

**SITE DATA**

**SITE ADDRESS**  
10600 UNSER BOULEVARD N. W.

**LEGAL DESCRIPTION**  
LOT NUMBERED ONE (1) PLAT OF MCMAHON MARKETPLACE, (BEING A REPLAT OF TRACT 16A-1, PARADISE NORTH AND TRACT E-1A-1, CRESTVIEW SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 24, 2010, IN PLAT BOOK 2010C, PAGE 112, AS DOC. NO. 2010096126.

**AREA**  
1.1356 ACRES MORE OR LESS / 49,465 S.F.

**BUILDING AREA**  
1,944 S.F.

**ZONING**  
SU-1 C-1 USES INCL GROCERY STORE W/ PKG LIQUOR SALES INCIDENTAL TO THAT USE, RESTAURANT WITH FULL-SERVICE LIQUOR FOR ON-PREMISE CONSUMPTION

**CONSTRUCTION TYPE**  
VB - UNPROTECTED

**FAR**  
0.039

**BUILDING SET BACKS (FT)**  
WEST - 104.09  
NORTH - 22.08  
EAST - 84.33  
SOUTH - 134.75

**BUILDING HEIGHT**  
24.0 - FT

**SITE ACCESS**  
EXISTING DRIVE WAY CUT TO UNSER BLVD. N.W.

**EPC PLANS**  
APPROVED EPC 12-10002 - DATED 2007, REVISED 2009 & 2016  
**PARKING INFORMATION**  
ONE (1) SPACE FOR EACH FOUR (4) SEATS FOR ESTABLISHMENTS

TOTAL SEATS (INCLUDING COVERED OUT DOOR AREA) = 50  
12.5 PARKING REQUIRED,

MOTORCYCLE PARKING, REQUIRED 1 PER 25, PROVIDED 2

ADA PARKING, REQUIRED 1 PER 25, PROVIDED 2

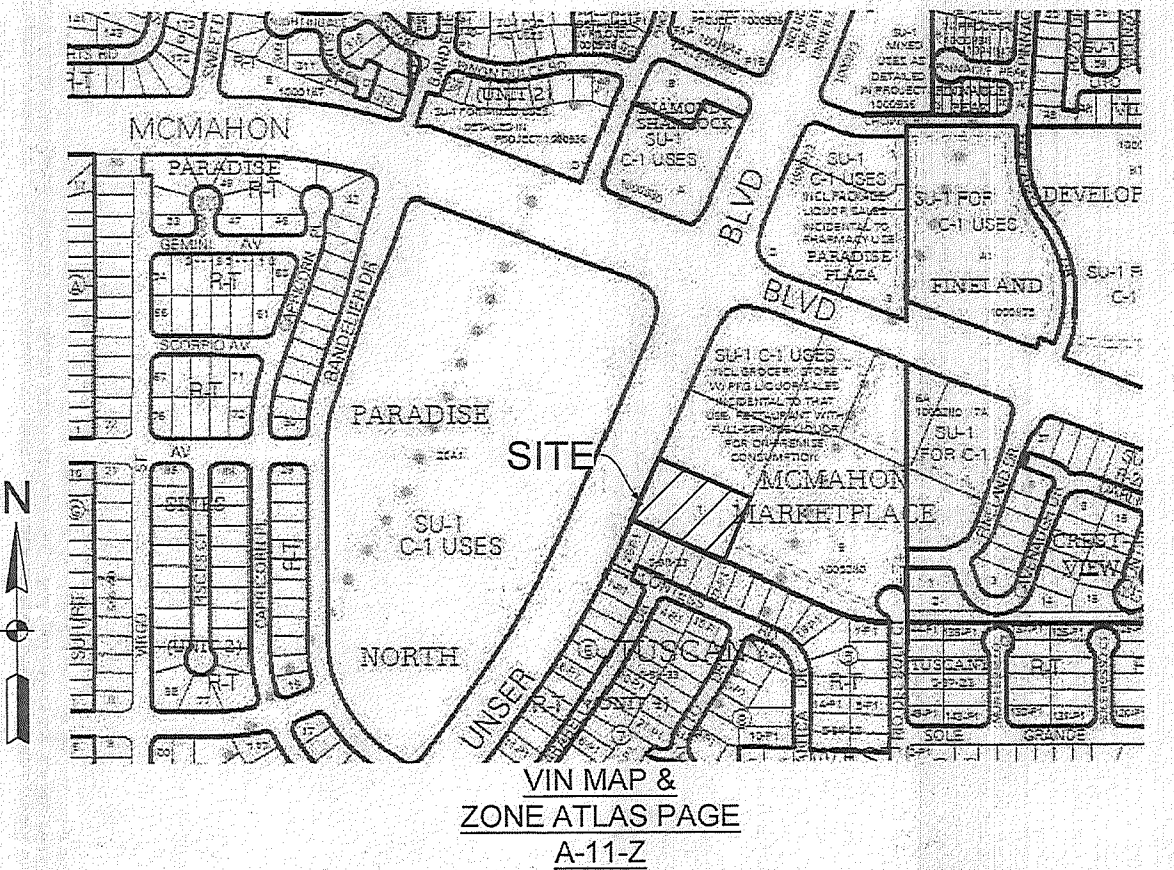
BICYCLES PARKING, 1 PER 20 AUTOMOBILE SPACES, 2 REQUIRED, 2 PROVIDED

TOTAL SPACES: 28

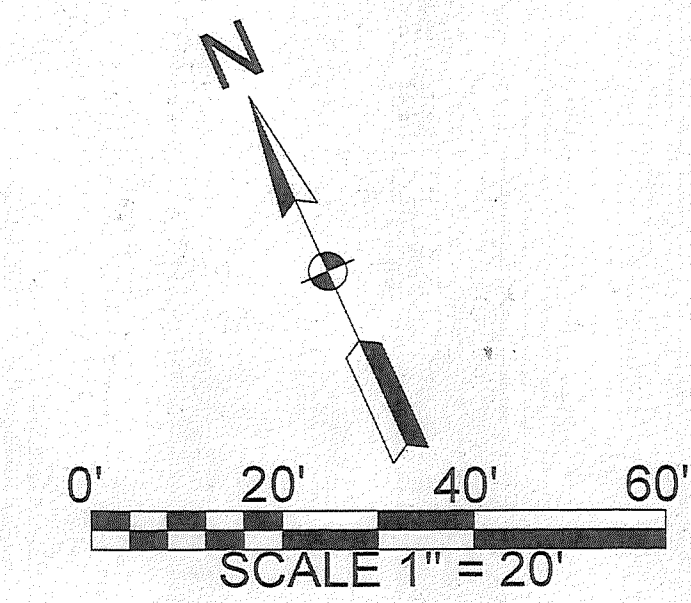
NOTE:  
PER THE ORIGINAL EPC (12-10002) PARKING FOR LOT-1 WAS TO BE 24 STANDARD SPACES, 2 MOTORCYCLE SPACES AND 5 BIKE SPACES. PER THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WE ARE PROVIDING 2 MORE STANDARD SPACES AND 3 LESS BIKE SPACES. THIS CHANGE IS DUE TO ENSURE ADEQUATE PARKING FOR BOTH EMPLOYEES AND CUSTOMERS.

**KEY NOTES:**

- PROPOSED MONUMENT SIGNAGE LOCATION
- EXISTING INGRESS/EGRESS (TO REMAIN)
- EXISTING STOP SIGN
- EXISTING CURB ISLAND
- EXISTING TURN LANE
- 285 L.F. SCREEN WALL HEIGHT VARIES FROM 36" APPROVED EPC 12-10002
- 8' TEXTURED/COLORED CONCRETE APPROVED EPC 12-10002
- SITE LIGHT (16.0' HEIGHT)
- MENU BOARD
- SPEAKER AND CANOPY
- CLEARANCE BAR
- TRASH ENCLOSURE
- EXISTING SITE LIGHT
- 794 S.F. PATIO, 315 S.F. COVERED AREA
- SIGNAGE VIEW CORRIDOR
- EXISTING BUILDING
- FUTURE SITE INGRESS/EGRESS
- PROPOSED TACO BELL RESTAURANT WITH DRIVE THRU (1,944 S.F.)
- SET BACK LINE
- STOP & DO NOT ENTER SIGN
- PROPERTY LINE
- EXISTING RETAINING WALL
- NEW RETAINING WALL MATCH EX.
- SIDEWALK
- EX. SCREEN WALL
- CONTINUE ROW LANDSCAPING, MATCH EXISTING TREATMENTS
- BICYCLE RACKS
- CONCRETE ADA PATH FROM ROW
- ADA RAMPS
- HANDICAP PARKING SIGN
- PED CROSSING SIGN
- FIRST FLUSH PONDING AREAS (TYP.) - HATCHED AREAS
- EXISTING DRIVE
- CONTRACTOR SHALL RAISE SCREEN WALL TO 6' AS REQUIRED
- BOLLARD (RE: DETAIL SHEET D1.0)
- BACKED BENCH
- PEDESTRIAN LIGHT
- EXISTING HYDRANT
- EXISTING ROLL OVER CURB
- FIRE LANE SIGN TYPE 'A' PER IFC D103.6
- FIRE LANE SIGN TYPE 'C' PER IFC D103.6
- FIRE LANE SIGN TYPE 'D' PER IFC D103.6



Sheet List Table	
Sheet Number	Sheet Title
C1.0	SITE PLAN
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
A1.0	ELEVATIONS
A1.1	ELEVATION NOTES
A1.2	TRASH & SIGNAGE



EXISTING	MASTER LEGEND	PROPOSED
	CURB AND GUTTER (SPILL)	
	ELECTRICAL BOX	
	MANHOLES	
	UTILITY POLE	
	FIRE HYDRANT	

HATCHING LEGEND	
	CONCRETE
	ASPHALT
	LANDSCAPE
	PONDING ZONES
	EXISTING ASPHALT TO BE MILLED AND OVERLAID OR REMOVED

**SITE NARRATIVE**  
PALO ALTO INC., ALVARADO CONCEPTS LLC, GLVM ARCHITECTURE AND HCI ENGINEERING ARE PLEASED TO SUBMIT THE PROPOSED AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT. THE ENCLOSED SITE PLAN ILLUSTRATES OUR INTENDED SITE CONFIGURATION REGARDING PARKING, BUILDING ORIENTATION, AND ARCHITECTURE. THE PROPOSED USE IS IDENTIFIED AS FOOD SERVICE / RETAIL, FOR FURTHER CLARIFICATION WE OFFER THE FOLLOWING:

THE PRIMARY USE FOR THIS SITE WILL BE A 1944 SF TACO BELL FAST FOOD DRIVE THRU.

THE PRIMARY SITE ACCESS IS OFF OF AN EXISTING PRIVATE DRIVE ON THE SOUTH OF THE SITE WHICH CONNECTS TO UNSER BLVD. N.W.

UTILITIES ARE CURRENTLY PRESENT TO THE SITE.

THE PROPOSED BUILDING CONSTRUCTION TYPE WILL BE VB. A2. BUILDING FINISHES WILL INCLUDE MASONRY AND STUCCO WHICH WILL BE HIGHLIGHTED BY THE TOWER ELEMENT AND TRIM ELEMENTS. THIS WILL ALSO INCLUDE A COVERED OUTDOOR SEATING AREA WITH CANOPY THAT WILL TIE INTO THE OVERALL ARCHITECTURE OF THE BUILDING WHILE PROVIDING RELIEF OF THE BUILDING ELEVATIONS.

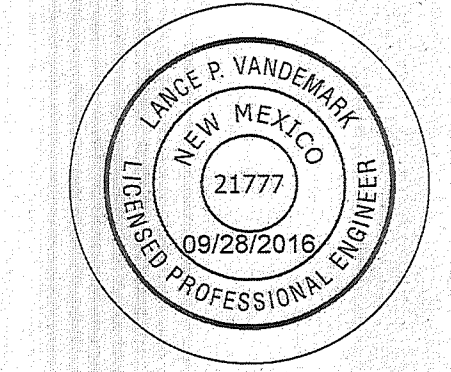
THE PROPOSED SITE WILL BE FULLY LANDSCAPED MATCHING THE OVERALL DEVELOPMENT, THE SPECIES AND SPACING WILL REMAIN THE SAME MATCHING THE CURRENTLY APPROVED SITE PLAN.

DRIVE THRU WILL BE SCREENED USING A MIXTURE OF LANDSCAPING AND SITE GRADING.

- KEY NOTES - EASEMENTS:**
- PUBLIC ROADWAY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE (09/24/2010, 2010C-112) (HATCHED AREA)
  - EXISTING 10' PUBLIC UTILITY EASEMENT (08/08/1990, 90C-182)
  - EXISTING 15' PUBLIC WATERLINE EASEMENT (09/24/2010, 2010C-112)
  - EXISTING 30' SANITARY SEWER AND PUBLIC WATERLINE EASEMENT (09/24/2010, 2010C-112)
  - EXISTING PERPETUAL, NON EXCLUSIVE, RECIPROCAL UNDERGROUND EASEMENT ACROSS THE COMMON AREA OF EACH PARCEL FOR THE PURPOSE OF INSTALLING, MAINTAINING, OPERATING, REPAIRING, REPLACING ANY AND ALL UTILITY LINES AND RELATED FACILITIES. (01/14/2010, NO. 2010-3656, 02/09/2010, NO. 2010-11182 AND 05/15/2014, NO. 2014-38924)
  - EXISTING PERPETUAL, NON-EXCLUSIVE RECIPROCAL DRAINAGE EASEMENT OVER, UPON, UNDER AND ACROSS THE COMMON AREA OF EACH PARCEL (01/14/2010, NO. 2010-3656, 02/09/2010, NO. 2010-11182 AND 05/15/2014, NO. 2014-38924)

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- 12134.230
- △ EPC 1ST SUB 03.30.16
  - △ EPC 2ND SUB 05.02.16
  - △ DRB 1ST SUB 10.03.16
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PROJECT NUMBER: 1005280  
APPLICATION NUMBER: 16 EPC - 4022

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON 5-12-16 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

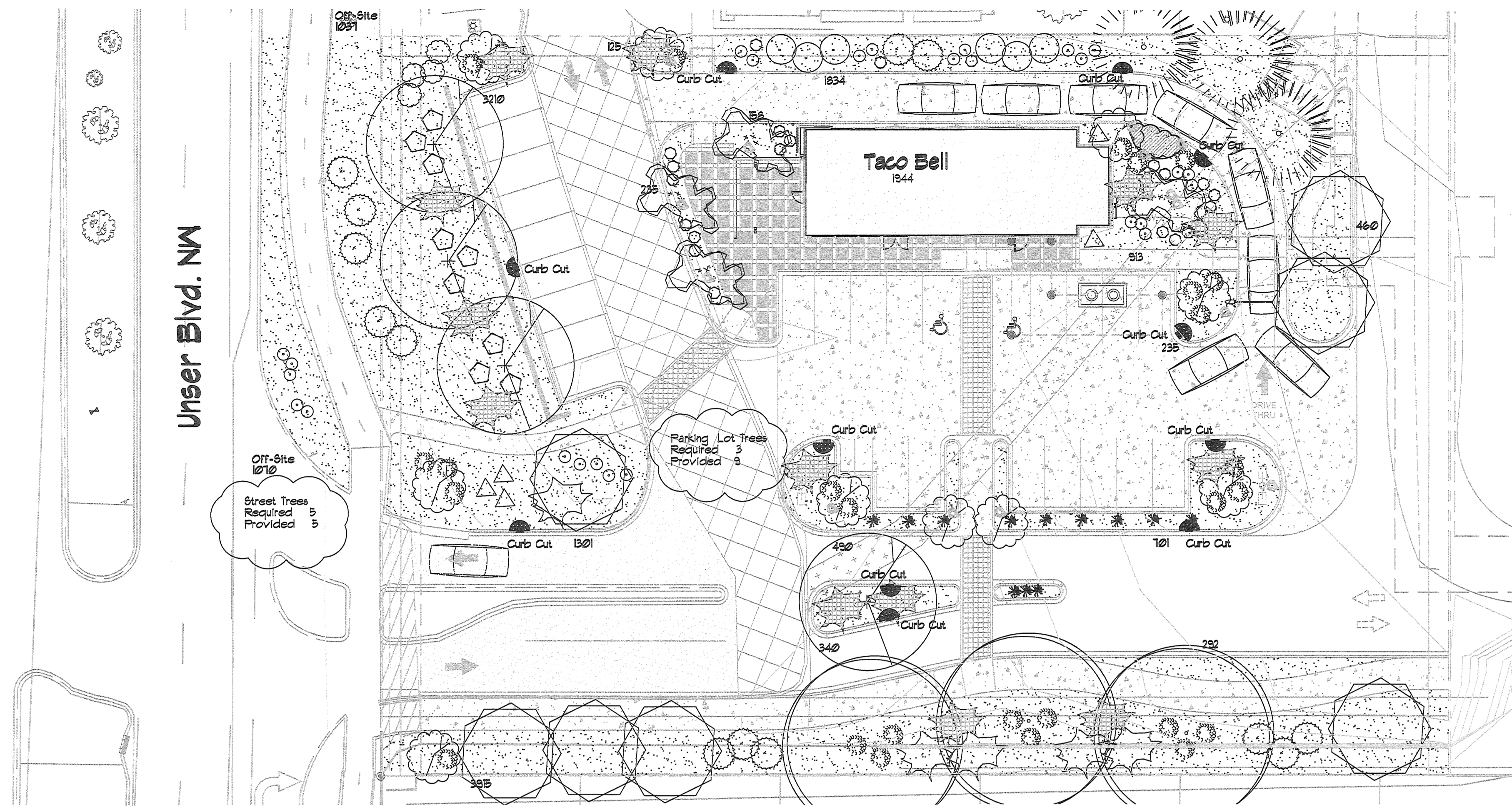
	DATE: 11/2/16
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE: 12-21-16
	DATE: 11/2/16
WATER UTILITY DEPARTMENT	DATE: 11/2/16
	DATE: 11/2/16
PARKS AND RECREATION DEPARTMENT	DATE: 11/2/16
	DATE: 11/2/16
CITY ENGINEER	DATE: 11/2/16
ENVIRONMENTAL HEALTH DEPARTMENT	DATE:
SOLID WASTE MANAGEMENT	DATE:
	DATE: 12-21-16
DRP CHAIRPERSON, PLANNING DEVELOPMENT	DATE: 12-21-16
*ENVIRONMENTAL HEALTH, IF NECESSARY	DATE:

Catalina Johnson 12/20/16

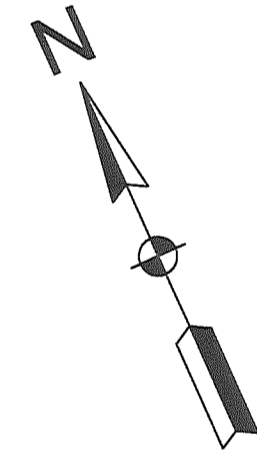
**TACO BELL**  
UNSER BLVD  
ALBUQUERQUE, NM 87114

**EXPLORER**  
MEDIUM 40  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

**C1.0**



All Landscape Beds and Islands will be depressed below grade.  
 Per COA Plan Review Comments LANDSCAPE PER APPROVED EPC 12-10002



**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (30' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 1/2 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

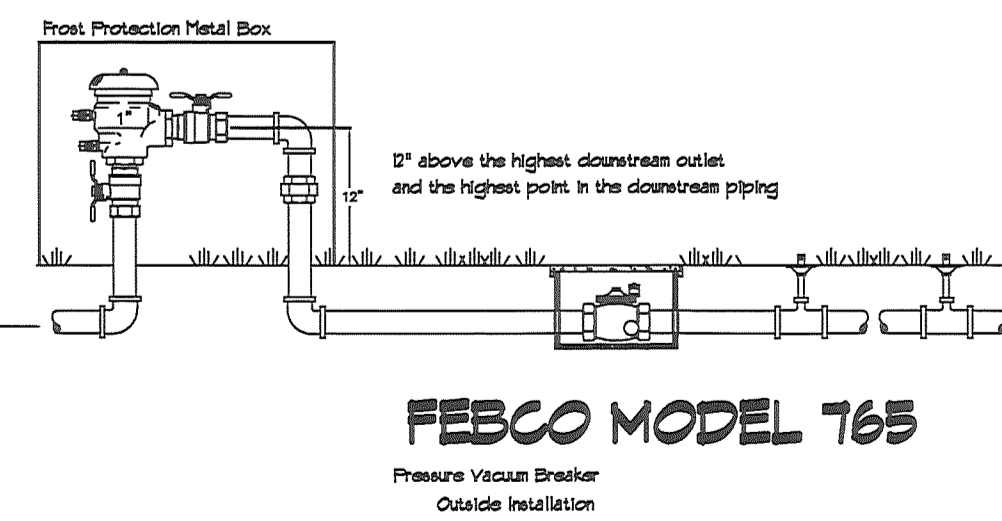
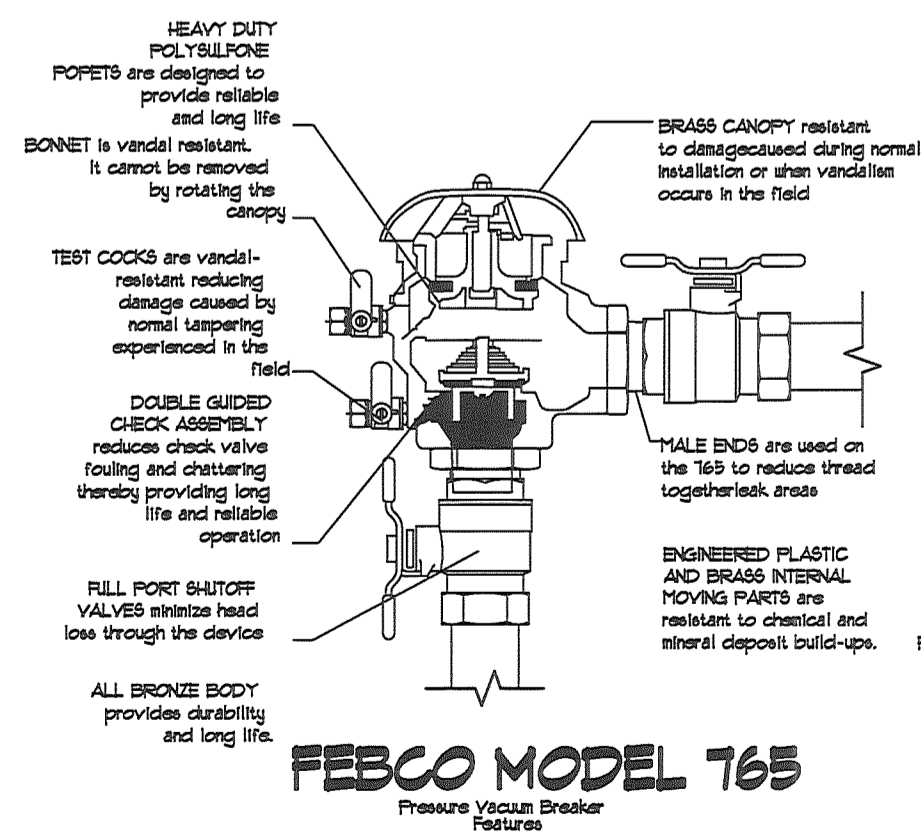
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

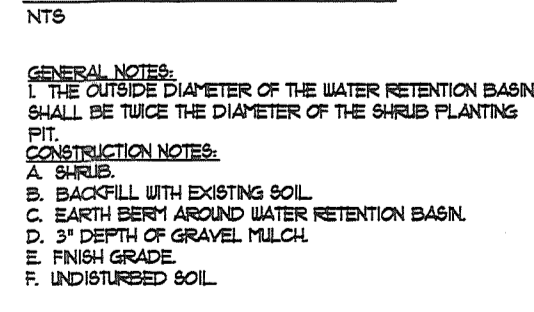
Water and Power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE LEGEND**

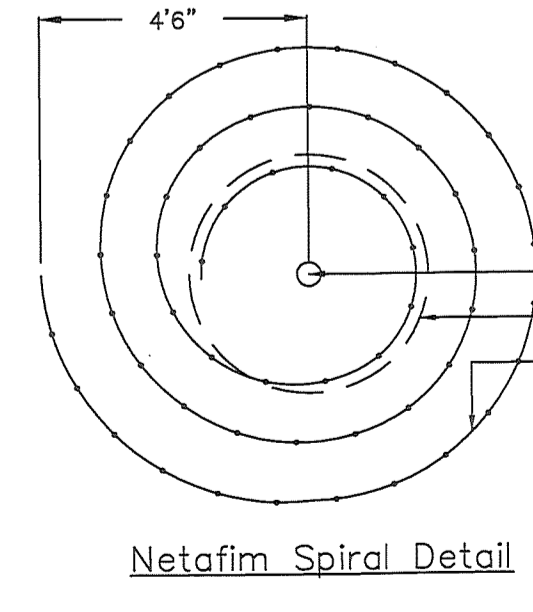
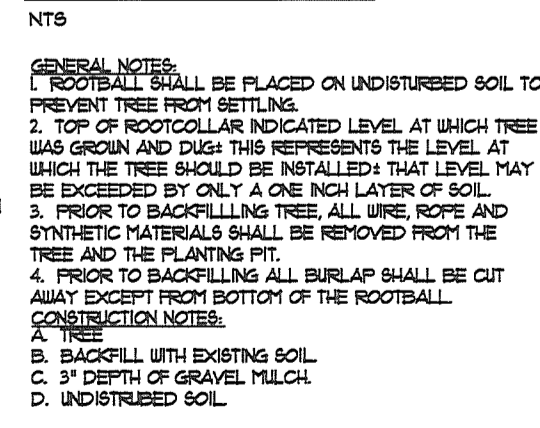
QTY	SIZE	COMMON/BOTANICAL	H2O USE
<b>Trees</b>			
4	2" cal	Chinese Pistache 40x35 <i>Pistacia chinensis</i>	M+
3	2" cal	Purple Robe Locust 50x45 <i>Robinia pseudacacia</i>	M
3	6 - 8'	Afghan Pine 35x25 <i>Pinus eldarica</i>	M
4	15 Gal	New Mexico Olive 15x12 <i>Forestiera neomexicana</i>	M
10	15 Gal	Catalpa 15x12 <i>Chilopsis x Catalpa</i>	M
<b>Shrubs &amp; Groundcovers</b>			
7	4 - 6'	Desert Willow 20x25 <i>Chilopsis linearis</i>	625 4375 M
26	5 Gal	India Hawthorn 3x5 <i>Raphiolepis indica</i>	25 650 M
12	5 Gal	Regal Mist 2.5x2 4 <i>Muhlenbergia capilaris</i>	40 M
9	5 Gal	Greyleaf Cotoneaster 3x5 <i>Cotoneaster buxifolius</i>	25 225 M
5	5 Gal	Butterfly Bush 5x5 <i>Buddleia davidii</i>	25 125 M
5	5 Gal	Winter Jasmine 4x12 <i>Jasminum nudiflorum</i>	144 720 M
13	5 Gal	Honeyuckle 1x12 144 <i>Lonicera japonica 'Halana'</i>	1872 M
21	5 Gal	Cherry Sage 2x3 9 <i>Salvia Greggii</i>	189 M
25	5 Gal	Potentilla 3x3 9 <i>Potentilla fruticosa</i>	225 M
4	5 Gal	Fern Bush 5x6 36 <i>Chamaebatiaria millefolium</i>	144 L
13	5 Gal	Apache Plume 6x1 49 <i>Fallugia paradoxa</i>	637 L
6	5 Gal	Chamaea 5x1 25 <i>Chrysothamnus nauseosus</i>	150 L
14	2-3cf	Boulders To be placed at contractor discretion	9360
14209		Landscape Gravel / Filter Fabric Santa Fe Brown Gravel 7/8"	
200		Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose	
10		Curb Cut, Add 10sf cobble at each	



**SHRUB PLANTING DETAIL**



**TREE PLANTING DETAIL**

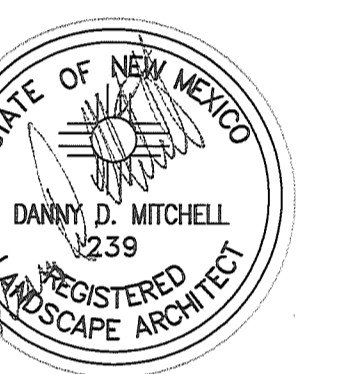


**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	4946.4
TOTAL BUILDING AREA (sf)	1944
OFF-SITE LANDSCAPE PROVIDED	2107
TOTAL LOT AREA (sf)	4543
LANDSCAPE REQUIREMENT (15%)	681.5
TOTAL LANDSCAPE PROVIDED	681.5
TOTAL ON-SITE LANDSCAPE PROVIDED	14209
TOTAL LIVE GROUND COVER REQUIRED (30%)	4262
TOTAL LIVE GROUND COVER PROVIDED	9360

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**The Hilltop**  
 LANDSCAPE ARCHITECTS & CONTRACTORS

12134.150

- ▲ SDP 1ST SUB 03.30.16
- ▲ Staff Comments 5/13/16
- ▲ Staff Comments 11/7/16
- ▲ Staff Comments 12/5/16
- ▲ Staff Comments 12/15/16
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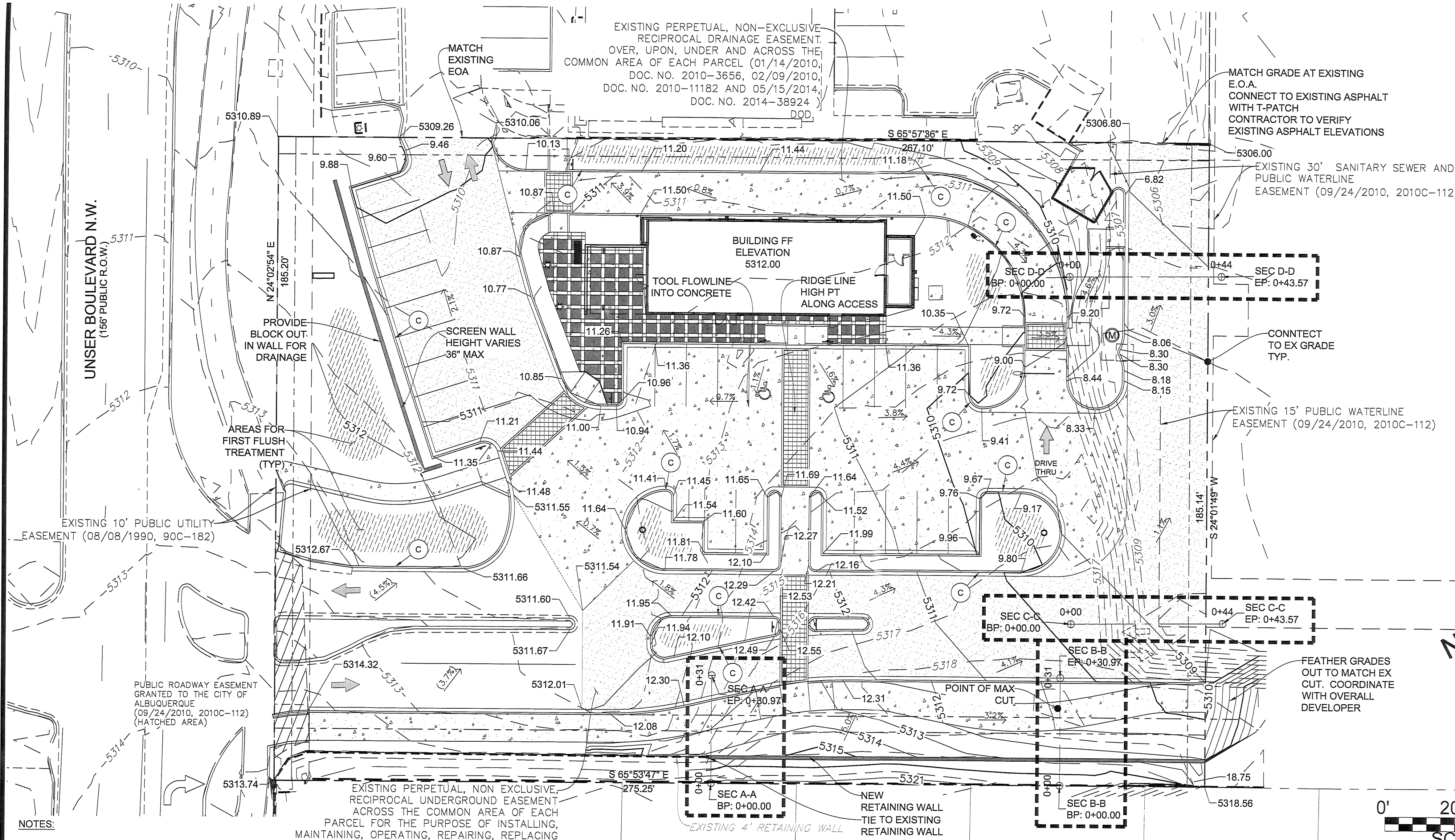
CONTRACT DATE: APRIL 24, 2016  
 BUILDING TYPE: EXPLORER MED54  
 PLAN VERSION: APRIL 2015 (N)  
 SITE NUMBER:  
 STORE NUMBER:

**TACO BELL**  
 UNSER BLVD  
 ALBUQUERQUE, NM 87114



Landscape Plan

L1.0



- GRADING NOTES:**
1. ANY EARTHWORK REQUIRED FOR THIS CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS, GEOTECHNICAL INVESTIGATION FOR THE SITE AND THE CITY STANDARDS AND SPECIFICATIONS.
  2. IF THE SUBGRADE SHOULD BECOME FROZEN, DESICCATED, SATURATED, OR DISTURBED, THE AFFECTED MATERIAL SHOULD BE REMOVED OR THESE MATERIALS SHOULD BE SCARIFIED, MOISTURE CONDITIONED, AND RECOMPACTED PRIOR TO FOUNDATION, FLOOR SLAB AND PAVEMENT CONSTRUCTION.
  3. FILL SHOULD BE PLACED AND COMPACTED IN HORIZONTAL (6-8") LIFTS, USING EQUIPMENT AND PROCEDURES THAT WILL PRODUCE RECOMMENDED MOISTURE CONTENTS AND DENSITIES THROUGHOUT THE LIFT. REFER TO GEOTECHNICAL RECOMMENDATIONS FOR COMPACTION REQUIREMENTS.
  4. NO RUBBLE OR DEBRIS INCLUDING TIMBER, CONCRETE RUBBLE, TREES, BRUSH, AND ASPHALT SHALL BE PLACED IN THE BACKFILL UNDER ANY OF THE PROPOSED BUILDINGS, STREETS, CURB & GUTTER, SIDEWALK, DRAINAGE STRUCTURES. WITHIN FIVE (5) FEET OF A BUILDING FOOTPRINT OR BE IN THE PLACEMENT OF ANY UNCLASSIFIED FILL. PROPERLY GRADED RUBBLE MAY BE USED IN SOME LOCATIONS AS SPECIFIED AND VERIFIED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND HAULING OF SUCH MATERIALS TO A SUITABLE SPOIL AREA.
  5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, MAINTENANCE AND OPERATION OF ANY REQUIRED DEWATERING SYSTEM. THE CONTRACTOR SHALL PERFORM SUCH INDEPENDENT INVESTIGATION AS DEEMED NECESSARY TO DETERMINE THE SUBSURFACE GROUNDWATER CONDITIONS AND UNSTABLE SOIL CONDITIONS TO BE ENCOUNTERED THROUGHOUT THE CONSTRUCTION.
  6. IMMEDIATELY PUMP OR BAIL OUT WATER FOUND IN EXCAVATIONS, WHETHER RAIN OR SEEPAGE. EXCAVATIONS MUST BE KEPT FREE FROM WATER AT ALL TIMES. TAKE ALL MEASURES AND FURNISH ALL EQUIPMENT AND LABOR NECESSARY TO CONTROL THE FLOW, DRAINAGE AND ACCUMULATION OF WATER AS REQUIRED TO PERMIT COMPLETION OF THE WORK AND TO AVOID DAMAGE TO THE WORK.
  7. WHEN FREEZING TEMPERATURES MAY BE EXPECTED, DO NOT EXCAVATE TO THE FULL DEPTH INDICATED UNLESS THE FOOTING OR SLABS ARE TO BE POURED IMMEDIATELY AFTER THE EXCAVATION HAS BEEN COMPLETED. IF PLACING OF CONCRETE IS DELAYED, PROTECT THE BOTTOMS OF EXCAVATIONS FROM FROST UNTIL CONCRETE IS PLACED.
  8. NO FILL MATERIAL SHALL BE PLACED, SPREAD OR ROLLED WHILE IT IS FROZEN OR THAWING OR DURING UNFAVORABLE WEATHER CONDITIONS. WHEN THE WORK IN PROGRESS IS INTERRUPTED BY HEAVY RAIN, FILL OPERATIONS SHALL NOT BE RESUMED UNTIL THE GEOTECHNICAL ENGINEER INDICATES THAT THE MOISTURE CONTENT AND DENSITY OF THE PREVIOUSLY PLACED FILL ARE AS SPECIFIED.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ADEQUATE SHORING AND/OR BRACING NECESSARY TO FACILITATE THE EXCAVATION ASSOCIATED WITH THE CONSTRUCTION OF THE WALLS, PIPELINES AND FOUNDATIONS. THE BRACING AND/OR SHORING OF EXCAVATED WALLS OR TRENCHES SHALL BE IN COMPLIANCE WITH OSHA REGULATIONS AND SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER. THE COST OF SHORING AND/OR BRACING SHALL BE INCLUDED IN THE COST OF THE SPECIFIC CONSTRUCTION ITEM REQUIRING THE SHORING AND/OR BRACING.
  10. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE SITE PRIOR TO BIDDING TO VERIFY SITE CONDITIONS.
  11. BUILDING CONTRACTOR(S) WILL BE RESPONSIBLE FOR CONSTRUCTING POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
  12. SIDEWALK SLOPES SHALL NOT EXCEED 2.0% MAXIMUM CROSS SLOPES AND 5.0% MAXIMUM LONGITUDINAL SLOPES, UNLESS OTHERWISE NOTED. THE SLOPE IN THE HANDICAP PARKING SPACES AND ASSOCIATED STRIPED ISLAND SHALL NOT EXCEED 2.0%.
  13. THE CONTRACTOR SHALL FOLLOW ANY GEOTECHNICAL RECOMMENDATIONS FOR PAVEMENT DESIGN AND RECOMMENDATIONS REGARDING EXCAVATION, COMPACTION, MATERIALS, EMBANKMENT, PAVEMENT SUBEXCAVATION, MOISTURE CONTROL, AND TOPSOIL REMOVAL AND REPLACEMENT. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF DISCREPANCIES BETWEEN THE SITE IMPROVEMENTS PLANS AND THE GEOTECHNICAL RECOMMENDATIONS.

**NOTES:**

FINAL ON-SITE GRADING / PONDS / SWALES WILL BE DESIGNED AS PART OF THE DRB AND BUILDING PERMIT SET.

FINAL CURB CUTS TO BE PLACED AND COORDINATE ON LANDSCAPE AND GRADING AND DRAINAGE PLAN AS PART OF THE DRB AND BUILDING PERMIT SET.

**FLOOD ZONE MAP:**  
ZONE X - FEMA - 35001C0104H



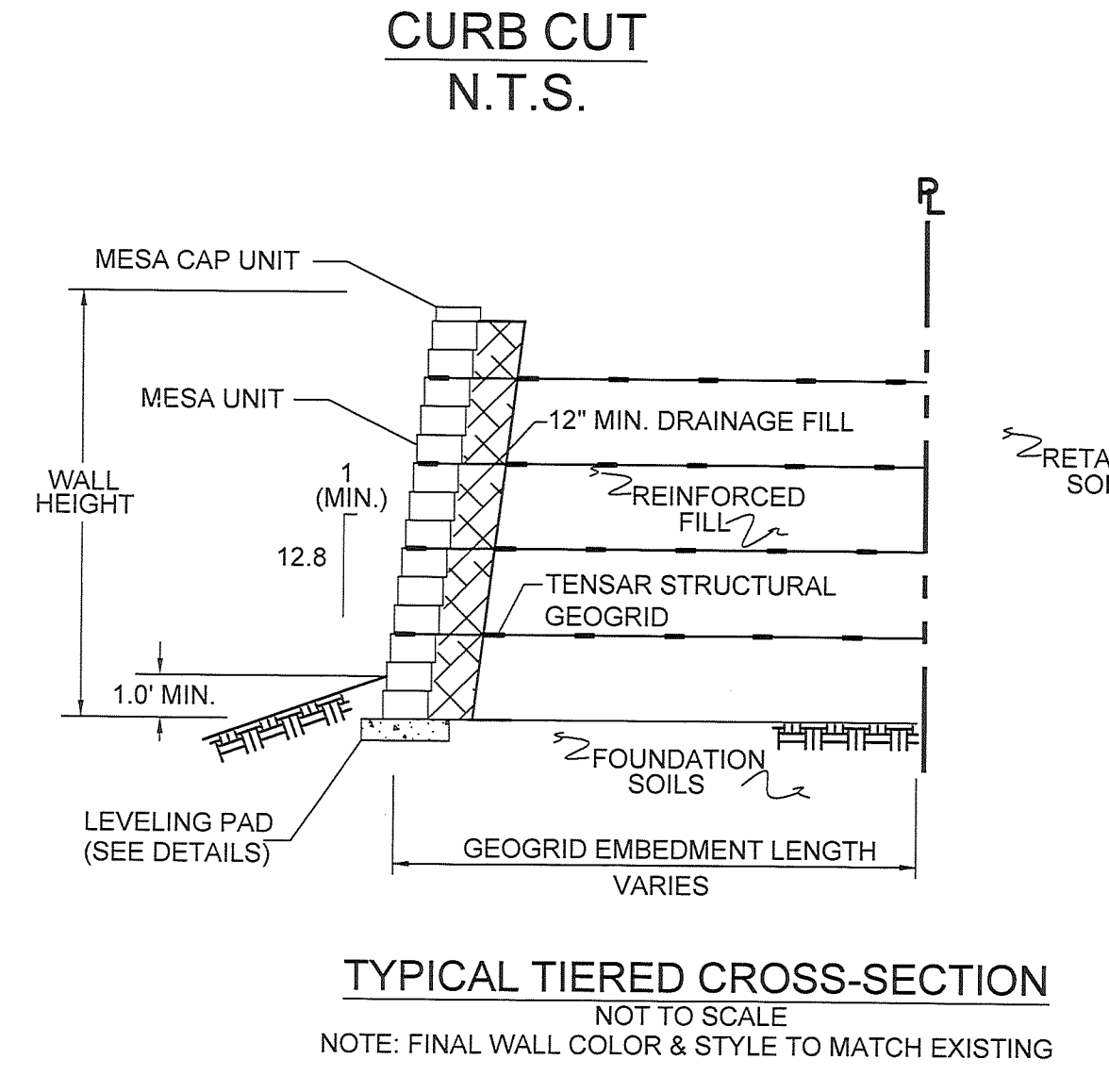
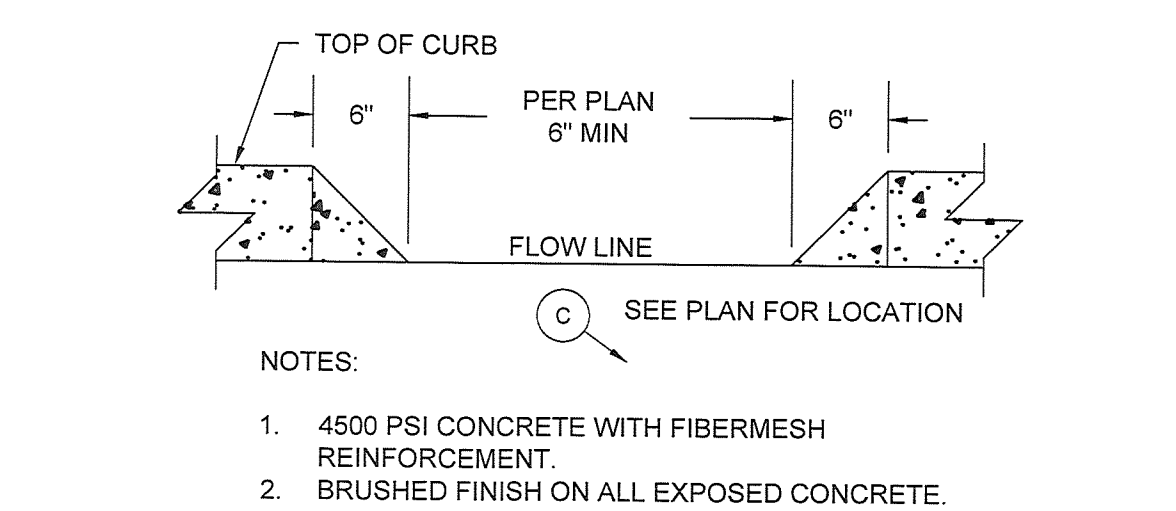
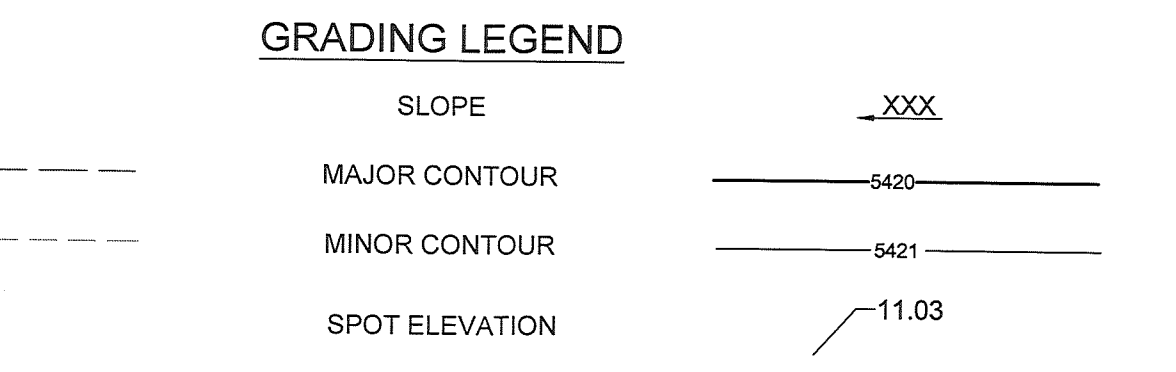
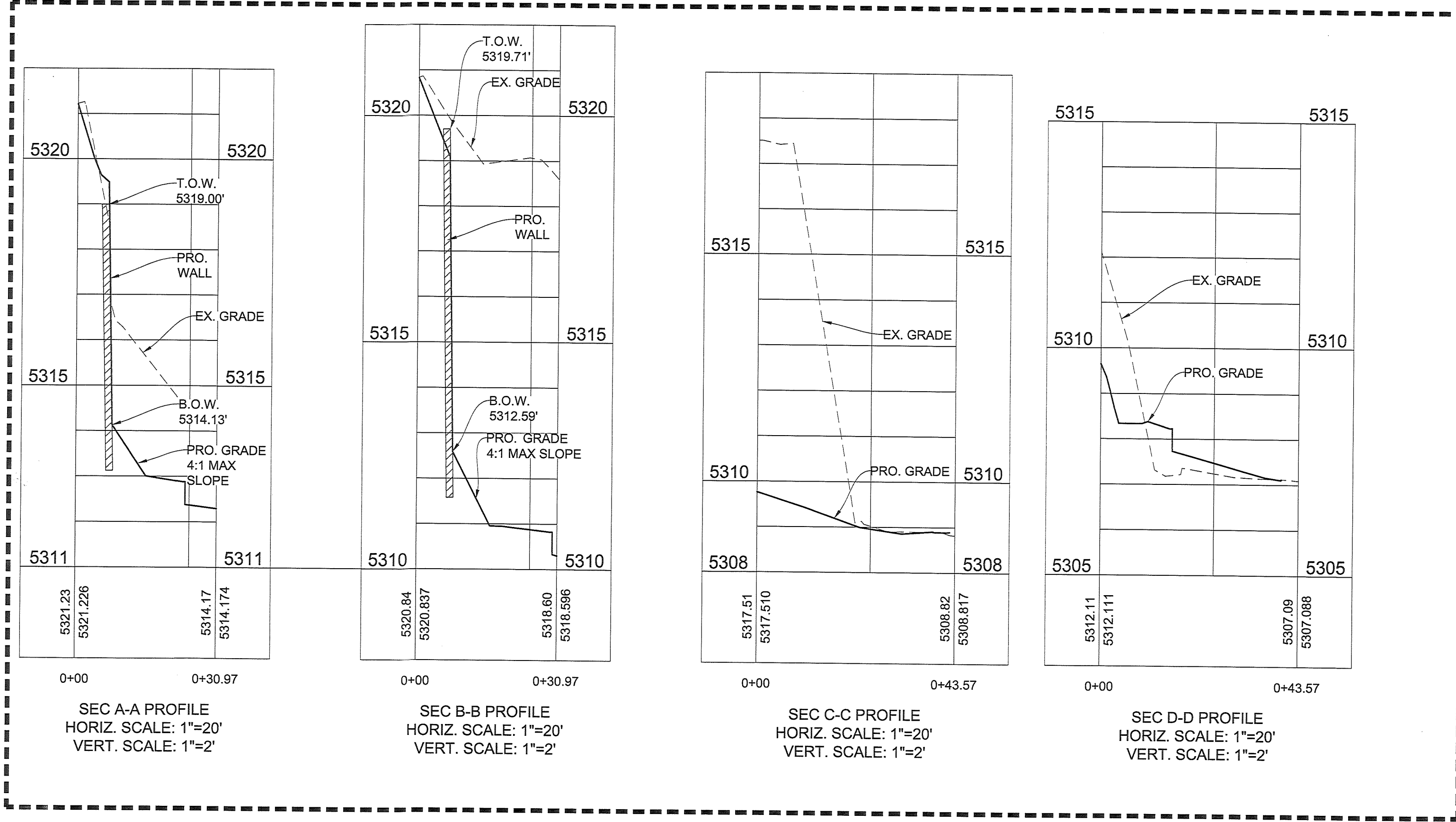
**DRAINAGE NARRATIVE:**

DRAINAGE TO CONFORM TO ORIGINAL MCMAHON MARKETPLACE (2007). LANDSCAPE AREAS TO BE INSTALLED WITH SURFACE LOWER TO RECEIVE RUNOFF VIA CURB NOTCHES / CUTS.

STORMWATER CONTROL MEASURES ARE TO PROVIDE MANAGEMENT OF "FIRST FLUSH" - 90% STORM EVENT. THIS IS 0.34" (0.44" MINUS 0.1" ABSTRACTION)

THE REQUIRED PONDING VOLUME IS 0.34" X TYPE 'D' AREA: 0.34/12 X 1.144C X 71% LAND TREATMENT 'D' X 43560 = 998 C.F.

FIRST FLUSH WILL BE TREATED AND DETAINED THROUGHOUT THE LANDSCAPE ISLANDS ON SITE. FINAL DETAILED DESIGN FOR DRAINAGE TO BE COMPLETED WITH DRB CIVIL ENG PLANS.



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△ EPC 1ST SUB 03.30.16  
△ EPC 2ND SUB 05.02.16  
△ DRB 1ST SUB 10.03.16

NOTES:  
1. 4500 PSI CONCRETE WITH FIBERMESH REINFORCEMENT.  
2. BRUSHED FINISH ON ALL EXPOSED CONCRETE.

**CURB CUT**  
N.T.S.

CONTRACT DATE: APRIL 24, 2016  
BUILDING TYPE: EXPLORER MED54  
PLAN VERSION: APRIL 2015 (N)  
SITE NUMBER:  
STORE NUMBER:

**TACO BELL**  
UNSER BLVD  
ALBUQUERQUE, NM 87114

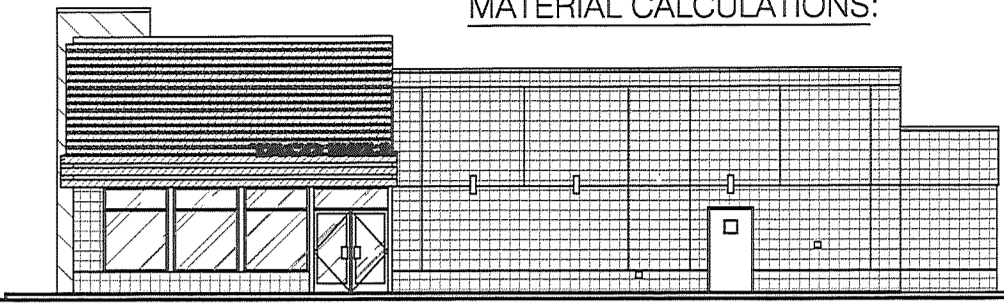
**TACO BELL**  
EXPLORER  
MEDIUM40

**GRADING & DRAINAGE PLAN**

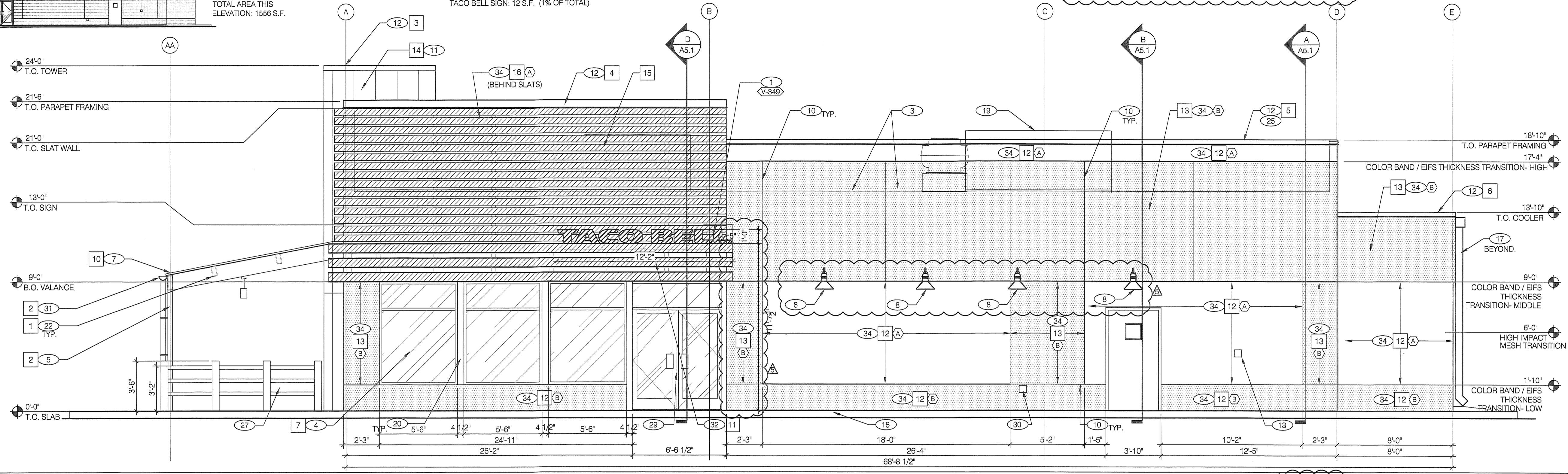
**C2.0**



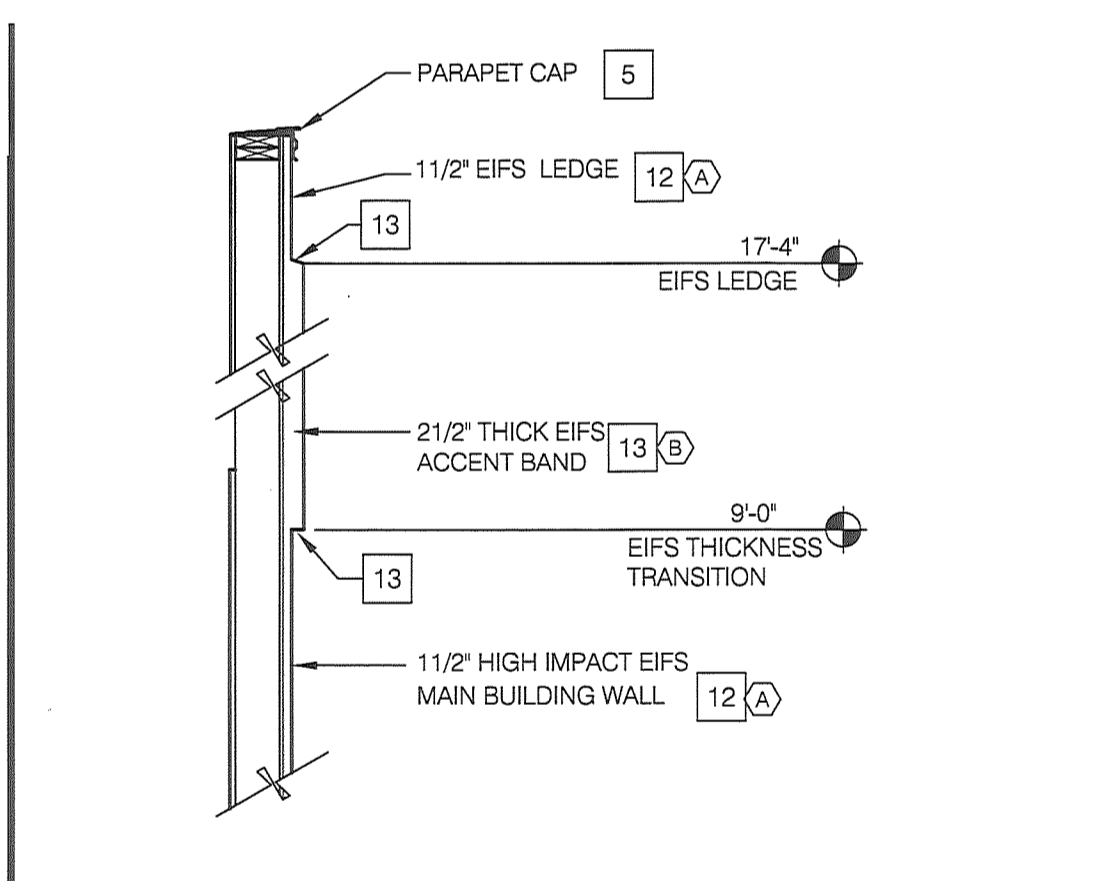
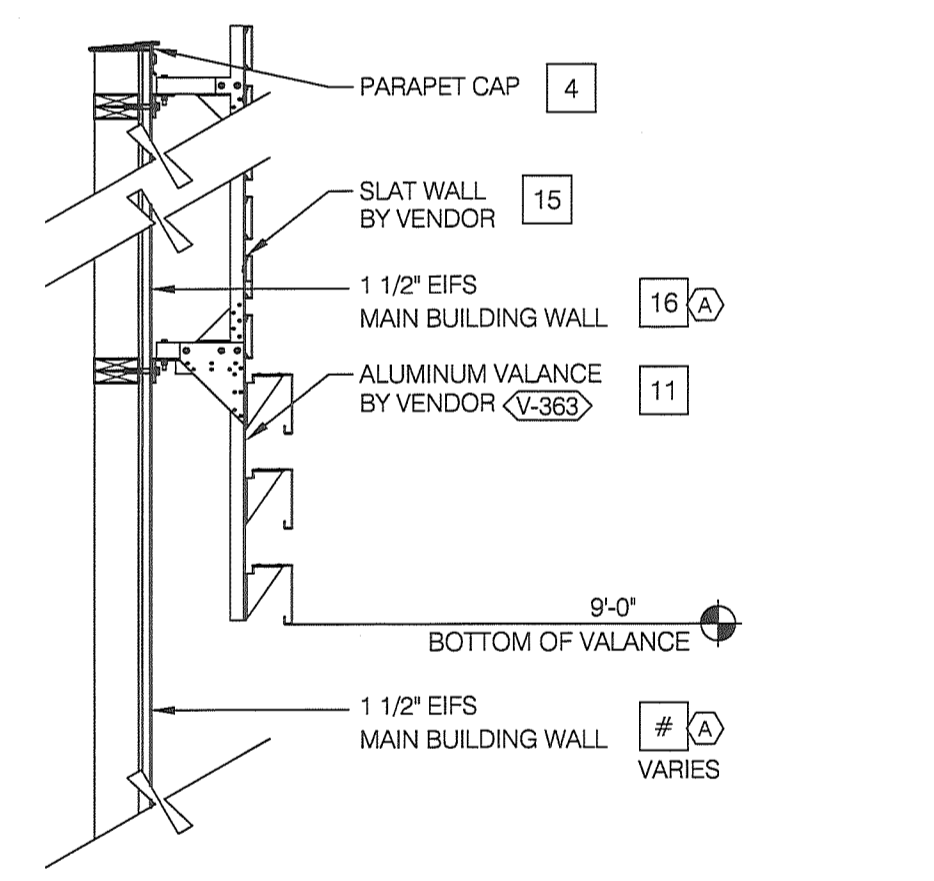
MATERIAL CALCULATIONS:



- STOREFRONT GLAZING: 185 S.F. (12% OF TOTAL)
- STEEL PANEL: 40 S.F. (3% OF TOTAL)
- SLAT WALL AWNINGS: 332 S.F. (21% OF TOTAL)
- E.I.F.S.: 987 S.F. (63% OF TOTAL)
- TACO BELL SIGN: 12 S.F. (1% OF TOTAL)
- TOTAL AREA THIS ELEVATION: 1556 S.F.



(SOUTH) RIGHT SIDE ELEVATION 1/4"=1'-0" A



SLAT WALL COLOR TRANSITION N.T.S. I EIFS THICKNESS COLOR TRANSITION N.T.S. G

MISCELLANEOUS

A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.  
 B. E.I.F.S. TEXTURE SHALL BE "FINE".

SEALERS (REFER TO SPECS):  
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

\*CRITICAL\* DIMENSIONS:  
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

■ DENOTES 2-1/2" THICK E.I.F.S.

GENERAL NOTES F

(A) BASE THICKNESS - 1-1/2" THICK E.I.F.S.  
 (B) BASE THICKNESS - 2-1/2" THICK E.I.F.S.

PROVIDE HIGH IMPACT MESH FOR E.I.F.S. THICKNESS UP TO A HEIGHT OF 6'-0" SEE 2 & 4/A6.2

NOTE: SIGNAGE UNDER SEPARATE PERMIT

QTY	ITEM DESCRIPTION	ELEC
V-322	2 TACO BELL 'BELL' SIGN 4'-10 1/2"W x 4'-2"H	X
V-349	3 TACO BELL LETTERS 12" HIGH, WHITE, FLAT FACED	X

E.I.F.S. INFORMATION N.T.S. E

Sht #	Facade Mark	Facade Area (S.F.)	Signage Description	Signage Dimensions	Signage Area (S.F.)	% of Facade	Comments
A4.0	A	1493.7	Letters	1'-0" x 12'-2"	12.17	0.81%	
		1493.7	Mural	13'-0" x 6'-0"	0	0.00%	Mural is eliminated
A4.1	A	1504.4	Bell & Letters	7'-5" x 6'-2" *	45.74	3.04%	
A4.1	B	1504.4	Bell & Letters	(4.56'x4.88')+(12.17'x1') **	34.42	2.29%	
A4.1	B	520.3	No Sign		0	0.00%	
A4.1	C	675.5	Bell & Letters	6'-11" x 5'-9" *	39.77	5.88%	
		675.5	Bell & Letters	(4.56'x4.88')+(12.17'x1') **	34.42	5.10%	

\* Calculation Method A: Area found by placing a single box around combined Bell & Words.  
 \*\* Calculation Method B: Area found by enclosing individual boxes around Bell separately & Words separately.

VENDOR SIGN SCHEDULE N.T.S. B

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR
1	CANOPY RAFTER/ BEAM PAINT	SHERWIN WILLIAMS	SW 7018 'DOVETAIL'		
2	CANOPY COLUMN PAINT	SHERWIN WILLIAMS	SW 7018 'DOVETAIL'		
3	PARAPET CAP (TOWER)	SHERWIN WILLIAMS	SW 7018 'DOVETAIL'		
4	PARAPET CAP (FRONT)	SHERWIN WILLIAMS	SW 7018 'DOVETAIL'		
5	PARAPET CAP (SIDES)	SHERWIN WILLIAMS	SW 7018 'DOVETAIL'		
6	PARAPET CAP (COOLER)	SHERWIN WILLIAMS	SW 7018 'DOVETAIL'		
7	STOREFRONT WINDOWS	TBD	CLEAR ANODIZED		
8	PIPE BOLLARDS	CONCRETE IN STEEL	PAINTED SAFETY YELLOW		
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED 'TAN.' EQUAL ALTERNATE ALLOWED.		
10	PATIO ROOF	BERRIDGE	S-DECK PREWEATHERED GALVALUME		
11	VALANCE COLOR	VENDOR	SW 7018 'DOVETAIL'		
12	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 7018 'DOVETAIL'		
13	ACCENT COLOR	SHERWIN WILLIAMS	SW 6098 'PACER WHITE'		
14	METAL PANELS	WESTERN STATES METAL ROOFING	18" A606-4 RUSTWALL PANELS		
15	SLAT WALL	CUMMINGS SIGNS	WOOD GRAIN EMBOSSED COLOR BY VENDOR		
16	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6098 'PACER WHITE'		

CONTACT INFORMATION

SHERWIN WILLIAMS: BRAD HARRINGTON, 216-228-54988 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM (EMAIL)

DURO-LAST: LEE COBB, 800-434-3876 (PHONE)

SHERWIN WILLIAMS: BRAD HARRINGTON, 216-341-5558 X115 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM

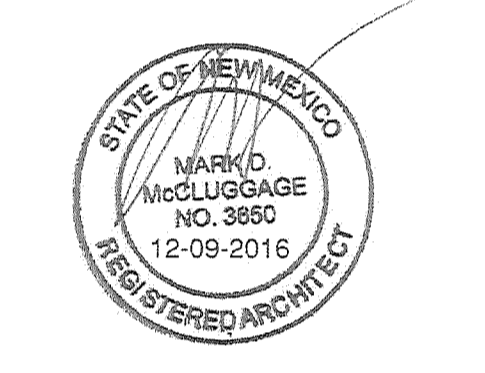
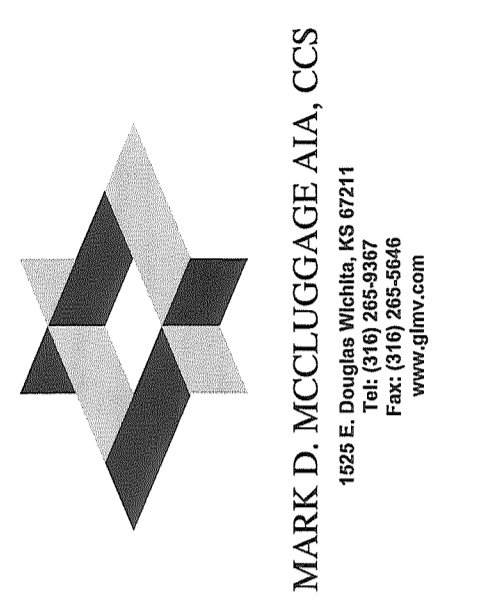
EIFS CONTACT: STUJART CORP.; CHUCK DUFFIN, 940-894-2092 (PHONE), 940-894-2095 (FAX), CDUFFIN@STOCORP.COM

SUPPLIED BY CUMMINGS SIGNS - CONTACT: STUART JOHNSTONE - EMAIL: STUART.JOHNSTONE@CUMMINGSIGNS.COM

EXTERIOR FINISH SCHEDULE H

- 1 BUILDING SIGN, BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 DASHED LINE INDICATES ROOF BEYOND.
- 4 STOREFRONT, TYPICAL.
- 5 TUBE STEEL POST. SEE STRUCTURAL DWGS.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 CORRUGATED METAL ROOF
- 8 'GOOSENECK' LIGHT FIXTURE. ALIGN BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH CHANGE IN EIFS THICKNESS (CENTER OF BRACKET AT 9'-8"). ASSUME FINISH SURFACE IS 0" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 9 E.I.F.S. REVEAL JOINT. SEE DETAIL 20/A6.2
- 10 TOWER WITH METAL PANEL FINISH.
- 11 PARAPET COPING. SEE DETAIL 2/A6.0.
- 12 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
- 13 NOT USED.
- 14 GAS SERVICE.
- 15 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
- 18 CONCRETE CURB.
- 19 RTU BEYOND. PAINT TO MATCH MAIN BUILDING COLOR.
- 20 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3/A6.1
- 21 OVERFLOW SCUPPER
- 22 STEEL BEAM. SEE STRUCTURAL DWGS.
- 23 BOLLARD
- 24 DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL. NOT USED
- 25 NOT USED.
- 26 NOT USED.
- 27 WOOD RAILING OF ROUGH-HEWN CEDAR POSTS AND 3 HORIZONTAL RAILS. NOTE USED.
- 28 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- 29 HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 8/A6.2
- 30 GUTTER AND DOWNSPOUT. PAINT TO MATCH COLUMN
- 31 METAL AWNING - BY OTHERS
- 32 UP-LIGHT FIXTURE. REFER TO ELEC. DWGS.
- 33 EIFS (TYP). SEE 2 & 4/A6.2.

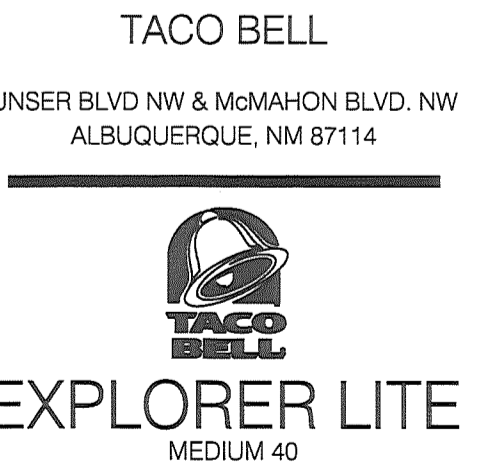
KEY NOTES D



12134.230

REVISION 6 - RFI 12-09-16  
 REVIEW COMMENTS 12-06-16  
 PRE-CON CHANGES 11-17-16  
 REVIEW COMMENTS 10-03-16  
 REVIEW COMMENTS 9-12-16  
 REVIEW COMMENTS 7-21-16

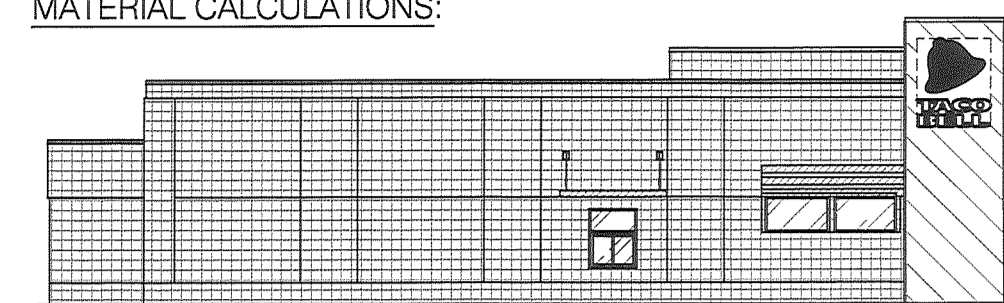
CONTRACT DATE: APRIL 21, 2016  
 BUILDING TYPE: EXP. LITE MED40  
 PLAN VERSION: MAY 3 2016  
 SITE NUMBER: 311-310  
 STORE NUMBER: 433220



EXTERIOR ELEVATIONS

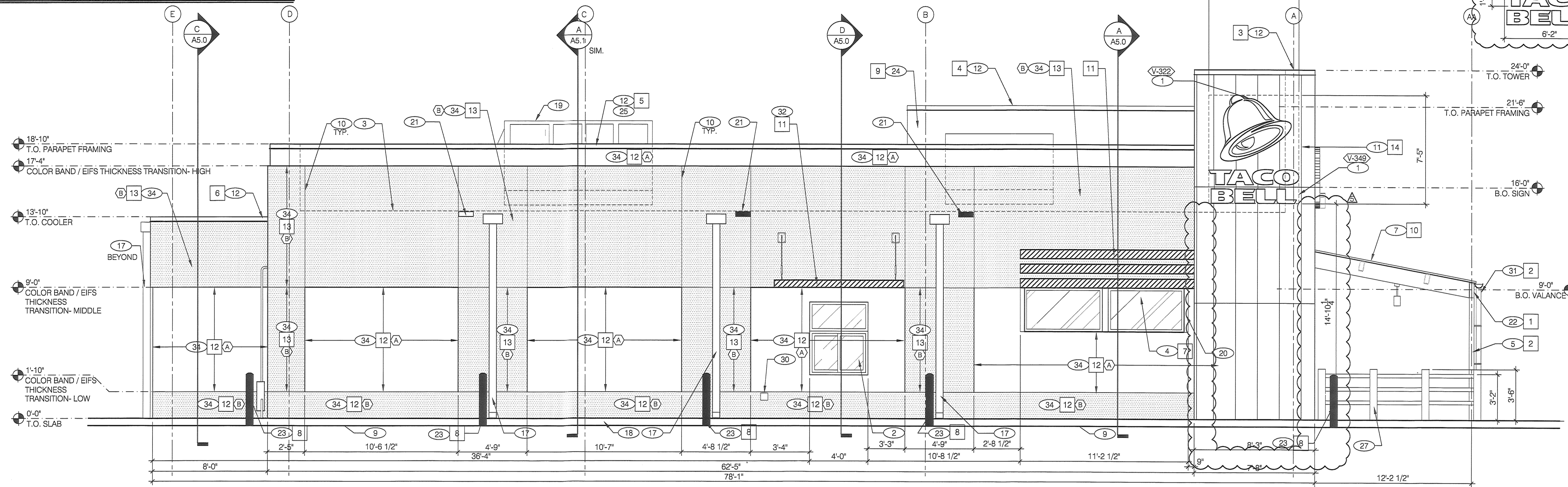
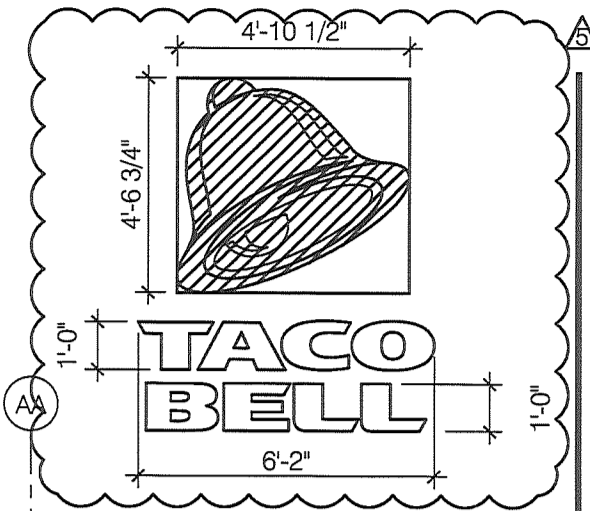
**A4.0**

**MATERIAL CALCULATIONS:**



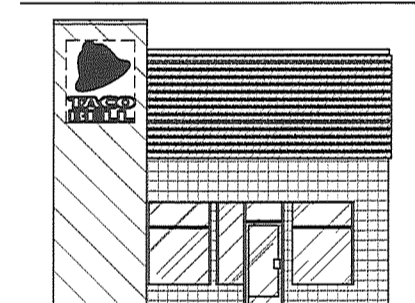
- STOREFRONT GLAZING: 45 S.F. (3% OF TOTAL)
- SLAT WALL AWNINGS: 54 S.F. (3% OF TOTAL)
- STEEL PANEL: 198 S.F. (10% OF TOTAL)
- E.I.F.S.: 1267 S.F. (81% OF TOTAL)
- TACO BELL SIGN: 46 S.F. (3% OF TOTAL)

TOTAL AREA THIS ELEVATION: 1556 S.F.



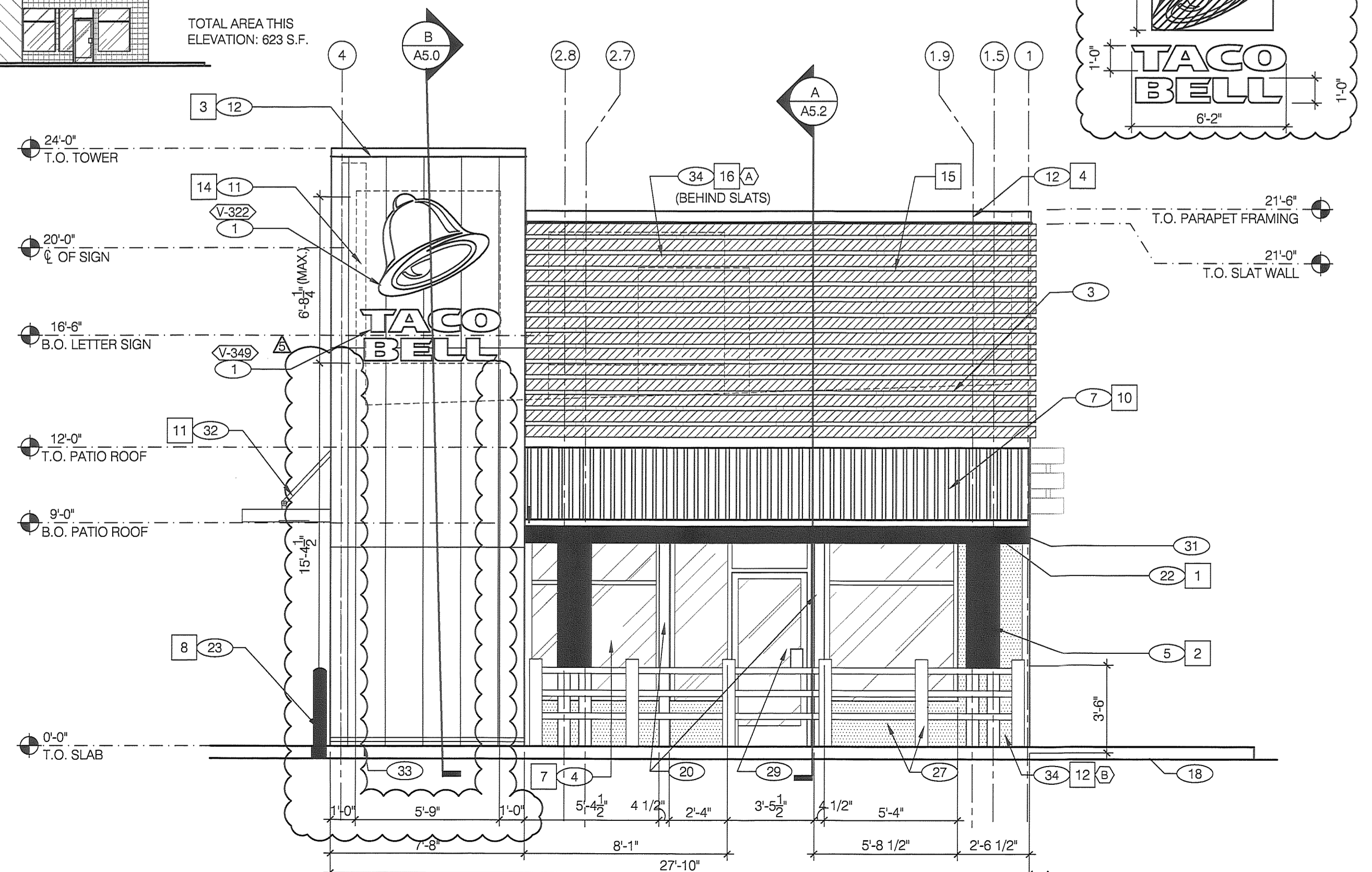
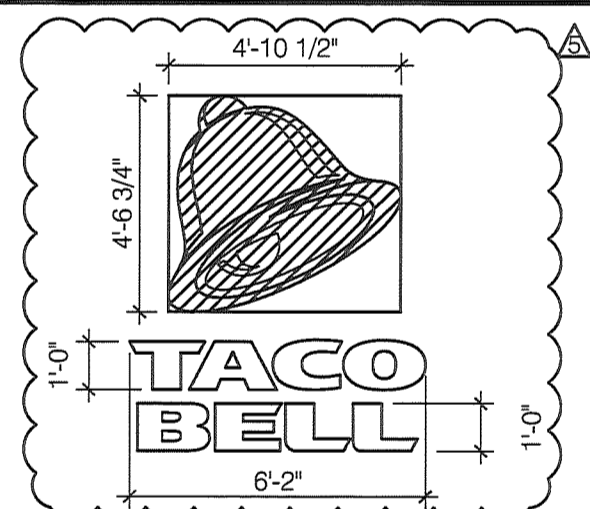
**(NORTH) LEFT SIDE ELEVATION 1/4" = 1'-0" A**

**MATERIAL CALCULATIONS:**



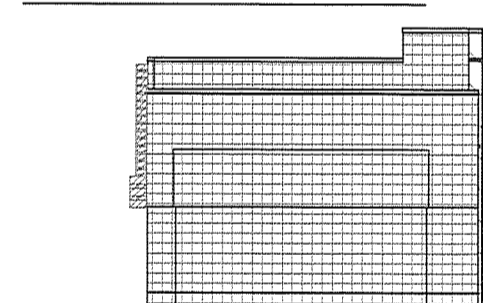
- STOREFRONT GLAZING: 116 S.F. (20% OF TOTAL)
- SLAT WALL AWNINGS: 175 S.F. (28% OF TOTAL)
- STEEL PANEL: 146 S.F. (23% OF TOTAL)
- E.I.F.S.: 145 S.F. (23% OF TOTAL)
- TACO BELL SIGN: 40 S.F. (6% OF TOTAL)

TOTAL AREA THIS ELEVATION: 623 S.F.



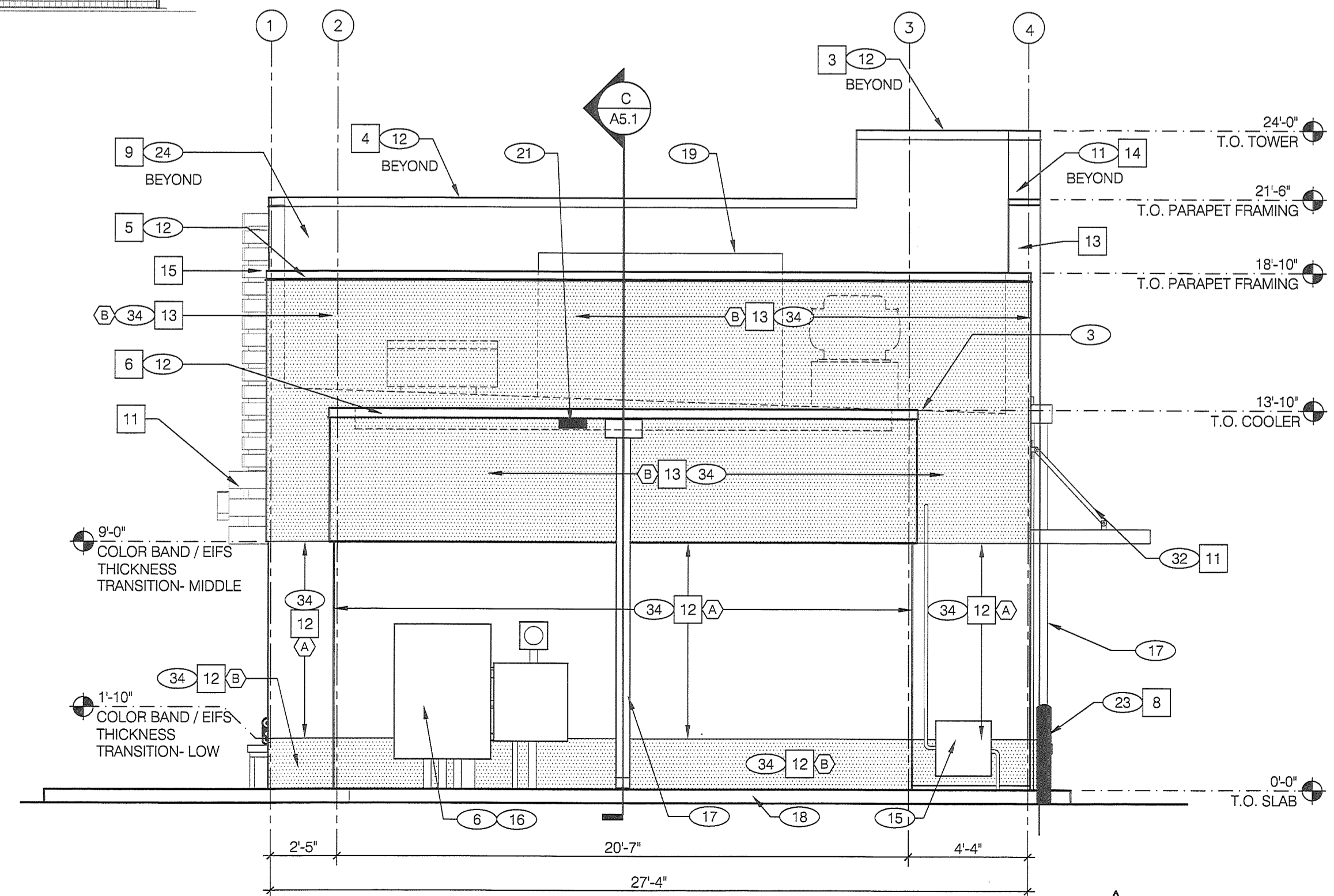
**(WEST) FRONT ELEVATION 1/4" = 1'-0" C**

**MATERIAL CALCULATIONS:**



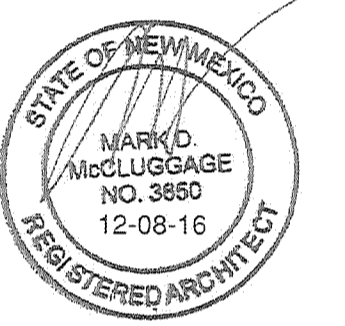
- SLAT WALL AWNING: 12 S.F. (2% OF TOTAL)
- STEEL PANEL: 50 S.F. (8% OF TOTAL)
- E.I.F.S.: 611 S.F. (90% OF TOTAL)

TOTAL AREA THIS ELEVATION: 623 S.F.



**(EAST) REAR ELEVATION 1/4" = 1'-0" B**

**MARK D. MCCLUGGAGE AIA, CCS**  
 1025 E. Douglas Wichita, KS 67211  
 Fax: (316) 265-5646  
 www.dmv.com



- 12134.230
- REVIEW COMMENTS 12-06-16
  - PRE-CON CHANGES 11-17-16
  - REVIEW COMMENTS 10-03-16
  - REVIEW COMMENTS 9-12-16
  - REVIEW COMMENTS 7-21-16
- CONTRACT DATE: APRIL 21, 2016  
 BUILDING TYPE: EXP. LITE MED-40  
 PLAN VERSION: MAY 3 2016  
 SITE NUMBER: 311-310  
 STORE NUMBER: 433220

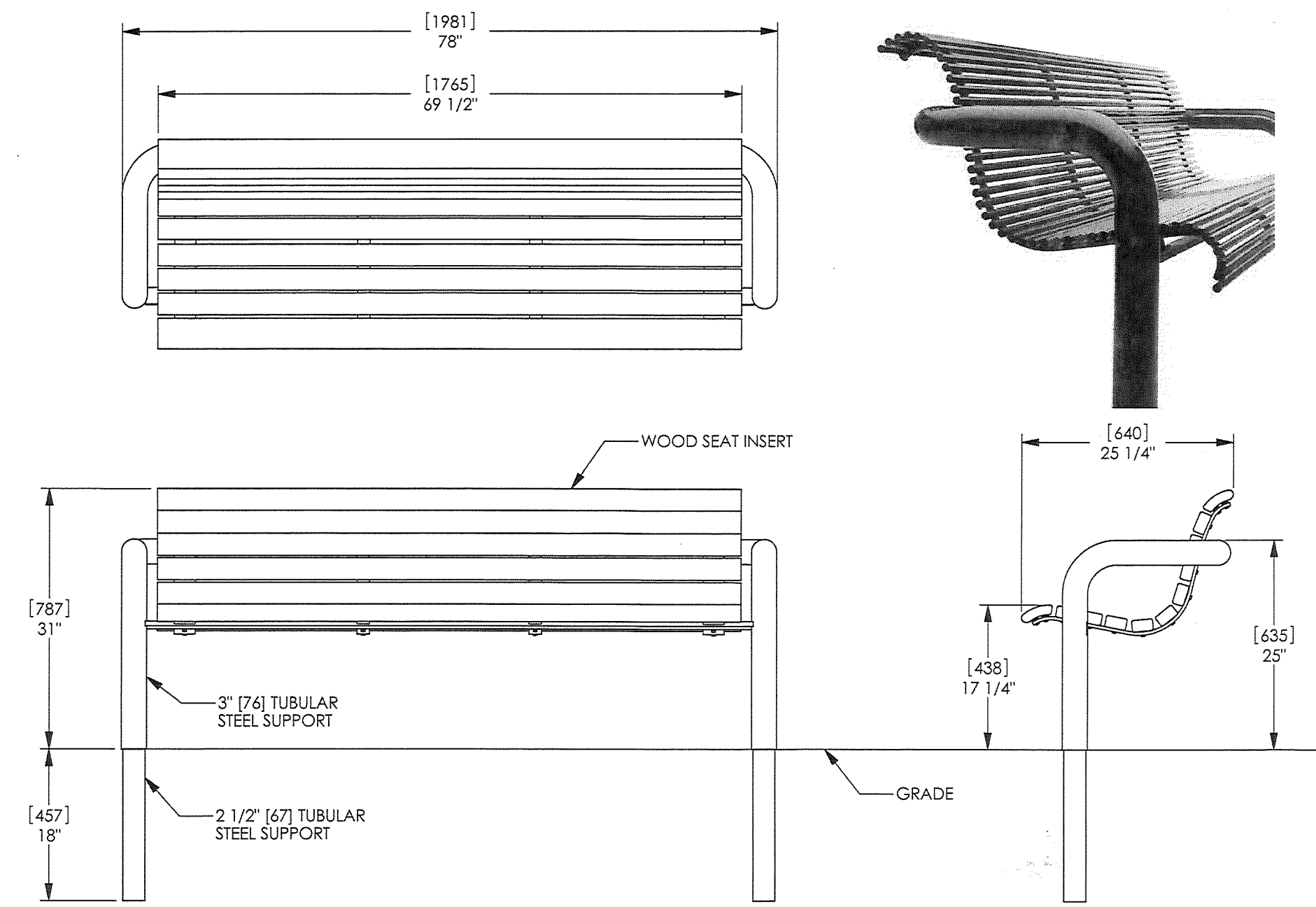
**TACO BELL**  
 UNSER BLVD NW & McMAHON BLVD. NW  
 ALBUQUERQUE, NM 87114



**EXTERIOR ELEVATIONS**

**A4.1**



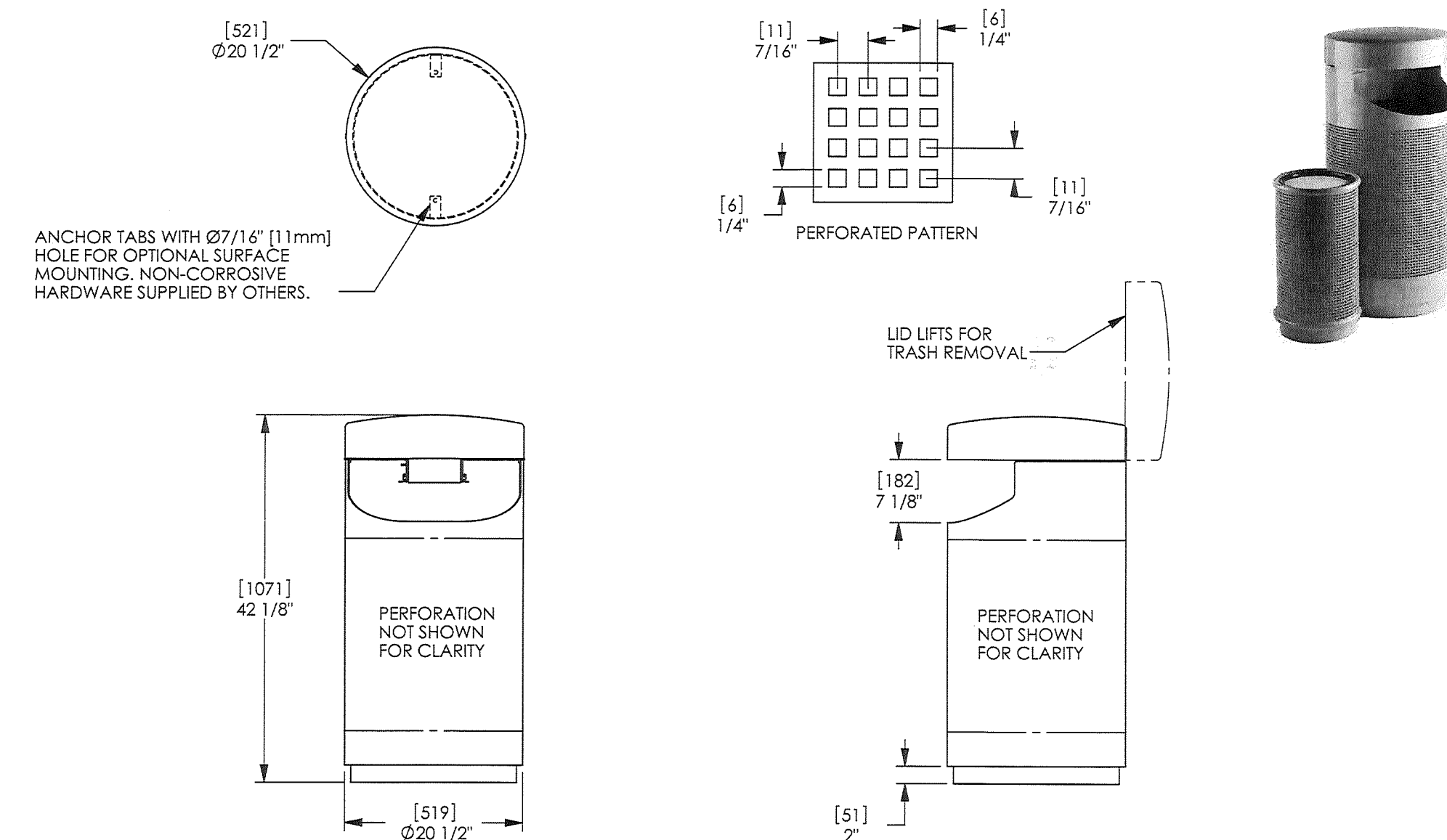


landscapiforms Drawing: PK163-03  
Dimensions are in inches (mm)

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NOTES:

- 1) CONTRACTOR SHALL USE THE SAME, OR CLOSEST EQUIVALENT, BENCH TO APPROVED MASTER PLANS
- 2) LOCATION TO BE SET IN THE FIELD.

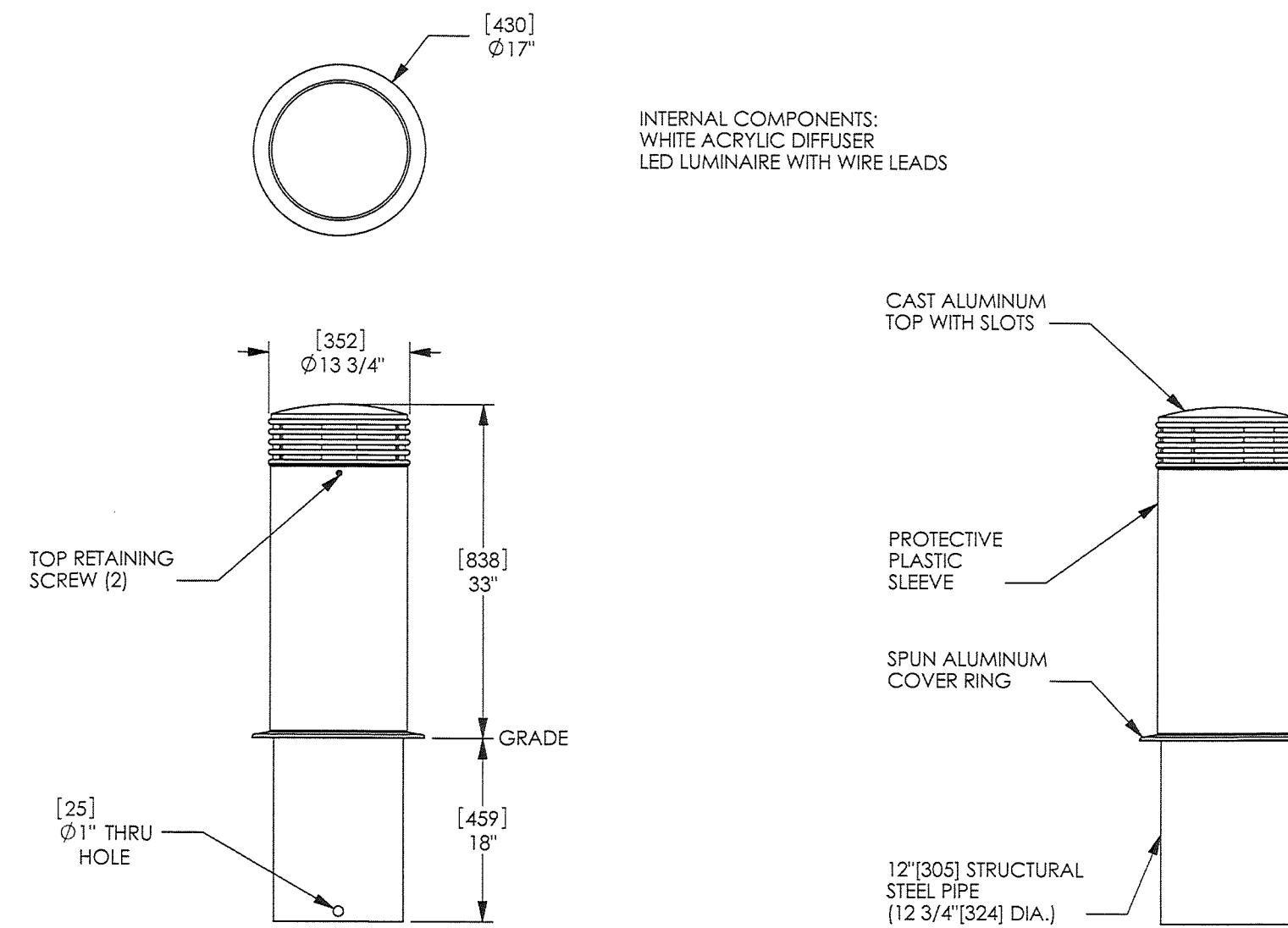


landscapiforms Drawing: PK166-01  
Dimensions are in inches (mm)

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NOTES:

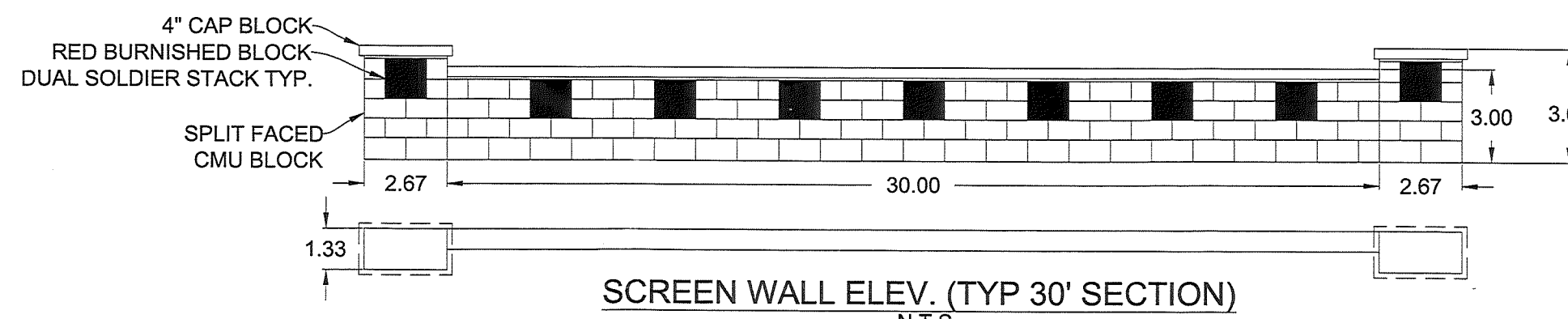
- 1) CONTRACTOR SHALL USE THE SAME, OR CLOSEST EQUIVALENT, BENCH TO APPROVED MASTER PLANS
- 2) LOCATION TO BE SET IN THE FIELD.



landscapiforms Drawing: AN448-04  
Dimensions are in inches (mm)

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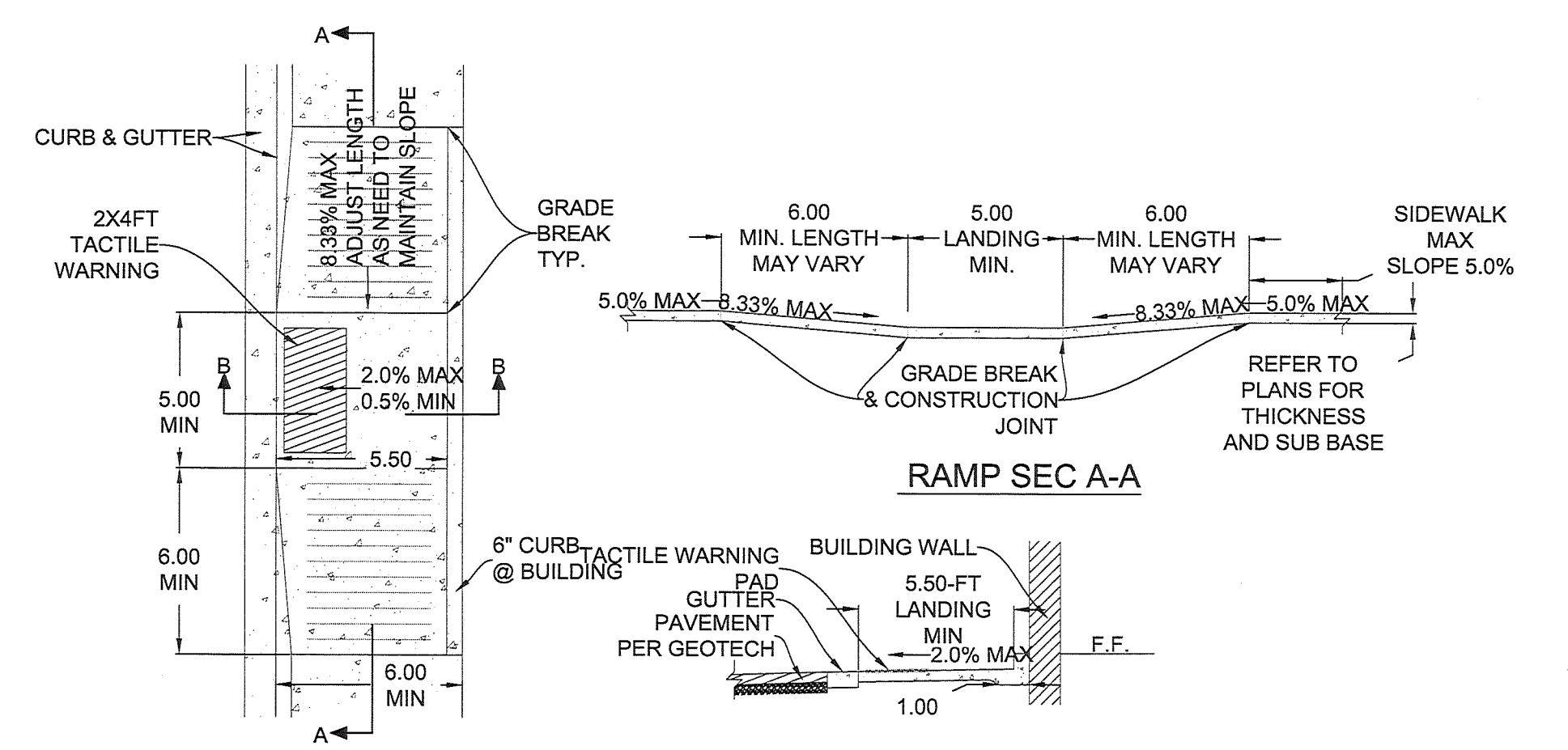
PEDESTRIAN LIGHT BOLLARD DETAIL  
N.T.S.



landscapiforms Drawing: AN448-04  
Dimensions are in inches (mm)

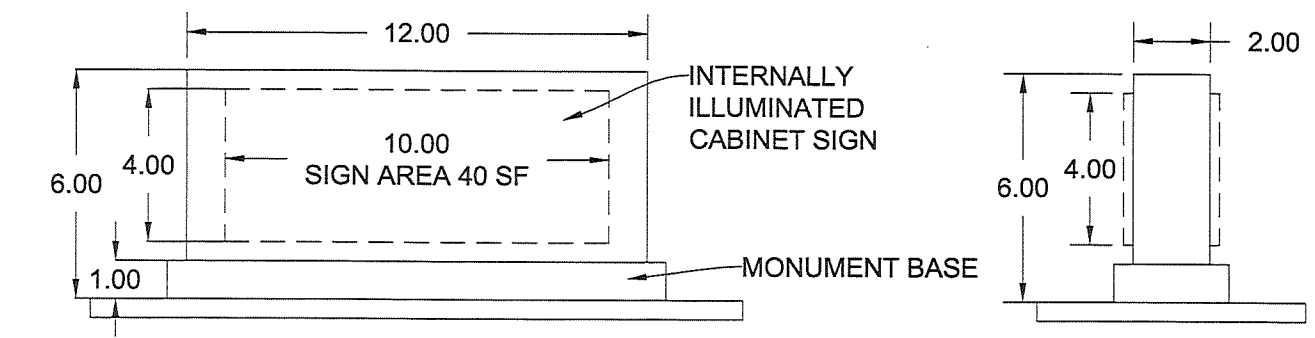
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SCREEN WALL ELEV. (TYP 30' SECTION)  
N.T.S.



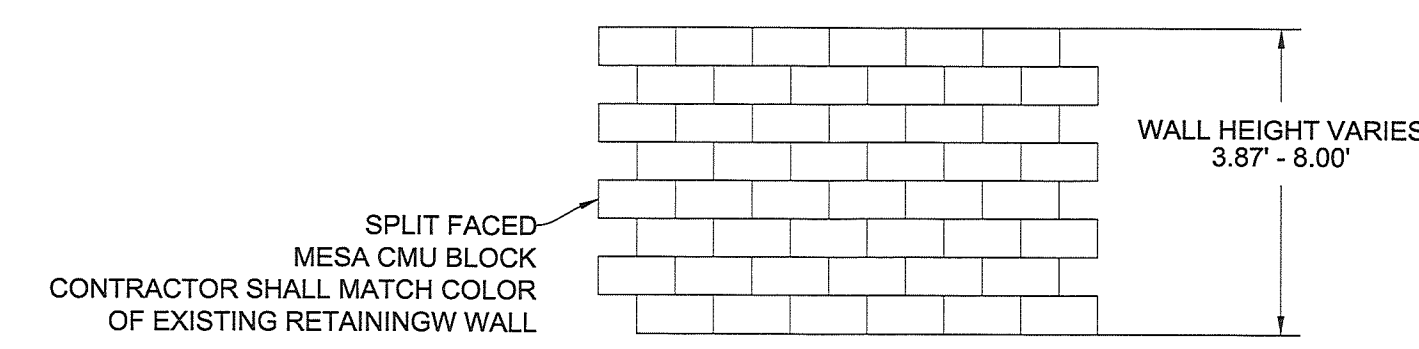
- NOTES:
1. 5000 PSI CONCRETE WITH FIBERMESH REINFORCEMENT, OR 4X4 WWM WITH 2" MIN COVER.
  2. BRUSHED FINISH ON ALL EXPOSED CONCRETE.
  3. TOOL CONTRACTION JOINT IN EVERY 10FT O.C.
  4. COMPACT SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS, COMPACT TO 95% STANDARD PROCTOR MINIMUM.
  5. CONCRETE THICKNESS PER GEOTECHNICAL RECOMMENDATIONS - 4" MIN.
  6. PROVIDE SUBGRADE BASE COARSE PER GEOTECHNICAL RECOMMENDATIONS.
  7. TACTILE WARNING TO BE 2X4\"/>

TWO WAY ADA RAMP W/ LANDING  
N.T.S.

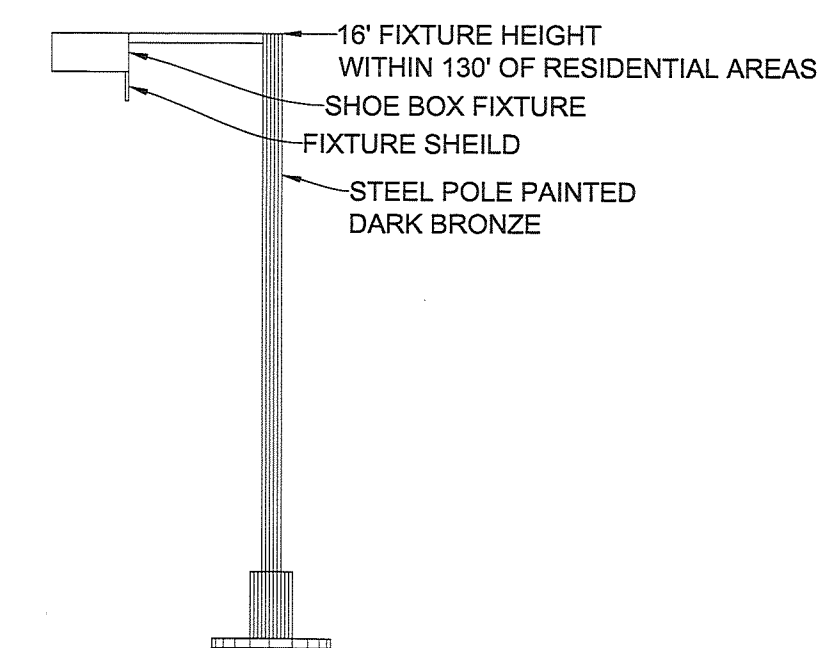


MONUMENT SIGN ELEVATIONS (SIGN TYPE A)  
N.T.S.

- NOTES:
1. CABINET AND MONUMENT BASE TO BE SPLITFACE CMU, SHERWIN WILLIAMS COLOR "SW 7018 - DOVETAIL"

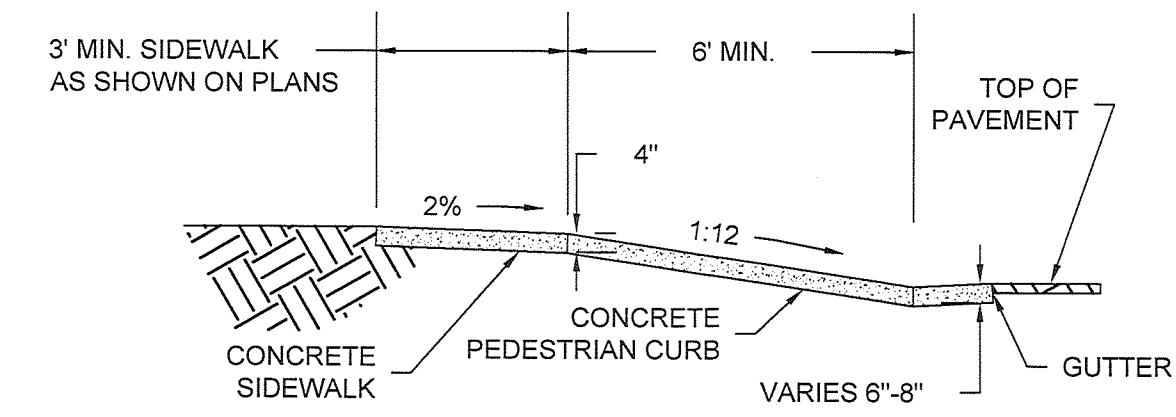


RETAINING WALL ELEV. (TYP SECTION)  
N.T.S.

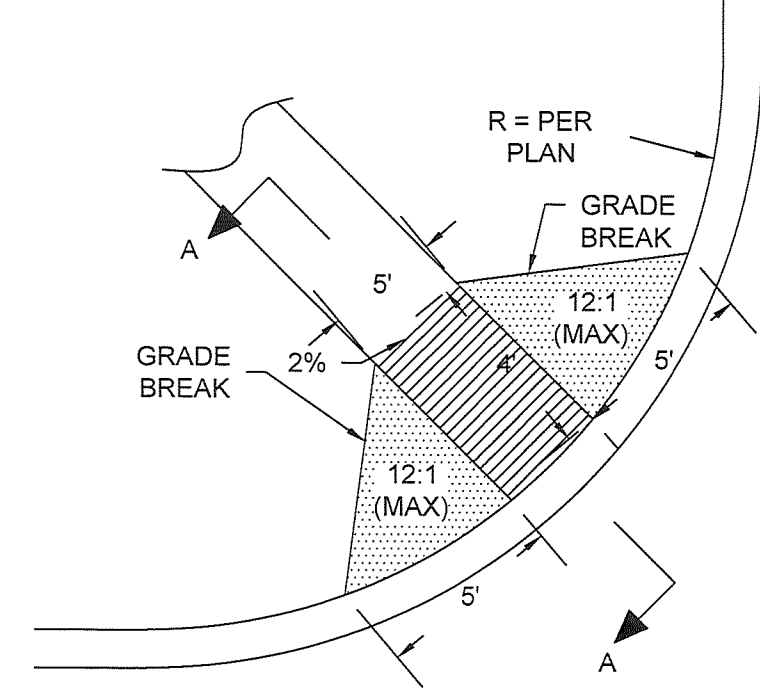


- NOTES:
- 1) LIGHTS TO BE HORIZONTAL LAMPS WITH SHIELDED FIXTURES
  - 2) RE: ARCHITECTUAL DESIGN GUIDELINE DRAWING FOR ADDITIONAL LIGHTING INFORMATION

LIGHT POLE DETAIL  
N.T.S.

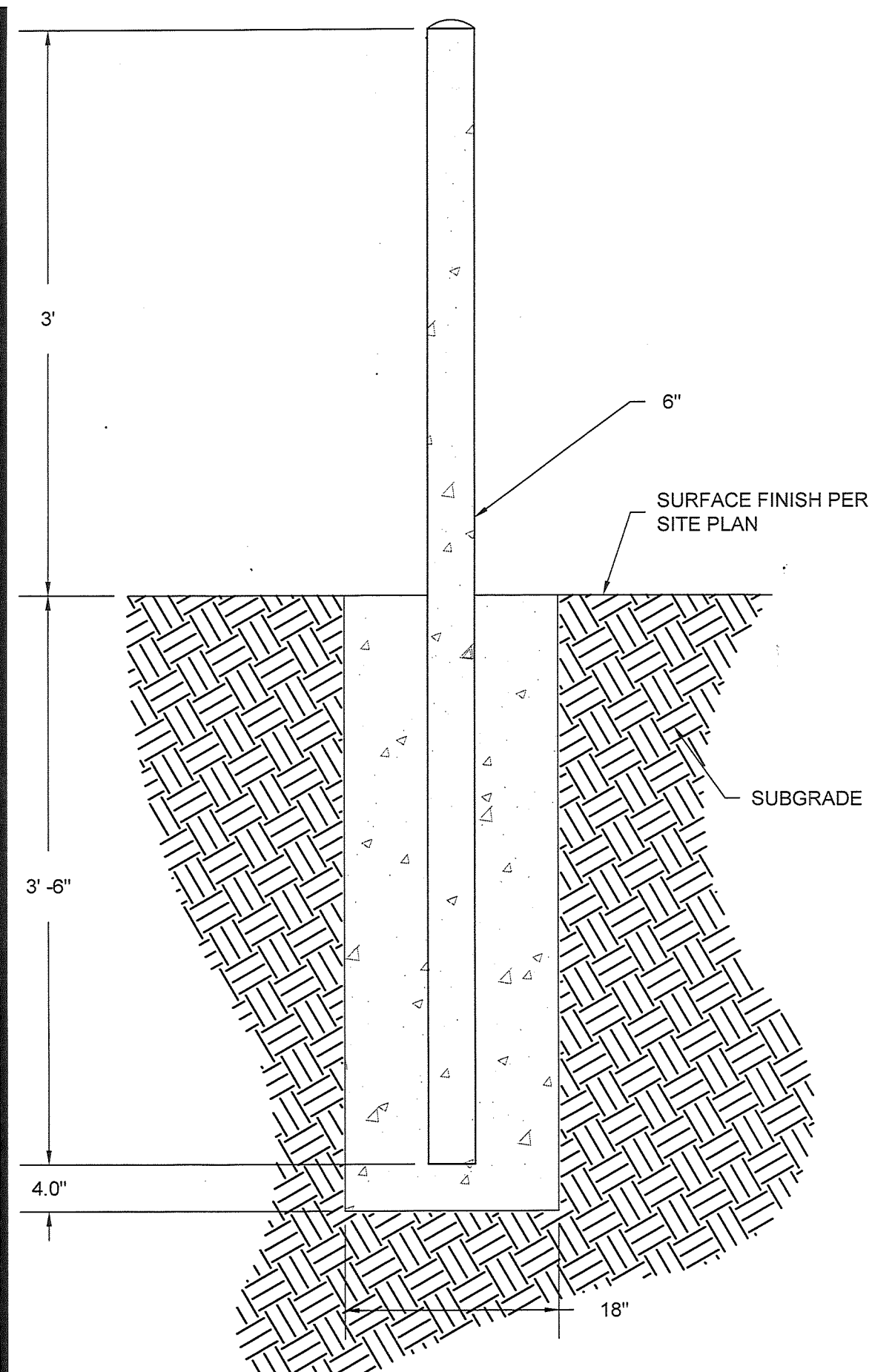


SECTION A-A  
N.T.S.



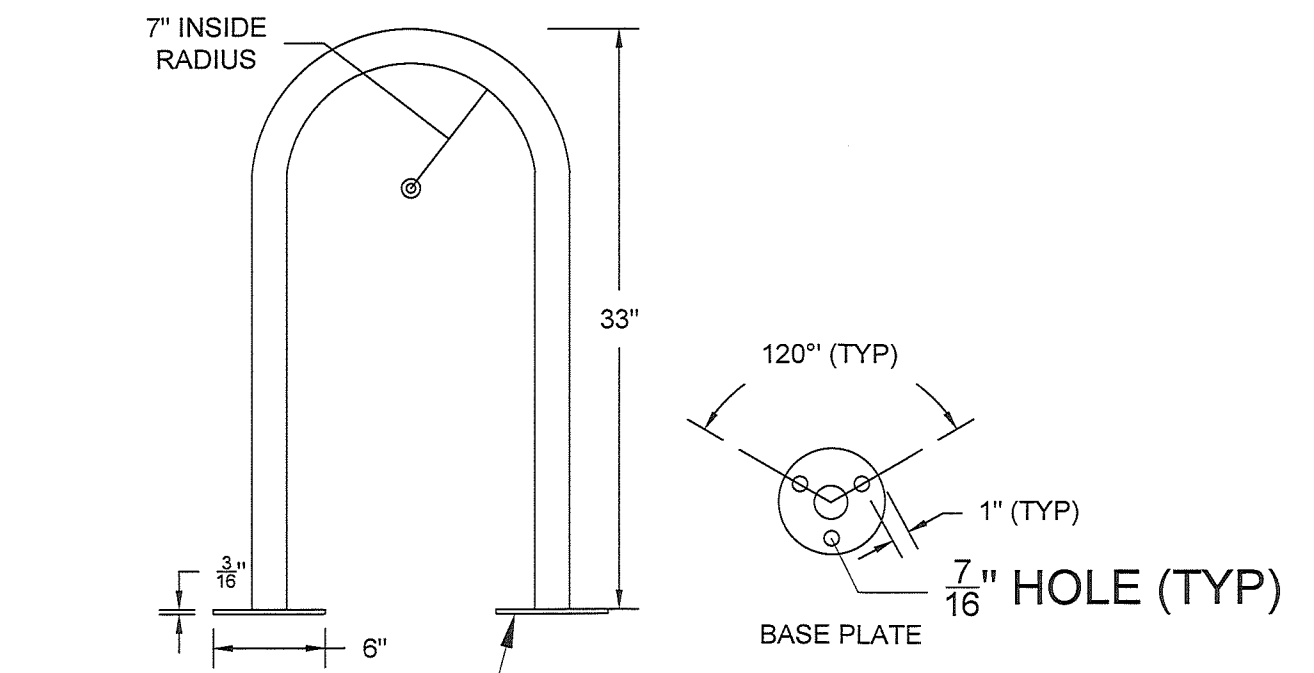
PRIVATE ADA RAMP  
N.T.S.





- NOTES:
1. CONCRETE SHALL BE 4000 PSI MIN.
  2. SUBGRADE SHALL BE PREPARED PER GEOTECH REPORT.
  3. REFER TO SITE PLAN FOR BOLLARD LOCATION AND SIZE.
  4. BOLLARD SHALL BE SCH 40 GALVANIZED STEEL PIPE PAINTED OSHA YELLOW AND FILLED WITH CONCRETE.
  5. BOLLARDS SHALL BE FACTORY COLORED "TAN." EQUAL ALTERNATE ALLOWED

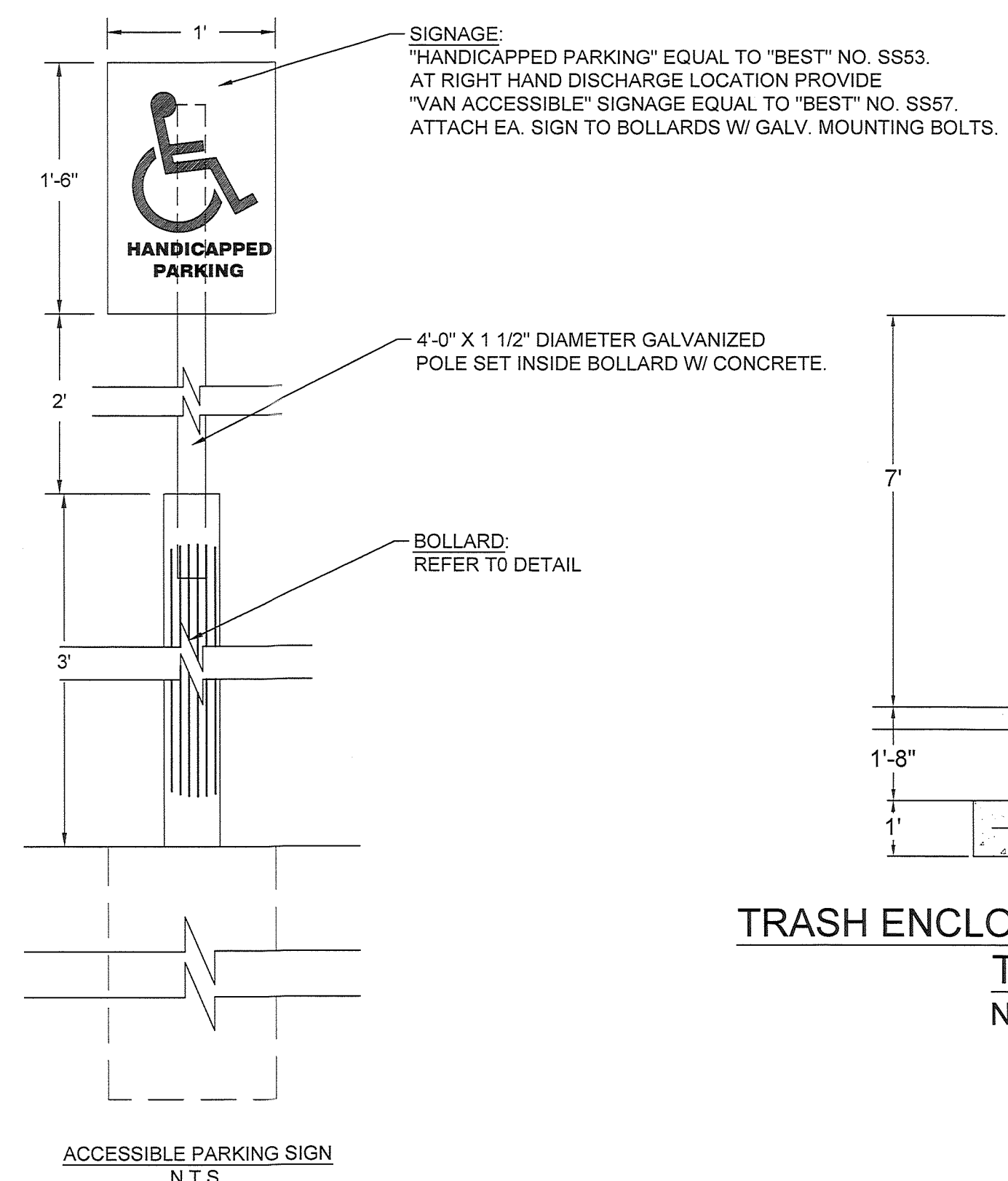
**BOLLARD DETAILS**  
N.T.S.



**FLUSH MOUNT BASE PLATE**  
NOTES:

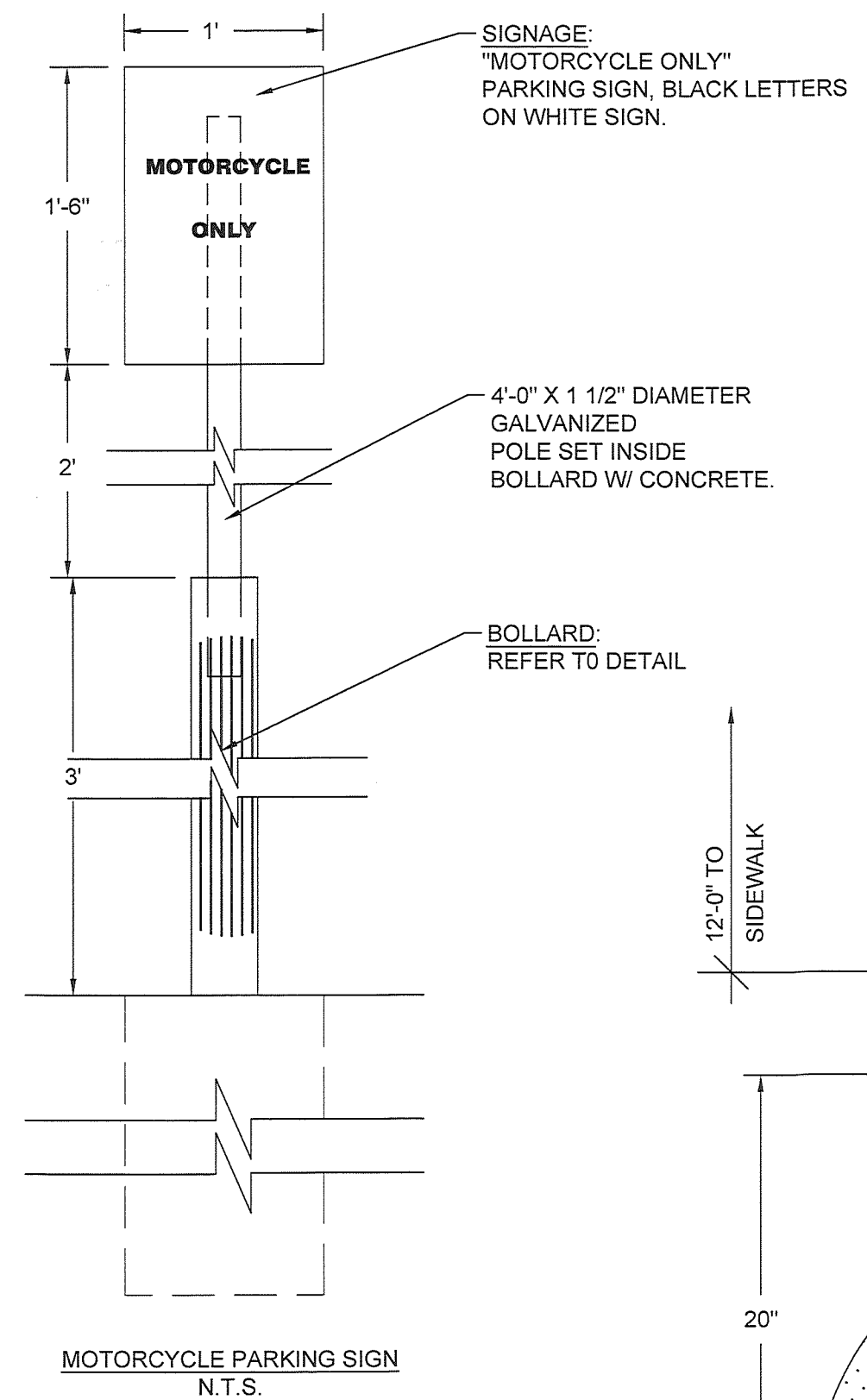
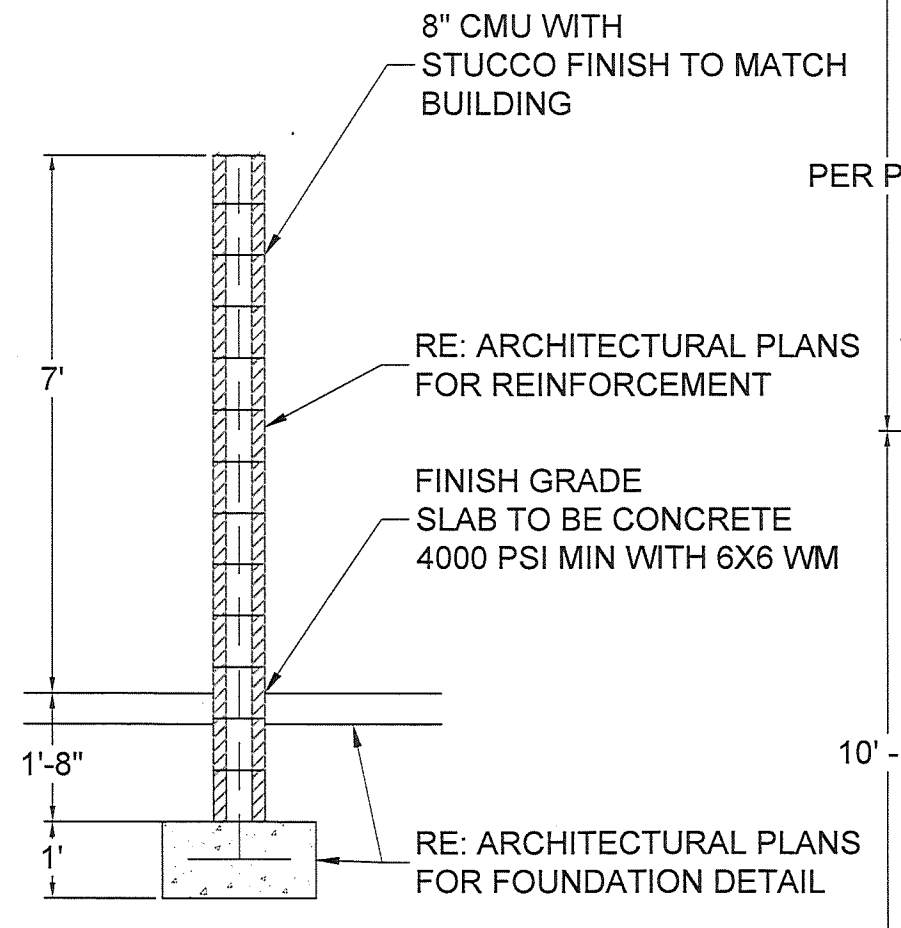
- DIMENSIONS:
1. HEIGHT - 33" FROM THE GROUND
  2. CONTINUOUS BEND INSIDE RADIUS = 7"
- MATERIALS AND CONSTRUCTION:
1. MINIMUM OR 1 3/4" SCHEDULE 40 STEEL PIPE (1 5/8" OUTSIDE DIAMETER)
  2. MAXIMUM 1 1/2" SCHEDULE 40 STEEL PIPE (2" OUTSIDE DIAMETER)
  3. SOLID ONE-PIECE CONSTRUCTION: CONTINUOUS BEND; LEGS 14" - 18" APART
  4. GALVANIZED WITH BLACK POWDER COAT FINISH
  5. FLUSH MOUNTED WITH WELDED BASE PLATES (6" DIAMETER, 3/8" THICK BASE PLATE). HIDDEN OR VANDAL-RESISTANT FASTENERS (SCREWS OR EXPANSION BOLTS)

**BIKE RACK DETAIL**  
N.T.S.



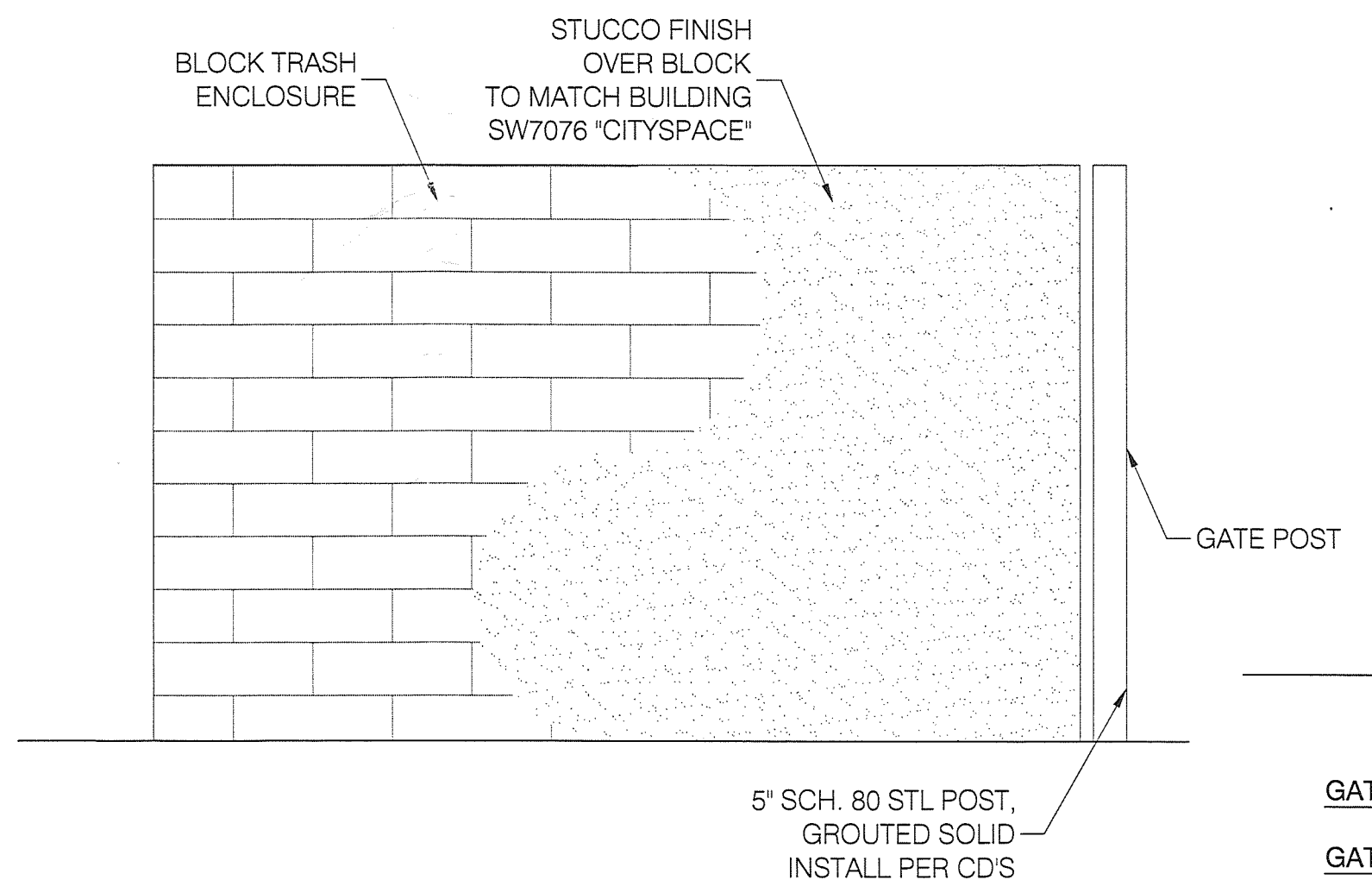
SIGNAGE:  
"HANDICAPPED PARKING" EQUAL TO "BEST" NO. SS53.  
AT RIGHT HAND DISCHARGE LOCATION PROVIDE  
"VAN ACCESSIBLE" SIGNAGE EQUAL TO "BEST" NO. SS57.  
ATTACH EA. SIGN TO BOLLARDS W/ GALV. MOUNTING BOLTS.

**TRASH ENCLOSURE WALL SEC**  
TYP.  
N.T.S.

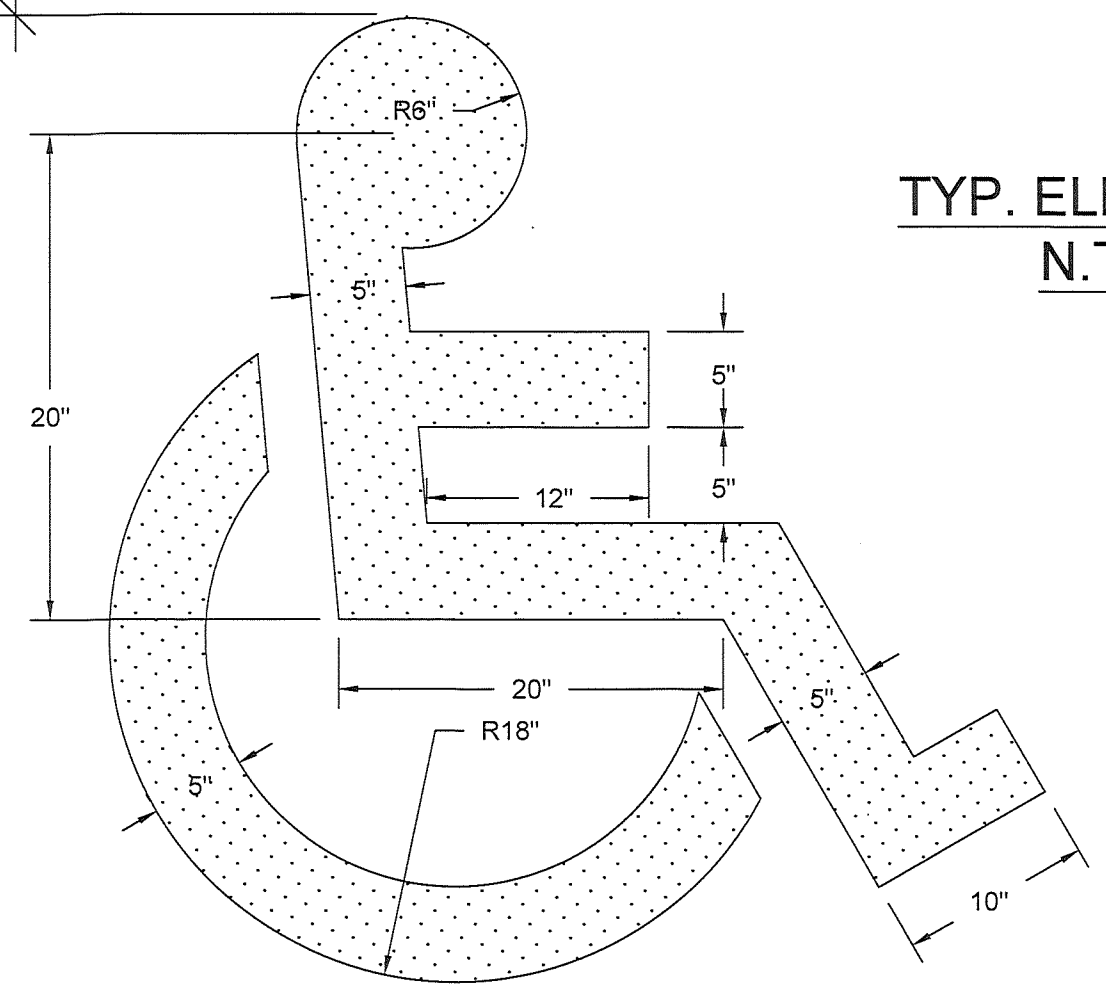


SIGNAGE:  
"MOTORCYCLE ONLY"  
PARKING SIGN, BLACK LETTERS  
ON WHITE SIGN.

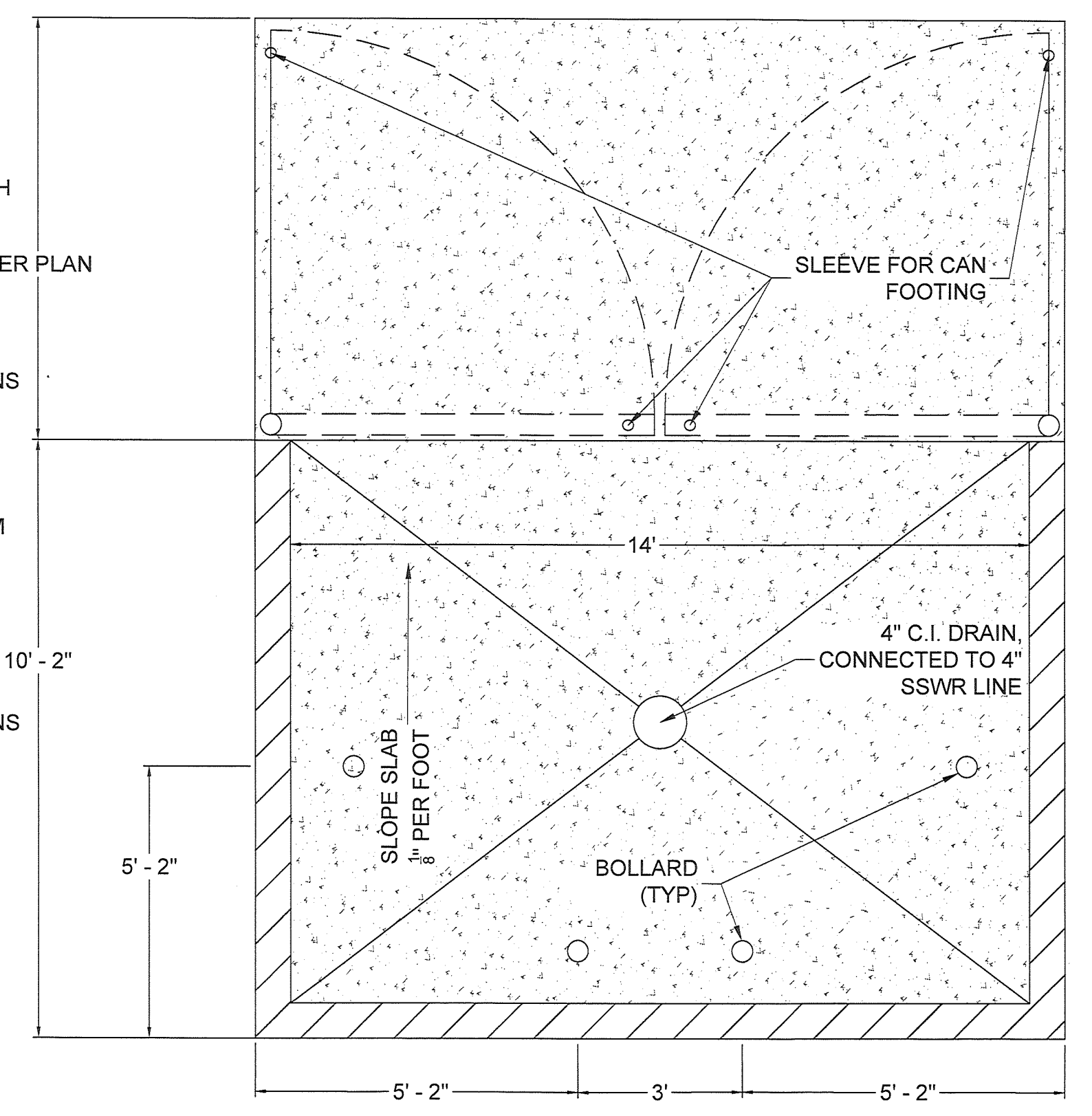
**MOTORCYCLE PARKING SIGN**  
N.T.S.



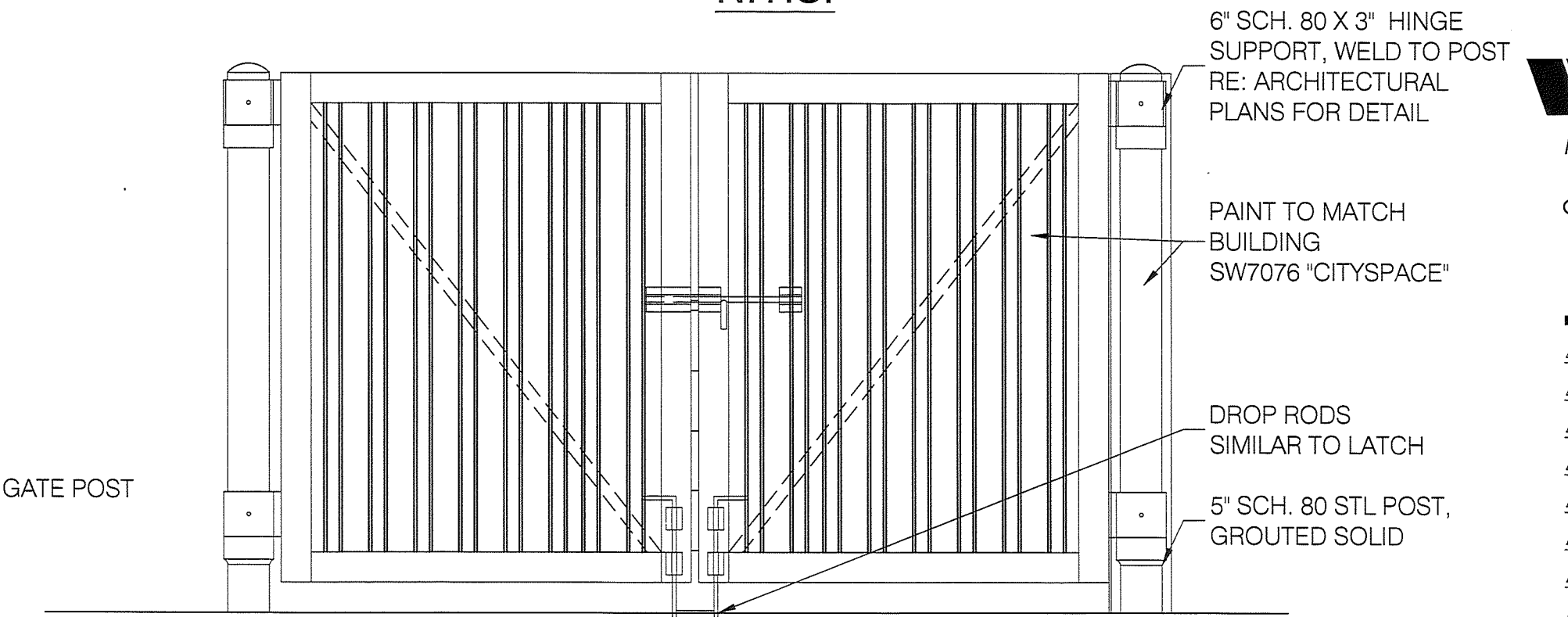
**TYP. ELEVATION**  
N.T.S.



SYMBOL TO BE PAINTED (HIGHWAY GRADE)  
WHITE PER ACCESSIBILITY STANDARDS.  
**ACCESSIBLE PARKING MARKING**  
N.T.S.

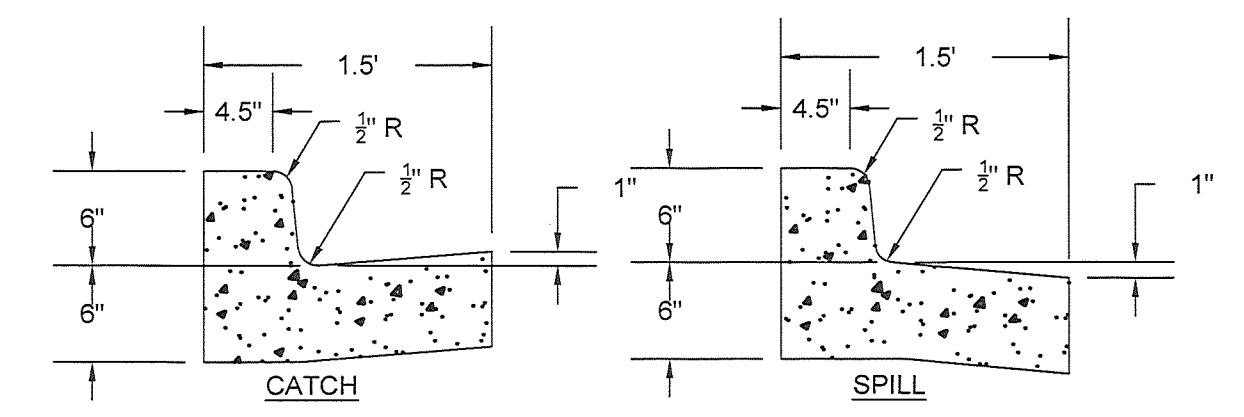


**TRASH ENCLOSURE**  
N.T.S.



- GATE HARDWARE:** ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.
- GATE STOP:** MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.
- GATE NOTES:** (2) EQUAL (±7'-0") WIDE x 6'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/ T.S. 5 X 5 X .1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT.

**GATE ELEVATION**  
N.T.S.



- NOTES:
1. 5000 PSI CONCRETE WITH FIBERMESH REINFORCEMENT.
  2. BRUSHED FINISH ON ALL EXPOSED CONCRETE.

**PRIVATE CURB & GUTTER**  
N.T.S.

**HCI ENGINEERING**  
A DIVISION OF  
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3734 Osage Street | Denver, CO 80211  
CONTACT: LANCE VANDEMARK, P.E.

- 12134.230
- △ EPC 1ST SUB 03.30.16
  - △ EPC 2ND SUB 05.02.16
  - △ DRB 1ST SUB 10.03.16
  - △
  - △
  - △
  - △
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CONTRACT DATE: APRIL 24, 2016  
BUILDING TYPE: EXPLORER MED54  
PLAN VERSION: APRIL 2015 (N)  
SITE NUMBER:  
STORE NUMBER:

**TACO BELL**  
UNSER BLVD  
ALBUQUERQUE, NM 87114



**DETAIL SHEET 2**

**D2.0**