

8 May 2017

**Cheryl Somerfeldt**  
**COA Planning Dept.**  
**201 Lomas SW**  
**Albuquerque, NM**

**Re: Submittal for McMahon Marketplace DRB**  
**Previous Case #: Z-97-138, 1001279, 1005280**

Cheryl  
Below are our responses to the conditions for approval by the  
EPC:

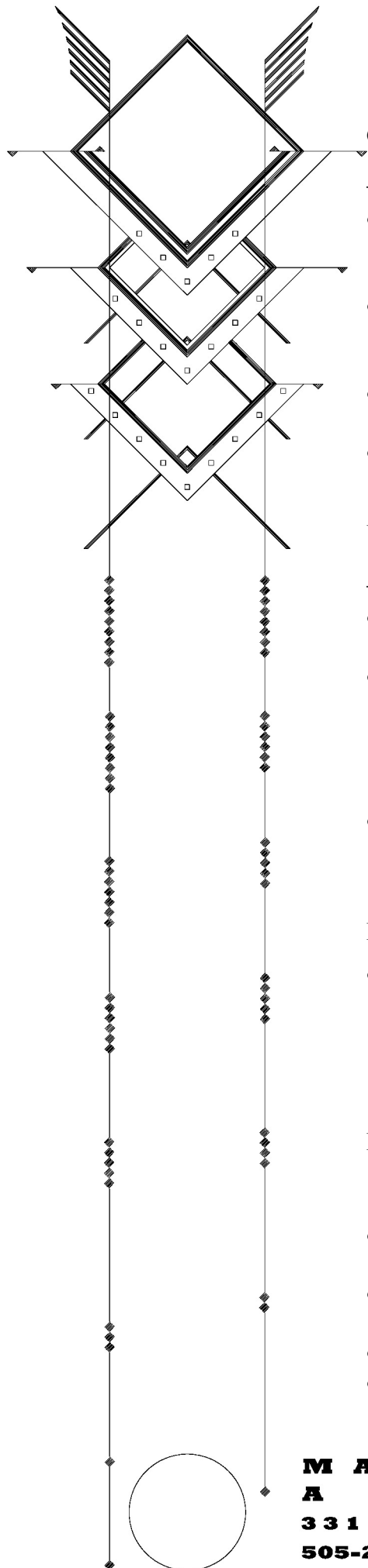
**I. CONDITIONS OF APPROVAL –16EPC-40081 – APRIL 13,  
2017 – SITE DEVELOPMENT PLAN FOR SUBDIVISION  
AMENDMENT**

- Prior to application submittal to the DRB, the applicant met with the staff planner, Cheryl Somerfeldt, to ensure that all conditions of approval were met.
- A re-plat of the lot configuration shown on the Site Plan for Subdivision is almost complete. Work being done by Russ Hugg, with Surv-Tek, Inc.
- Sign B is permitted per this request at the location shown, and the sign height is permitted to be 26 feet. The sign face has been decreased from 180 square feet to 100 square feet (per the C-1 zone). See Revised Sheet A1.6
- Sign C which is to replace the current sign on Lot 2 within the Unser Boulevard Design Overlay Zone is not being included with this submittal. If we need to submit in the future, the Unser Boulevard Design Overlay Zone standards of 75 square feet in area (see Unser Boulevard Design Overlay Zone R95-1992 above), will be adhered to.

**PLANNING - Zoning Enforcement**

- Have added to Keyed Notes that all refuse enclosures must have sanitary drain for food services.
- Have relocated trees from next to enclosures so as not to create an overhang. Shown on pg. L1.1
- Have revised site plan to scale with dimensions to verify safe refuse truck access. Pg. A1.1. See additional dimensions for individual lots on Sheets A1.2, A1.3, and A1.4 of the Site Development plan for Building Permit

**M A R T I N F M G R U M M E R**  
**A R C H I T E C T**  
**331 WELLESLEY PL NE ALBUQUERQUE, NM 87106**  
**505-265-2507** **mgrummer@centurylink.net**



## **CITY ENGINEER - Transportation Development**

### 16EPC-40081 Amended Site Development Plan for Subdivision

- Amendments apply only to Lots 2, 4, 5, 6a, 7a, 8, and 9a, 9b, 9c, and 9d. Buildings are shown when possible. No buildings for lots 6a, 9a, 9b, 9c, and 9d at this time.
- Infrastructure and/or ROW dedications may be required at DRB. Water line is being relocated on Lot 9d to route around new dumpster enclosure.
- All work within the public ROW will be constructed under a COA Work Order.
- Retail/Office/Restaurant on lot 6a has added a 6 foot pedestrian connection. See Sheet A1.1

## **Utility Services - ABCWUA:**

### 16EPC-40081 Amended Site Development Plan for Subdivision

- The proposed subdivision will maintain existing Water Utility Authority Easements.
- Shared use of private sanitary sewer exists pursuant to Section 2.02 of that certain Covenants, Conditions, Restrictions and Cross-Easements Agreement recorded as document # 2010011182 on 2/9/10 in the real property records of Bernalillo County, New Mexico.
- Any proposed line relocation of existing on site infrastructure will be coordinated with Utility Development. All public easements will be in place prior to relocation.

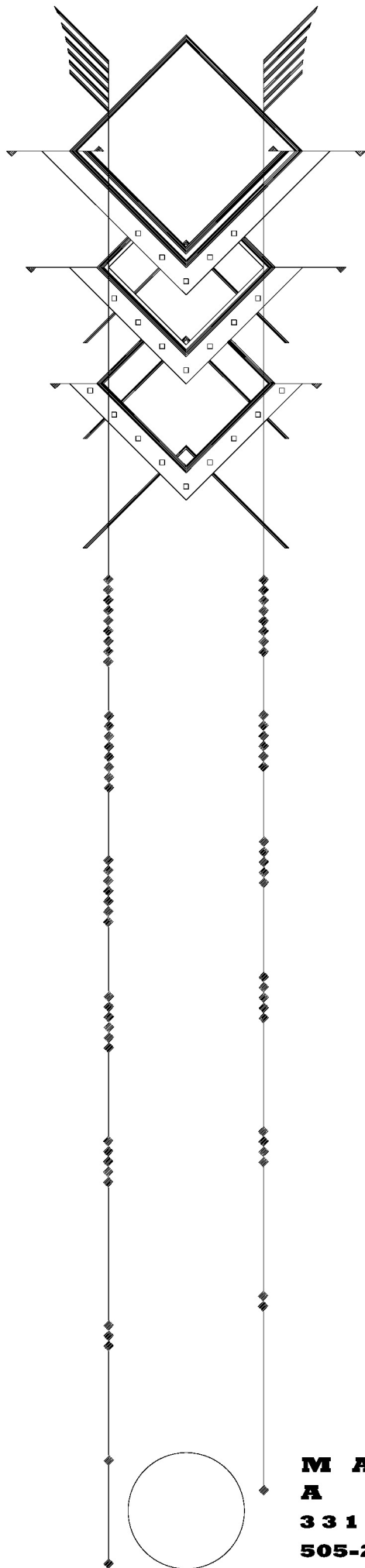
## **FIRE DEPARTMENT/Planning**

- All site development plans for subdivisions and site development plans for building permit will be submitted to the Fire Marshal's Office Plans Checking Division for an official review and approval prior to submitting for building permit for each lot as developed. We have an approved Fire 1 sheet for Lot 4 and for Lot 5.

## **II. ADDITIONAL CONDITIONS OF APPROVAL – 16EPC-40080 – APRIL 13, 2017 – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- The request complies with the amended design standards in the site development plan for subdivision for McMahon Market Place.
- Colors have been specified on Revised Design Guidelines sheet under Section E – Building Color Schedule, A-N.
- See face-on detail for the site walls on Sheet A1.4.
- Have added the dimensions for the outdoor patio spaces onto the site plans on Sheets A1.2 and A1.3. On Sheet A1.3, the outdoor patio space for the neighborhood has been moved to the southeast

**M A R T I N F M G R U M M E R**  
**A R C H I T E C T**  
**331 WELLESLEY PL NE ALBUQUERQUE, NM 87106**  
**505-265-2507 mgrummer@centurylink.net**



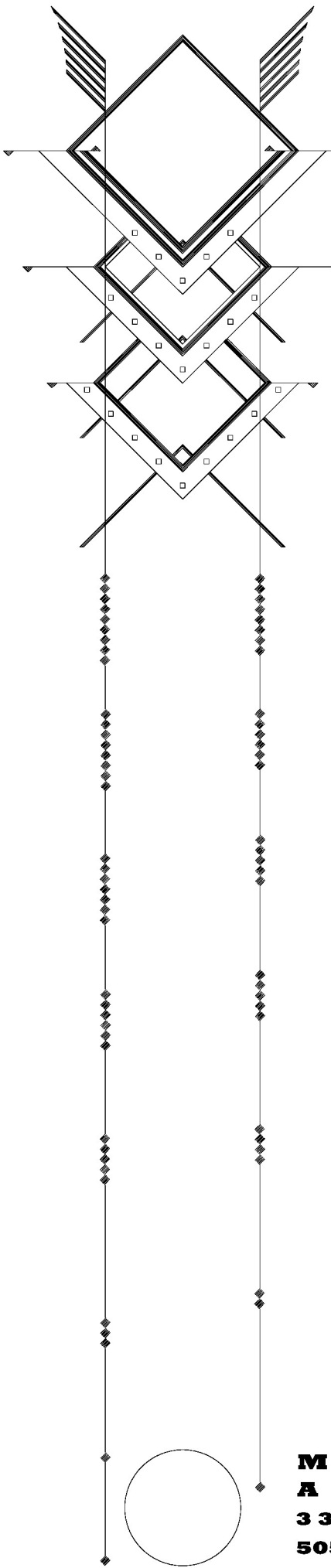
corner of the building due to grading issues on the north side of the building.

- Additional screening has been added between the proposed drive-up service window and the proposed serpentine pedestrian pathway. Have added *Chilopsis linearis* between sidewalk and drive-through aisle and added more shrubs between sidewalk and drive-through aisle at curve. See Sheets A1.2 and L1.2.
- Have added note to landscape plans to supply 2-3" of Santa Fe Brown gravel over fabric.
- Curb notches shown for supplemental irrigation on the landscaping plan and in the same location on the grading and drainage plan. See Sheets A1.2 and A1.3.
- Refuse enclosure walls to be color L (BM #1032 Brown) and gates to be color I (Silver) or color N (Rusted Steel). See Sheet A1.5.
- Speed bumps have been added to the site plan in order to slow traffic on the drive aisles. See Sheets A1.2 and A1.3.

#### **CITY ENGINEER - Transportation Development**

- All permanent improvements for transportation facilities were completed pursuant to Project #'s 777283 and 777284. See attached releases.
- Site plan will comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
- This submittal for Building Permit applies to Lots 4, 5, 6a (no bldg. at this time) and Lots 9c & 9d (no bldgs. at this time).
- Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
- Added note: "The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)" to Sheet A1.5
- See Sheets A1.2 and A1.3 for location of handicap signs on site plans.
- See Sheets A1.2 and A1.3 for drive aisle widths and radii.
- See Sheets A1.2, A1.3 and A1.4 for radii for curves shown; for passenger vehicles, the minimum end island radius for passenger vehicles is 15 ft. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
- At the drive through facility on Lot 4, a 25 foot minimum radius (inside edge) for all turns in the drive aisle has been added with a minimum drive through lane width of 12 feet.

**M A R T I N      F M      G R U M M E R**  
**A R C H I T E C T**  
**331 WELLESLEY PL NE ALBUQUERQUE, NM 87106**  
**505-265-2507** **mgrummer@centurylink.net**



- Have added pavement directional signage and a posted “Do Not Enter” sign at the point of egress. Detail and location of posted signs shown on Sheet A1.2.
- Parking spaces have been relocated so as not to cross over lot lines.
- Pedestrian path’s widths on site and at building frontages have been added.
- A landing after the handicap ramps to access the buildings has been added. (Handicap stalls have been reduced 18 feet in length.)

#### Utility Services - ABCWUA:

- Serviceability letter has been added to the submittal.

Thanks for your help guiding us through this process..

**S I N C E R E L Y**

**Martin FM Grummer**

**M A R T I N F M G R U M M E R**  
**A R C H I T E C T**  
**331 WELLESLEY PL NE ALBUQUERQUE, NM 87106**  
**505-265-2507** **mgrummer@centurylink.net**