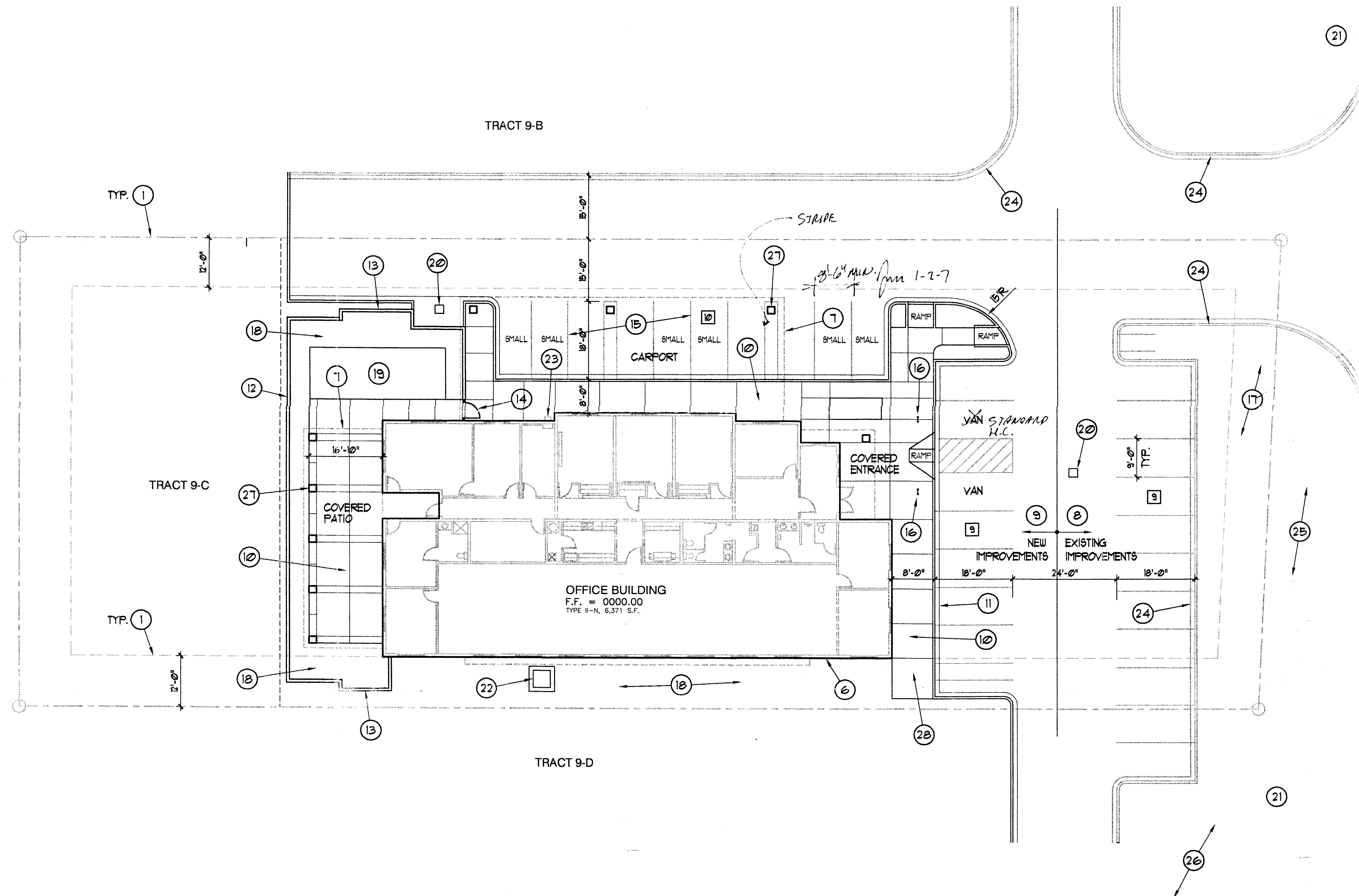


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CONCEPTUAL SITE PLAN

SCALE: 1/16" = 1'-0"
0 2 4 8 16 32'

CHAPPELL DRIVE N.E.

CODE DATA

ADDRESS:	4911 CHAPPELL DR. N.E. ALBUQUERQUE, NEW MEXICO.
UPC NUMBER:	101606146632410230
ZONE ATLAS MAP:	F-16-Z
LEGAL DESCRIPTION:	TRACT 9-C, RENAISSANCE CENTER
PRIOR CASE NUMBERS:	DRB 96-495
ZONING DISTRICT:	SU-1 IP (INDUSTRIAL PARK)
USE:	OFFICE BUILDING
HEIGHT:	ALLOWABLE: 26' ANY LEGAL LOCATION 45' FROM NORTHERN PROPERTY LINE. 60' FROM E. W. S. PROPERTY LINES. ACTUAL: 1-STORY, 19 FEET

LAND USAGE

BUILDING AREA:	6,371 SF
GROSS BUILDING AREA:	192 SF
COVERED ENTRANCE:	2,095 SF
CARPOR:	936 SF
WEST PATIO ROOF:	9,594 SF
TOTAL COVERED AREA:	13,592 SF
LAND USAGE:	32,274 SF
LOT AREA (0.1429 AC):	32,274 SF
BUILDING (INCLUDING PATIO/CARPOR ROOFS):	9,594 SF
NET LOT AREA:	22,680 SF
IRRIGATED LANDSCAPING REQUIRED (15% N.L.A.):	3,402 SF
IRRIGATED LANDSCAPING PROVIDED:	3,712 SF

PARKING

PARKING TALLY:	
REQUIRED:	5,344 SF. (N.L.A.) / 200 = 28 SPACES
PROVIDED:	(INCLUD. MOTORCYCLE SPACES) 28 SPACES
SMALL CAR PARKING:	
ALLOWABLE:	28 X 20' = 1 SPACES
PROVIDED:	6 SPACES
DISABLED PARKING:	
REQUIRED (ZONING):	26-35 PARKING SPACES: 2 SPACES
REQUIRED (NMBC):	26-35 PARKING SPACES: 2 SPACES (1 VAN)
PROVIDED:	2 SPACES (2 VAN)
MOTORCYCLE PARKING:	
REQUIRED: FOR 26-50 PARKING SPACES:	2 SPACES
BICYCLE PARKING:	
REQUIRED: 1 FOR EACH 20 PARKING SPACES:	2 SPACES

EXTERIOR LIGHTING

BUILDING, PARKING AND PEDESTRIAN AREA ILLUMINATION SHALL BE INDIRECT IN CHARACTER (NO LAMP SHALL BE DIRECTLY VISIBLE), SHALL BE OF A WHITE LIGHT SOURCE AND SHALL BE DIRECTED AWAY FROM ADJACENT SINGLE FAMILY AREAS. SITE LIGHTING FOR THE PARKING AREAS OF LOTS SHALL BE DESIGNED IN SUCH A MANNER AS TO PROVIDE MINIMUM AVERAGE ILLUMINATION LEVEL WITH A UNIFORMITY LEVEL OF 3 TO 1 (AVERAGE TO MINIMUM) WITH A MAINTAINED AVERAGE OF 1 FOOT CANDLE AND A MINIMUM OF 3 FOOT CANDLE.

ALL ON-SITE LIGHTING SHALL BE OWNED AND MAINTAINED BY THE OWNER OF THE BUILDING SITE. BUILDING LIGHTING SHALL BE GROUND MOUNTED ONLY AND SHALL BE RECESSED INTO THE GROUND OR SCREENED FROM STREET VIEW BY LANDSCAPING. POLE MOUNTED SITE LIGHTING UNITS SHALL COMPLY WITH THE FOLLOWING HEIGHT LIMITATIONS:

PARKING LOT LIGHTS:	35' MAX.
PEDESTRIAN PATHWAY LIGHTS:	15' MAX.

SIGNAGE

SIGNAGE SHALL COMPLY WITH MASTER DELCARATION FOR NORTH RENAISSANCE.

KEYED NOTES

1. PROPERTY LINE.
2. LINE OF SETBACK.
3. NOT USED.
4. NOT USED.
5. NOT USED.
6. LINE OF NEW BUILDING FOOTPRINT.
7. LINE OF BUILDING OVERHANG.
8. EXISTING ASPHALTIC PAVING.
9. ASPHALTIC PAVING.
10. 4" THICK NON-REINFORCED PORTLAND CEMENT CONCRETE PAVING OVER COMPACTED SUBGRADE.
11. PORTLAND CEMENT CONCRETE STANDUP CURB AND GUTTER.
12. 8" THK X 3' HIGH MASONRY WALL STUCCOED.
13. 8" THK X 5' HIGH MASONRY WALL STUCCOED.
14. STEEL GATE.
15. 4" WHITE PAINTED STRIPES, TYPICAL AT NON-H.C. SPACES.
16. VAN ACCESSIBLE HANDICAP PARKING SIGN.
17. ILLUMINATED MOUNT SIGN.
18. IRRIGATED LANDSCAPING.
19. ARTIFICIAL TURF.
20. EXISTING DROP INLET.
21. EXISTING FIRE HYDRANT. (TWO TOTAL)
22. TRANSFORMER.
23. ELECTRICAL METER.
24. EXISTING CONCRETE CURB AND GUTTER.
25. EXISTING LANDSCAPING.
26. EXISTING DOUBLE DUMPSTER ENCLOSURE.
27. BUILDING COLUMN.
28. BICYCLE PARKING.

CASE NUMBER:

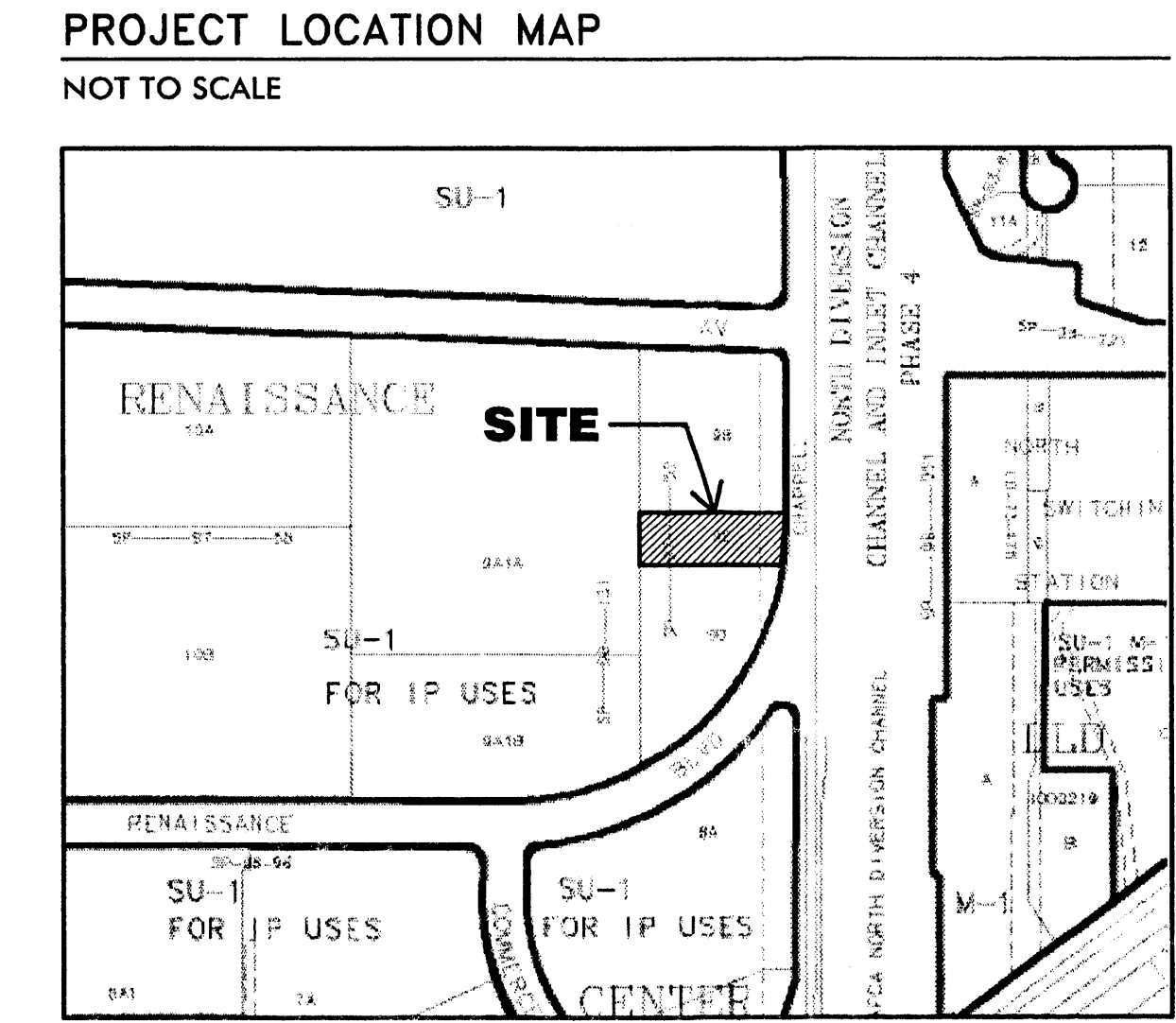
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON _____ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF NOTIFICATION OF DECISION HAVE BEEN COMPLETED WITH:

SITE DEVELOPMENT PLAN

CHAIR, DEVELOPMENT REVIEW BOARD	DATE
TRANSPORTATION DEV.	DATE
UTILITY DEV.	DATE
PARKS AND G.S.	DATE
CITY ENGINEER	DATE

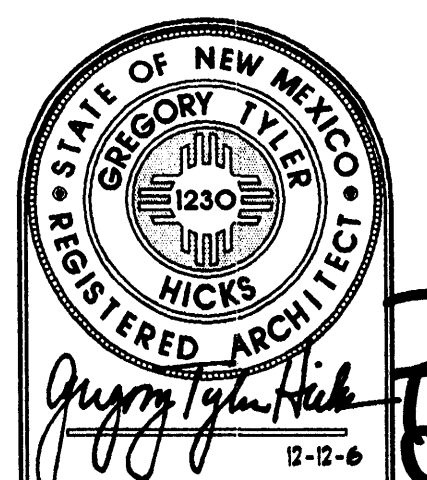
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

CITY PLANNER, ALBUQUERQUE	DATE
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LEGEND AND ABBREVIATIONS

☐	NUMBER OF PARKING SPACES.
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Albuquerque, New Mexico

proj. no.: 0614
ocad file:
date: 12-12-6
SITE PLAN

C3.1

PROJECT # 1005310 (AA)