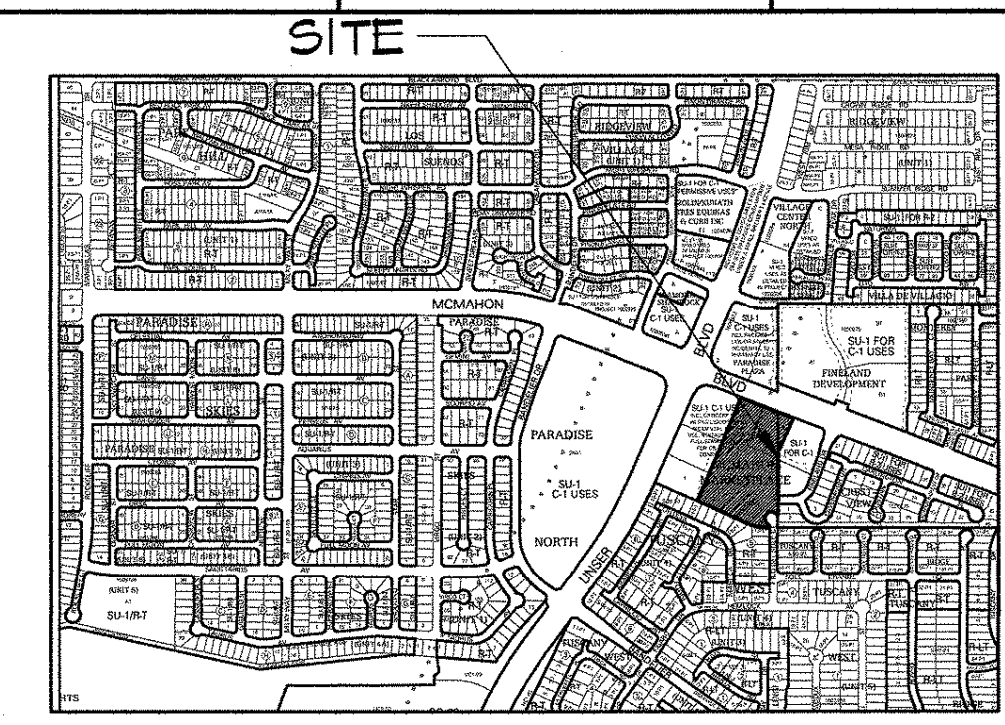
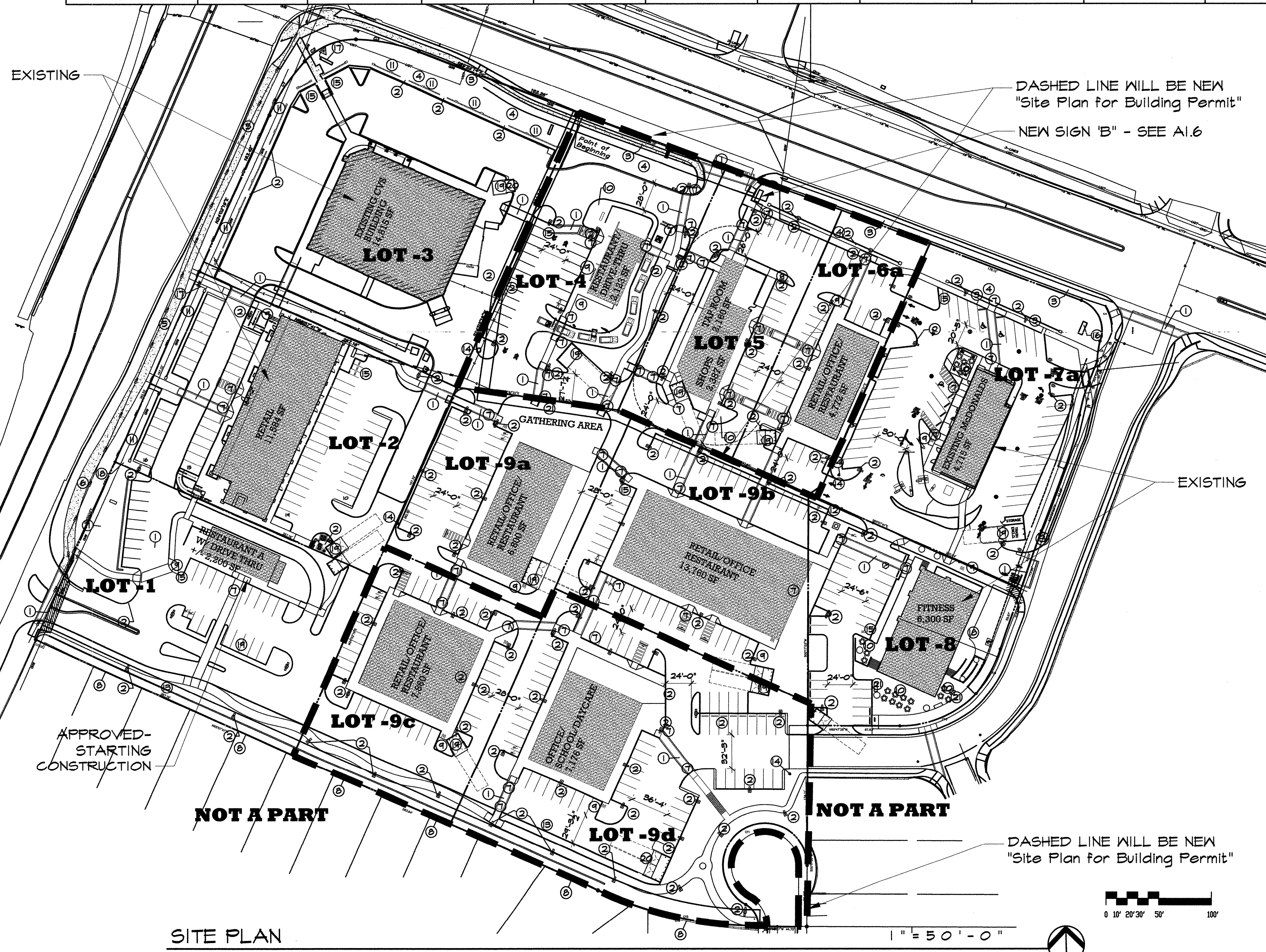


LEGAL DESCRIPTION	VARIES: REFER TO DESCRIPTION BELOW												TOTAL
TRACT NUMBER	LOT-1	LOT-2	LOT-3	LOT-4	LOT-5	LOT-6a	LOT-7a	LOT-8	LOT-9a	LOT-9b	LOT-9c	LOT-9d	
TOTAL ACREAGE:	AREA = 1.14 AC	AREA = 1.2048 AC	AREA = 1.6548 AC	AREA = 0.4181 AC	AREA = 0.6886 AC	AREA = 5821 AC	AREA = 1.282 AC	AREA = 0.6761 AC	AREA = 0.7121 AC	AREA = 0.9648 AC	AREA = 0.8055 AC	AREA = 1.58 AC	
EXISTING ZONING:	VARIES: REFER TO APPLICATION PAGE												
PROPOSED ZONING:	VARIES: REFER TO APPLICATION PAGE												
BLDG. SIZE/ REG. DINING SEATS	5,000 SF / 100 SEATS	11,584 SF / NA	16,081 SF / NA	2,128 SF / 52 SEATS	4,541 SF / 80 SEATS & 1/200	4,712 SF	4,715 SF / 120 SEATS	6,300 SF / 106 CL @1/3	6,800 SF	15,760 SF	7,860 SF	7,176 SF	
FAR:	.06	.222	.222	.0755	.1516	.0448	.0878	.21	.2190	.3274	.2240	.1066	
PROPOSED # OF STRUCTURES:	1	1	1	1	1	1	1	1	1	1	1	1	
PROPOSED USE:	RESTAURANT IV/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	DRUG STORE	RESTAURANT IV/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFF.	RESTAURANT IV/ DRIVE THRU	FITNESS CENTER/ 1 TENANT	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	OFFICE/SCHOOL/DAYCARE	
TOTAL PARKING PROVIDED:	57 SPACES	57 SPACES	10 SPACES	20 SPACES	11 SPACES	27 SPACES	58 SPACES	27 SPACES	26 SPACES	42 SPACES	38 SPACES	68 SPACES	454 SPACES PROV.
TOTAL PARKING REQ (INC. EMPL.):	30 SPACES	56 SPACES	75 SPACES	13 SPACES (1 PER 4 SEATS)	32 SPACES	24 SPACES	30 SPACES (1 PER 4 SEATS)	36 SPACES	34 SPACES	64 SPACES	58 SPACES	17 SPACES (24/500SF)	454 SPACES REQ.
DIFFERENCE (-/2):	+7 SPACES	+1 SPACES	-5 SPACES	7 SPACES	-18 SPACES	+3 SPACES	+8 SPACES	-4 SPACES	-8 SPACES	-27 SPACES	+0 SPACES	+46 SPACES	+5 SPACES
HC PROVIDED:	2 HC (INC. 2 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 2 VAN ACCESSIBLE)	1 HC, VAN ACCESSIBLE	4 HC (INC. 4 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	5 HC (INC. 5 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	10 HC (INC. 10 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	5 HC (INC. 2 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	41 HC PROV.
HC REQUIRED:	2 HC SPACES	4 HC SPACES	4 HC SPACES	1 HC SPACE	4 HC SPACES	1 HC SPACE	5 HC SPACES	2 HC SPACES	5 HC SPACES	4 HC SPACES	5 HC SPACES	1 HC SPACE	24 HC REQ.
BIKE SPACES PROVIDED:	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	4 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	62 BIKE PROV.
BIKE SPACES REQUIRED:	2 BIKE SPACES	5 BIKE SPACES	4 BIKE SPACES	1 BIKE SPACE	2 BIKE SPACES	1 BIKE SPACE	2 BIKE SPACES	2 BIKE SPACES	2 BIKE SPACES	4 BIKE SPACES	2 BIKE SPACES	2 BIKE SPACES	27 BIKE REQ.
MOTORCYCLE SPACES PROVIDED:	2 MOTORCYCLE SPACES	5 MOTORCYCLE SPACES	5 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	28 MC PROV.
MOTORCYCLE SPACES REQUIRED:	1 MOTORCYCLE SPACE	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	1 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	1 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	5 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	1 MOTORCYCLE SPACE	28 MC REQ.
MAX BUILDING HEIGHT:	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	



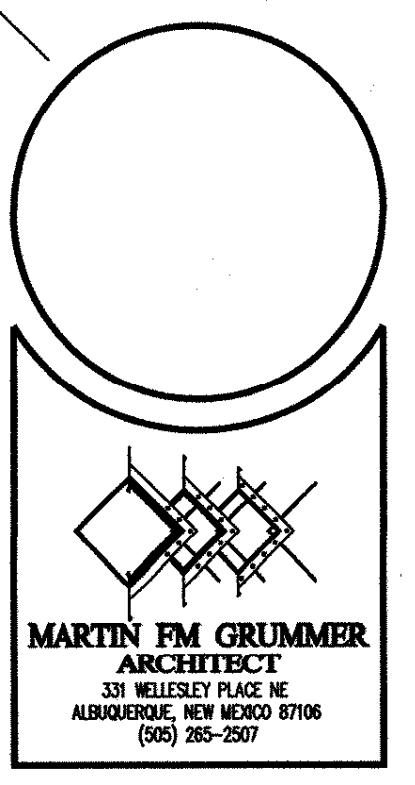
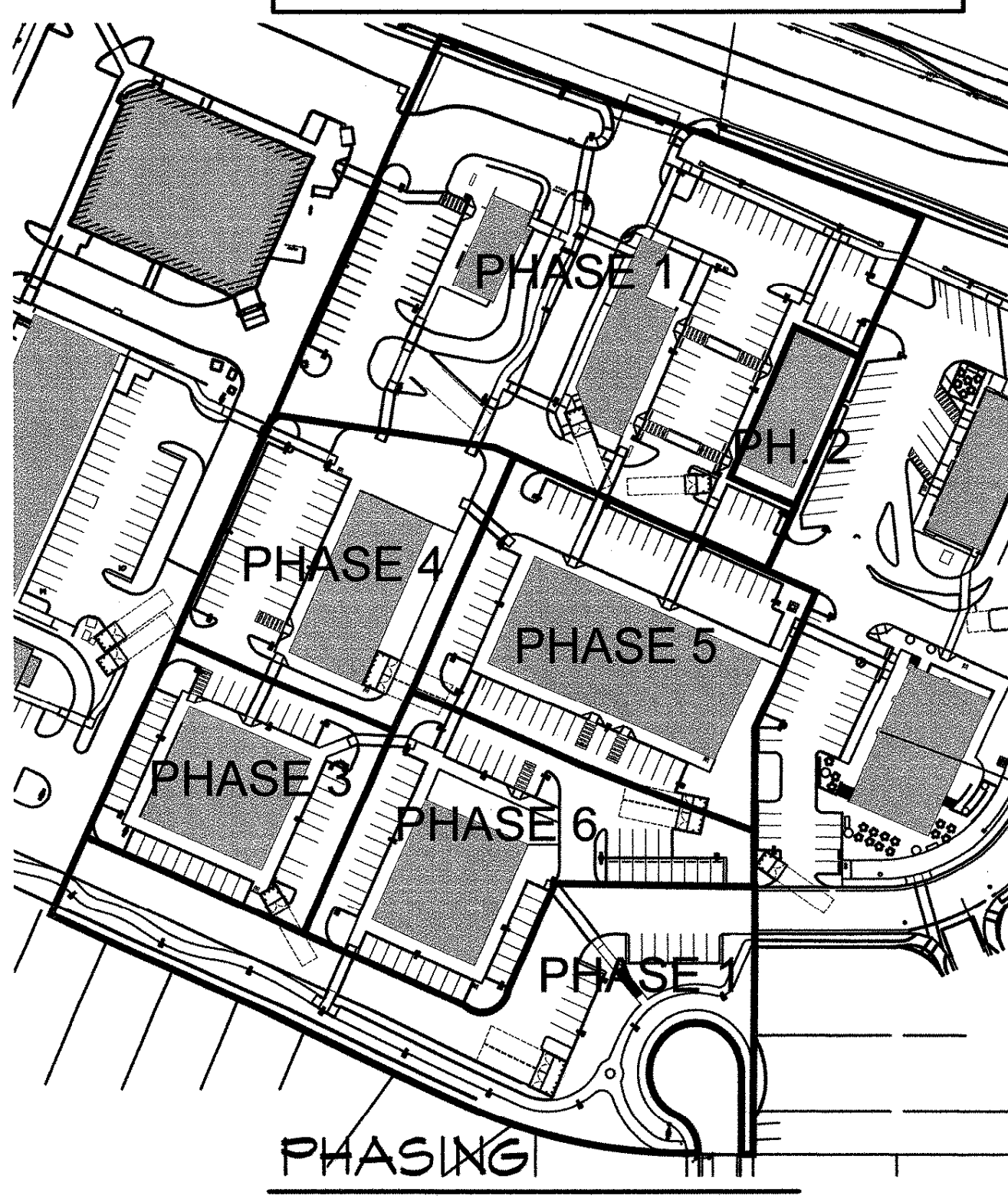
VICINITY MAP NTS

PROJECT NUMBER: 1005280
 Application Number: 16 ETC 40080/17 DPE-70184

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Thomas M. Wood</i>	8/16/17
Traffic Engineering, Transportation Division	Date
<i>Keith Cole</i>	9-11-17
ASCIWA	Date
<i>Chandra</i>	8/21/17
Parks and Recreation Department	Date
<i>James B. Smith</i>	9-2-2017
City Engineer	Date
<i>Michael G. P.</i>	8/2/2017
Environmental Health Department (conditional)	Date
<i>Scott M. M.</i>	7/2/17
Solid Waste Management	Date
<i>My</i>	8-21-17
DRB Chairperson, Planning Department	Date



ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

McMAHON MARKET PLACE
 NEW SHELL BUILDING
 McMAHON BLVD & UNSER BLVD NW
 ALBUQUERQUE, NM 87114
 SITE PLAN
 SITE PLAN FOR BUILDING PERMIT

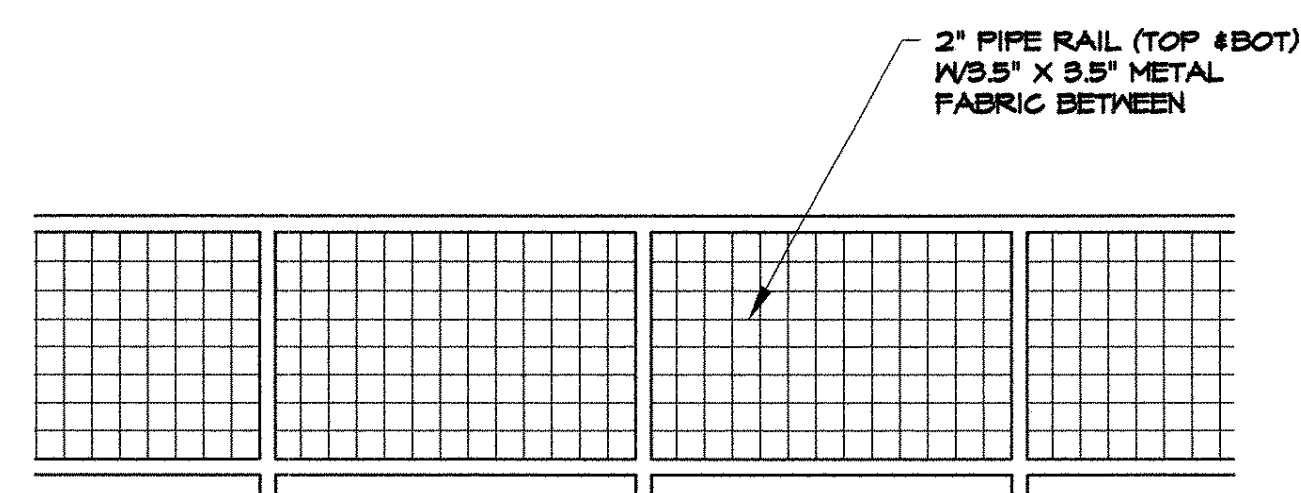
DATE:	1 AUG 2017
DRAWN BY:	MFM6
CHECKED BY:	
VERIFIED BY:	

REVISIONS

SHEET NO:
A1.1
 1 OF 18

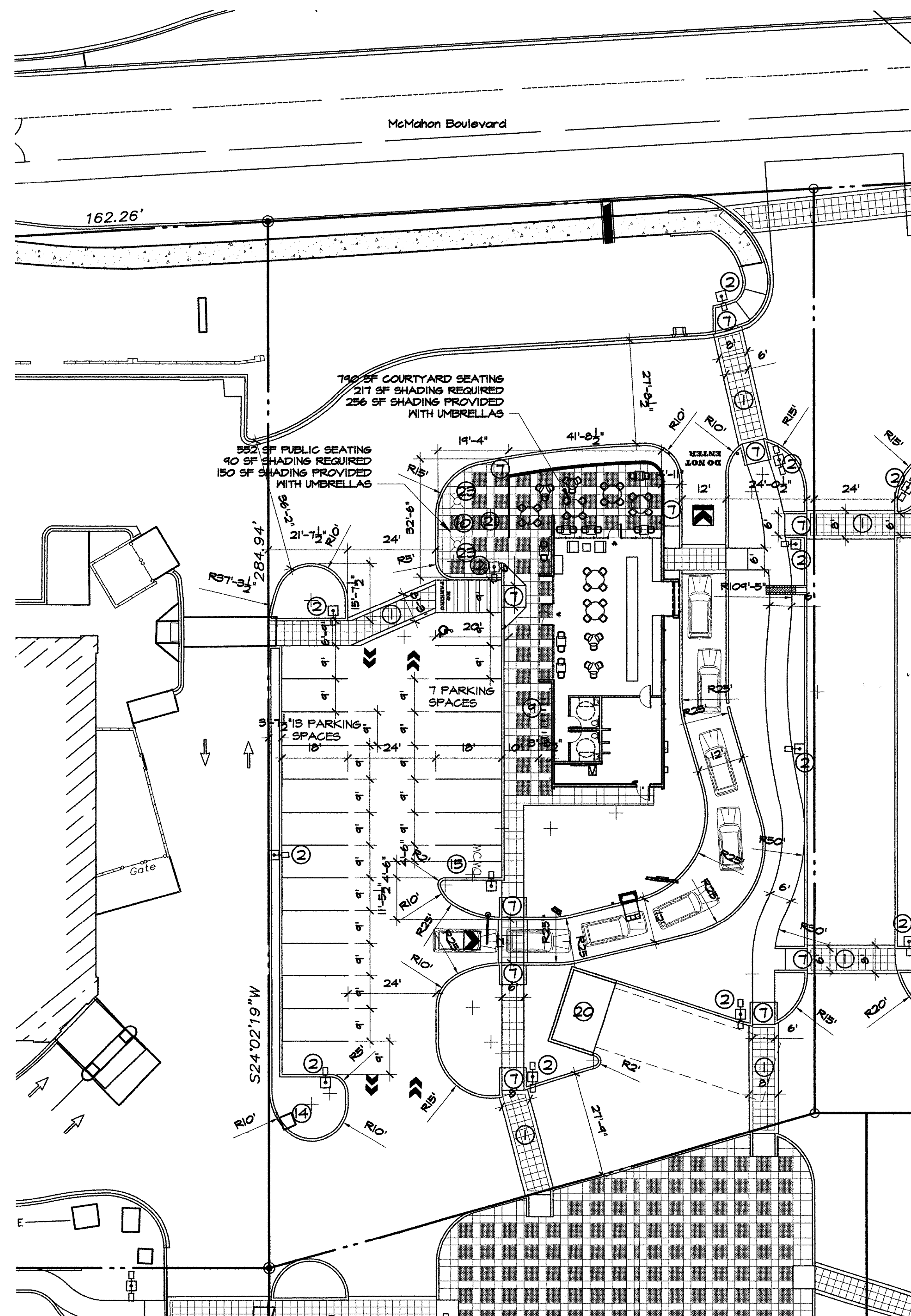
KEYED NOTES

- ① 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- ② PROPOSED LIGHT POLE LOCATION RE: 3/A1.5 FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
- ⑤ EXISTING 10' ASPHALT TRAIL TO REMAIN
- ⑥ LOCATION OF NEW 10' ASPHALT TRAIL
- ⑦ HANDICAP RAMP PER COA DWG #2441
- ⑧ INDICATES EXISTING 6' HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA. COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR
- ⑨ INDICATES BIKE RACK LOCATION (4 BIKE CAPACITY)
- ⑩ OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) W/ 8' LONG X 3' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
- ⑪ PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A3.0 FOR DETAIL
- ⑫ INDICATES SMALL CAR PARKING SPACE (9' X 15'-6" TYP.)
- ⑬ PROPOSED 30' LANDSCAPE BUFFER W/ 8' PEDESTRIAN PATHWAY
- ⑭ INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- ⑮ INDICATES PROPOSED 3' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
- ⑯ INDICATES SIGN TYPE A.
- ⑰ INDICATES SIGN TYPE B.
- ⑱ HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED W/ SUPPLEMENTAL WATER HARVESTING SYSTEM
- ⑲ INDICATES DUMPSTER LOCATION RE: DETAIL 2/A1.5 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES. NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- ⑳ INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
- ㉑ INDICATES 18" HIGH BENCH LOCATION
- ㉒ SPEED BUMP
- ㉓ INDICATES UMBRELLA LOCATION



RAILING ELEVATION

LANDSCAPE GRAVEL TO BE 2-3 INCH DEPTH OVER FABRIC. COLOR TO BE SANTA FE BROWN.

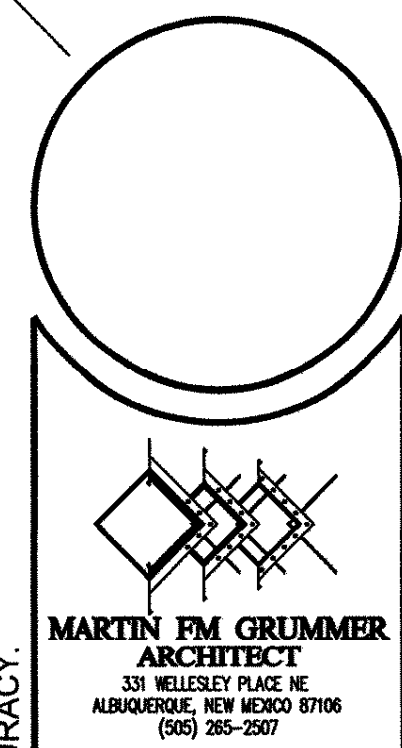


SITE PLAN - LOT 4

1" = 20'-0"



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**McMAHON MARKET PLACE
NEW SHELL BUILDING
McMAHON BLVD & UNSER BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN - LOT 4
SITE PLAN FOR BUILDING PERMIT**

**LOT
4**

DATE: 1 AUG 2017
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

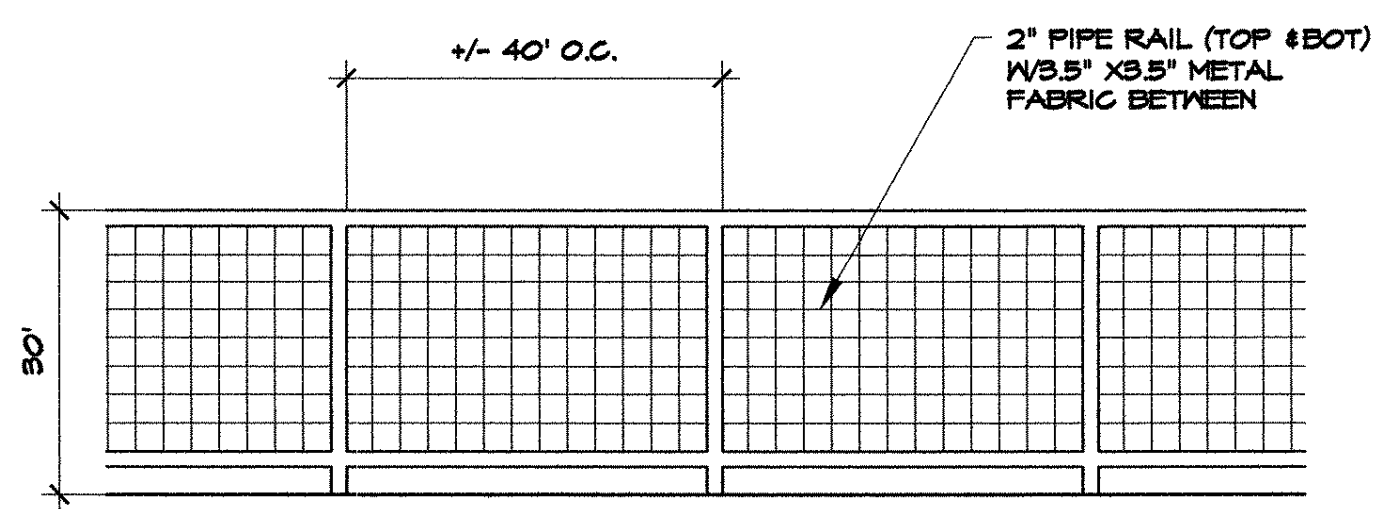
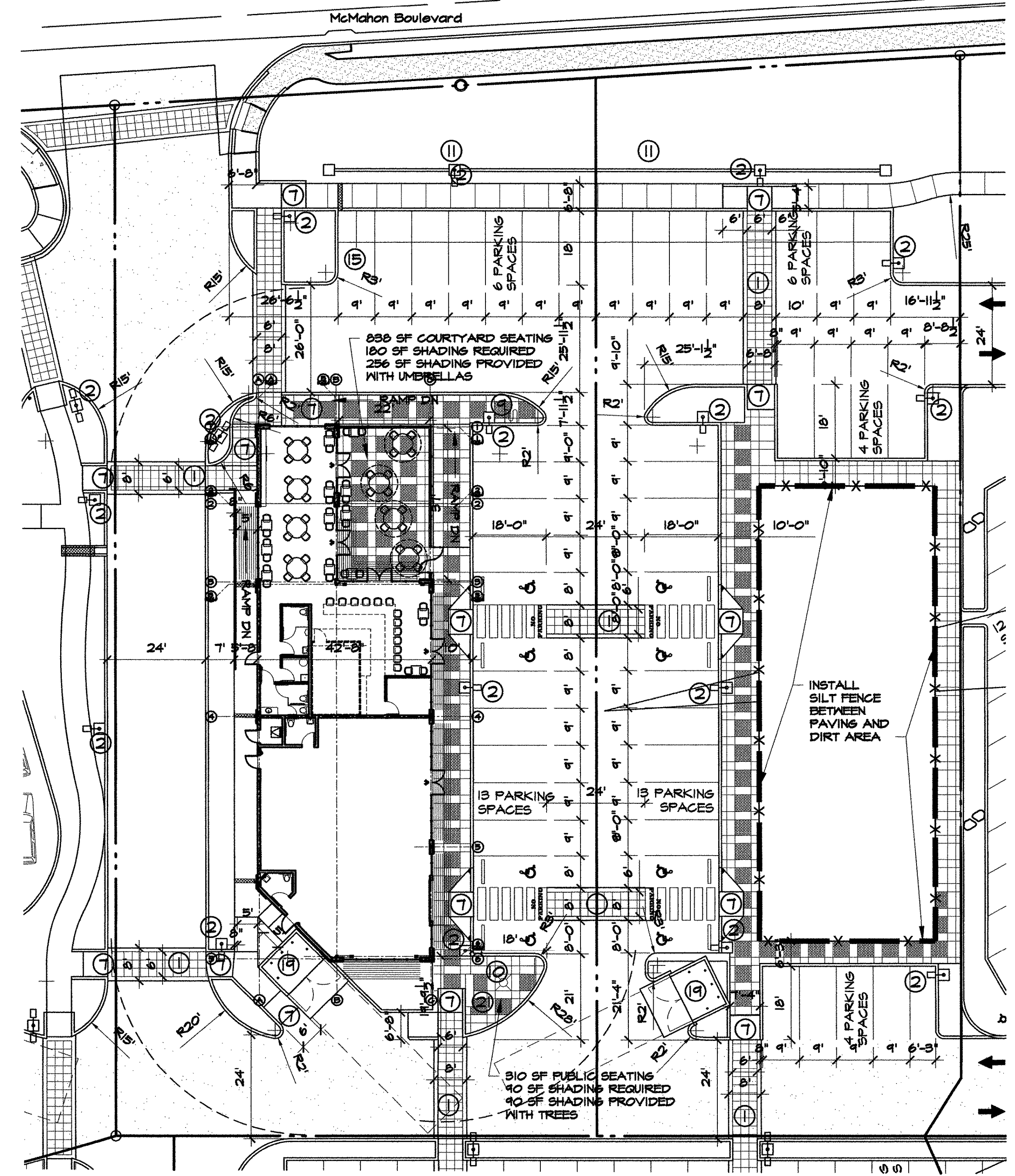
REVISIONS

SHEET NO:
A1.2
2 OF 18

KEYED NOTES

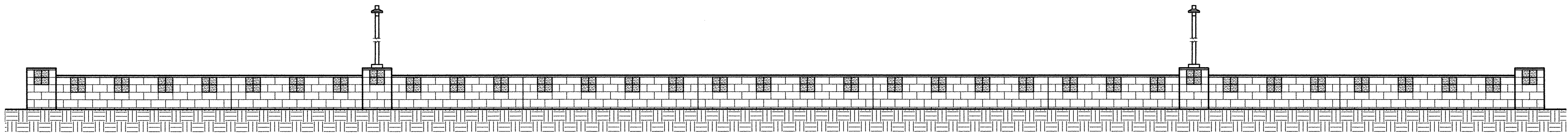
- ① 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- ② PROPOSED LIGHT POLE LOCATION RE: 9/A1.5 FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
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- ⑤ EXISTING 10' ASPHALT TRAIL TO REMAIN
- ⑥ LOCATION OF NEW 10' ASPHALT TRAIL
- ⑦ HANDICAP RAMP PER COA DWS @2441
- ⑧ INDICATES EXISTING 6' HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA. COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR
- ⑨ INDICATES BIKE RACK LOCATION (4 BIKE CAPACITY)
- ⑩ OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) 1/4" 8' LONG X 3' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
- ⑪ PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A3.0 FOR DETAIL
- ⑫ INDICATES SMALL CAR PARKING SPACE (4' X 15'-6" TYP)
- ⑬ PROPOSED 30' LANDSCAPE BUFFER 1/4" 8' PEDESTRIAN PATHWAY
- ⑭ INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- ⑮ INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
- ⑯ NOT USED
- ⑰ INDICATES SIGN TYPE B.
- ⑱ HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED W/ SUPPLEMENTAL WATER HARVESTING SYSTEM
- ⑲ INDICATES DUMPSTER LOCATION RE: DETAIL 2/A1.5 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES. NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- ⑳ INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
- ㉑ INDICATES 18" HIGH BENCH LOCATION
- ㉒ SPEED BUMP

LANDSCAPE GRAVEL TO BE 2-3 INCH DEPTH OVER FABRIC. COLOR TO BE SANTA FE BROWN.



RAILING ELEVATION

1/2" = 1'-0"

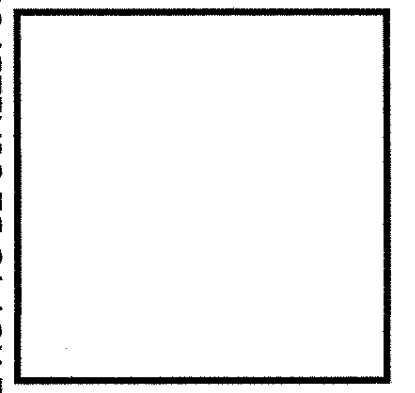
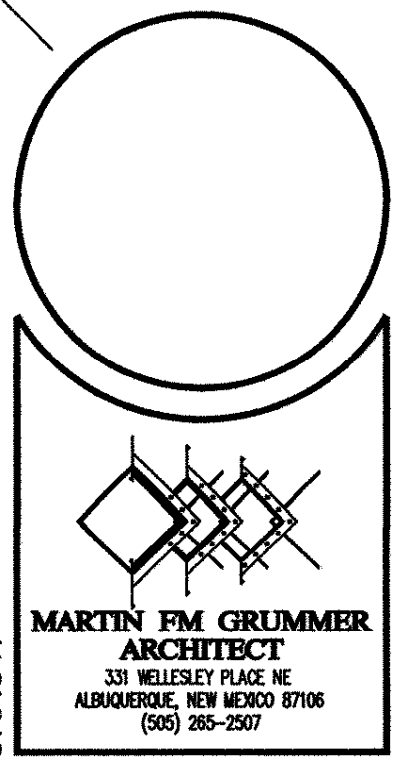


NORTH SCREEN WALL ELEVATION

3/16" = 1'-0"

SITE PLAN - LOT 5 & 6a

1" = 20'-0"



McMAHON MARKET PLACE
 NEW SHELL BUILDING
 McMAHON BLVD & UNSER BLVD NW
 ALBUQUERQUE, NM 87114
 SITE PLAN - LOTS 5 & 6a
 SITE PLAN FOR BUILDING PERMIT

LOT 5

DATE: 1 AUG 2017
 DRAWN BY: MFMG
 CHECKED BY:
 VERIFIED BY:

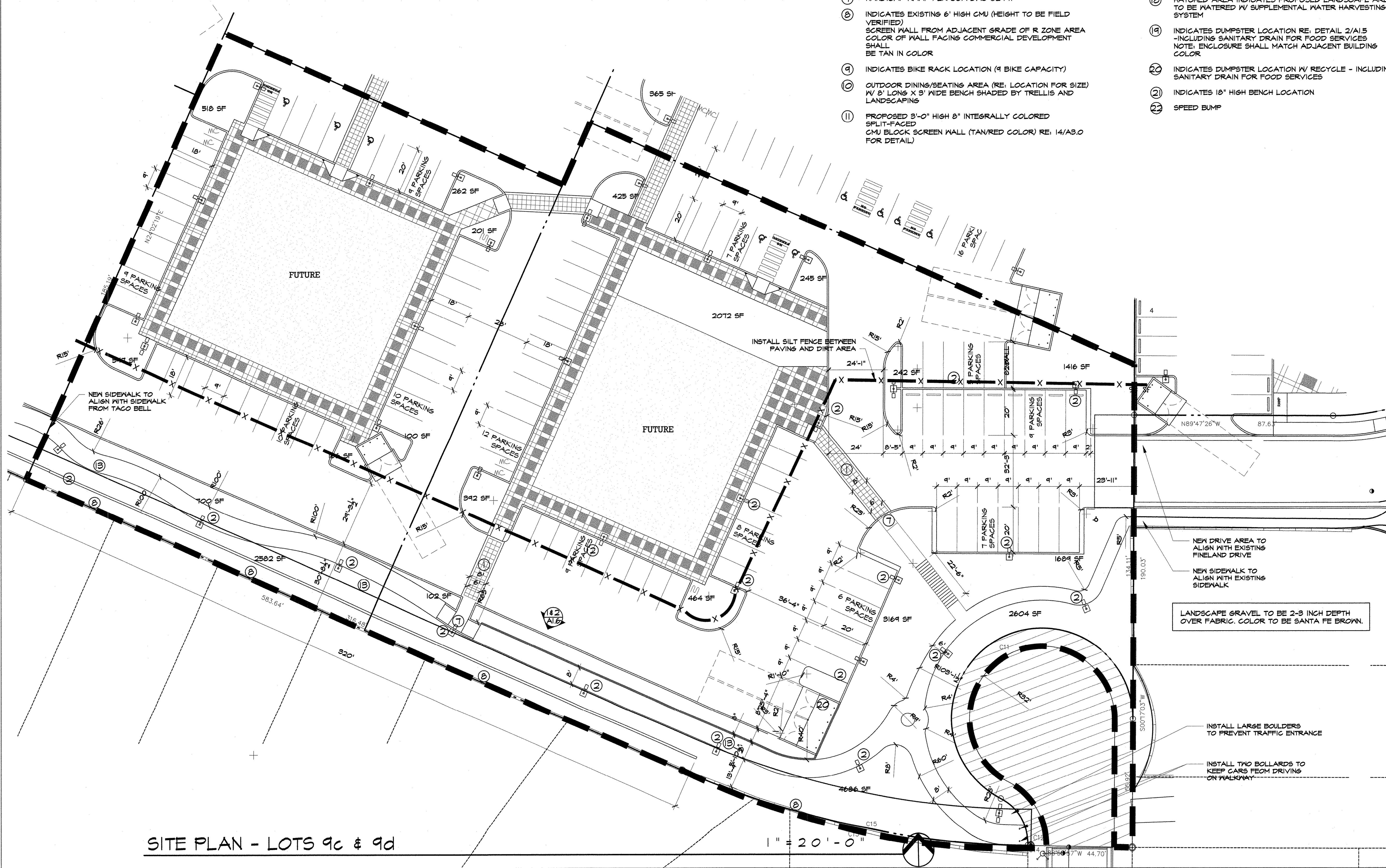
REVISIONS

SHEET NO:
A1.3
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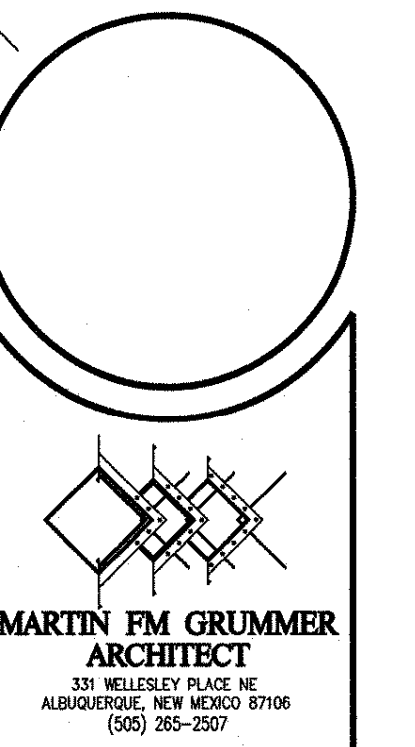
ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

KEYED NOTES

- ① 8' INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- ② PROPOSED LIGHT POLE LOCATION RE: 3/A1.5 FOR POLE DETAIL
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- ④ PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
- ⑤ EXISTING 10' ASPHALT TRAIL TO REMAIN
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- ⑪ PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A3.0 FOR DETAIL
- ⑫ INDICATES SMALL CAR PARKING SPACE (9' X 15'-6" TYP.)
- ⑬ PROPOSED 30' LANDSCAPE BUFFER W/ 8' PEDESTRIAN PATHWAY
- ⑭ INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- ⑮ INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
- ⑯ NOT IN USE.
- ⑰ INDICATES SIGN TYPE B.
- ⑱ HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED W/ SUPPLEMENTAL WATER HARVESTING SYSTEM
- ⑲ INDICATES DUMPSTER LOCATION RE: DETAIL 2/A1.5 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- ⑳ INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
- ㉑ INDICATES 18" HIGH BENCH LOCATION
- ㉒ SPEED BUMP



SITE PLAN - LOTS 9c & 9d



**MCMAHON MARKET PLACE
NEW SHELL BUILDING
MCMAHON BLVD & UNSER BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN - LOTS 9c & 9d
SITE PLAN FOR BUILDING PERMIT**

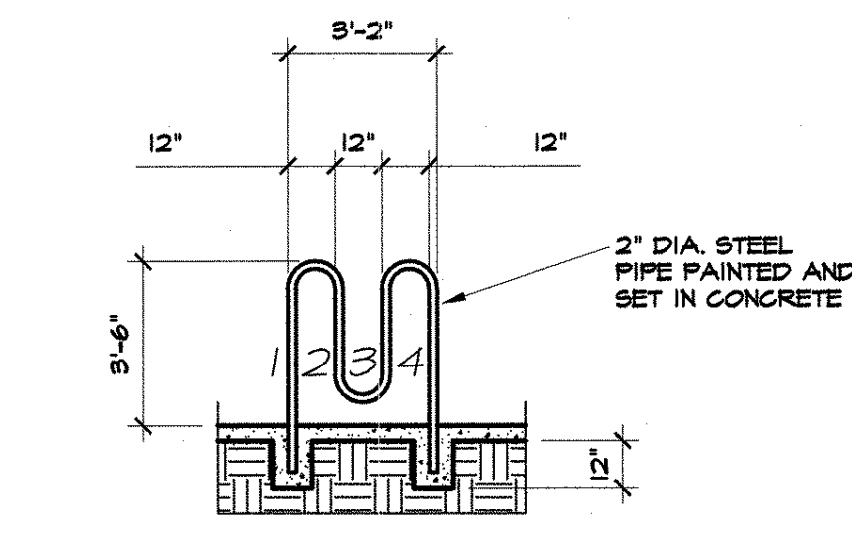
**LOT
9
C&D**

DATE: 20 JUNE 2017
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

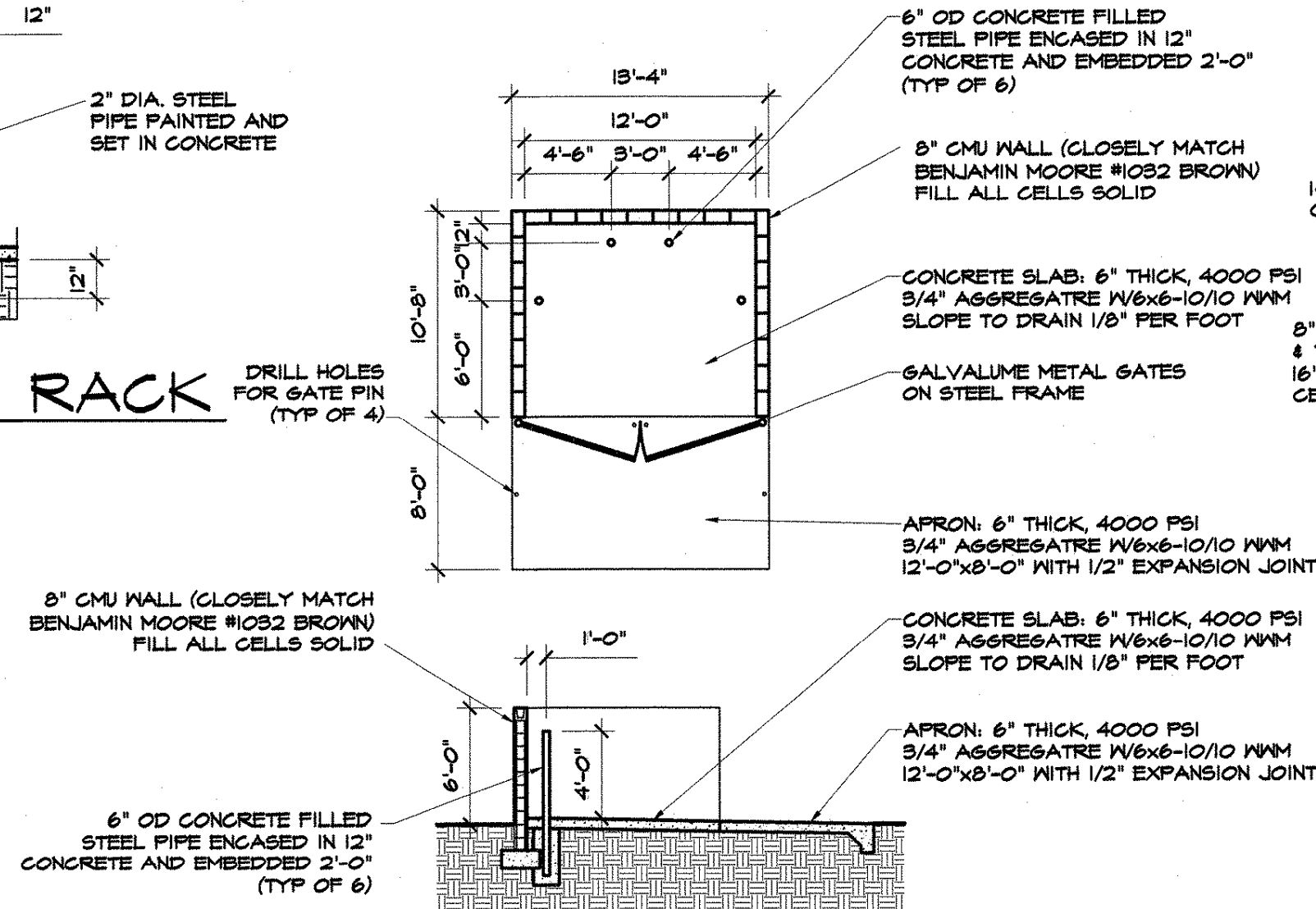
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SHEET NO:
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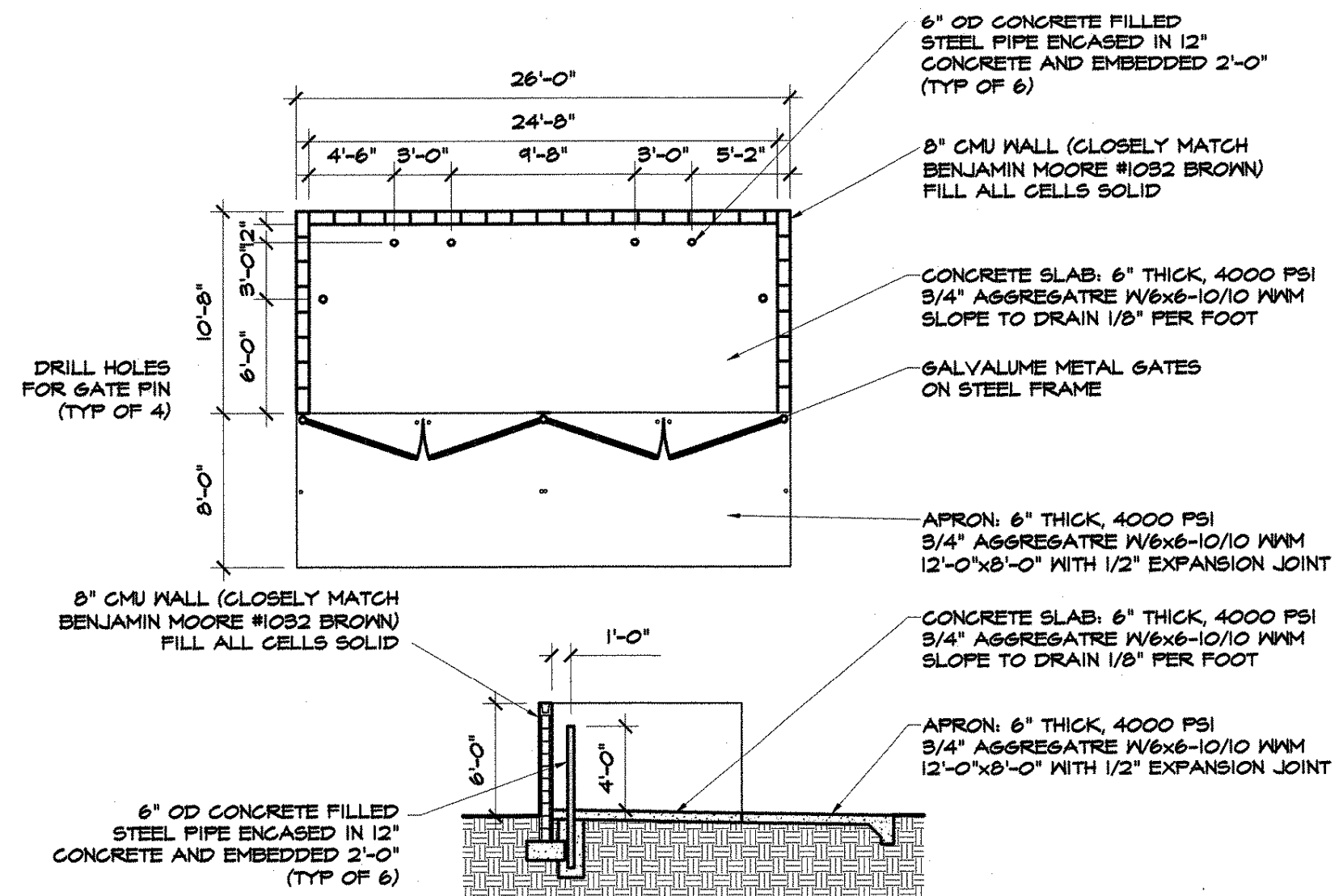
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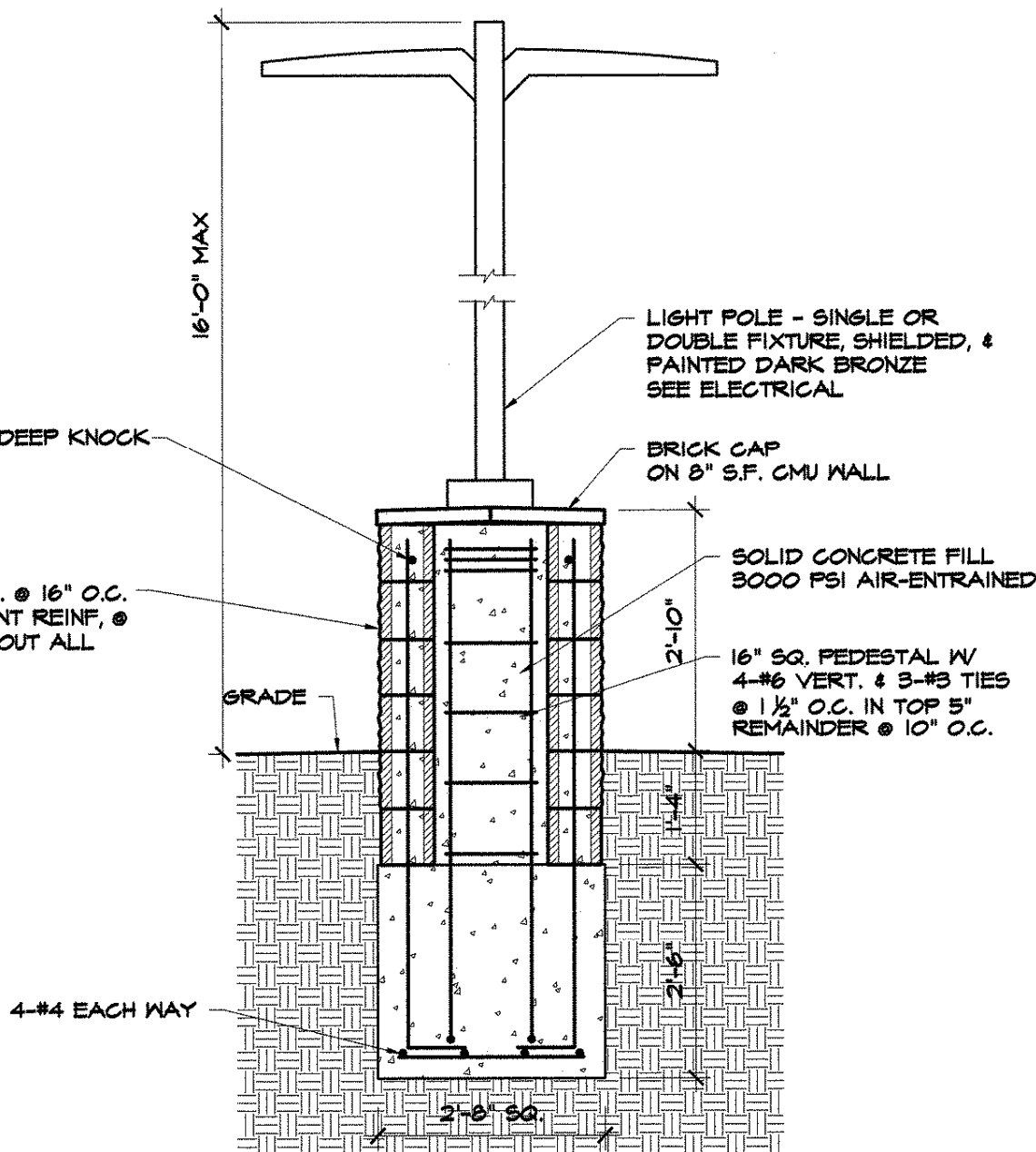
1 BICYCLE RACK
A1.5 N.T.S.



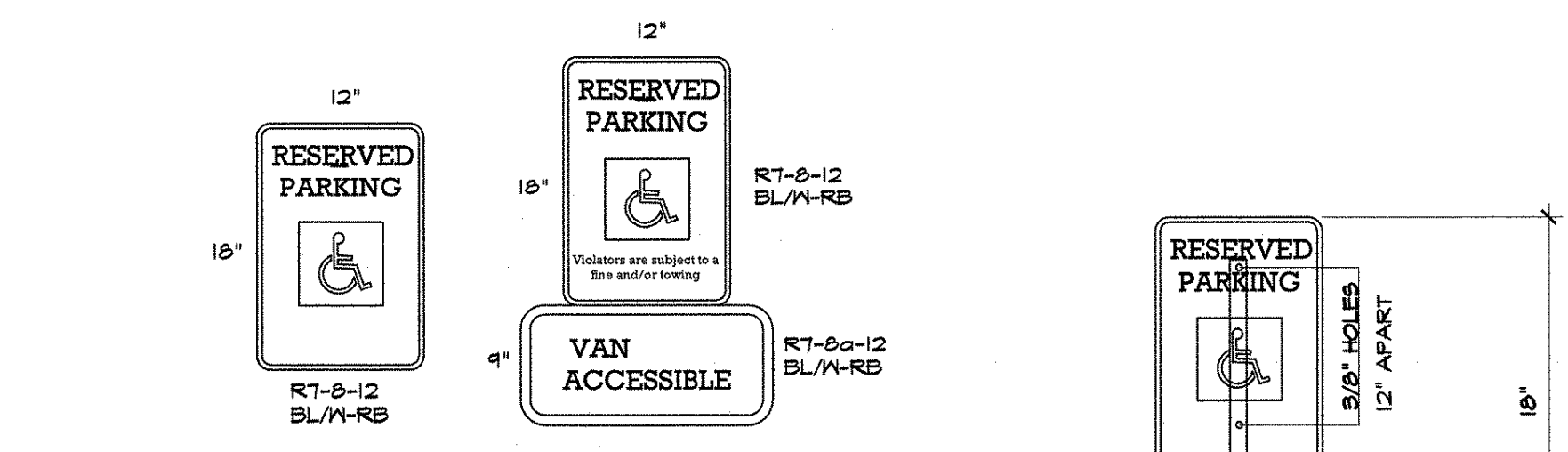
2 REFUSE ENCLOSURE
A1.5 N.T.S.



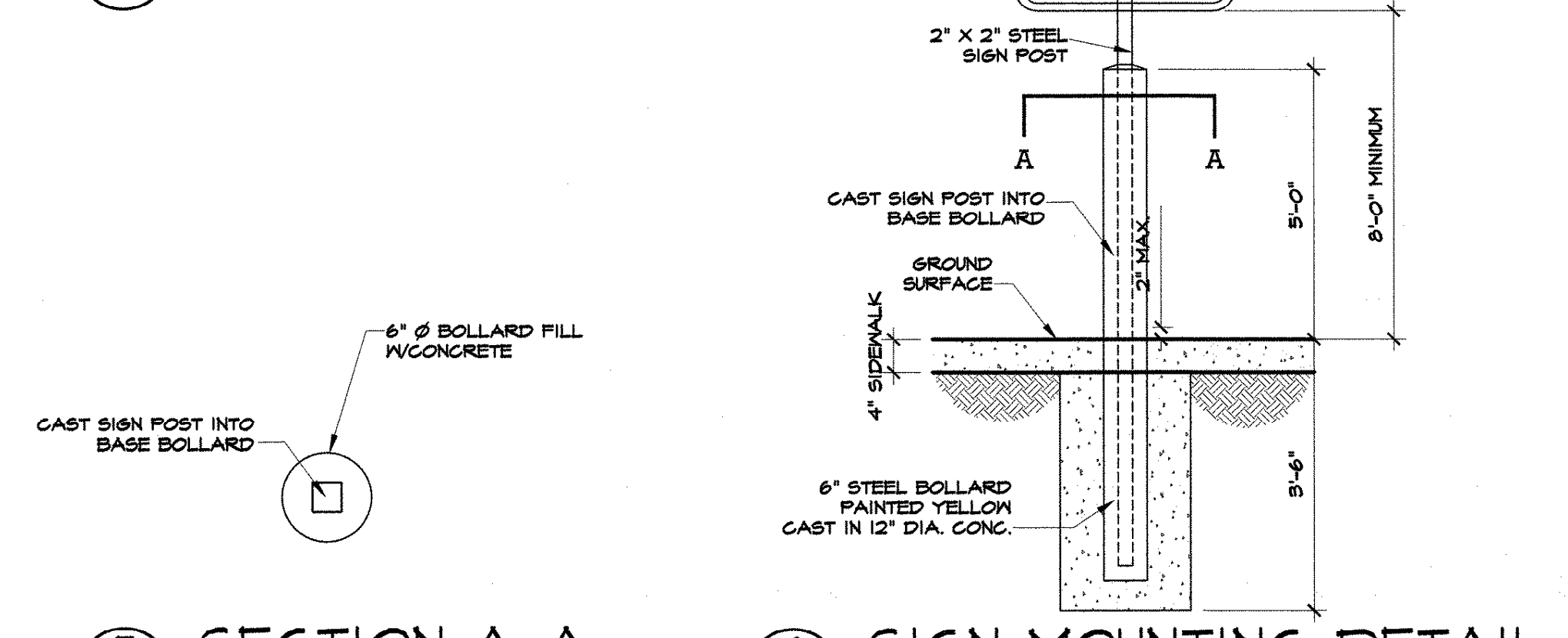
3 REFUSE ENCLOSURE
A1.5 N.T.S.



4 LIGHT POLE BASE
A1.5 1/2"=1'-0"

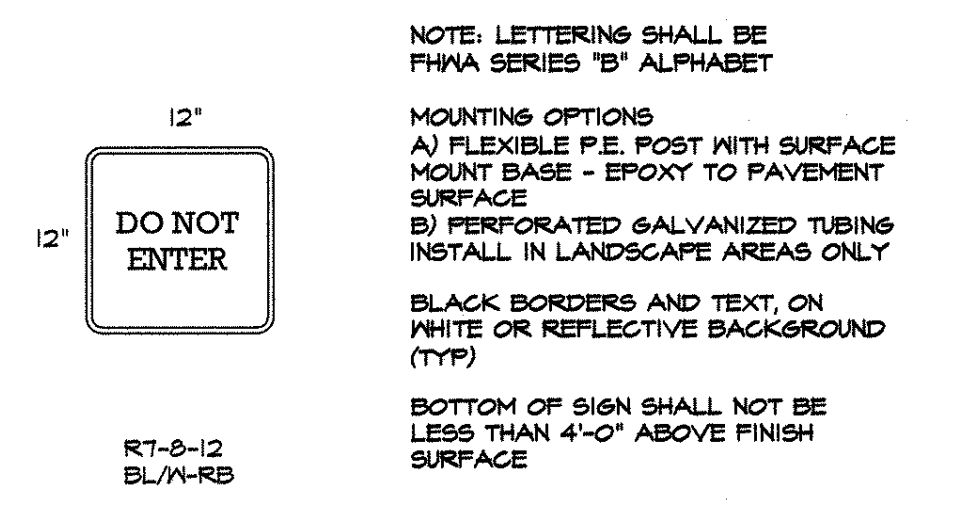


5 HANDICAP PARKING SIGNS
A1.5 N.T.S.

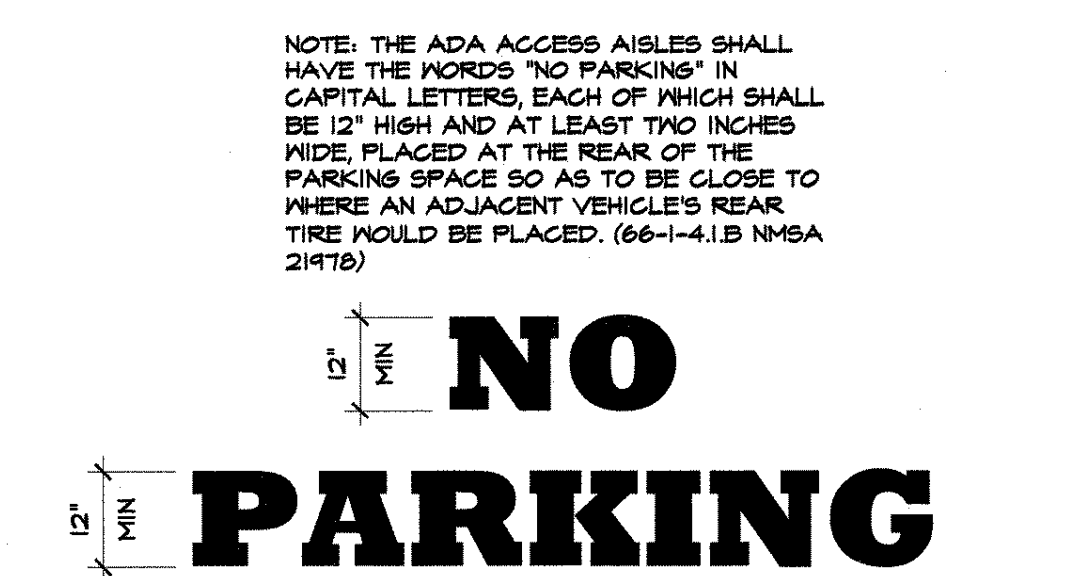


6 SECTION A-A
A1.5 N.T.S.

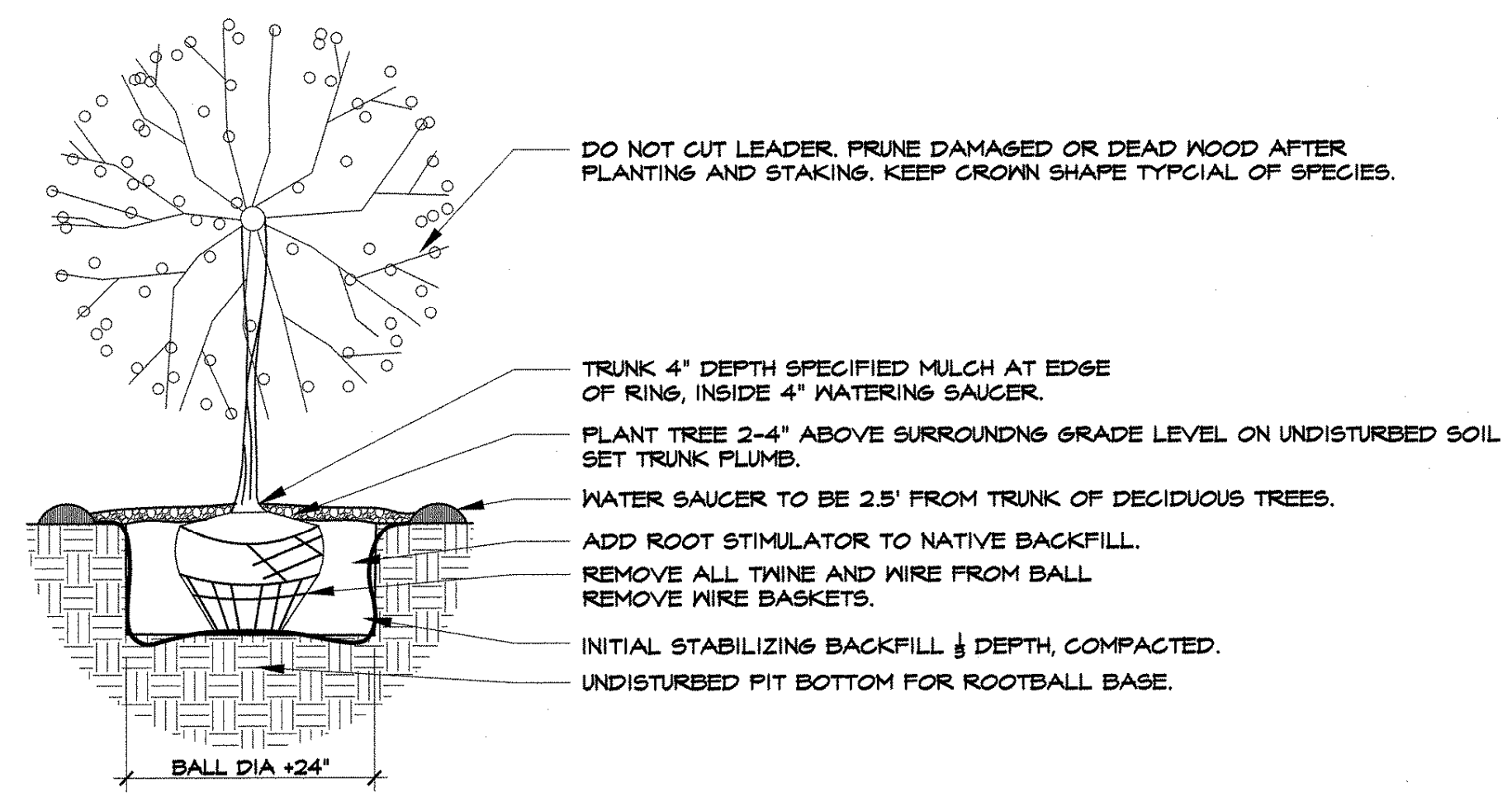
7 SIGN MOUNTING DETAIL
A1.5 N.T.S.



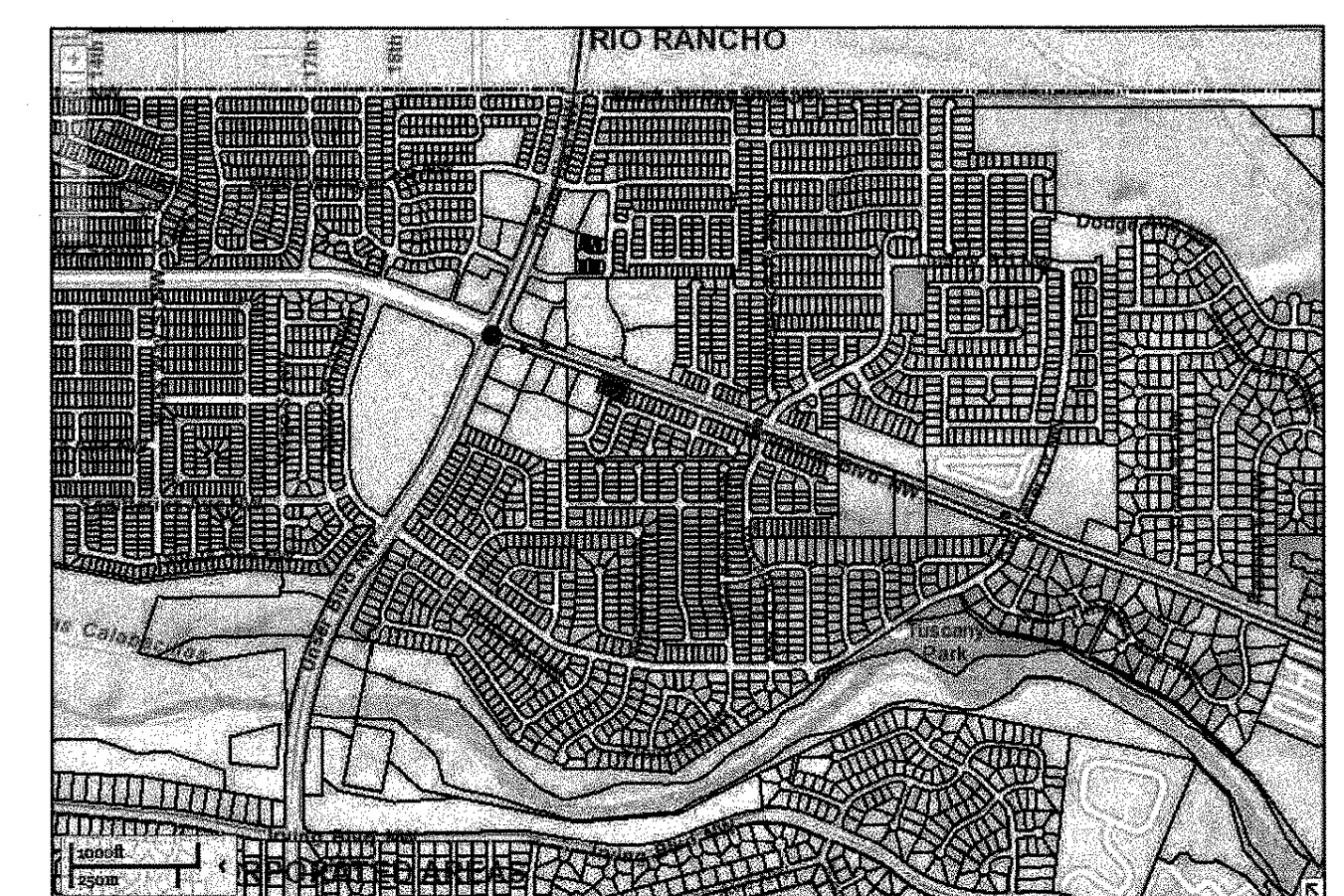
8 DO NOT ENTER
A1.5 N.T.S.



9 NO PARKING
A1.5 N.T.S.



10 TREE PLANTING DETAIL
A1.5 N.T.S.



11 BUS ROUTE PLAN
A1.5 N.T.S.

MARTIN FM GRUMMER ARCHITECT
333 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2207



PETERSON PROPERTIES

McMAHON MARKET PLACE
NEW SHELL BUILDING
McMAHON BLVD & UNSER BLVD NW
ALBUQUERQUE, NM 87114
SITE DETAILS
SITE PLAN FOR BUILDING PERMIT

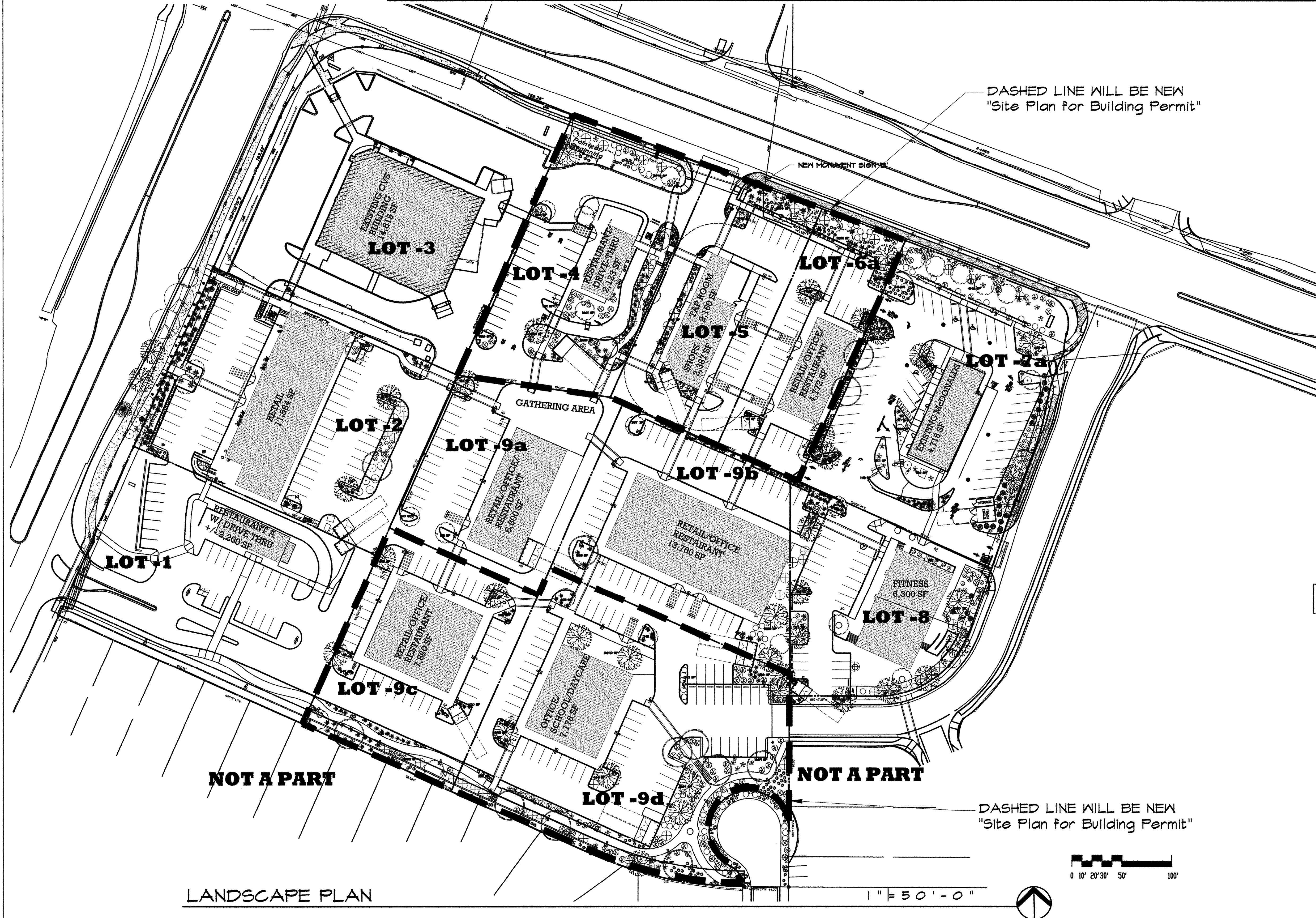
DATE: 20 JUNE 2017
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

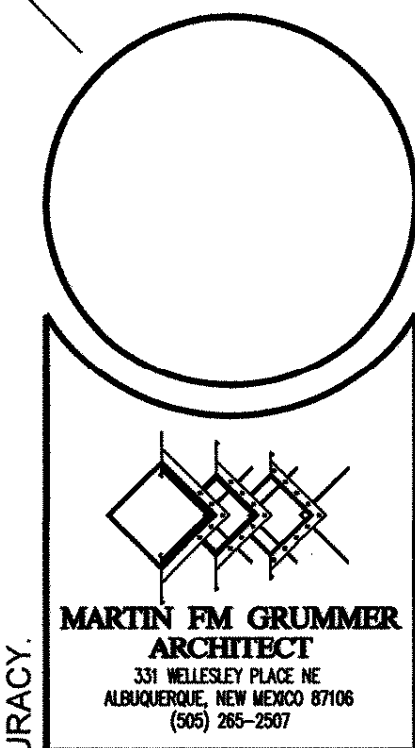
SHEET NO:
A1.5
5 OF 18

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TRACT NUMBER	LANDSCAPE TABULATION							
	LOT-4	LOT-5	LOT-6a	LOT-4a	LOT-4b	LOT-4c	LOT-4d	
TOTAL ACREAGE:	AREA = 0.4181 AC	AREA = 0.6886 AC	AREA = .5521 AC	AREA = 0.7121 AC	AREA = 0.4648 AC	AREA = 0.2055 AC	AREA = 1.55 AC	AREA = 6.1724 AC
LOT SIZE	94,441 SF	24,446 SF	23,206 SF	91,044 SF	42,021 SF	55,086 SF	67,921 SF	268,675 SF
BLDG. SIZE	2,125 SF	4,544 SF	5,215 SF	6,800 SF	13,760 SF	7,860 SF	7,176 SF	47,474 SF
NET LOT	97,266 SF	25,447 SF	17,990 SF	24,244 SF	28,267 SF	27,226 SF	60,445 SF	221,444 SF
LANDSCAPE PERCENTAGE	15 %	15 %	15 %	15 %	15 %	15 %	15 %	15 %
LANDSCAPE REQUIRED	5,681 SF	3,817 SF	2,694 SF	3,637 SF	4,240 SF	4,085 SF	4,022 SF	55,174 SF
LANDSCAPE PROVIDED	6,405 SF	5,252 SF	5,425 SF	5,942 SF	4,482 SF	4,874 SF	17,682 SF	48,544 SF
GROUND COVERAGE	80 %	80 %	80 %	80 %	80 %	80 %	80 %	80 %
COVERAGE REQUIRED:	4,545 SF	9,054 SF	2,160 SF	2,910 SF	5,942 SF	5,268 SF	7,218 SF	26,548 SF
COVERAGE PROVIDED	8,475 SF	5,180 SF	4,555 SF	--	--	--	--	--



LANDSCAPE GRAVEL TO BE 2-3 INCH DEPTH OVER FABRIC. COLOR TO BE SANTA FE BROWN.



ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

McMAHON MARKET PLACE
 NEW SHELL BUILDING
 McMAHON BLVD & UNSER BLVD NW
 ALBUQUERQUE, NM 87114
 LANDSCAPE PLAN
 SITE PLAN FOR BUILDING PERMIT

DATE:	1 AUG 2017
DRAWN BY:	MFMG
CHECKED BY:	
VERIFIED BY:	

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SHEET NO:
L1.1
 7 OF 18

LANDSCAPE PLAN

1" = 50'-0"

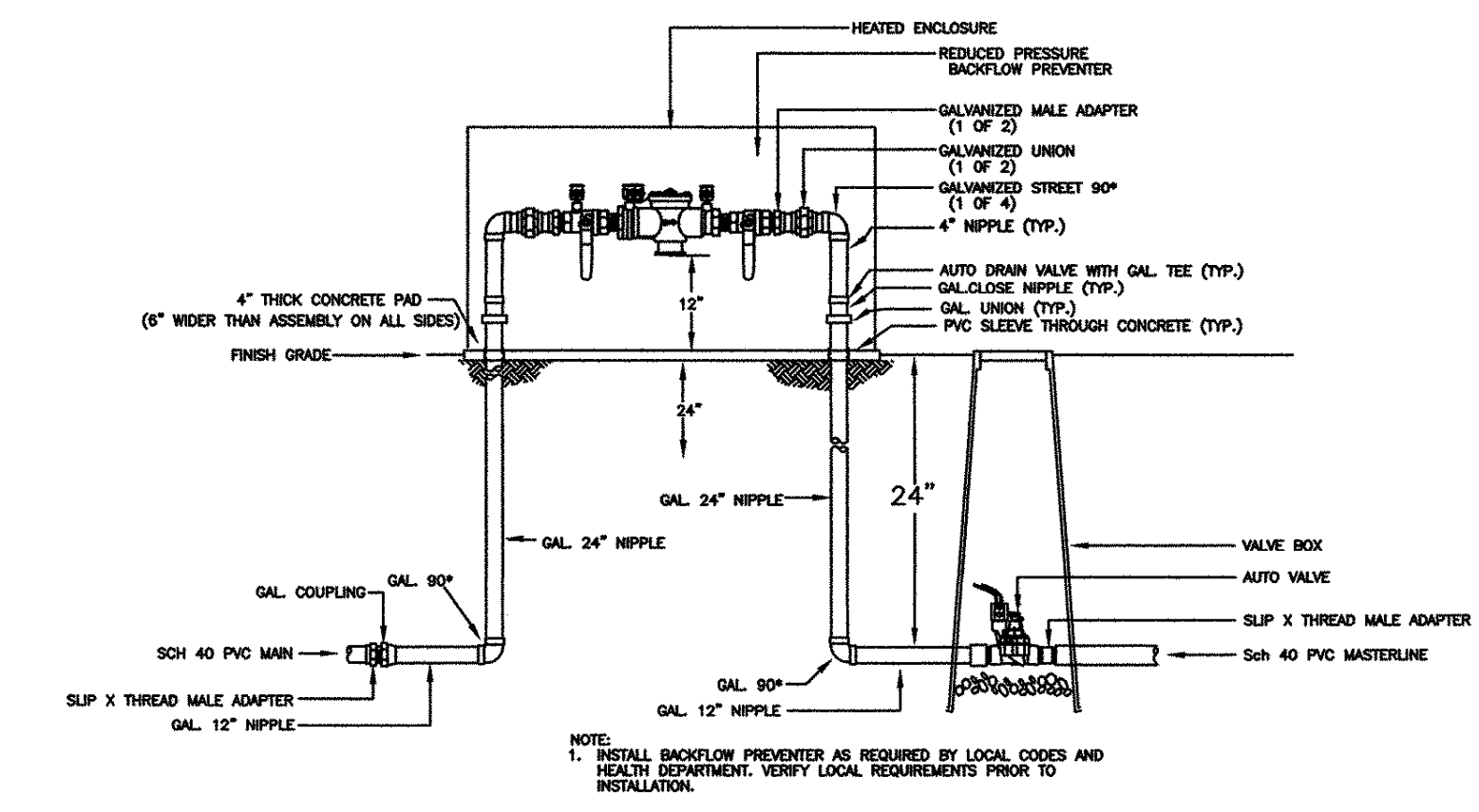
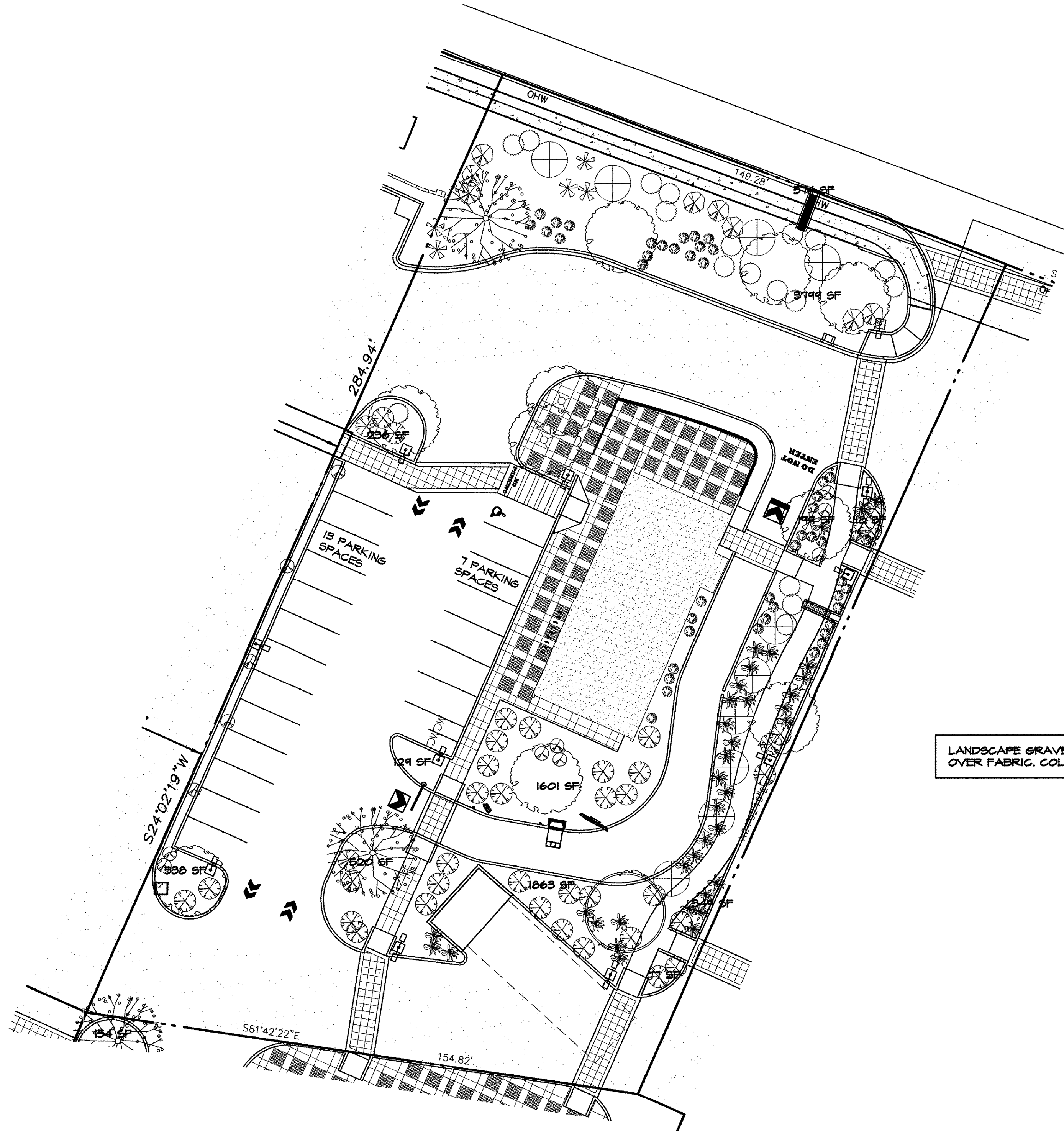


LANDSCAPE CALCULATIONS - LOT 4

TOTAL LOT 4 AREA	34,991 SF
TOTAL BUILDING 4 AREA	2,123 SF
NET LOT AREA	37,868 SF
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	5,680 SF
TOTAL BED PROVIDED	8,903 SF
GROUND COVER REQUIRED	80% PER COMMENTS
TOTAL GROUNDCOVER REQUIREMENT	4,545 SF
TOTAL GROUNDCOVER PROVIDED	8,473 SF

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	COVERAGE AREA
TREES						
	1	ROBINA PSEUDOACIA	PURPLE ROBE LOCUST	2" CAL.	M	600 SF X 1 = 600 SF
	10	CHILOPSIS LINEARIS	DESERT WILLOW	5 GAL.	L	225 SF X 10 = 2250 SF
	10	CHILOPSIS X CATALPA	CHITALPA	2" CAL.	M	75 SF X 10 = 750 SF
	2	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CAL.	M	400 SF X 2 = 800 SF
SHRUBS						
	10	SANTOLINA SPP.	SANTOLINA	1 GAL.	L	25 SF X 10 = 250 SF
	37	POTENTILLA FRUTICOSA	POTENTILLA	1 GAL.	M	4 SF X 37 = 933 SF
	13	RAPHIOLEPIS INDICA	INDIAN HAWTHORN	5 GAL.	M	36 SF X 13 = 468 SF
	46	ARTEMISIA X POMIS CASTLE	POMIS CASTLE SAGE	1 GAL.	L+	25 SF X 46 = 1150 SF
	18	FALLUSIA PARADOXA	APACHE PLUME	5 GAL.	L	25 SF X 18 = 450 SF
	38	PEROVSKIA ATRIPLEGIFOLIA	RUSSIAN SAGE	5 GAL.	M	36 SF X 38 = 1368 SF
	6	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	L	4 SF X 6 = 54 SF



LANDSCAPE NOTES

NOTES ON ORIGINAL CONCEPTUAL LANDSCAPE PLAN IN SITE PLAN FOR SUBDIVISION SUBMITTAL APPLY.

McMAHON MARKET PLACE
 NEW SHELL BUILDING
 McMAHON BLVD & UNSER BLVD NW
 ALBUQUERQUE, NM 87114
 LANDSCAPE PLAN - LOT 4
 SITE PLAN FOR BUILDING PERMIT

LOT 4

DATE: 1 AUG 2017
 DRAWN BY: MFMG
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SHEET NO:
L1.2
 8 OF 18

MARTIN FM GRUMMER
 ARCHITECT
 33 WILKEY PLACE NE
 ALBUQUERQUE, NEW MEXICO 87108
 (505) 265-2507

P
 PETERSON
 PROPERTIES

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LANDSCAPE CALCULATIONS - LOT 5

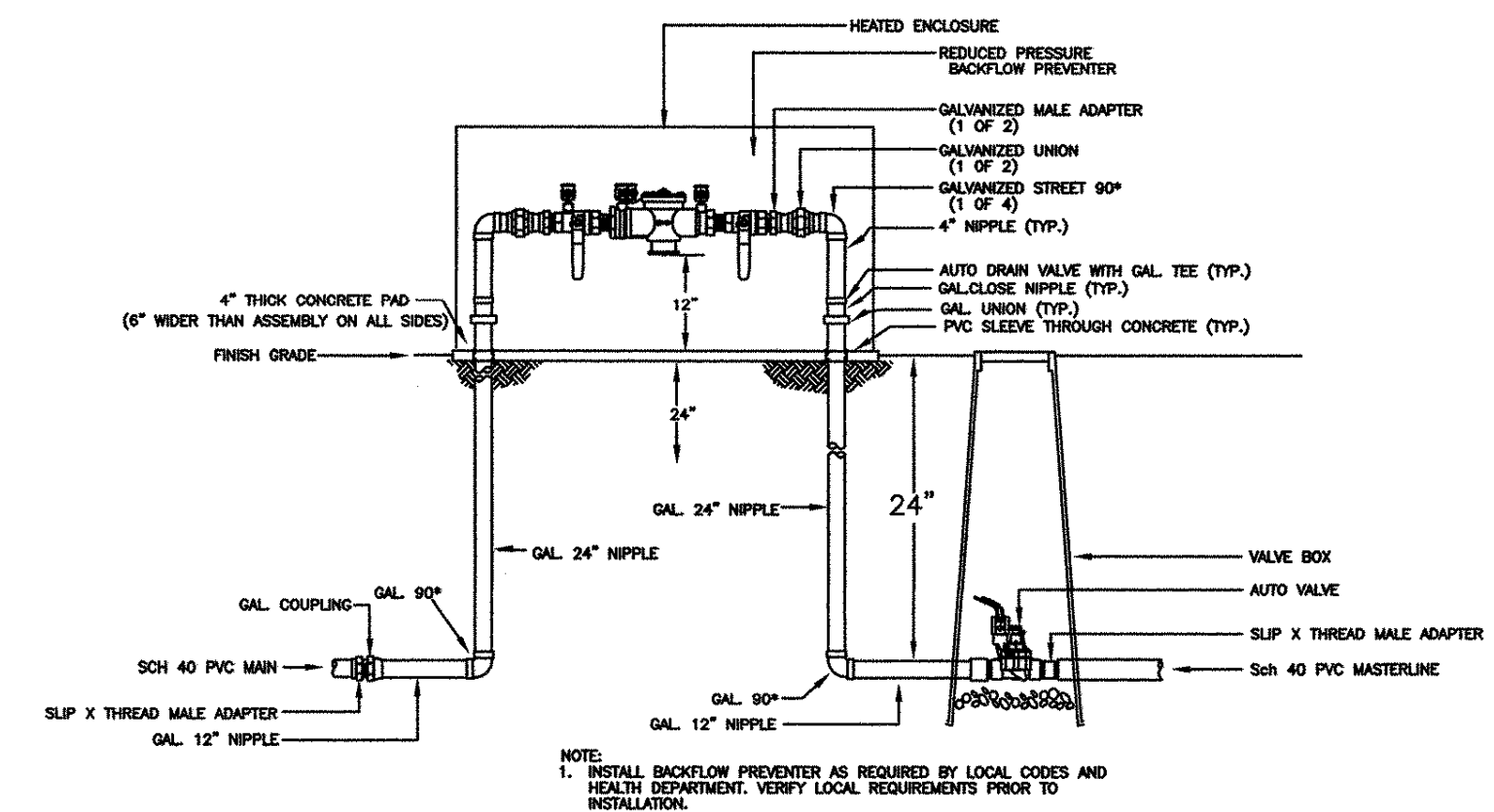
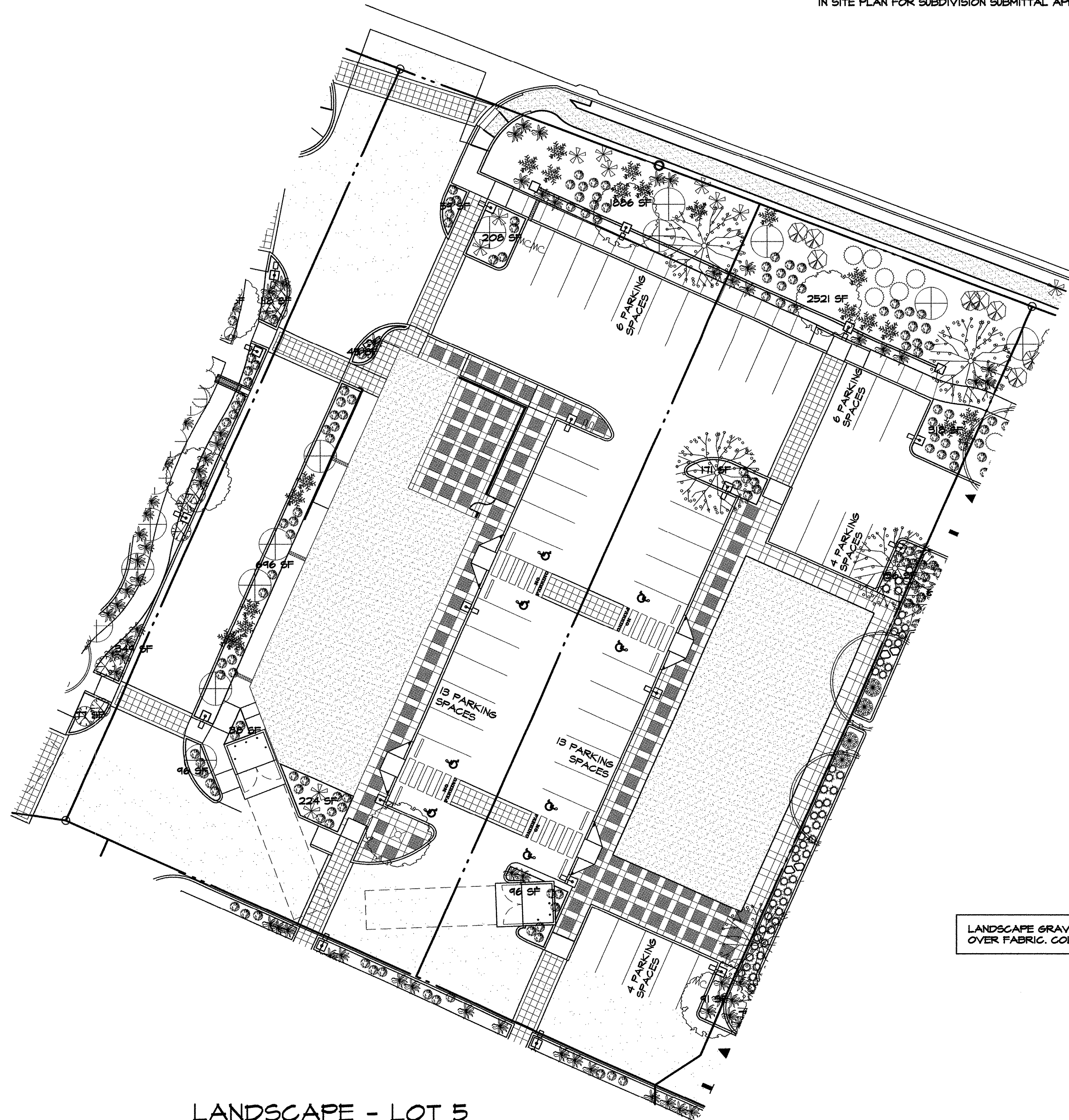
TOTAL LOT 5 AREA	29,996 SF
TOTAL BUILDING 4 AREA	4,544 SF
NET LOT AREA	25,447 SF
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	3,817 SF
TOTAL BED PROVIDED	9,252 SF
GROUND COVER REQUIRED	80% PER COMMENTS
TOTAL GROUND COVER REQUIREMENT	3,054 SF
TOTAL GROUND COVER PROVIDED	5,180 SF

LANDSCAPE NOTES

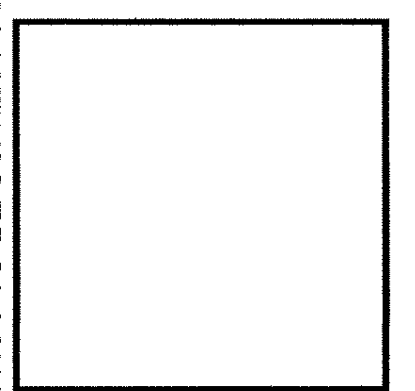
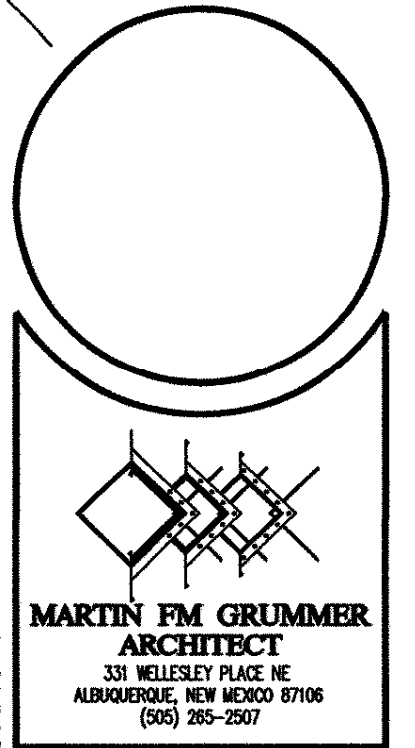
NOTES ON ORIGINAL CONCEPTUAL LANDSCAPE PLAN IN SITE PLAN FOR SUBDIVISION SUBMITTAL APPLY.

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	COVERAGE AREA
TREES						
	8	CHILOPSIS LINEARIS	DESERT WILLOW	5 GAL	L	225 SF X 8 = 1800 SF
	2	CHILOPSIS X CATALPA	CHITALPA	2" GAL.	M	75 SF X 2 = 150 SF
	1	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" GAL.	M	400 SF X 1 = 400 SF
SHRUBS						
	10	POTENTILLA FRUTICOSA	POTENTILLA	1 GAL.	M	9 SF X 10 = 90 SF
	58	ARTEMISIA X POWIS CASTLE	POWIS CASTLE SAGE	1 GAL.	L+	25 SF X 58 = 1450 SF
	10	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	L	9 SF X 10 = 90 SF
	12	BUDDLEIA DAVIDII	BUTTERFLY BUSH	5 GAL.	M	100 SF X 10 = 1200 SF



Mastervalue w/RPBA



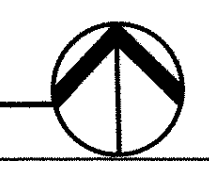
McMAHON MARKET PLACE
 NEW SHELL BUILDING
 McMAHON BLVD & UNSER BLVD NW
 ALBUQUERQUE, NM 87114
 LANDSCAPE PLAN - LOT 5
 SITE PLAN FOR BUILDING PERMIT

LOT 5 & 6A

DATE: 1 AUG 2017
 DRAWN BY: MFMS
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 VERIFIED BY:

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 9 OF 18



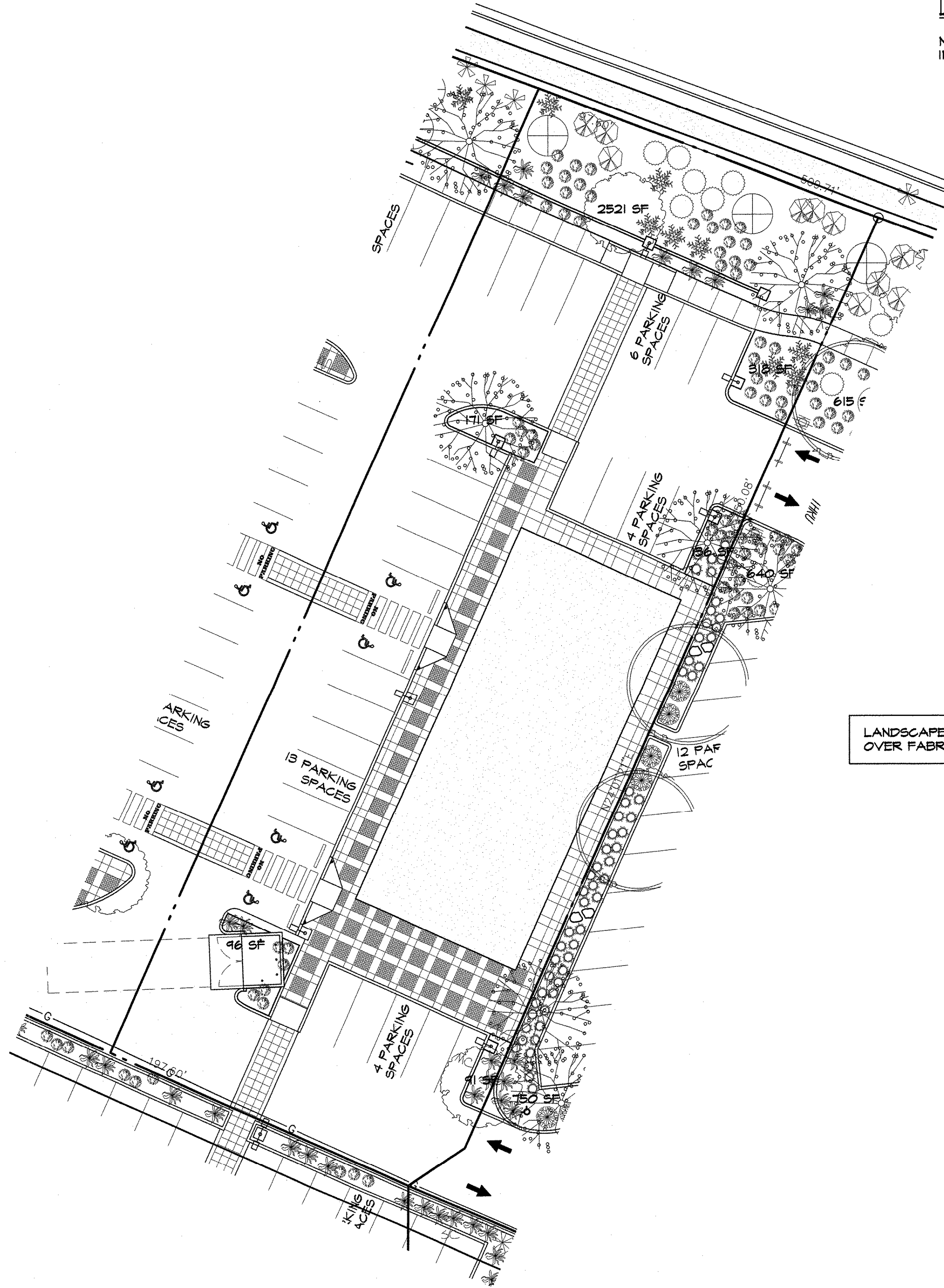
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LANDSCAPE CALCULATIONS - LOT 6

TOTAL LOT 6 AREA	23,206 SF
TOTAL BUILDING 4 AREA	5,218 SF
NET LOT AREA	17,988 SF
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	2,698 SF
TOTAL BED PROVIDED	3,423 SF
GROUND COVER REQUIRED	80% PER COMMENTS
TOTAL GROUND COVER REQUIREMENT	2,160 SF
TOTAL GROUND COVER PROVIDED	4,355 SF

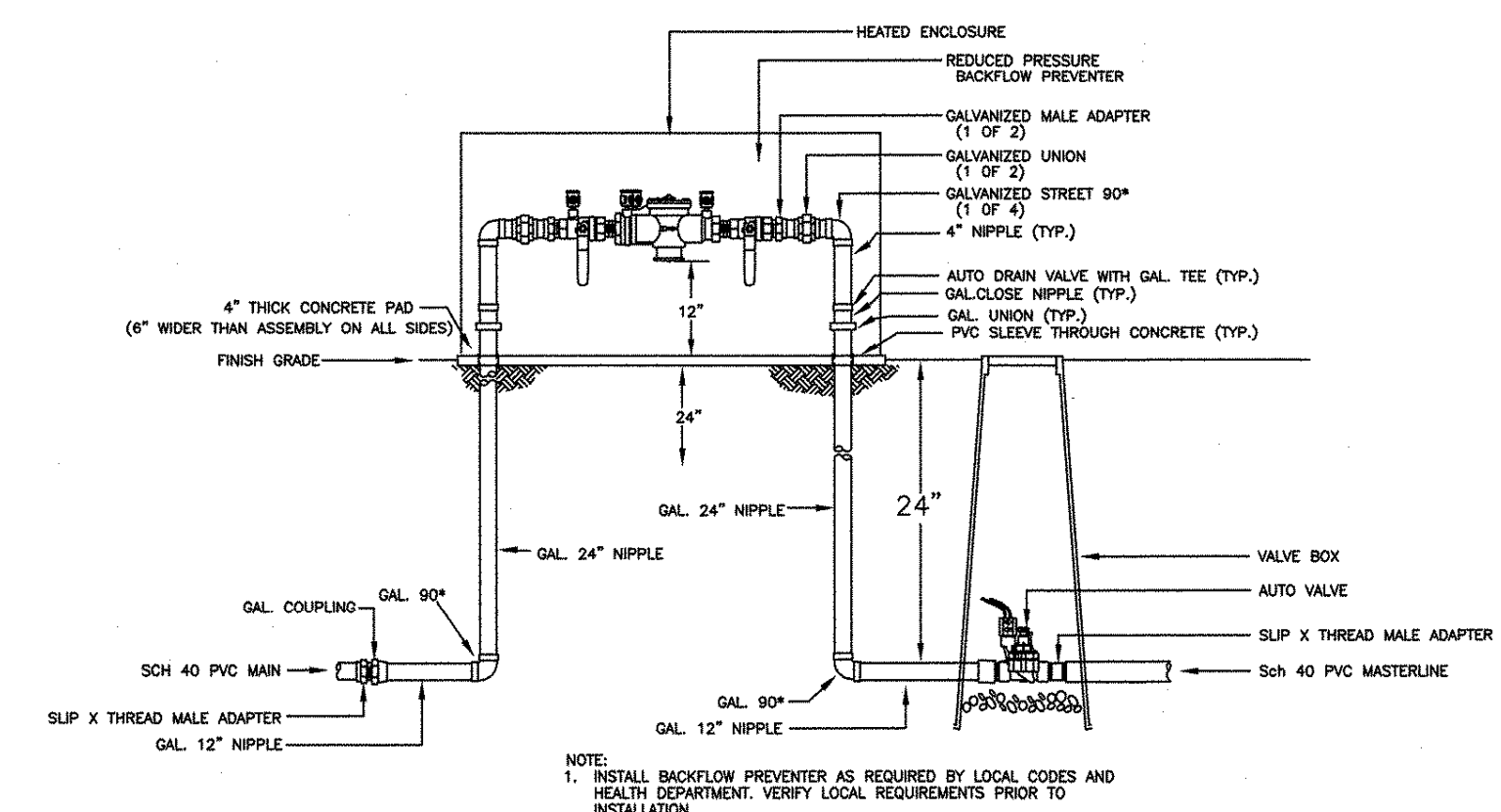
LANDSCAPE NOTES

NOTES ON ORIGINAL CONCEPTUAL LANDSCAPE PLAN IN SITE PLAN FOR SUBDIVISION SUBMITTAL APPLY.

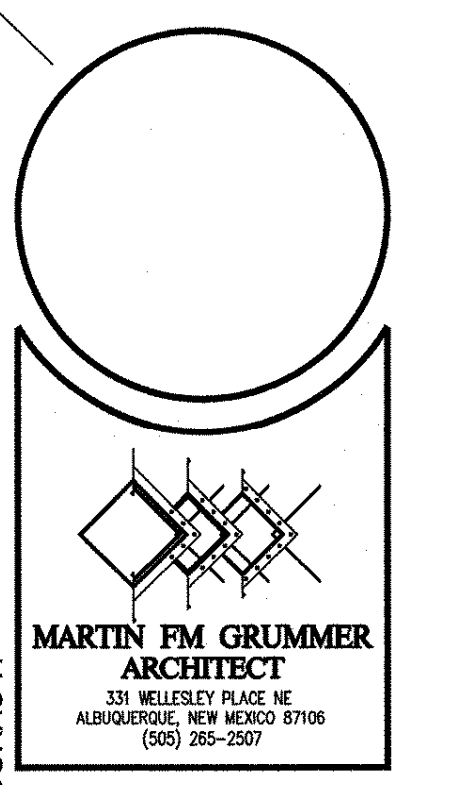


PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	COVERAGE AREA
TREES						
	2	CHILOPSIS LINEARIS	DESERT WILLOW	5 GAL.	L	225 SF X 3 = 450 SF
	2	CHILOPSIS X CATALPA	CHITALPA	2' GAL.	M	75 SF X 2 = 150 SF
	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2' GAL.	M	400 SF X 3 = 1200 SF
SHRUBS						
	6	SANTOLINA SPP.	SANTOLINA	1 GAL.	L	25 SF X 6 = 150 SF
	14	POTENTILLA FRUTICOSA	POTENTILLA	1 GAL.	M	9 SF X 14 = 126 SF
	51	ARTEMISIA X POMIS CASTLE	POMIS CASTLE SAGE	1 GAL.	L+	25 SF X 55 = 1275 SF
	6	FALLUGIA PARADOXA	APACHE PLUME	5 GAL.	L	25 SF X 6 = 150 SF
	6	MUHLENBERGIA CAPILLARIS	REGAL MIST	5 GAL.	M	9 SF X 6 = 54 SF
	3	BUDDLEIA DAVIDII	BUTTERFLY BUSH	5 GAL.	M	100 SF X 3 = 300 SF



Mastervalue w/RPBA



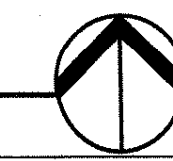
McMAHON MARKET PLACE
 NEW SHELL BUILDING
 McMAHON BLVD & UNSER BLVD NW
 ALBUQUERQUE, NM 87114
 LANDSCAPE PLAN - LOT 6a
 SITE PLAN FOR BUILDING PERMIT

LOT 6A

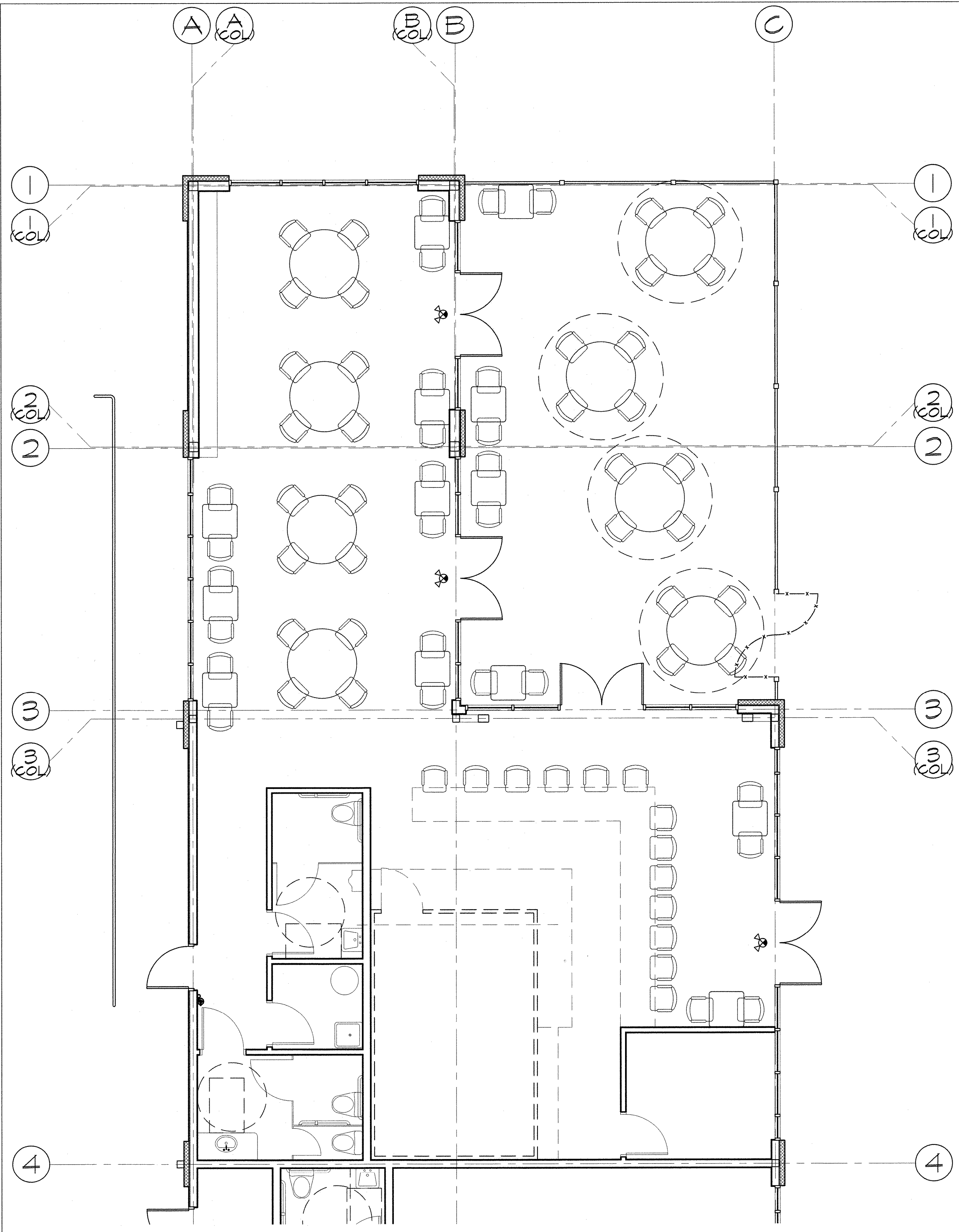
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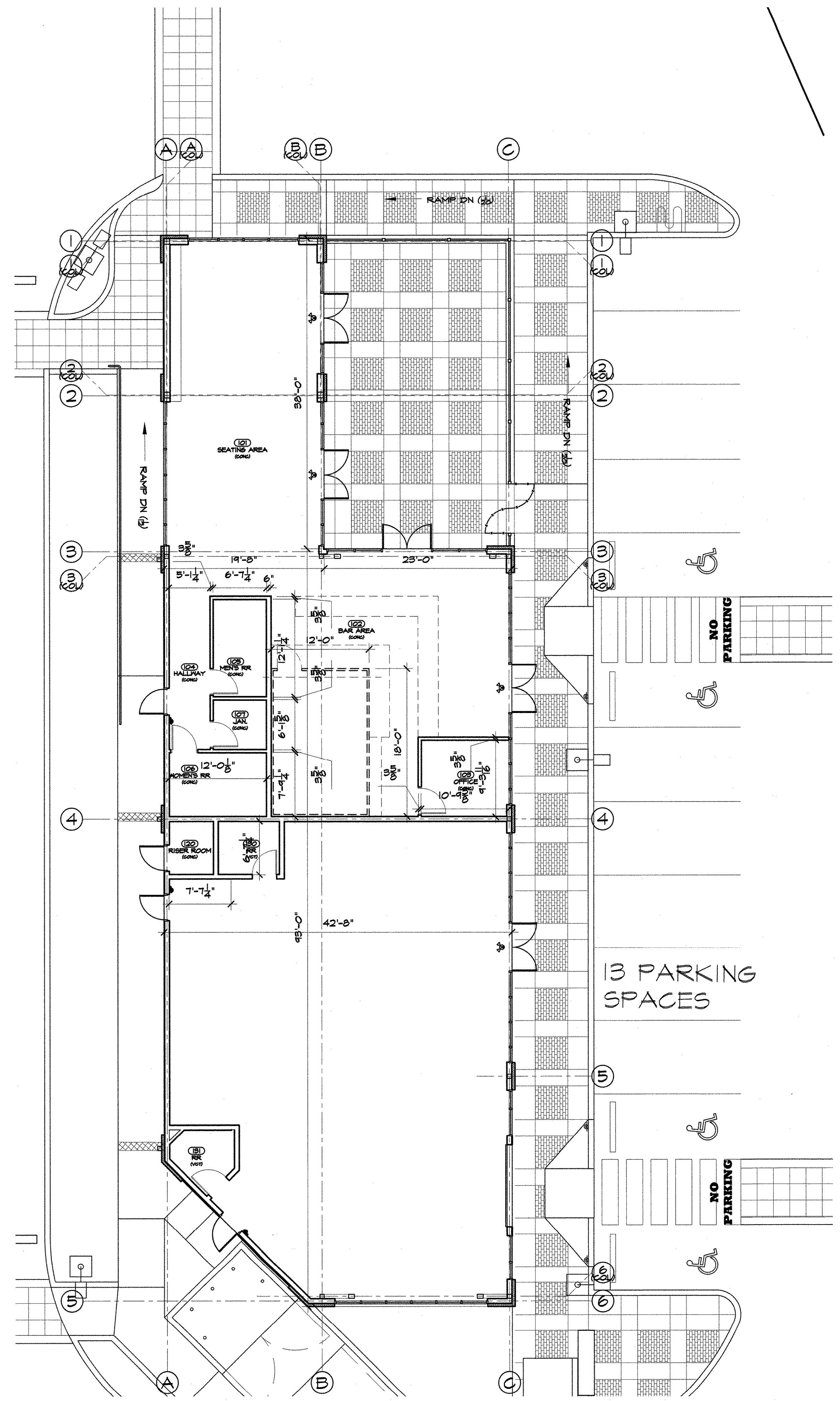


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FUTURE INTERIOR PLAN

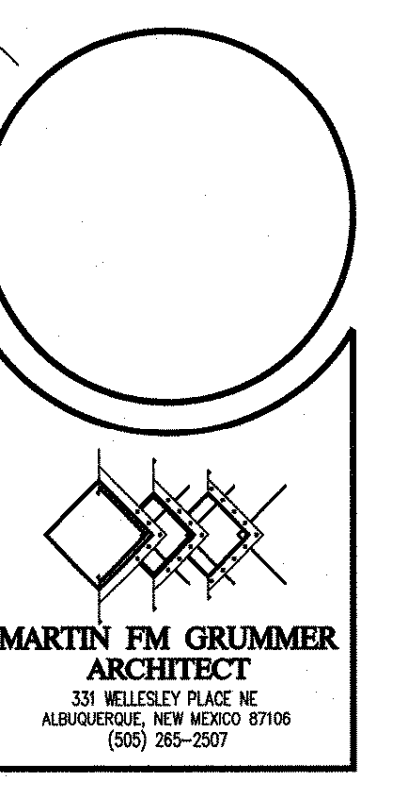
1/4" = 1'-0"



FLOOR PLAN - LOT 5

1/8" = 1'-0"

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



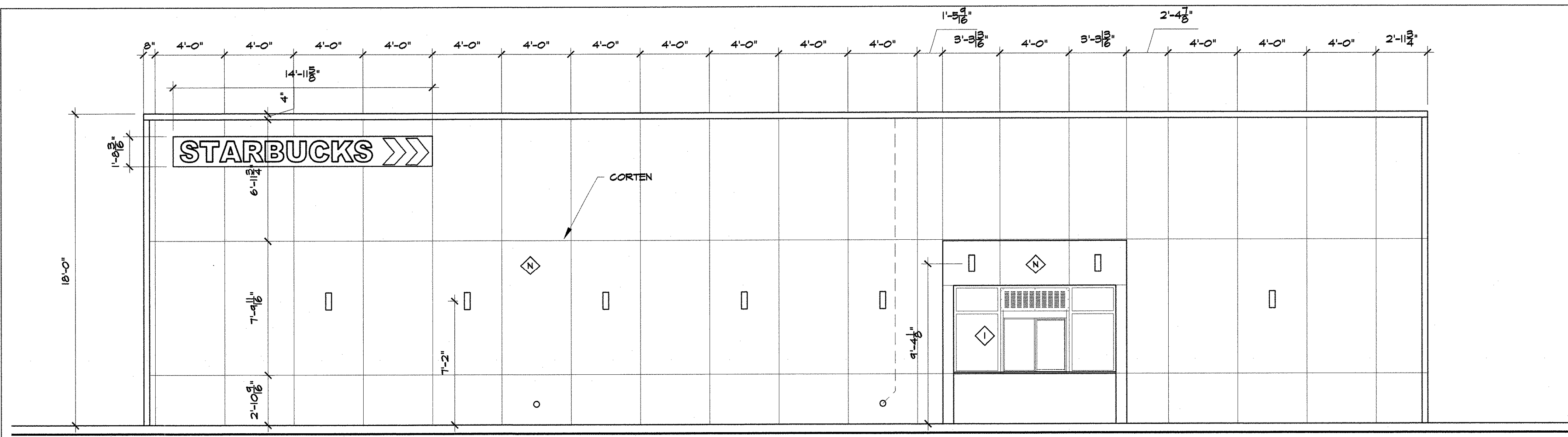
McMAHON MARKET PLACE
 NEW SHELL BUILDING
 McMAHON BLVD & UNSER BLVD NW
 ALBUQUERQUE, NM 87114
 FLOOR PLAN - LOT 5
 SITE PLAN FOR BUILDING PERMIT

LOT
5

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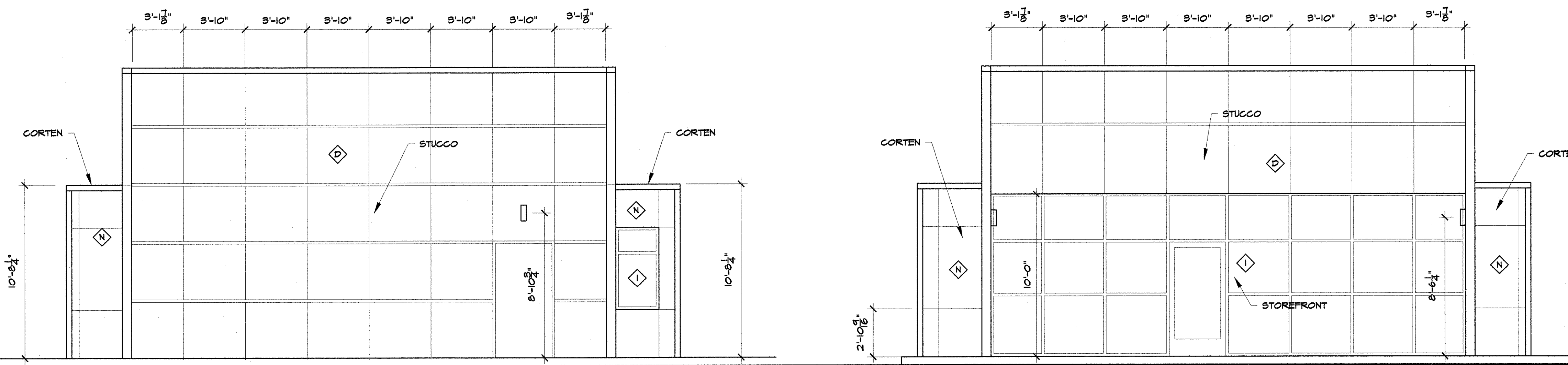
SHEET NO:
A2.2
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EAST ELEVATION

1/4" = 1'-0"

SIGNAGE: 25 SF OF 1413 SF FACADE = 1.77%



SOUTH ELEVATION

1/4" = 1'-0"

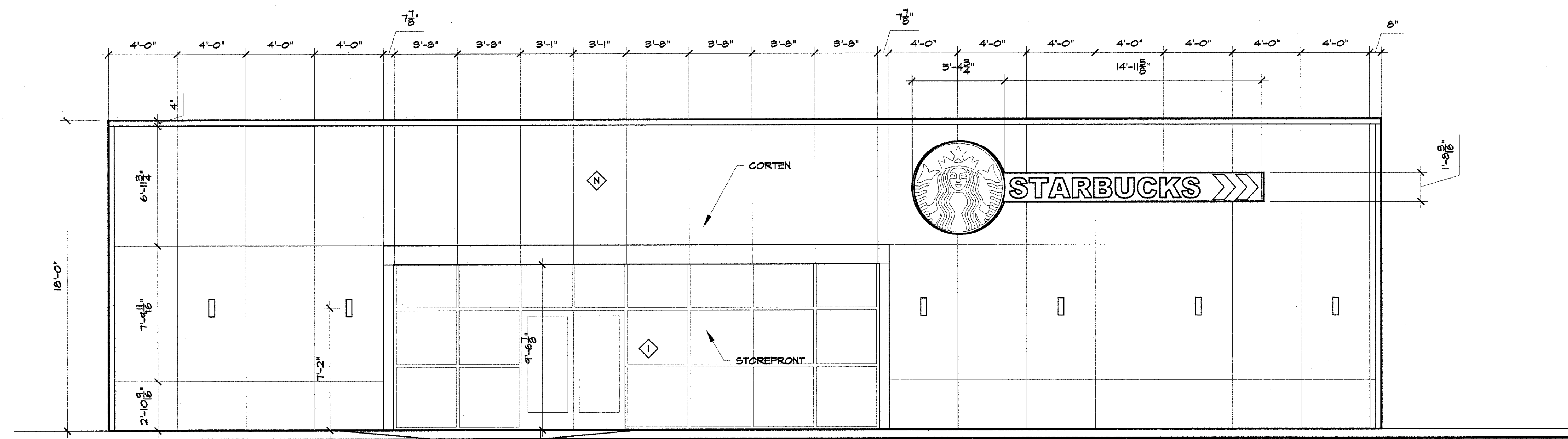
NORTH ELEVATION

1/4" = 1'-0"

KEYED COLOR / MATERIAL SCHEDULE
(FROM DESIGN STANDARDS)

A	WALL FINISH COLOR	BENJAMIN MOORE #1092 (DARK TAN)	NOT USED
B	WALL FINISH COLOR	BENJAMIN MOORE #451 (LIGHT TAN)	NOT USED
C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)	NOT USED
D	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT TAN COLOR)	NOT USED
E	WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)	NOT USED
F	WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)	NOT USED
G	WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)	NOT USED
H	SIGNAGE	MATCH STUCCO COLOR D PROVIDE PLYWOOD BACKING FOR SIGN	
I	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)	
J	ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL	
K	AWNING & FRAMING	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL - SILVER GALVALUME OVER AWNING FRAME (SEE STRUCT.) FRAME TO BE COLOR E - RED CENT	
L	BRICK	RED BRICK FACE BLOCK COLOR BY OWNER	
M	AWNING FABRIC	SUNBRELLA HEMLOCK TWEEED #4605 AWNING FABRIC (DARK GREEN)	NOT USED
N	CORTEN STEEL	CORTEN RUSTED STEEL	

NOTE: PROVIDE SHOP-DRAWINGS OF CORTEN LAYOUT AND SCREW-PATTERN FOR APPROVAL.

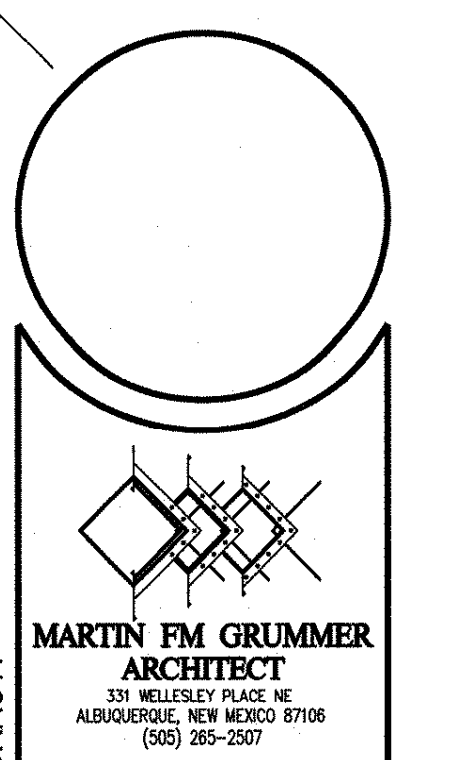


WEST ELEVATION

1/4" = 1'-0"

SIGNAGE: 48 SF OF 1413 SF FACADE = 3.034%

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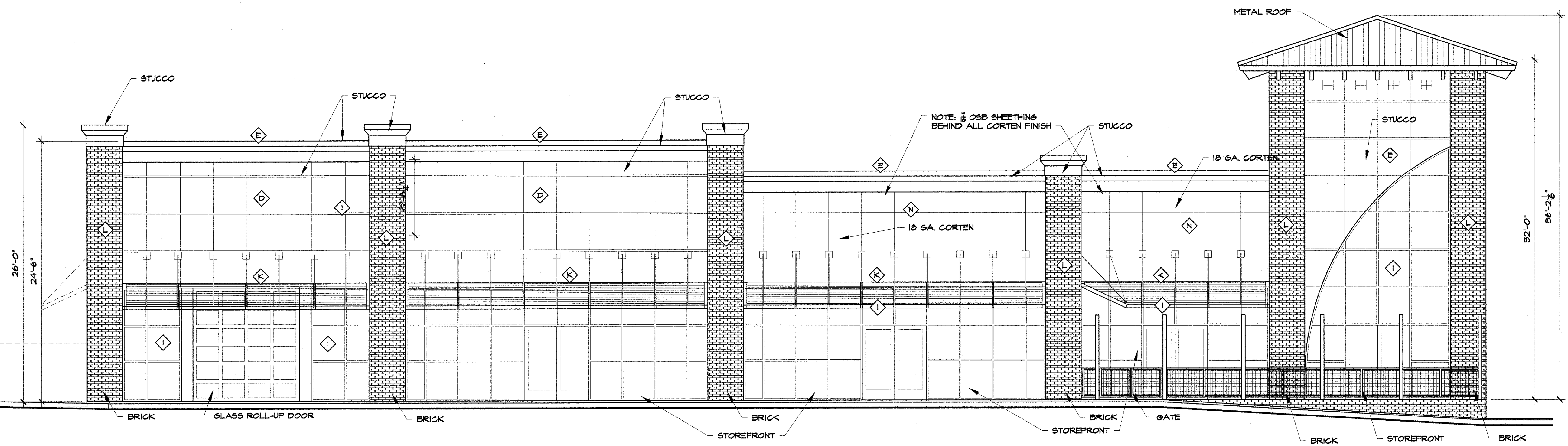
McMAHON MARKET PLACE
NEW SHELL BUILDING
McMAHON BLVD & UNSER BLVD NW
ALBUQUERQUE, NM 87114
ELEVATIONS - LOT 4
SITE PLAN FOR BUILDING PERMIT

LOT 4

DATE: 20 JUNE 2017
DRAWN BY: MFMG
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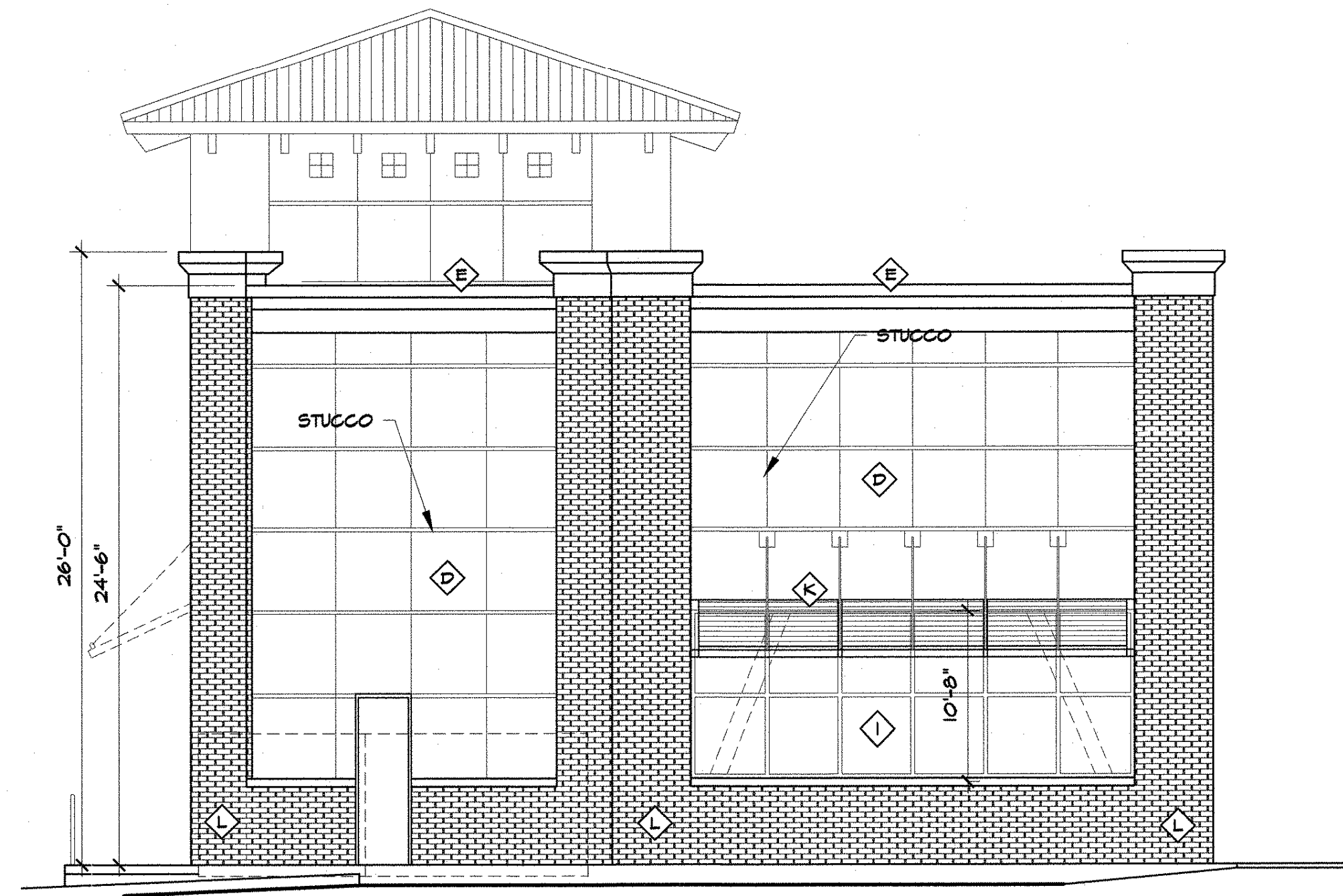
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A5.1
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EAST ELEVATION

3/16" = 1'-0"



SOUTH ELEVATION

3/16" = 1'-0"

KEYED COLOR / MATERIAL SCHEDULE
(FROM DESIGN STANDARDS)

A	WALL FINISH COLOR	BENJAMIN MOORE #1082 (DARK TAN)	NOT USED
B	WALL FINISH COLOR	BENJAMIN MOORE #451 (LIGHT TAN)	NOT USED
C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6148 (TAN COLOR)	NOT USED
D	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT TAN COLOR)	
E	WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)	
F	WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)	NOT USED
G	WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)	NOT USED
H	SIGNAGE	MATCH STUCCO COLOR D PROVIDE PLYWOOD BACKING FOR SIGN	
I	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)	
J	ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL	
K	AWNING & FRAMING	ARCHITECTURAL TRELLIS FRAME (SEE STRUCT.) FRAME TO BE COLOR E - RED CENT	
L	BRICK	RED BRICK FACE BLOCK COLOR BY OWNER	
M	AWNING FABRIC	SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN)	NOT USED
N	CORTEN STEEL	CORTEN RUSTED STEEL	



McMAHON MARKET PLACE
NEW SHELL BUILDING
McMAHON BLVD & UNSER BLVD NW
ALBUQUERQUE, NM 87114
ELEVATIONS - LOT 5
SITE PLAN FOR BUILDING PERMIT

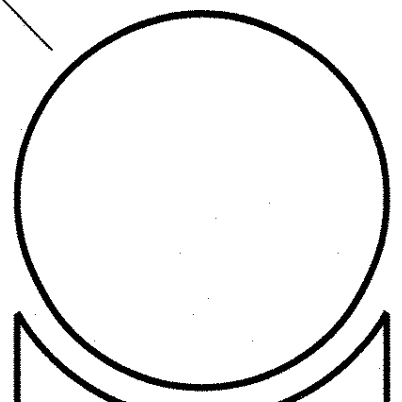
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DATE: 20 JUNE 2017
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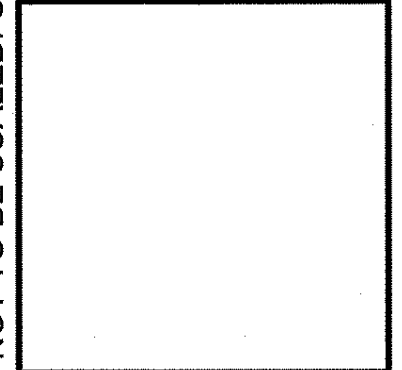
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A5.2
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MARTIN FM GRUMMER
ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2207



McMAHON MARKET PLACE
NEW SHELL BUILDING
McMAHON BLVD & UNSER BLVD NW
ALBUQUERQUE, NM 87114
ELEVATIONS - LOT 5
SITE PLAN FOR BUILDING PERMIT

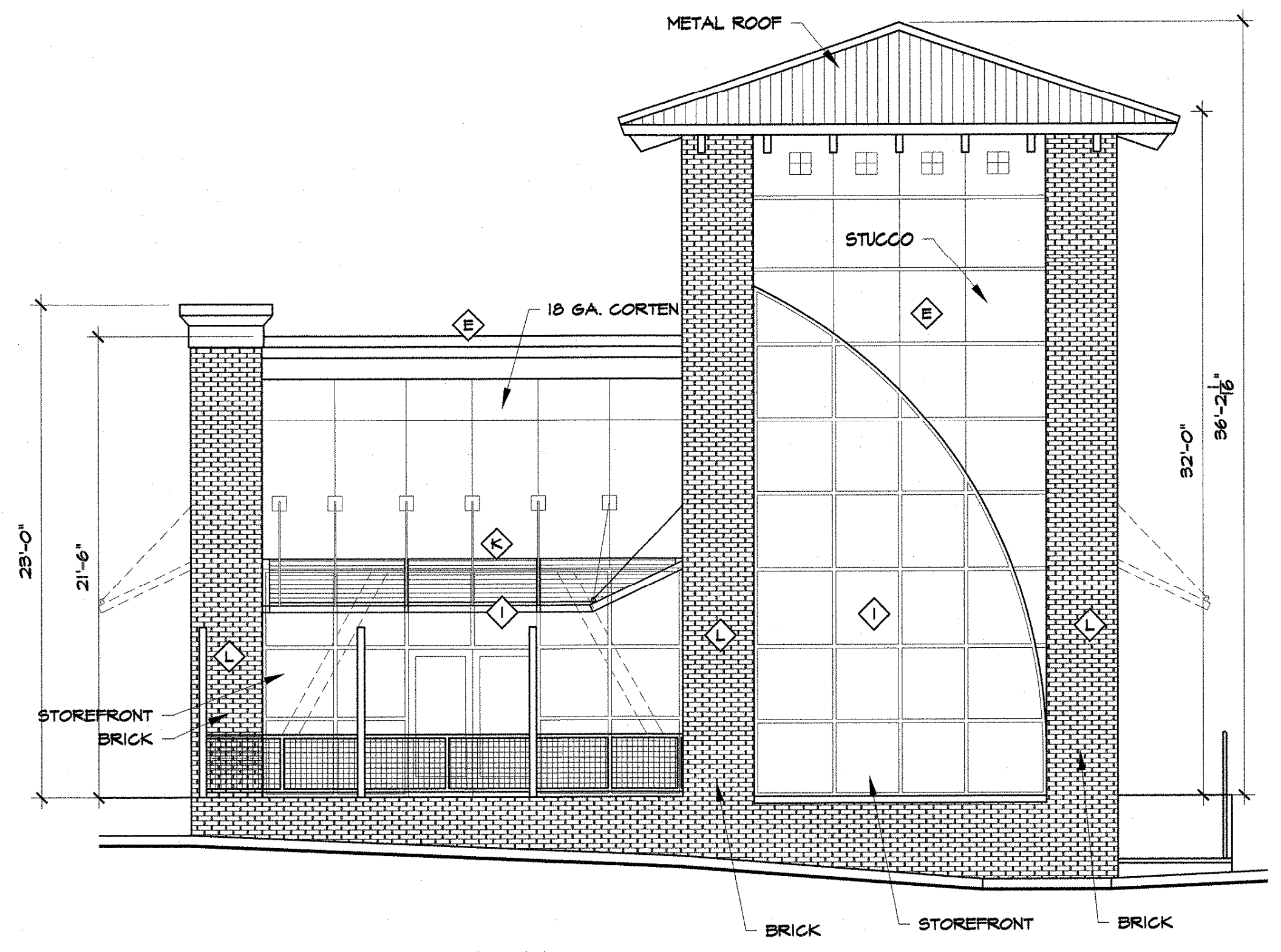
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DATE:
20 JUNE 2017
DRAWN BY:
MFMG
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REVISIONS

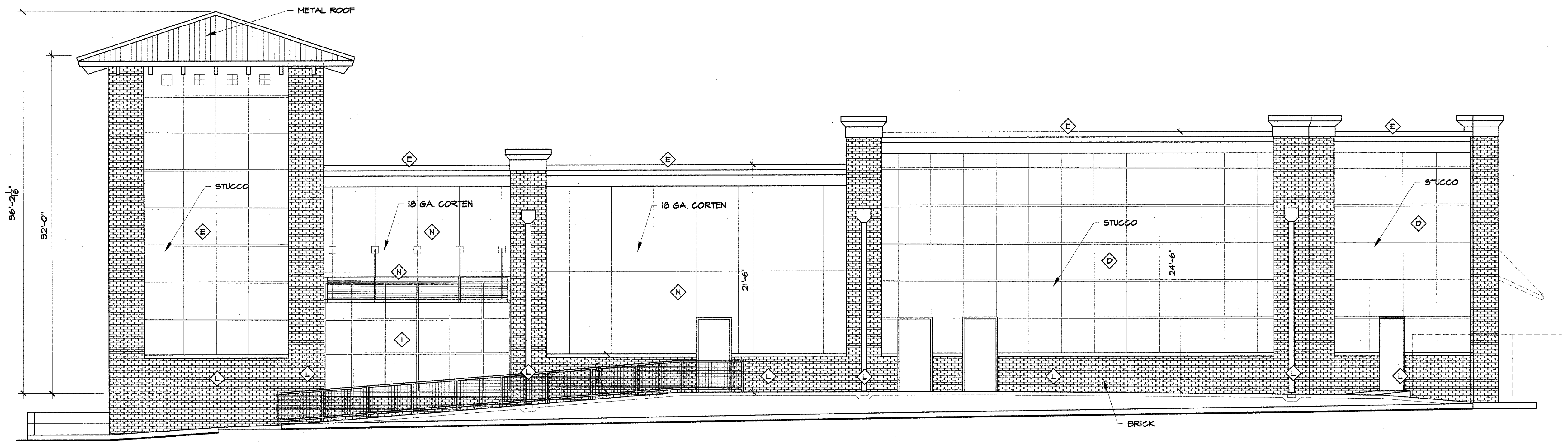
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ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



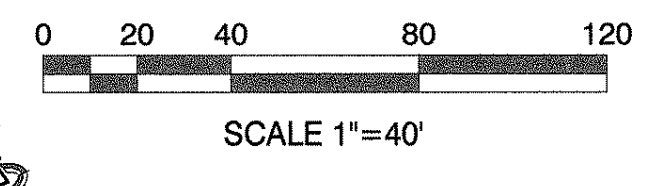
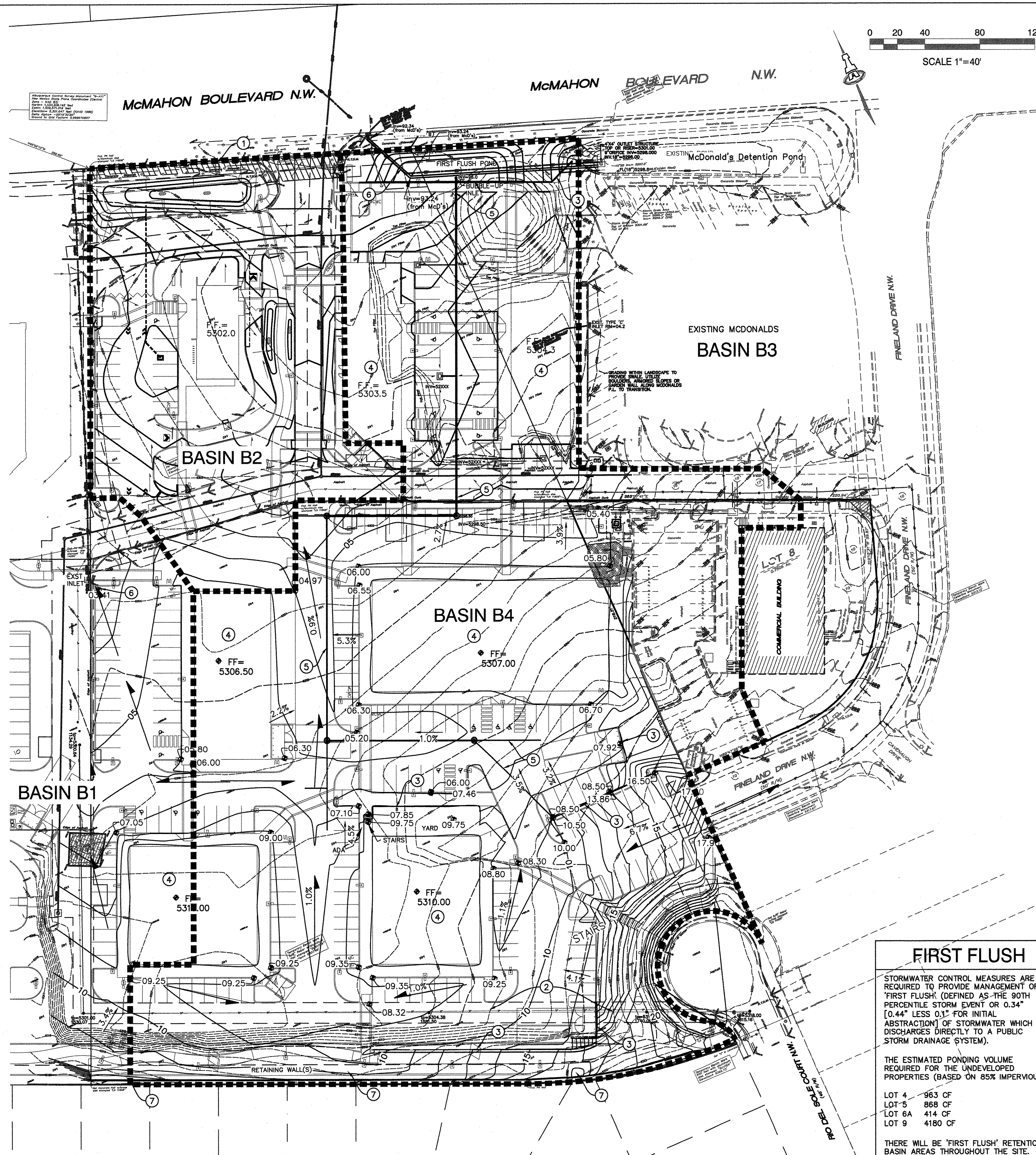
NORTH ELEVATION
3/16" = 1'-0"

KEYED COLOR / MATERIAL SCHEDULE (FROM DESIGN STANDARDS)		
A	WALL FINISH COLOR	BENJAMIN MOORE #1032 (DARK TAN) NOT USED
B	WALL FINISH COLOR	BENJAMIN MOORE #951 (LIGHT TAN) NOT USED
C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR) NOT USED
D	WALL FINISH COLOR	SHERWIN WILLIAMS MOOL SKEIN SW 6148 (LIGHT TAN COLOR)
E	WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)
F	WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR) NOT USED
G	WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR) NOT USED
H	SIGNAGE	MATCH STUCCO COLOR D PROVIDE PLYWOOD BACKING FOR SIGN
I	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
J	ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
K	AWNINGS & FRAMING	ARCHITECTURAL TRELIS FRAME (SEE STRUCT.) FRAME TO BE COLOR E - RED CENT
L	BRICK	RED BRICK FACE BLOCK COLOR BY OWNER
M	AWNINGS FABRIC	SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN) NOT USED
N	CORTEN STEEL	CORTEN RUSTED STEEL



WEST ELEVATION

3/16" = 1'-0"

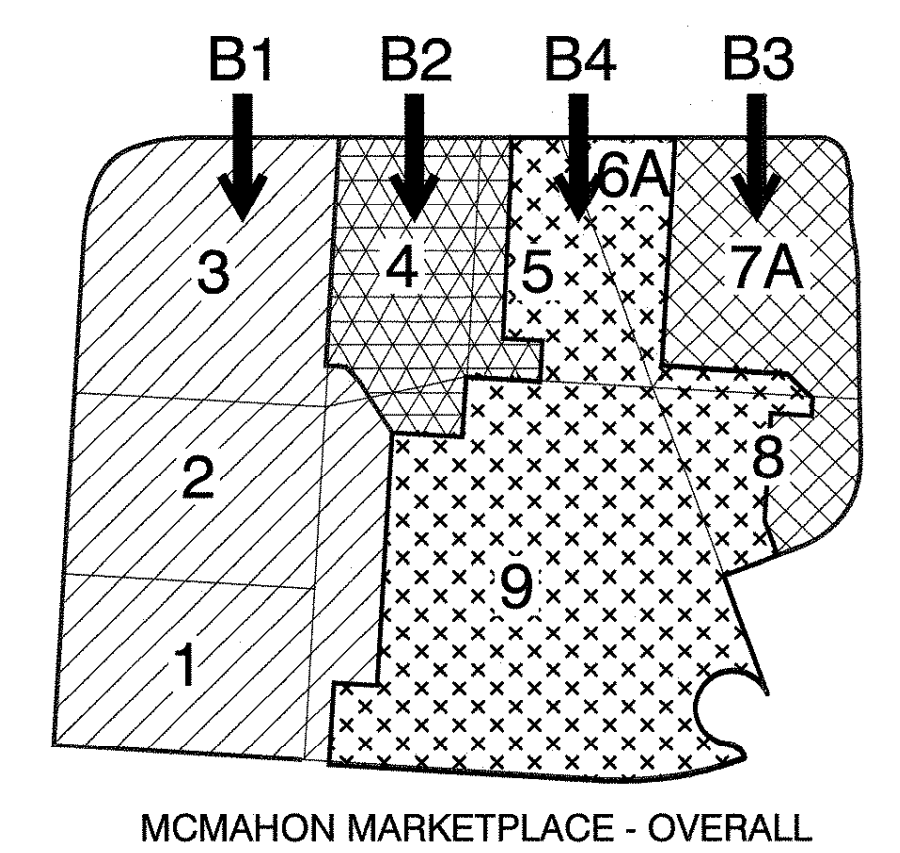


DRAINAGE CONCEPT

PER THE APPROVED MCMAHON DRAINAGE MANAGEMENT PLAN (DMP) BY BOHANNAN HUSTON INC. DATED MAY 7, 2010, THE ENTIRE 12.13 ACRE MCMAHON MARKETPLACE (PROPERTY) IS PERMITTED TOTAL DISCHARGE OF 41.55 CFS.

- BASIN B1 (4.6 ACRE):
LOTS 1, 2, 3 (4.0 ACRE)
FREE DISCHARGE @ LAND TREATMENT RATIO 0:5:10:85
DISCHARGE = 16.6 CFS.
PORTION OF LOTS 9 AND 4 (0.6 ACRE)
FREE DISCHARGE @ LAND TREATMENT RATIO 0:5:10:85
DISCHARGE = 2.5 CFS
BASIN WILL CONTINUE TO DRAIN TO THE WEST PRIVATE STORM DRAIN SYSTEM. THE DISCHARGE FROM THESE PROPERTIES = 19.1 CFS TO ENTER THE PUBLIC STORM DRAIN SYSTEM.
- BASIN B2: PORTIONS OF LOT 4 (STARBUCKS) 9 AND 5 = 1.2 AC. WILL FREE DISCHARGE 4.8 CFS TO MCMAHON BLVD. BASED ON AN APPROVED LAND TREATMENT RATIO OF 0:15:11:74.
- BASIN B3: LOT 7A (MCDONALDS) AND A PORTION OF LOT 8 (1.5 ACRES) HAVE BEEN CONSTRUCTED WITH A DETENTION POND LIMITING THE DISCHARGE TO 4.07 CFS.
- BASINS B1+B2+B3 (= 19.1 CFS + 4.8 CFS + 4.07 CFS = 28.0 CFS. THIS LEAVES 41.55-28.0 = 13.55 CFS FOR BASIN B4 ALLOWABLE DISCHARGE.
- THE REMAINDER OF THE PROPERTY, CONSISTING OF THE REMAINDER OF LOTS 5, 8 AND 9 AND ALL OF LOT 6A = 4.8 ACRES. IF THESE LOTS FOLLOW THE TYPICAL RATIO OF 0:5:10:85, DISCHARGE = 19.8 CFS.
THEREFORE, THE REQUIRED DETENTION WILL BE 19.8 - 13.55 = 6.25 CFS.

DETENTION WILL BE PROVIDED BASED ON THE PERCENTAGE OF OVERALL AREA:
 LOT 5 + 6A = 1.75 AC. = 30% OF THE TOTAL RETENTION = 6.25 CFS * 30% = 1.9 CFS.
 LOT 9 = 3.98 AC = 70% OF THE TOTAL RETENTION = 4.35 CFS.
 ACTUAL LAND TREATMENTS AND DETENTION REQUIREMENTS WILL BE CALCULATED AS EACH LOT DEVELOPS.



MCMAHON MARKETPLACE - OVERALL

FIRST FLUSH

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED PONDING VOLUME REQUIRED FOR THE UNDEVELOPED PROPERTIES (BASED ON 85% IMPERVIOUS)

LOT 4	963 CF
LOT 5	868 CF
LOT 6A	414 CF
LOT 9	4180 CF

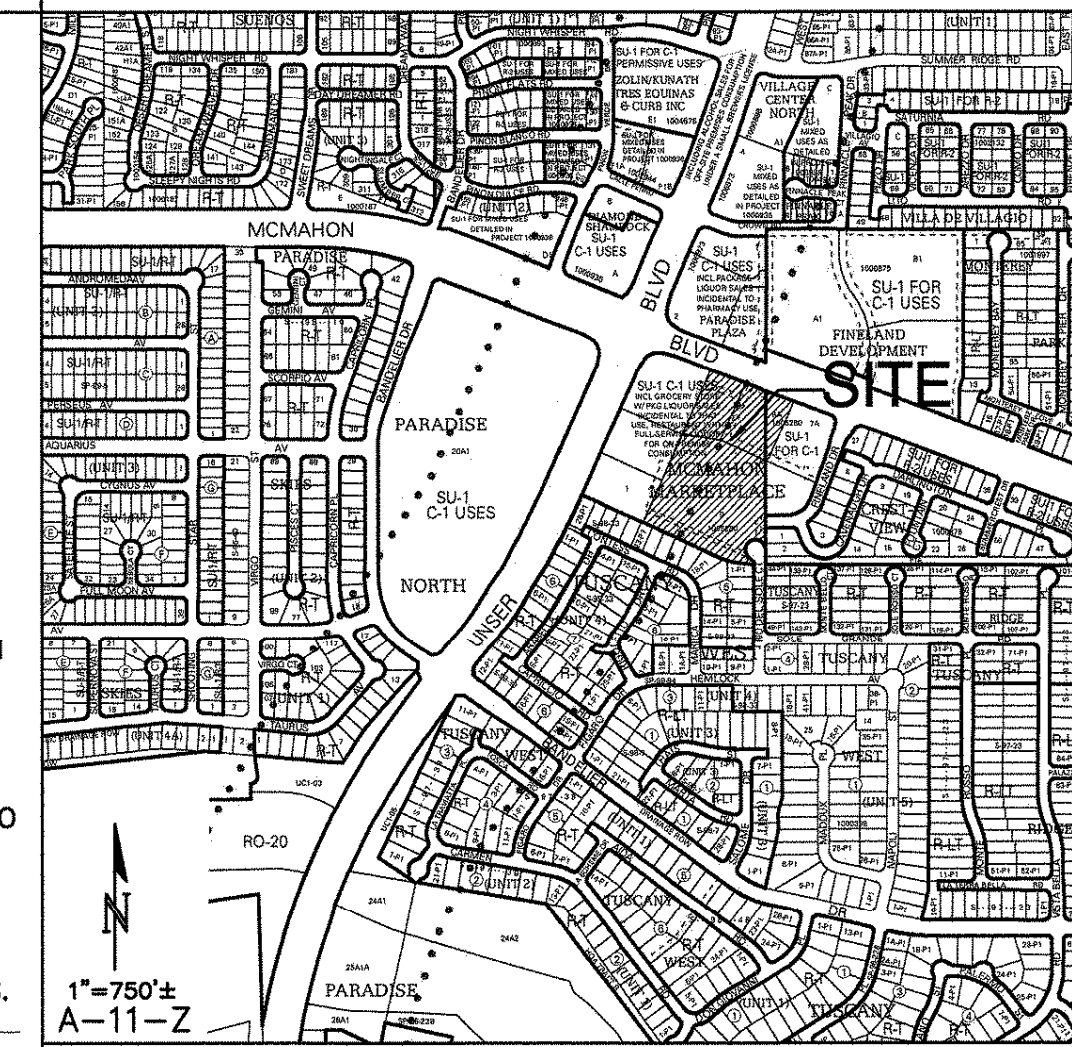
THERE WILL BE 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE. STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS AND ON-SITE STORM DRAIN.

THE 'FIRST FLUSH' BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL. CURB OPENING LOCATIONS WILL BE LOCATED AND SIZED WITH FINAL DESIGN.

FUTURE DEVELOPMENT

THE REMAINING LOTS WILL DEVELOP IN THE FOLLOWING ORDER:
 LOT 4 STARBUCKS - (APPROVED FOR CONSTRUCTION) WILL FREE DISCHARGE COMPLETING CONSTRUCTION IN BASINS B1, B2 AND B3. TOTAL DISCHARGE = 28.0 CFS (DEVELOPED) + THE UNDEVELOPED PROPERTY (4.8 ACRE) @ 11.8 CFS FOR A TOTAL DISCHARGE OF 39.8 CFS.
 A 1 ACRE PORTION OF LOT 9 SOUTH PAVEMENT (APPROVED FOR CONSTRUCTION) BETWEEN TACO BELL AND FINELAND DRIVE WILL BE CONSTRUCTED TO PROVIDE ACCESS INTO PROPERTY FROM RIO DEL SOLE COURT. THE DEVELOPED DISCHARGE FROM THIS PORTION WILL BE 3.8 CFS. THE REMAINING UNDEVELOPED LOTS (5, 6A, REMAINDER OF LOT 9) WILL GENERATE 9.4 CFS FOR A TOTAL DISCHARGE OF 41.2 CFS.
 LOTS 5 & 6A WILL DEVELOP AND WILL PROVIDE DETENTION WITHIN THE OPEN SPACE ADJACENT TO MCMAHON BLVD. TO LIMIT DISCHARGE TO 41.55 CFS.
 THE REMAINDER OF LOT 9 WILL BE DEVELOPED IN PHASES WITH ADDITIONAL DETENTION PROVIDED TO ENSURE TOTAL DISCHARGE DOES NOT EXCEED ALLOWABLE.

VICINITY MAP



PROJECT DATA

LEGAL: MCMAHON MARKETPLACE LOTS 4, 5, 6A, 7 AND 9, CITY OF ALBUQUERQUE, NEW MEXICO.
 BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT '9-A11', ELEVATION = 5301.647 (NAVD 1988)
 FLOOD HAZARD: PROPERTY IS LOCATED WITHIN ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS MAP NO. 35001C0104H, MAP REVISED AUGUST 16, 2012.
 STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM.
 FIRST FLUSH RETENTION PONDS WILL BE CONSTRUCTED WITHIN THE INDIVIDUAL LOTS LANDSCAPING AND WITHIN THE LANDSCAPE AREAS ALONG MCMAHON BLVD. STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE PONDS.
 OFF-SITE: NO OFF-SITE DRAINAGE WILL IMPACT THE MCMAHON MARKETPLACE PROPERTY.

KEYED NOTES

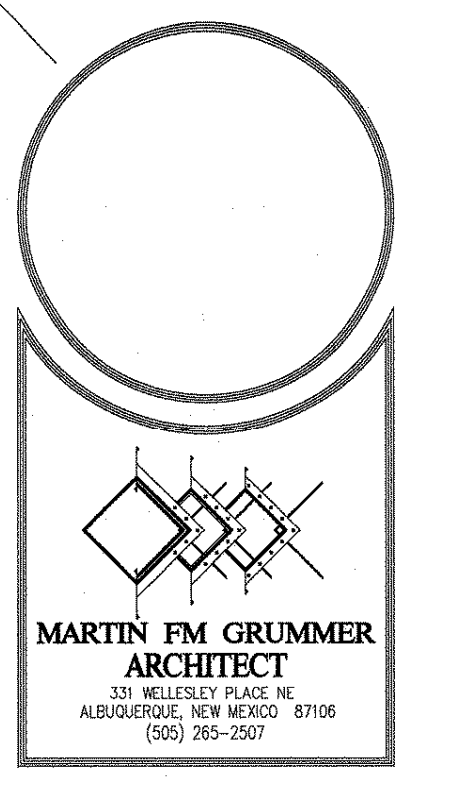
1. NEW COVERED SIDEWALK CULVERT TO PASS FLOW IN EXCESS OF FIRST FLUSH VOLUME.
2. EXISTING WATER LINE AND ASSOCIATED EASEMENT THIS AREA TO BE RELOCATED (VERTICAL AND HORIZONTAL) TO ACCOMMODATE UPDATED GRADES & SITE LAYOUT.
3. NEW SITE RETAINING WALL TO ACHIEVE GRADE TRANSITIONS SHOWN. MAX. 8' HIGH WALL.
4. BUILDING RETAINING/EXTENDED STEMWALLS AS REQUIRED.
5. PROPOSED PRIVATE STORM DRAIN.
6. NEW CONNECTION TO EXISTING STORM DRAIN MAIN TO ACCEPT ALLOWABLE DISCHARGE.

GENERAL NOTES

- A. GRADES SHOWN REFLECT OVERALL GRADING SCHEME. ADA PARKING WILL BE COORDINATED WITH ARCHITECT TO BE ADA COMPLIANT. MAX. 2% SLOPE IN ANY DIRECTION.
- B. LANDSCAPING TO BE DEPRESSED TO HARVEST STORMWATER EXCEPT WITHIN 10' OF A BUILDING OR STRUCTURE.
- C. CURB OPENINGS WILL BE PROVIDED WHERE POSSIBLE TO ACCEPT STORMWATER INTO DEPRESSED LANDSCAPING.
- D. ROCK EROSION PROTECTION WILL BE REQUIRED AT CURB OPENINGS, ON SLOPES > 4:1 AND WITHIN SWALES CARRYING CONCENTRATED FLOW (TYPICAL).
- E. 'FIRST FLUSH' RETENTION PONDING WILL BE PROVIDED WITHIN AVAILABLE LANDSCAPE AREAS THROUGHOUT.
- F. STEPS AND RAMPS AS REQUIRED TO ACHIEVE GRADE TRANSITIONS WILL BE DESIGNED AS EACH PROPERTY DEVELOPS.

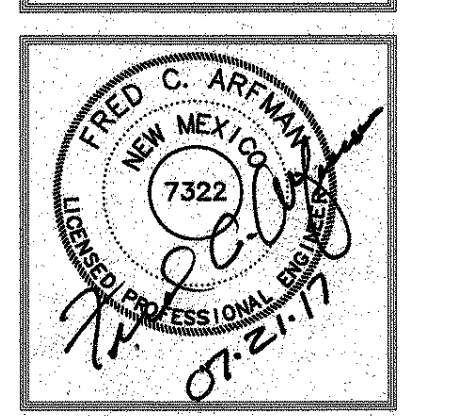
LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR (1' INCREMENT)
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5107.0 FINISH FLOOR ELEVATION
- PROPOSED GRADE BREAK



McMAHON MARKET PLACE
 5708 MCMAHON BLVD NW
 ALBUQUERQUE, NM 87114

AMENDED DRAINAGE MANAGEMENT PLAN



DATE: 12 JULY 2017
 DRAWN BY: EJB
 CHECKED BY: FCA
 VERIFIED BY:

REVISIONS	

SHEET NO:
CG1
 17 OF 18

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