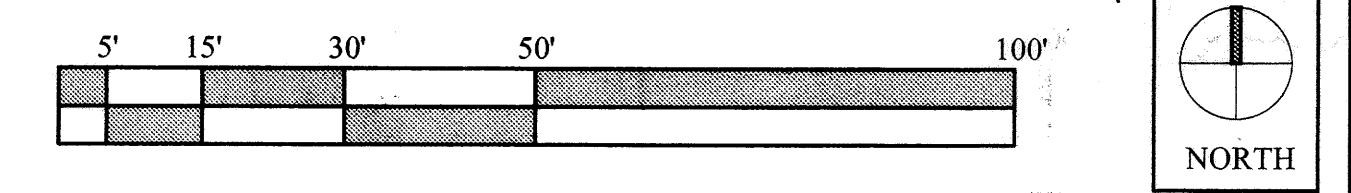


EXISTING PARKING LIGHT
see note D on sheet AS-1 and L-1

EXISTING BUILDING	= 3,528 SQ. FT.
PROPOSED STRUCTURE	= 4,500 SQ. FT.
REQUIRED RETAIL PARKING	= 3,528/200 = 18 spaces
REQUIRED WAREHOUSE PARKING	= 4,500/2000 = 3 spaces
TOTAL REQUIRED PARKING	= 21 spaces
(TOTAL DISABLED PARKING)	= 2 spaces
DISPLAY PARKING PROVIDED	= 72 spaces
THEREFORE,	TOTAL PARKING PROVIDED = 93 (designated disabled parking = 2 spaces)

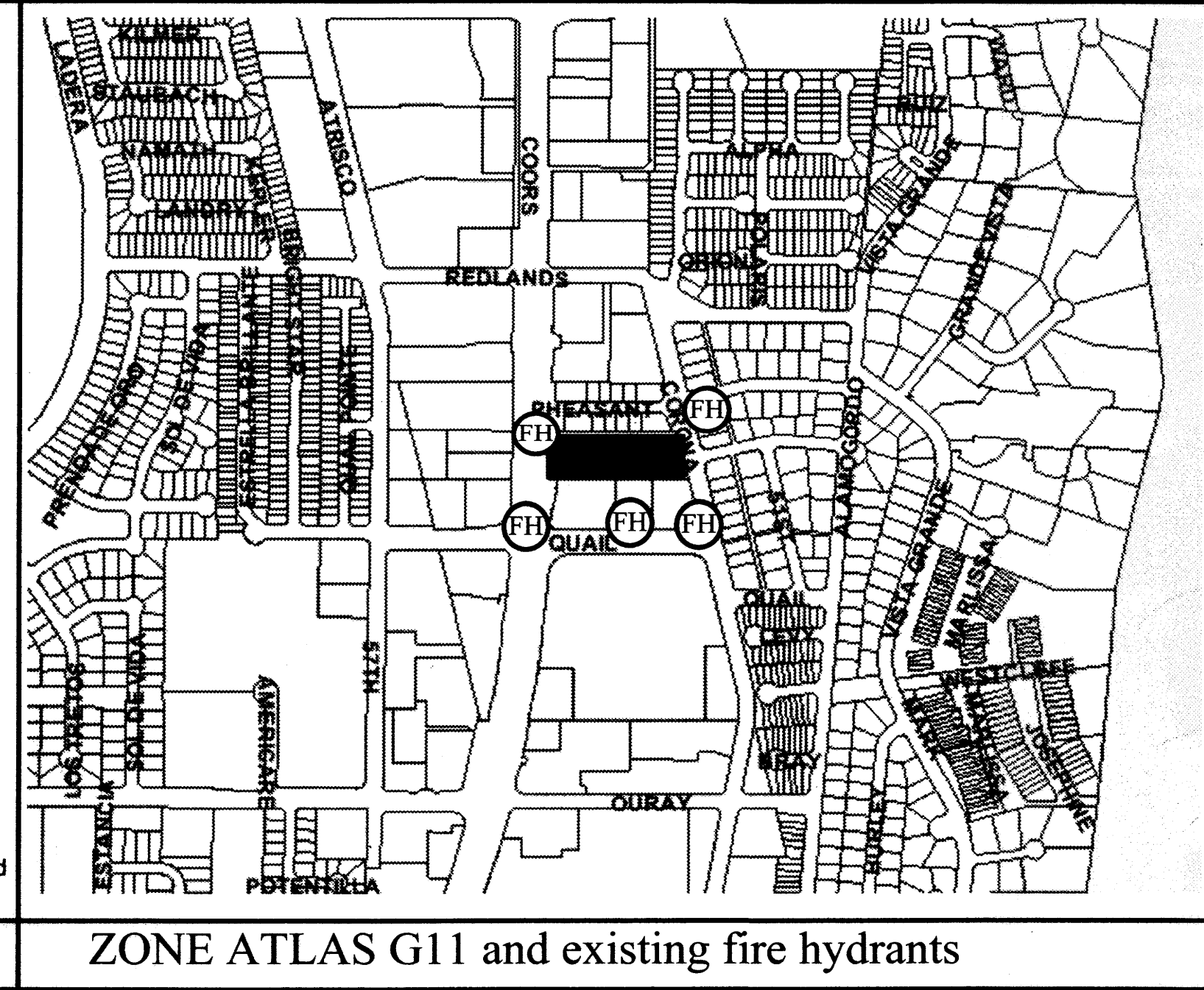


REVISED SITE PLAN

PARKING CALCULATIONS

scale: 1" = 20'-0"

Zoning: SU-1
Zoning Description: C-2 USES
Zone Atlas Page: G11
Property Address: 2922 Coors Blvd NW
UPC Number: 1011059272527112
Reference DRB: DRB-99-225
Reference EPC: Z-99-66
Owner:
 Mike Hosni
 M & F Auto Sales
 2922 Coors Blvd NW
 Albuquerque, NM 87120
 505-839-2299
Designer:
 Anissa Construction, Inc.
 1232 Western Meadows Rd NW
 Albuquerque, NM 87114
 505-250-5434
Civil Engineer:
 QuikDraw Engineering
 PO Box 729
 Corrales, New Mexico 87048
Project Description:
 This permit requests the construction of a 4,200 sq. ft. garage to be used for secure parking of inventory vehicles. One bay of the garage will be used for washing the vehicles. Project includes mechanical, electrical, and structural related to the new parking garage



- KEYED NOTES**
- Demolish existing curb cut and replace with valley gutter, curb and sidewalk to city standards section 340 and standard detail drawing 2430, and 2415A standard c & g.
 - Painted one-way arrow.
 - 4" wide painted stripping for vehicular stalls, solid lines only.
 - Existing landscape areas to be replanted and irrigation repaired according to approved landscape plan dated 4/26/98 which is attached.
 - Existing 4" wide concrete sidewalk as pedestrian access.
 - Existing curb cut as vehicular access.
 - New bike rack for two bikes.
 - New dumpster enclosure per city specifications.
 - Existing concrete drive pad at gate to remain.
 - Install new Knox-box lock on existing gate.
 - Existing asphalt to remain.
 - Existing handicapped ramp access.
 - 6" concrete slab.
 - Continuous temporary asphalt built-up curb per City Standard Dwg. 2415B
 - Continuous concrete header curb per City Standard Dwg. 2415B.
 - No parking to be indicated on asphalt for fire truck access.
 - Concrete curb stops.
 - Handicapped parking signs, see utility sheet for detail.
 - Existing monument sign.
 - Existing pole lighting to remain.
 - Existing 6' high exposed grey standard CMU wall to be raised to 8' above grade.
 - Existing 6' high brown CMU wall to be raised to 8' above grade.
 - Overhead utility line.
 - Existing landscaping on neighboring property to remain.
 - Existing 20" brown CMU wall to remain.
 - City landscaped area to remain.
 - Install sign to read, "motorcycle parking only"
 - Existing concrete curb cut and concrete sidewalk to remain.

PROJECT NUMBER: EPC 1005282
APPLICATION NUMBER: DRB-99-225 01924-20170

This plan consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 20, 2007 and that the Findings and Conditions in the Official Notice are satisfied.
 Is an Infrastructure List required: () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

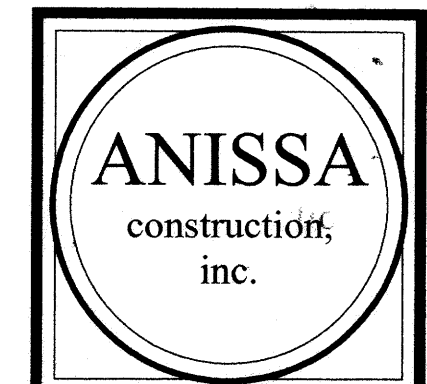
<i>[Signature]</i>	8-22-07	Michael Helton	8/29/07
Traffic Engineering, Transportation Division	DATE	Solid Waste Management	DATE
<i>[Signature]</i>	8-22-07	Matson	9/05/07
ABCWUA	DATE	DRB Chairperson, Planning Department	DATE
<i>[Signature]</i>	8/22/07	<i>[Signature]</i>	8-28-07
Parks and Recreation Department	DATE	FIRE MARSHAL, FIRE DEPT. PLAN CHECK	DATE
<i>[Signature]</i>	8/22/07	<i>[Signature]</i>	8-21-07
City Engineer	DATE	Owner Mike Hosni	DATE
N/A			
* Environmental Health Department (conditional)	DATE		

PROJECT INFORMATION

ZONE ATLAS G11 and existing fire hydrants

KEYED NOTES

* Environmental Health Department (conditional) DATE



EPC #1005396
 EPC #1005282
 EPC #07 EPC-00286
 DRB #DRB-99-225

**M & F Auto
 PARKING GARAGE
 SITE PLAN FOR BUILDING PERMIT**

2922 Coors Blvd NW
 Albuquerque, New Mexico
 1 April 2007 revised 8/18/2007

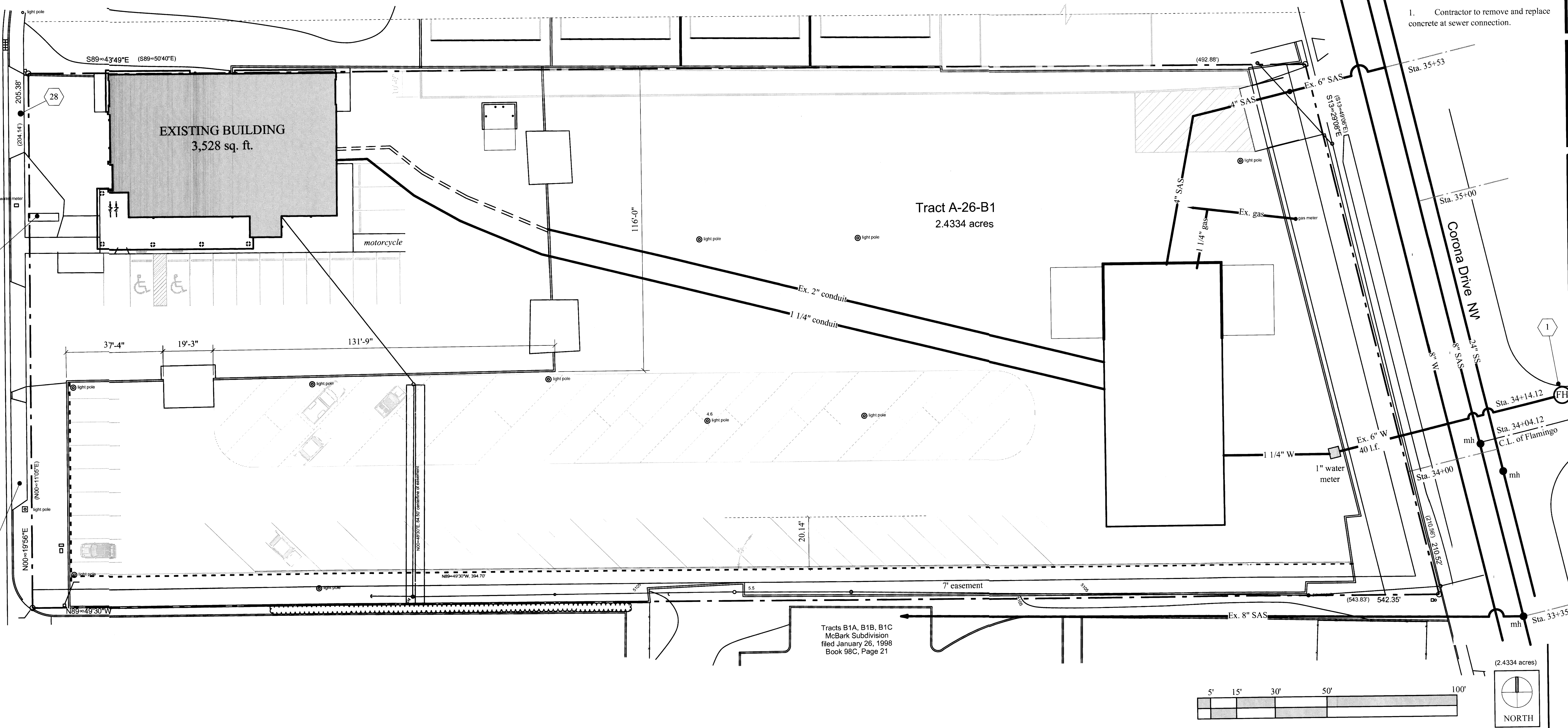
Anissa Construction, inc.
 505) 250-5434
 1232 Western Meadows Rd NW
 Albuq., NM 87114
 (fax) 505-898-5811

AS-1
 page 1 of 11

2885081 #

Coors Road NW

Coors Frontage Road NW
18' ROW - One Way



GENERAL NOTE:
1. Contractor to remove and replace concrete at sewer connection.



EPC #1005396
EPC #1005282
EPC #07 EPC-00286
DRB #DRB-99-225

M & F Auto
PARKING GARAGE
CONCEPTUAL UTILITY PLAN

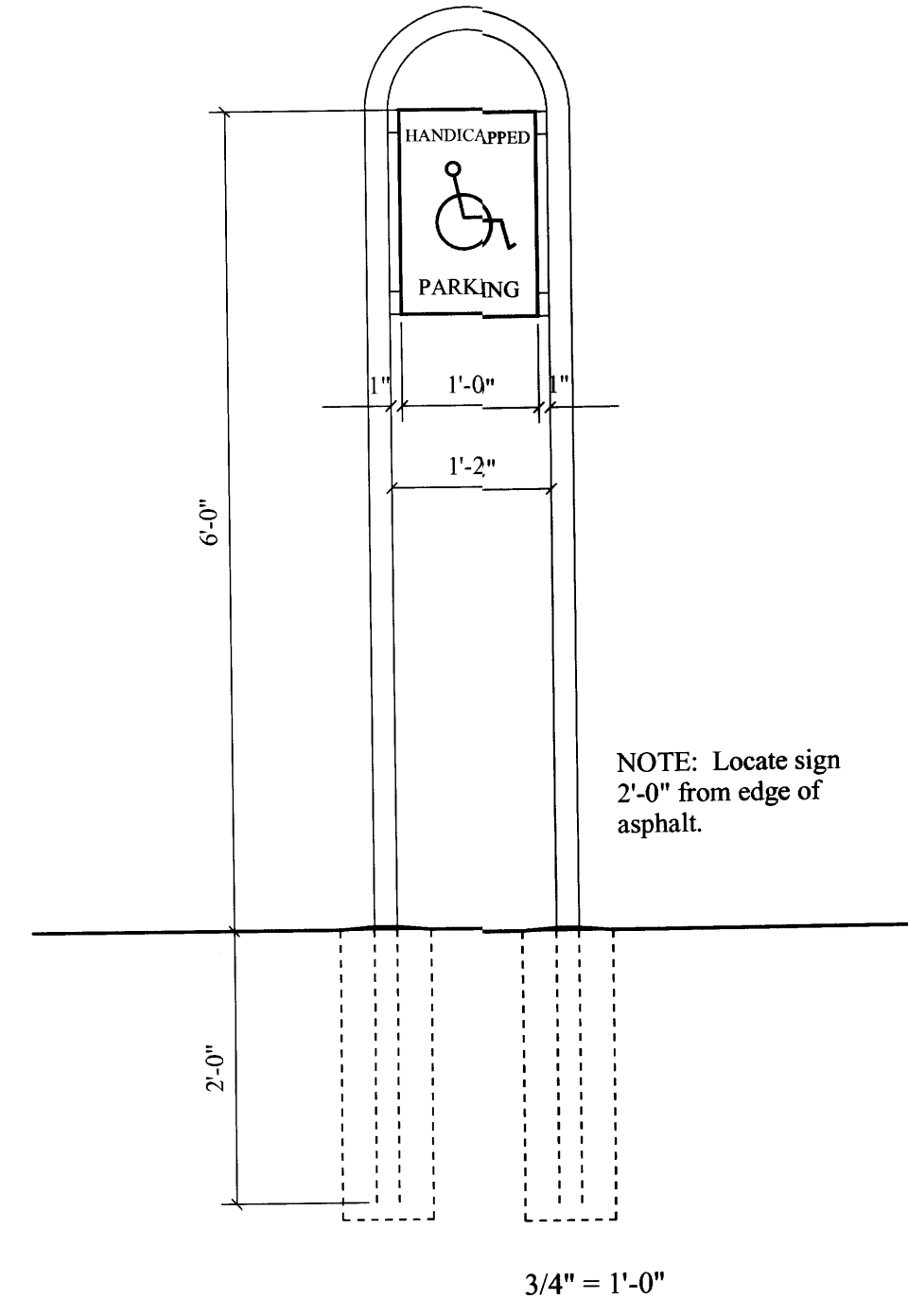
2922 Coors Blvd NW
Albuquerque, New Mexico
1 April 2007 revised 8/18/2007

Anissa Construction, inc.
505) 250-5434
1232 Western Meadows Rd NW
Albuc., NM 87114
fax) 505-898-5811

AS-2
page 2 of 11

CONCEPTUAL UTILITY PLAN

- 1. Existing fire hydrant



NOTE: Locate sign 2'-0" from edge of asphalt.

HANDICAP PARKING SIGN

KEYED NOTES

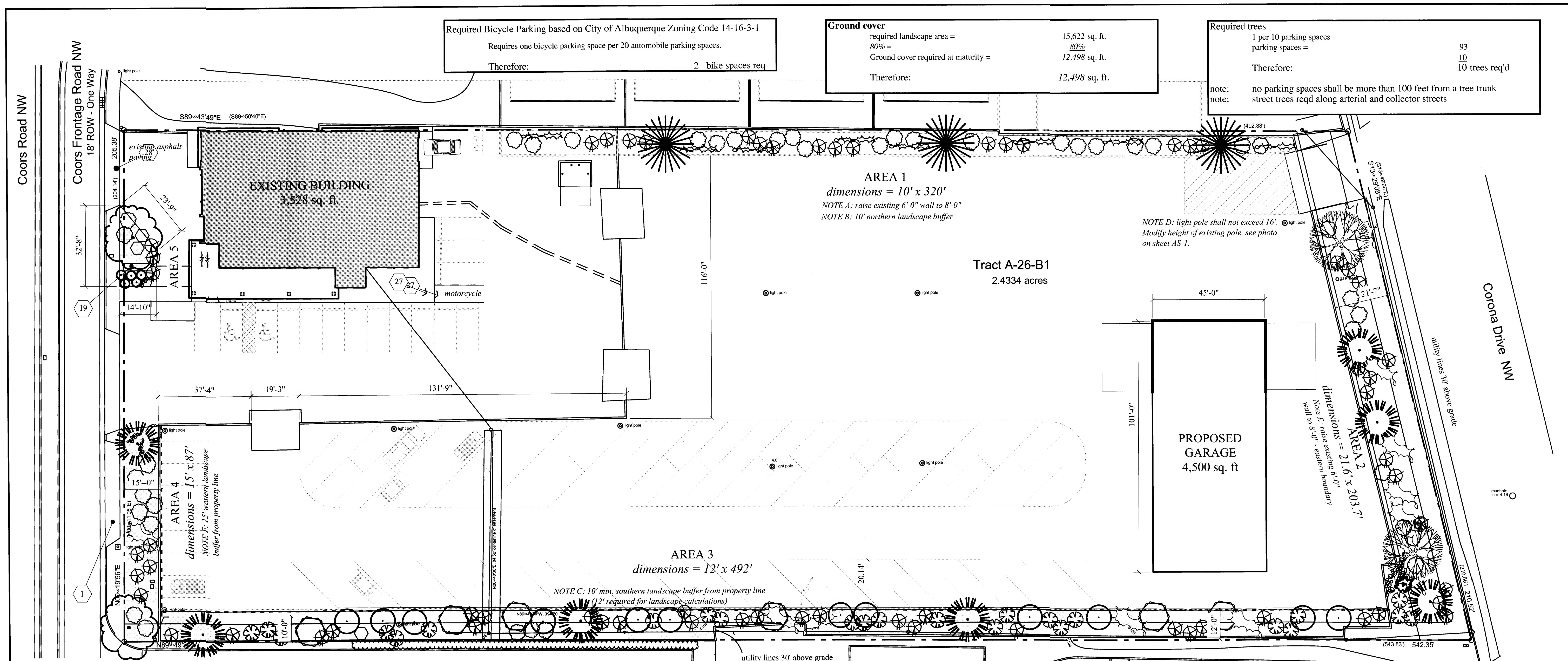


EPC #1005396
EPC #1005282
EPC #07 EPC-00286
DRB #DRB-99-225

**M & F Auto
PARKING GARAGE
LANDSCAPE PLAN**

**2922 Coors Blvd NW
Albuquerque, New Mexico**
1 April 2007 revised 8/18/2007

Anissa Construction, inc.
505-250-5434
1232 Western Meadows Rd NW
Albuq., NM 87114
fax) 505-898-5811



Required Bicycle Parking based on City of Albuquerque Zoning Code 14-16-3-1
Requires one bicycle parking space per 20 automobile parking spaces.
Therefore: **2 bike spaces req'd**

Ground cover
required landscape area = 15,622 sq. ft.
80% = 12,498 sq. ft.
Ground cover required at maturity = 12,498 sq. ft.
Therefore: **12,498 sq. ft.**

Required trees
1 per 10 parking spaces
parking spaces = 93
Therefore: **10 trees req'd**
10 trees req'd
note: no parking spaces shall be more than 100 feet from a tree trunk
note: street trees req'd along arterial and collector streets

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive (6) 1.5 GPH Drip Emitters. Contractor option: flood style bubblers with a 2" diameter soil berm. Root zone must be watered to a depth of 2' feet.
Shrubs to receive (2) 1.0 GPH drip emitters. Drip and bubbler systems to be tied to 1/2" poly pipe with flush caps to each end. The irrigation system will comply with the Albuquerque Water Waste Ordinance 56-1977.

Wildflowers to receive (1) 1.0 GPH drip emitter.
During the establishment phase, run time per each drip valve will be approximately fifteen minutes *once every 1-2 days if planted in summer, every 2-3 days if planted in Fall/Winter.*
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
Irrigation will be operated by automatic controller.

Landscape maintenance will be the responsibility of the Owner.
LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 80% live ground cover at maturity.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/NOTES	Count	water usage
	<i>Pistachia chinensis</i>	CHINESE PISTACHE	2 1/2" cal.	2	M
	<i>Gleditsia triacanthos</i>	HONEY LOCUST	2 1/2" cal.	5	H
	<i>Pinus</i>	AFGHAN PINE	6'	7	M
	<i>Sambucus mexicana</i>	MEXICAN ELDER	15 gal.	1	L
	<i>Chilopsis linearis</i>	DESERT WILLOW	5 gal.	6	L
	<i>Albizia julibrissin rosea</i>	MIMOSA	5 gal.	12	M
	<i>Raphiolepis Indica</i>	INDIAN HAWTHORN	5 gal.	63	M
	<i>Campsis radicans</i>	TRUMPET VINE	1 gal.	8	M

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/NOTES	Count	water usage
	<i>Robinia x ambigua</i>	PURPLE ROBE	2 1/2" cal.	3	M
	<i>Oenothera sp.</i>	EVENING PRIMROSE	5 gal.	11	L/M
	<i>Salvia greggii</i>	AUTUMN SAGE	5 gal.	3	M
	<i>Falugia paradoxa</i>	APACHE PLUME	5 gal.	42	M
	<i>Chrysothamnus Nauseosus</i>	CHAMISA	1 gal.	24	L
	Wildflower	WILDFLOWER	1 gal.	5	M
		Oversized gravel and boulders			
		3/4" grey gravel			

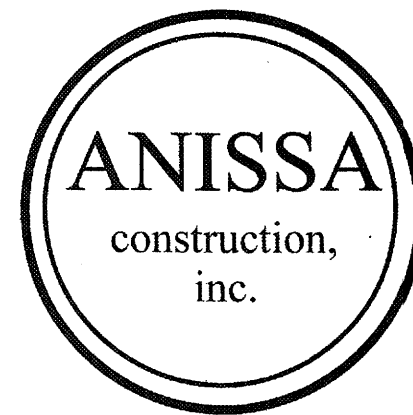
Landscape Calculations

net lot area = total area of lot - building foot print
total lot area = 105,999 sq. ft.
building footprint = 8,028 sq. ft.
net lot area = 97,971 sq. ft.

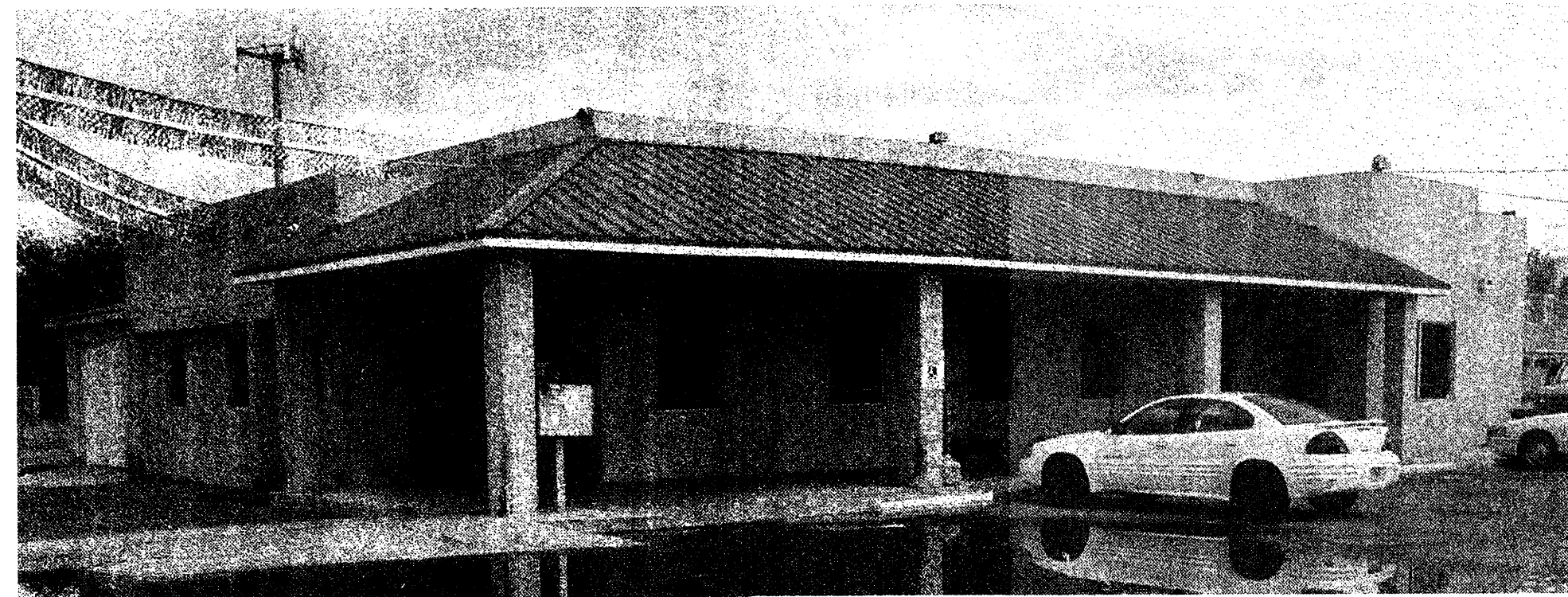
required landscaping = net lot area x 15%
net lot area = 97,971
15%
Therefore: 14,696 sq. ft. req'd

Landscape Area	Sq. Footage
1	3,200
2	4,400
3	5,904
4	1,305
5	330
total sq. ft.	15,139

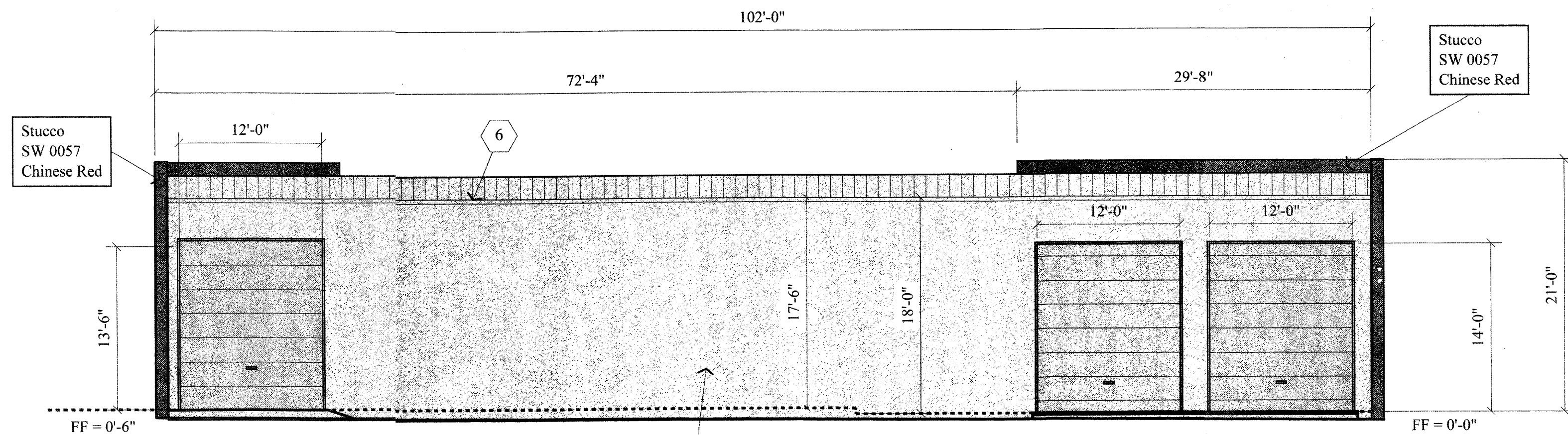
SUFFICIENT



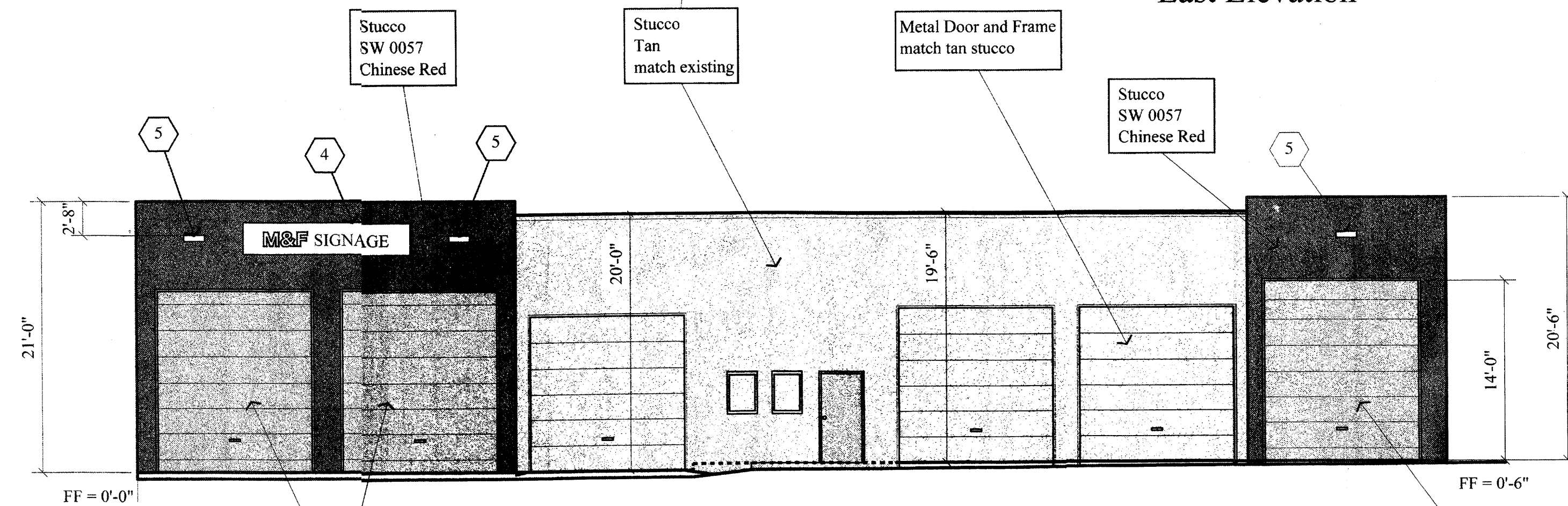
505-250-5434
 1232 Western Meadows Rd NW
 Albuquerque, NM 87114
 505-898-1944 office
 505-898-5811 fax
 hogelandanissa@aol.com



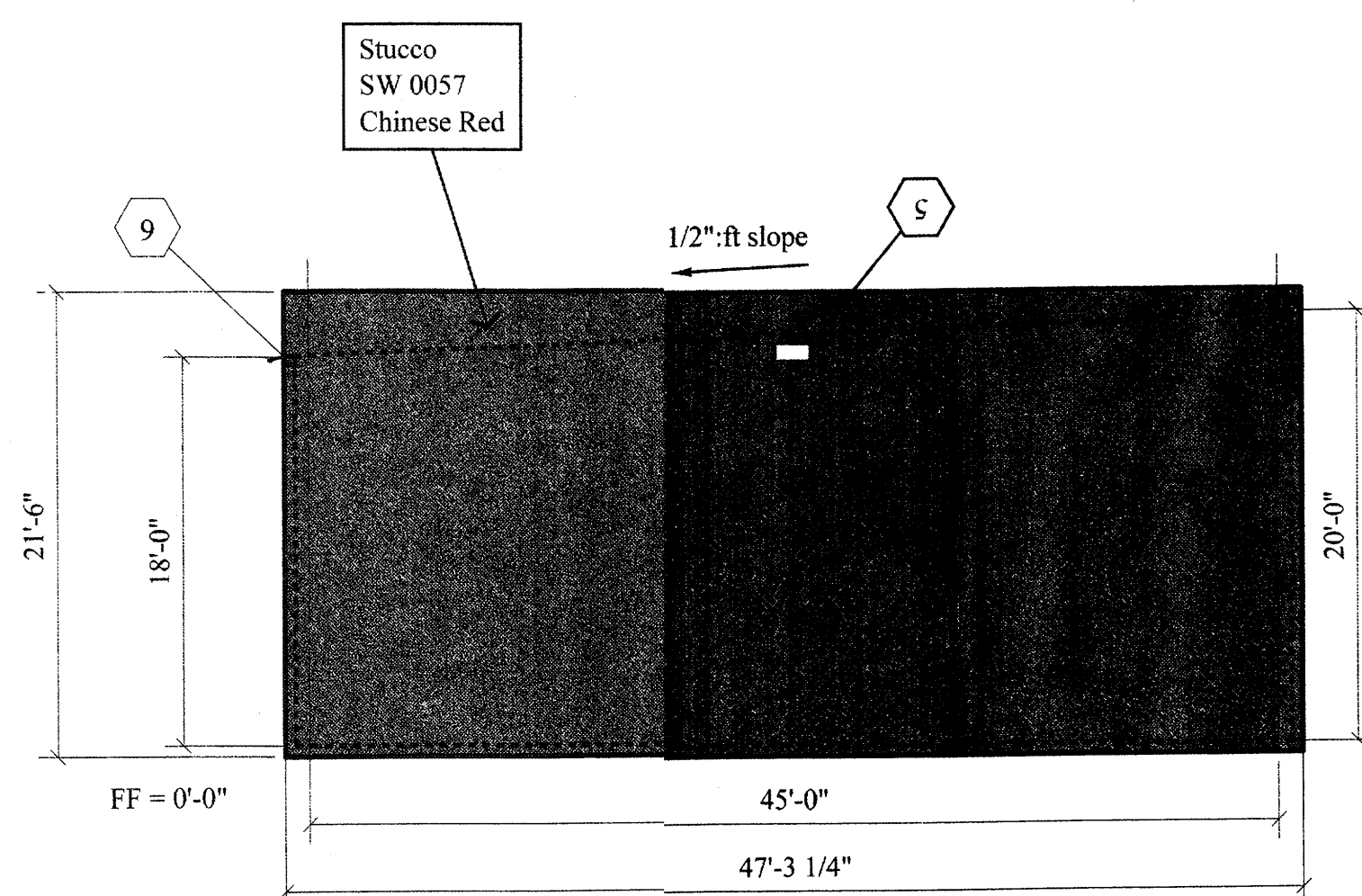
Existing Building on property



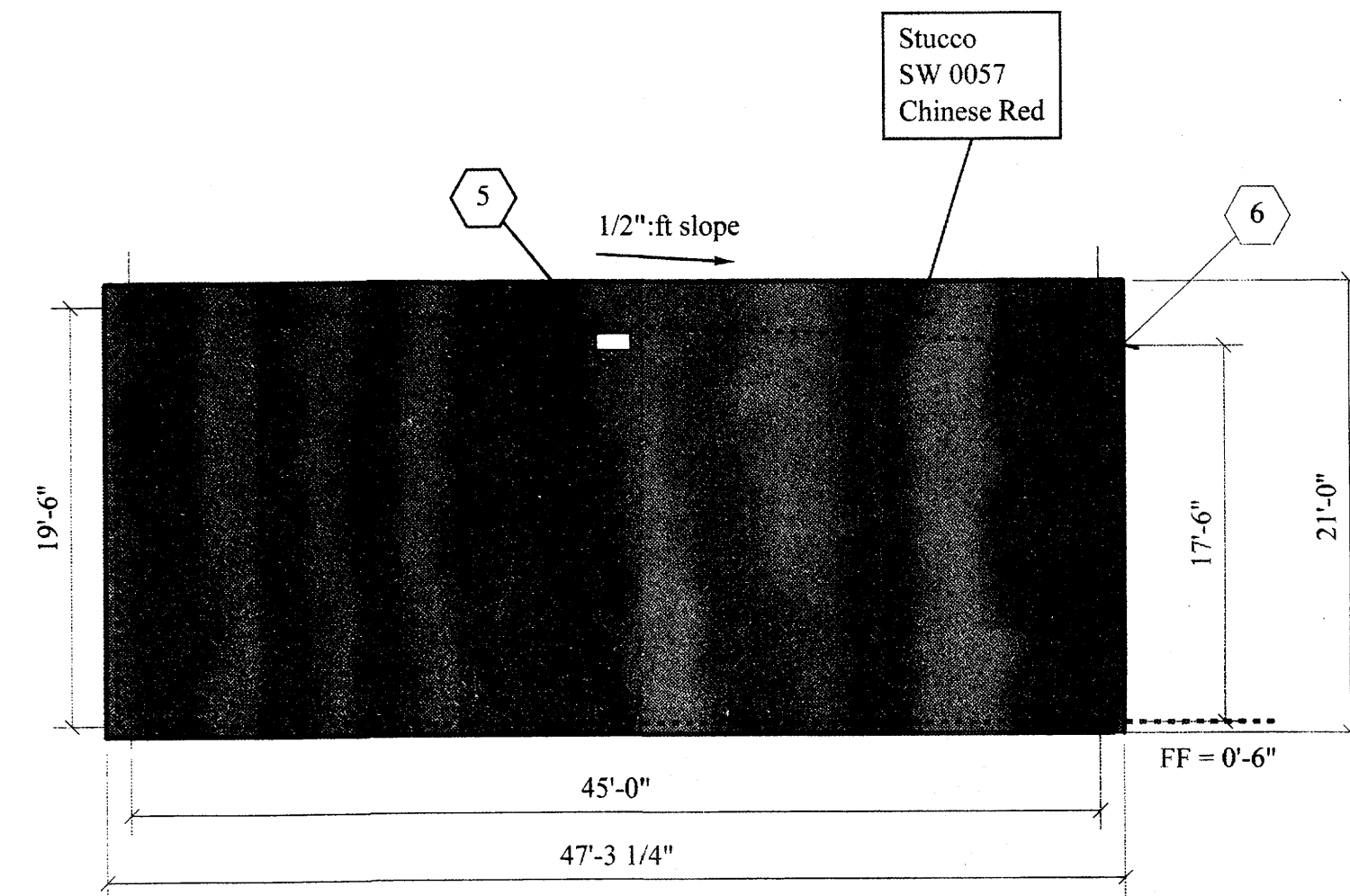
East Elevation



West Elevation



North Elevation



South Elevation

EXTERIOR ELEVATION - M & F Auto @ 2922 Coors Blvd NW, Albuquerque, NM

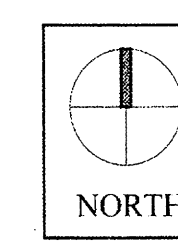
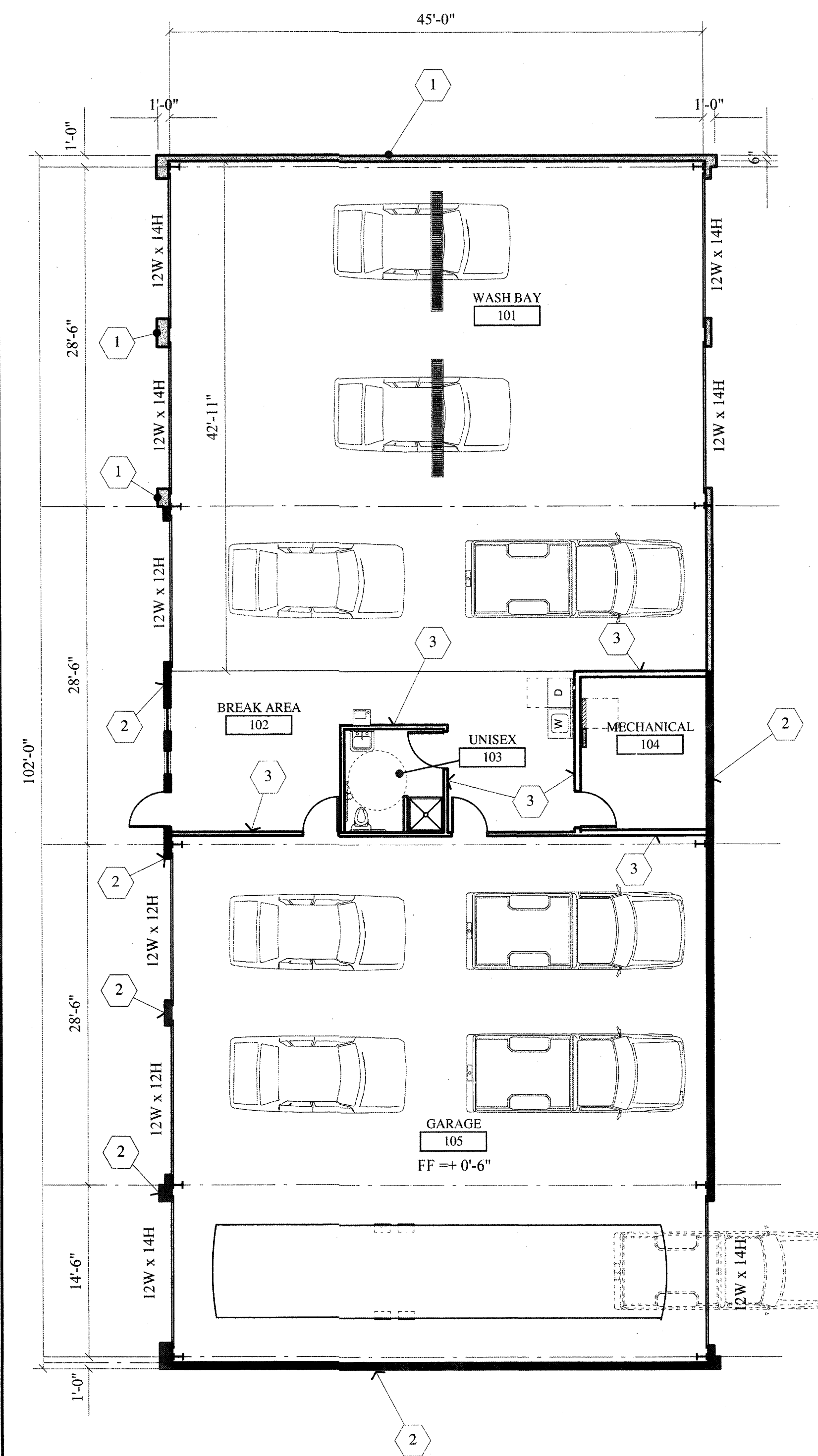
5/6/07

scale: 1/8" = 1'-0"

GENERAL NOTES

general note: door, windows, and sectional doors provided by general contractor

keyed note	poche	description
1	[Pattern]	6", 16 ga steel stud wall @ 16" o.c., R-19 fiberglass insulation exterior: three coat stucco system interior: liner panel
2	[Pattern]	6", 16 ga steel stud wall @ 16" o.c., R-19 fiberglass insulation exterior: three coat stucco system interior: 5/8" gypsum wallboard
3	[Pattern]	6", 24 ga steel stud wall @ 16" o.c., uninsulated exterior: none interior: 5/8" gypsum wallboard

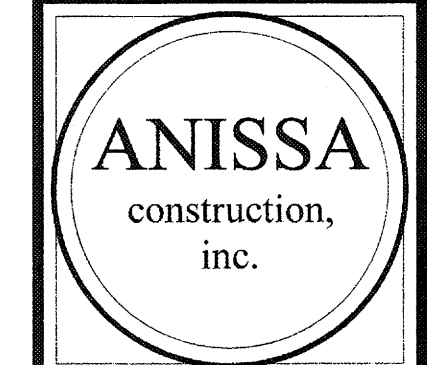


FLOOR PLAN

scale: 1/8" = 1'-0"

KEYED NOTES

1. See wall schedule.
2. See wall schedule.
3. See wall schedule.
4. Internally illuminated signage on the western facade only.
5. Exterior down light wall mounted fixtures.
6. External gutter, provided by metal building supplier.



EPC #1005396
 EPC #07 EPC-00286
 DRB #DRB-99-225

M & F Auto GARAGE
 Floor Plan and Exterior Elevations

2922 Coors Blvd NW
 Albuquerque, New Mexico
 7 March 2007 revised 6/18/2007

Anissa Construction, inc.
 505 250-5434
 1232 Western Meadows Rd NW
 Albuquerque, NM 87114
 fax) 505-898-5811

A-1
 DRB (7/18/2007)
 X OF 11

M & F AUTO SALES GRADING & DRAINAGE

2922 COORS BLVD. N.W.
ALBUQUERQUE, NEW MEXICO 87120

NOTE:

SURVEY PER USGS MODIFIED TOPO.

GENERAL NOTES:

1. GRADING ACTIVITIES ON ADJACENT PROPERTY OR RIGHTS-OF-WAY WITHOUT WRITTEN PERMISSION FROM THE OWNER IS TRESPASSING AND THEREFORE ILLEGAL.
2. SLOPES SHALL BE NO STEEPER THAN 4H:1V PER CITY CODE/ POLICIES. IF THERE IS SUFFICIENT SLOPE PROTECTION (I.E. PLANTINGS, ROCK COVER, SHOTCRETE/ CONCRETE) SLOPES MAY BE NO STEEPER THAN 3H:1V.
3. A SEPARATE WALL PERMIT MUST BE OBTAINED FROM THE CITY OF ALBUQUERQUE DEPARTMENT.
4. DEVELOPMENT AND CONSTRUCTION OF THIS GRADING/ DRAINAGE PLAN WILL NOT ADVERSELY AFFECT OTHER PROPERTIES.
5. IF SOLID WALLS ARE BUILT AROUND PERIMETER OF THE LOT OWNER WOULD NEED TO RE-ENGINEER GRADING AND DRAINAGE PLAN.

EXISTING CONDITIONS

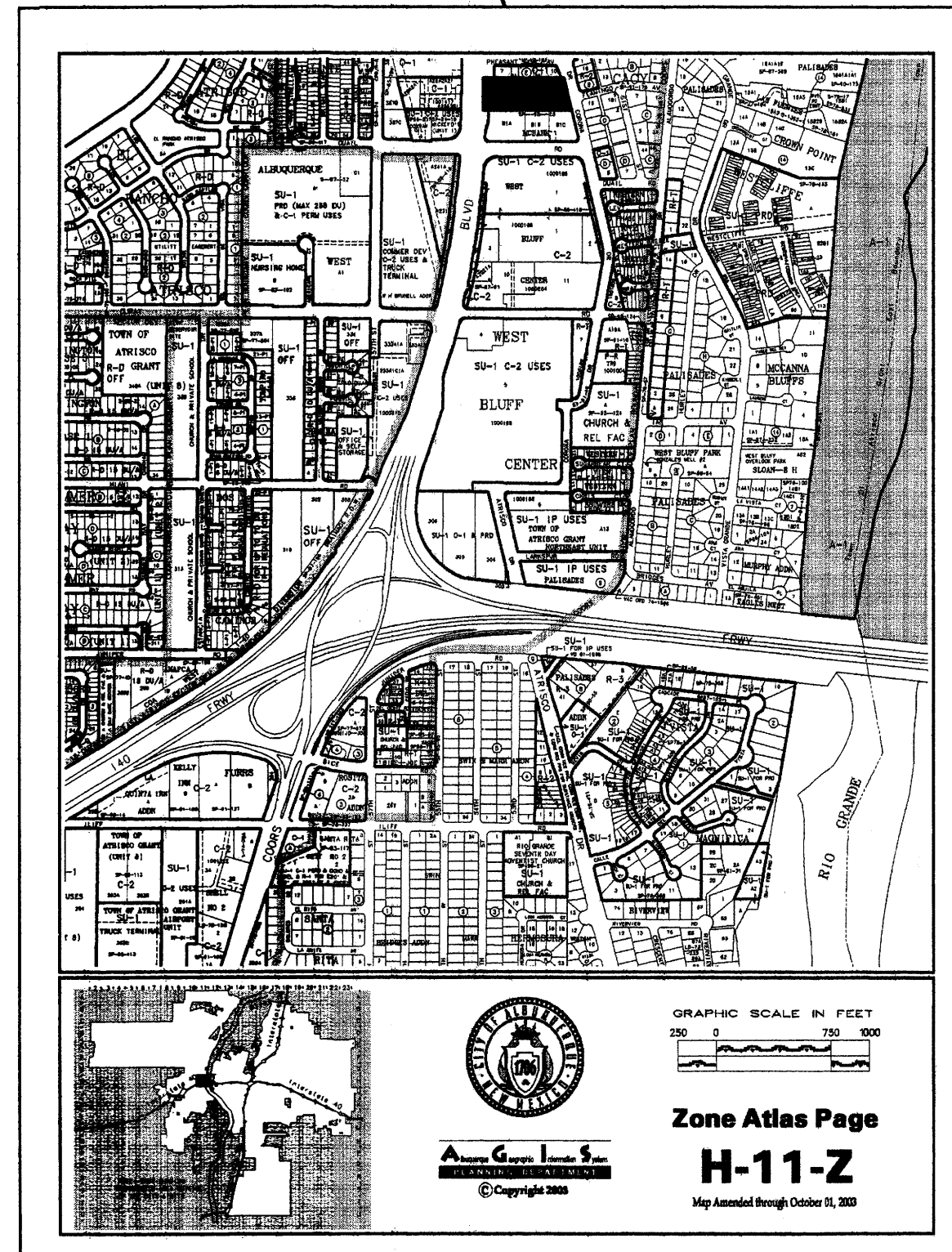
PRESENTLY THE 2.4334 ACRE SITE IS DEVELOPED. THE SITE IS BOUNDED ON THE EAST SIDE BY COOR BLVD., ON THE WEST SIDE BY CORONA DR., NORTH AND SOUTH SIDES BY PRIVATE PROPERTY. SITE TOPOGRAPHY SLOPES TOWARDS THE EAST SIDE OF THE LOT.

THE SITE IS NOT LOCATED IN A 100-YEAR FLOOD PLAIN.

PROPOSED CONDITIONS

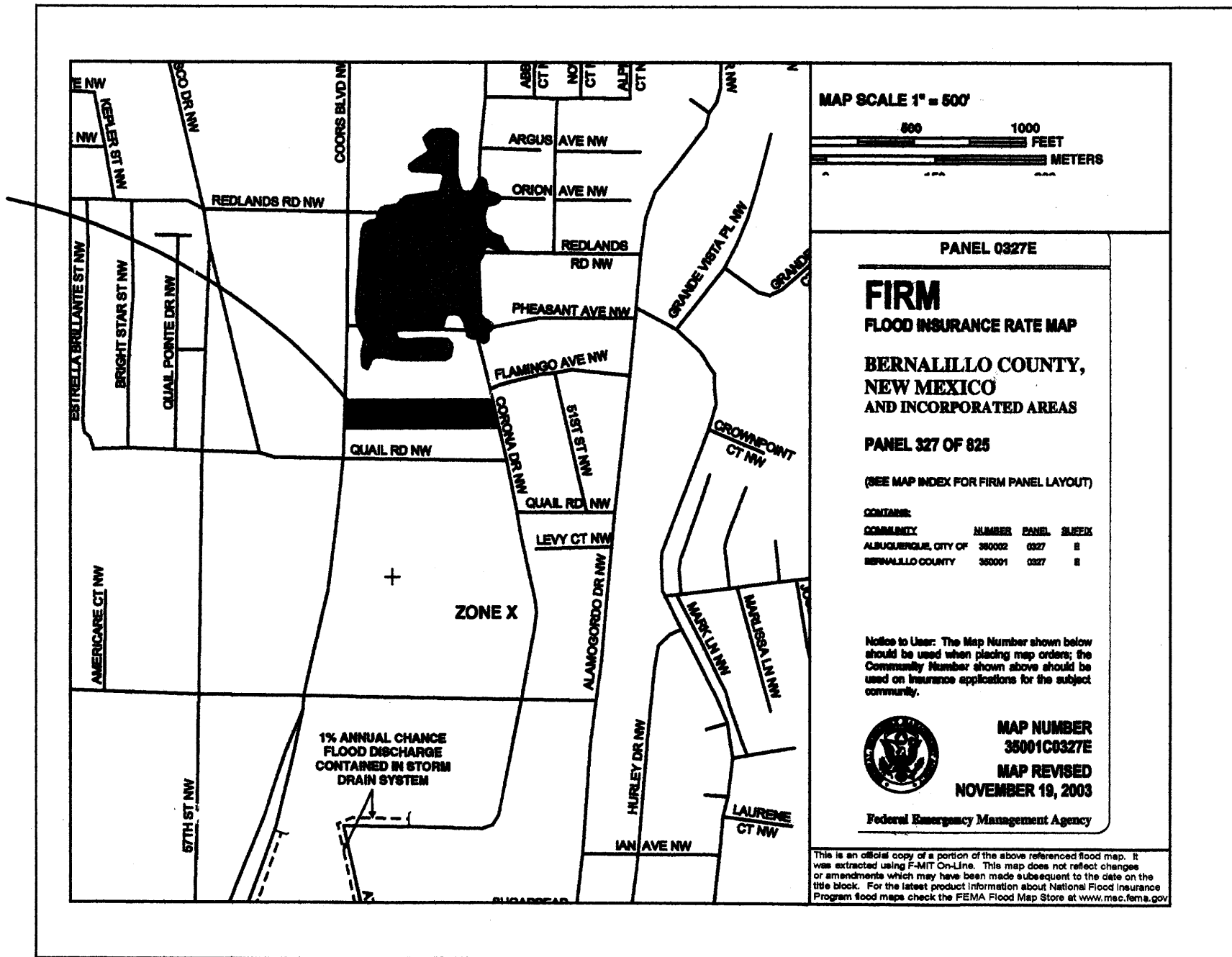
AS SHOWN, THE PROPOSED PAD IS LOCATED 30.77' FROM THE FRONT OF THE PROPERTY. ON DEVELOPED SITE FLOWS WILL FLOW TO THE FREE DISCHARGE LOCATED ON THE EAST SIDE OF THE LOT.

SITE



VICINITY/ZONE MAP H-11-Z

SITE



FEMA MAP #35001C0327E

PROPOSED INPUT

```

*
* *****
* *M&F AUTO
* *100 YEAR 6 HOUR PROPOSED CONDITIONS
* *8000 SF IMPERVIOUS AREA
* *****
START TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-6
RAINFALL TYPE=1 RAIN QUARTER=0.0
RAIN ONE=1.87 IN RAIN SIX=2.2 IN
RAIN DAY=2.66 IN DT=0.033333 HRS
*
COMPUTE NM HYD ID=1 HYD NO=D1 DA=0.0038021 SQ MI
PER A=70 PER B=0 PER C=8 PER D=22
TP=-0.1333 HR MASS RAIN=-1
*
PRINT HYD ID=1 CODE=1
FINISH
    
```

PROPOSED OUTPUT

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
INPUT FILE = P:\BCLNT~1\100prop6.txt

- VERSION: 1997.02d RUN DATE (MON/DAY/YR) =12/12/2006
USER NO.= AHYMO-I-9702c01000X43-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
START RAINFALL TYPE= 1									TIME= .00	
COMPUTE NM HYD		D1	-	1	.00380	5.02	.164	.80697	1.500	2.062 PER IMP= 22.00
FINISH										

5.02 CFS DISCHARGE VOLUME

	OWNER:	M & F AUTO SALES
	TITLE:	ALBUQUERQUE, NEW MEXICO
DATE:	12/06	TRACT-A-25-B1
SCALE:	AS SHOWN	GRADING & DRAINAGE
DESIGNED BY:	SAT	QuikDraw ENGINEERING, L.L.C.
CHECKED BY:	JUE	P.O. Box 729 Corrales, NM 87048 Office (505) 898-0389 Fax (505) 897-0389

DRB (7/18/2007)
5 OF 11
2

INDEX OF DRAWINGS

- G1 COVER SHEET
- C1 SITE PLAN
- G2 GRADING AND DRAINAGE PLAN
- L1 LANDSCAPE PLAN
- A2 EXISTING BUILDING ELEVATIONS AND PROPOSED MODIFICATIONS

<i>David L. Stang</i> ARCHITECT	8-4-99 DATE
<i>Richard [unclear]</i> TRACER	8-04-99 DATE
<i>Roger [unclear]</i> Water Resources	8-4-99 Date
<i>Frank [unclear]</i> City Engineer	8/27/99
<i>Janet [unclear]</i> City Planning	9/3/99

General Notes

1. TOWN OF ATRISCO, UNIT TRACT 100, 26A-B
2. SURVEYOR: BANDIA LAND SURVEYING, JANUARY 21, 1999
3. BENCH MARK: CITY OF ALBUQUERQUE SURVEY MONUMENT BRASS CAP #124411 ELEVATION 5102.169
4. THIS SITE IS PART OF A FLOOD HAZARD AREA FLOODWAY
5. SOILS: SITE CONSIST OF MADURRE - WINK (FINE SANDY LOAM AND SANDY CLAY LOAM) HYDROLOGIC SOIL GROUP "B"

6. AREA TO BE RE-GRADED IS LESS THAN ONE ACRE
7. TOTAL EARTHWORK IS LESS THAN 500 CU YDS
8. NEW PAVING REQUIRED IS LESS THAN 1000 SQ. FT.

Existing Conditions

AT THE PRESENT THERE IS AN EXISTING BUILDING WITH A PAVED PARKING LOT. THE NORTH AND EAST SIDE OF THE SITE BORDER TOWNHOUSES AND SINGLE FAMILY DWELLINGS. THERE IS SOME LANDSCAPING AT THE NORTHEAST CORNER OF THE PROPERTY AND A CMU WALL ALONG PART OF THE NORTH BOUNDARY. THE SOUTH SIDE OF THE SITE BORDERS AN OFFICE/COMMERCIAL PROPERTY. AT THE SOUTHEAST CORNER AND A FILLING STATION AT THE SOUTHWEST CORNER. THERE IS LANDSCAPING ALONG THE ENTIRE SOUTH SIDE OF THE ADJACENT PROPERTY AS WELL AS A CMU WALL STARTING AT THE REAR OF THE FILLING STATION AND EXTENDING TO THE SOUTHWEST CORNER OF THE PROPERTY. THE WEST SIDE OF THE FILLING STATION LOT IS LANDSCAPED ALONG THE STREET EDGE.

Proposed Scope Of Work:

NEW CONSTRUCTION WILL CONSIST OF LANDSCAPING AND SITE DRAINAGE IMPROVEMENTS AS WELL AS GRAVEL IN THE CAR SALES DISPLAY AREA. THE CURB CUT AT THE SOUTHWEST CORNER OF THE SITE WILL BE REMOVED AND REPLACED WITH SIDEWALK TO MATCH EXISTING. A DRIVE PAD WILL BE ADDED TO THE CURB CUT AT THE EAST END OF THE SITE. A NEW HEADER CURB WILL BE CONSTRUCTED AT THE NORTHWEST CORNER OF THE SITE TO AID IN SITE DRAINAGE. THE EXISTING CMU WALL ON THE NORTH SIDE OF THE SITE WILL BE EXTENDED TO THE EAST BOUNDARY AND NEW SECURITY FENCING WILL BE INSTALLED AROUND THE INVENTORY DISPLAY AREA. BUSINESS WILL BE CONDUCTED DURING DAYLIGHT HOURS ONLY. THE INVENTORY DISPLAY AREA IS CURRENTLY LAYED OUT FOR 145 SPACES.

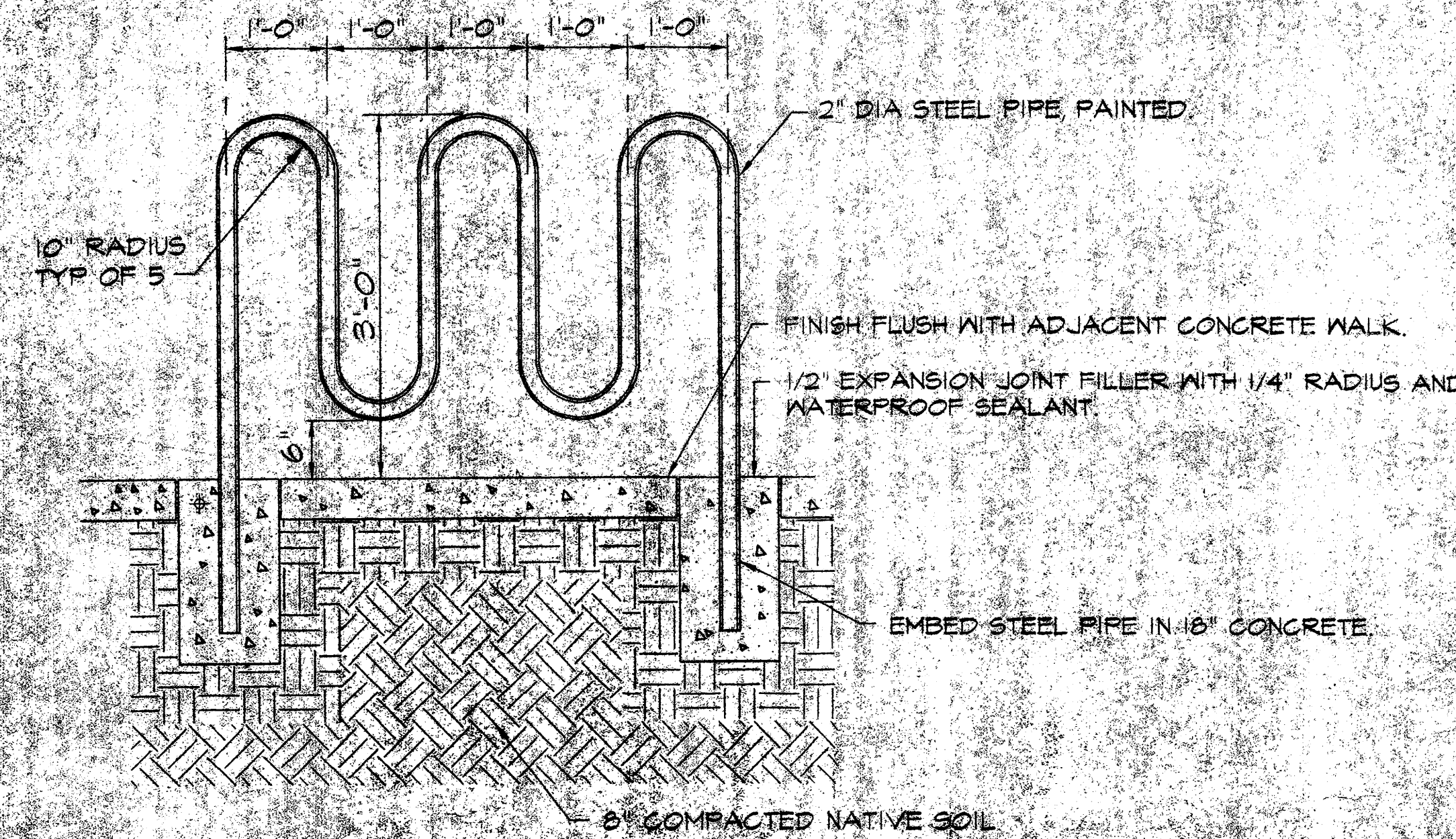
Parking Requirements

OFFICE: 3325/200 = 17625
 TOTAL REQUIRED: 18
 TOTAL PROVIDED: 18
 (INCLUDING 1 VAN ACCESSIBLE HC PARKING SPACE)

BICYCLE PARKING: 1 SPACE REQUIRED
 ONE SPACE FOR EACH 25 PARKING SPACES: 3 PROVIDED

Utilities

EXISTING PRIVATE UTILITIES ON SITE CONNECT WITH CITY SERVICES



BIKE RACK DETAIL

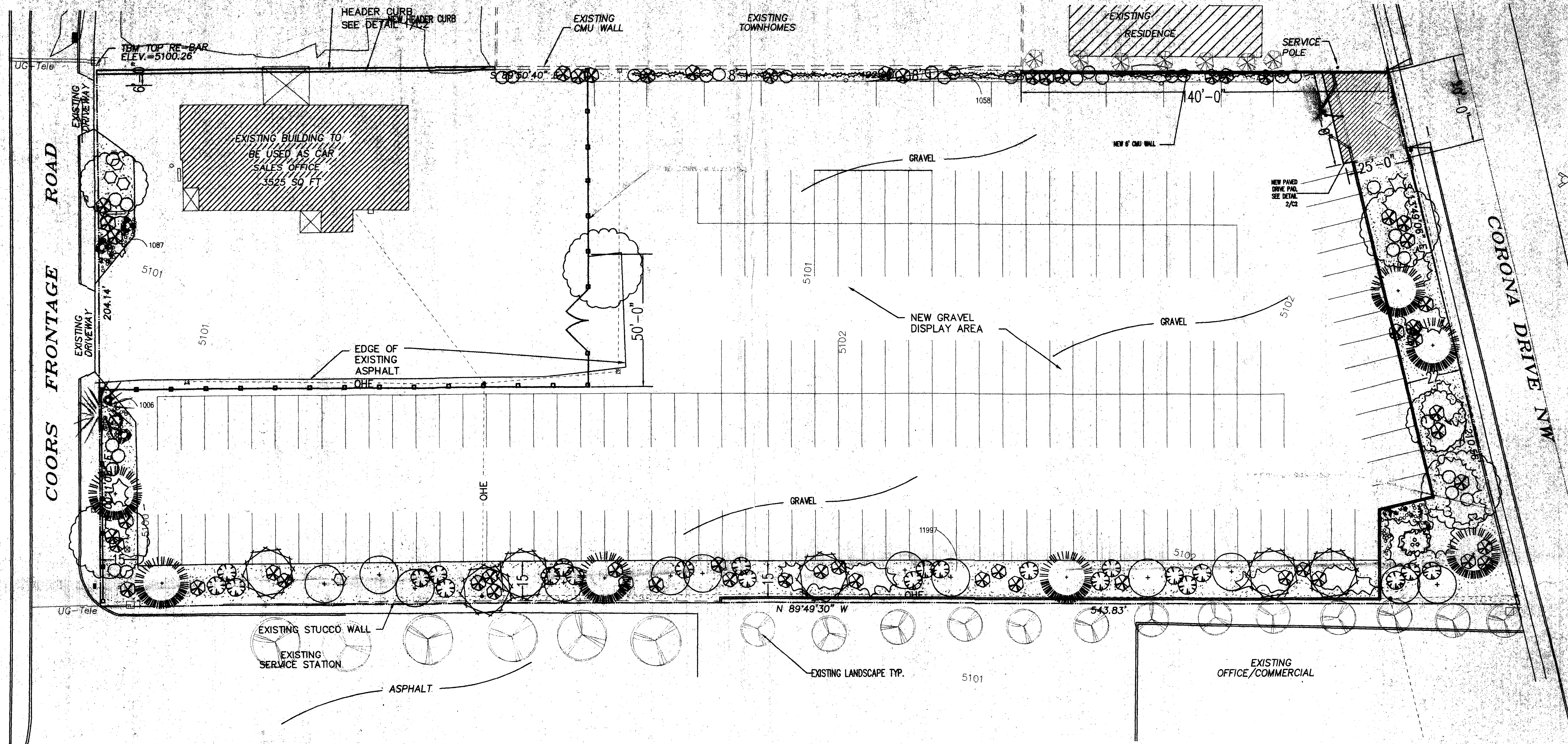
NOT TO SCALE



DRB 99-225

	DRB (7/18/2007) 7 OF 11	
	S. KEE CHECKED	9918 PROJECT NO.
ARCHITECT		6/5/99 DATE
COVER SHEET		G1

COORS BLVD. NW



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

PLANT LEGEND

- ASH(H) OR HONEY LOCUST (H) 6
Fraxinus pennsylvanica
Gleditsia triacanthos
2' Cal
- AUSTRIAN PINE(H) 7
Pinus nigra
6'-8'
- WASHINGTON HAWTHORN (H) 1
Crataegus phoenopyrum
- DESERT WILLOW 6
Chilopsis linearis
5' CAL
- LEYLANDII CYPRESS(M) 12
Cupressocyparis leylandii
5' CAL
- INDIAN HAWTHORN (M) 57
Raphiophis indica
5' gal
- TAM JUNIPER (M) 46
Juniperus sabina
5' gal
- AUTUMN SAGE (M) 22
Salvia greggii
5' gal
- NAMBINA 32
Fallugia paradoxa
5' gal
- CHAMISA (L) 24
Chrysothamnus nauseosus
1' gal
- TRUMPET VINE 9
Composita radicans
1' gal
- WILDFLOWER
1' gal
- OVERSIZED GRAVEL & BOULDERS
-

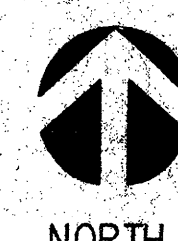
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	104,879.90 square feet
TOTAL LOT AREA	104,879.90 square feet
TOTAL BUILDINGS AREA	3881 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	100,998.90 square feet
LANDSCAPE REQUIREMENT	15,150 square feet
TOTAL LANDSCAPE REQUIREMENT	15,150 square feet
TOTAL LANDSCAPE PROVIDED	15,150 square feet
TOTAL BED PROVIDED	15,150 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

DSL Associates
Architects-Engineers-Planners
4401 Silver SE Albuquerque, NM 87108
505-255-7802 FAX 505-255-7902

LANDSCAPE PLAN

SCALE: 1" = 20'

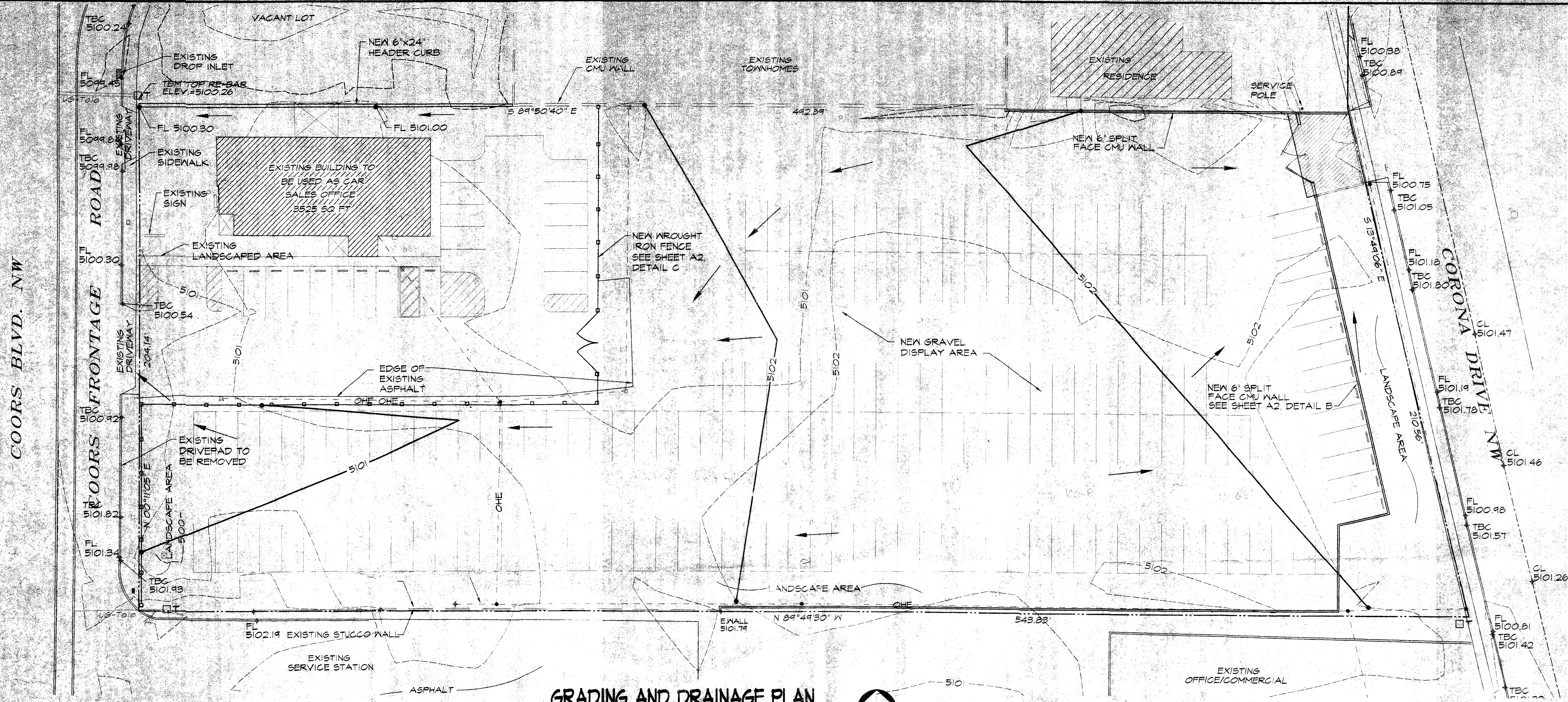


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The Hilltop

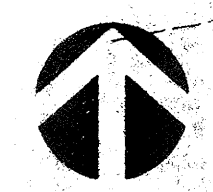
6/4/99

ALBUQUERQUE AUTO SALES PARKING LOT DRB (7/18/2007) 8 OF 11	
ENGINEER	
S KNEE CHECKED	9918 PROJECT NO.
	4/26/98
LANDSCAPE PLAN	



GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'



ENGINEER'S STATEMENT

I, the Engineer of record, certify that I have personally visited the site and the existing grades and contours depicted on this plan match what presently exists at the present location.

RONI BOOTH, NMPE #5853

General Notes

- TOWN OF ATRISCO, UNIT TRACT 100 26A-B
- SURVEYOR: SANDIA LAND SURVEYING, JANUARY 21, 1999
- BENCH MARK: CITY OF ALBUQUERQUE SURVEY MONUMENT BRASS CAP "2-H II" ELEVATION 5102.169
- THIS SITE IS PART OF A FLOOD HAZARD AREA FLOODWAY.
- SOILS: SITE CONSIST OF MADUREE - WINK (FINE SANDY LOAM AND SANDY CLAY LOAM) HYDROLOGIC SOIL GROUP "B"

Legend

- EXISTING CONTOURS
- PROPOSED CONTOURS
- OHE- OVERHEAD ELECTRICAL
- FL NEW 6 SPLIT FACE CMU WALL
- TBC FLOW LINE ELEVATION
- TBC TOP OF BACK OF CURB

Hydrology Calculations

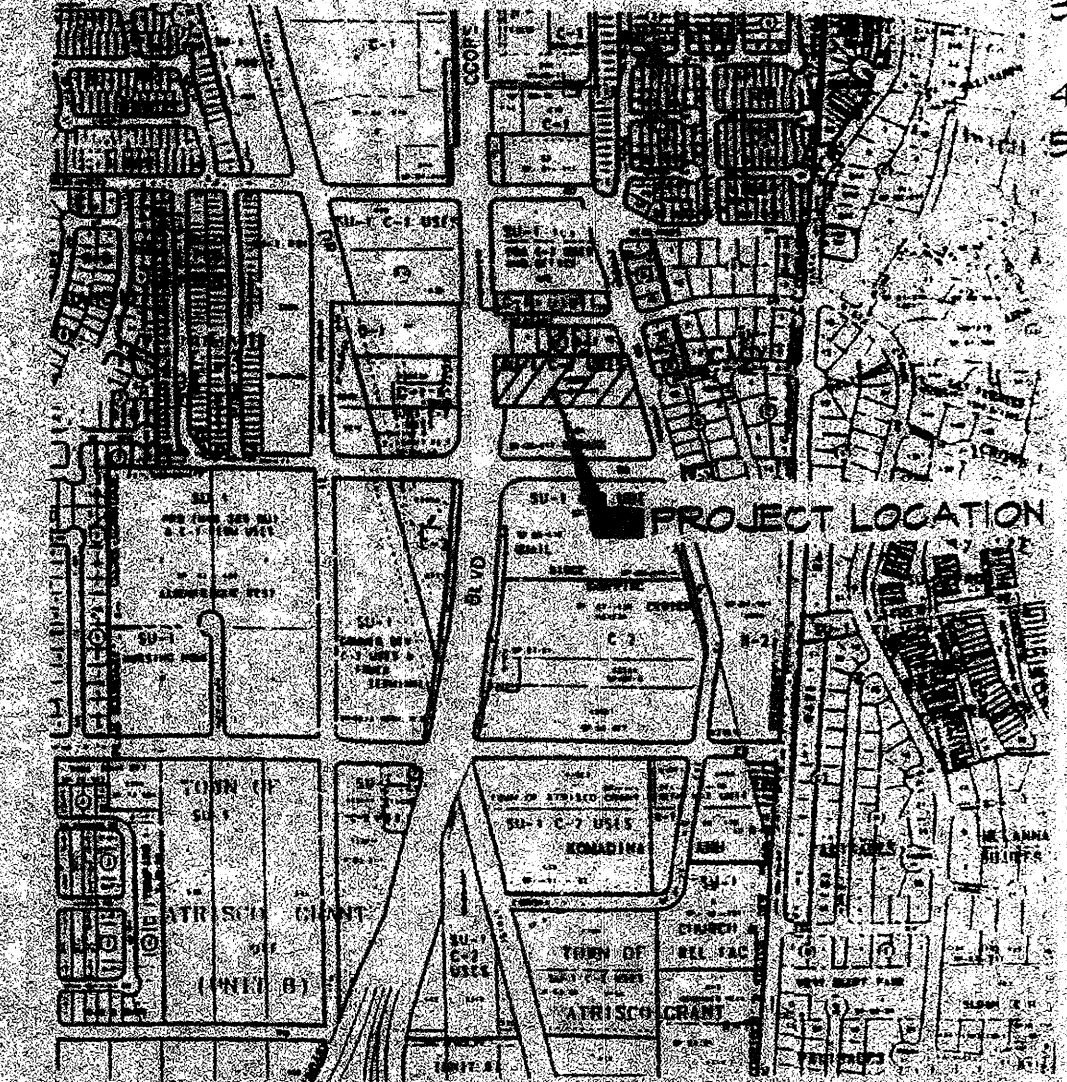
Precipitation Zone	100 Year Storm Depth, F(360) 2.2			
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.44	0.67	0.99	1.97
Peak Discharge Factors	1.29	2.03	2.87	4.37
Land Treatment Area	Existing	Proposed		
Type 'D' (Roof)	0.55	0.55		
Type 'C' (Unpaved Roadway)	1.81	1.54		
Type 'B' (Irrigated Lawns)	0.1	0.37		
Type 'A' (Undeveloped)	0	0		
Total	2.46	2.46		
Excess Precipitation (in)	1.20	1.16		
Volume (100) cf	10680.91	10561.28		
Volume (10) cf	7156.21	6946.08		
Q(100) cfs	7.80	7.57		
Q(10) cfs	5.23	5.07		

Existing Conditions

AT THE PRESENT THERE IS AN EXISTING BUILDING WITH A PAVED PARKING LOT. TWO-THIRDS OF THE SITE DRAINS WEST TO COORS FRONTAGE ROAD AND THEN NORTH TO AN EXISTING INLET LOCATED JUST NORTH OF THE SITE. THE OTHER ONE THIRD DRAINS EAST ONTO CORONA DRIVE. THERE IS NO RUN-OFF FROM OFF-SITE DRAINAGE TO THIS TRACT. TO THE SOUTH, GIANT SERVICE STATION IS DEVELOPED AND HAS A SIX FOOT GARDEN WALL THAT PREVENTS ANY WATER FROM DRAINAGE ONTO TRACT 26A-B. THE REMAINING TRACT, EAST OF GIANT SERVICE STATION, HAS A BERM THAT PONDS THE WATER ON THEIR PROPERTY. THE PROPERTY IS LOCATED WITHIN A FLOOD PRONE AREA DESIGNATED "RH".

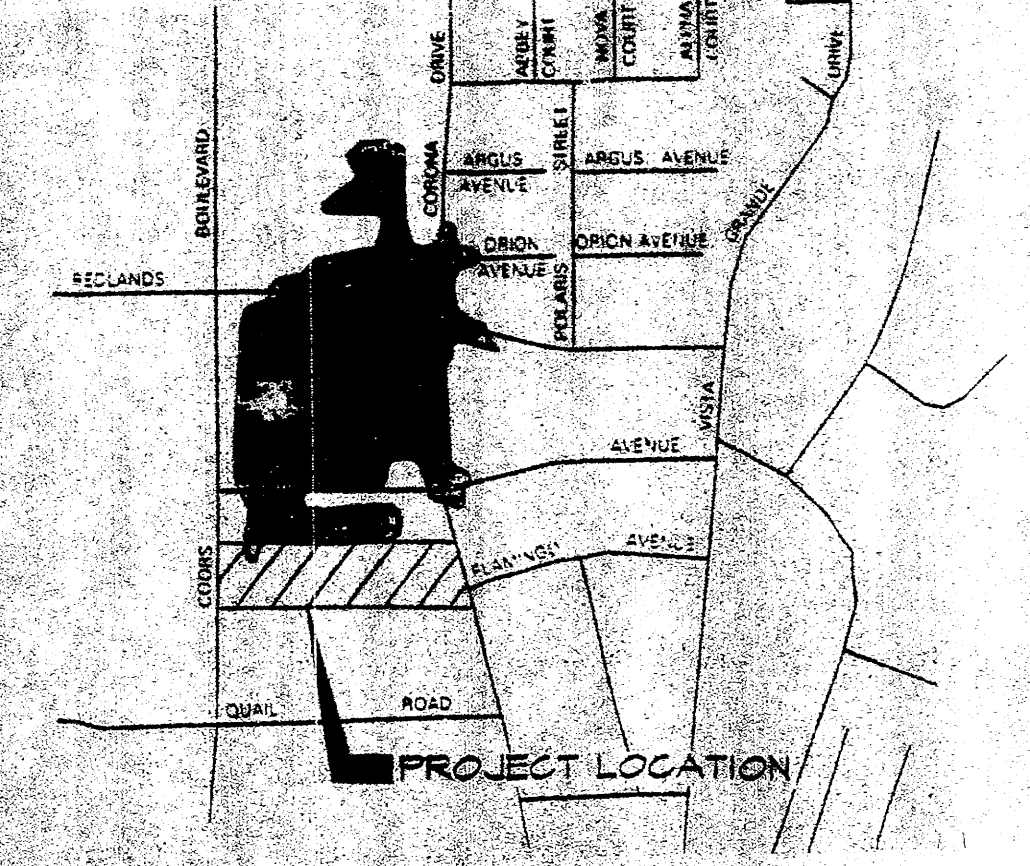
Proposed Conditions

THE FACILITY WILL BE USED TO PARK AND SELL AUTOMOBILES. NO NEW STRUCTURES WILL BE BUILT. NO ADDITIONAL PAVING IS ANTICIPATED. RUNOFF VOLUMES AND RATES WILL BE LESS THAN HISTORICAL BASED UPON 15% OF THE SITE BEING DEVELOPED AS A LANDSCAPE AREA. NEW CONSTRUCTION WILL CONSIST OF LANDSCAPING AND SITE DRAINAGE IMPROVEMENTS INCLUDING LAYING A BASE OF GRAVEL OVER EXISTING EARTHENED PARKING LOT IN THE CAR SALES DISPLAY AREA. THE CURB CUT AT THE SOUTHWEST CORNER OF THE SITE WILL BE REMOVED AND REPLACED WITH SIDEWALK TO MATCH EXISTING. A DRIVE PAD WILL BE ADDED TO THE CURB CUT AT THE EAST END OF THE SITE. A NEW HEADER CURB WILL BE CONSTRUCTED AT THE NORTHWEST CORNER OF THE SITE TO AID IN SITE DRAINAGE. THE EXISTING CMU WALL ON THE NORTH SIDE OF THE SITE WILL BE EXTENDED TO THE EAST BOUNDARY AND NEW SECURITY FENCING WILL BE INSTALLED AROUND THE INVENTORY DISPLAY AREA.



VICINITY MAP

G-11-Z

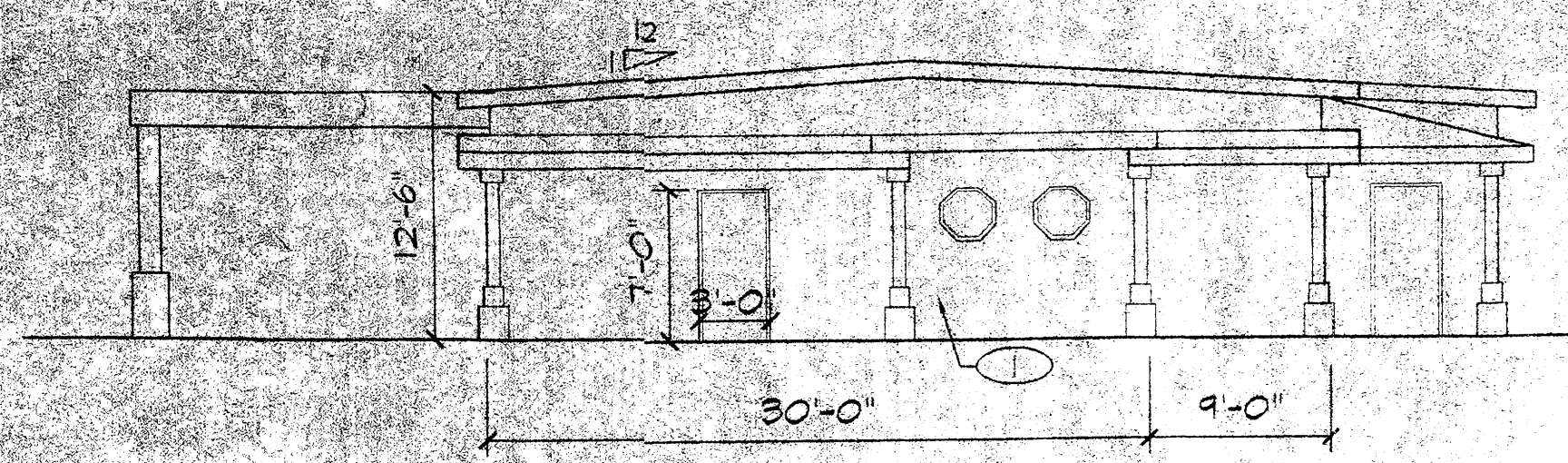


FLOOD HAZARD MAP

PANEL NO. 327

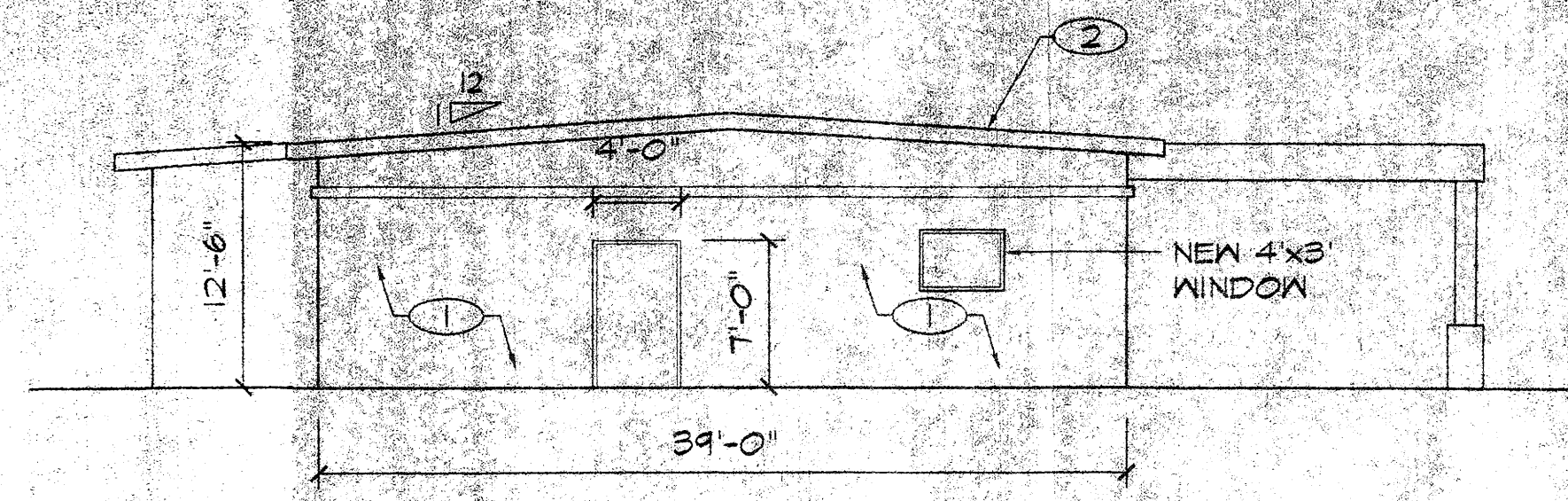
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	DRB (7/18/2007)	
	10 OF 11	
S KNEE CHECKED	9916 PROJECT NO.	6/3/99 DATE
GRADING AND DRAINAGE PLAN		C2
ARCHITECT		



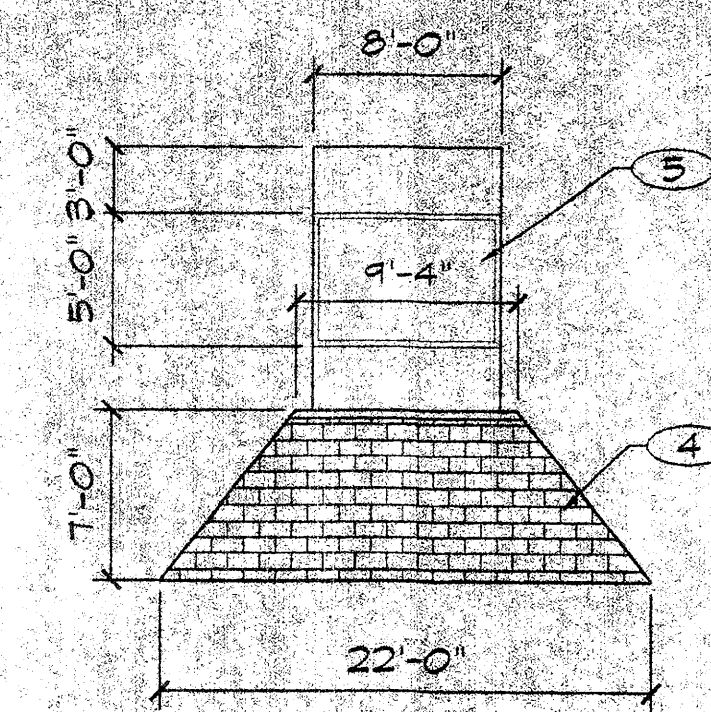
WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



SIGN

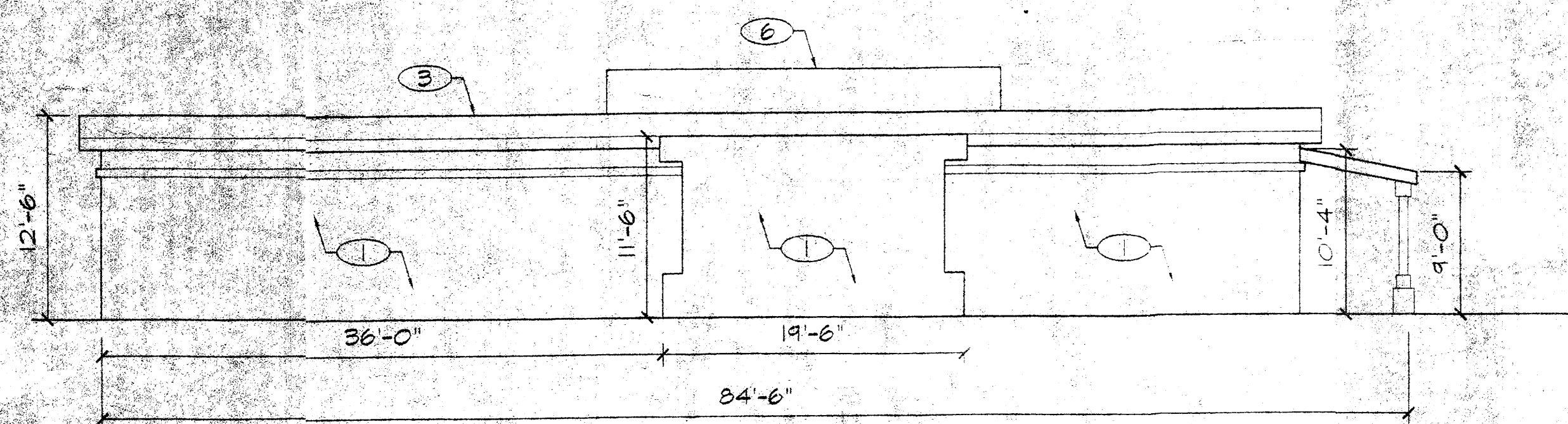
SCALE: 1/8" = 1'-0"

A
C1

Keyed Notes

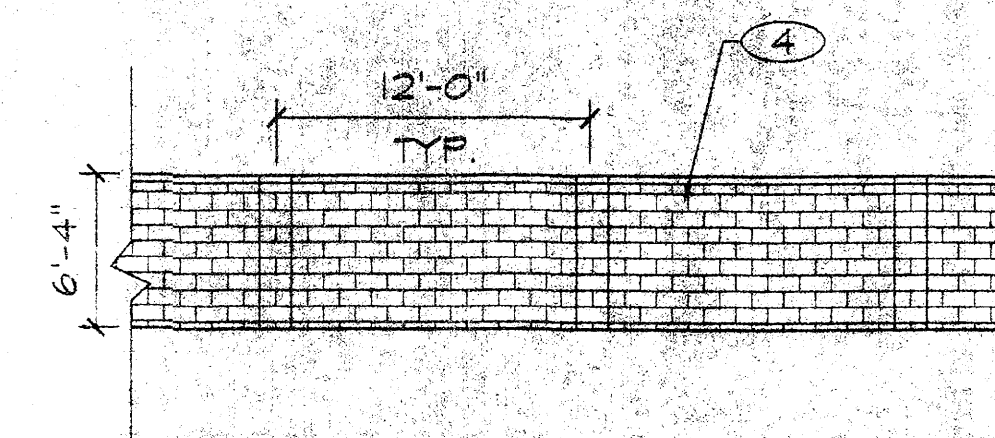
1. BROWN STUCCO EXTERIOR FINISH
2. WHITE TRIM AT ROOF EAVES
3. RED METAL ROOF
4. ALL CMU WALLS AND PILASTERS TO BE RED BLOCK WITH GREY CAP
5. NEW RAISED LETTERED SIGN
6. EXISTING SIGN TO BE REMOVED
7. SPLIT-FACE 16x16 PILASTER @ 12'-0" ON CENTER

NOTE:
 THE COLOR OF THE BUILDING AND PERIMETER WALLS SHALL BE COMPATIBLE TO THE EXISTING BUILDINGS FOR THIS AREA.



NORTH ELEVATION

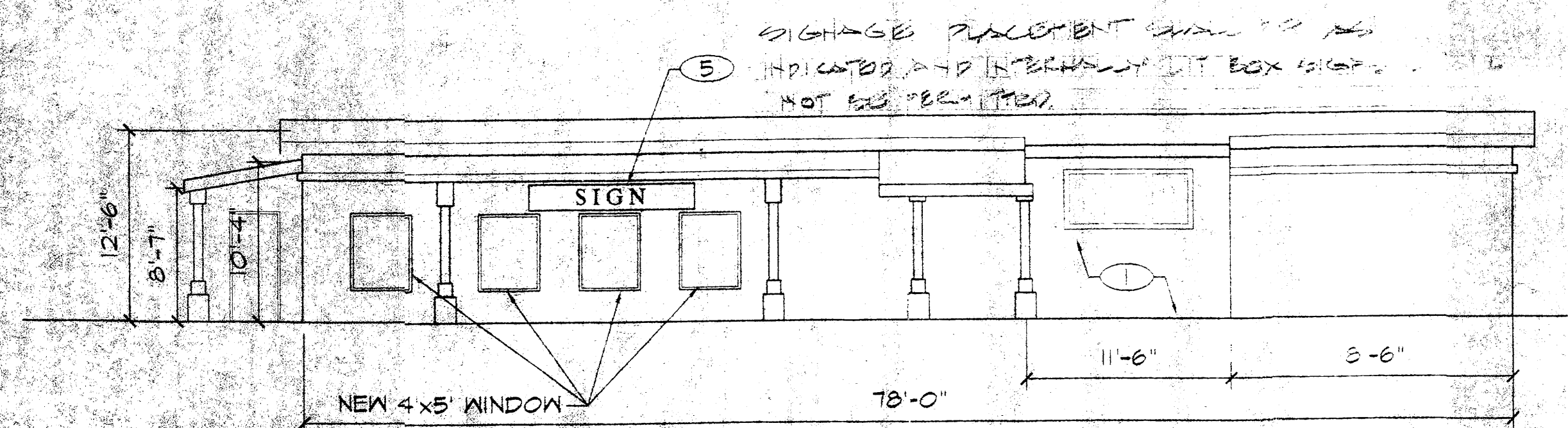
SCALE: 1/8" = 1'-0"



TYP. SECURITY WALL ELEVATION

SCALE: 1/8" = 1'-0"

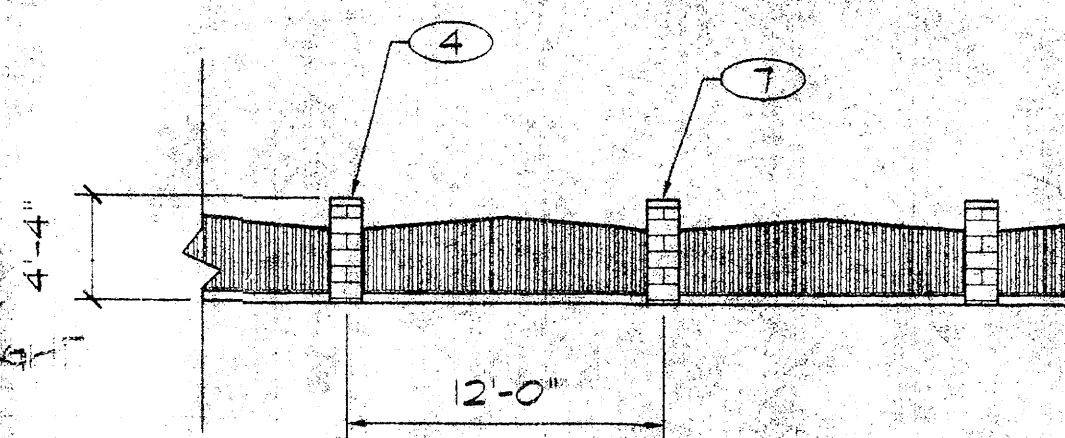
B
C1



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

NOTE:
 WROUGHT IRON PERGOLA COVER SHALL BE COMPATIBLE TO THE BUILDING COLOR & FINISH. COLOR WILL NOT BE LESS OR WROUGHT IRON PERGOLA.



TYP. WROUGHT IRON ELEVATION

SCALE: 1/8" = 1'-0"

C
C1

REVISIONS			
		DRB (7/18/2007) 11 OF 11	
ENGINEER	S. KNEE	DRAFTED BY	J. KAMPS
CHECKED BY		PROJECT NO.	9918
		DATE	6/3/99
ARCHITECT		EXISTING BUILDING ELEVATIONS AND PROPOSED MODIFICATIONS	
		A2	

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