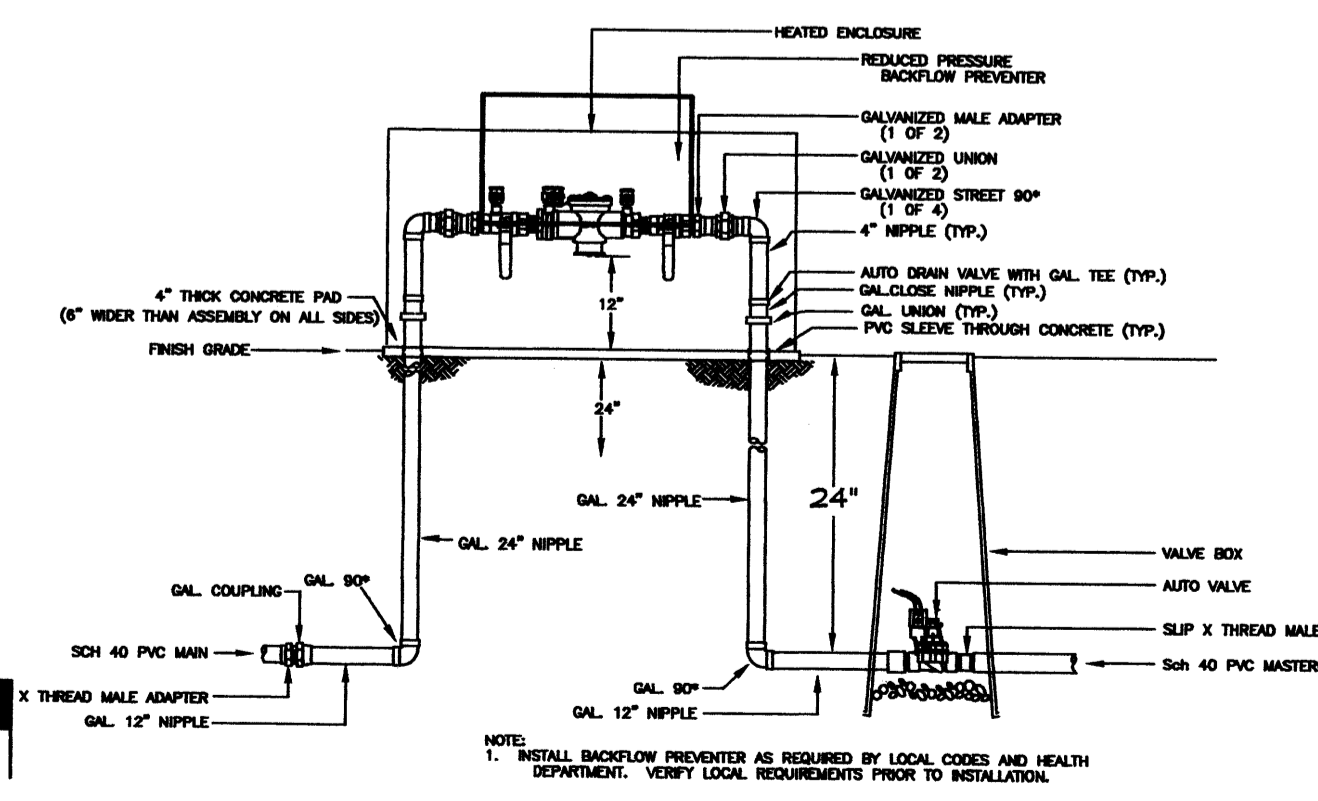
NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

IRRIGATION FOR LANDSCAPING WITHIN THE ADJACENT CITY RIGHT-OF-WAY WILL BE PROVIDED BY CONNECTION TO THE PRIVATE IRRIGATION SYSTEM FOR LANDSCAPING ON THE SUBJECT PROPERTY.

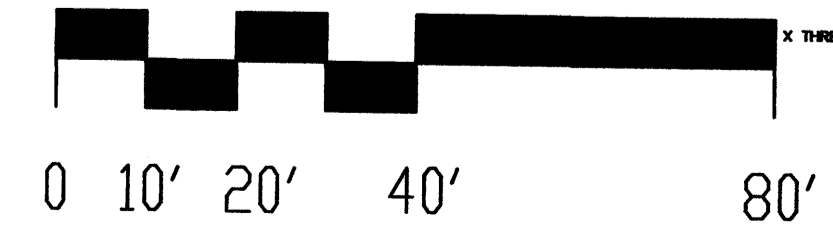
### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	53,666 SF
TOTAL BUILDING AREA	4,715 SF
NET LOT AREA	48,951 SF
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	7,343 SF
TOTAL BED PROVIDED	10,847 SF
GROUND COVER REQUIRED	80% PER COMMENTS
TOTAL GROUND COVER REQUIREMENT	8,678 SF
TOTAL GROUND COVER PROVIDED	8,777 SF (81%)
PARKING LOT TREES REQUIREMENT	1 SHADE TREE / 10 SPACES
SHADE TREE REQUIRED 37/10	4 REQ
SHADE TREE PROVIDED	12



LANDSCAPE PLAN - LOT 7

1" = 20'-0"



Mastervale w/RPBA

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**MARTIN FM GRUMMER**  
ARCHITECT  
331 WILHELMY PLACE NE  
ALBUQUERQUE, NEW MEXICO 87106  
(505) 265-2507

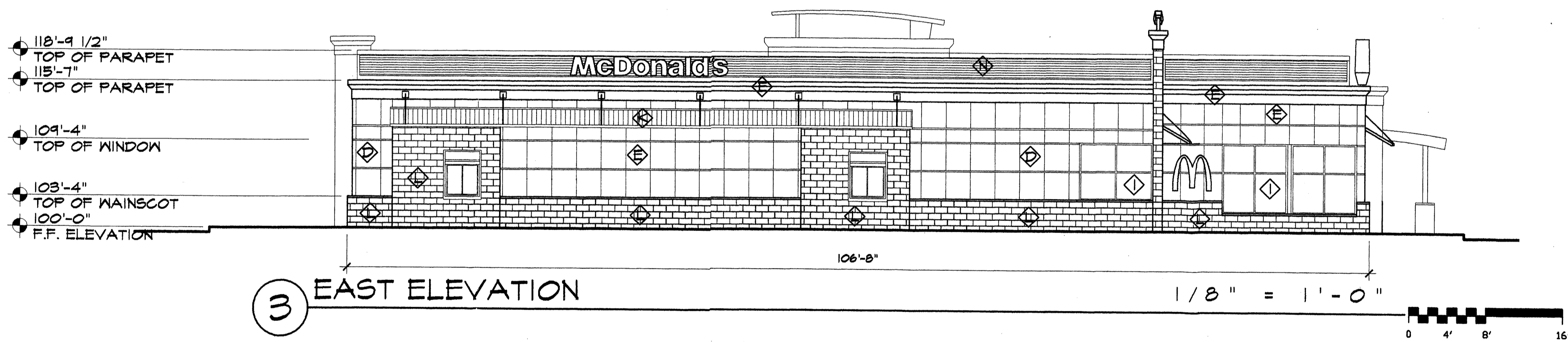
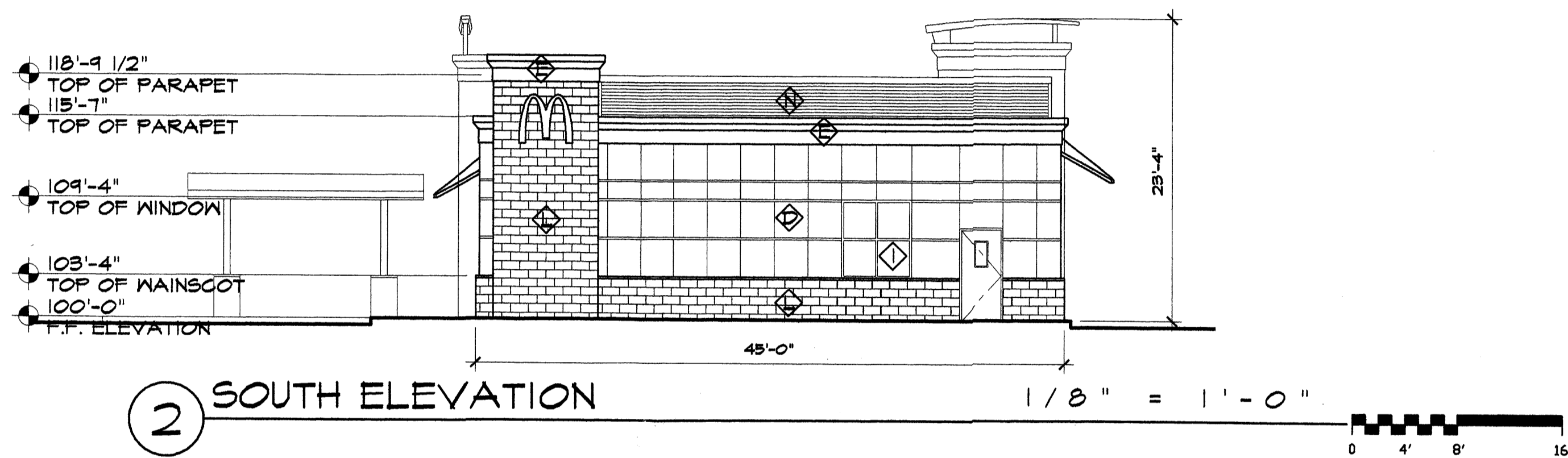
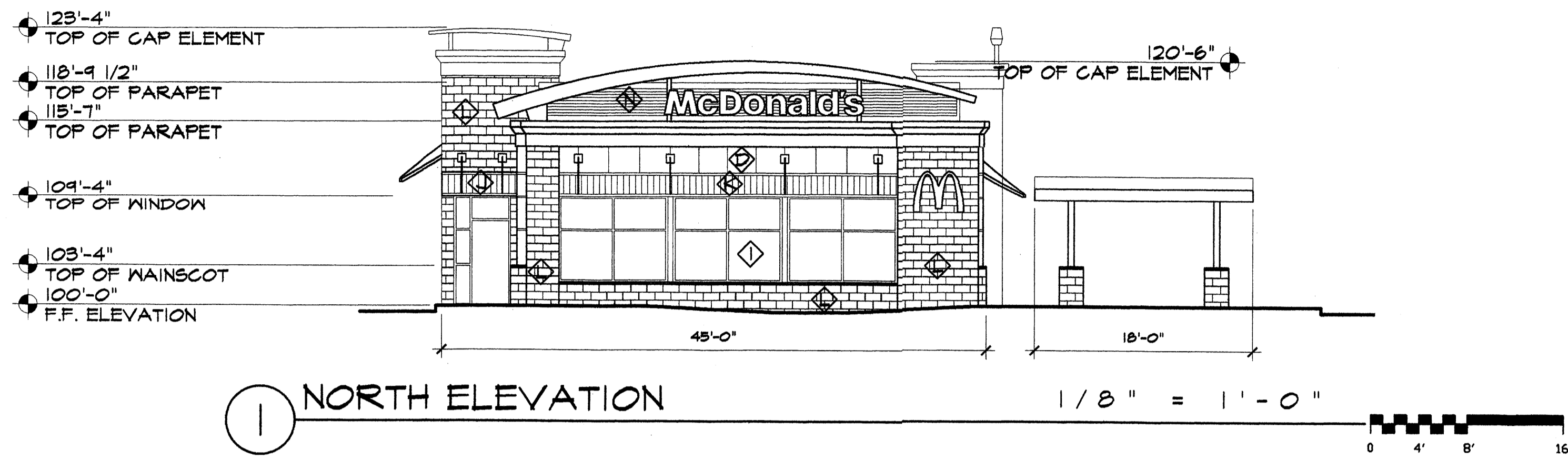
**P**  
PETERSON  
PROPERTIES

**McMAHON MARKET PLACE**  
McDONALD'S RESTAURANT  
SHELL BUILDING  
ALBUQUERQUE, NM 87114  
SITE PLAN FOR BUILDING PERMIT  
LANDSCAPE PLAN

DATE: 31 OCT 2013  
DRAWN BY: MFMG  
CHECKED BY:  
VERIFIED BY:

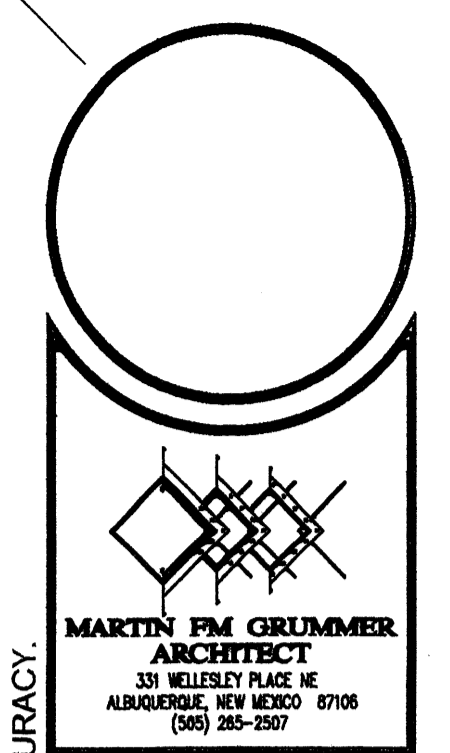
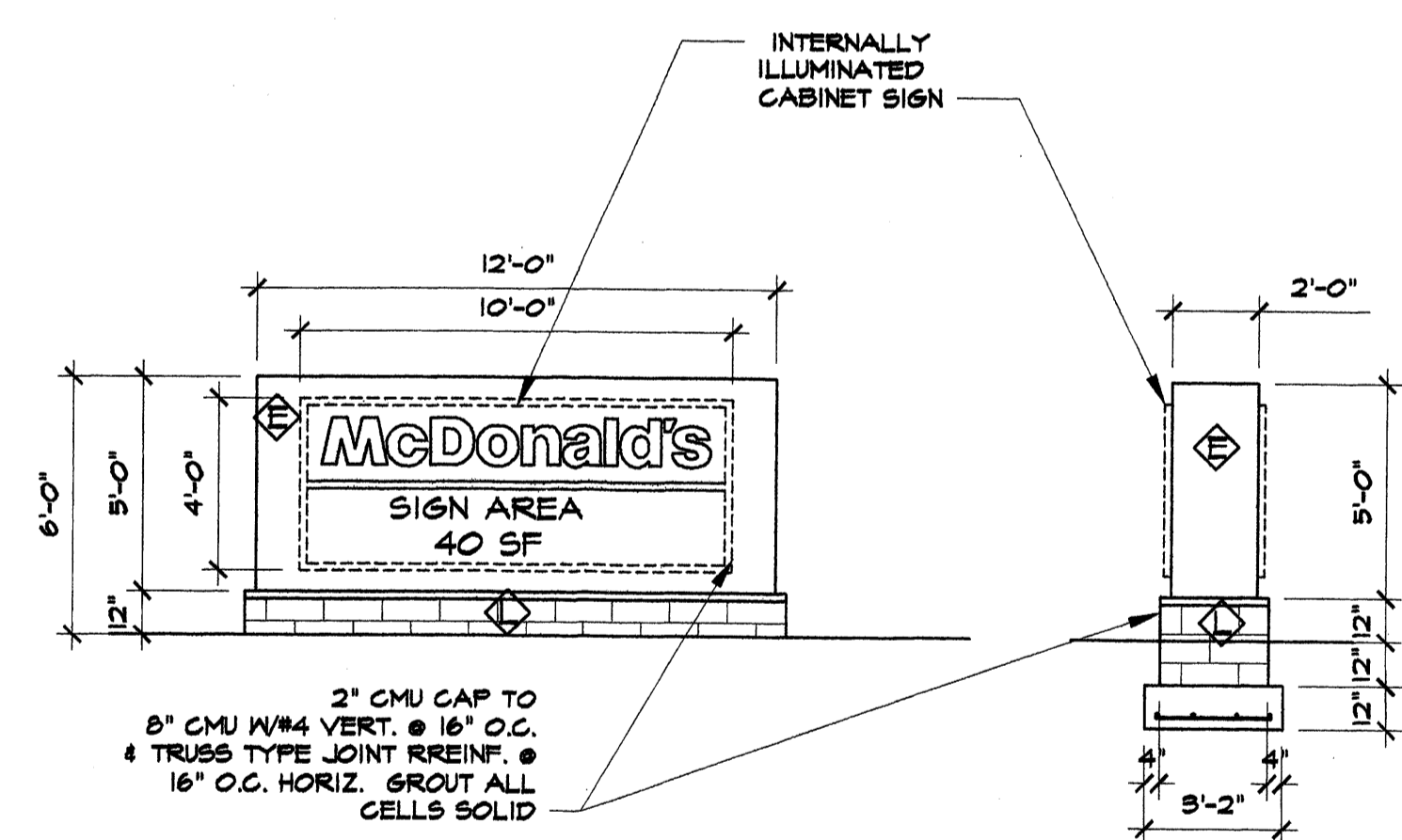
REVISIONS

SHEET NO:  
**L1.2**  
3 OF 6



**KEYED COLOR / MATERIAL SCHEDULE**

◆ A	WALL FINISH COLOR	BENJAMIN MOORE #1032 (DARK TAN)	NOT USED
◆ B	WALL FINISH COLOR	BENJAMIN MOORE #451 (LIGHT TAN)	NOT USED
◆ C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6148 (TAN COLOR)	NOT USED
◆ D	WALL FINISH COLOR	SHERWIN WILLIAMS MOOL SKEIN SW 6148 (LIGHT TAN COLOR)	NOT USED
◆ E	WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6841 (TERRA-COTTA RED)	NOT USED
◆ F	WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)	NOT USED
◆ G	WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)	NOT USED
◆ H	WALL FINISH COLOR	SHERWIN WILLIAMS FACER WHITE SW 6098 (TAN COLOR)	NOT USED
◆ I	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)	
◆ J	ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL	
◆ K	AWNINGS & FRAMING	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL OVER AWNING FRAME (SEE STRUCT.)	
◆ L	CMU BLOCK	UTILITY BLOCK COMPANY SPLIT FACE BLOCK COLOR BY OWNER	
◆ M	AWNING FABRIC	SUNBRELLA HEMLOCK TNEED #4608 AWNING FABRIC (DARK GREEN)	NOT USED
◆ N	PARAPET SCREEN	SILVER METAL EQUIPMENT SCREEN	



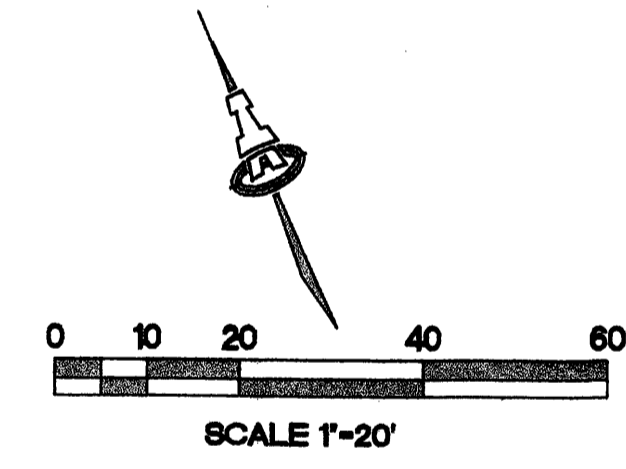
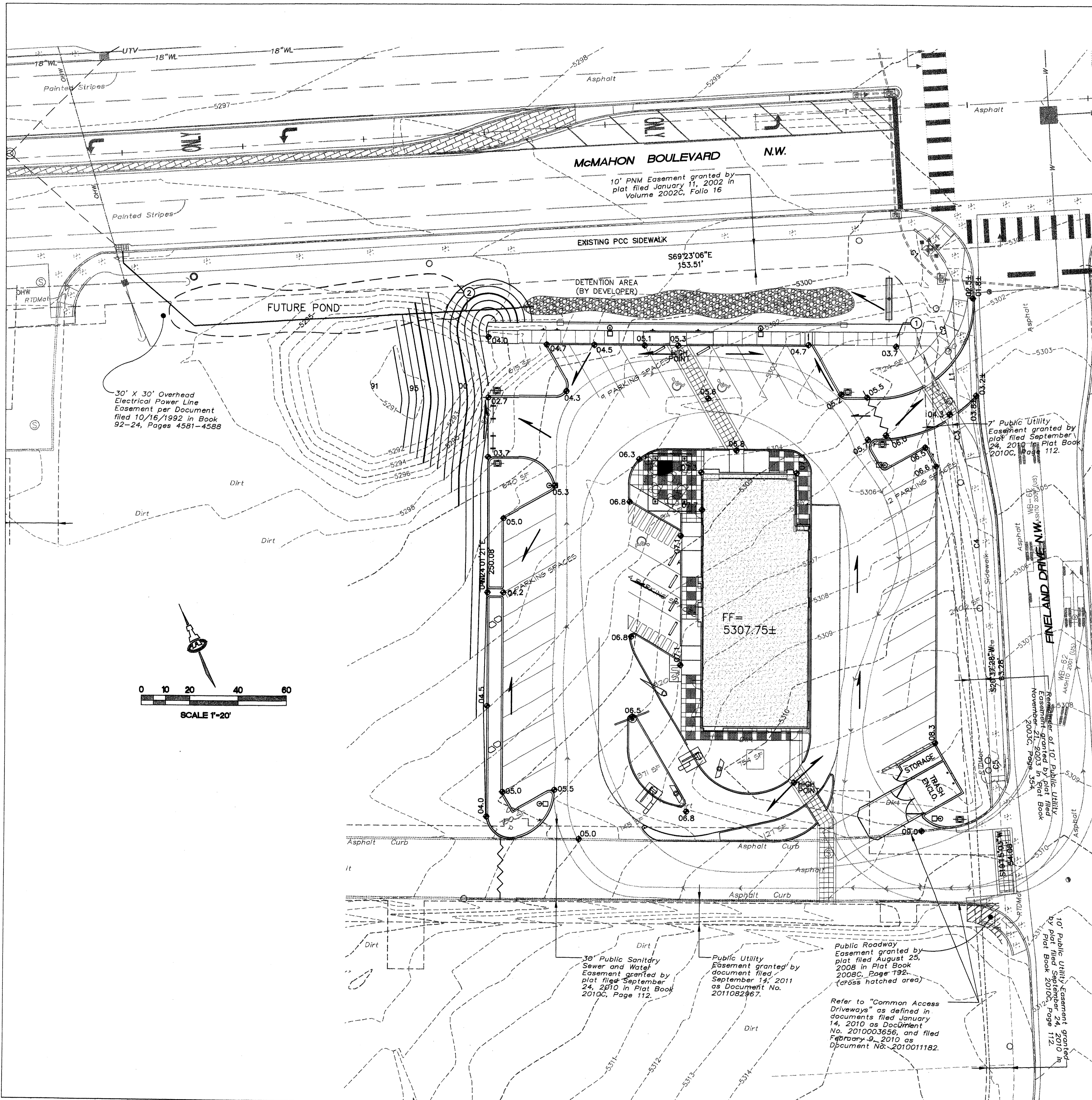
McMAHON MARKET PLACE  
 McDONALD'S RESTAURANT  
 SHELL BUILDING  
 ALBUQUERQUE, NM 87114  
 SITE PLAN FOR BUILDING PERMIT ELEVATIONS

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DATE:	8 OCT 2013
DRAWN BY:	MFMS
CHECKED BY:	
VERIFIED BY:	

REVISIONS

SHEET NO:  
**A5.1**  
 4 OF 6



**GENERAL NOTES**

**STORM WATER DETENTION POND:**  
 THE AREA BETWEEN LOT 7 AND McMAHON BLVD IS DESIGNATED AS A PRIVATE STORM WATER DETENTION POND WITH A PIPED OUTFALL TO THE PUBLIC STORM DRAIN IN McMAHON BLVD. THE DETAINED STORM WATERS ARE PROGRAMMED TO BE RELEASED VIA PRIVATE STORM DRAIN CATCH CONNECTION TO THE PUBLIC STORM DRAIN CATCH BASIN LOCATED AT THE EASTERLY SIDE OF THE CENTER'S McMAHON BLVD. ENTRANCE.

POND TO RELEASE 100% OF THE CAPTURED WATERS WITHIN 24 HOURS. POND TO BE MAINTAINED BY THE BENEFITING UNDERLYING LAND OWNERS DISCHARGING STORM WATERS TO THE FACILITY.

**DRAINAGE CONCEPT**

PER THE McMAHON MARKETPLACE DRAINAGE MANAGEMENT PLAN, MARCH 2010 (STAMPED 05-07-10) PREPARED BY BOHANNAN - HUSTON, INC.; THE SITE IS WITHIN BASIN D (2.77 ACRES); SEE ATTACHED.

ALLOWABLE DISCHARGE  
 -INTERIM: 3.97 CFS  
 -FULLY DEVELOPED: 11.37 CFS

ALL STORM WATERS ARE ROUTED TO THE STORM DRAIN INLET AT THE EAST RETURN OF THE SITE ENTRANCE OFF OF McMAHON BLVD. THE STORM DRAIN IN McMAHON IS SIZE (36"SD) TO ACCEPT THE DEVELOPED FLOW (MAX S.D. CAPACITY = 63.97 CFS).

THE McMAHON MARKETPLACE PRELIMINARY GRADING & DRAINAGE PLAN (02-22-07) AND THE OVERALL DRAINAGE PLAN, STAMPED DATE: 04-18-07 BOTH PREPARED BY OLSSON ASSOCIATES. THESE PLANS ESTABLISH THE CROSS LOT DRAINAGE CONVEYENCE AND A SERIES OF PONDS ALONG McMAHON TO CAPTURE THE ONSITE DEVELOPED STORM WATERS AND CONVEY THEM TO THE SUBJECT PUBLIC CATCH BASIN VIA OVERLAND FLOW OR DRAIN PIPES, (SEE ATTACHED).

**PROPOSED IMPROVEMENTS**

A CROSS LOT DRAINAGE EASEMENT WILL BE RECORDED TO ENSURE THE RIGHTS OF THE PRESENT AND FUTURE LAND OWNERS TO DISCHARGE THE DEVELOPED STORM WATER FLOWS ACROSS THE PLATTED BOUNDARIES TO THE ULTIMATE DISCHARGE POINT (PUBLIC CATCH BASIN ALONG McMAHON BLVD.).

**KEYED NOTES**

- 24" SIDEWALK CULVERT.
- STORM DRAIN/POND OUTFALL TO CATCH BASIN. SIZE FOR LOT 6 CONNECTION IN ADDITION TO LOT 7.
- STORM WATERS ALLOWED TO DISCHARGE ONTO ADJACENT UNDEVELOPED LOT PER MASTER DRAINAGE PLAN. EROSION CONTROL PROTECTION AT DISCHARGE POINT TO BE PROVIDED.

**VICINITY MAP**



**PROJECT DATA**

**LEGAL DESCRIPTION:** LOT 7, McMAHON MARKETPLACE  
**SITE AREA:** 1.232 AC.  
**FLOOD ZONE:** N/A  
**ENGINEER:** FRED ARFMAN  
 ISAACSON & ARFMAN, P.A.  
 128 MONROE ST NE, ABO, NM 87108  
 PHONE: (505) 268-8828

**SURVEYOR:** SURVTEK, INC.  
 9384 VALLEY VIEW DRIVE, N.W. ABO, NM 87114  
 PHONE: (505) 897-3366

**BENCHMARK:** VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "9-A11", ELEVATION = 5301.647 (NAVD 1988).

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5139.60 FINISH FLOOR ELEVATION
- DRAINAGE BREAK
- ▨ DRAINAGE POND LANDSCAPING GRAVEL

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.iactvll.com

1998 CG-101.dwg Oct 14, 2013

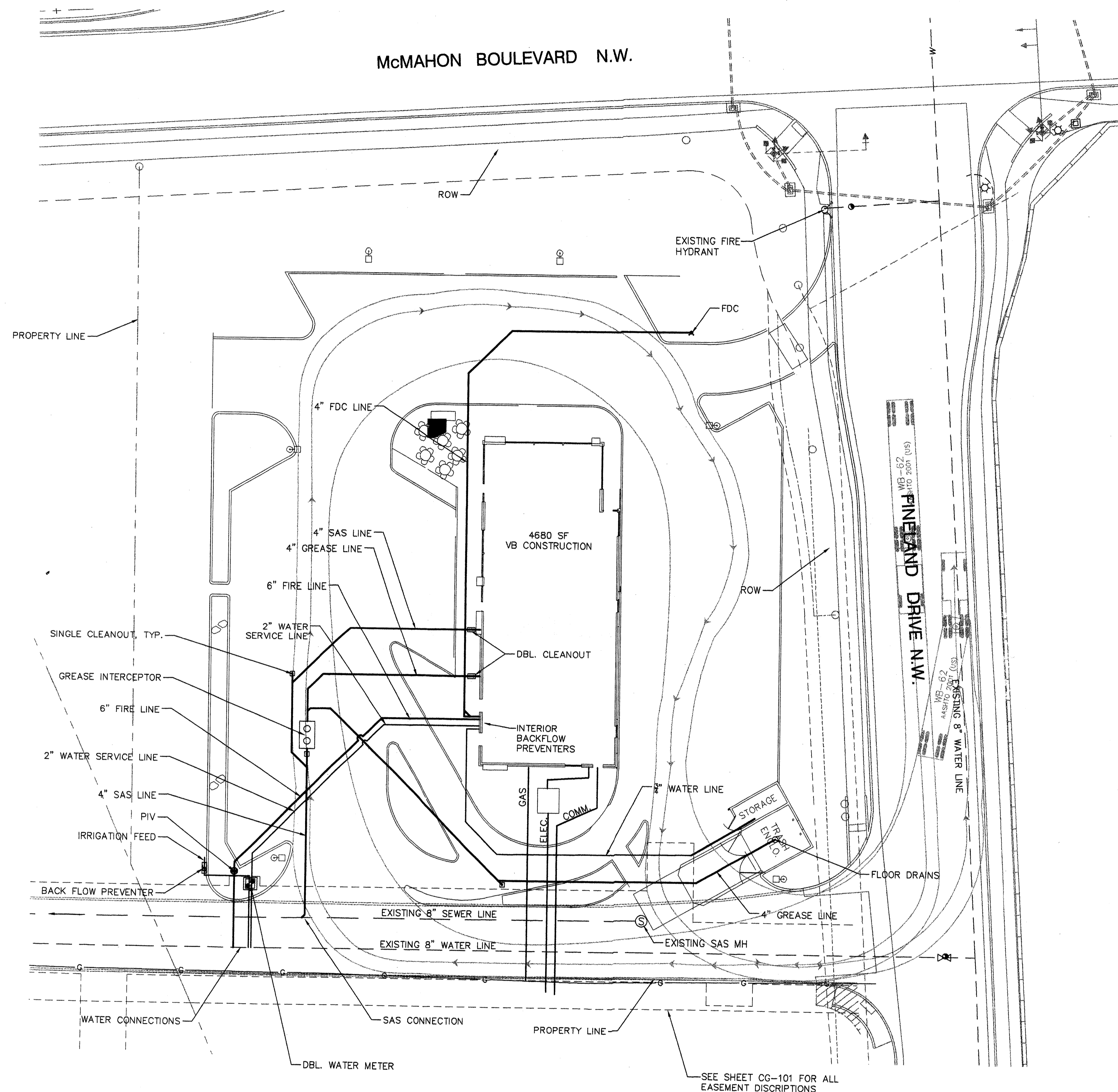
**McMAHON MARKET PLACE  
 McDONALD'S RESTAURANT**  
 SHELL BUILDING, ALBUQUERQUE, NM 87114

**CONCEPTUAL GRADING AND DRAINAGE PLAN**

Date:	No.:	Revision:	Date:	Job No.:
06-2013				1998
Drawn By:	CG-101			
FCA				
Chk By:	5 OF 6			
FCA				



McMAHON BOULEVARD N.W.



**GENERAL NOTES**

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
3. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
4. SITE STORM DRAIN, ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
5. ALL WATER FITTING SHALL HAVE JOINT RESTRAINTS.

**KEYED NOTES**

**LEGEND**

- WATER METER & BOX
- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- NEW GAS METER
- EXISTING WATERLINE
- EXISTING SEWER LINE

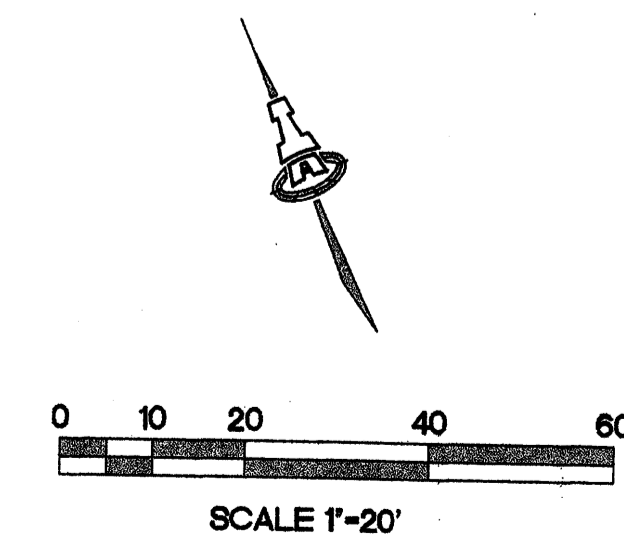
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**McMAHON MARKET PLACE  
 McDONALD'S RESTAURANT**  
 SHELL BUILDING, ALBUQUERQUE, NM 87114

**CONCEPTUAL UTILITY PLAN**

Date:	06-2013	No. Revision:	Date:	Job No.	1998
Drawn By:	FCA				CU-101
Clk By:	FCA				6 OF 6



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