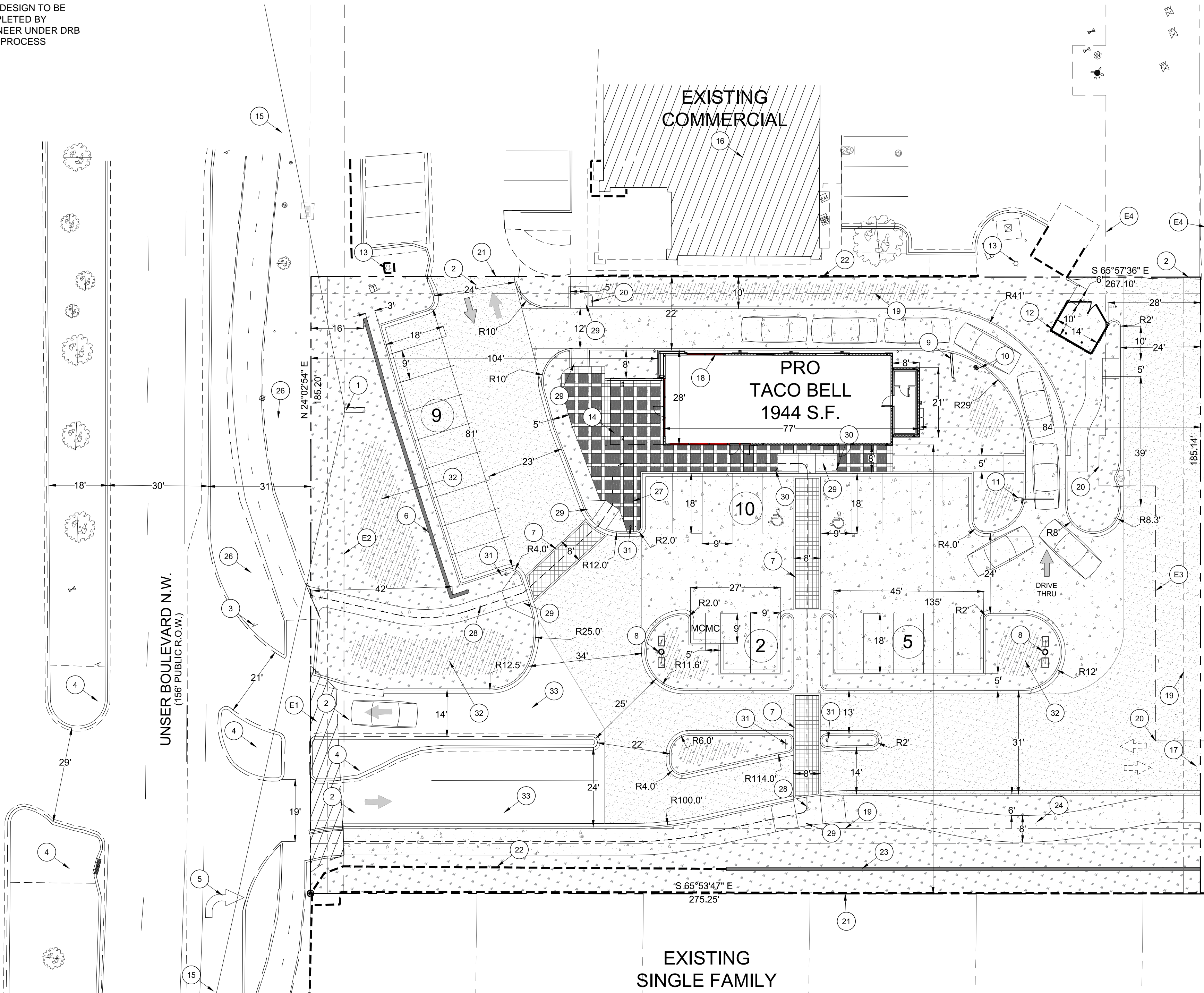


CIVIL DESIGN TO BE COMPLETED BY ENGINEER UNDER DRB PLAN PROCESS



**SITE DATA**

**SITE ADDRESS**  
10600 UNSER BOULEVARD N. W.

**LEGAL DESCRIPTION**  
LOT NUMBERED ONE (1) PLAT OF MCMAHON MARKETPLACE, (BEING A REPLAT OF TRACT 16A-1, PARADISE NORTH AND TRACT E-1A-1, CRESTVIEW SUBDIVISION), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 24, 2010, IN PLAT BOOK 2010C, PAGE 112, AS DOC. NO. 2010096126.

**AREA**  
1.1356 ACRES MORE OR LESS / 49,465 S.F.

**BUILDING AREA**  
1,944 S.F.

**ZONING**  
SU-1 C-1 USES INCL GROCERY STORE W/ PKG LIQUOR SALES INCIDENTAL TO THAT USE, RESTAURANT WITH FULL-SERVICE LIQUOR FOR ON-PREMISE CONSUMPTION

**CONSTRUCTION TYPE**  
VB - UNPROTECTED

**FAR**  
0.039

**BUILDING SET BACKS (FT)**  
WEST - 104.09  
NORTH - 22.08  
EAST - 84.33  
SOUTH - 134.75

**BUILDING HEIGHT**  
24.0 - FT

**SITE ACCESS**  
EXISTING DRIVE WAY CUT TO UNSER BLVD. N.W.

**EPC PLANS**  
APPROVED EPC 12-10002 - DATED 2007, REVISED 2009 & 2016

**PARKING INFORMATION**

ONE (1) SPACE FOR EACH FOUR (4) SEATS FOR ESTABLISHMENTS

TOTAL SEATS (INCLUDING COVERED OUT DOOR AREA) = 50  
12.5 PARKING REQUIRED.

MOTORCYCLE PARKING, REQUIRED 1 PER 25, PROVIDED 2

ADA PARKING, REQUIRED 1 PER 25, PROVIDED 2

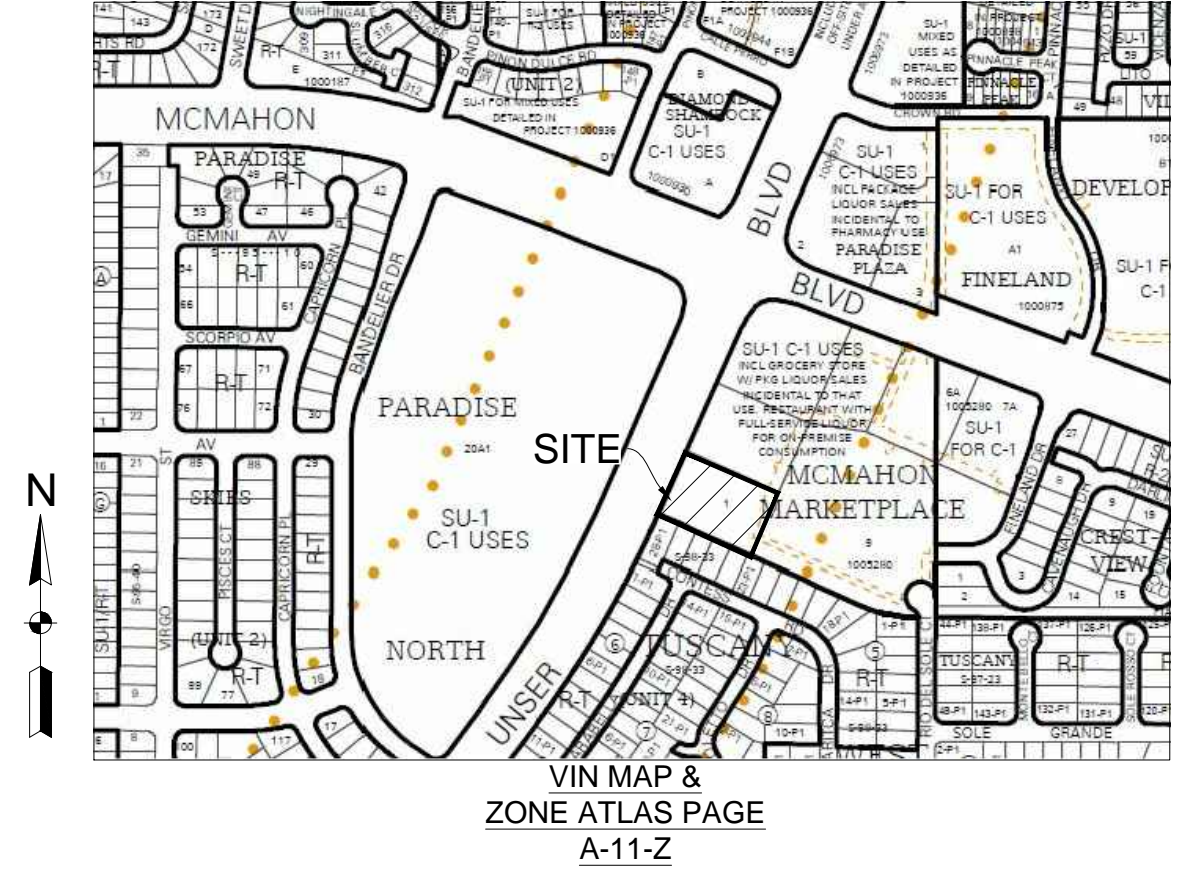
BICYCLES PARKING, 1 PER 20 AUTOMOBILE SPACES, 2 REQUIRED, 2 PROVIDED

TOTAL SPACES: 26

**NOTE:**  
PER THE ORIGINAL EPC (12-10002) PARKING FOR LOT-1 WAS TO BE 24 STANDARD SPACES, 2 MOTORCYCLE SPACES AND 5 BIKE SPACES. PER THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WE ARE PROVIDING 2 MORE STANDARD SPACES AND 3 LESS BIKE SPACES. THIS CHANGE IS DUE TO ENSURE ADEQUATE PARKING FOR BOTH EMPLOYEES AND CUSTOMERS.

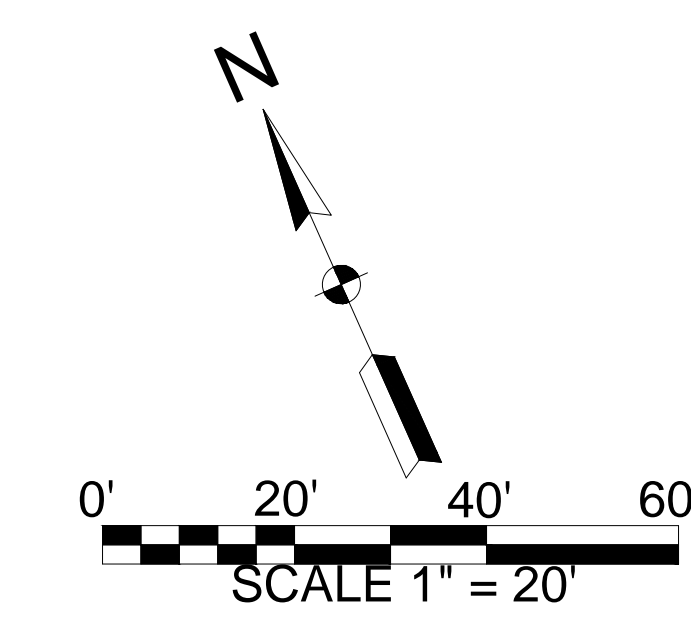
**KEY NOTES:**

1. PROPOSED MARQUEE SIGNAGE LOCATION
2. EXISTING INGRESS/EGRESS
3. EXISTING STOP SIGN
4. EXISTING CURB ISLAND
5. EXISTING TURN LANE
6. 265 L.F. SCREEN WALL HEIGHT VARIES FROM 36" APPROVED EPC 12-10002
7. 8' TEXTURED/COLORED CONCRETE APPROVED EPC 12-10002
8. SITE LIGHT (16.0' HEIGHT)
9. MENU BOARD
10. SPEAKER AND CANOPY
11. CLEARANCE BAR
12. TRASH ENCLOSURE
13. EXISTING SITE LIGHT
14. 794 S.F. PATIO, 315 S.F. COVERED AREA.
15. SIGNAGE VIEW CORRIDOR
16. EXISTING BUILDING
17. FUTURE SITE INGRESS/EGRESS
18. PROPOSED TACO BELL RESTAURANT WITH DRIVE THRU (1,944 S.F.)
19. SET BACK LINE
20. STOP & DO NOT ENTER SIGN
21. PROPERTY LINE
22. EXISTING RETAINING WALL
23. NEW RETAINING WALL MATCH EX.
24. SIDEWALK
25. EX. SCREEN WALL
26. CONTINUE ROW LANDSCAPING, MATCH EXISTING TREATMENTS
27. BICYCLE RACKS
28. ADA PATH FROM ROW
29. ADA RAMPS
30. HANDICAP PARKING SIGN
31. PED CROSSING SIGN
32. FIRST FLUSH PONDING AREAS (TYP.) - HATCHED AREAS
33. EXITING DRIVE



**SHEET SET:**

- C1.0 - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- L1.0 - LANDSCAPE PLAN
- C2.0 - GRADING & DRAINAGE PLAN
- C3.0 - UTILITY PLAN
- A4.0 - ELEVATIONS
- A4.1 - ELEVATIONS
- A4.2 - SIGNAGE CUT SHEETS
- D1.0 - DETAIL SHEET 1
- D2.0 - DETAIL SHEET 2



**MASTER LEGEND**

EXISTING		PROPOSED
	CURB AND GUTTER (SPILL)	
	ELECTRICAL BOX	
	SITE LIGHT	
	SIGN	
	MANHOLES	
	RETAINING WALL	
	UTILITY POLE	
	GAS METER	
	FIRE HYDRANT	

**HATCHING LEGEND**

	CONCRETE		LANDSCAPE
	ASPHALT		PONDING ZONES

**SITE NARRATIVE**

PALO ALTO INC. / ALVARADO CONCEPTS LLC, GLVM ARCHITECTURE AND HCI ENGINEERING ARE PLEASED TO SUBMIT THE PROPOSED AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT. THE ENCLOSED SITE PLAN ILLUSTRATES OUR INTENDED SITE CONFIGURATION REGARDING PARKING, BUILDING ORIENTATION, AND ARCHITECTURE. THE PROPOSED USE IS IDENTIFIED AS FOOD SERVICE / RETAIL, FOR FURTHER CLARIFICATION WE OFFER THE FOLLOWING:

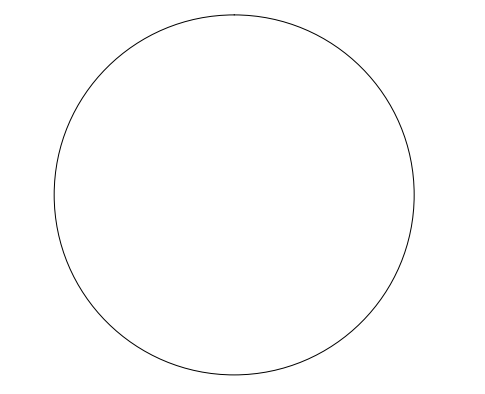
- THE PRIMARY USE FOR THIS SITE WILL BE A 1944 SF TACO BELL FAST FOOD DRIVE THRU.
- THE PRIMARY SITE ACCESS IS OFF OF AN EXISTING PRIVATE DRIVE ON THE SOUTH OF THE SITE LOCATED WHICH CONNECTS TO UNSER BLVD. NW.
- UTILITIES ARE CURRENTLY PRESENT TO THE SITE.
- THE PROPOSED BUILDING CONSTRUCTION TYPE WILL BE VB, A2. BUILDING FINISHES WILL INCLUDE MASONRY AND STUCCO WHICH WILL BE HIGHLIGHTED BY THE TOWER ELEMENT AND TRIM ELEMENTS. THIS WILL ALSO INCLUDE A COVERED OUTDOOR SEATING AREA WITH CANOPY THAT WILL TIE INTO THE OVERALL ARCHITECTURE OF THE BUILDING WHILE PROVIDING RELIEF OF THE BUILDING ELEVATIONS.
- THE PROPOSED SITE WILL BE FULLY LANDSCAPE MATCHING THE OVERALL DEVELOPMENT, THE SPECIES AND SPACING WILL REMAIN THE SAME MATCHING THE CURRENTLY APPROVED SITE PLAN.
- DRIVE THRU WILL BE SCREENED USING A MIXTURE OF LANDSCAPING AND SITE GRADING.

**KEY NOTES - EASEMENTS:**

- E1. PUBLIC ROADWAY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE (09/24/2010, 2010C-112) (HATCHED AREA)
- E2. EXISTING 10' PUBLIC UTILITY EASEMENT (08/08/1990, 90C-182)
- E3. EXISTING 15' PUBLIC WATERLINE EASEMENT (09/24/2010, 2010C-112)
- E4. EXISTING 30' SANITARY SEWER AND PUBLIC WATERLINE EASEMENT (09/24/2010, 2010C-112)
- E5. EXISTING PERPETUAL, NON EXCLUSIVE, RECIPROCAL UNDERGROUND EASEMENT ACROSS THE COMMON AREA OF EACH PARCEL FOR THE PURPOSE OF INSTALLING, MAINTAINING, OPERATING, REPAIRING, REPLACING AND RENEWING ANY AND ALL UTILITY LINES AND RELATED FACILITIES. (01/14/2010, NO. 2010-3656, 02/09/2010, NO. 2010-11182 AND 05/15/2014, NO. 2014-38924)
- E6. EXISTING PERPETUAL, NON-EXCLUSIVE RECIPROCAL DRAINAGE EASEMENT OVER, UPON, UNDER AND ACROSS THE COMMON AREA OF EACH PARCEL (01/14/2010, NO. 2010-3656, 02/09/2010, NO. 2010-11182 AND 05/15/2014, NO. 2014-38924)

**HCI ENGINEERING**  
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Tel: (316) 266-9999  
www.gfrinc.com



12134.150
△ EPC 1ST SUB 03.30.16
△ EPC 2ND SUB 05.02.16
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CONTRACT DATE: APRIL 24, 2016  
BUILDING TYPE: EXPLORER MED54  
PLAN VERSION: ARRIL 2015 (N)  
SITE NUMBER:  
STORE NUMBER:

TACO BELL  
UNSER BLVD  
ALBUQUERQUE, NM 87114



**EXPLORER**  
MEDIUM40

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**C1.0**

PROJECT NUMBER:	DATE
APPLICATION NUMBER:	DATE
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [ ] AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEVELOPMENT	DATE
ENVIRONMENTAL HEALTH, IF NECESSARY	DATE