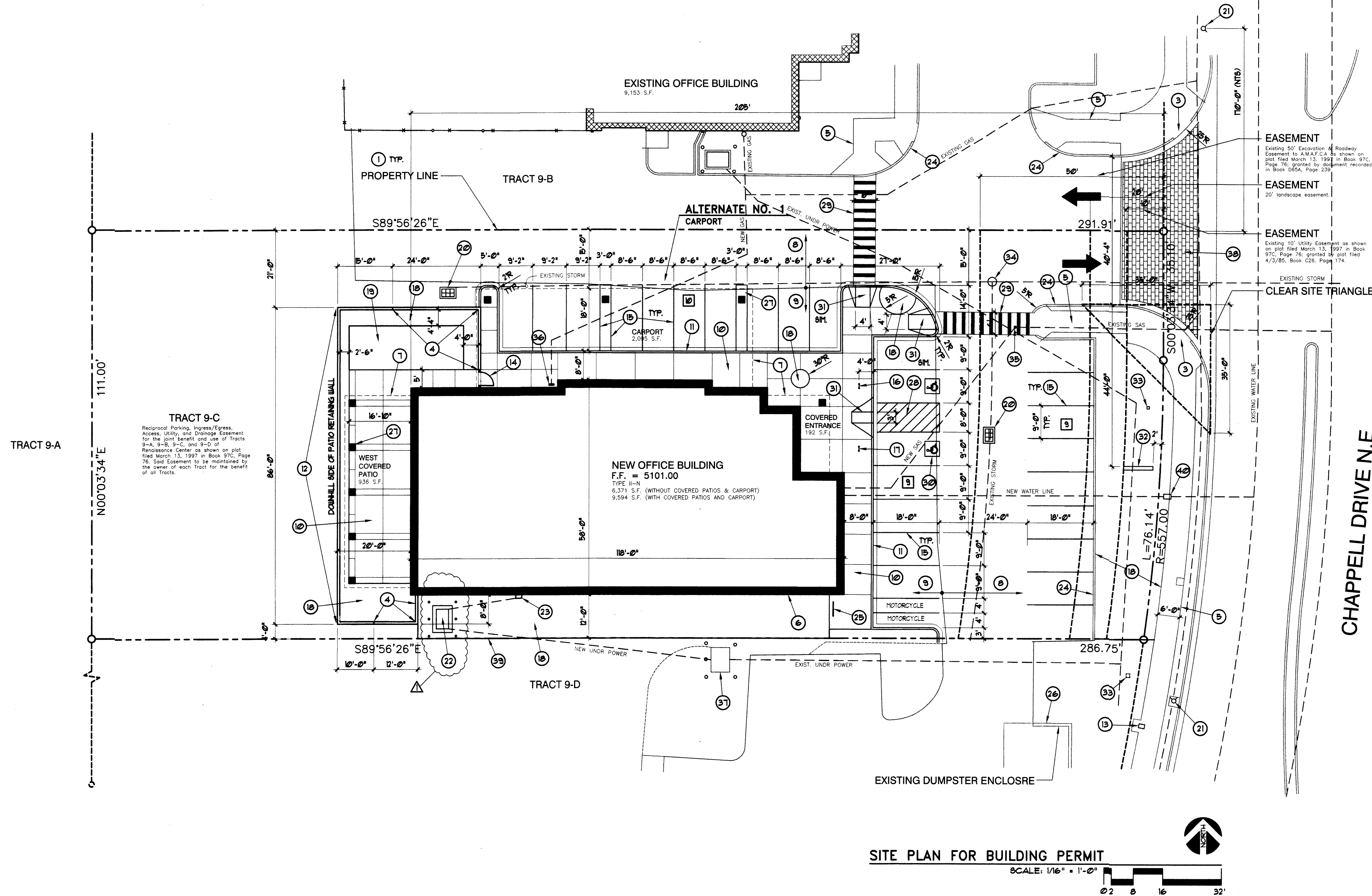


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**CODE DATA**

ADDRESS: 4911 CHAPPELL DR. NE, ALBUQUERQUE, NEW MEXICO.

UFC NUMBER: 101606146630410230

ZONE ATLAS MAP: F-16-Z

LEGAL DESCRIPTION: TRACT 9-C, RENAISSANCE CENTER

PRIOR CASE NUMBERS: DRB 96-495

ZONING DISTRICT: 9U-1 IP - INDUSTRIAL PARK (OFFICE)

LOT AREA: 0.1409 AC

HEIGHT: ALLOWABLE: 26' ANY LEGAL LOCATION 45' FROM NORTHERN PROPERTY LINE. 60' FROM E, W, S, PROPERTY LINES. ACTUAL: 1-STORY, 20 FEET

BUILDING AREA:  
 BUILDING: 6,371 SF  
 COVERED ENTRANCE: 192 SF  
 CARPORT: 2,085 SF  
 WEST COVERED PATIO: 936 SF  
 TOTAL GROSS BUILDING AREA: 9,584 SF

**PARKING**

**PARKING TALLY:**  
 REQUIRED: 5,544 SF. (N.L.A.) / 200 = 28 SPACES  
 PROVIDED: (INCLUD. MOTORCYCLE SPACES) 28 SPACES

**SMALL CAR PARKING:**  
 ALLOWABLE: 20 x 25+ = 1 SPACES  
 PROVIDED: 1 SPACES

**DISABLED PARKING:**  
 REQUIRED (ZONING): 26-35 PARKING SPACES: 2 SPACES  
 REQUIRED (MIBC): 26-35 PARKING SPACES: 2 SPACES (1 VAN)  
 PROVIDED: 2 SPACES (1 VAN)

**MOTORCYCLE PARKING:**  
 REQUIRED: FOR 26-50 PARKING SPACES: 2 SPACES

**BICYCLE PARKING:**  
 REQUIRED: 1 FOR EACH 20 PARKING SPACES: 2 SPACES

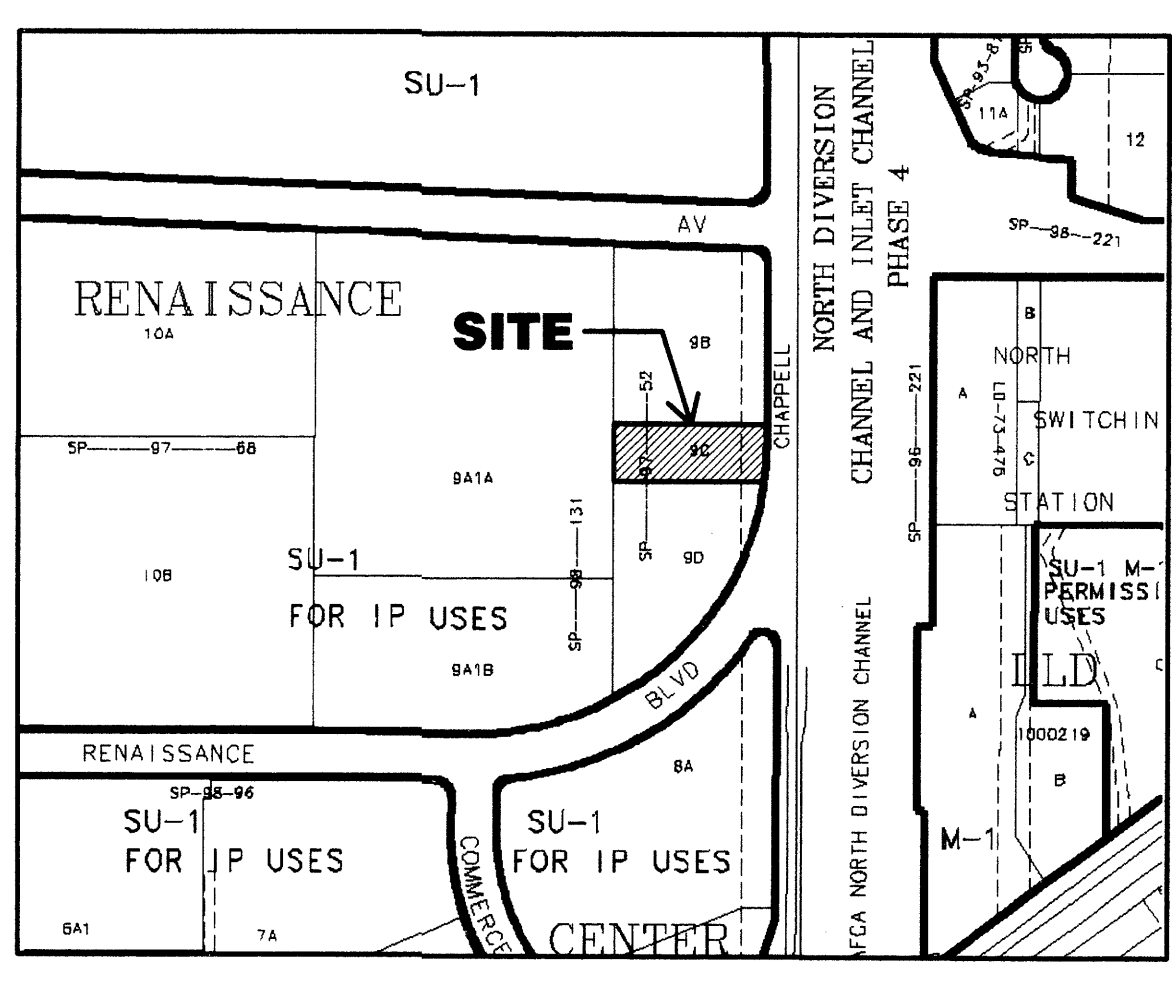
**EXTERIOR LIGHTING**

ALL EXTERIOR LIGHTING IS TO BE ACHIEVED USING LIGHT FIXTURES MOUNTED TO BUILDING WALLS AT LOCATIONS SHOWN ON THE EXTERIOR ELEVATIONS. THERE WILL BE NO POLE OR BOLLARD LIGHTS.

THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ANY OTHER RESIDENTIAL PREMISES. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS. IT SHALL NOT HAVE ANY OFF-SITE LUMINANCE GREATER THAN 2000 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE. (14-16-3-3)

- KEYED NOTES**
- PROPERTY LINE.
  - NOT USED.
  - EXISTING ADA/COCA COMPLIANT RAMP.
  - 8" CHU PATIO RETAINING WALL, STUCCO TOP AND SIDES. 4" HIGH ON UPHILL SIDE (PATIO SIDE). 8" HIGH ON DOWNHILL SIDE (SLOPED TERRAIN SIDE). SEE EXTERIOR ELEVATIONS AND GRADING/DRAINAGE PLAN.
  - EXISTING CONCRETE PAVING.
  - LINE OF NEW BUILDING FOOTPRINT.
  - LINE OF BUILDING OVERHANG.
  - EXISTING ASPHALTIC PAVING.
  - NEW ASPHALTIC PAVING.
  - NEW 4" THICK NON-REINFORCED PORTLAND CEMENT CONCRETE PAVING OVER COMPACTED SUBGRADE.
  - NEW PORTLAND CEMENT CONC. STANDUP CURB & GUTTER. SEE SITE DETAILS.
  - 8" CHU PATIO WALL 5'-4" HIGH, STUCCO TOP AND SIDES.
  - EXISTING WATER METER TO REMAIN.
  - NEW PAINTED STEEL GATE. SEE SITE DETAILS.
  - NEW 4" PAINTED STRIPES, WHITE TYPICAL. BLUE AT H.C. SPACES.
  - NEW STANDARD HANDICAP PARKING SIGN. SEE SITE DETAILS.
  - NEW VAN ACCESSIBLE HANDICAP PARKING SIGN. SEE SITE DETAILS.
  - LANDSCAPED AREA. SEE LANDSCAPING PLAN.
  - NEW ARTIFICIAL TURF.
  - EXISTING DROP INLET TO REMAIN.
  - EXISTING FIRE HYDRANT TO REMAIN. (TWO TOTAL)
  - NEW TRANSFORMER ON CONC. PAD SURROUNDED WITH BOLLARDS.
  - NEW ELECTRICAL SERVICE ENTRANCE.
  - EXISTING CONCRETE CURBS AND GUTTER TO REMAIN.
  - NEW BICYCLE RACK. SEE SITE DETAILS.
  - EXISTING 10'W X 20'L X 6'H STUCCOED MASONRY DUMPSTER ENCLOSURE WITH GATE. A SIGNED ACCESS AGREEMENT IS INCLUDED IN THIS APPLICATION.
  - NEW BUILDING COLUMN.
  - NEW 4" BLUE PAINTED STRIPES 30" O.C.
  - NEW 12" BLUE PAINTED STRIPES 30" O.C.
  - NEW BLUE PAINTED WHEELCHAIR SYMBOL. SEE SITE DETAILS.
  - NEW RAMP. SEE SITE DETAILS.
  - NEW ILLUMINATED MONUMENT SIGN. SEE SITE DETAILS.
  - EXISTING COMMUNICATIONS PEDESTAL TO REMAIN.
  - EXISTING STORM DRAINAGE MANHOLE TO REMAIN.
  - EXISTING SEWER CLEANOUT TO REMAIN.
  - NEW GAS METER.
  - EXISTING TRANSFORMER TO REMAIN.
  - EXISTING BRICK PAVING TO REMAIN.
  - NEW METAL LANDSCAPE EDGING.
  - PROPOSED LOCATION FOR NEW WATER METER.

**SITE PLAN FOR BUILDING PERMIT**  
 SCALE: 1/16" = 1'-0"



**VICINITY MAP**  
 1"=375'

PROJECT NUMBER: 1005310  
 APPLICATION NUMBER: 07DRB-00083

IS AN INFRASTRUCTURE LIST REQUIRED?  YES ( ) NO

IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

|   |         |
|---|---------|
| <i>[Signature]</i>                            | 2-23-07 |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION  | DATE    |
| <i>[Signature]</i>                            | 2-21-07 |
| WATER UTILITY DEPARTMENT                      | DATE    |
| <i>[Signature]</i>                            | 2/21/07 |
| PARKS AND RECREATION                          | DATE    |
| <i>[Signature]</i>                            | 2/21/07 |
| CITY ENGINEER                                 | DATE    |
| N/A   |         |
| ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | DATE    |
| <i>[Signature]</i>                            | 2/21/07 |
| SOLID WASTE MANAGEMENT                        | DATE    |
| <i>[Signature]</i>                            | 2/10/07 |
| DRB CHAIRPERSON, PLANNING DEPARTMENT          | DATE    |

TO PLANS CHECKING OFFICE  
 924-3511  
 PROVIDED DISAPPROVED  
 HYDRANTS ONLY  
*[Signature]* 2-21-07  
 SIGNATURE & DATE

**GREGORY T. HICKS & ASSOC., P.C.**  
 ARCHITECTS • PLANNERS

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 e-mail: ghicks@ghicks.com

DESIGNING TODAY DESIGNING TOMORROW

**GTH**  
 SINCE 1980

revisions: Δ 2-5-7

**Glads Holdings, LLC Office Building**  
 4911 Chappell Dr. N.E.  
 Albuquerque, New Mexico

proj. no.: 0614  
 acad file:  
 date: 2-17-7  
 SITE PLAN

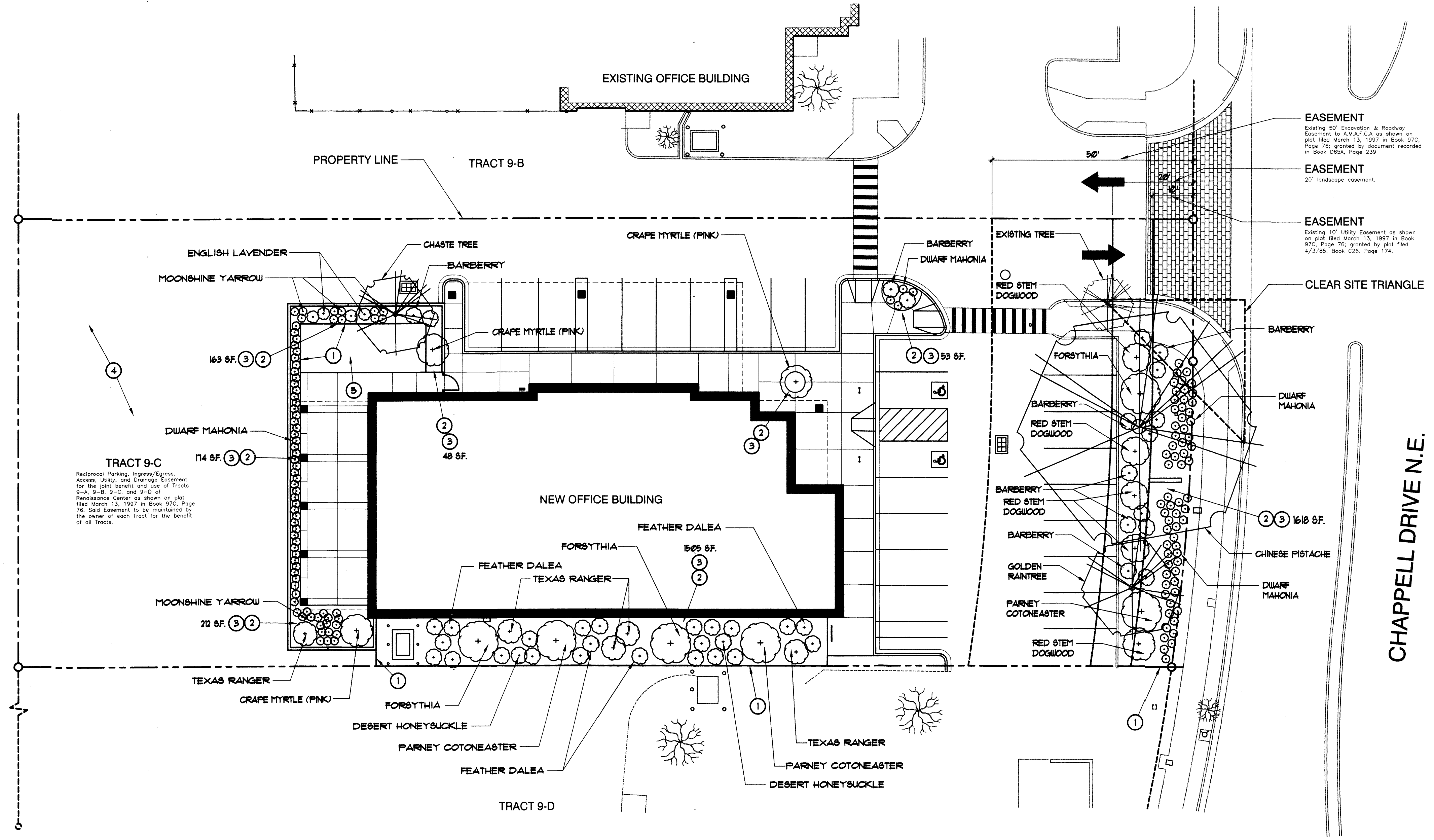
**LEGEND**

☐ NUMBER OF PARKING SPACES.

1005310



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**LANDSCAPING PLAN**  
 SCALE: 1/16" = 1'-0"

**C.O.A. LANDSCAPING REQUIREMENTS**

|  |           |
|--|-----------|
| LAND USAGE:                                  | 32,214 SF |
| LOT AREA (0.1409 AC):                        | 9,584 SF  |
| BUILDING (INCLUDING PATIO/CARPORIT ROOF):    | 22,600 SF |
| NET LOT AREA:                                | 3,402 SF  |
| IRRIGATED LANDSCAPING REQUIRED (16% N.L.A.): | 3,551 SF  |
| IRRIGATED LANDSCAPING PROVIDED (16% N.L.A.): |           |

**OFF-STREET PARKING AREA LANDSCAPING:**  
 PROVIDE 1 TREE FOR EACH 10 PARKING SPACES  
 REQUIRED = 28 PARKING SPACES / 10 = 3 TREES  
 PROVIDED = 3 TREES  
 EACH PARKING SPACE SHALL BE WITHIN 100 FEET OF A TREE

**STREET TREES:**  
 PROVIDE STREET TREES SPACED APPROX. 30 FEET APART

**LANDSCAPING NOTES**

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATION, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

3" MINIMUM DEEP GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.

**IRRIGATION NOTES**

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1/2 GPM DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1/2 GPM DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**KEYED NOTES**

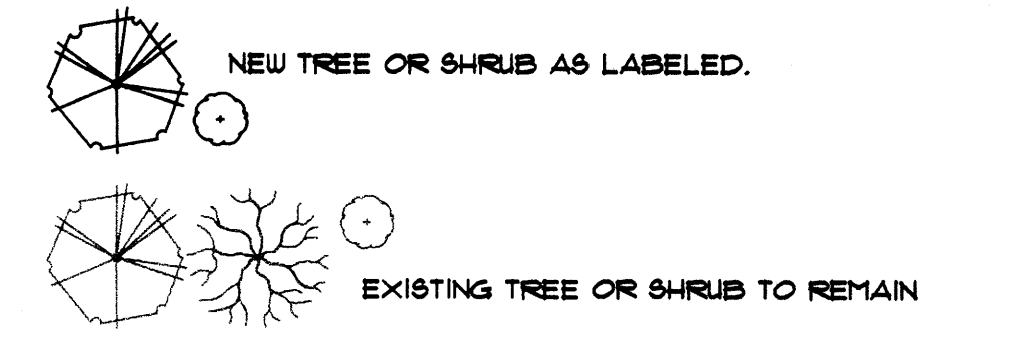
- 4" X 1/8" COMMERCIAL GRADE METAL LANDSCAPE BORDER
- PROVIDE IRRIGATION SYSTEM IN THIS LANDSCAPED AREA.
- COVER THIS AREA WITH 1/8" X 3" DEEP GREY GRAVEL OVER FILTER FABRIC.
- PROVIDE NATIVE GRASS SEED. IRRIGATE UNTIL ESTABLISHED.
- ARTIFICIAL TURF BY OWNER.

**PLANT LIST**

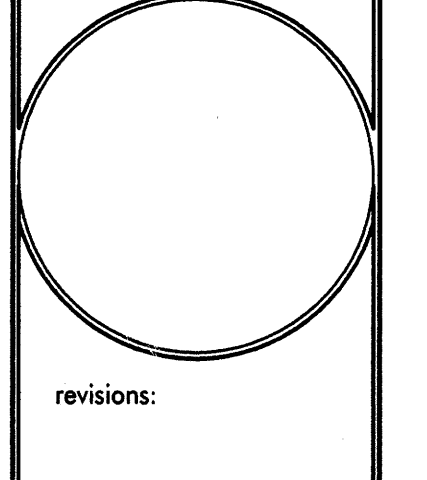
PLANTS SPECIES ARE SELECTED FROM THE RENAISSANCE MASTER DECLARATION AND/OR C.O.A. WATER CONSERVATION ORDINANCE.

| COMMON/BOTAN NAME   | WATER | W X H   | SIZE    | ALLERG. |
|---|-------|---------|---------|---------|
| <b>SHADE TREES:</b>   |       |         |         |         |
| CHINESE PISTACHE<br><i>pitachia chinensis</i>               | M     | 60'X60' | 4" CAL. | LOW     |
| <b>ORNAMENTAL TREES:</b>                                    |       |         |         |         |
| GOLDEN RAIN TREE<br><i>koehneuteria paniculata</i>          | M     | 25'X25' | 8' HIGH | LOW     |
| CHASTE TREE<br><i>vitex agnus-castus</i>                    | M     | 20'X20' | 8' HIGH | LOW     |
| <b>DECIDUOUS SHRUBS:</b>                                    |       |         |         |         |
| FORSYTHIA<br><i>forsythia</i>                               | M     | 10'X10' | 5 GAL.  | LOW     |
| REDLEAF BARBERRY<br><i>barberis thunbergii atropurpurea</i> | M     | 4'X4'   | 5 GAL.  | MOD.    |
| RED STEM'D DOGWOOD<br><i>cornus stolonifera</i>             | H     | 7'X7'   | 5 GAL.  | LOW     |
| DESERT HONEYSUCKLE<br><i>aikeacanthus thurberi</i>          | L     | 4'X5'   | 5 GAL.  | LOW     |
| GRAPE MYRTLE<br><i>lagerstroemia indica</i>                 | M     | 15'X15' | 5 GAL.  | LOW     |
| FEATHER DALEA<br><i>dales formosa</i>                       | L     | 3'X3'   | 5 GAL.  |         |
| <b>EVERGREEN SHRUBS:</b>                                    |       |         |         |         |
| TEXAS RANGER<br><i>leucophyllum frutescens</i>              | L     | 6'X6'   | 5 GAL.  | LOW     |
| DWARF MAHONIA<br><i>mahonia repens</i>                      | M     | 2'X1'   | 5 GAL.  | LOW     |
| PARNEY COTONEASTER<br><i>cotoneaster lacteus</i>            | M     | 12'X8'  | 5 GAL.  | LOW     |
| ENGLISH LAVENDER<br><i>lavandula angustifolia</i>           | L     | 3'X3'   | 5 GAL.  | LOW     |
| <b>FLOWERING PLANTS:</b>                                    |       |         |         |         |
| MOONSHINE YARROW<br><i>achillea teygates</i>                | L     | 18'X24" | 5 GAL.  | LOW     |

**LEGEND**



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 e-mail gthicks@gthicks.com  
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**Glads Holdings, LLC Office Building**  
 4911 Chappell Dr. N.E.  
 Albuquerque, New Mexico

proj. no.: 0614  
 acad file:  
 date: 2-17-7

LANDSCAPING PLAN

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**GREGORY T. HICKS**  
 REGISTERED ARCHITECT  
 1230  
 1-24-1

**GREGORY T. HICKS**  
 SINCE 1980

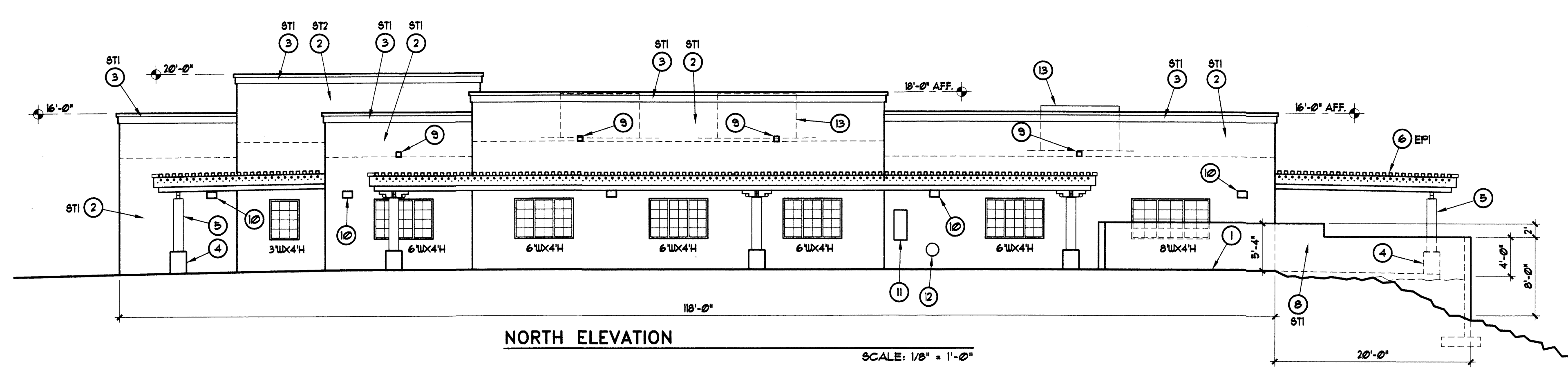
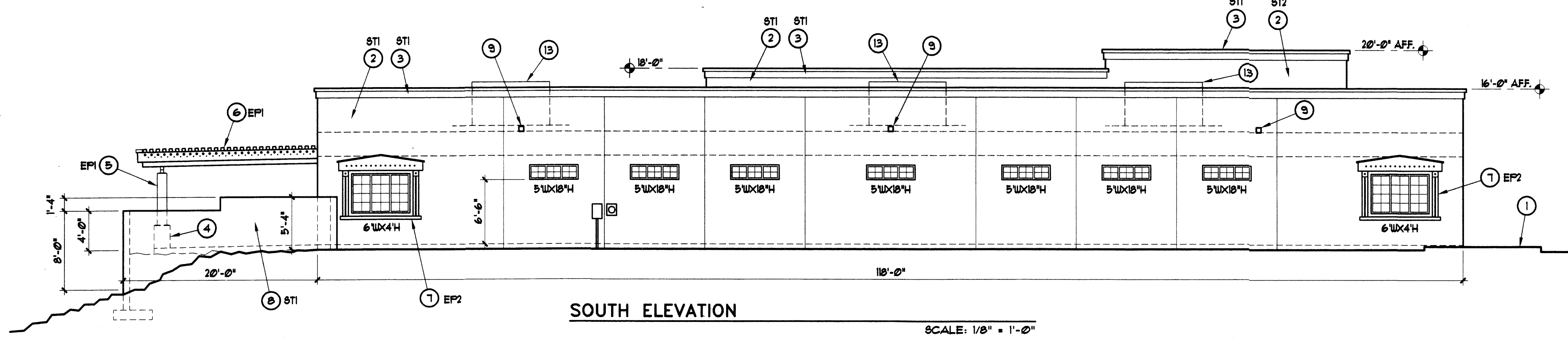
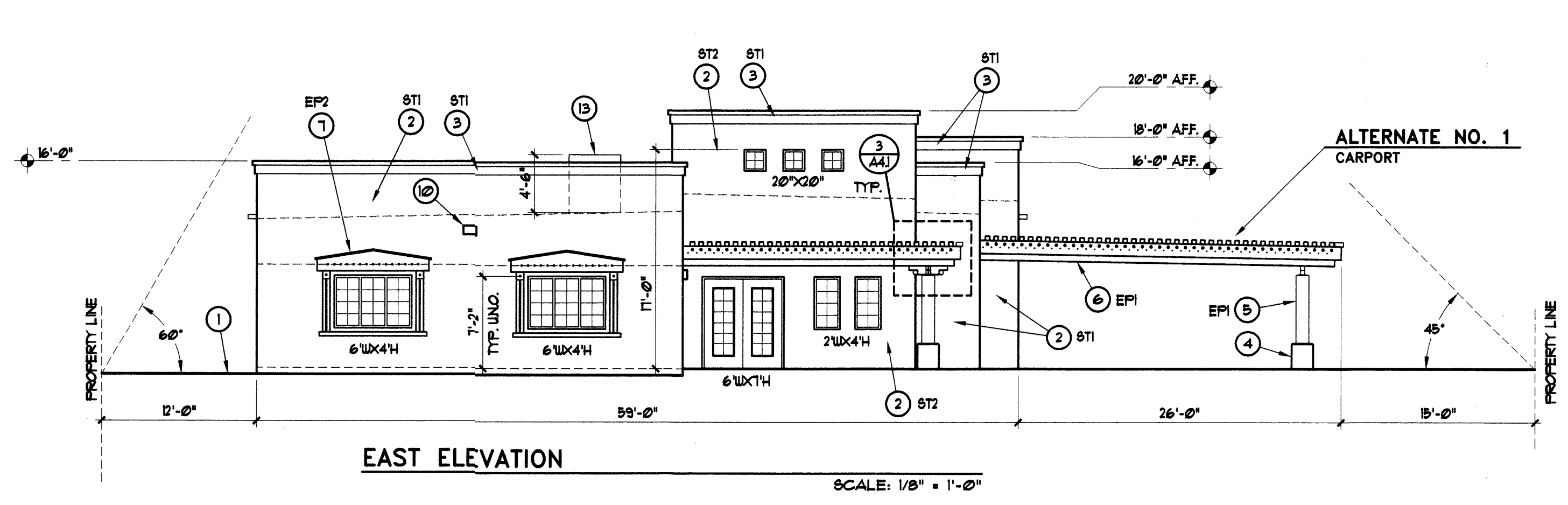
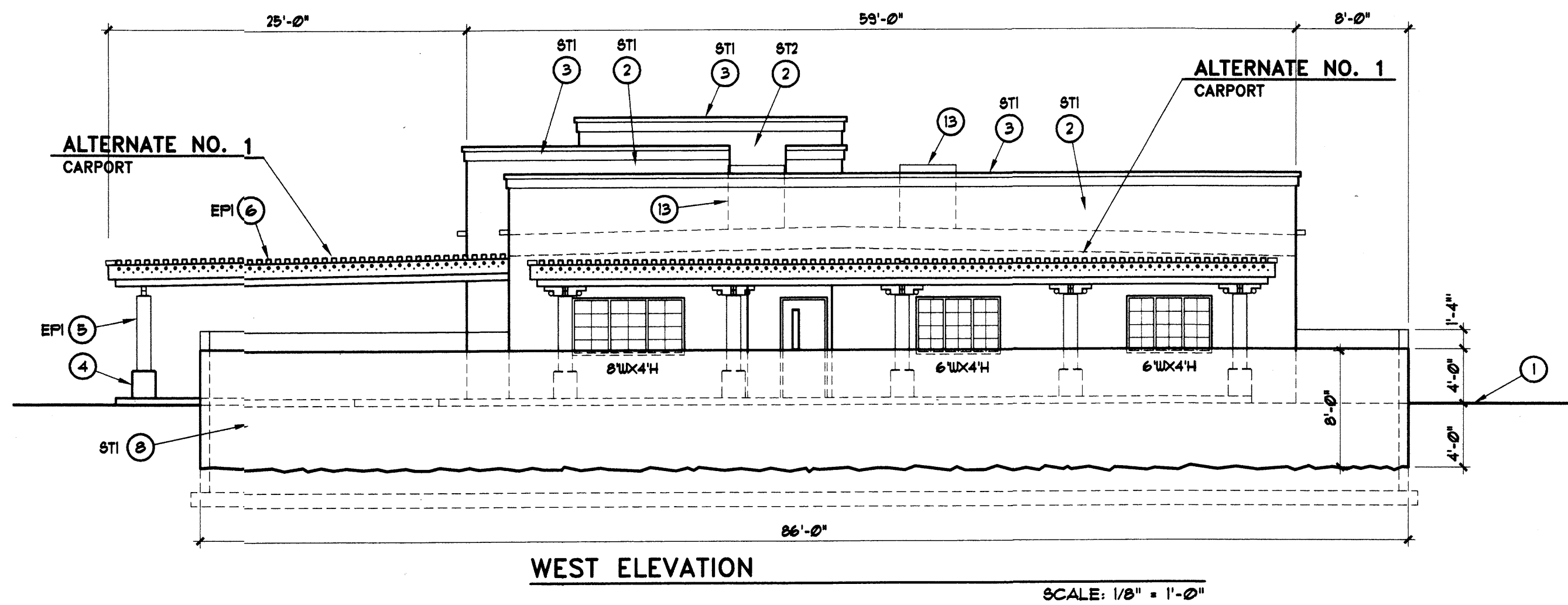
**DESIGNING TODAY TOMORROW**

revisions:

**Glads Holdings, LLC Office Building**  
 4911 Chappell Dr. N.E.  
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proj. no.: 0614  
 acad file: 2-17-7  
 date: 2-17-7  
 EXTERIOR ELEVATIONS  
 DETAILS

4



**KEYED NOTES**

1. APPROXIMATE LOCATION OF GRADE. COORDINATE WITH CIVIL.
2. EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
3. EIFS CORBEL. SEE A6.1
4. CONCRETE FEDESTAL. SEE DETAILS.
5. PAINTED STEEL COLUMN. SEE DETAILS.
6. PAINTED METAL FASCIA. SEE DETAILS.
7. PAINTED METAL PEDIMENT. SEE DETAILS.
8. STUCCOED CURB WALL.
9. OVERFLOW. SEE DETAILS.
10. CUT-OFF LIGHT FIXTURE.
11. ELECTRICAL SERVICE ENTRANCE.
12. GAS METER.
13. ROOF TOP MECHANICAL UNIT.
30. LOCATION OF WINDOW.
31. 1/8" STEEL PLATE. PAINT.
32. STEEL CHANNEL. PAINT.
33. STEEL ANGLE. PAINT.
34. 1/4" STEEL PLATE. PAINT.
35. 1" DIA. X 1/2" THICK STEEL STUD. PAINT.
36. METAL ROOF.
37. STEEL TUBE OR CHANNEL. PAINT. SEE STRUCTURAL.
38. STEEL C-JOIST FASCIA. PAINT. SEE STRUCTURAL.
39. 4" DIA. STEEL PIPE CARPED ON BOTH ENDS. PAINT.
40. STEEL CORBEL. PAINT.
41. 4"x4"x6" STEEL TUBE. PAINT.
42. BOLT. PAINT.
43. 1" DIAMETER HOLE.
44. ROUND STEEL COLUMN. PAINT. SEE STRUCTURAL.
45. CHAMFER.
46. CONCRETE.
47. 1" DIA. HOLE.

**COLORS AND FINISHES**

- ARCHITECTURAL STYLE**  
 ARCHITECTURAL STYLE OF BUILDING IS TO POST-MODERN TERRITORIAL SIMILAR TO EXISTING OFFICES BUILDINGS LOCATED ON ADJACENT SITES TO THE NORTH AND SOUTH. ALL EXTERIOR COLORS ARE TO BE SOUTHWESTERN SIMILAR TO ADJACENT OFFICE BUILDINGS.
- EXTERIOR BUILDING AND PATIO WALLS**  
 ST1 - STUCCO, LIGHT TO MEDIUM TAN RANGE  
 ST2 - STUCCO, MEDIUM BROWN OR SALMON RANGE
- PATIO AND CARPORT COLUMNS, BEAMS AND FASCIAS (ALL)**  
 EPI - PAINT, RUST RANGE
- PATIO AND CARPORT ROOFS (ALL)**  
 ALUMINUM COLORED  
 (VISIBLE FROM BELOW, EDGES CONCEALED)
- WINDOW PEDIMENTS (ALL)**  
 EP2 - PAINT, TURQUOISE RANGE
- COLUMN FEDESTALS (ALL)**  
 NATURAL CONCRETE, SEALED.
- EXTERIOR WINDOWS (ALL)**  
 FRAMES: FIXED, PREFINISHED ALUMINUM, TERRACOTTA RANGE  
 GLAZING: LOW-E, SLIGHTLY TINTED, NO REFLECTIVE GLASS
- EXTERIOR DOORS (ALL)**  
 FRAMES: PAINTED HM. OR PREFIN. ALUMINUM, TERRACOTTA RANGE  
 GLAZING: LOW-E, SLIGHTLY TINTED, NO REFLECTIVE GLASS

