

Completed 3-13-07

#1



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>07DRB-00083 (SBP)</u>	Project # <u>1005310</u>
Project Name : <u>RENAISSANCE CENTER</u>	
Agent: <u>Gregory T Hicks & Associates</u>	Phone No.: <u>243-7492</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/21/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Plat w/ cross access easement
- Language
-
-
-
-
- UTILITIES: _____
-
-
-
-
- CITY ENGINEER / AMAFCA: _____
-
-
-
-
- PARKS / CIP: _____
-
-
-
- PLANNING (Last to sign): 15 day appeal
- 3 copies
-
-
-

Project Number 1005310

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00083 (SBP)
Project Name : RENAISSANCE CENTER
Agent: Gregory T Hicks & Associates

Project # 1005310
Phone No.: 243-7492

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/21/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Plat w/ cross access element
- Language
-
-
-
- UTILITIES:
-
-
-
- CITY ENGINEER / AMAFCA:
-
-
-
- PARKS / CIP:
-
-
- PLANNING (Last to sign): 15 days appeal
- 3 copies
-
-

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Project Number 1005310



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 21, 2007

1. Project # 1005310
07DRB-00083 Major-SiteDev Plan BldPermit

GREGORY T HICKS & ASSOCIATES agent(s) for STEVE GRIEGO request(s) the above action(s) for all or a portion of Tract(s) 9-C, **RENAISSANCE CENTER**, zoned SU-1 FOR IP, located on CHAPPELL DR NE, between MISSION DR NE and RENAISSANCE BLVD NE containing approximately 1 acre(s). [REF: 06AA01769, DRB-96-495, V-96-110] (F-16)

At the February 21, 2007, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Transportation Development for a plat showing cross-access easement language and Planning for 15-day appeal period and 3 copies.

If you wish to appeal this decision, you must do so by March 8, 2007, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB Chair

Cc: Steve Griego, 4921 Chappell Dr NE, 87107
Gregory T Hicks & Associates, James Macgillivray, 110 2nd St SW, Suite 204, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 1376
CONNECTION TEL 9p2431106
SUBADDRESS
CONNECTION ID
ST. TIME 02/08 10:42
USAGE T 00'52
PGS. 2
RESULT OK



**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO: James Mac Gillvray

FAX NUMBER: 943-1106 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: 02/08/07

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1005310 APPLICATION NO: _____

*Tract 9-C Renaissance Center
Planning's comment only.
Call if you have questions.*



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, February 21, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1005310
07DRB-00083 Major-SiteDev Plan
BldPermit

GREGORY T HICKS & ASSOCIATES agent(s) for STEVE GRIEGO request(s) the above action(s) for all or a portion of Tract(s) 9-C, **RENAISSANCE CENTER**, zoned SU-1 FOR IP, located on CHAPPELL DR NE, between MISSION DR NE and RENAISSANCE BLVD NE containing approximately 1 acre(s). [REF: 06AA01769, DRB-96-495, V-96-110] (F-16)

✓ There are some required Landscape Notes missing from the Landscape Plan. Agent was faxed a copy.

✓ A statement requiring a minimum of 3" depth of gravel or crusher fine is also needed on the Landscape Plan.

✓ Page 39 of the Renaissance Center Master Plan requires 4" caliper trees. Only one listed tree, the Golden Raintree is listed in the Master Plan as permissible. The other 3 are not listed. Is there a reason why the developer did not follow the approved list?

✓ What type of lighting will be installed for the monument sign? It must either be within the sign itself illuminating within or pointing at the sign itself.

✓ The overall width of the building appears to be missing from the Elevations sheet.

✓ The wall plan view indicates varying height. Please add the maximum height which should not exceed 6 feet.

✓ Planning has received the approval letter from the Renaissance Center ARC.

✓ If possible, please re-submit a revised SPBP to Planning by noon on Tuesday, February 20, 2007 for final review.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Typical Description
↓

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

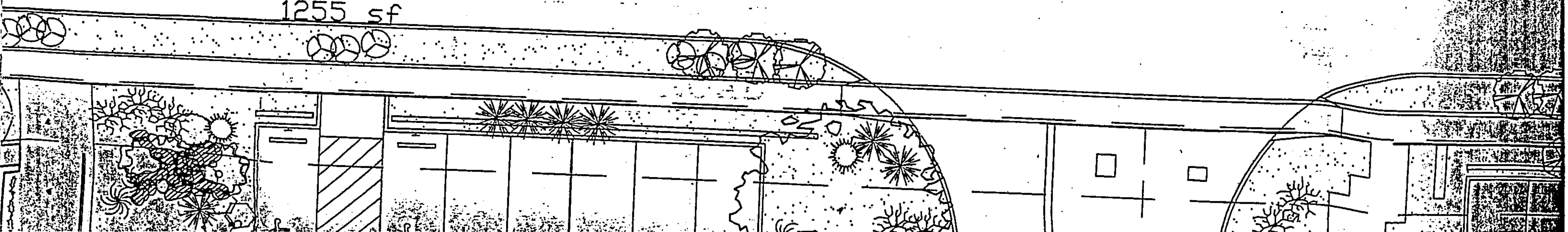
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

~~Point of connection for irrigation system is unknown at current time and will be coordinated in the field.~~

~~Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.~~

Irrigation maintenance shall be the responsibility of the Property Owner.

1255 sf



DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1005310 AGENDA#: 1 DATE: 2/21/07

1. Name: Scott McAllister Address: 1005310 Zip: 02108
2. Name: Jim McGilley Address: 1005310 Zip: 02108
3. Name: Mr Steve Guezo Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 21, 2007

Project # 1005310
07DRB-00083 Major-SiteDev Plan BldPermit

GREGORY T HICKS & ASSOCIATES agent(s) for STEVE GRIEGO request(s) the above action(s) for all or a portion of Tract(s) 9-C, **RENAISSANCE CENTER**, zoned SU-1 FOR IP, located on CHAPPELL DR NE, between MISSION DR NE and RENAISSANCE BLVD NE containing approximately 1 acre(s). [REF: 06AA01769, DRB-96-495, V-96-110] (F-16)

AMAFCA

No adverse comments.

COG Project location is in close proximity to site specified on Long Range Bikeway System Map as connection between proposed on-street bicycle lanes on Renaissance and the existing bicycle trail / path along the North Diversion Channel. Coordination with DMD is advised to insure project conformity with these adopted policies of the MTB.

Transit

No comments received.

Zoning Enforcement

No adverse comments.

Neighborhood Coordination

No Association(s).

APS The request for a site development plan for building permit for a new office building on Tract 9-C, **Renaissance Center**, located at 4911 Chappell Dr NE will have no adverse impacts to the APS district

Police Department

A review of the following DRB case(s) indicates the following problems or crime may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Lighting issues- should illuminate all pathways, parking areas, building entrances and common areas, lighting should not conflict with proposed landscaping.

Police Department

Maintenance of landscaping - landscaping should be low level variety, not obstruct building, walkways, parking lots and common areas and should not conflict with proposed lighting.

Other: Over hang support pillars should be of narrow width to provide as much visibility as possible and not obstruct view while approaching the property.

- No other Crime Prevention or CPTED comments at this time based on lack of information about property use.

Fire Department This project requires **two (2) fire hydrants**. Utility site plan shows only one (1) fire hydrant. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas No adverse comments.

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division Open Space has no adverse comments.

City Engineer No adverse comments.

Transportation Development

Are the permanent improvements in place on Chappell Drive? How wide is the existing sidewalk? Provide a copy of the x-access agreement with the property to the north.

Parks & Recreation No objection.

Utilities Development

No objection to Site Plan approval. Location of water meter will be addressed with the required Water Tapping Permit.

Planning Department

There are some required Landscape Notes missing from the Landscape Plan. Agent was faxed a copy.

A statement requiring a minimum of 3" depth of gravel or crusher fine is also needed on the Landscape Plan.

Page 39 of the Renaissance Center Master Plan requires 4" caliper trees. Only one listed tree, the Golden Raintree is listed in the Master Plan as permissible. The other 3 are not listed. Is there a reason why the developer did not follow the approved list?

What type of lighting will be installed for the monument sign? It must either be within the sign itself illuminating within or pointing at the sign itself.

The overall width of the building appears to be missing from the Elevations sheet.

The wall plan view indicates varying height. Please add the maximum height which should not exceed 6 feet.

Planning has received the approval letter from the Renaissance Center ARC.

If possible, please re-submit a revised SPBP to Planning by noon on Tuesday, February 20, 2007 for final review.

Impact Fee Administrator

Impact Fees are not applicable at this time of platting. However, Impact Fees will be required at the time a building permit is issued for this office building. Using the 6371sf of building area given the estimated impact fees are as follows.

1. Public Safety Facilities for the Eastside: \$637.10
2. Roadway Facilities for the I-25 Corridor: \$28,108.85

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Steve Griego, 4921 Chappell Dr NE, 87107

Gregory T Hick & Associates, James Macgillivray, 110 2nd St SW, Suite 204, 87102



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, February 21, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1005310

07DRB-00083 Major-SiteDev Plan
BldPermit

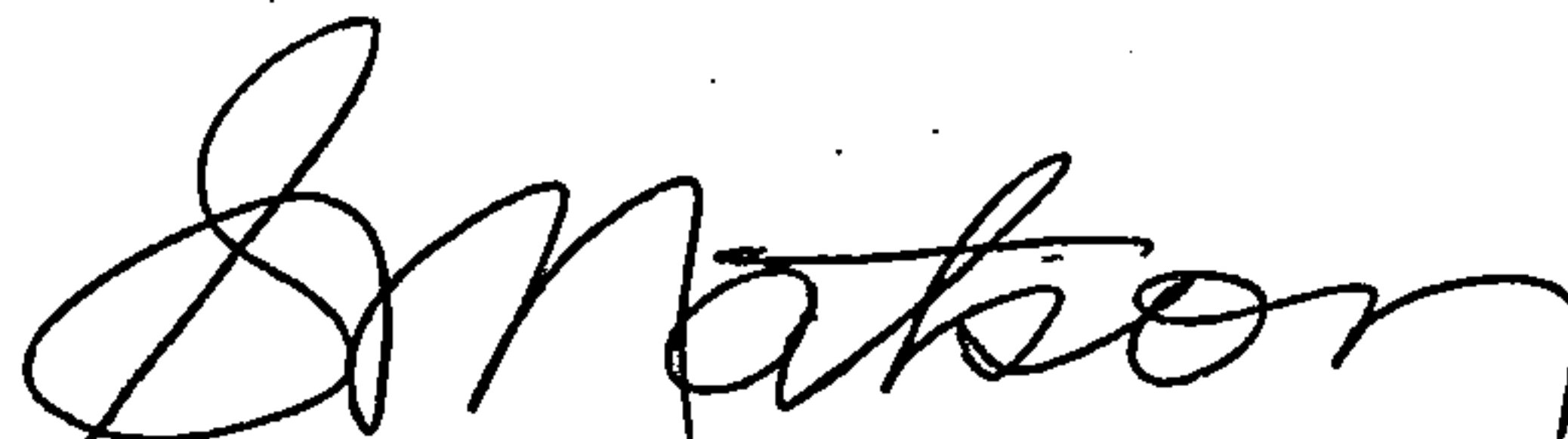
GREGORY T HICKS & ASSOCIATES agent(s) for STEVE GRIEGO request(s) the above action(s) for all or a portion of Tract(s) 9-C, **RENAISSANCE CENTER**, zoned SU-1 FOR IP, located on CHAPPELL DR NE, between MISSION DR NE and RENAISSANCE BLVD NE containing approximately 1 acre(s). [REF: 06AA01769, DRB-96-495, V-96-110] (F-16)

Project # 1005346

07DRB-00084 Major-Bulk Land Variance
07DRB-00085 Major-Vacation of Public Easements
07DRB-00086 Major-Preliminary Plat Approval

CONSENSUS PLANNING INC agent(s) for ALBUQUERQUE 50 LLC request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK** and Tract(s) D & S, **DOUBLE EAGLE AIRPORT AND ADJACENT LANDS**, zoned SU-1 FOR AIRPORT & RELATED FACILITIES, located on PASEO DEL VOLCAN NW, between 1-40 and the CITY OF RIO RANCHO containing approximately 50 acre(s). [REF: 04DRB01505, 04DRB01506] (F-6)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 5, 2007.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, February 21, 2007, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1005310

07DRB-00083 Major-SiteDev Plan
BldPermit

GREGORY T HICKS & ASSOCIATES agent(s) for STEVE GRIEGO request(s) the above action(s) for all or a portion of Tract(s) 9-C, **RENAISSANCE CENTER**, zoned SU-1 FOR IP, located on CHAPPELL DR NE, between MISSION DR NE and RENAISSANCE BLVD NE containing approximately 1 acre(s). [REF: 06AA01769, DRB-96-495, V-96-110] (F-16)

Project # 1005346

07DRB-00084 Major-Bulk Land Variance
07DRB-00085 Major-Vacation of Public Easements
07DRB-00086 Major-Preliminary Plat Approval

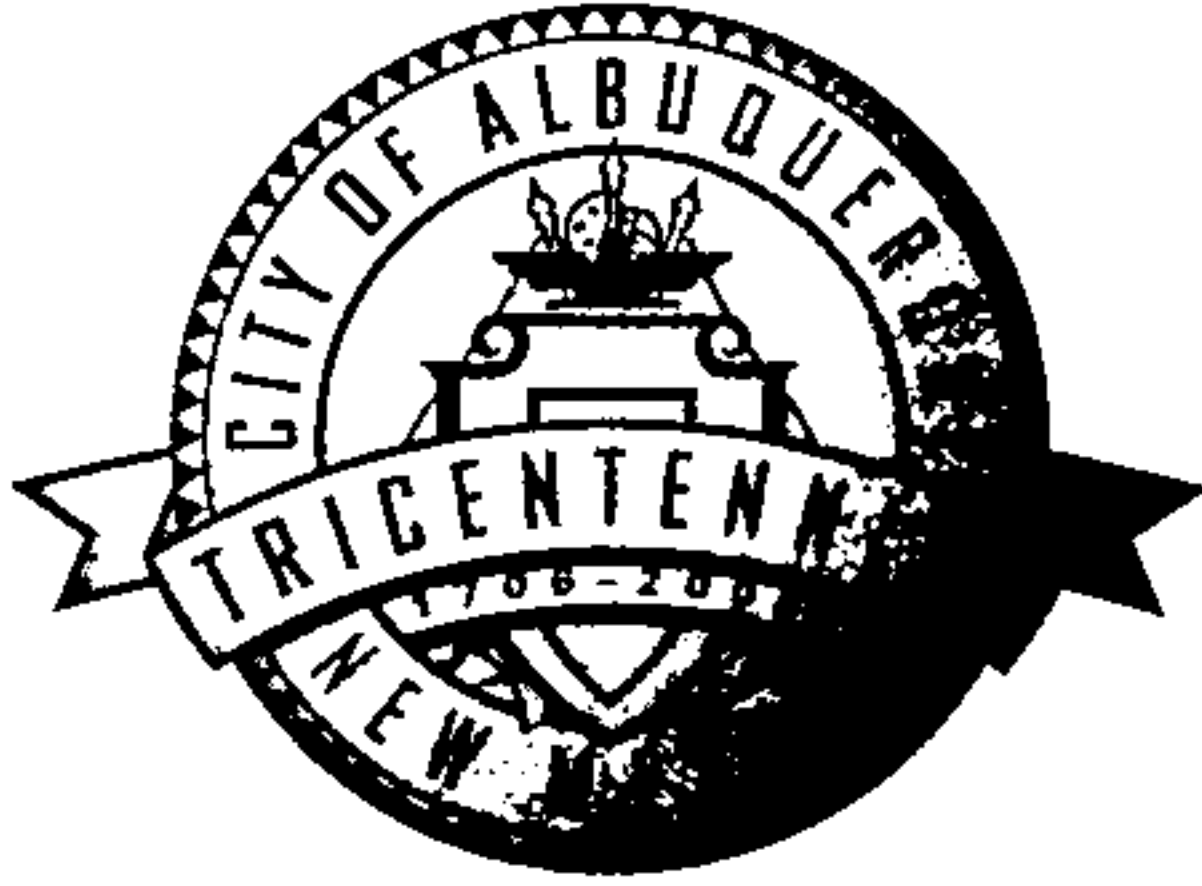
CONSENSUS PLANNING INC agent(s) for ALBUQUERQUE 50 LLC-request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK** and Tract(s) D & S, **DOUBLE EAGLE AIRPORT AND ADJACENT LANDS**, zoned SU-1 FOR AIRPORT & RELATED FACILITIES, located on PASEO DEL VOLCAN NW, between 1-40 and the CITY OF RIO RANCHO containing approximately 50 acre(s). [REF: 04DRB01505, 04DRB01506] (F-6)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 5, 2007.

CITY OF ALBUQUERQUE



Planning Department

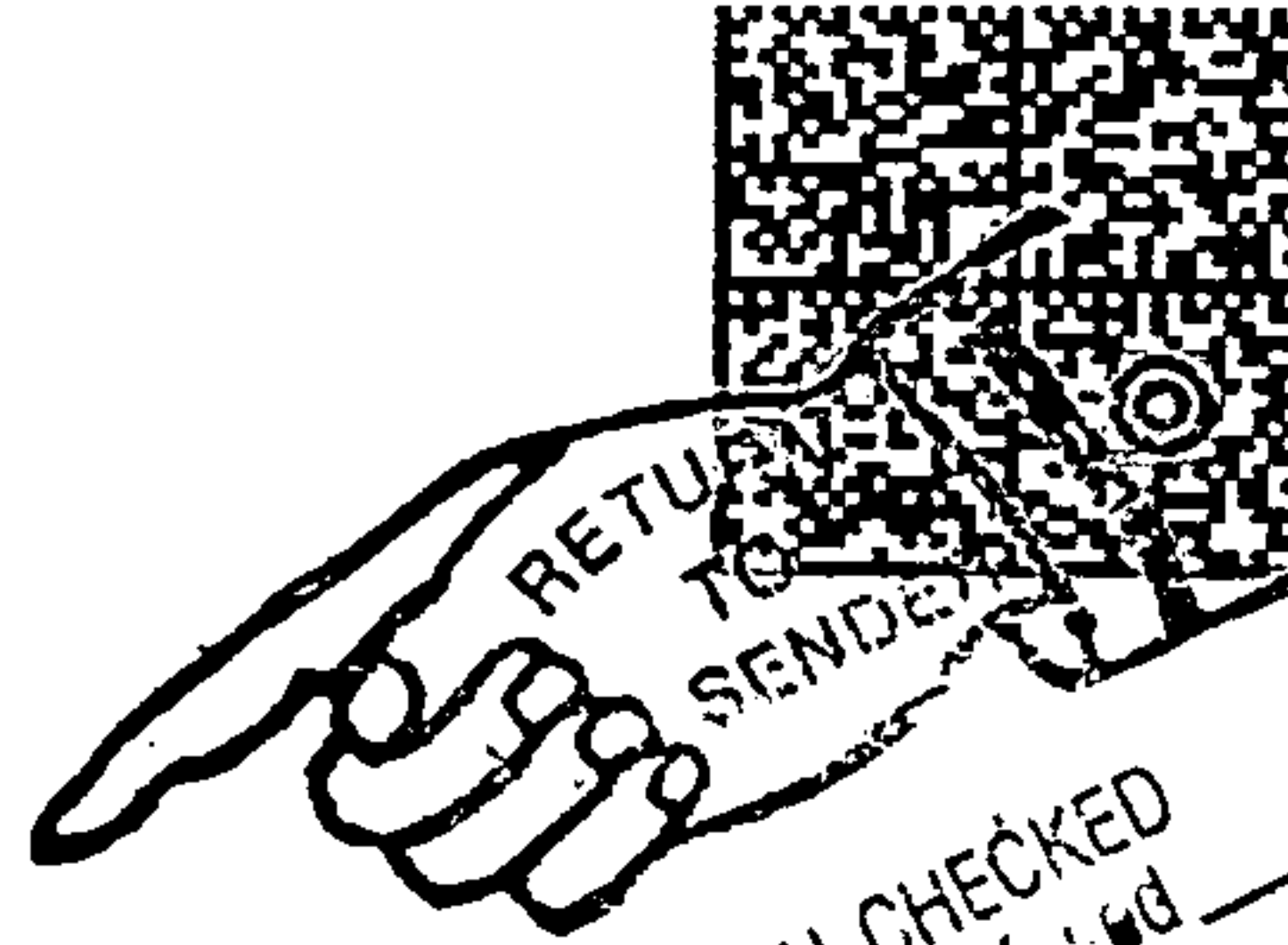
DRB

Or Current Resident
MECHANICAL CONTRACTORS ASSN
OF NM HEATING/PLUMBING WORK
FUND
4901 RENAISSANCE BLVD NE
ALBUQUERQUE, NM 87107

Does not go that high

Or Current Resident

8710789999



UNITED STATES POSTAGE
PITNEY BOWES
02 1M \$ 00.39⁰
0004219022 FEB 01 2007
MAILED FROM ZIP CODE 87102

REASON CHECKED
Unclaimed Returned
Attempted Not Known
Insufficient Address
No such street number
No such office number
Do not remain in this envelope
Not in NM
No Postage



P O Box 1293 Albuquerque, New Mexico 87103

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: February 21, 2007
Zone Atlas Page: F-016
Notification Radius: 100 Ft.

1005310
Project# ~~1005346~~
App#07DRB-00083

Cross Reference and Location: 4911 CHAPPEL DR NE BETWEEN MISSION DR
AND RENAISSANCE BLVD NE

Applicant: STEVE GRIEGO
4921 CHAPPELL DR NE
ALBUQUERQUE, NM 87107

Agent: JAMES S. MACGILLIVRAY, GREGORY T. HICKS
& ASSOCIATES
110 SECOND STEET SW, STE 204
ALBUQUERQUE, NM 87102

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: FEBRUARY 2, 2007
Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

- | | | |
|----------------------------|----------------------------|---|
| <input type="checkbox"/> S | <input type="checkbox"/> Z | ZONING & PLANNING |
| <input type="checkbox"/> | <input type="checkbox"/> | Annexation |
| <input type="checkbox"/> | <input type="checkbox"/> | County Submittal |
| <input type="checkbox"/> V | <input type="checkbox"/> | EPC Submittal |
| <input type="checkbox"/> | <input type="checkbox"/> | Zone Map Amendment (Establish or Change Zoning) |
| <input type="checkbox"/> P | <input type="checkbox"/> | Sector Plan (Phase I, II, III) |
| <input type="checkbox"/> | <input type="checkbox"/> | Amendment to Sector, Area, Facility or Comprehensive Plan |
| <input type="checkbox"/> | <input type="checkbox"/> | Text Amendment (Zoning Code/Sub Regs) |
| <input type="checkbox"/> | <input type="checkbox"/> | Street Name Change (Local & Collector) |
| <input type="checkbox"/> L | <input type="checkbox"/> A | APPEAL / PROTEST of... |
| <input type="checkbox"/> D | <input type="checkbox"/> | Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: STEVE GRIEGO PHONE: 217-3156
 ADDRESS: 4921 CHAPPELL DRIVE N.E. FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): JAMES S. MACGILLIVRAY, GREGORY T. HICKS + ASSOC. PHONE: 243-7492
 ADDRESS: 110 SECOND STREET SW, SUITE 204 FAX: 243-1106
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: jimm@gthicks.com

DESCRIPTION OF REQUEST: NEW OFFICE BUILDING
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 9-C Block: _____ Unit: _____
 Subdiv. / Addn. RENAISSANCE CENTER
 Current Zoning: SU-1 IP Proposed zoning: NO CHANGE
 Zone Atlas page(s): F-16-Z No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 0.7409 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101606146630410230 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 4911 CHAPPELL DR. NE
 Between: MISSION DR. and RENAISSANCE BLVD. NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): _____
DRB 96-495, V-96-110, DRB AA NO. 1005310

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE James S. MacGillivray DATE 1-24-7
 (Print) JAMES S. MACGILLIVRAY _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB 00083</u>	<u>SBP</u>	<u>12</u>	<u>\$285.00</u>
_____	<u>ADV</u>	_____	<u>\$75.00</u>
_____	<u>CMF</u>	_____	<u>\$20.00</u>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
Hearing date <u>02/21/07</u>	_____	_____	Total <u>\$480.00</u>

Sandy Handley 01/25/07 Project # 1005310

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James S. MacGrillivray

Applicant name (print)

James S. MacGrillivray 1-24-07

Applicant signature / date



Form revised APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

07DRB - 00083

Sandra Handley 01/25/07

Planner signature / date

Project # 1005310

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	OW NE R ST ATE	OW NE R ZIP CO DE	PR OP ER TY CL AS S	TA X DI ST RICT	LEGAL	ACR ES
1	101606 149938 310404	A M A F C A	2600 PRO SPECT NE	ALB UQU ERQ UE	N M	871 10	V	A1 A	PARCEL B AMAFCA NORTH DIVERSI ON CHANNEL & INLET CHANNELS D RA INAGE R/W CONT 20.6271 AC M/L	20.7 305 224 3
2	101606 146632 610225	DISTRIBUTION MANAGEM ENT CORP INC	PO BOX 941 50	ALB UQU ERQ UE	N M	871 99 415 0	C	A1 A	TRACT 9-B PLAT OF TRACTS 9-A, 9- B, 9-C AND 9- D OF RENAISSANCE CENTER CONT 2.216 AC OR 96,509 SF	2.21 700 856
3	101606 146428 410235	MECHANICAL CONTRACT ORS ASSN OF NM HEATIN G/PLUMBING WORK FUND	4901 REN AISSANCE BLVD NE	ALB UQU ERQ UE	N M	871 07	C	A1 A	TRACT 9-D PLAT OF TRACTS 9-A, 9- B, 9-C AND 9- D OF RENAISSANCE CENTER CONT 1.833 AC OR 79,855 SF	1.82 364 281
4	101606 141931 610220	ROLLING FRITO- LAY SALES LP % GEORGE MCELROY & ASSOC	3131 S VA UGHN WAY SUITE 301	AUR ORA	C O	800 14	C	A1 A	TR 9A1A PLAT OF TRS 9A1A & 9A1B RENAISSANCE CENTER CONT 364,9 55 SF OR 8.378 AC	8.36 081 426
5	101606 146630 410230	UNITED NM TRUST CO/TR USTEE OF UNION PENS T RANS TRUST #93-2NM	1110 PEN NSYLVANIA NE SUITE A	ALB UQU ERQ UE	N M	871 10	V	A1 A	TRACT 9-C PLAT OF TRACTS 9-A, 9- B, 9-C AND 9- D OF RENAISSANCE CENTER CONT 0.741 AC OR 32,272 SF	0.74 033 202
6	101606 145122 140710	UNITED NM TRUST CO/TR USTEE OF UNION PENS T RANS TRUST #93-2NM	1110 PEN NSYLVANIA NE SUITE A	ALB UQU ERQ UE	N M	871 10	V	A1 A	TR 8-A PLAT OF TRACTS 8-A AND 8- B RENAISSANCE CENTER CONT 4.9 51 AC OR 215,683 SF	4.94 883 913
7	101606 141927 010215	WELLS FARGO BANK NE W MEXICO N A UNION PE NSION TRANS TRUST 93- 2NM	1110 PEN NSYLVANIA NE SUITE A	ALB UQU ERQ UE	N M	871 10	V	A1 A	TR 9A1B PLAT OF TRS 9A1A & 9A1B RENAISSANCE CENTER CONT 163,2 73 SF OR 3.748 AC	3.74 373 955
8	101606 133743 810153	CITY OF ALBUQUERQUE	PO BOX 129 3	ALB UQU ERQ UE	N M	871 03 129 3	C	A1 A	TR A PLAT OF TRACT A CITY OF ALB UQUERQUE WATER TREATMENT FA CILITY CONT 162.5256 AC	161. 230 714 42

Or Current Resident
A M A F C A
2600 PROSPECT NE
ALBUQUERQUE, NM 87110

Or Current Resident
ROLLING FRITO-LAY SALES LP %
GEORGE MCELROY & ASSOC
3131 S VAUGHN WAY SUITE 301
AURORA, CO 80014

Project# 1005310
STEVE GRIEGO
4921 CHAPPELL DR NE
ALBUQUERQUE, NM 87107

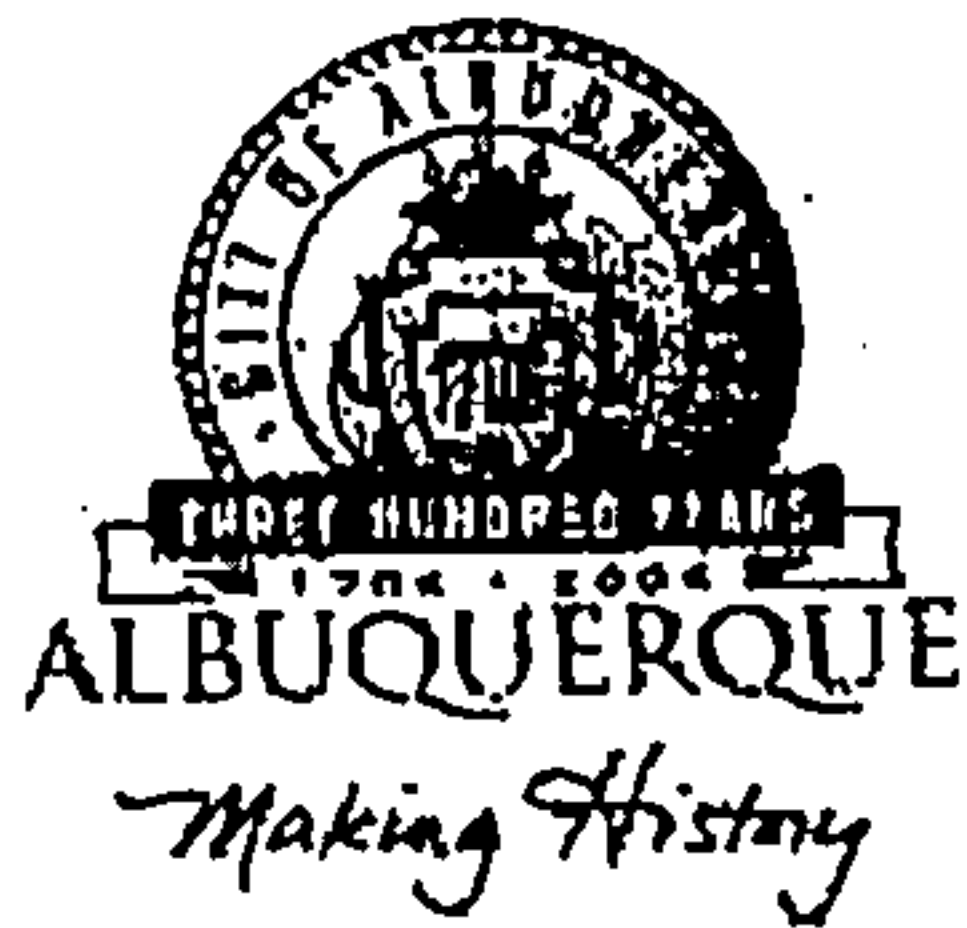
Or Current Resident
DISTRIBUTION MANAGEMENT CORP
INC
PO BOX 94150
ALBUQUERQUE, NM 87199 4150

Or Current Resident
UNITED NM TRUST CO/TRUSTEE OF
UNION PENS TRANS TRUST #93-2NM
1110 PENNSYLVANIA NE SUITE A
ALBUQUERQUE, NM 87110

Project# 1005310
JAMES S. MACGILLIVRAY, GREGORY
T. HIKS & ASSOCIATES
110 SECOND ST SW, STE 204
ALBUQUERQUE, NM 87102

Or Current Resident
MECHANICAL CONTRACTORS ASSN
OF NM HEATING/PLUMBING WORK
FUND
4901 RENAISSANCE BLVD NE
ALBUQUERQUE, NM 87107

Or Current Resident
WELLS FARGO BANK NEW MEXICO
N A UNION PENSION TRANS TRUST
93-2NM
1110 PENNSYLVANIA NE SUITE A
ALBUQUERQUE, NM 87110



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: January 16, 07

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on 1-16-07 (date)

TO CONTACT NAME: Jim Mac Gillivray
COMPANY/AGENCY: Gregory T. Hicks and Associates, PC
ADDRESS/ZIP: 110 2nd St. SW Suite 204 - 87102
PHONE/FAX #: 243-7492 (Fax - 243-1106)

Contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at Tract 9-C Renissance Center, 4911 Chappel Dr NE - UPC 101606246630410230 zone map page(s) F-16.

Our records indicate that as of 1-16-07 (date) there were no Recognized

Neighborhood Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina L. Carmona
OFFICE OF NEIGHBORHOOD COORDINATION

Glads Holdings, LLC

4921 Chappell N.E.
Albuquerque, NM 87107

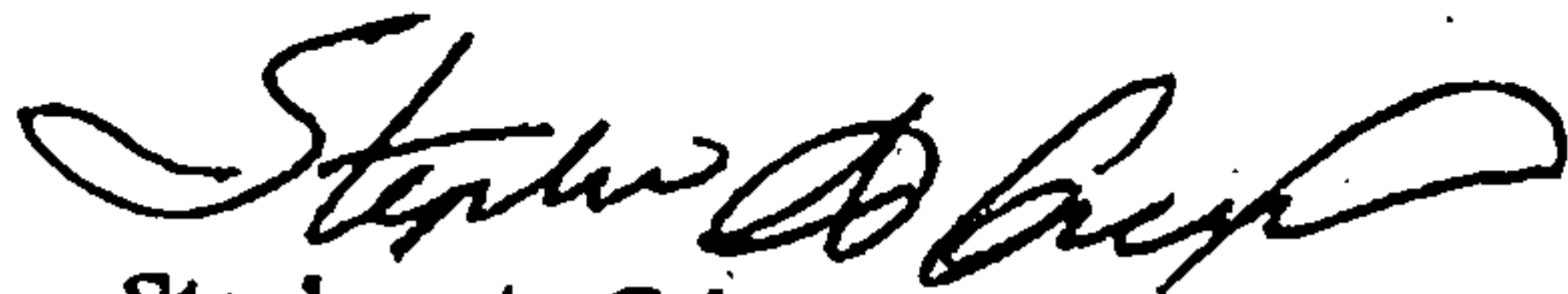
December 12, 2006

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

I, Stephen A. Griego, Managing Member of Glads Holdings, LLC, authorize Gregory T. Hicks and Associates, P.C. to serve as the agent in matters involving Environmental Planning Commission filings, applications, and hearings.


If you have any questions, please do not hesitate to call me at 217-3156.

Respectfully,



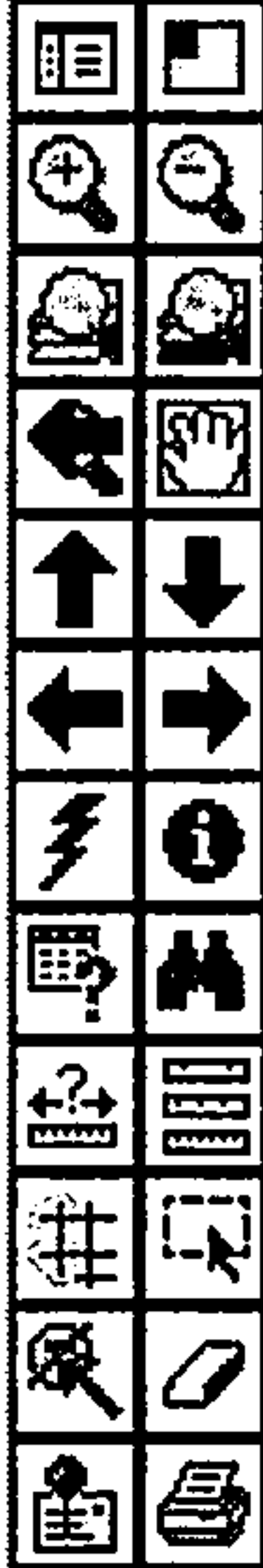
Stephen A. Griego
Managing Member

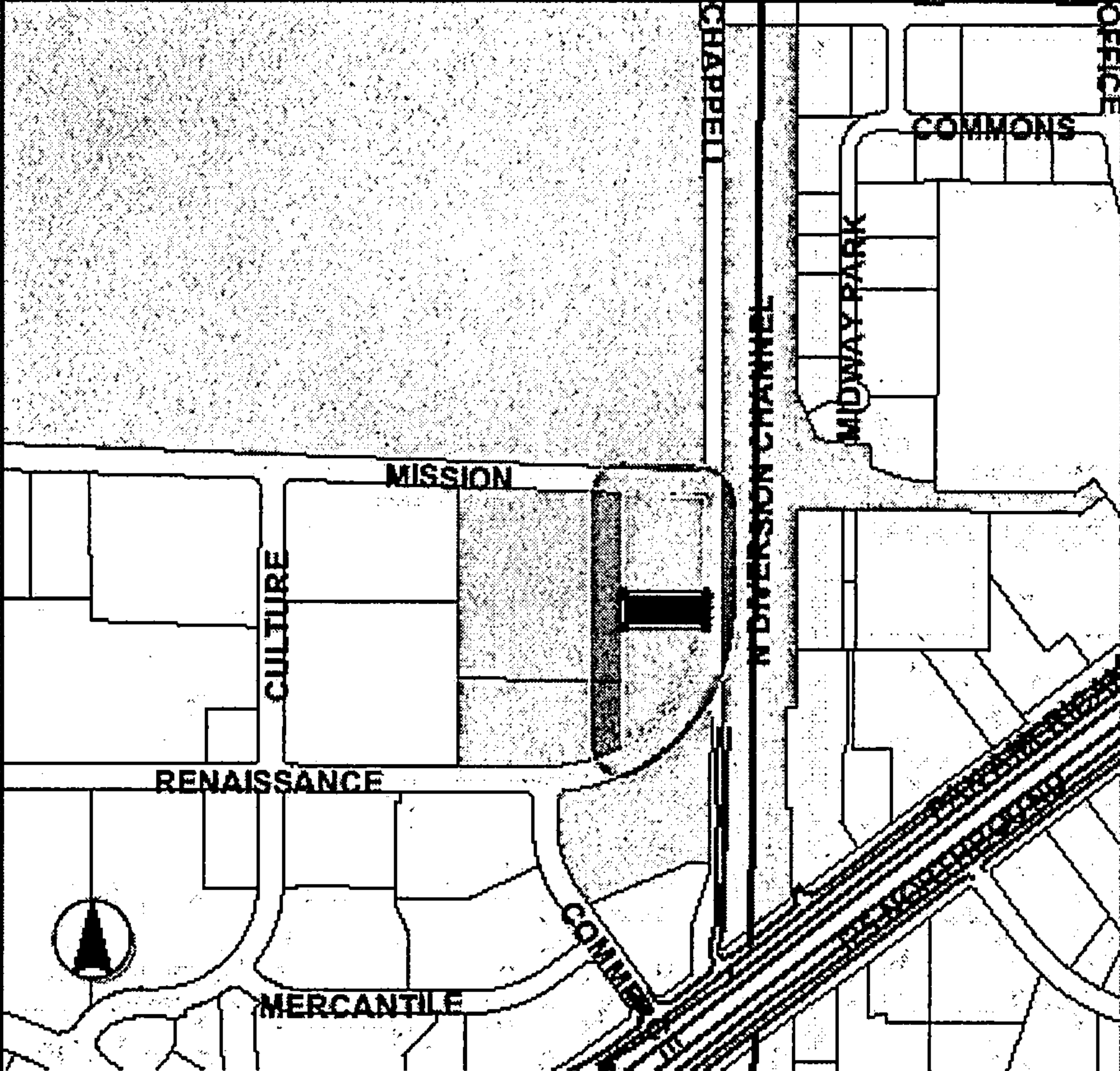
Xc: Gregory T. Hicks & Associates, P.C.



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
- 2004 AIR PHOTO
- 2002 AIR PHOTO
- 1999 AIR PHOTO

Refresh Map

Auto Refresh

Help:

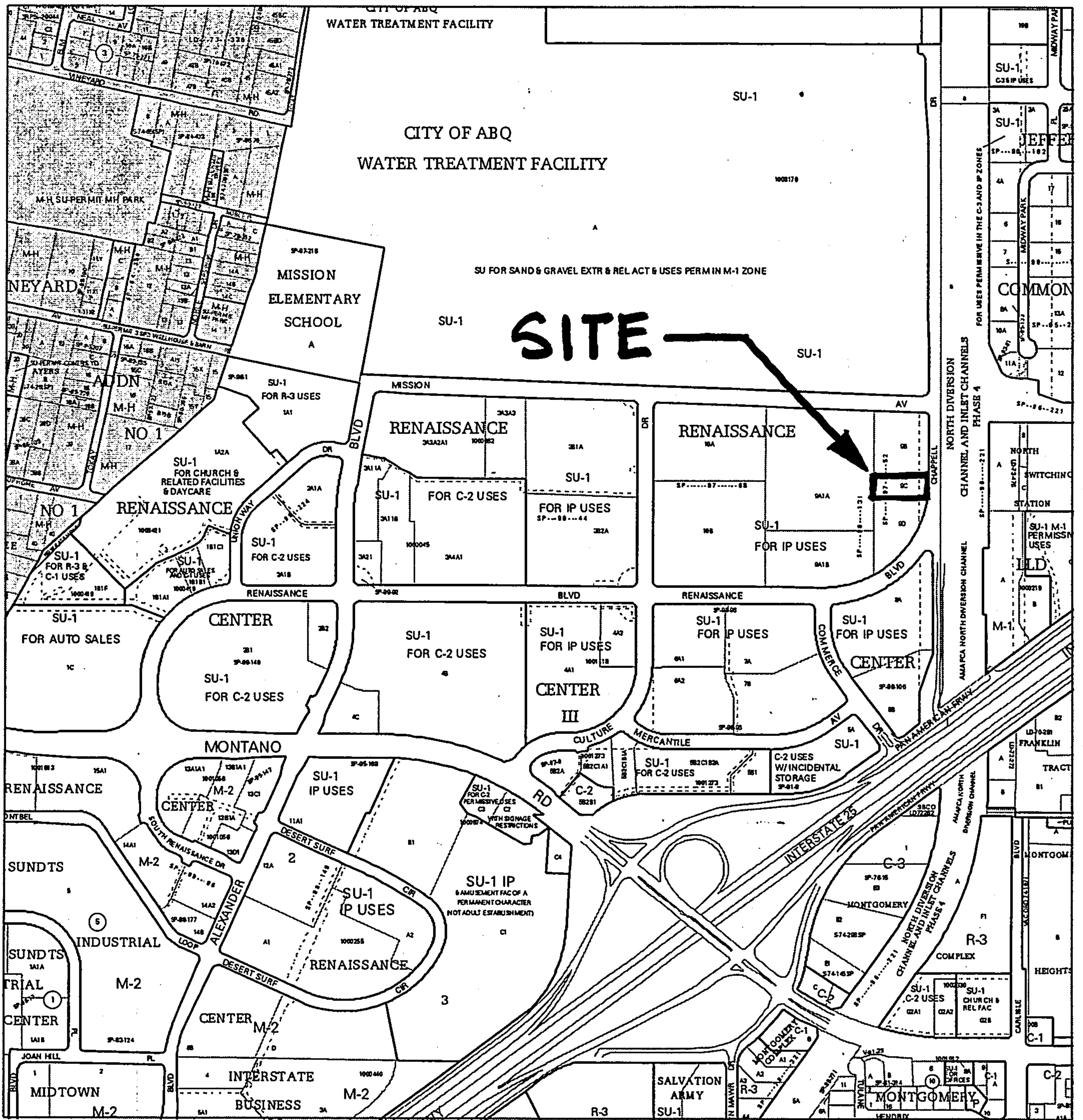
- Closed group, click to open.
- Open group, click to close.
- Map layer.
- Hidden group/layer, click for visible.
- Visible group/layer, click to hide.
- Layer not visible at this scale.
- Partially visible group, click for visible.
- Inactive layer, click for active.
- The active layer.

OWNERSHIP

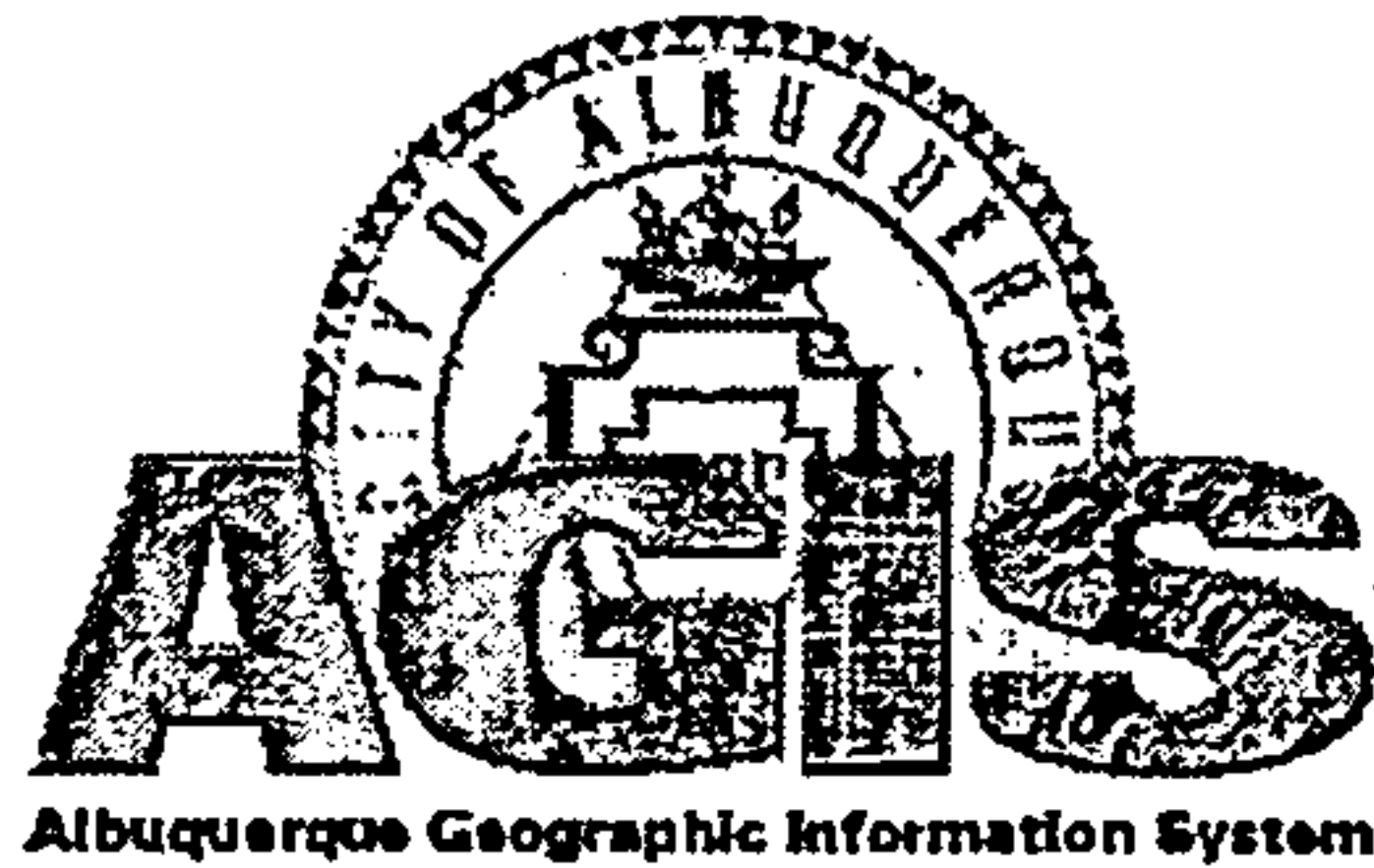
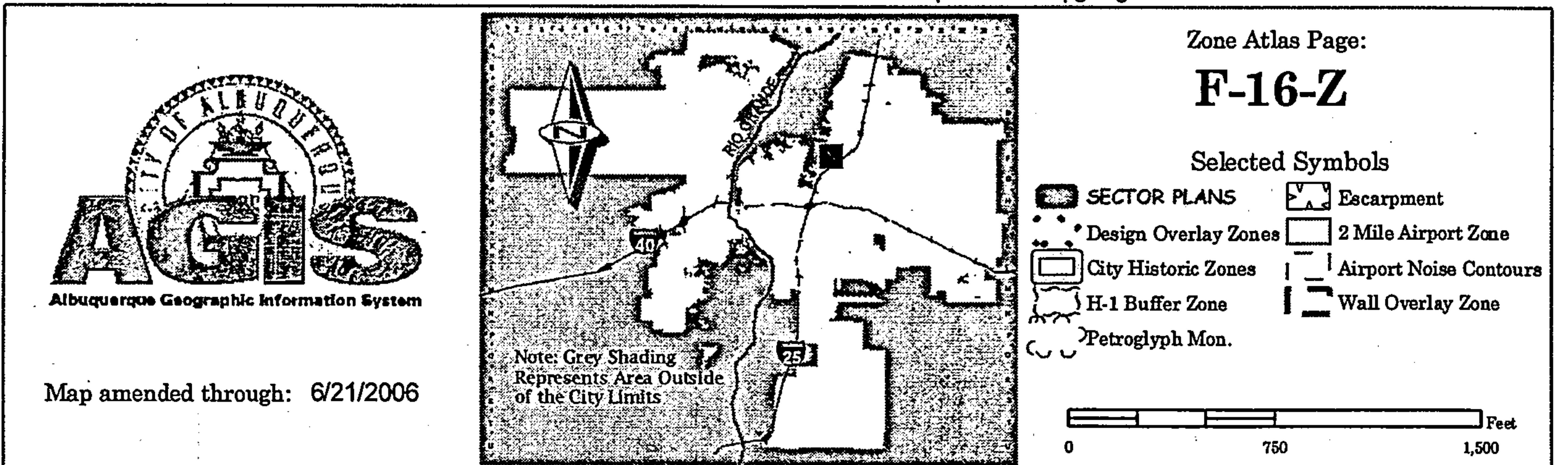
Rec	UPC CODE	OWNER
1	101606149938310404	A M A F C A
2	101606146632610225	DISTRIBUTION MANAGEMENT CORP INC
2	101606146428410225	MECHANICAL CONTRACTORS ASSN OF NM HEATING/PLU

Pan
[SEARCH](#)
[REFRESH](#)
[HELP](#)
[INDEX PAGE](#)

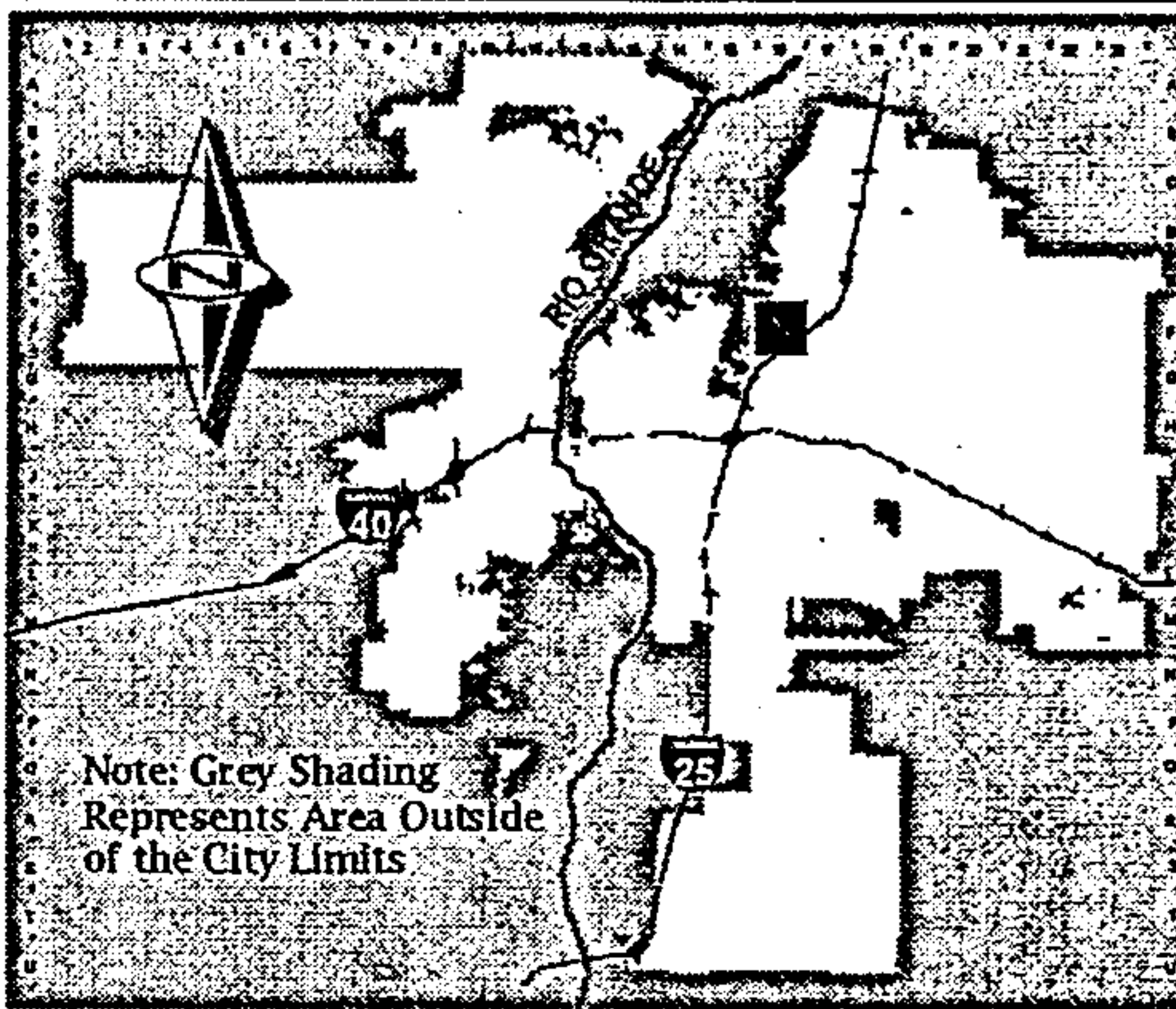
[CONTACT](#)



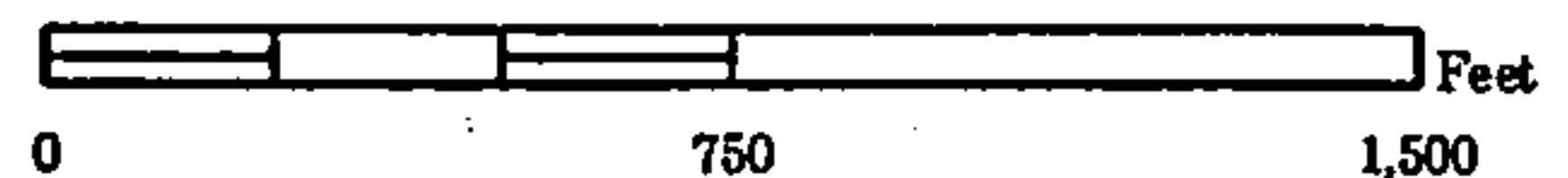
For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/21/2006



- Zone Atlas Page:**
F-16-Z
- Selected Symbols**
- SECTOR PLANS
 - Design Overlay Zones
 - City Historic Zones
 - H-1 Buffer Zone
 - Petroglyph Mon.
 - Escarpment
 - 2 Mile Airport Zone
 - Airport Noise Contours
 - Wall Overlay Zone



January 24, 2007

Ms. Sheron Matson, D.R.B. Chairperson
City of Albuquerque Planning Department
Albuquerque, New Mexico 87103

**RE: Request for Approval of Site Development Plan for Building Permit
Glads Holdings, LLC Office Building**

UPC: 101606146630410230
Legal Description: Tract 9-C, Renaissance Center
Address: 4911 Chappell Dr. NE
Zoning: SU-1 IP
Zone Atlas Map: F-16-Z
Related Case No.: DRB 96-495, V-96-110, DRB AA No. 1005310

Property Owner / Buyer:

Glads Holdings, LLC
4921 Chappell Drive NE, Albuquerque, NM, 87107
Contact: Steve Griego, 505-217-3156

Property Owner / Seller:

Bank of Albuquerque as Trustee for Union Pension Transaction Trust 93-2
C/O Build New Mexico, 122 Tulane SE, Albuquerque, NM, 87106
Contact: Jim Trump, 505-268-1200

Chairperson Matson:

As agent for Mr. Steve Griego of Glads Holdings, LLC, we are requesting approval for **Site Development Plan for Building Permit** for Tract 9-C, Renaissance Center.

Project Description

The captioned project entails construction of a new 1-story office building on a 0.7409 acre parcel. The proposed building will have an enclosed area of 6,371 s.f., a 192 s.f. covered entrance on the east side, a 936 s.f. covered patio on the west side, and a 2,095 s.f. carport on the north side, for a total covered area of 9,594 s.f. **The primary deviations from DRB 96-495 are as follows:**

1. The area of the building (exclusive of patios and carport) has been increased from 4,589 s.f. to 6,371 s.f.
2. The west service lot has been replaced with a patio surrounded by stuccoed masonry walls ranging from 3' to 5' high above highest adjacent grade.
3. A carport has been added to the north side of the building.

GREGORY T. HICKS AND ASSOCIATES, P.C.

The Sunshine Building
110 Second St SW Suite 204
Albuquerque, New Mexico 87102

• ARCHITECTS - PLANNERS •

(505) 243-7492
fax (505) 243-1106
e-mail gthicks@gthicks.com





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, February 21, 2007, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1005310

07DRB-00083 Major-SiteDev Plan
BldPermit

GREGORY T HICKS & ASSOCIATES agent(s) for STEVE GRIEGO request(s) the above action(s) for all or a portion of Tract(s) 9-C, **RENAISSANCE CENTER**, zoned SU-1 FOR IP, located on CHAPPELL DR NE, between MISSION DR NE and RENAISSANCE BLVD NE containing approximately 1 acre(s). [REF: 06AA01769, DRB-96-495, V-96-110] (F-16)

Project # 1005346

07DRB-00084 Major-Bulk Land Variance
07DRB-00085 Major-Vacation of Public Easements
07DRB-00086 Major-Preliminary Plat Approval

CONSENSUS PLANNING INC agent(s) for ALBUQUERQUE 50 LLC request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK** and Tract(s) D & S, **DOUBLE EAGLE AIRPORT AND ADJACENT LANDS**, zoned SU-1 FOR AIRPORT & RELATED FACILITIES, located on PASEO DEL VOLCAN NW, between 1-40 and the CITY OF RIO RANCHO containing approximately 50 acre(s). [REF: 04DRB01505, 04DRB01506] (F-6)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

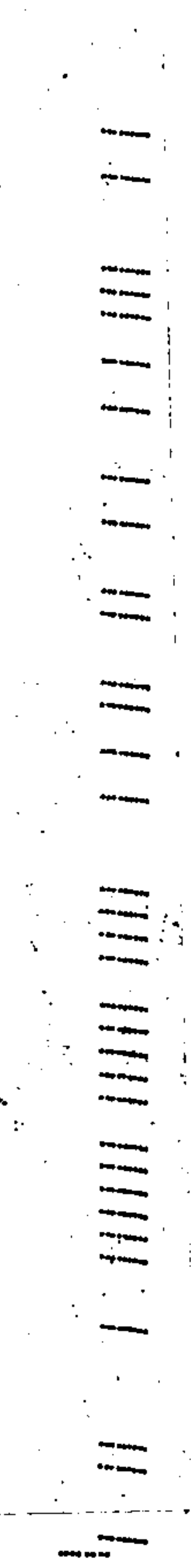
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 5, 2007.

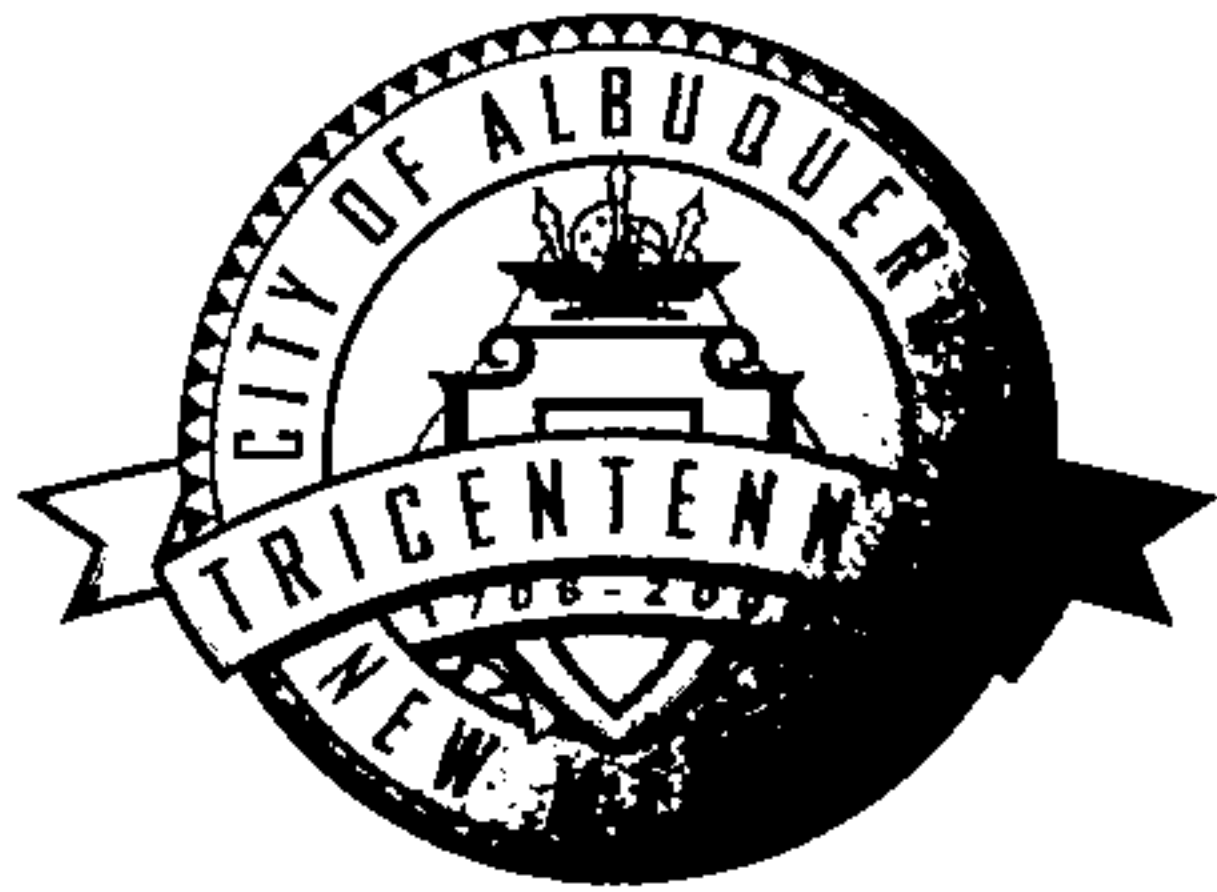
[Faint, illegible text and stamps at the bottom of the page, likely bleed-through from the reverse side.]

4-8

P O Box 1293 Albuquerque, New Mexico 87103

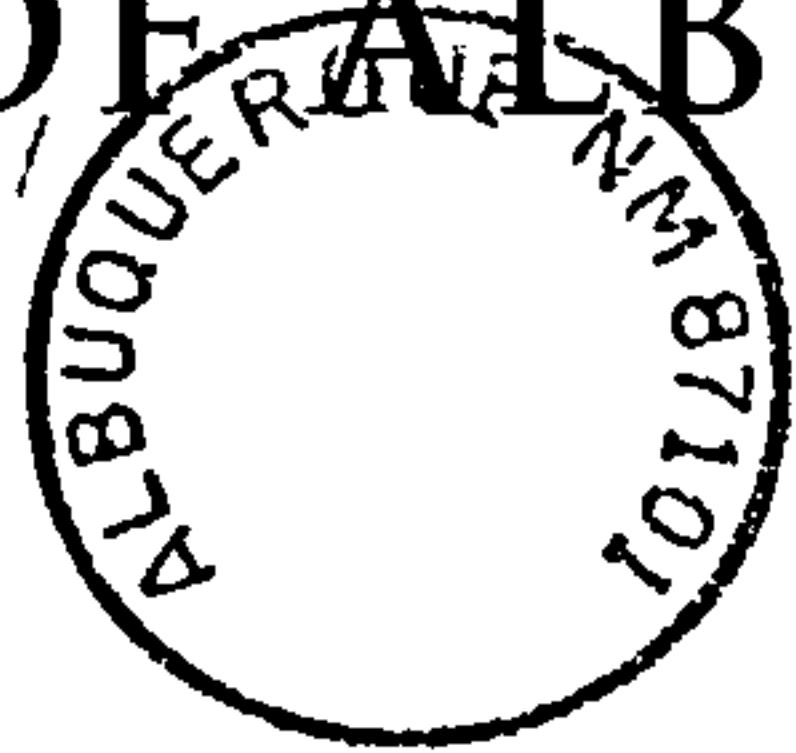
ANK





Planning Department

CITY OF ALBUQUERQUE



UNITED STATES POSTAGE
PITNEY BOWES
02 1M \$ 00.39⁰
0004219022 FEB 01 2007
MAILED FROM ZIP CODE 87102

Or Current Resident
WELLS FARGO BANK NEW MEXICO
N A UNION PENSION TRANS TRUST
93-2NM
1110 PENNSYLVANIA NE SUITE A
ALBUQUERQUE, NM 87110

DRB

Or Current Resident



8711057404 024



P O Box 1293 Albuquerque, New Mexico 87103

ANK

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

09/21/2007 Issued By: PLNABG

Permit Number: 2007 010 080 **Category Code 940**

Application Number: 07AA-10080, Amndt Site Development Plan - Bld Prmt

Address:

Location Description: CHAPPELL DR NE BETWEEN MISSION DR NE AND RENAISSANCE NE

Project Number: 1005310

Applicant
Glads Holdings Llc

4921 Chappell Dr Ne
Albuquerque, NM 87102
217-3158

Agent / Contact
Gregory T. Hicks & Associates

1102nd St Sw
Albuquerque, NM 87107
243-7492

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441008/4971000	AA Actions	\$45.00
TOTAL:		\$45.00

City Of Albuquerque
Treasury Division

9/21/2007 11:51AM LOC: ANNX
WSH 008 TRANSH 0030
RECEIPT# 00081653-00081653
PERMITH 2007010080 TRSLJS
Trans Amt \$45.00
AA Actions \$45.00
CK \$45.00
CHANGE \$0.00

Thank You

February 12, 2007

Ms. Sheron Matson, D.R.B. Chairperson
City of Albuquerque Planning Department
Albuquerque, New Mexico 87103

**RE: Drawing Improvements and Clarifications
Request for Approval of Site Development Plan for Building Permit
Glads Holdings, LLC Office Building**

UPC: 101606146630410230
Legal Description: Tract 9-C, Renaissance Center
Address: 4911 Chappell Dr. NE
Zoning: SU-1 IP
Zone Atlas Map: F-16-Z
Related Case No.: DRB 96-495, V-96-110, DRB AA No. 1005310

Chairperson Matson:

Thank you for your comments received February 8, 2007. The following improvements have been made to the drawings and correspond to your comments attached:

1. Landscaping and irrigation notes have been added to the note strip on the Landscaping Plan sheet per your direction.

Amended **Question: Is the color of the gravel required to be SFB (Santa Fe Brown) or can we specify grey gravel to match adjacent tracts? (Refer to attachment.)**

2. A statement clarifying that crusher fines and gravel are to be 3" minimum depth has been added to the notestrip on the Landscaping Plan sheet.
- 3a. Shade tree calibers have been increased to 4". Ornamental tree sizes have been denoted by height, rather than caliber, per Renaissance Master Declaration.
- 3b. All plant species on the Landscaping Plan have been updated to comply with species specified in the Renaissance Master Declaration.

Note: At the outset of the project, we were given a copy of the Water Conservation Landscaping and Water Waste Ordinance and were asked to comply with the requirements of the ordinance on this project. We are not able to recall the source. The ordinance provides a substantially greater list of species to choose from, many of which are low water species. We are guessing that this directive may have been issued because most of the species in the Renaissance Master Declaration are

GREGORY T. HICKS AND ASSOCIATES, P.C.

The Sunshine Building
110 Second St SW Suite 204
Albuquerque, New Mexico 87102

• ARCHITECTS / PLANNERS •

(505) 243-7492
fax (505) 243-1106
e-mail gthicks@gthicks.com



medium water species, not allowing for compliance with the Water Conservation Ordinance.

Note: The owner would prefer to use low water plants if permissible.

*OKAY - Will
- Xmet to be used
L.P.*

- ✓ 4. The monument sign contains concealed light fixtures situated inside the body of the sign near the top, which shine down and back toward the face of the sign for an indirect lighting effect. No light fixtures are visible from the exterior of the sign. To clarify this we enlarged and improved the monument sign details on Sheet 1a.
- ✓ 5. Overall building dimensions have been added to the Exterior Elevations.
- ✓ 6. Wall height clarifications have been added to the Site Plan. All walls surrounding the patio are less than 6 feet high, except the west facing patio wall which is situated on a slope and serves as a retaining wall in addition to a patio wall. This particular wall is 4' high on the uphill side (patio side) and 8 feet high on the downhill side (sloped terrain side) due to the slope of the site. (Compare G&D Plan and Exterior Elevations.)

No. **Question: Will the retaining/patio wall which is 8 foot high on the downhill side require a variance?**

Please let us know if you have any questions or if we can make any additional improvements/clarifications to the drawings.

Respectfully,



James S. MacGillivray
Registered Architect
Gregory T. Hicks & Associates, P.C.

Agent For:
Mr. Steve Griego
Glads Holdings, LLC
4921 Chappell Drive NE, Albuquerque, NM, 87107
Telephone: 505-217-3156

Attachments: Landscaping and Irrigation Notes
 Planning Comments

GREGORY T. HICKS AND ASSOCIATES, P.C.

The Sunshine Building
110 Second St SW Suite 204
Albuquerque, New Mexico 87102

• ARCHITECTS • PLANNERS •

(505) 243-7492
fax (505) 243-1106
e-mail gthicks@gthicks.com





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, February 21, 2007, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1005310
07DRB-00083 Major-SiteDev Plan
BldPermit

GREGORY T HICKS & ASSOCIATES agent(s) for STEVE GRIEGO request(s) the above action(s) for all or a portion of Tract(s) 9-C, **RENAISSANCE CENTER**, zoned SU-1 FOR IP, located on CHAPPELL DR NE, between MISSION DR NE and RENAISSANCE BLVD NE containing approximately 1 acre(s). [REF: 06AA01769, DRB-96-495, V-96-110] (F-16)

- ① There are some required Landscape Notes missing from the Landscape Plan. Agent was faxed a copy.
- ② A statement requiring a minimum of 3" depth of gravel or crusher fine is also needed on the Landscape Plan.
- ③a Page 39 of the Renaissance Center Master Plan requires 4" caliper trees. Only one listed tree, the Golden Raintree is listed in the Master Plan as permissible. The other 3 are not listed. Is there a reason why the developer did not follow the approved list?
- ③b
- ④ What type of lighting will be installed for the monument sign? It must either be within the sign itself illuminating within or pointing at the sign itself.
- ⑤ The overall width of the building appears to be missing from the Elevations sheet.
- ⑥ The wall plan view indicates varying height. Please add the maximum height which should not exceed 6 feet.

Planning has received the approval letter from the Renaissance Center ARC.

If possible, please re-submit a revised SPBP to Planning by noon on Tuesday, February 20, 2007 for final review.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

IS SANTA FE BROWN REQ.?

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Typical description

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" polypipe with flush caps at each end.

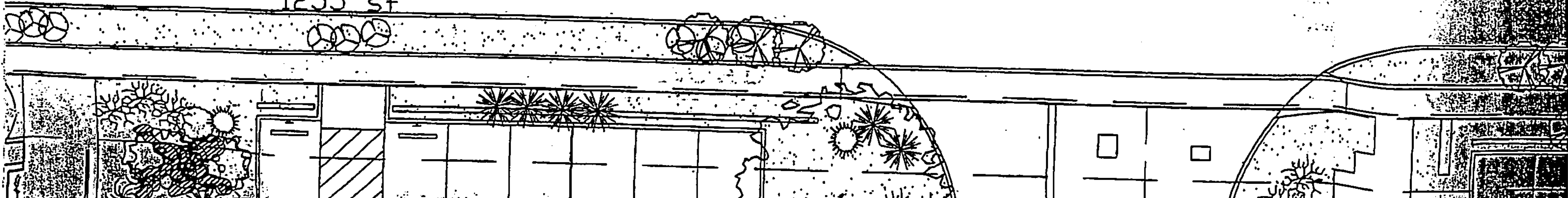
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

~~Point of connection for irrigation system is unknown at current time and will be coordinated in the field.~~

~~Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.~~

Irrigation maintenance shall be the responsibility of the Property Owner.

1255 sf





1
1005310
02/21/2007

4911
9C

F16

4901

1610
SU-1

A
99999

A
4741

SU-1

B
B

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

- SUBDIVISION**
- Major Subdivision action
 - Minor Subdivision action
 - Vacation
 - Variance (Non-Zoning)

- SITE DEVELOPMENT PLAN**
- for Subdivision Purposes
 - for Building Permit
 - IP Master Development Plan
 - Cert. of Appropriateness (LUCC)

- STORM DRAINAGE**
- Storm Drainage Cost Allocation Plan

Supplemental form

- | | | |
|----------------------------|----------------------------|---|
| <input type="checkbox"/> S | <input type="checkbox"/> Z | ZONING & PLANNING |
| <input type="checkbox"/> | <input type="checkbox"/> | Annexation |
| <input type="checkbox"/> | <input type="checkbox"/> | County Submittal |
| <input type="checkbox"/> V | <input type="checkbox"/> | EPC Submittal |
| <input type="checkbox"/> | <input type="checkbox"/> | Zone Map Amendment (Establish or Change Zoning) |
| <input type="checkbox"/> P | <input type="checkbox"/> | Sector Plan (Phase I, II, III) |
| <input type="checkbox"/> | <input type="checkbox"/> | Amendment to Sector, Area, Facility or Comprehensive Plan |
| <input type="checkbox"/> | <input type="checkbox"/> | Text Amendment (Zoning Code/Sub Regs) |
| <input type="checkbox"/> | <input type="checkbox"/> | Street Name Change (Local & Collector) |
| <input type="checkbox"/> L | <input type="checkbox"/> A | APPEAL / PROTEST of... |
| <input type="checkbox"/> D | <input type="checkbox"/> | Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: STEVE GRIEGO PHONE: 217-3156
 ADDRESS: 4921 CHAPPELL DRIVE N.E. FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): JAMES S. MACGILLIVRAY, GREGORY T. HICKS + ASSOC. PHONE: 243-7492
 ADDRESS: 110 SECOND STREET SW, SUITE 204 FAX: 243-1106
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: jimm@gthicks.com

DESCRIPTION OF REQUEST: NEW OFFICE BUILDING
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 9-C Block: _____ Unit: _____
 Subdiv. / Addn. RENAISSANCE CENTER
 Current Zoning: SU-1 IP Proposed zoning: NO CHANGE
 Zone Atlas page(s): F-16-Z No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 0.7409 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101606146630410230 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 4911 CHAPPELL DR. NE
 Between: MISSION DR. and RENAISSANCE BLVD NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): _____
DRB 96-495, V-96-110, DRB AA NO. 1005310

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE James S. MacGillivray DATE 1-24-7
 (Print) JAMES S. MACGILLIVRAY _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB 00083</u>	<u>SBR</u>	<u>12</u>	<u>\$285.00</u>
	<u>ADV</u>		<u>\$75.00</u>
	<u>CMF</u>		<u>\$20.00</u>
			\$
			\$
			\$
Hearing date <u>02/21/07</u>			Total <u>\$480.00</u>

Sandy Handley 01/25/07 Project # 1005310

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION** **Maximum Size: 24" x 36"**
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT** **Maximum Size: 24" x 36"**
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

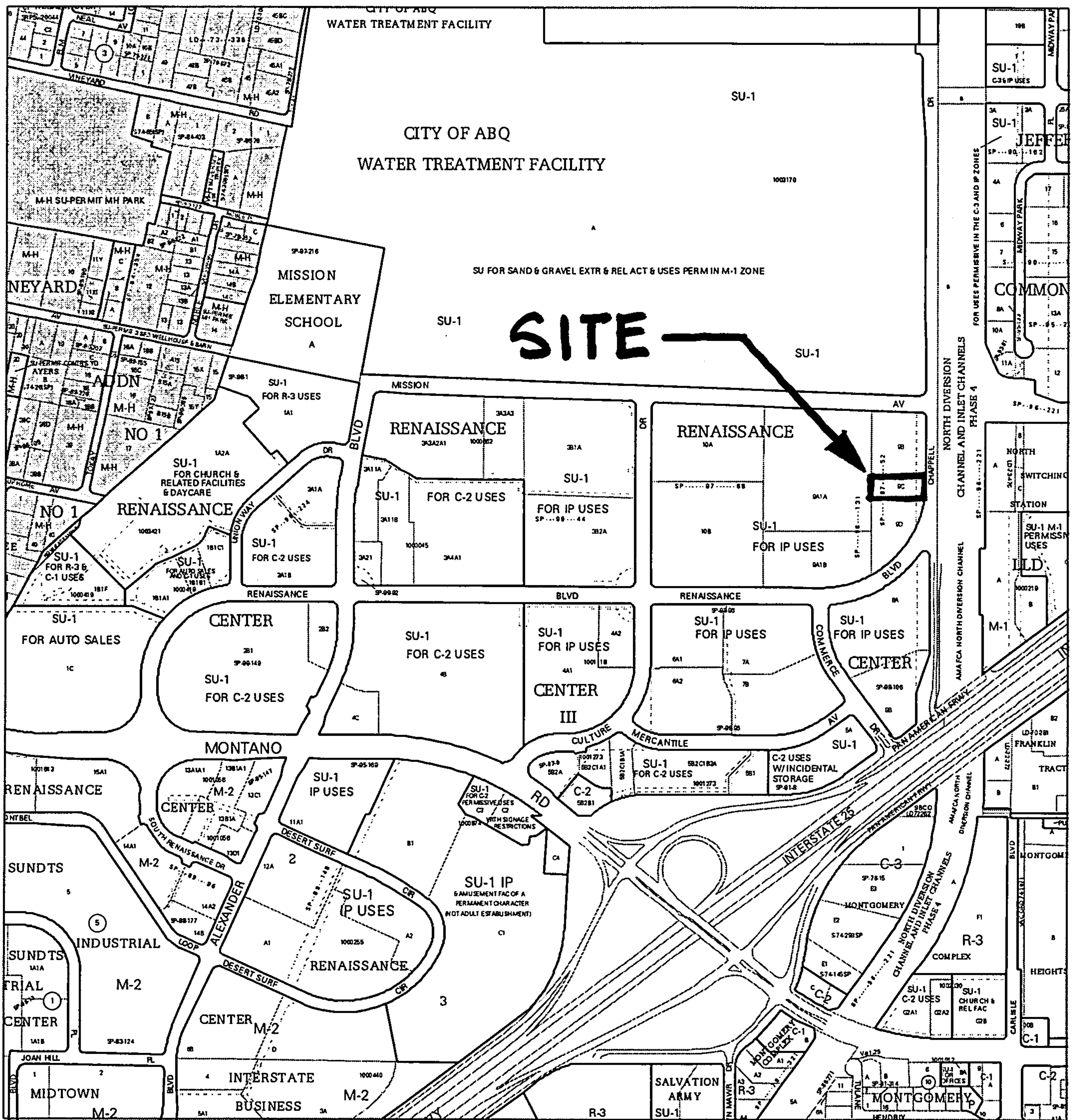
James S. MacGillivray
 Applicant name (print)
James S. MacGillivray 1-24-7
 Applicant signature / date



Form revised APRIL 2006

Checklists complete Application case numbers
 Fees collected 07DRB - 00083
 Case #s assigned
 Related #s listed

Sandra Dudley 01/25/07
 Planner signature / date
Project # 1005310



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 6/21/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

January 24, 2007

Ms. Sheron Matson, D.R.B. Chairperson
City of Albuquerque Planning Department
Albuquerque, New Mexico 87103

**RE: Request for Approval of Site Development Plan for Building Permit
Glads Holdings, LLC Office Building**

UPC: 101606146630410230
Legal Description: Tract 9-C, Renaissance Center
Address: 4911 Chappell Dr. NE
Zoning: SU-1 IP
Zone Atlas Map: F-16-Z
Related Case No.: DRB 96-495, V-96-110, DRB AA No. 1005310

Property Owner / Buyer:

Glads Holdings, LLC
4921 Chappell Drive NE, Albuquerque, NM, 87107
Contact: Steve Griego, 505-217-3156

Property Owner / Seller:

Bank of Albuquerque as Trustee for Union Pension Transaction Trust 93-2
C/O Build New Mexico, 122 Tulane SE, Albuquerque, NM, 87106
Contact: Jim Trump, 505-268-1200

Chairperson Matson:

As agent for Mr. Steve Griego of Glads Holdings, LLC, we are requesting approval for **Site Development Plan for Building Permit** for Tract 9-C, Renaissance Center.

Project Description

The captioned project entails construction of a new 1-story office building on a 0.7409 acre parcel. The proposed building will have an enclosed area of 6,371 s.f., a 192 s.f. covered entrance on the east side, a 936 s.f. covered patio on the west side, and a 2,095 s.f. carport on the north side, for a total covered area of 9,594 s.f. **The primary deviations from DRB 96-495 are as follows:**

1. The area of the building (exclusive of patios and carport) has been increased from 4,589 s.f. to 6,371 s.f.
2. The west service lot has been replaced with a patio surrounded by stuccoed masonry walls ranging from 3' to 5' high above highest adjacent grade.
3. A carport has been added to the north side of the building.

GREGORY T. HICKS AND ASSOCIATES, P.C.

The Sunshine Building
110 Second St SW Suite 204
Albuquerque, New Mexico 87102

• ARCHITECTS • PLANNERS •

(505) 243-7492
fax (505) 243-1106
e-mail gthicks@gthicks.com



Restrictive Covenants

The proposed improvements shall comply with the requirements of the **Master Declaration For North Renaissance**.

Architectural Style

The architecture style of the building will be southwestern, contemporary, post-modern, "neo-territorial" in keeping with the Master Declaration For North Renaissance and similar to existing adjacent buildings.

Site Access

Access to the site is currently provided by an existing curb-cut along Chappell Drive. No changes to the curb-cut are planned.

Parking

The Net Leasable Area of the new building will be approximately 5,544 s.f. At 200 s.f. per car for office space, the parking requirement will be 28 spaces. Accessible parking, motorcycle parking, and bicycle parking will be provided per C.O.A requirements. There are no bus routes serving the site.

Landscaping

Irrigated landscaping will be provided in keeping with the Master Declaration For North Renaissance. A Landscaping Plan is included with this application.

Site Signage

The site will contain one indirectly lit monument sign along Chappell Dr. There will be no signage mounted to the building.

Site Lighting

Site lighting will be accomplished with cut-off fixtures mounted to the exterior walls of the building. There will be no pole lights or bollards.

Refuse

The refuse needs of the site will be met by the existing dumpster enclosure located on the property to the south in keeping with the original intent of the Sector Development Plan. A signed Joint-Use Agreement has been delivered to Mr. Michael Holton, Solid Waste Management Department, and is attached. A Site Plan with Mr. Holton's signature is included with this application.

Fire Protection

The new building will be Type II-N, non-sprinkled. Upon meeting with Fire Inspector Raymond Sanchez, C.O.A. Plans Review Section, on December 11, 2006, it was determined that the captioned project would be adequately protected by two existing fire hydrants located in close proximity to the site. A signed Fire Hydrant and

GREGORY T. HICKS AND ASSOCIATES, P.C.

The Sunshine Building
110 Second St SW Suite 204
Albuquerque, New Mexico 87102

• ARCHITECTS / PLANNERS •

(505) 243-7492
fax (505) 243-1106
e-mail gthicks@gthicks.com



Instantaneous Fire Flow Requirements Form is attached. A Site Plan stamped by the Fire Department is included with this application.

Site Utilities

Following is a summary of site utilities. A Site Utilities Plan and an Electrical Site Plan are included with this application.

- * **Water service** will be provided by tying into the existing water main in Chappell Dr.
- * **Sewer service** will be provided by tying into an existing sewer stub-in on the site.
- * **Gas service** will be provided by tying into an existing gas line on the site. Capacity if being verified.
- * **Electric service** will be provided by tying into an existing underground PNM service line on the site.
- * **Communications service** will be provided by tying into an existing communications pedestal on the site.

Grading and Drainage

There are two existing storm drains on the site which are to remain. A Grading and Drainage Plan is attached.

Infrastructure List / DRC

Except for a water tap and a possible gas tap, no work is planned in the R.O.W.

Please let us know if we need to provide any additional information for this request.

Respectfully,



James S. MacGillivray
Registered Architect
Gregory T. Hicks & Associates, P.C.

Agent For:
Mr. Steve Griego
Glads Holdings, LLC
4921 Chappell Drive NE, Albuquerque, NM, 87107
Telephone: 505-217-3156

GREGORY T. HICKS AND ASSOCIATES, P.C.

The Sunshine Building
110 Second St SW Suite 204
Albuquerque, New Mexico 87102

• ARCHITECTS - PLANNERS •

(505) 243-7492
fax (505) 243-1106
e-mail gthicks@gthicks.com



Glads Holdings, LLC

4921 Chappell N.E.
Albuquerque, NM 87107

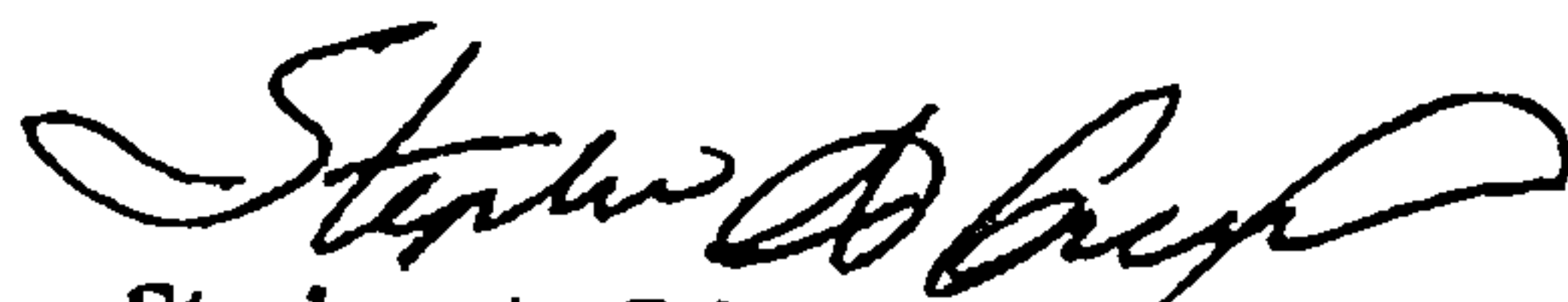
December 12, 2006

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

I, Stephen A. Griego, Managing Member of Glads Holdings, LLC, authorize Gregory T. Hicks and Associates, P.C. to serve as the agent in matters involving Environmental Planning Commission filings, applications, and hearings.

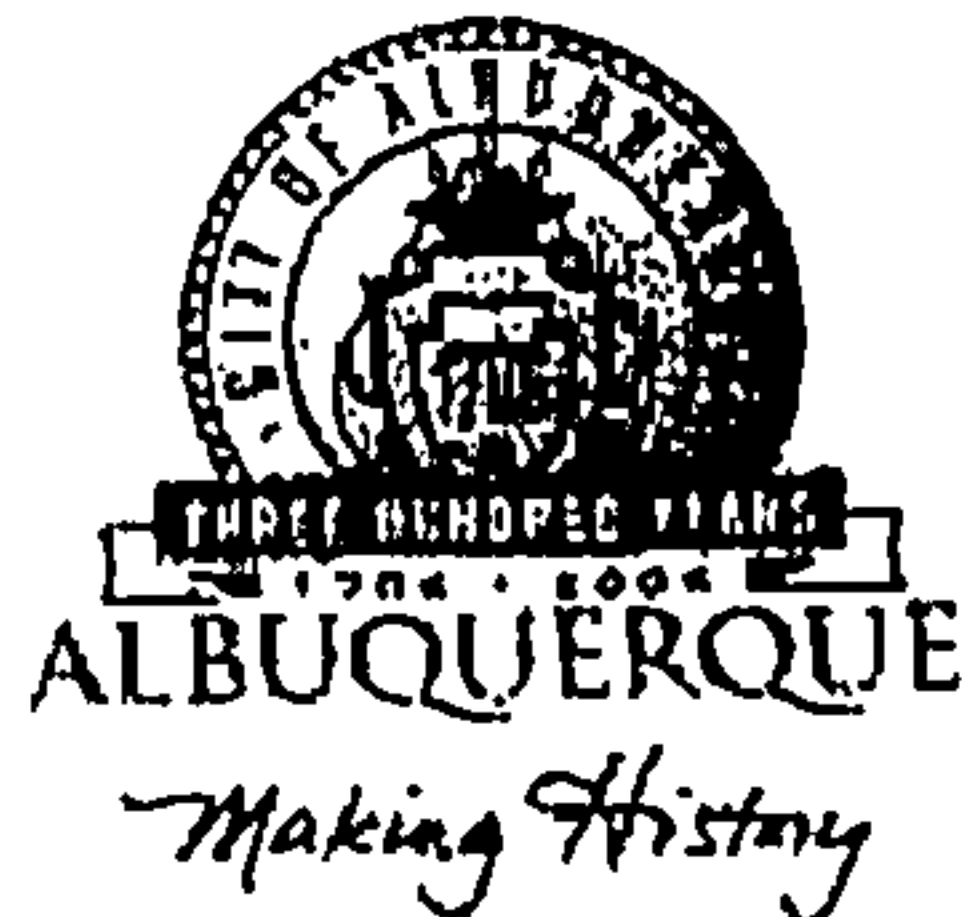
If you have any questions, please do not hesitate to call me at 217-3156.

Respectfully,



Stephen A. Griego
Managing Member

Xc: Gregory T. Hicks & Associates, P.C.



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: January 16, 07

Planning Department
 Plaza Del Sol Building
 600 Second St. NW
 Second Floor (924-3860)

This letter will serve to notify you that on 1-16-07
(date)

TO CONTACT NAME: Sim Mac Gillivray
 COMPANY/AGENCY: Gregory T. Hicks and Associates, PC
 ADDRESS/ZIP: 110 2nd St. SW Suite 204 - 87102
 PHONE/FAX #: 243-7492 (Fax - 243-1106)

Contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at Tract 9-C Renaissance Center 4911 Chappel Dr NE - UPC 1016062466 30410230
 zone map page(s) F-16.

Our records indicate that as of 1-16-07, there were **no Recognized**
(date)

Neighborhood Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina L. Carmona
 OFFICE OF NEIGHBORHOOD COORDINATION

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

James I. MacKilgus 1-24-7
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Preliminary Grading Plan (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. Building and Structure Elevations
5. Conceptual Utility Plan

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

YES A. 8-1/2" x 11" reduction for each plan sheet.

YES B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

YES 1. Date of drawing and/or last revision

YES 2. Scale: 1.0 acre or less ~~1" = 10'~~ 1/16" = 1-0"
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

[Other scales as approved by staff]

YES 3. Bar scale

YES 4. North arrow

YES 5. Scaled vicinity map

YES 6. Property lines (clearly identify)

YES 7. Existing and proposed easements (identify each)

N/A 8. Phases of development including location and square footages of structures, circulation, parking and landscaping → 1 PHASE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

B. Proposed Development

1. Structural

- YES A. Location of existing and proposed structures (distinguish between existing & proposed)
- YES B. Square footage of each structure
- YES C. Proposed use of each structure
- YES D. Temporary structures, signs and other improvements
- YES E. Walls, fences, and screening: indicate height, length, color and materials
- YES F. Dimensions of all principal site elements or typical dimensions thereof
- NA G. Loading facilities
- YES H. Site lighting (indicate height & fixture type) → WALL MOUNTED ONLY. NO POLES
- YES I. Indicate structures within 20 feet of site
- NA J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

THERE IS A JOINT USE AGREEMENT
ALLOWING USE OF DUMPSTER LOCATED ON
SITE TO THE SOUTH.

- YES A. Parking layout with spaces numbered per aisle and totaled.
 - YES 1. Location and typical dimensions, including handicapped spaces
 - YES 2. Calculations: spaces required: 28 provided: 28
Handicapped spaces required: 2 provided: 2

- YES B. Bicycle parking & facilities
 - YES 1. Bicycle racks, spaces required: 2
provided: 2
 - NA 2. Other bicycle facilities, if applicable

- YES C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - YES 1. Ingress and egress locations, including width and curve radii dimensions
 - YES 2. Drive aisle locations, including width and curve radii dimensions
 - YES 3. End aisle locations, including width and curve radii dimensions
 - NA 4. Location & orientation of refuse enclosure, with dimensions
 - YES 5. Curb cut locations and dimensions

- YES D. Pedestrian Circulation
 - YES 1. Location and dimensions of all sidewalks and pedestrian paths
 - YES 2. Location and dimension of drive aisle crossings, including paving treatment
 - YES 3. Location and description of amenities, including patios, benches, tables, etc.
YES NO

3. Streets and Circulation

- YES A. Locate and identify adjacent public and private streets and alleys. EXISTING TO REMAIN
 - YES 1. Existing and proposed pavement widths, right-of-way widths and curve radii ↗
 - NA 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - NA 3. Location of traffic signs and signals related to the functioning of the proposal
 - NA 4. Identify existing and proposed medians and median cuts
 - YES 5. Sidewalk widths and locations, existing and proposed → EXISTING TO REMAIN
- NA B. Identify Alternate transportation facilities within site or adjacent to site
 - NA 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

- NA 2. Pedestrian trails and linkages
- NA 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- YES 1. Fire hydrant locations, existing and proposed. → *ONE EXIST. TO REMAIN.*
- YES 2. Distribution lines
- YES 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- YES 4. Existing water, sewer, storm drainage facilities (public and/or private).
- YES 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- YES 1. Scale - must be same as scale on sheet #1 - Site plan
- YES 2. Bar Scale
- YES 3. North Arrow
- YES 4. Property Lines
- YES 5. Existing and proposed easements
- YES 6. Identify nature of ground cover materials
 - YES A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - YES B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - NA C. Ponding areas either for drainage or landscaping/recreational use
- YES 7. Identify type, location and size of plantings (common and/or botanical names).
 - YES A. Existing, indicating whether it is to preserved or removed.
 - YES B. Proposed, to be established for general landscaping.
 - NA C. Proposed, to be established for screening/buffering.
- YES 8. Describe irrigation system
- YES 9. Planting Beds, indicating square footage of each bed
- NO 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. *NO TURF*
- YES 11. Responsibility for Maintenance (statement) → *ON SITE PLAN*
- YES 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- YES 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- YES 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

A. General Information

- YES 1. Scale - must be same as Sheet #1 - Site Plan
- YES 2. Bar Scale
- YES 3. North Arrow
- YES 4. Property Lines → NO NEW EASEMENTS
- YES 5. Existing and proposed easements
- YES 6. Building footprints
- YES 7. Location of Retaining walls

B. Grading Information

- YES 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- YES 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- YES 3. Identify ponding areas, erosion and sediment control facilities.
- YES 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SEE A6.1

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- YES A. Scale (minimum of 1/8" or as approved by Planning Staff).
- NO B. Bar Scale
- YES C. Detailed Building Elevations for each facade
 - YES 1. Identify facade orientation
 - YES 2. Dimensions of facade elements, including overall height and width
 - YES 3. Location, material and colors of windows, doors and framing
 - YES 4. Materials and colors of all building elements and structures
- NA E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage SEE SHEET CA.1

- YES 1. Site location(s) → ONE MONUMENT SIGN, NO SIGNS ON BUILDING
- YES 2. Sign elevations to scale
- YES 3. Dimensions, including height and width
- YES 4. Sign face area - dimensions and square footage clearly indicated
- YES 5. Lighting
- YES 6. Materials and colors for sign face and structural elements.
↳ INDICATED ON SHEET A4.1

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

Solid Waste Department
Attn. Michael Holden
4600 Edith Blvd NE
Albuquerque, NM 87107

Re: Refuse Joint Agreement

January 19, 2007

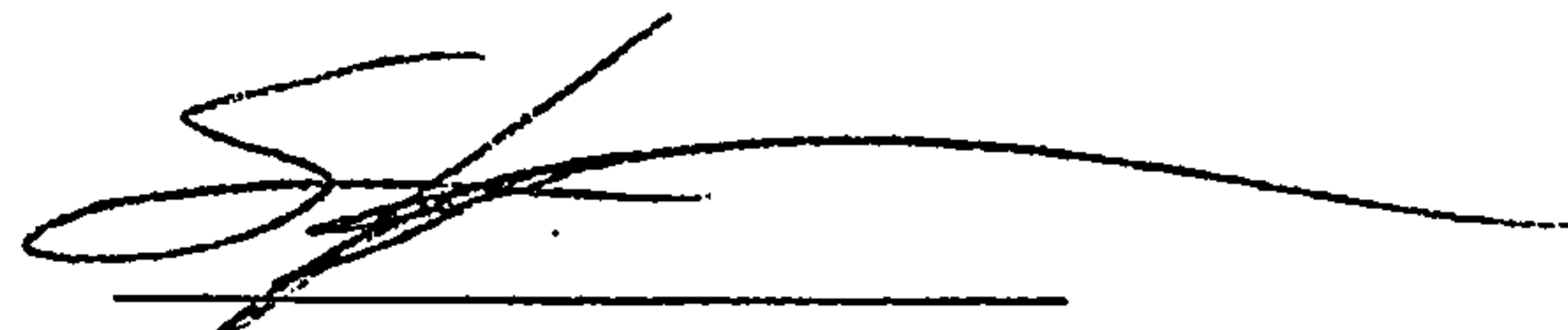
This letter is to inform the Solid Waste Department that there's an agreement between both property owner representatives at the existing MCA Building located at 4901 Chappell Dr NE, Albuquerque, NM 87107 and the new GLADS Holdings, Inc. Office Building located at 4911 Chappell Dr NE, Albuquerque, NM 87107 to share the existing double enclosure for refuse.

The enclosure is large enough to accommodate both owners, and we foresee no problem sharing the area. Any future cost associated with the modification of the enclosure gate will be the responsibility of GLADS Holdings, Inc. If there is an issue in the future, both companies agree to contact the Solid Waste Department for resolution.

Sincerely,



Steve Griego
Managing Member, GLADS Holdings, Inc.
(505) 217-3156



Steve Crespin
Executive Director, MCA of NM
(505) 341-9033

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: STEVE GRIEGO DATE OF REQUEST: 1/24/7 ZONE ATLAS PAGE(S): F-16-Z

CURRENT: AGENT: JAMES S. MACGILLIVRAY LEGAL DESCRIPTION:
ZONING SU-1 I.P. LOT OR TRACT # TRACT 9-C BLOCK # _____
PARCEL SIZE (AC/SQ. FT.) _____ SUBDIVISION NAME RENAISSANCE CENTER

REQUESTED CITY ACTION(S):

- | | | | |
|----------------|---------------------|-------------------------|---------------------|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION [] | BUILDING PERMIT [X] |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES [] | ACCESS PERMIT [] |
| | | C) AMENDMENT [] | OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: 1

OF UNITS: 1
BUILDING SIZE: 9594 (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE James S. MacGillivray DATE 1-25-7
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

Tony J. J. 1-25-07
TRAFFIC ENGINEER DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO [X]

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. *Any subsequent changes to the development proposal identified above may require an update or new AQIA.*

James S. MacGillivray 1-25-7
APPLICANT DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W., 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER _____

REFERRAL # _____

SITE ADDRESS 4911 Chappell Dr. N.E.

LEGAL DESCRIPTION: SUBJECT TRACT 9-C Renaissance Center

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 1403 GPM

SQUARE FOOTAGE - LARGEST BUILDING 93500

TYPE CONSTRUCTION II-B

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 12-11-06

FIRE DEPARTMENT INSPECTOR: R. C. Sanchez

RECEIVED BY: James J. MacKillop TELEPHONE: _____

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPONSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL

YELLOW - FILE

GLADS HOLDINGS, LLC OFFICE BUILDING

4911 Chappell Dr. N.E.
Albuquerque, New Mexico

GTH PROJECT NO. 0614

ARCHITECTURAL SYMBOLS & ABBREVIATIONS

	WALL OR BUILDING SECTION CUT MARK	H.M.G., HMG	HOLLOW METAL GALVANIZED
	ENLARGED PLAN OR DETAIL REFERENCE MARK	H.M.I., HM	HOLLOW METAL INSULATED
	ELEVATION REFERENCE MARK	HORZ.	HORIZONTAL
	DOOR MARK	HPRD.	HIGH PRESSURE DECORATIVE LAMINATE
	KEYED NOTE	HR.	HOUR
	ACCESSORY MARK	I.D., ID	INSIDE DIAMETER
	WINDOW MARK	IN.	INCH, INCHES
	REVISION MARK	INFO.	INFORMATION
	EQUIPMENT MARK	INSUL.	INSULATION
	CASEWORK/INTERIOR ELEV. VIEW REFERENCE MARK	I.B.C., IBC	INTERNATIONAL BUILDING CODE
	CASEWORK ELEVATION REFERENCE NUMBER	JT., JNT.	JOINT
	ELEVATION MARK - NEW	JST.	JOIST
	ELEVATION MARK - EXISTING	JST. BRG., J.B.	JOIST BEARING
	DIRECTION OF SLOPE	L.	LONG, LENGTH
	AT AMERICANS WITH DISABILITIES ACT	LPDL.	LOW PRESSURE DECORATIVE LAMINATE
	ABOVE FINISHED FLOOR	MAFRUF., MFR.	MANUFACTURER MATERIAL
	ABOVE FINISHED GRADE	MATL.	MAXIMUM
	ALTERNATE	MECH.	MECHANICAL
	ALUMINIUM	M.H., MH	MANHOLE
	AMERICAN NATIONAL STANDARDS INSTITUTE	MIN.	MINIMUM
	BOARD	MISC.	MISCELLANEOUS
	BUILDING, BUILDINGS	M.O.	MASONRY OPENING
	BEAM	MTL.	METAL
	BOTTOM OF	M.T.C.	NOT IN CONTRACT
	BEARING	NO., #	NUMBER, POUND
	BOTTOM	N.T.S., NTS	NOT TO SCALE
	BUILT-UP ROOF (ROOFING)	O.A.E.	OR APPROVED EQUAL
	CORNER GUARD	O.C.	ON CENTER
	CONTROL JOINT	OCC.	OCCUPANCY, OCCUPANT(S)
	CENTER LINE	O.D., OD	OUTSIDE DIAMETER, OVERFLOW DRAIN
	CLEAR, CLEARANCE	ORD	OVERFLOW ROOF DRAIN
	CONCRETE MASONRY UNIT	O.F.E.	OWNER FURNISHED EQUIPMENT
	CLEAN OUT	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
	COLUMN	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED
	CONCRETE	O.F.V.I.	OWNER FURNISHED, VENDOR INSTALLED
	CONTINUOUS	OP.	OPPOSITE
	CARPET	OPP.	OPPOSITE
	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	O.S.B., OSB	ORIENTED STRAND BOARD
	COUNTER SINK	P.C.C.	PORTLAND CEMENT CONCRETE
	CERAMIC TILE	PED.	PEDESTAL
	CUBIC	PERIM.	PERIMETER
	DEEP	PL. &	PROPERTY LINE
	DEMOLITION, DEMOLISH	PLAM.	PLASTIC LAMINATE
	DRINKING FOUNTAIN	PLYWD.	PLYWOOD
	DIAMETER	P.P., PP	POWER POLE
	DOWN	FR.	FAIR
	DOOR	P.S.I., PSI	POUNDS PER SQUARE INCH
	EACH	Q.T., QT	QUARRY TILE
	END CAP	R	RADIUS, RISERS
	EXTERIOR INSULATION & FINISH SYSTEM	RCP	REFLECTED CEILING PLAN
	EXPANSION JOINT	R.D., RD	ROOF DRAIN
	ELECTRIC	REF.	REFERENCE
	ELEVATION	REQ'D.	REQUIRED
	EQUAL	REV.	REVISION, REVISED
	ELECTRIC WATER COOLER	RM.	ROOM
	EXISTING	R.O.	ROUGH OPENING
	FLOOR DRAIN	R.O.W.	RIGHT-OF-WAY
	FIRE EXTINGUISHER & CABINET	S.C.S., SCO	STAINLESS STEEL CORNER GUARD
	FINISH FLOOR	SCWD	SOLID CORE WOOD
	FINISH GRADE	S.E.C., SEC	STAINLESS STEEL END CAP
	FLAT HEAD	SHT.	SHEET
	FLOOR LINE	SM.	SIMILAR
	FLOOR	S.F., SQ. FT., SF	SQUARE FEET
	FACE OF	SMACNA	SHEET METAL & A/C CONTRACTORS NATIONAL ASSOCIATION, INC.
	FACE OF FINISH	SO.	SQUARE
	FACE OF MASONRY	S.S., S/S	STAINLESS STEEL
	FACE OF STUD	STL.	STEEL
	FIRE RETARDANT TREATED WOOD	SUSP.	SUSPENDED, SUSPENSION
	FLOOR SINK	S.V., SV	SHEET VINYL
	FOOT, FEET	T.	TREADS
	GALVEANIZED	T&G	TONGUE & GROOVE
	GYPSONUM BOARD	T.O.F., TF	TOP OF FINISH
	GENERAL CONTRACTOR	TO	TOP OF GRADE
	HIGH	TK., THK.	THICK
	HOLLOW CORE WOOD	TC	TOP OF CURB
	HARDWOOD	T.O.	TOP OF
	HOLLOW METAL	T.O.C.	TOP OF CONCRETE
		T.O.P.	TOP OF PARAPET
		T.O.W.	TOP OF WALL
		TP	TOP OF PAVEMENT
		TR	TOP OF SLAB
		TR.	TYPICAL
		U.B.C., UBC	UNIFORM BUILDING CODE
		U/C	UNDER COUNTER
		U.L.O.	UNLESS NOTED OR INDICATED OTHERWISE
		VCT	VINYL COMPOSITION TILE
		VERT.	VERTICAL
		V.I.F.	VERIFY IN FIELD
		W	WIDE, WIDTH
		W/, W/O	WITH, WITHOUT
		WD.	WOOD
		WM	WATER METER
		W.W.F., WWF	WELDED WIRE FABRIC
		X	BY
		YD.	YARD

DESIGN DATA

CODE DATA

ADDRESS: 4911 CHAPPELL DR. N.E.
ALBUQUERQUE, NEW MEXICO.

UPC NUMBER: 101906146630410230

ZONE ATLAS MAP: F-16-2

LEGAL DESCRIPTION: TRACT 9-C, RENAISSANCE CENTER

ZONING: SU-1 LP. - INDUSTRIAL PARK (OFFICES)

LOT AREA: 0.7408 AC

HEIGHT: 20 FEET

BUILDING CODE DATA

BUILDING CODE USED: 2003 NMBC (2003 IBC)

OCCUPANCY GROUPS: GROUP B, OFFICE

OCCUPANT LOAD:
OFFICE: 5,280 GROSS S.F. / 100 = 53
CONFERENCE: 874 NET S.F. / 15 = 43
EXERCISE: 180 GROSS S.F. / 50 = 4
TOTAL: 100

CONSTRUCTION TYPE: TYPE II-B, NON-SPRINKLED

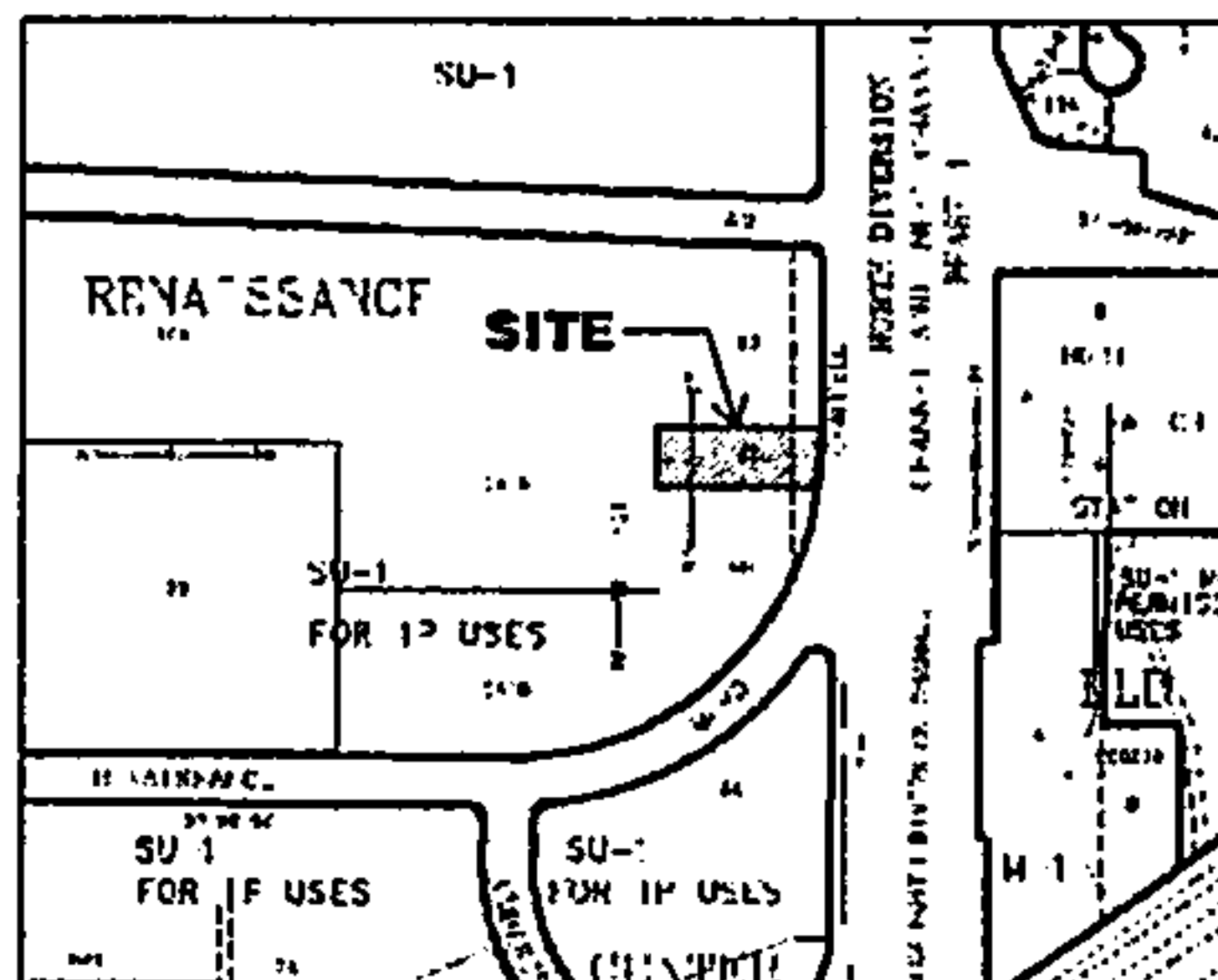
HEIGHT: 1 STORY

ALLOWABLE AREA: 25,000 S.F.

ACTUAL BUILDING AREA:
GROSS BUILDING: 6,371 S.F.
COVERED ENTRANCE: 192 S.F.
COVERED PATIO: 838 S.F.
CARPORT: 2,095 S.F.
TOTAL: 9,594 S.F.

PLUMBING FIXTURE COUNT

GROUP B (BUSINESS)	RATIO REQUIRED	REQ.	PROV.
OCCUPANTS SERVED:	100 / 2 = 50 MALES / 50 FEMALES		
WATER CLOSET MALE		2	2
1 PER 25 FOR THE FIRST 50			
1 PER 50 FOR REMAINDER EXCEEDING 50			
WATER CLOSET FEMALE		2	2
1 PER 25 FOR THE FIRST 50			
1 PER 50 FOR REMAINDER EXCEEDING 50			
LAVATORY MALE		2	2
1 PER 40 FOR THE FIRST 80			
1 PER 80 FOR REMAINDER EXCEEDING 80			
LAVATORY FEMALE		2	2
1 PER 40 FOR THE FIRST 80			
1 PER 80 FOR REMAINDER EXCEEDING 80			
BATHUB/SOWER		0	1
DRINKING FOUNTAINS	1 PER 100	1	1
SERVICE SINK		1	1



PROJECT LOCATION MAP

NOT TO SCALE

PROJECT TEAM

OWNER: GLADS HOLDINGS, LLC
4921 CHAPPELL DRIVE NE
ALBUQUERQUE, NEW MEXICO 87107
(505) 217-2154
CONTACT: JIM STEVE GREGO

ARCHITECT: GREGORY T. HICKS & ASSOCIATES, P.C.
110 SECOND ST SW - SUITE 204
ALBUQUERQUE, NEW MEXICO 87102
(505) 243-7492 FAX: (505) 243-1104
CONTACT: JIM MACGILLIVRAY
JAY DAVIS (CELL 729-7878)
jim@gthicks.com jay@gthicks.com

CIVIL: ISAACSON & ALTMAN, P.A.
128 MONROE ST. NE
ALBUQUERQUE, NEW MEXICO 87108
(505) 248-8828 FAX: (505) 248-7432
CONTACT: SCOTT MOORE
BETAN BOBBICK
scott@isaacson.com betan@isaacson.com

STRUCTURAL: RAE A&C, LLC
7835 PAN AMERICAN HWY NE - SUITE C
ALBUQUERQUE, NEW MEXICO 87109
(505) 889-3004 FAX: (505) 889-2197
CONTACT: DAVE SULLINS
dsullins@raeaac.com

MECHANICAL: JCE INTERNATIONAL, INC.
312 CHAMA ST N.E.
ALBUQUERQUE, NEW MEXICO 87108
(505) 255-0228 FAX: (505) 255-0229
CONTACT: NORMAN ESTANISLAO P.E.
ne@jce.com

ELECTRICAL: JCE INTERNATIONAL, INC.
312 CHAMA ST N.E.
ALBUQUERQUE, NEW MEXICO 87108
(505) 255-0228 FAX: (505) 255-0229
CONTACT: HENRY WILCOX
hw@jce.com

INDEX OF DRAWINGS

CS INDEX OF DRAWINGS, LOCATION MAP, SYMBOLS LEGEND
CS.1 ARCHITECTURAL SITE PLAN
C4.1 SITE DETAILS
L1.1 LANDSCAPING PLAN
A1.1 FLOOR PLAN
A4.1 EXTERIOR ELEVATIONS
A5.1 ROOF PLAN
A6.1 WALL SECTIONS
C-101 GRADING & DRAINAGE PLAN
C-102 UTILITY PLAN
ES1.1 ELECTRICAL SITE PLAN

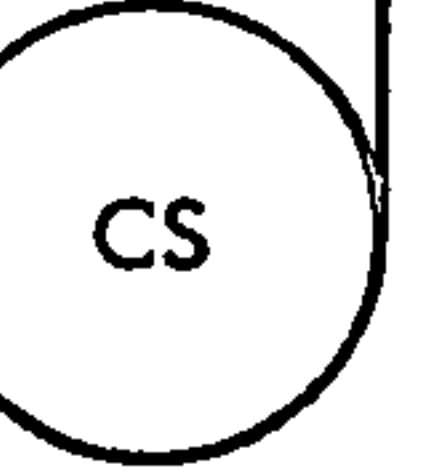


GREGORY T. HICKS & ASSOC., P.C.
ARCHITECTS - PLANNERS
110 Second St. S.W. Suite 204
Albuquerque, NM 87102
(505) 243-7492 Fax (505) 243-1104
www.gthicks.com
today designing tomorrow.

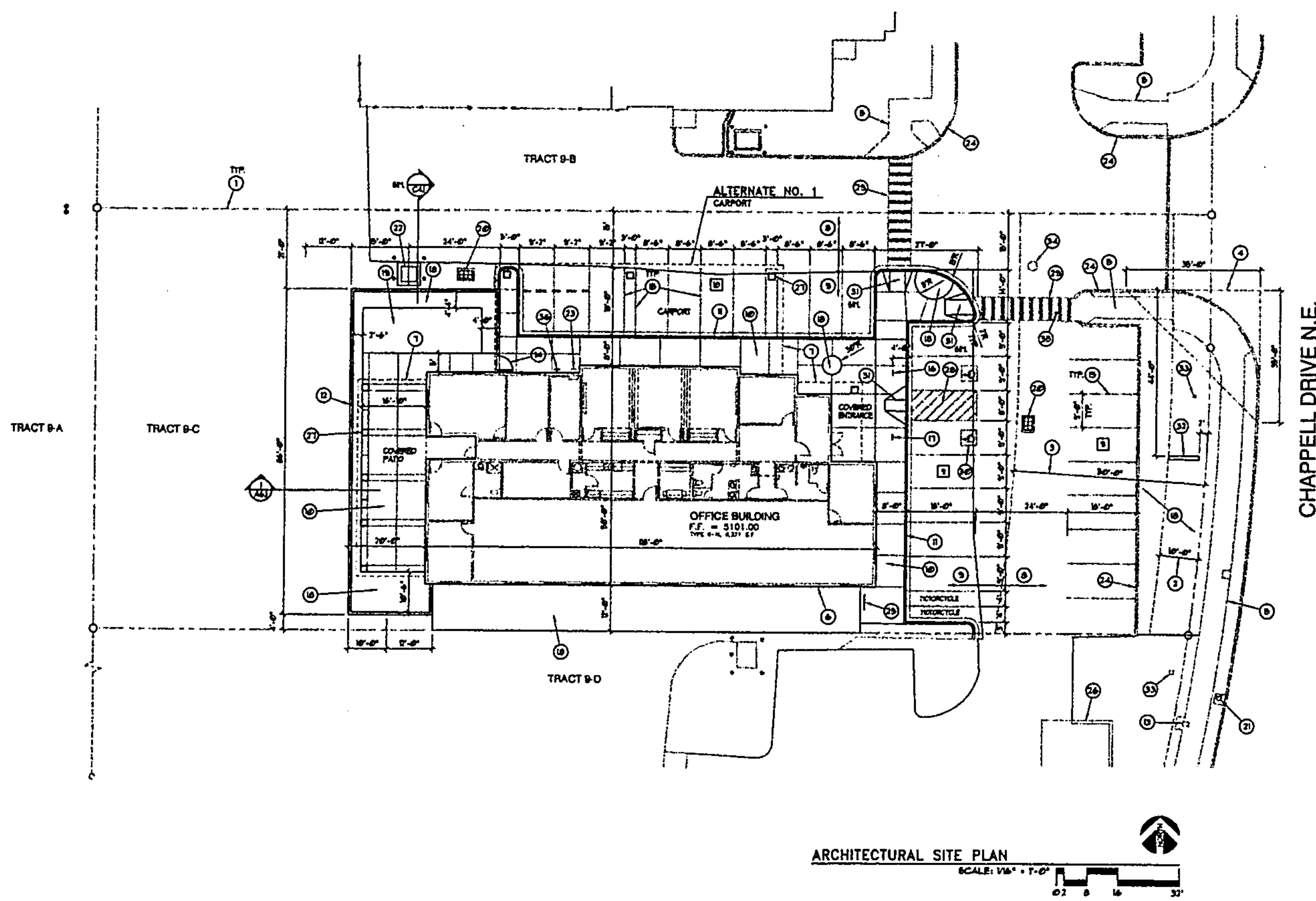


Glads Holdings, LLC Office Building
4911 Chappell Dr. N.E.
Albuquerque, New Mexico

proj. no.: 0614
coord. by: 0614CS
date: 1-24-7
INDEX OF DRAWINGS
LOCATION MAP
SYMBOLS LEGEND



Bid Set No. _____

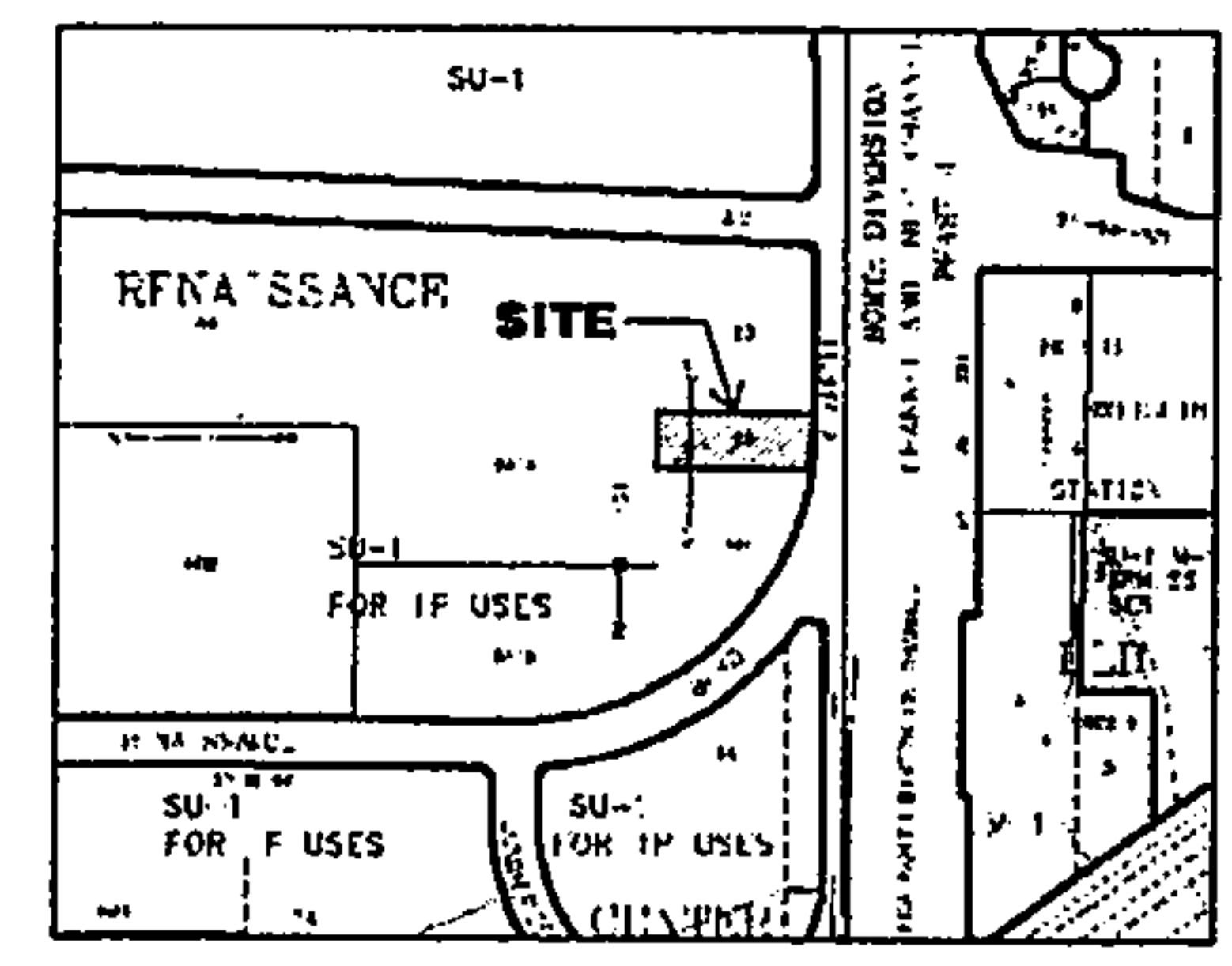


ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO
 IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 WATER UTILITY DEPARTMENT _____ DATE _____
 PARKS AND RECREATION _____ DATE _____
 CITY ENGINEER _____ DATE _____
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
 SOLID WASTE MANAGEMENT _____ DATE _____
 DRC CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____



PROJECT LOCATION MAP
NOT TO SCALE

CODE DATA

ADDRESS: 491 CHAPPELL DR. N.E. ALBUQUERQUE, NEW MEXICO.
 UIC NUMBER: 1046614403040730
 ZONE ATLAS MAP: P-16-Z
 LEGAL DESCRIPTION: TRACT 9-C, RENAISSANCE CENTER
 DRC CASE NUMBER: DRS 96-459
 ZONING DISTRICT: SU-1 P - INDUSTRIAL PARK (OFFICE)
 LOT AREA: 0.1409 AC
 HEIGHT: ALLOWABLE:
 24' ANY LEGAL LOCATION
 45' FROM NORTHERN PROPERTY LINE
 40' FROM E. U. S. PROPERTY LINE
 ACTUAL: 1-STORY, 20 FEET

BUILDING AREA: 4,273 SF
 GROSS BUILDING AREA: 700 SF
 COVERED ENTRANCE: 2,075 SF
 CARPORT: 136 SF
 BEST PATIO ROOF: 136 SF
 TOTAL COVERED AREA: 5,354 SF

PARKING

PARKING TALLY:
 REQUIRED: 5,344 SF (NLA) / 200 = 26 SPACES
 PROVIDED: (INCLD. MOTORCYCLE SPACES) 26 SPACES

SMALL CAR PARKING:
 ALLOWABLE: 28 X 0.25 = 7 SPACES
 PROVIDED: 7 SPACES

DISABLED PARKING:
 REQUIRED (ZONING): 26-35 PARKING SPACES: 2 SPACES
 REQUIRED (MPC): 26-35 PARKING SPACES: 2 SPACES (1 VAN)
 PROVIDED: 2 SPACES (1 VAN)

MOTORCYCLE PARKING:
 REQUIRED: FOR 26-35 PARKING SPACES: 2 SPACES

BICYCLE PARKING:
 REQUIRED: 1 FOR EACH 20 PARKING SPACES: 2 SPACES

EXTERIOR LIGHTING

ALL EXTERIOR LIGHTING IS TO BE ACHIEVED USING LIGHT FIXTURES MOUNTED TO BUILDING WALLS AT LOCATIONS SHOWN ON THE EXTERIOR ELEVATIONS. THERE WILL BE NO POLE OR BOLLARD LIGHTS.

THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ANY OTHER RESIDENTIAL PREMISES. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT-CANDELS. IT SHALL NOT HAVE ANY OFF-SITE LUMINANCE GREATER THAN 200 FOOT-CANDELS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE. (14-16-3-9)

- KEYED NOTES**
- PROPERTY LINE.
 - EXISTING UTILITY EASMENT.
 - EXISTING EXCAVATION AND ROADWAY EASMENT.
 - CLEAR SITE TRIANGLE.
 - EXISTING CONCRETE PAVING.
 - LINE OF NEW BUILDING FOOTPRINT.
 - LINE OF BUILDING OVERHANG.
 - EXISTING ASPHALTIC PAVING.
 - NEW ASPHALTIC PAVING.
 - 4" THICK NON-REINFORCED PORTLAND CEMENT CONCRETE PAVING OVER COMPACTED SUBGRADE.
 - PORTLAND CEMENT CONCRETE STANUP CURB & GUTTER. SEE C4J
 - 6" THK MASONRY WALL, STUCCOED. TAKE TO 0.75' HIGHER ABOVE HIGHEST ADJACENT GRADE. SEE A4J AND A4L. SEE STRUCTURAL.
 - EXISTING WATER METER.
 - PAINTED STEEL GATE. SEE C4J
 - 4" PAINTED STRIPES, WHITE TYPICAL. BLUE AT HC SPACES.
 - STANDARD HANDICAP PARKING SIGN. SEE C4J
 - VAN ACCESSIBLE HANDICAP PARKING SIGN. SEE C4J
 - LANDSCAPED AREA. SEE LANDSCAPING PLAN.
 - ARTIFICIAL TURF.
 - EXISTING DROP INLET TO REMAIN.
 - EXISTING FIRE HYDRANT TO REMAIN.
 - TRANSFORMER ON CONCRETE PAD SURROUNDED WITH BOLLARDS. SEE ELECTRICAL.
 - ELECTRICAL SERVICE ENTRANCE.
 - EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
 - BICYCLE RACK. SEE C4J
 - EXISTING CITY COMPLIANT DOUBLE COMPARTER ENCLOSURE. A SIGNED ACCESS AGREEMENT IS INCLUDED IN THIS APPLICATION.
 - BUILDING COLUMN.
 - 4" BLUE PAINTED STRIPES 30" O.C.
 - 6" BLUE PAINTED STRIPES 30" O.C.
 - BLUE PAINTED WHEELCHAIR SYMBOL. SEE C4J
 - RAMP. SEE C4J
 - ILLUMINATED SIGN. SEE C4J
 - EXISTING COMMUNICATION FIBER OPTIC TO REMAIN.
 - EXISTING STORM DRAINAGE MANHOLE TO REMAIN.
 - EXISTING SEWER CLEANOUT.
 - NEW GAS METER.

LEGEND AND ABBREVIATIONS

☐ NUMBER OF PARKING SPACES.

STATE OF NEW MEXICO
 GREGORY T. HICKS REGISTERED ARCHITECT
 1930
 GREGORY T. HICKS
 ARCHITECTS - PLANNERS
 ARCHITECTS • PLANNERS
 110 Second St. S.W. Suite 204
 Albuquerque, NM 87102
 (505) 243-1472 fax (505) 243-1106
 email: gthicks@gtah.com

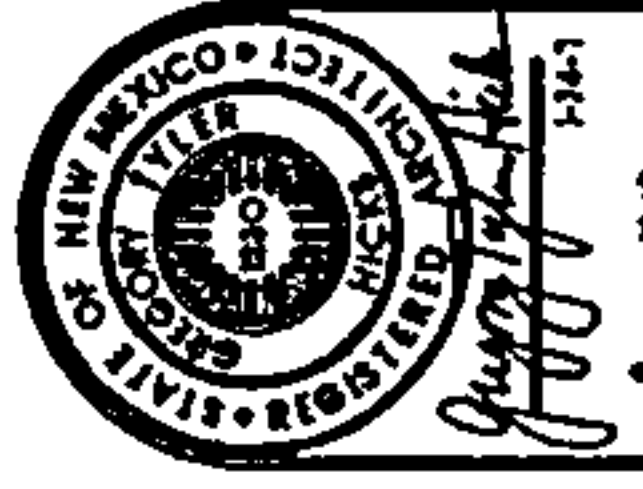
GREGORY T. HICKS & ASSOC., P.C.
 ARCHITECTS • PLANNERS
 SINCE 1988

GTH
 SINCE 1988

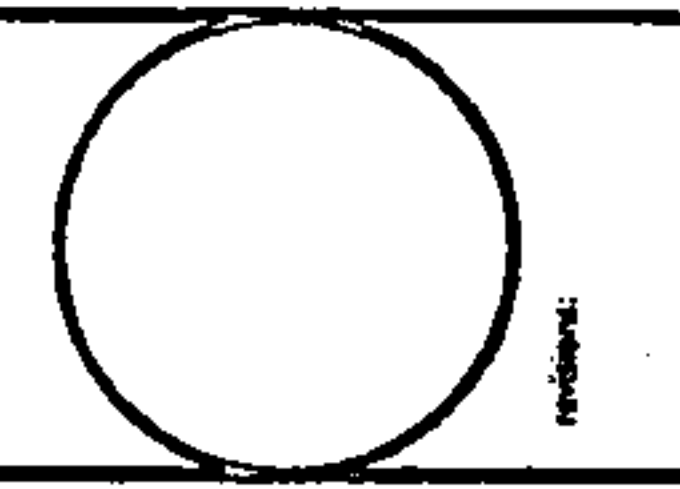
Glad's Holdings, LLC Office Building
 491 Chappell Dr. N.E.
 Albuquerque, New Mexico

proj. no.: 0414
 coord. by: _____
 date: 1-24-7
 ARCHITECTURAL SITE PLAN

C3.1

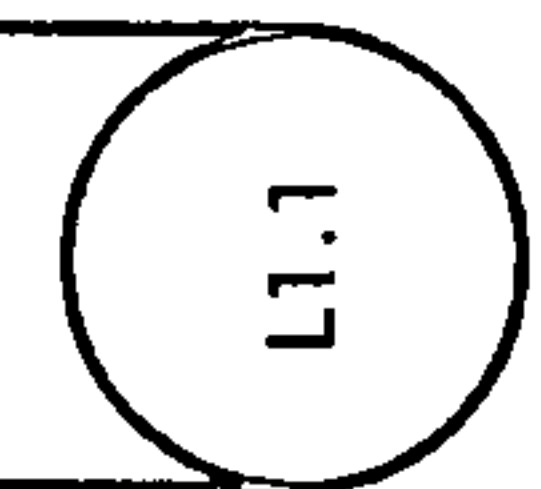


Gregory T. Hicks & Assoc., P.C.
 ARCHITECTS • PLANNERS
 110 Second St. SW, Suite 204
 New Mexico 87102
 (505) 243-7472 fax (505) 243-1106
 e-mail: gthicks@gt-h.com



Glad's Holdings, LLC Office Building
 Chappell Dr. N.E.
 Albuquerque, New Mexico

proj. no.: 0814
 sheet no.: 13147
 date: LANDSCAPING PLAN



C.O.A. LANDSCAPING REQUIREMENTS

- LANDSCAPE (INCLUDES ACS) 1574' 00"
 - BUILDING (INCLUDING PATIO/CORPORATE ROOMS) 3434' 00"
 - NET LOT AREA 72,160' 00"
 - IRREGULATED LANDSCAPING REQUIRED (BA, NLA) 3,468' 00"
 - IRREGULATED LANDSCAPING PROVIDED 3,091' 00"
- ON-STREET PARKING AREA LANDSCAPING:
 PROVIDE 1 TREE FOR EACH 50 PARKING SPACES
 REQUIRED - 38 PARKING SPACES / 15' x 3' TREES
 EACH PARKING SPACE SHALL BE WITHIN 100 FEET OF A TREE
 STREET TREES:
 PROVIDE STREET TREES SPACED APPROX. 30 FEET APART
 RESPONSIBILITY FOR MAINTENANCE:
 OWNER'S EXISTING LANDSCAPE MAINTENANCE CONTRACT
 TO BE CONTINUED.
 WATER CONSERVATION/CERTIFICATION:
 ALL LANDSCAPING SHALL COMPLY WITH THE CITY OF
 ALBUQUERQUE WATER CONSERVATION ORDINANCE,
 SECTION 6-11.1.

GENERAL NOTES

- PROVIDE 4" PVC PIPE ALLEYS WHERE NEW IRRIGATION IS REQUIRED.
- TOP OF GRAVEL, CURB/RETAINING WALLS, AND SOIL MATERIALS SHALL BE 1" BELOW TOP OF ADJACENT CURB, WALL, ETC.
- THE FINISHED ELEVATION OF THE CURB/RETAINING WALL SHALL BE 1" BELOW THE FINISHED ELEVATION OF THE ADJACENT GRADE.
- ALL ROCK GRAVEL, CURB/RETAINING WALLS, ETC. ARE TO BE INSTALLED OVER HEAVY DUTY CONCRETE GRADE USED FOR DRIVEWAYS.
- LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH CITY OF ALBUQUERQUE LANDSCAPING REQUIREMENTS. DO NOT REMOVE EXISTING PLANTS THAT ARE NOT DESIGNATED TO BE REMOVED. EXISTING PLANTS SHALL BE MAINTAINED AND DO NOT CUT THEM SHORTER THAN 1" ABOVE GROUND WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

IRRIGATION SYSTEM NOTES

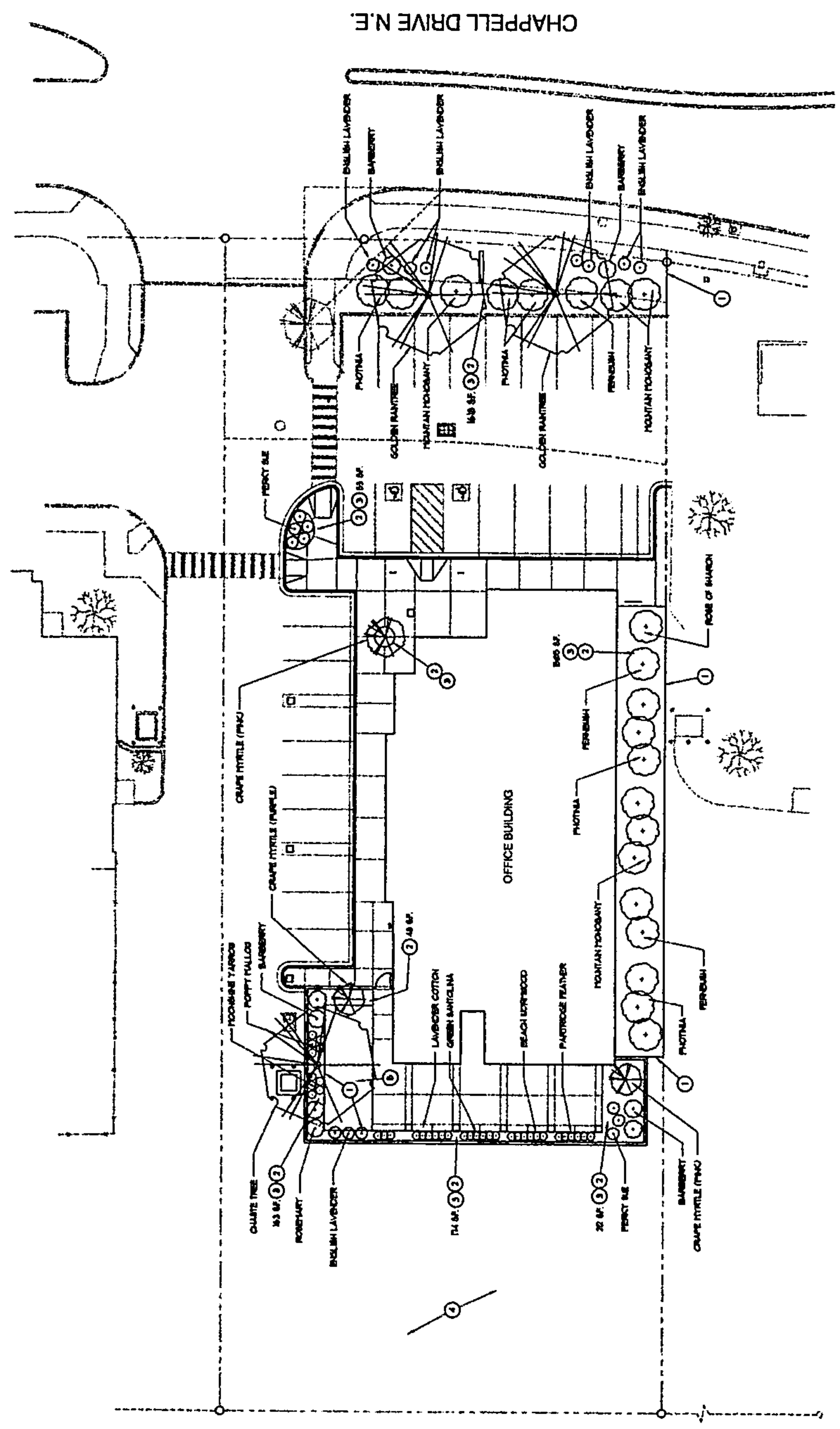
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT A COMPLETE IRRIGATION SYSTEM IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR SHALL DESIGN THE LANDSCAPE IRRIGATION SYSTEM AND SUBMIT SHOP DRAWINGS OF THE IRRIGATION SYSTEM FOR APPROVAL BY THE ARCHITECT. THE SYSTEM SHALL BE DESIGNED FOR A PERMANENT STATIC WATER SUPPLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL PSI AND SHALL INCLUDE THE RESULTS WITH THE IRRIGATION SYSTEM DESIGN.
- IRRIGATION SYSTEM SHALL BE RANDED "SERIES-B" SERIES. SINGLE OUTLET BRITERS OR APPROVED EQUAL PROVIDE BRITERS AT ALL PLANT LOCATIONS AS FOLLOWS:
 AT ALL TREES 3 PER TREE 3/8"-10 (7 OPT)
 AT ALL SHRUBS 1 PER PLANT 3/8"-10 (1 OPT)
- IRRIGATION SYSTEM CONTROLLER SHALL BE RANDED MODEL 1000. NO BRASS/STEEL PARTS SHALL BE USED ON THIS PROJECT. PLUMB PLUGS SHALL BE INSTALLED AT THE END OF ALL MAIN LATERALS.
- COORDINATE IRRIGATION DESIGN WITH OWNER'S FACILITY MANAGER.

KEYED NOTES

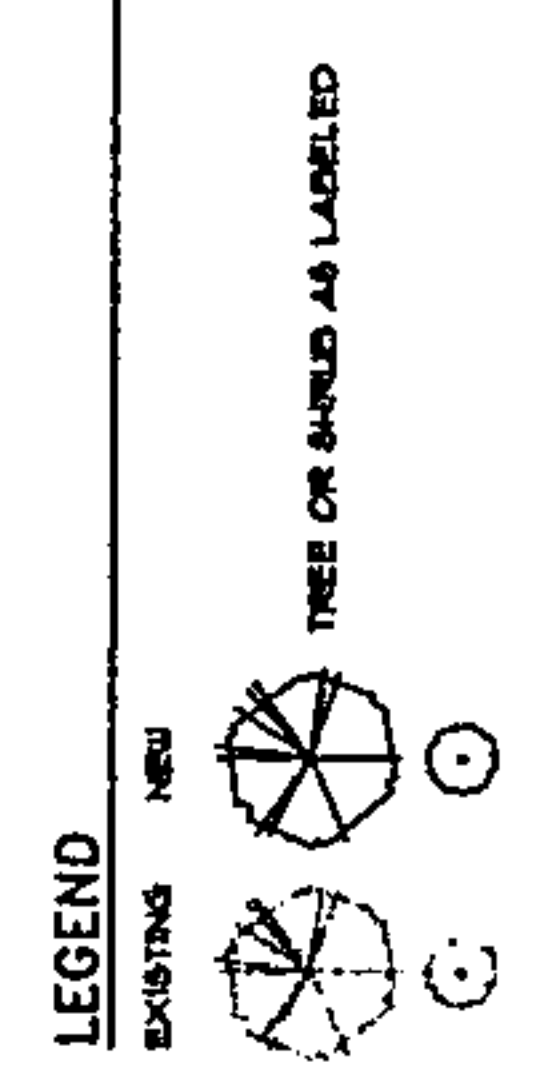
- 4" x 10" CONCRETE GRADE METAL LANDSCAPE BORDER.
- PROVIDE IRRIGATION SYSTEM IN THIS LANDSCAPED AREA. COVER THIS AREA WITH 1/2" GRIET GRAVEL 3" DEEP.
- EXISTING TREES TO BE MAINTAINED. NO IRRIGATION.
- ARTIFICIAL TURF BY OWNER.

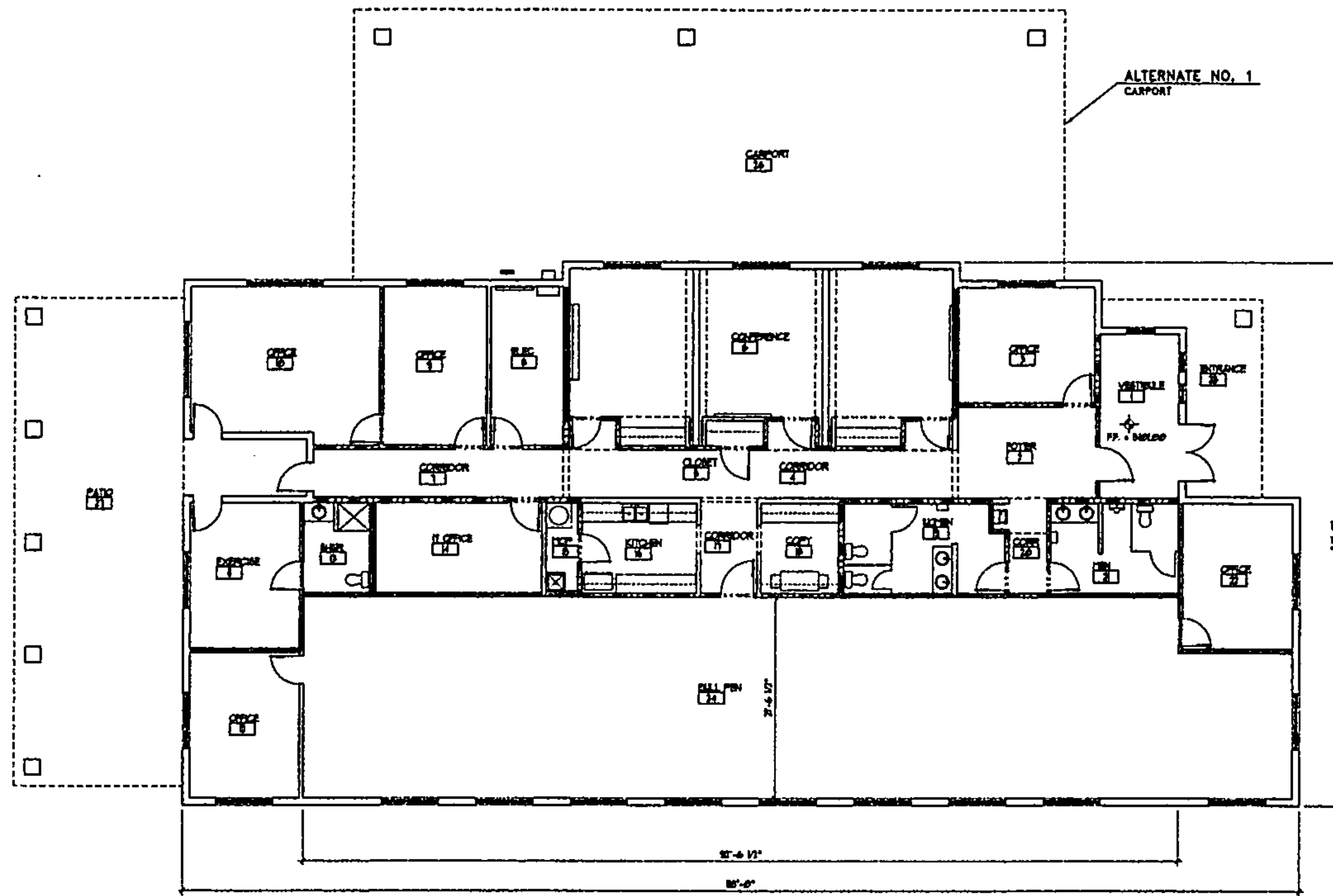
PLANT LIST

COMMON/BOTANICAL NAME	WATER	HLX/L	SIZE
COLORED BURNING TREE *Eucalyptus parviflora	M	30'x30'	2" GAL
QUARTZ TREE *Quercus agrifolia	M	20'x20'	2" GAL
CRANE FLYTILE *Ligularia borealis	M	20'x20'	3 GAL
CURLEAF MOUNTAIN HOLOGRAPHY *Sambucus racemosa	L	6'x6'	3 GAL
PERENNIAL *Sedum spectabile	L	3'x3'	1 1/2" GAL
PHOTINIA *Photinia fraseri	M	3'x3'	3 GAL
ROSE OF SHARON *Rosa pratincola	M	10'x10'	1 GAL
GREEN SAGE *Salvia nemorosa	L	2'x2'	1 GAL
LAVENDER COTTON *Lavandula angustifolia	L	2'x2'	1 GAL
ENGLISH LAVENDER *Lavandula angustifolia	L	3'x3'	3 GAL
PERENNIAL *Hemerocallis	L	1'x1'	1 GAL
POPPY HOLLOW *Papaver rhoeas	L	1'x1'	3 GAL
PARTRIDGE FEATHER *Liatris scariosa	L	1'x1'	1 GAL
BEACH BURNING *Artemisia tridentata	M	24'x24'	3 GAL
MEDICAL BURNING *Berberis thunbergii 'atropurpurea'	M	4'x4'	3 GAL



LANDSCAPING PLAN
 SCALE: 1/8" = 1'-0"





FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED, VERIFY INTENT WITH THE ARCHITECT BEFORE PROCEEDING.
- B. MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATION SERVICES TO OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BYPASS, CROSS-CONNECTIONS AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION - AT NO ADDITIONAL COST.
- C. AT ANY AND ALL LOCATIONS IN THE PROJECT WHERE DEMOLITION OCCURS, PATCH/REPLACE ADJACENT FLOOR FINISHES, WALL FINISHES, CEILING FINISHES, ETC. AFFECTED BY THE DEMOLITION TO ACHIEVE A UNIFORM FINISH - WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT.
- D. SEE SITE PLAN FOR CONTINUATION OF SITE WORK NOT SHOWN ON THIS PLAN.
- E. PROVIDE CONCEALED BACKING FOR ALL WALL-MOUNTED ITEMS INCLUDING DOOR BUMPERS, DOOR HOLDERS, GRAB BARS, CABINETS, ETC.
- F. REFER TO EQUIPMENT SCHEDULE FOR EQUIPMENT MARKS SHOWN ON THIS SHEET.
- G. PROVIDE WINDOW TREATMENT AT WINDOW MARKS WITH (1)

GENERAL CONSTRUCTION NOTES

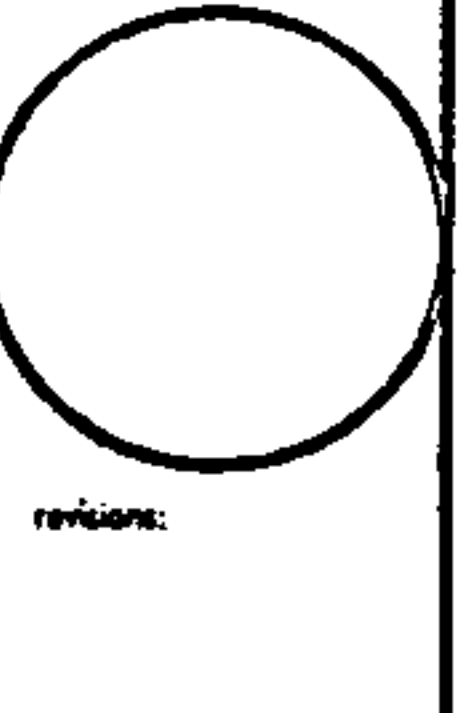
- TYPICAL EXTERIOR WALL:**
 1-1/2" THICK EPS SYSTEM
 5/8" EXTERIOR GYPSUM SHEATHING
 6" METAL STUDS FILLED WITH BATT INSULATION
 5/8" INTERIOR GYPSUM BOARD
- TYPICAL INTERIOR PARTITION:**
 3-5/8" METAL STUDS FILLED WITH FIBERGLASS SOUND BATT
 5/8" GYPSUM BOARD BOTH SIDES
 (6" METALS STUDS AT PLUMBING WALLS)
- TYPICAL FLOOR SLAB:**
 4" THICK WITH 3 REBAR 14" O.C. EACH WAY
- TYPICAL FOUNDATION:**
 FOOTING: 24" WIDE X 8" DEEP
 STEM WALL: 8" WIDE X 24" DEEP
- TYPICAL ROOF STRUCTURE:**
ROOFING SYSTEM:
 1-1/2" RIGID INSULATION (THICKER AT CRICKETS)
 1/2" METAL DECK
 BAR JOISTS
 0" FIBERGLASS INSULATION
 LATX CEILING
- FIRE SUPPRESSION SPRINKLER SYSTEM:**
 NONE



GREGORY T. HICKS & ASSOC., P.C.
 ARCHITECTS • PLANNERS

The Sunstone Building
 Albuquerque, NM 87102
 (505) 243-7492 Fax (505) 243-1104
 gregorydesigning.com
 gregorydesigning.com

DESIGNING TOMORROW

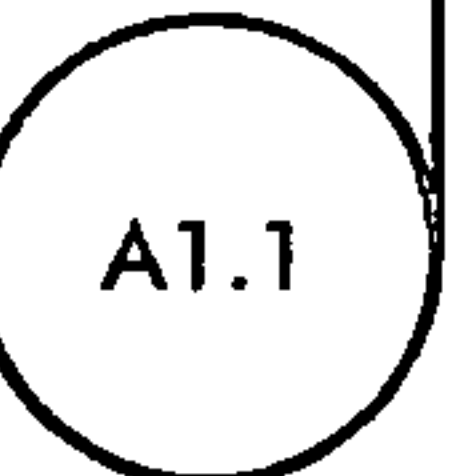


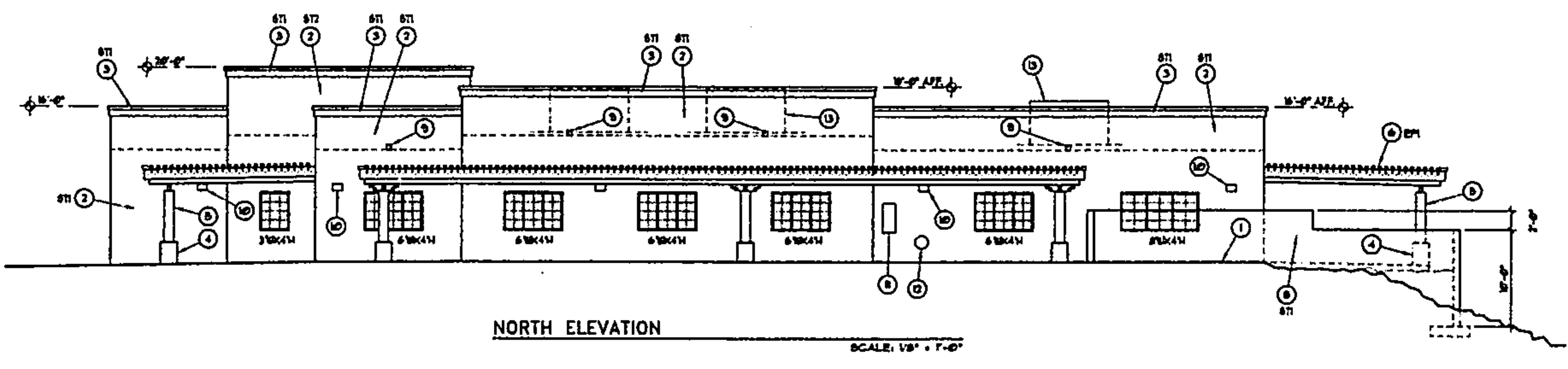
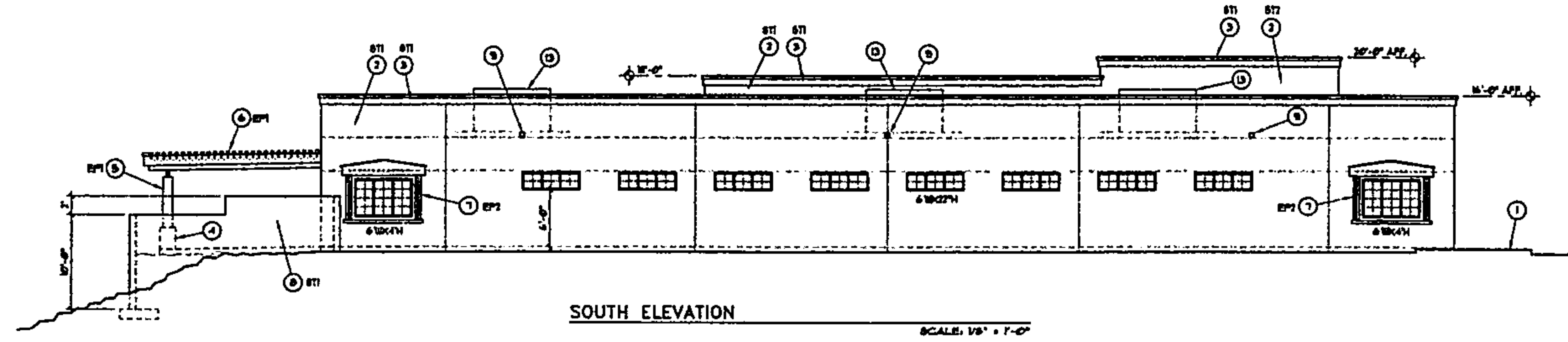
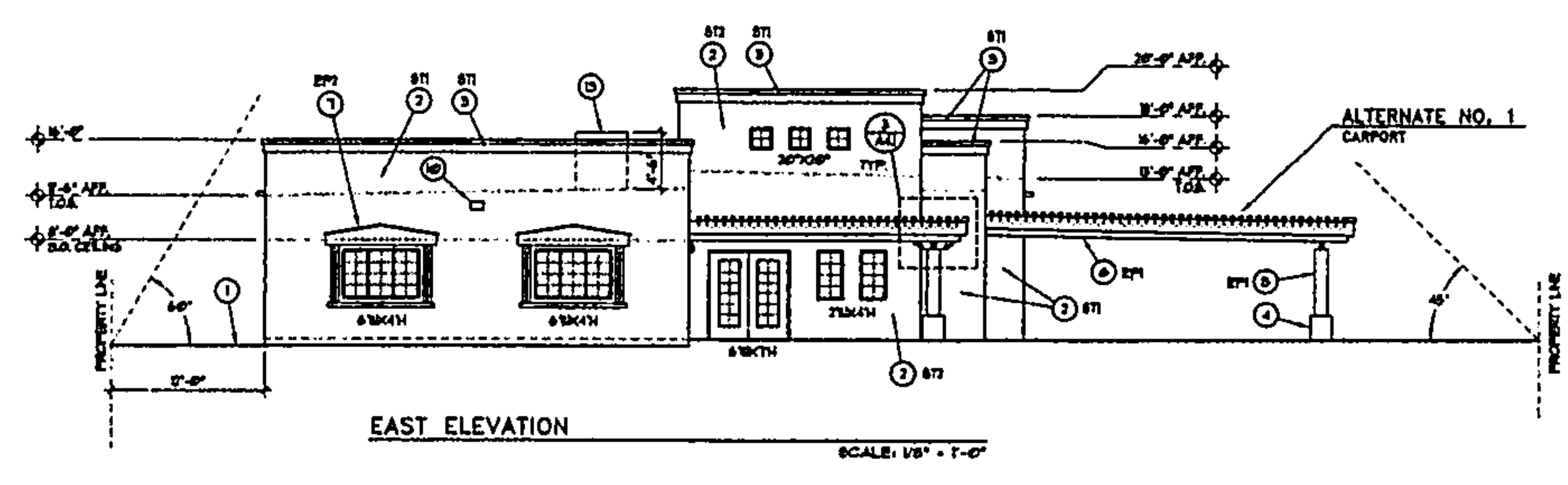
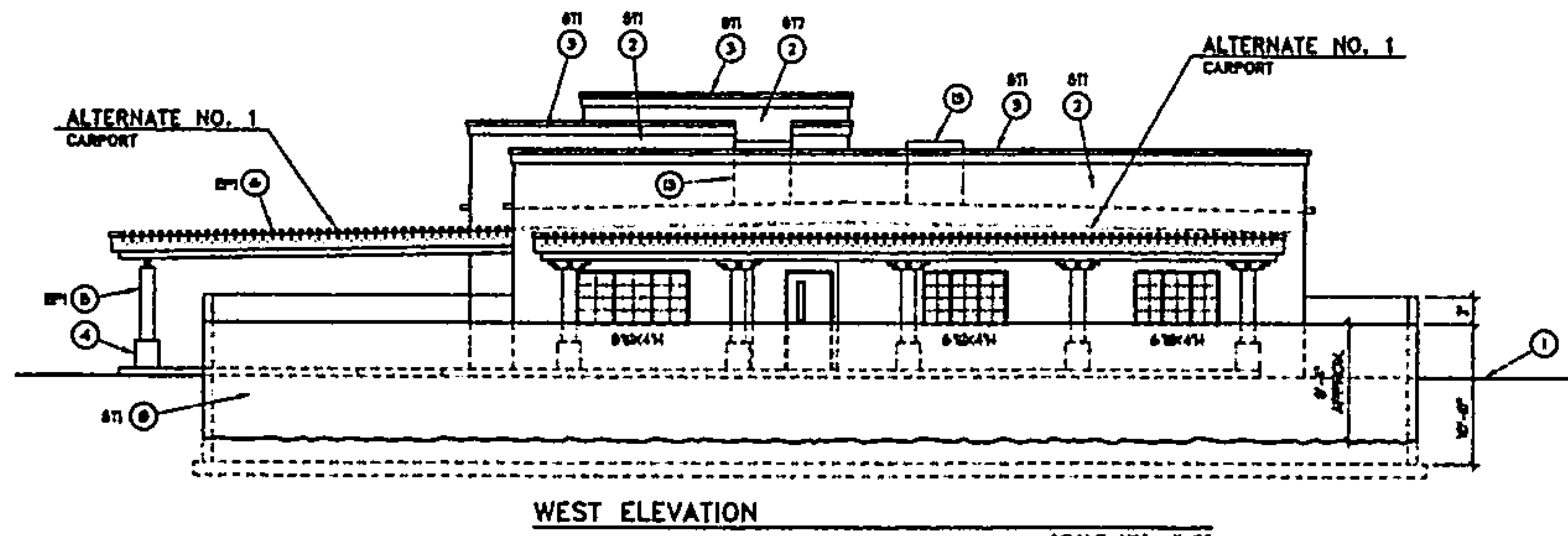
Glads Holdings, LLC Office Building

4911 Dr. N.E.
 Albuquerque, New Mexico

proj. no.: 0614
 coord. by:
 date: 1.24.7

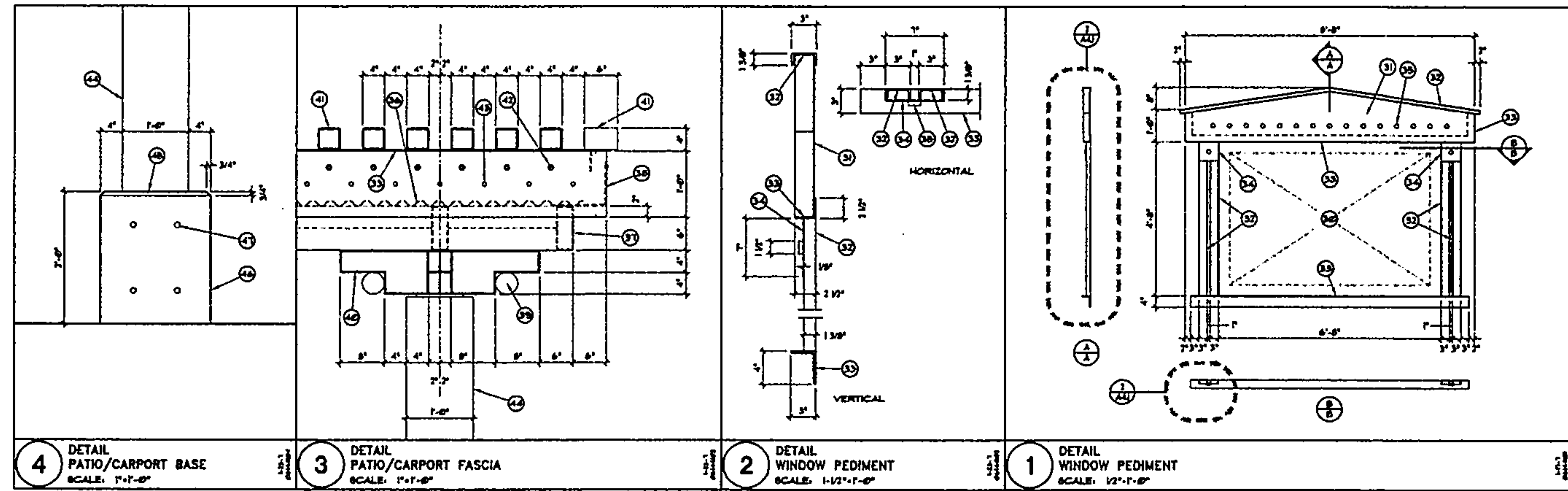
FLOOR PLAN





- KEYED NOTES**
- APPROXIMATE LOCATION OF GRADE. COORDINATE WITH CIVIL.
 - EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
 - EIFS CORBEL. SEE A&J
 - CONCRETE PEDESTAL. SEE DETAILS.
 - PAINTED STEEL COLUMN. SEE DETAILS.
 - PAINTED METAL FASCIA. SEE DETAILS.
 - PAINTED METAL PEDIMENT. SEE DETAILS.
 - STUCCOED CHG WALL.
 - OVERSILL. SEE DETAILS.
 - CUT-OFF LIGHT FIXTURE.
 - ELECTRICAL SERVICE ENTRANCE.
 - GAS FETTER.
 - ROOF TOP MECHANICAL UNIT.
- LOCATION OF WINDOW.
 - 1/8" STEEL PLATE. PAINT.
 - STEEL CHANNEL. PAINT.
 - STEEL ANGLE. PAINT.
 - 1/4" STEEL PLATE. PAINT.
 - 1" DIA. X 1/2" THICK STEEL STUD. PAINT.
 - METAL ROOF.
 - STEEL TUBE OR CHANNEL. PAINT. SEE STRUCTURAL.
 - STEEL C-JOIST FASCIA. PAINT. SEE STRUCTURAL.
 - 4" DIA. STEEL PIPE CAPPED ON BOTH ENDS. PAINT.
 - STEEL CORBEL. PAINT.
 - 4"x4"x1/4" STEEL TUBE. PAINT.
 - BOLT. PAINT.
 - 1" DIAMETER HOLE.
 - ROUND STEEL COLUMN. PAINT. SEE STRUCTURAL.
 - CHAMFER.
 - CONCRETE.
 - 1" DIA. HOLE.

- FINISH NOTES**
- ARCHITECTURAL STYLE
 ARCHITECTURAL STYLE OF BUILDING IS TO POST-MODERN TERRITORIAL SIMILAR TO EXISTING OFFICE BUILDINGS LOCATED ON ADJACENT SITES TO THE NORTH AND SOUTH. ALL EXTERIOR COLORS ARE TO BE SOUTHEASTERN SIMILAR TO ADJACENT OFFICE BUILDINGS.
- EXTERIOR BUILDING AND PATIO WALLS
 #1 - LIGHT TO MEDIUM TAN RANGE
 #12 - MEDIUM BROWN OR SALMON RANGE
- PATIO AND CARPORT COLUMNS, BEAMS AND FASCIAE (ALL)
 #1 - PAINT - RUST RANGE
- PATIO AND CARPORT ROOFS (ALL)
 ALUMINUM COLORED
 (VISIBLE FROM BELOW, EDGES CONCEALED)
- WINDOW PEDIMENTS, HC. PARKING SIGNS, MONUMENT SIGN (ALL)
 #12 - PAINT - TURQUOISE RANGE
- COLUMN PEDESTALS (ALL)
 NATURAL CONCRETE, SEALED.
- EXTERIOR WINDOWS (ALL)
 FRAMES: FIXED, PREFINISHED ALUMINUM, TERRACOTTA RANGE
 GLAZING: LOW-E
- EXTERIOR DOORS (ALL)
 FRAMES: PAINTED HPL OR PREFIN. ALUMINUM, TERRACOTTA RANGE
 GLAZING: LOW-E



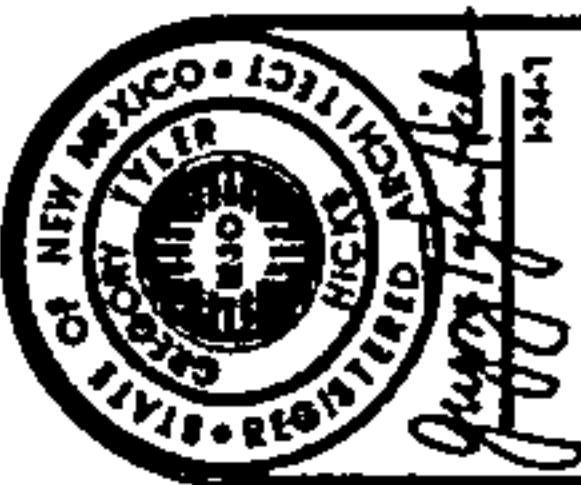
STATE OF NEW MEXICO
 ARCHITECTS
 GREGORY T. HICKS & ASSOC., P.C.
 ARCHITECTS • PLANNERS
 1110 Second St., S.W. Suite 204
 Albuquerque, New Mexico 87102
 (505) 243-7492 fax (505) 243-1106
 e-mail: gthicks@gtahicks.com

GT
 SINCE 1988

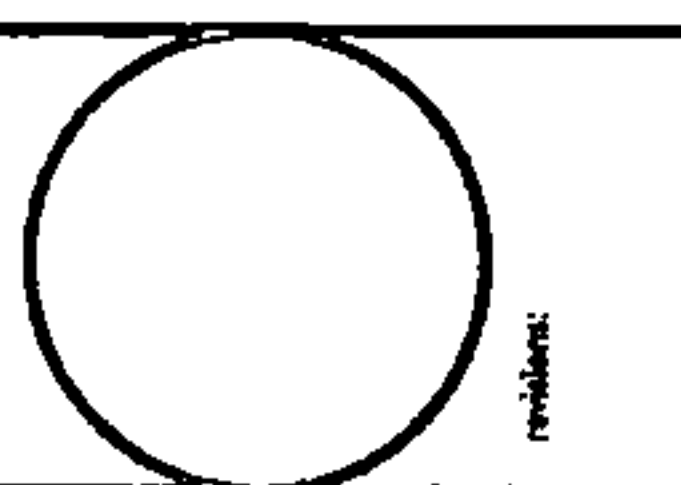
revisions:
 Glads Holdings, LLC Office Building
 prepared by: Dr. N.E. [Signature]
 Albuquerque, New Mexico

proj. no.: 0614
 coord. by:
 date: 1-24-07
 EXTERIOR ELEVATIONS
 DETAILS

A4.1



GREGORY T. HICKS & ASSOC., P.C.
 ARCHITECTS • PLANNERS
 110 Second St. S.W., Suite 204
 Albuquerque, New Mexico 87102
 (505) 243-7472 fax (505) 243-1106
 gthicks.com
 • designing to enlighten tomorrow •



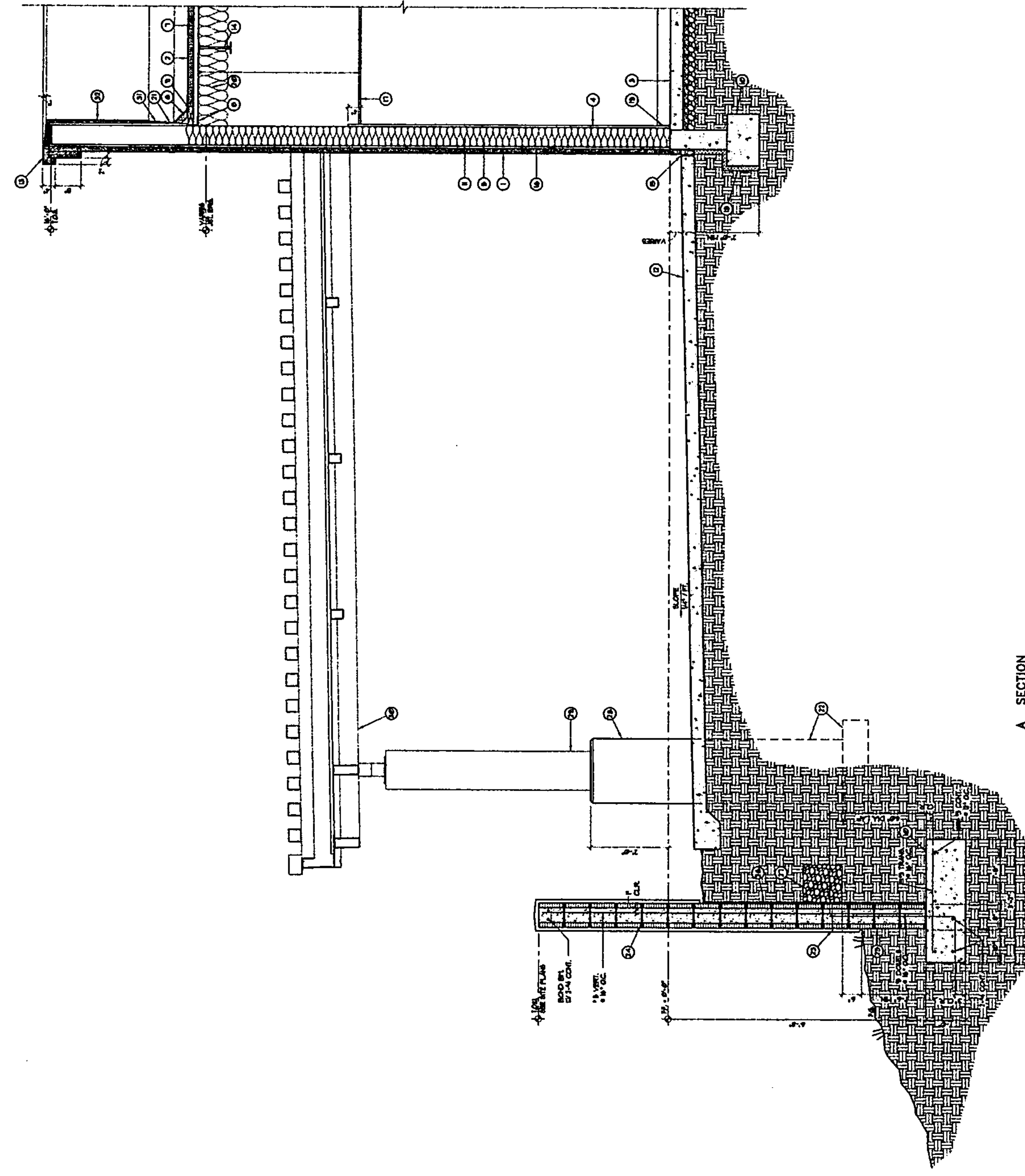
Glads Holdings, LLC Office Building
 4911 Chopin N.E.
 Albuquerque, New Mexico
 resident

proj. no.: 0418
 coord. file: 1-24-17
 date: SECTION

A6.1

KEYED NOTES

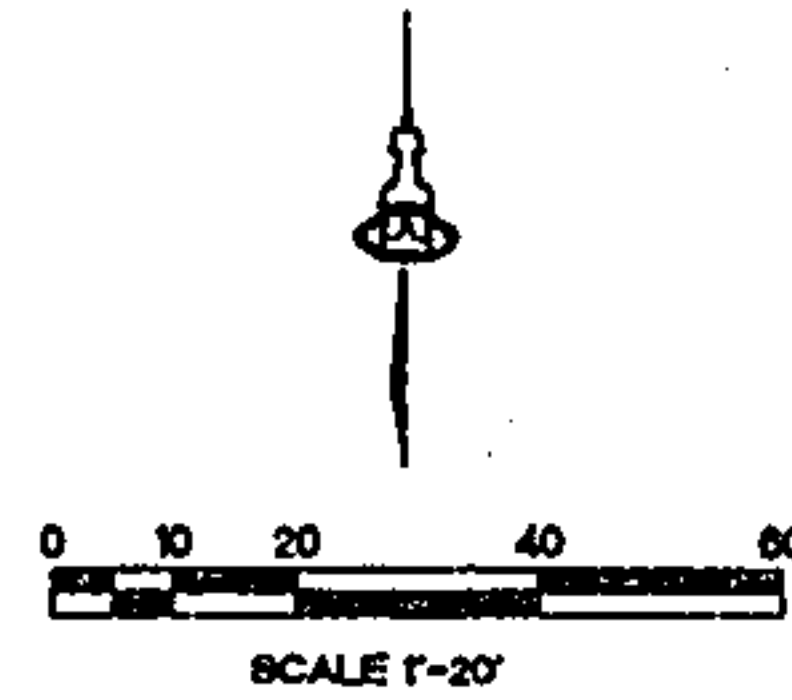
1. 1/2" TC EXTERIOR INSULATION (PERM SYSTEM) REFER TO EXTERIOR ELEVATIONS FOR AESTHETIC BAND-AID LOCATIONS.
2. BUILD-UP ROOFING SYSTEM ON 1/2" TC UNDER LAYMENT BOARD.
3. CONCRETE FLOORING OVER VAPOR BARRIER ON 4" TC LAYER.
4. 5/8" STRUT BARS, COORD. SLAB THICKNESS BY STRUCTURAL.
5. 6" METAL STUDS AT 16" O.C. COORDINATE BY STRUCTURAL.
6. CONT. 2X4 STUDS SEE STRUCTURAL.
7. 2X4 PERU BOOD BLOCKS.
8. 2X4 PERU BOOD BLOCKS.
9. 2X4 PERU BOOD BLOCKS.
10. PORTLAND CEMENT CONCRETE PAVES. SEE SITE DRAINAGE.
11. PROVIDE SLOPE AS INDICATED.
12. COORDINATE WITH STRUCTURAL.
13. 1/2" TC EXTERIOR INSULATION (PERM SYSTEM) REFER TO EXTERIOR ELEVATIONS FOR AESTHETIC BAND-AID LOCATIONS.
14. 5/8" EXTERIOR STRUT BARS/STAYS.
15. 5/8" EXTERIOR STRUT BARS/STAYS.
16. 5/8" EXTERIOR STRUT BARS/STAYS.
17. 5/8" EXTERIOR STRUT BARS/STAYS.
18. 5/8" EXTERIOR STRUT BARS/STAYS.
19. 5/8" EXTERIOR STRUT BARS/STAYS.
20. 5/8" EXTERIOR STRUT BARS/STAYS.
21. 5/8" EXTERIOR STRUT BARS/STAYS.
22. 5/8" EXTERIOR STRUT BARS/STAYS.
23. 5/8" EXTERIOR STRUT BARS/STAYS.
24. 5/8" EXTERIOR STRUT BARS/STAYS.
25. 5/8" EXTERIOR STRUT BARS/STAYS.
26. 5/8" EXTERIOR STRUT BARS/STAYS.
27. 5/8" EXTERIOR STRUT BARS/STAYS.
28. 5/8" EXTERIOR STRUT BARS/STAYS.
29. 5/8" EXTERIOR STRUT BARS/STAYS.
30. 5/8" EXTERIOR STRUT BARS/STAYS.
31. 5/8" EXTERIOR STRUT BARS/STAYS.
32. 5/8" EXTERIOR STRUT BARS/STAYS.
33. 5/8" EXTERIOR STRUT BARS/STAYS.
34. 5/8" EXTERIOR STRUT BARS/STAYS.
35. 5/8" EXTERIOR STRUT BARS/STAYS.
36. 5/8" EXTERIOR STRUT BARS/STAYS.
37. 5/8" EXTERIOR STRUT BARS/STAYS.
38. 5/8" EXTERIOR STRUT BARS/STAYS.
39. 5/8" EXTERIOR STRUT BARS/STAYS.
40. 5/8" EXTERIOR STRUT BARS/STAYS.
41. 5/8" EXTERIOR STRUT BARS/STAYS.
42. 5/8" EXTERIOR STRUT BARS/STAYS.
43. 5/8" EXTERIOR STRUT BARS/STAYS.
44. 5/8" EXTERIOR STRUT BARS/STAYS.
45. 5/8" EXTERIOR STRUT BARS/STAYS.
46. 5/8" EXTERIOR STRUT BARS/STAYS.
47. 5/8" EXTERIOR STRUT BARS/STAYS.
48. 5/8" EXTERIOR STRUT BARS/STAYS.
49. 5/8" EXTERIOR STRUT BARS/STAYS.
50. 5/8" EXTERIOR STRUT BARS/STAYS.
51. 5/8" EXTERIOR STRUT BARS/STAYS.
52. 5/8" EXTERIOR STRUT BARS/STAYS.
53. 5/8" EXTERIOR STRUT BARS/STAYS.
54. 5/8" EXTERIOR STRUT BARS/STAYS.
55. 5/8" EXTERIOR STRUT BARS/STAYS.
56. 5/8" EXTERIOR STRUT BARS/STAYS.
57. 5/8" EXTERIOR STRUT BARS/STAYS.
58. 5/8" EXTERIOR STRUT BARS/STAYS.
59. 5/8" EXTERIOR STRUT BARS/STAYS.
60. 5/8" EXTERIOR STRUT BARS/STAYS.
61. 5/8" EXTERIOR STRUT BARS/STAYS.
62. 5/8" EXTERIOR STRUT BARS/STAYS.
63. 5/8" EXTERIOR STRUT BARS/STAYS.
64. 5/8" EXTERIOR STRUT BARS/STAYS.
65. 5/8" EXTERIOR STRUT BARS/STAYS.
66. 5/8" EXTERIOR STRUT BARS/STAYS.
67. 5/8" EXTERIOR STRUT BARS/STAYS.
68. 5/8" EXTERIOR STRUT BARS/STAYS.
69. 5/8" EXTERIOR STRUT BARS/STAYS.
70. 5/8" EXTERIOR STRUT BARS/STAYS.
71. 5/8" EXTERIOR STRUT BARS/STAYS.
72. 5/8" EXTERIOR STRUT BARS/STAYS.
73. 5/8" EXTERIOR STRUT BARS/STAYS.
74. 5/8" EXTERIOR STRUT BARS/STAYS.
75. 5/8" EXTERIOR STRUT BARS/STAYS.
76. 5/8" EXTERIOR STRUT BARS/STAYS.
77. 5/8" EXTERIOR STRUT BARS/STAYS.
78. 5/8" EXTERIOR STRUT BARS/STAYS.
79. 5/8" EXTERIOR STRUT BARS/STAYS.
80. 5/8" EXTERIOR STRUT BARS/STAYS.
81. 5/8" EXTERIOR STRUT BARS/STAYS.
82. 5/8" EXTERIOR STRUT BARS/STAYS.
83. 5/8" EXTERIOR STRUT BARS/STAYS.
84. 5/8" EXTERIOR STRUT BARS/STAYS.
85. 5/8" EXTERIOR STRUT BARS/STAYS.
86. 5/8" EXTERIOR STRUT BARS/STAYS.
87. 5/8" EXTERIOR STRUT BARS/STAYS.
88. 5/8" EXTERIOR STRUT BARS/STAYS.
89. 5/8" EXTERIOR STRUT BARS/STAYS.
90. 5/8" EXTERIOR STRUT BARS/STAYS.
91. 5/8" EXTERIOR STRUT BARS/STAYS.
92. 5/8" EXTERIOR STRUT BARS/STAYS.
93. 5/8" EXTERIOR STRUT BARS/STAYS.
94. 5/8" EXTERIOR STRUT BARS/STAYS.
95. 5/8" EXTERIOR STRUT BARS/STAYS.
96. 5/8" EXTERIOR STRUT BARS/STAYS.
97. 5/8" EXTERIOR STRUT BARS/STAYS.
98. 5/8" EXTERIOR STRUT BARS/STAYS.
99. 5/8" EXTERIOR STRUT BARS/STAYS.
100. 5/8" EXTERIOR STRUT BARS/STAYS.



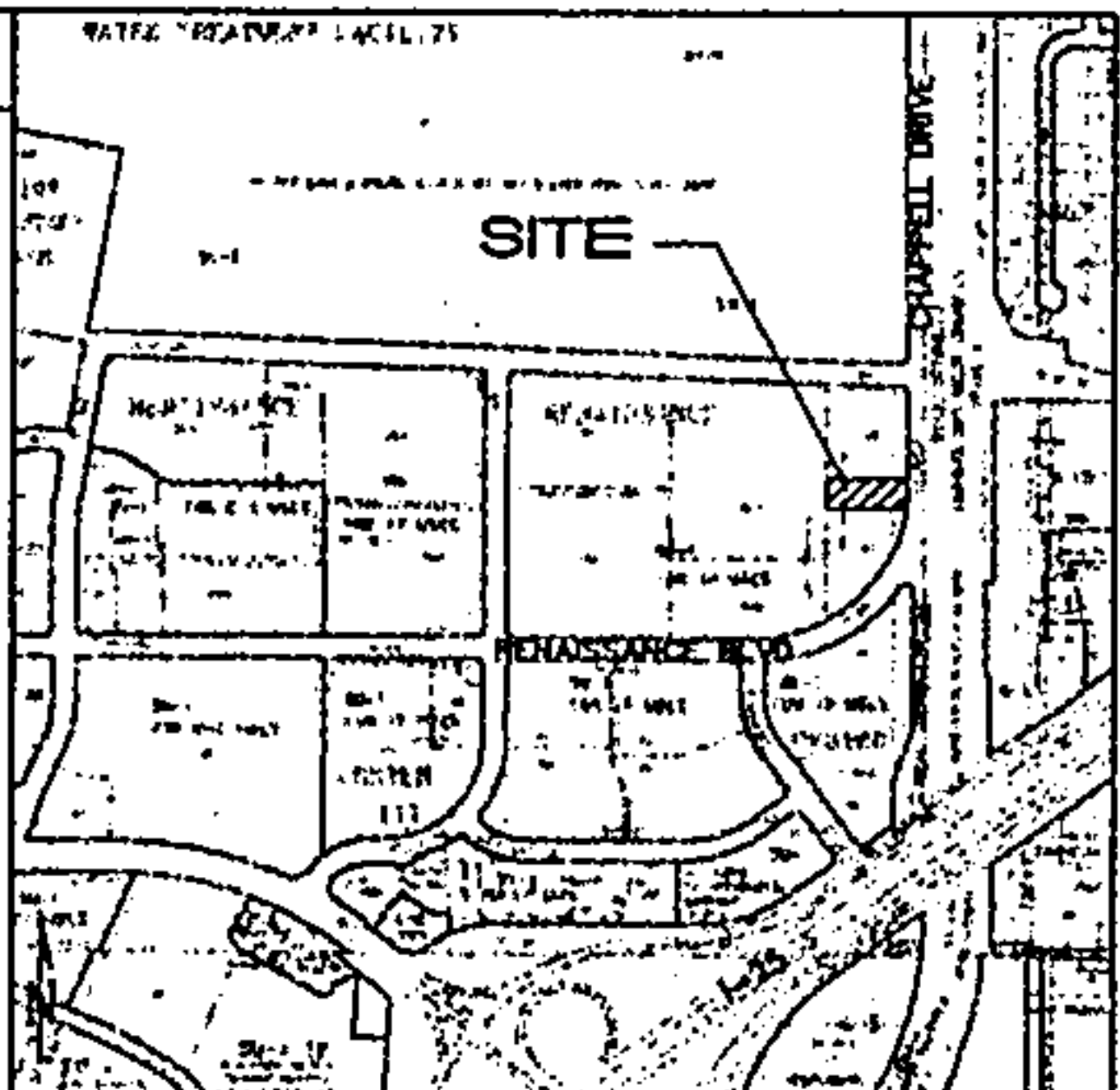
A SECTION

SCALE: 3/8" = 1'-0"

AREA DRAIN TABLE		
Circle	GRATE ELEV.	INVERT ELEV.
1	99.69	97.23
2	99.68	90.18



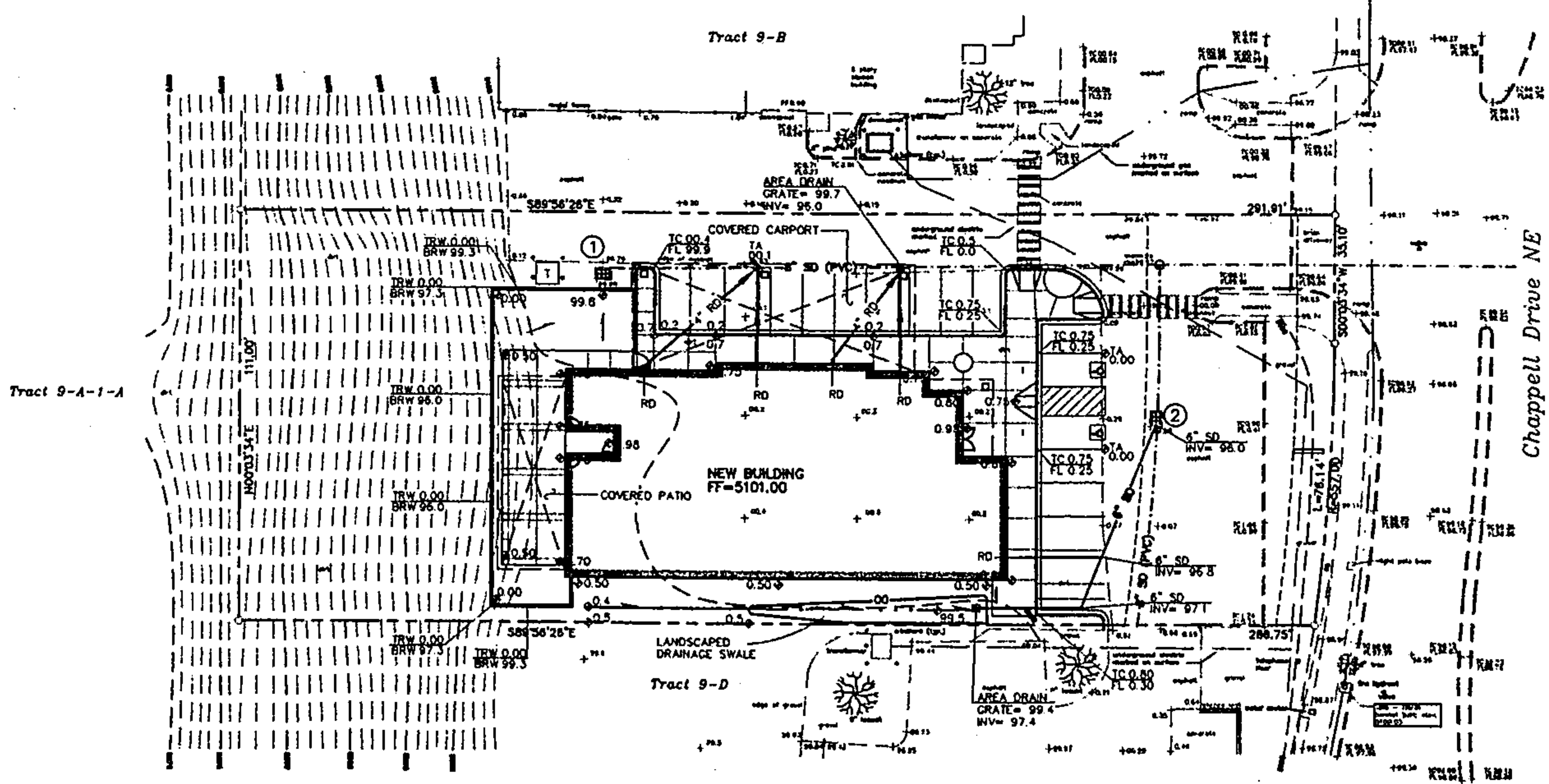
LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FLOW ARROW
	FINISH FLOOR ELEVATION
	TOP OF CURB ELEVATION
	AREA DRAIN
	INVERT ELEVATION
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC
	ROOF DRAIN
	RETAINING WALL



MAP # F-16-2 VICINITY MAP 1"=750'±

GENERAL NOTES

LEGAL: Tract Nine-C (9-C) of RENAISSANCE CENTER
 SURVEYOR: Forstbauer Surveying, L.L.C.
 AREA: 0.7408 ACRES
 BENCHMARK: AMAFCA brass tablet stamped, "NDC1A2", set on a concrete post projection 0.3 feet above ground (City of Albuquerque Control Station NDC 13-1A2). The station is located 0.7 miles south of the Osuna bridge over the AMAFCA North Diversion Channel. Elevation: 5100.3 (NGVD29).
 TEMPORARY BENCHMARK: North bonnet bolt on fire hydrant at southeast corner of site. Elevation: 5100.03.
 OFFSITE FLOWS: No offsite flows enter this site.
 EXISTING CONDITIONS: The site is undeveloped but has 7,000 sf of asphalt paving along the east and north sides of the site. Two existing storm inlets capture developed runoff and convey it east to the North Diversion Channel. The undeveloped portion of the site slopes steeply to the west.
 Zone: 2 Land Treatment: 50% A, 27% C, & 23% D
 $Q = (7408)(2.71 \text{ cfs/oc}) = 2.0 \text{ cfs}$
 PROPOSED CONDITIONS: A 6,400 sf. office building is proposed with associated paved parking and landscaping. Developed runoff is routed to the existing onsite storm drain system.
 LAND TREATMENT: 9% B, 27% C, & 64% D
 $Q = (7408)(4.06 \text{ cfs/oc}) = 3.0 \text{ cfs}$
 Undeveloped flow, from the existing 3:1 slope along the west side of the lot, will remain unchanged and continue to discharge west of
 $Q = (2000)(3.14 \text{ cfs/oc}) = 0.63 \text{ cfs}$
 Developed flow will enter the storm drain system and flow to the North Diversion Channel at $Q = 2.37 \text{ cfs}$.



SAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 10011
 Manero Street N.E.
 Albuquerque, New Mexico 87108
 TEL: 505-268-8828 Fax: 505-268-2632
 1999000.dwg Jan 23, 2007

GLAD8 HOLDINGS
 4911 CHAPPELL DRIVE NE

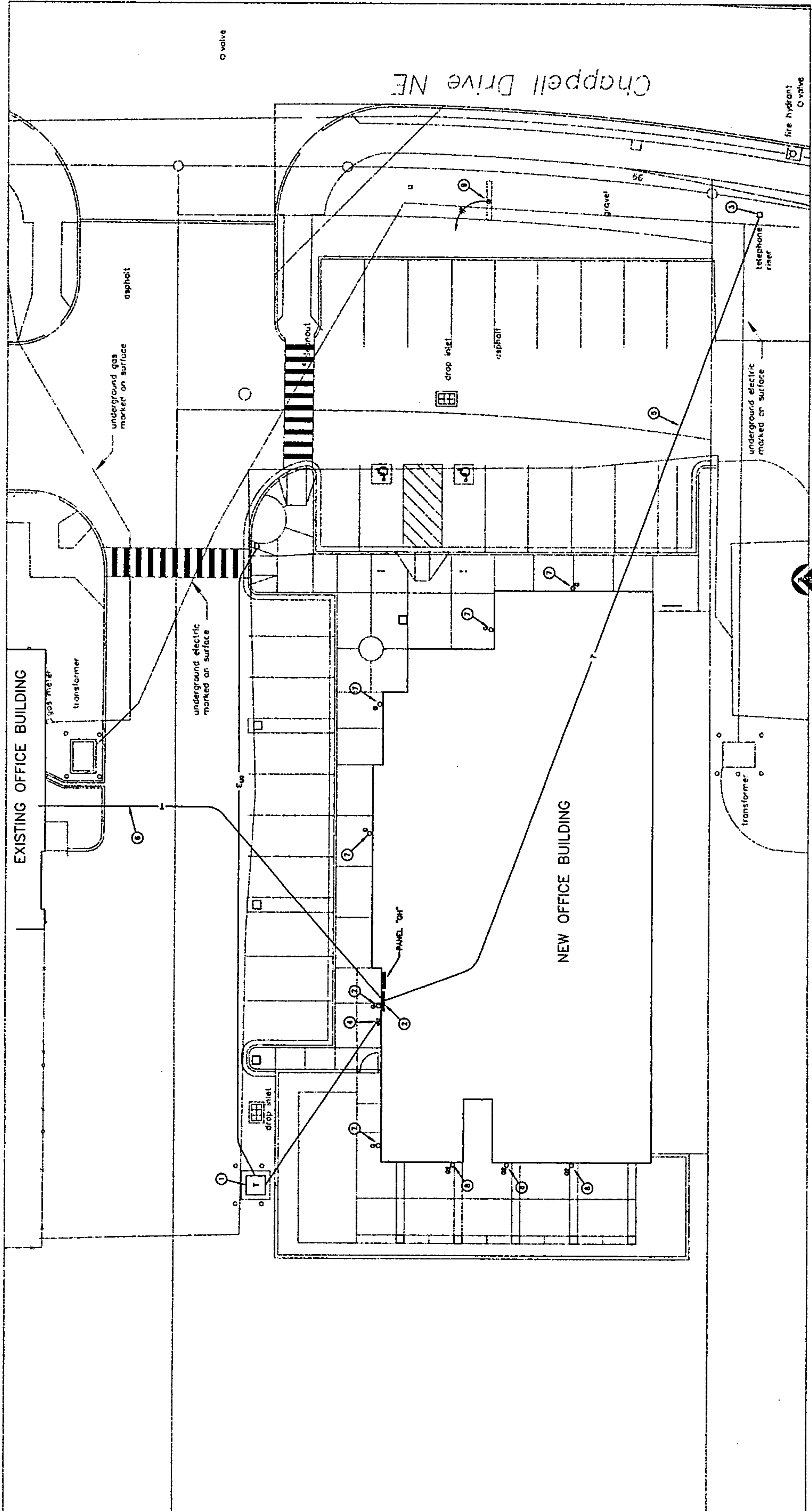
GRADING AND DRAINAGE PLAN

Date	By	Checked	Drawn	Job No.
01/24/07	thar			1580

M:\ACTIVED\2006\1580.dwg 1/23/2007 4:32:29 PM

KEYED NOTES

- 1 3-Ø 480V SERVICE TRANSFORMER WITH 120/208V, 3-PHASE SECONDARY.
- 2 TELEPHONE BACKBOARD, REFER TO TELEPHONE RISER DIAGRAM.
- 3 EXISTING TELEPHONE POSTAL SERVICE EXACT LOCATION AND ROUTING OF TELEPHONE SERVICE CONDUIT WITH GWSST.
- 4 400A SERVICE DISCONNECT SWITCH.
- 5 4" PVC TELEPHONE SERVICE CONDUIT.
- 6 2" PVC TELEPHONE CONDUIT EXTENDED TO EXISTING TELEPHONE BOARD IN BUILDING TO THE NORTH.
- 7 250W METAL HALIDE SHARP CUTOFF, ARCHITECTURAL WALL PACK. INSTALL UP 10'-6" AFF.
- 8 100W METAL HALIDE SHARP CUTOFF, ARCHITECTURAL WALL PACK. INSTALL UP 8'-6" AFF.
- 9 MONUMENT SIGN WITH LIGHT. PROVIDE DEDICATED 20A, 120V CIRCUIT.



ELECTRICAL SITE PLAN

SCALE: 1" = 10'-0"

Gregory T. Hicks & Assoc., P.C.
 ARCHITECTS • PLANNERS
 110 Central St., S.W. Suite 204
 Albuquerque, New Mexico 87102
 (505) 243-7492 fax (505) 243-1198
 • designing today designing tomorrow •

Glads Holdings, LLC
 Office Building
 4911 Chappell Dr., N.E.
 Albuquerque, New Mexico

PROJ. NO.: 0704
 EST. NO.: 0704
 DATE: 1/24/07
 ELECTRICAL SITE PLAN

ES1.1

\$0.00
\$480.00
\$75.00

Thank You

CHANGE
CK
MISC
ONE STOP SHOP

CITY OF ALBUQUERQUE PLANNING DEPARTMENT

Development & Building Services

RECEIPT# 00075021 WSH# 007 TRANS# 0055
Account 441018 Fund 0110
4:23PM
PAID RECEIPT

APPLICANT NAME STEVE GREGG
AGENT JAMES S MACGILLIVRAY
ADDRESS 110 2nd ST SW
PROJECT & APP # 1005310/07DRB00083
PROJECT NAME GLADS HOLDINGS, LLC

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 385.00 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study
- \$ 480.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

1/25/2007
RECEIPT# 00075020 WSH# 007 TRANS# 0055
Account 441006 Fund 0110
Activity 4983000
Trans Amt.
J24 Misc
4:22PM
LOC: ANNX
\$480.00
\$385.00

City Of Albuquerque
Treasury Division

City Of Albuquerque
Treasury Division

1/25/2007 4:22PM LOC: ANNX
RECEIPT# 00075019 WSH# 007 TRANS# 0055
Account 441032 Fund 0110
Activity 3424000 TRSARG
Trans Amt \$480.00
J24 Misc \$20.00

Thank You

Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from FEBRUARY 6, 2007 to FEBRUARY 21, 2007

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

James S. MacArthur
(Applicant or Agent)

1-25-7
(Date)

I issued 1 signs for this application, 01/25/07 Sandy Handley
(Date) (Staff Member)

DRB PROJECT NUMBER: 1005310

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

James J. MacMillan 1-24-7, 2-5-7
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Preliminary Grading Plan (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. Building and Structure Elevations
5. Conceptual Utility Plan

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

YES A. 8-1/2" x 11" reduction for each plan sheet.

YES B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

YES 1. Date of drawing and/or last revision

YES 2. Scale: 1.0 acre or less ~~4" = 40'~~ 1/16" = 1-0'

1.0 - 5.0 acres 1" = 20'

Over 5 acres 1" = 50'

Over 20 acres 1" = 100'

[Other scales as approved by staff]

YES 3. Bar scale

YES 4. North arrow

YES 5. Scaled vicinity map

YES 6. Property lines (clearly identify)

YES 7. Existing and proposed easements (identify each)

N/A 8. Phases of development including location and square footages of structures, circulation, parking and landscaping → 1 PHASE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

B. Proposed Development

1. Structural

- YES A. Location of existing and proposed structures (distinguish between existing & proposed)
- YES B. Square footage of each structure
- YES C. Proposed use of each structure
- YES D. Temporary structures, signs and other improvements → INDICATED ON SHEET 4
- YES E. Walls, fences, and screening: indicate height, length, color and materials
- YES F. Dimensions of all principal site elements or typical dimensions thereof
- NA G. Loading facilities
- YES H. Site lighting (indicate height & fixture type) → WALL MOUNTED ONLY, NO POLES
- YES I. Indicate structures within 20 feet of site
- NA J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

THERE IS A JOINT USE AGREEMENT
ALLOWING USE OF DUMPSTER LOCATED ON
SITE TO THE SOUTH.

- YES A. Parking layout with spaces numbered per aisle and totaled.
 - YES 1. Location and typical dimensions, including handicapped spaces
 - YES 2. Calculations: spaces required: 28 provided: 28
Handicapped spaces required: 2 provided: 2
- YES B. Bicycle parking & facilities
 - YES 1. Bicycle racks, spaces required: 2
1 provided: 2
 - NA 2. Other bicycle facilities, if applicable
- YES C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - YES 1. Ingress and egress locations, including width and curve radii dimensions
 - YES 2. Drive aisle locations, including width and curve radii dimensions
 - YES 3. End aisle locations, including width and curve radii dimensions
 - NA 4. Location & orientation of refuse enclosure, with dimensions
 - YES 5. Curb cut locations and dimensions
- YES D. Pedestrian Circulation
 - YES 1. Location and dimensions of all sidewalks and pedestrian paths
 - YES 2. Location and dimension of drive aisle crossings, including paving treatment
 - YES 3. Location and description of amenities, including patios, benches, tables, etc.
YES NOTE

3. Streets and Circulation

- YES A. Locate and identify adjacent public and private streets and alleys.
 - YES 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - NA 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - NA 3. Location of traffic signs and signals related to the functioning of the proposal
 - NA 4. Identify existing and proposed medians and median cuts
 - YES 5. Sidewalk widths and locations, existing and proposed
- NA B. Identify Alternate transportation facilities within site or adjacent to site
 - NA 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

- NA 2. Pedestrian trails and linkages
- NA 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- YES 1. Fire hydrant locations, existing and proposed. → *ONE EXIST. TO REMAIN.*
- YES 2. Distribution lines
- YES 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- YES 4. Existing water, sewer, storm drainage facilities (public and/or private).
- YES 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- YES 1. Scale - must be same as scale on sheet #1 - Site plan
- YES 2. Bar Scale
- YES 3. North Arrow
- YES 4. Property Lines
- YES 5. Existing and proposed easements
- YES 6. Identify nature of ground cover materials
 - YES A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - YES B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - NA C. Ponding areas either for drainage or landscaping/recreational use
- YES 7. Identify type, location and size of plantings (common and/or botanical names).
 - YES A. Existing, indicating whether it is to preserved or removed.
 - YES B. Proposed, to be established for general landscaping.
 - NA C. Proposed, to be established for screening/buffering.
- YES 8. Describe irrigation system
- YES 9. Planting Beds, indicating square footage of each bed
- NO 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. *NO TURF*
- YES 11. Responsibility for Maintenance (statement)
- YES 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- YES 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- YES 14. Landscaped area provided; square footage and percent (specify clearly on plan)

LABELLED ON SITE PLAN ←

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

A. General Information

- YES 1. Scale - must be same as Sheet #1 - Site Plan
- YES 2. Bar Scale
- YES 3. North Arrow
- YES 4. Property Lines
- YES 5. Existing and proposed easements
- YES 6. Building footprints
- YES 7. Location of Retaining walls

B. Grading Information

- YES 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- YES 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- YES 3. Identify ponding areas, erosion and sediment control facilities.
- NA 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- YES A. Scale (minimum of 1/8" or as approved by Planning Staff).
- NO B. Bar Scale
- YES C. Detailed Building Elevations for each facade
 - YES 1. Identify facade orientation
 - YES 2. Dimensions of facade elements, including overall height and width
 - YES 3. Location, material and colors of windows, doors and framing
 - YES 4. Materials and colors of all building elements and structures
- NA E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- MONUMENT SIGN ONLY. NO SIGNS ON BUILDING.
SEE SHEET 1A.
- YES 1. Site location(s)
 - YES 2. Sign elevations to scale
 - YES 3. Dimensions, including height and width
 - YES 4. Sign face area - dimensions and square footage clearly indicated
 - YES 5. Lighting
 - YES 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



February 1, 2007

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
Post Office Box 1293
Albuquerque, New Mexico 87103

**RE: Tract 9C
Renaissance Center**

Dear Ms. Matson:

On behalf of the Union Development Corporation, f/k/a the New Mexico Development Foundation, please accept this letter as written approval of acceptance on behalf of the Renaissance Center Architectural Review Committee. The committee approves the plan as submitted on Glads Holdings, LLC Office Building with the following tract 9C Renaissance Center.

If you have any questions, please do not hesitate to contact our office directly at 505.268.1200.

Sincerely,

James K. Trump, Jr.
Chairman Architectural Review Committee
jim@buildnewmexico.org

JKT/tlp

A MEMBER OF BUILD NEW MEXICO

122 Tulane SE • Albuquerque, New Mexico 87106 • Phone: (505) 268-1200 • Fax: (505) 268-0449



PREVIOUSLY APPROVED

SITE PLANS

(1 COPY)

DRB AA

APPLICATION NO. 06AA-01769	PROJECT NO. 1005310
PROJECT NAME Renaissance Center	
EPC APPLICATION NO.	
APPLICANT / AGENT J.S. MACGILLIVRAY	PHONE NO. 243-7492
ZONE ATLAS PAGE F-16	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>B2B</i>	DATE <i>12/18/06</i>	DATE
COMMENTS:		
<i>An updated g&d plan must be submitted to Hydrology for Building Permit</i>		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>B2B</i>	DATE <i>12/20/06</i>	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED <i>NSF</i>	DATE <i>12/26/06</i>	DATE
PLANS APPROVED <i>NSF</i>	DATE <i>1/2/07</i>	DATE
COMMENTS:		
<i>SEE SITE PLAN MARKED 'TRANSP' & ANSWER QUESTIONS</i>		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>EDM</i>	DATE <i>1/8/06</i>	DATE
COMMENTS:		

Revised 3/3/04

(Return form with plat / site plan)

DRBAA

APPLICATION NO. 06-AA-01769	PROJECT NO. 1005310
PROJECT NAME Renaissance Center	
APPLICANT / AGENT J.S. MCGILLIVRAY	PHONE NO. 243-7492
ZONE ATLAS PAGE F-16	DATE SUBMITTED 12/18/06

ONE STOP CASE TRACKING LOG

(This tracking log is for DRB Delegation Actions / Over the Counter Routing)
(rev. 7/03)

TYPE OF APPROVAL	TRANSP DEV	UTILITY DEV	PARKS & REC	HYD DEV (City Engr)	PLANNING	
					CASE PLANNER	DRB CHAIR
SDP-Building Permit / SDP-Subdivision	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____
Administrative Amendments (AA's)	F: 12/26/06 D: _____ F: _____ D: _____ A: 01/02/07	F: 12/20/06 D: _____ F: _____ D: _____ A: 12/20/06		F: 12/18/06 D: _____ F: _____ D: _____ A: 12/18/06 <i>stt</i>	F: _____ D: _____ F: _____ D: _____ A: _____	
Minor Plat / Major Final Plat	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____
Vacation-Private Easement	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____

Project Number 1005310

Forward to Claire 01/02/07 stt

First Review- Total City Days	
Second Review- Total City Days	
Third Review- Total City Days	
Subtotal	
Total Number of Developer Days (from back of form)	
Total Days	

DRB-96-495 (was site plan for SubArea #)
V-96-110

*Business Days
**Pulled by Agent (P)

F = forwarded
D = disapproved
A = approved

PLANS RELEASED TO APPLICANT OR AGENT TO CORRECT REJECTS

Called Applicant: _____	First Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Second Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Third Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Fourth Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

DRB AA

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

Supplemental form

- SUBDIVISION
 - Major Subdivision action
 - Minor Subdivision action
 - Vacation
 - Variance (Non-Zoning)
- SITE DEVELOPMENT PLAN for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)
- STORM DRAINAGE
 - Storm Drainage Cost Allocation Plan

- S Z ZONING & PLANNING
 - Annexation
 - County Submittal
 - EPC Submittal
 - Zone Map Amendment (Establish or Change Zoning)
 - Sector Plan (Phase I, II, III)
 - Amendment to Sector, Area, Facility or Comprehensive Plan
 - Text Amendment (Zoning Code/Sub Regs)
 - Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: STEVE GRIEGO PHONE: 217-3156
 ADDRESS: 4921 CHAPPELL DRIVE N.E. FAX: _____
 CITY: ALBUQ. STATE NM ZIP 87107 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): JAMES S. MACGILLIVRAY, GREGORY T. HICK + ASSOC. PHONE: 243-7492
 ADDRESS: 110 SECOND ST. SW, SUITE 204 FAX: 243-1106
 CITY: ALBUQ. STATE NM ZIP 87102 E-MAIL: jimm@gthicks.com

DESCRIPTION OF REQUEST: NEW OFFICE BUILDING
AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 9-C Block: _____ Unit: _____
 Subdiv. / Addn. RENAISSANCE CENTER
 Current Zoning: SU-1 IP Proposed zoning: NO CHANGE
 Zone Atlas page(s): F-16-2 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 0.7409 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101606146630410230 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: CHAPPELL DRIVE AND MISSION AVE. NE
 Between: RENAISSANCE BLVD. NE and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB 96-495

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE James S. Macgillivray DATE _____
 (Print) JAMES S. MACGILLIVRAY Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

06 AA - 0769

Action

AA

S.F.

Fees

\$ 45.⁰⁰

Total

\$ 45.⁰⁰

Hearing date

12/18/06

Project # 1005310

Planner-signature / date

Andrew Garcia

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE

- Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Solid Waste Management Department signature on Site Plan if relevant
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Copy of the LUCG approval if the site is in an historic overlay zone
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- Notifying letter & certified mail receipts addressed to owners of adjacent properties ← *PLANNING DOES THIS*
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:

- Co-location evidence as described in *Zoning Code §14-16-3-17(A)(5)*
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above based on 1/4 mile radius

PLEASE NOTE: If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James S. MacGillivray
Gregory T. Hicks + Assoc. P.C.

James S. MacGillivray Applicant name (print)
 12-12-06 Applicant signature / date



Form revised June 04, October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 06 AA - 01769

Andrew Jones 12/18/06
 Planner signature / date

Project # 1005310

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Steve Griego
AGENT James S. Macgillivray Gregory Hicks Assoc.
ADDRESS 110 2nd St. SW. Suite 204
PROJECT & APP # 1005310/06AA-01769
PROJECT NAME Renaissance Center

\$ 441032/3424000 Conflict Management Fee
\$ 441006/4983000 DRB Actions
\$ 45.⁰⁰ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ 441018/4971000 Public Notification
\$ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 45.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

GREGORY T. HICKS & ASSOCIATES, P. C.
110 SECOND STREET, SW #204
ALBUQUERQUE, NM 871023339
505-243-7492

WELLS FARGO BANK
NATIONAL ASSOCIATION
ALBUQUERQUE, NM 87102
95-219/1070

21195

12/14/2006

PAY TO THE ORDER OF City of Albuquerque - Treasury Division

DUPLICATE
City Of Albuquerque
Treasury Division
\$45.00

FORTY FIVE DOLLARS NO/CENTS

DOLLARS

City of Albuquerque - Treasury Division
Audit & Collection Section
P O Box 17
Albuquerque NM 87103-0017

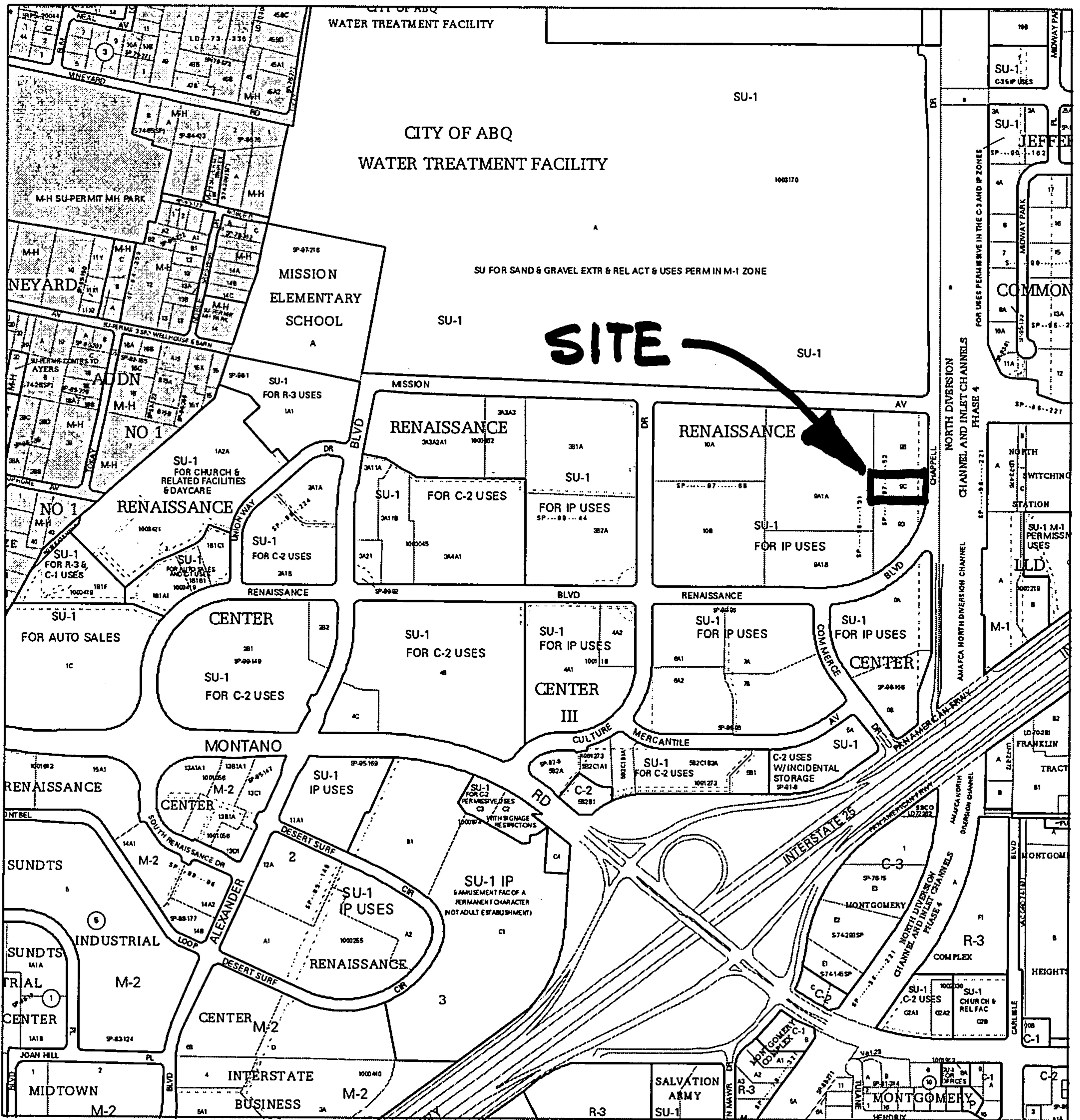
12/18/2006 1:50PM LOC: ANNX
RECEIPT# 00071200 WSH 006 TRANSH 0036
Account 441006 Fund 0110
Activity 4971000 TRSCXG
Trans Amt \$45.00
J24 Misc \$45.00
CK \$45.00
CHANGE \$0.00

DRB Set Up 0614

021195 107002192 6015304980 Thank You

© 2005 INTUIT INC. # 785 1-800-433-8810

MEMO



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 6/21/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

ADMINISTRATIVE AMENDMENT INFORMATION SHEET

The Planning Department is authorized to approve minor changes to approved Site Development Plans. Minor changes may include expansion of building square footage not greater than 10% and/or other changes that will not have a harmful impact on adjacent property or street circulation. Refer to *Zoning Code* Section 14-16-2-22(A)(6).

Application Requirements

Administrative Amendment Applications are submitted at the Development and Building Services front counter. Each request is assigned an Application number and a Project number. Applications must include the following:

- Completed Application Form with fee submittal
- Letter of Authorization from the Property Owner (if application is submitted by an agent)
- Zone Atlas* page clearly denoting the subject site
- Copy of the most recent Official Notice of Decision pertaining to the subject site
- A letter describing the project and indicating the percent change in heated square footage (if applicable)
- 1 copy of the previously approved plan set (typically the DRB-approved set)
- 5 copies of the revised plan, including all relevant plan sheets. The plans must be clearly dated and labeled as revisions and all proposed changes must be clearly denoted. Changes to parking calculations, landscaping calculations and similar plan elements must be clearly indicated.
- Materials pertinent to Notification (if applicable, see below)

Notification

Amendments proposing a building expansion of more than 2% of the approved square footage and/or amendments which may substantially aggrieve* any person require notification by the applicant. In such instances, the *Zoning Code* requires notification to 2 officers of all Recognized Neighborhood Associations that bound or are adjacent to the subject site and notification to adjacent property owners. The term "adjacent," as it relates to Administrative Amendments, includes property contiguous to the subject site and property that would be contiguous if not for public rights-of-way. Therefore, properties across an alley or street from the subject site are considered adjacent. When notification is required, the following materials must be submitted with the application:

- Developer Inquiry Sheet (completed) from the Office of Neighborhood Coordination (924-3914) plus Notifying Letter (copy) and Certified Mail Receipts
- Zone Atlas* page highlighting adjacent properties (for which notice has been provided), List of adjacent property owners receiving notice, Notifying Letter (copy) and Certified Mail Receipts

Ownership of adjacent property can be determined by using the Bernalillo County Assessor's web site:

www.bernco.gov/assessor. **Notification letters** must clearly describe the project, identify the location of the subject property, provide a phone number for a project contact person, and indicate the phone number for the City Planning Department: 924-3860. The reverse side of this form provides a sample notification letter. Failure to adequately notify may result in delay, denial or forfeiture of approval.

Process / Timeframe

Upon receipt of a complete application, the request is reviewed by Hydrology, Utility Development, and Transportation Planning before final review by the Development Review Division. Oftentimes the Zoning Enforcement office also reviews the submittal, particularly if the request relates to signage. The entire process typically takes 10 or more business days.

Appeal

There is a 15-day period from the date of the final approval for filing appeals with the Planning Department. Appeals to Administrative Amendments are made to the City Council through the Land Use Hearing Officer.

* *Applicants who have reason to believe that one or more persons may be substantially aggrieved by a proposed Administrative Amendment shall comply with the Notification process specified above. Significant delays will result if the Development Review Division determines that adequate Notification has not been provided.*

Glads Holdings, LLC

**4921 Chappell N.E.
Albuquerque, NM 87107**

December 12, 2006

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

I, Stephen A. Griego, Managing Member of Glads Holdings, LLC, authorize Gregory T. Hicks and Associates, P.C. to serve as the agent in matters involving Environmental Planning Commission filings, applications, and hearings.

If you have any questions, please do not hesitate to call me at 217-3156.

Respectfully,



Stephen A. Griego
Managing Member

Xc: Gregory T. Hicks & Associates, P.C.

December 12, 2006

Ms. Sheron Matson, D.R.B. Chairperson
City of Albuquerque Planning Department
Albuquerque, New Mexico 87103

**RE: Request for Amendment to Site Development Plan for Subdivision
Glads Holdings, LLC Office Building**

UPC: 101606146630410230
Legal Description: Tract 9-C, Renaissance Center
Address: 4911 Chappell Dr. NE
Zoning: SU-1 IP
Zone Atlas Map: F-16-Z
Related Case No.: DRB 96-495

Property Owner / Buyer:

Glads Holdings, LLC
4921 Chappell Drive NE, Albuquerque, NM, 87107
Contact: Steve Griego, 505-217-3156

Property Owner / Seller:

Bank of Albuquerque as Trustee for Union Pension Transaction Trust 93-2
C/O Build New Mexico, 122 Tulane SE, Albuquerque, NM, 87106
Contact: Jim Trump, 505-268-1200

Chairperson Matson:

As agent for Mr. Steve Griego, we are requesting approval for **Amendment to Site Development Plan for Subdivision** for Tract 9-C, Renaissance Center.

In keeping with our pre-application meetings at your office we understand that this application will not require a public hearing. Upon approval of this application, we will submit an application for **Site Development Plan for Building Permit** which will require a hearing.

Project Description

The captioned project entails construction of a new 1-story office building on a 0.7409 acre parcel. The proposed building will have an enclosed area of 6,371 s.f., a 192 s.f. covered entrance on the east side, a 936 s.f. covered patio on the west side, and a 2,095 s.f. carport on the north side, for a total covered area of approximately 9,594 s.f. **The primary deviations from the originally approved Site Development Plan are as follows:**

GREGORY T. HICKS AND ASSOCIATES, P.C.

The Sunshine Building
110 Second St SW Suite 204
Albuquerque, New Mexico 87102

• ARCHITECTS • PLANNERS •

(505) 243-7492
fax (505) 243-1106
e-mail gthicks@gthicks.com



1. The enclosed area of the building has been increased from 4,589 s.f. shown on DRB Site Plan 96-495, to 6,371 s.f.
2. The west service lot has been replaced with a patio surrounded by stuccoed masonry walls ranging from 3' to 5' high above highest adjacent grade.
3. A carport has been added to the north side of the building.

Restrictive Covenants

The proposed improvements shall comply with the requirements of the **Master Declaration For North Renaissance**.

Architectural Style

The architecture style of the building will be southwestern, contemporary, post-modern, "neo-territorial" in keeping with the Master Declaration For North Renaissance and similar to existing adjacent buildings.

Site Access

Access to the site is currently provided by an existing curb-cut along Chappell Drive. No changes to the curb-cut are planned.

Parking

The Net Leasable Area of the new building will be approximately 5,544 s.f. At 200 s.f. per car for office space, the parking requirement will be 28 spaces. Accessible parking, motorcycle parking, and bicycle parking will be provided per C.O.A requirements. There are no bus routes serving the site.

Landscaping

Irrigated landscaping will be provided in keeping with the Master Declaration For North Renaissance. **A Landscaping and Irrigation Plan will be submitted with the Site Development Plan for Building Permit application.**

Refuse

Upon meeting with Mr. Michael Holton, Solid Waste Management Department, C.O.A. Plans Review Section, on December 11, 2006, it was determined that the refuse needs of the proposed office building could be served by the existing dumpster enclosure located on Tract 9-D, in keeping with the original intent of the Sector Development Plan. The two-dumpster enclosure currently houses one dumpster. A second will be added as part of the work. The owner is arranging for a Joint-Use Agreement.

Fire Protection

The new building will be Type II-N, non-sprinkled. Upon meeting with Fire Inspector Raymond Sanchez, C.O.A. Plans Review Section, on December 11, 2006, it was determined that the captioned project would be adequately protected by two existing fire hydrants located in close proximity to the site. A signed Fire Hydrant and Instantaneous Fire Flow Requirements Form is attached.

GREGORY T. HICKS AND ASSOCIATES, P.C.

The Sunshine Building
110 Second St SW Suite 204
Albuquerque, New Mexico 87102

• ARCHITECTS • PLANNERS •

(505) 243-7492
fax (505) 243-1106
e-mail gthicks@gthicks.com



Utilities

Water, sewer, gas, power, and telephone are available in or beside the Chappell Drive R.O.W. Visual investigation off the site revealed that sewer and telephone utilities are already extended onto the site. The owner is confirming the status of water, gas and power utility yard lines. **A Utilities Plan will be submitted with the Site Development Plan for Building Permit application.**

Grading and Drainage

There are two existing storm drains on the site which are to remain. **A Grading and Drainage Plan will be submitted with the Site Development Plan for Building Permit application.**

Site Lighting and Signage

Site Lighting and Signage will comply with the Master Declaration For North Renaissance and will be delineated on the Site Development Plan for Building Permit.

R.O.W.

No work in the R.O.W. is anticipated.

Please let us know if we need to provide any additional information for this request.

Respectfully,



James S. MacGillivray
Registered Architect
Gregory T. Hicks & Associates, P.C.

Agent For:

Mr. Steve Griego
4921 Chappell Drive NE, Albuquerque, NM, 87107
Telephone: 505-217-3156

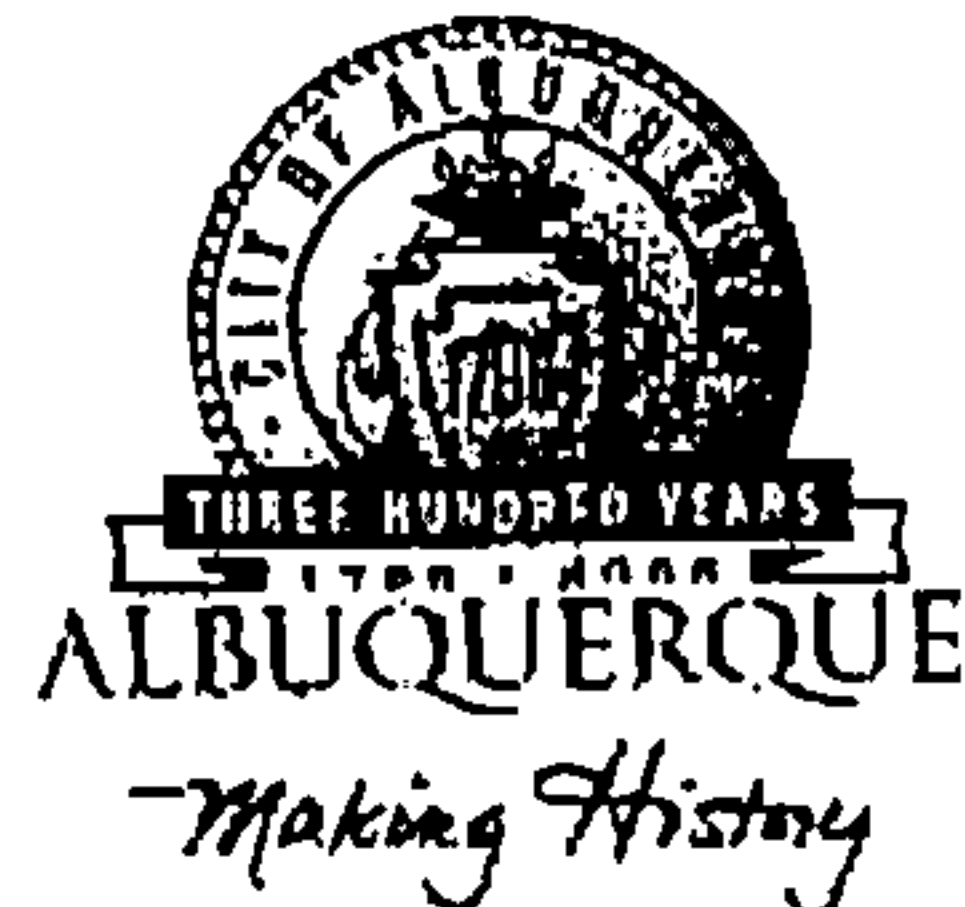
GREGORY T. HICKS AND ASSOCIATES, P.C.

The Sunshine Building
110 Second St SW Suite 204
Albuquerque, New Mexico 87102

• ARCHITECTS - PLANNERS •

(505) 243-7492
fax (505) 243-1106
e-mail gthicks@gthicks.com





City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: December 5, 06

Planning Department
 Plaza Del Sol Building
 600 Second St. NW
 Second Floor (924-3860)

This letter will serve to notify you that on 12-5-06 (date)

TO CONTACT NAME: Jim MacGillivray
 COMPANY/AGENCY: Gregory T. Hicks and Associates, P.C.
 ADDRESS/ZIP: 110 2nd St. SW Suite 204 - 87102
 PHONE/FAX #: 243-7492 - (FAX-243-1106)

Contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at Tract 9-C Renaissance Center, 4911 Chappel Dr NE UPC-1066061466 30410230 zone map page(s) F-16.

Our records indicate that as of 12-5-06 (date), there were **no Recognized**

Neighborhood Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaine L. Armone
 OFFICE OF NEIGHBORHOOD COORDINATION

OFFICIAL NOTICE

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
P.O. BOX 1293, ALBUQUERQUE NEW MEXICO 87103

8. V-96-110 Tierra West Development Management Services, agents for Union
DRB-96-495 Transaction Trust NM 93-2, request Vacation (voiding) of a Private Easement and Site Development Plan approval for Tract 9, Renaissance Center, zoned SU-1 for C-2 (City) and located on Renaissance Blvd NE between Chapell Dr NE and Century Dr NE containing approximately 14.65 acres. (F-16)

At the October 29, 1996, Development Review Board meeting, the Vacation was approved for portions of the private landscape easement subject to the findings and conditions of the Subdivision Ordinance and the approved Master Plan with the following findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. A letter shall be submitted from the property owners approving the vacation.
2. The Vacation is approved subject to Planning staff approval of a sketch outlining the exact vacated areas.
3. Final disposition shall be through the City Real Estate Office.
4. The vacated easements shall be shown on a replat within one year.
5. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

The Site Development Plan was approved with final sign off delegated to City Engineer and Planning.

If you wish to appeal this decision, you must do so by November 13, 1996, in the manner described below. A nonrefundable fee of \$135 is required at the time the appeal is filed.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal; if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 45 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.)

(REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)


Claire Koopman
Board Secretary

cc: Union Transaction Trust NM 93-2, 4411 McLeod Rd NE, Suite G, 87109
Tierra West Development Management Services, 4421 McLeod Rd NE, Suite D, 87109
Traffic Engineering
City Engineering
Public Works, Transportation Planning, 5th Floor
Terri Martin, Public Works Department, 4th floor
File

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION

DEVELOPMENT REVIEW BOARD
October 29, 1996
V-96-110/DRB-96-495

V-96-110 Tierra West Development Management Services, agents for Union Transaction
DRB-96-495 Trust NM 93-2, request Vacation (voiding) of a Private Easement and Site Development Plan approval for Tract 9, Renaissance Center, zoned SU-1 for C-2 (City) and located on Renaissance Blvd NE between Chapell Dr NE and Century Dr NE containing approximately 14.65 acres. (F-16)

AMAFCA After further internal discussion with AMAFCA staff and review of the existing easement language, the referenced license will not be necessary. AMAFCA will need to sign the final Mylar of the Site Development Plan prior to any permits being released. Please coordinate with AMAFCA. A few side notes: How will the 3:1 slope between both sites be addressed? This should be clearly addressed on the plans. Also, the upper storm drain discharges to the lower parking lot. Has this been approved by City Hydrology?

COG No adverse comments.

Zoning Enforcement Reviewed, no adverse comments.

Neighborhood Coord. No registered Neighborhood Associations.

Office of Econ. Develop. No comments received.

APS No adverse comments.

Police Department No adverse comments.

PNM Gas Approves.

~~PNM Electric Applicant can contact PNM's Jim Vann at 241-3426 concerning extension of PNM's electric facilities.~~

Jones Intercable No adverse comments.

U.S. West Communications No comments received.

Environmental Health

The site plan as submitted illuminates the absolute need for amending the Development Process Manual in at least 2 ways: 1. the need for maximum parking requirements rather than minimum parking requirements, and 2. the need for pedestrian requirements relative to intra and inter-site access.

Phase I of this project displays more than adequate landscaping and minimally adequate pedestrian circulation. However, there is no mandate that the DRB must acquiesce to an applicant's request for 30% more parking than is required, nor accept a total pedestrian/bicycle disconnect from Phase II merely because it is submitted in a site

Environmental Health

development plan. The utility and attractiveness of this site would be increased if each building in Phase II were connected to Phase I by a safe, wide, well lit pedestrian bicycle way, and the minimum parking requirement were made the maximum parking requirement and no more than 115 parking places were permitted.

While Tract 9-A is conceptual in nature, it should be made clear to the applicant that acceptance of Phase I does not include sketch plan approval of Phase II as submitted.

Prior to any earthmoving activities involving a parcel of 3/4 of an acre or more, a Surface Disturbance Permit must be obtained from the City's Environmental Health Department pursuant to Albuquerque/Bernalillo County Air Quality Control Board Regulation, Part 20. Revegetation or stabilization of disturbed areas can be coordinated as part of the permitting process. Contact Larry Caudill (768-2600).

5
EPA
NPDES
M

Parks Design & Development

No adverse comment on the Vacation request and Site Development Plan approval. 2. An existing trail occurs along the west side of the North Diversion Channel in this area.

Utilities Development Need to show new and/or exiting fire hydrants, as required by the Fire Marshal, on the site plan. The Fire Marshal must approve the Site Plan by stamping a blue line copy as "approved".

City Engineer An approved Conceptual Grading and Drainage Plan is required for Site Development Plan sign-off.

Transportation Develop 1. The TIS appears to indicate this site would develop as Industrial, while office appears to be proposed. When is TIS to be amended? 2. Clearly call out that Phase I only is being approved. 3. Are there cross-access/parking easements in place?

Planning Department

The letter submitted states that a site plan for building permit for proposed Tracts 9B, 9C and 9D but the note above the signature block says the opposite. Revise that note. 2. As required by EPC Condition #6, landscaped areas must comply with Street Tree Ordinance. 3. Planning will not support a vacation of a private landscape easement to add parking especially when Parcel 9-B is providing almost two times the required amount! Is there a letter from the owner approving such a request? 4. The parking ^{calls} for 9-D must show provided/required on building area 5328, then future expansion. 5. There are misspellings on the site plan, ie portion is shown as proton, purposes is shown as purposed. 6. Pedestrian connections are needed at entrance to Tract 9-D. Textured crosswalk is needed past opening of truck bay on Tract 9-B to connect western parking lot. An additional pedestrian crosswalk to the southern building in parcel 9-A from the parking lot. 7. Why is the landscaping plan only showing phase 1? L8. What color is copper mist? Glass of the windows - non-reflective/reflective? Material/colors of the loading doors?

OF CAUS

Planning Department

The northern elevation of the DMC building fronts Mission Avenue must have some architectural features, ie copper mist steel trim along the top. (Like the northern elevation for the Media Works Building. An additional window should be added to the south elevation of the Media Works Building. Material and colors of the doors on the mechanical contractors building - reflective/non-reflective. 9. Refuse Division needs to sign off on site plan (or blueline set). 10. Will cross/parking easements be provided on the plat? 11. No typical section for monument sign was provided nor was building mounted signage called out. 12. Pedestrian access along the eastern side of the 2 proposed buildings in Tract 9-A must be provided. 13. Where does the private landscape easement go behind the western lot line? 14. 718 spaces in phase II when only 423 spaces required??

IT IS REQUESTED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc::Union Transaction Trust NM 93-2, 4411 McLeod Rd Ne, Ste. G, 87109

Tierra West Development Management Services, 4421 McLeod Rd NE, Ste. D, 87109