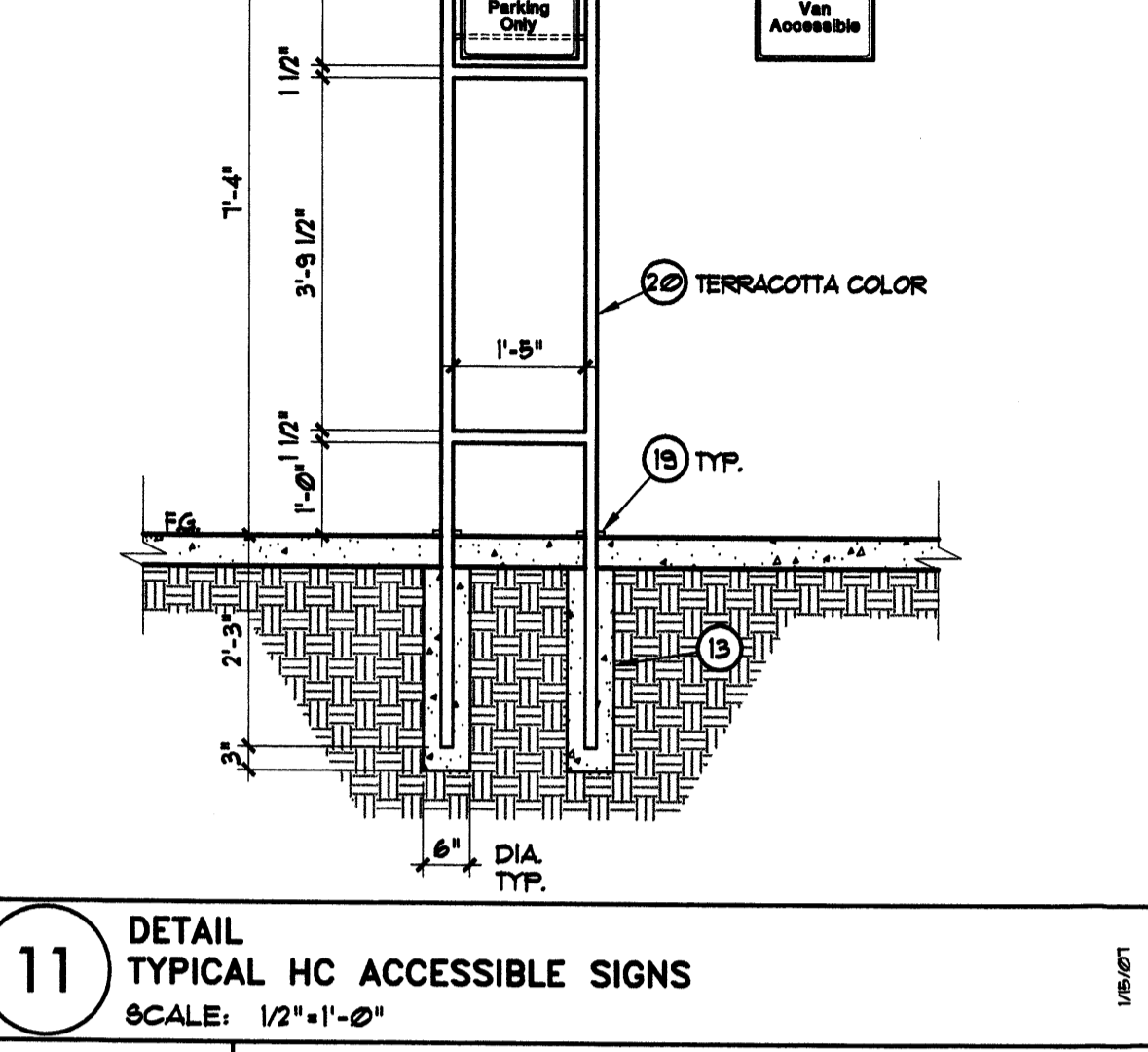
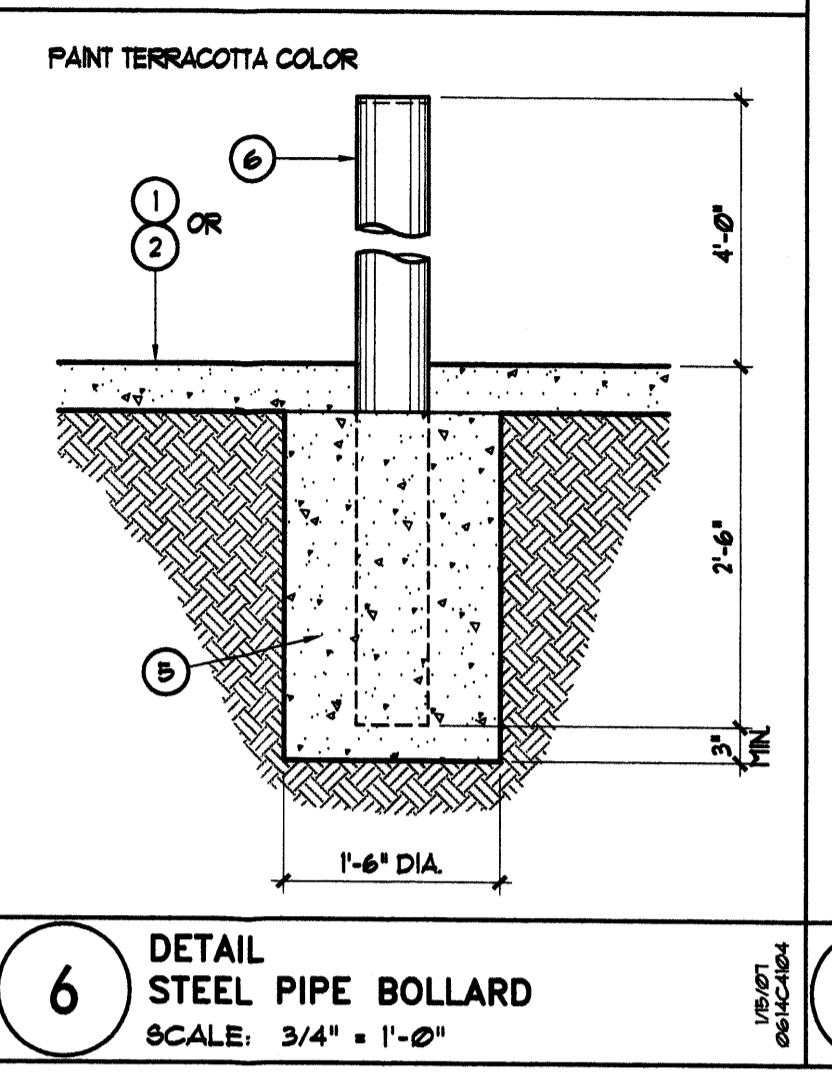
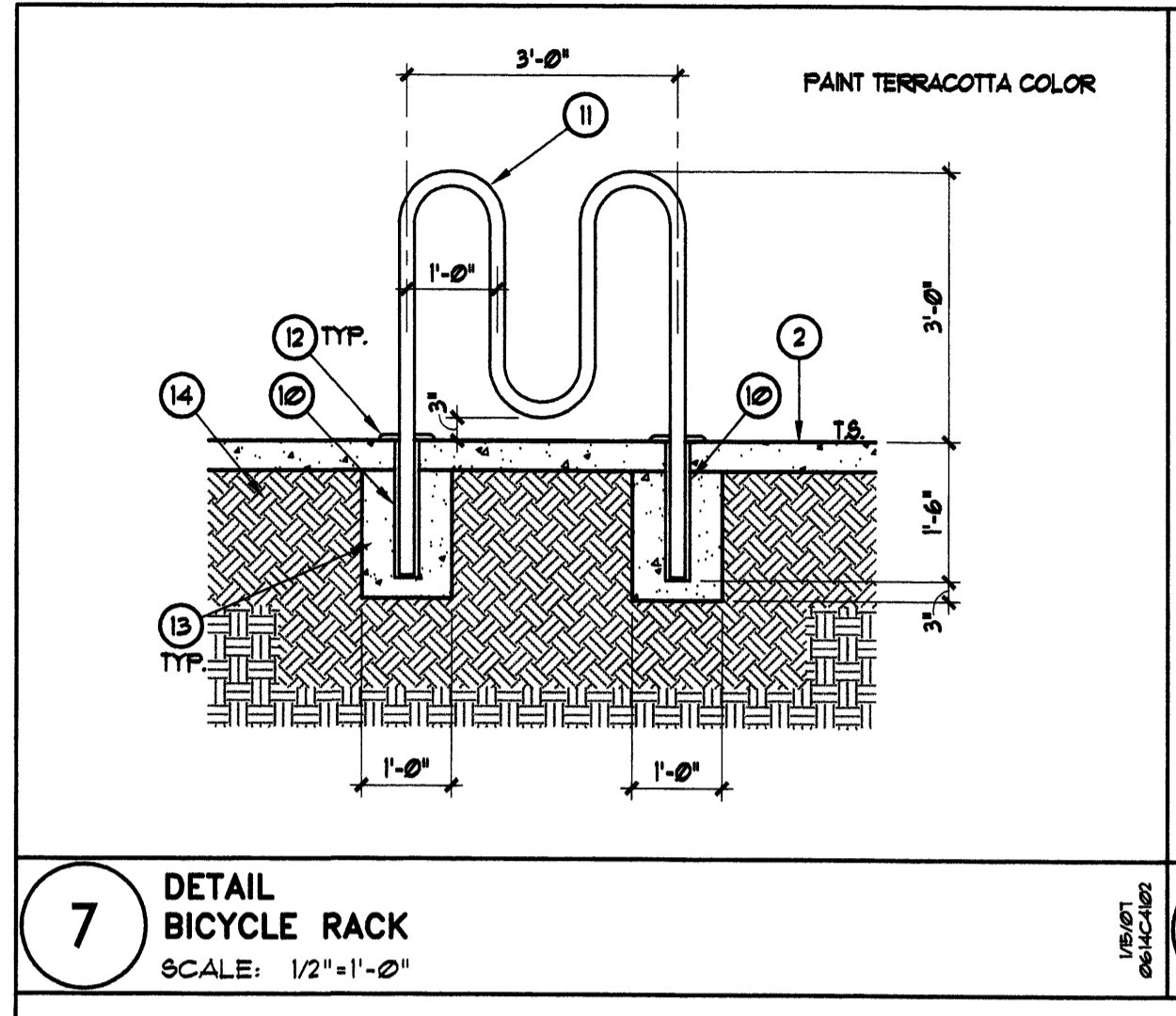
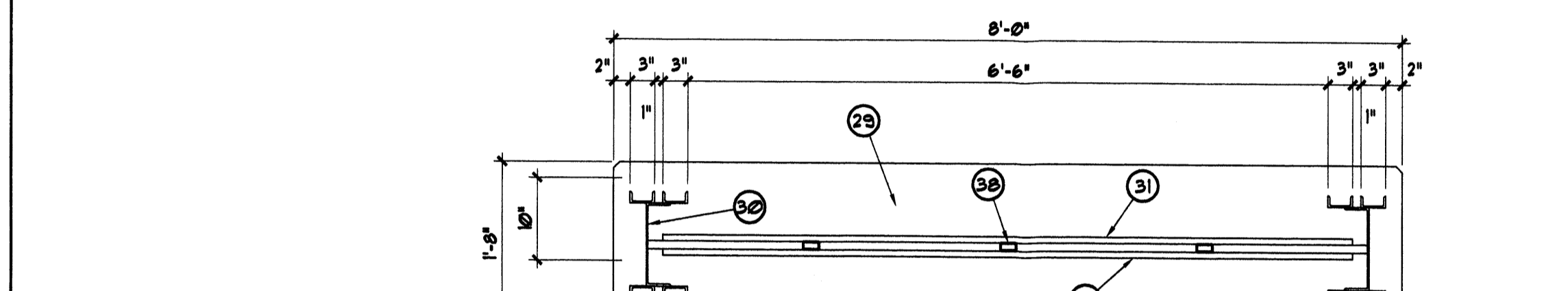
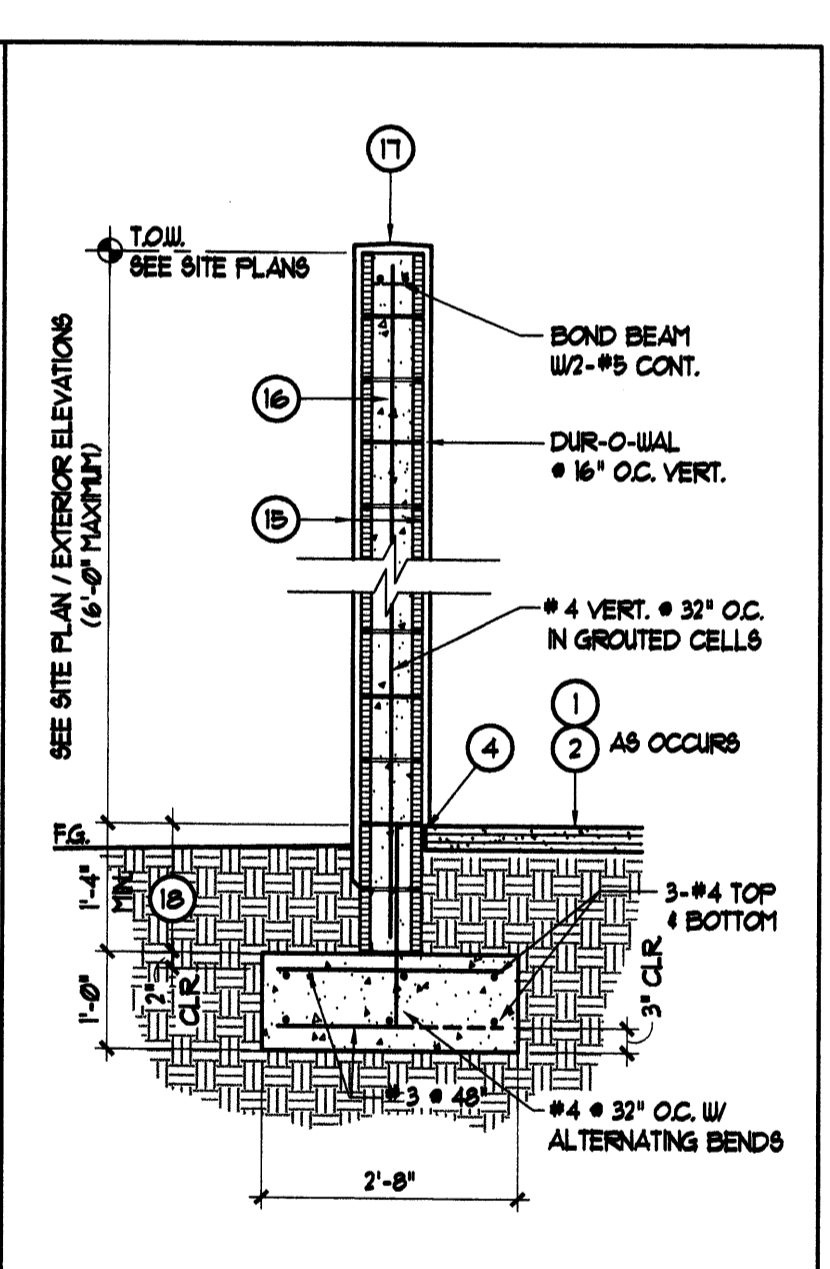
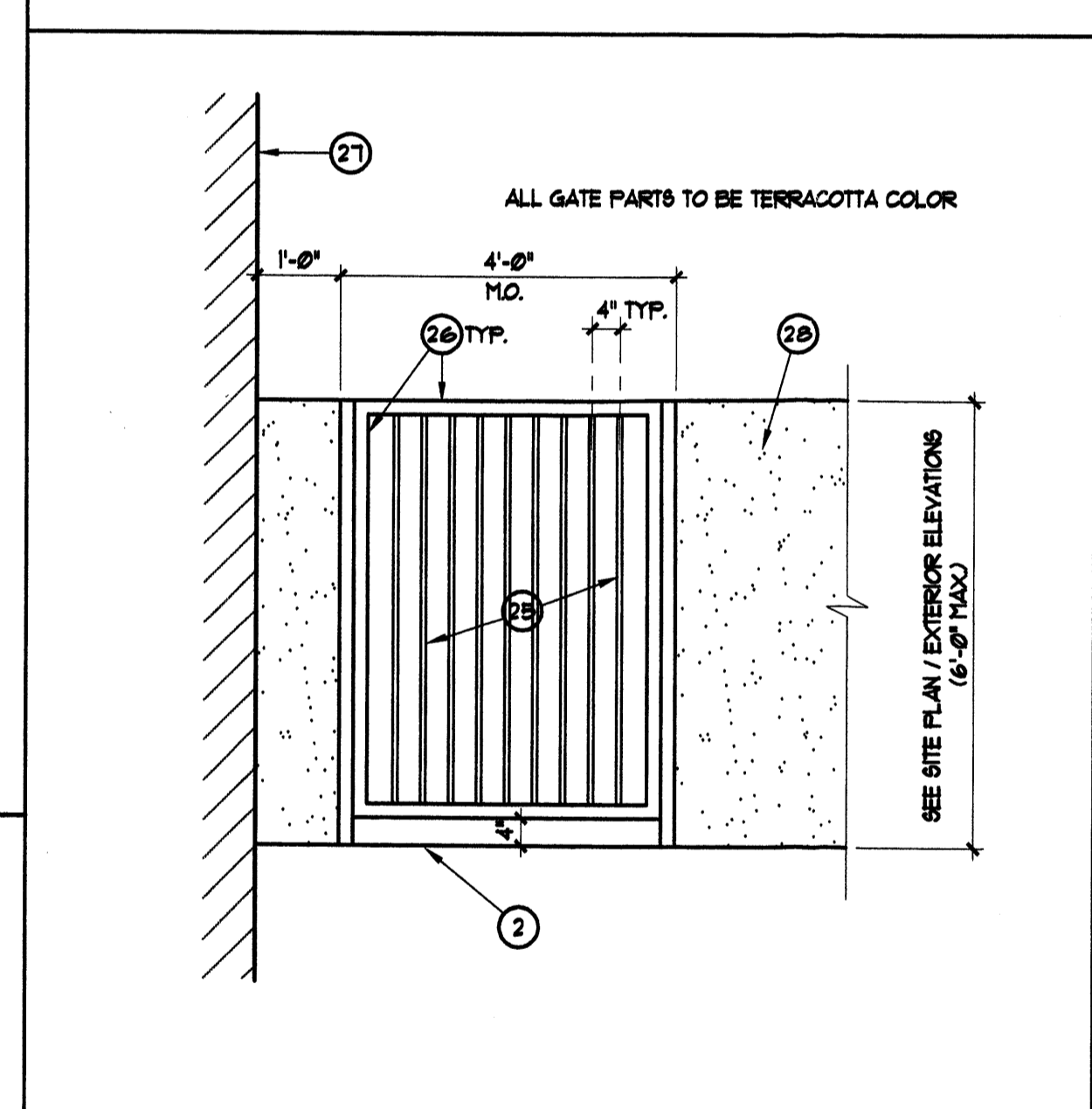
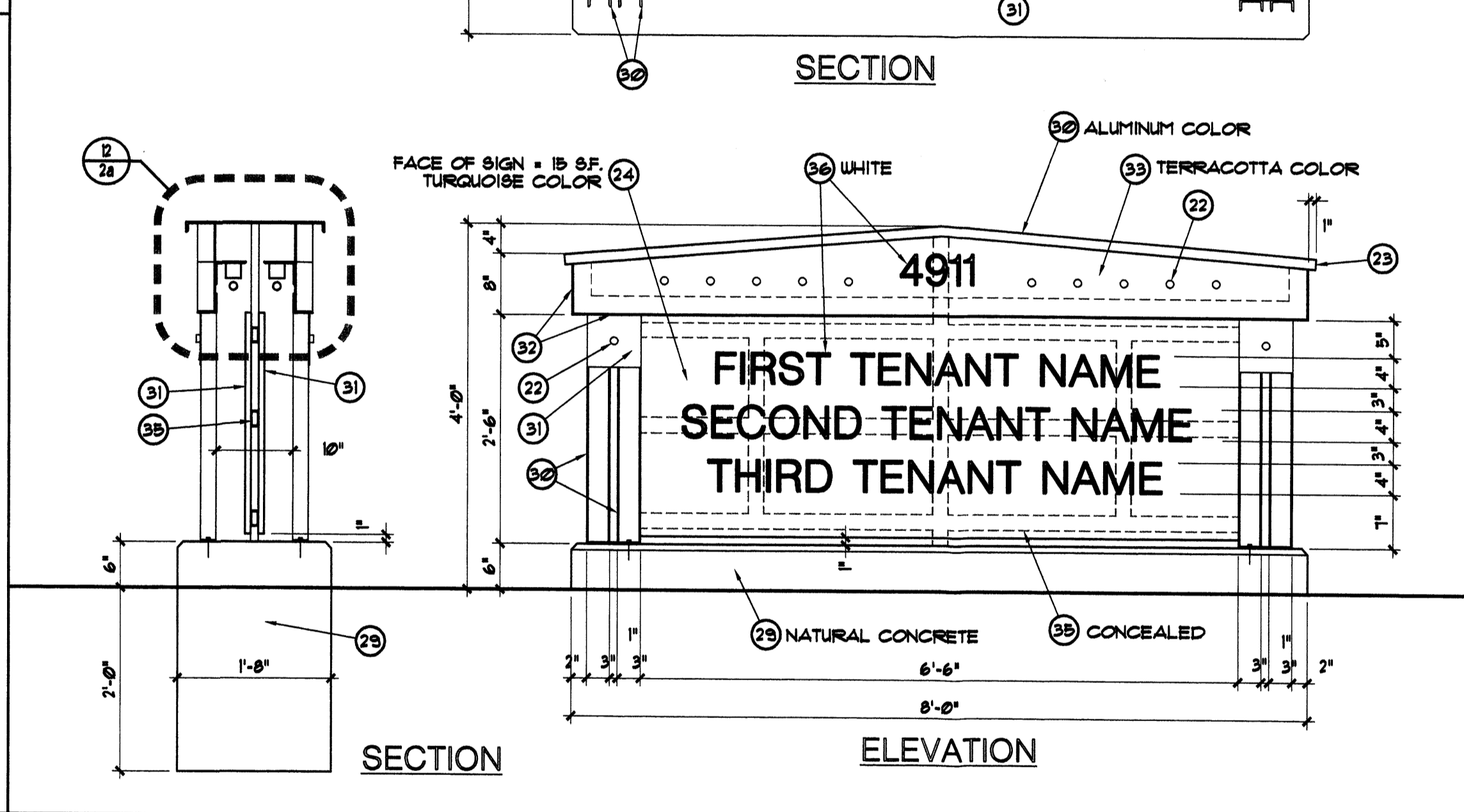
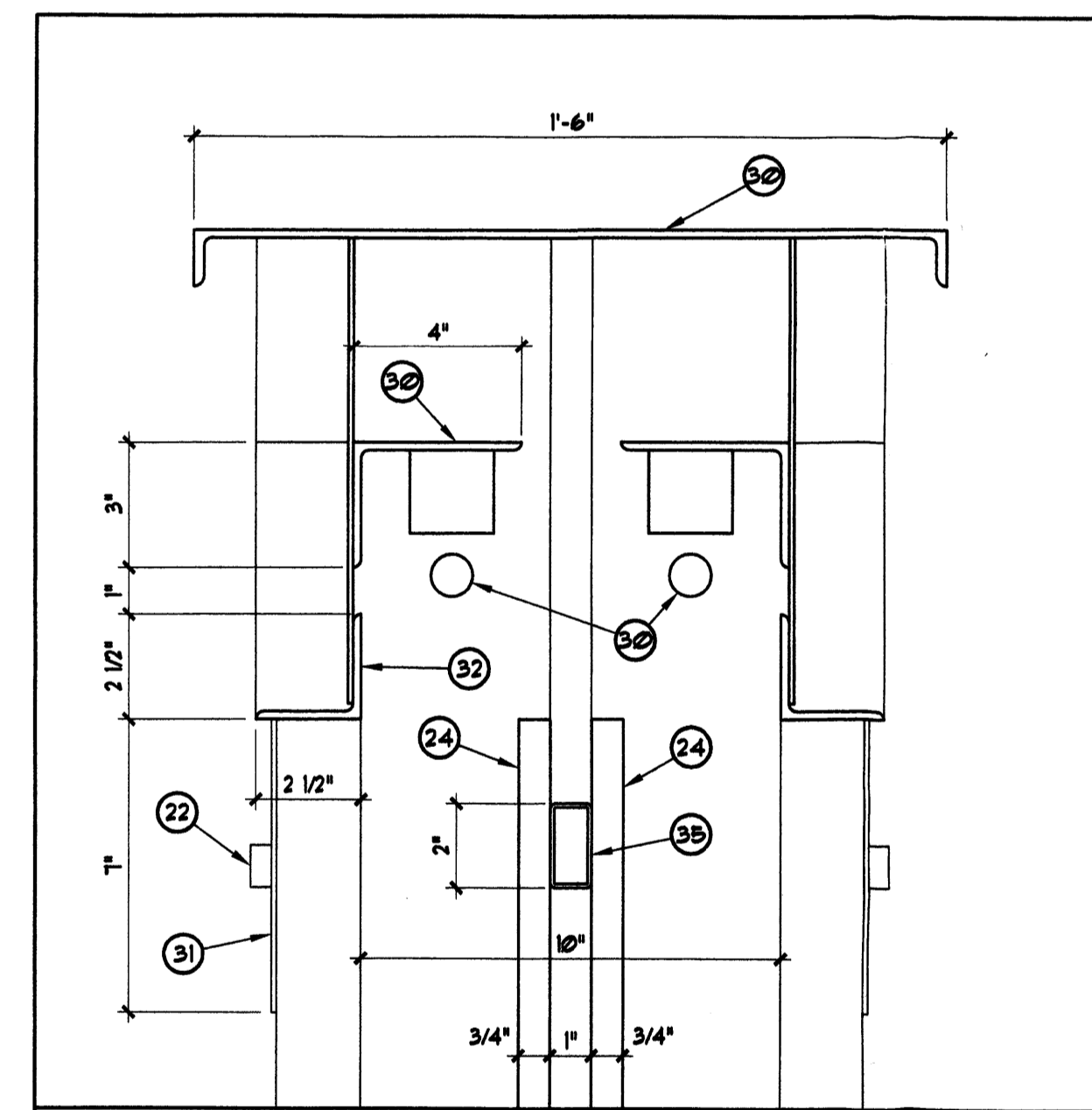
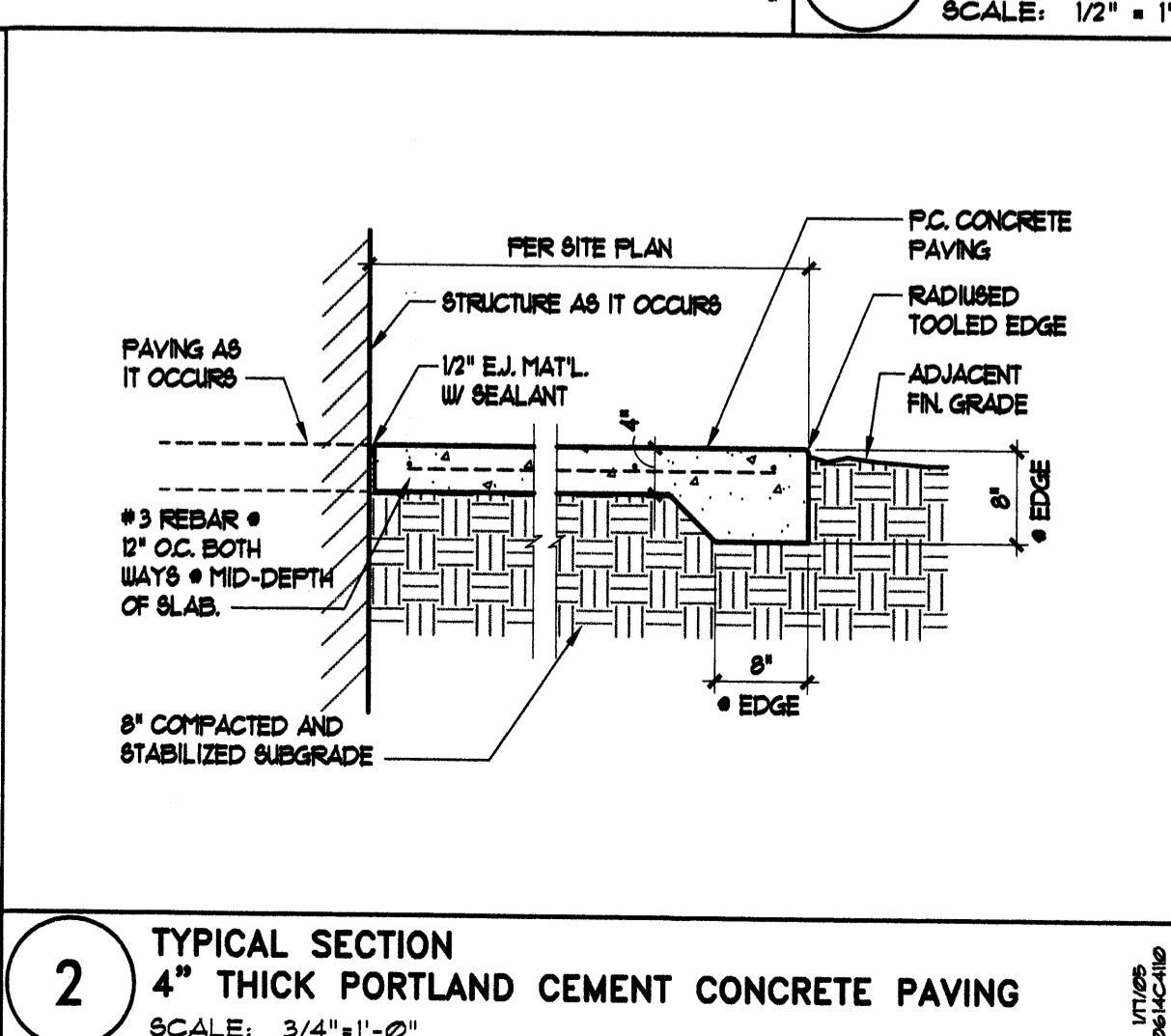
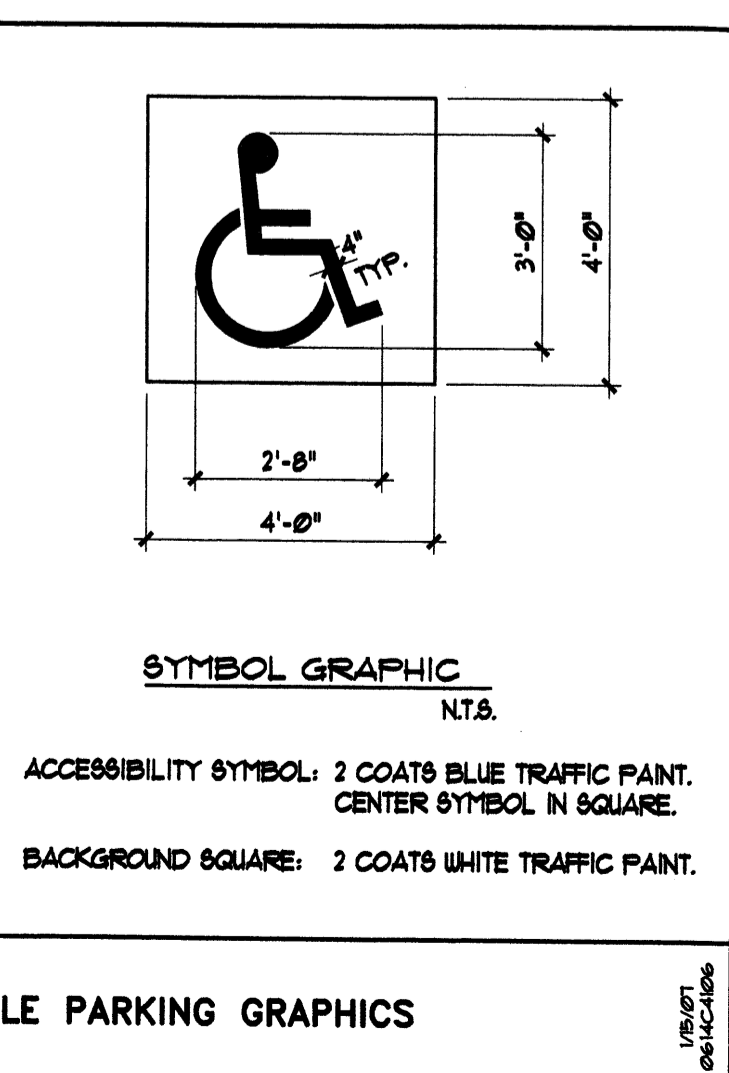
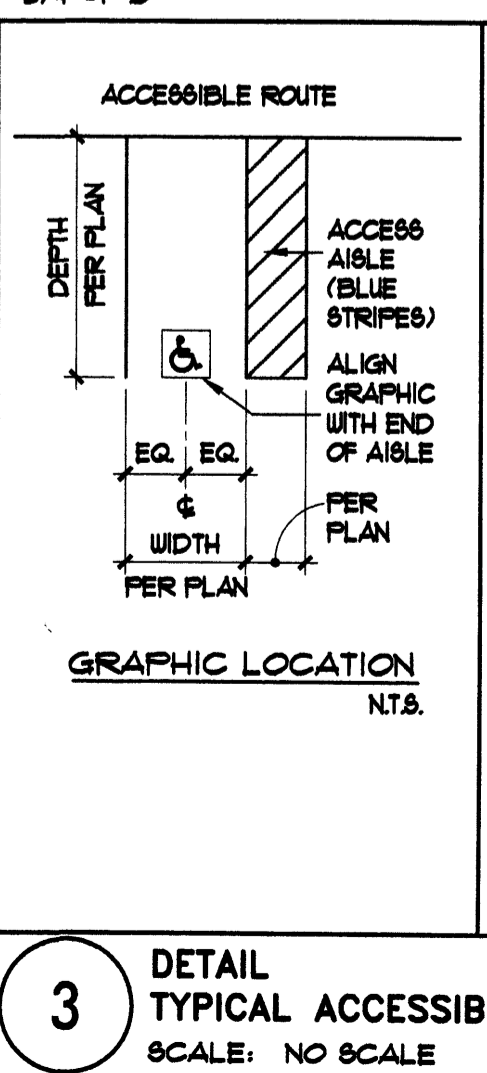
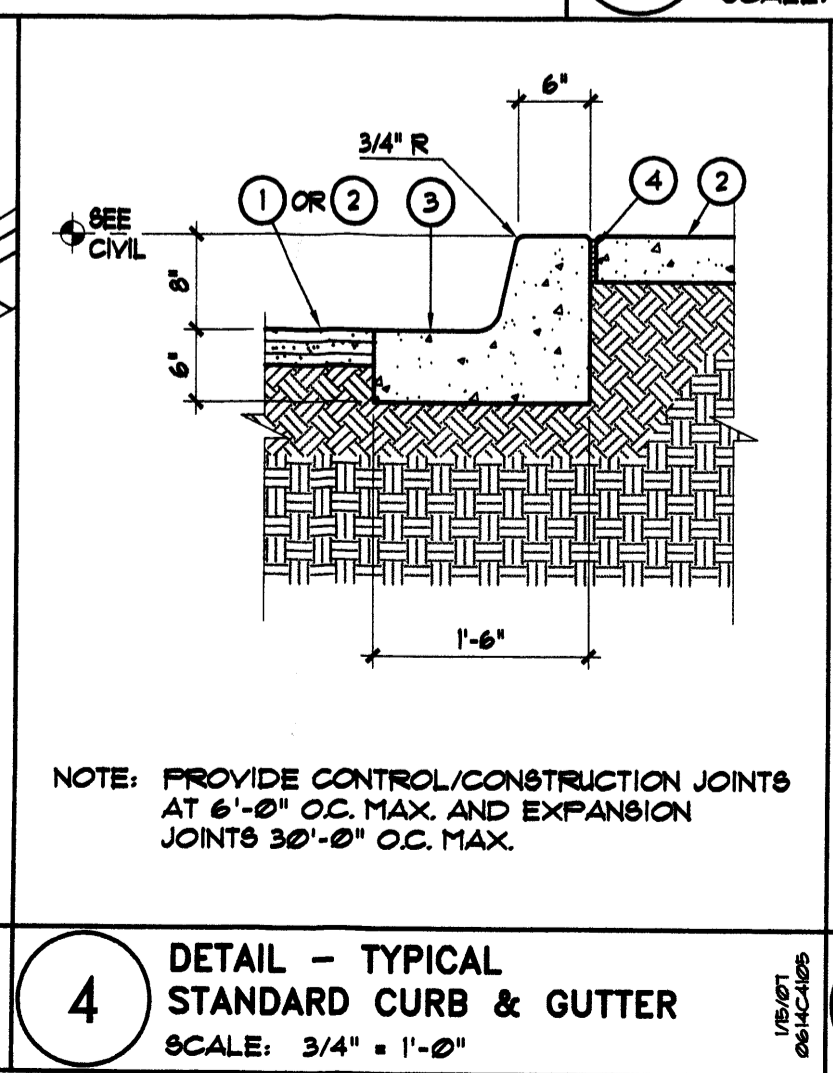
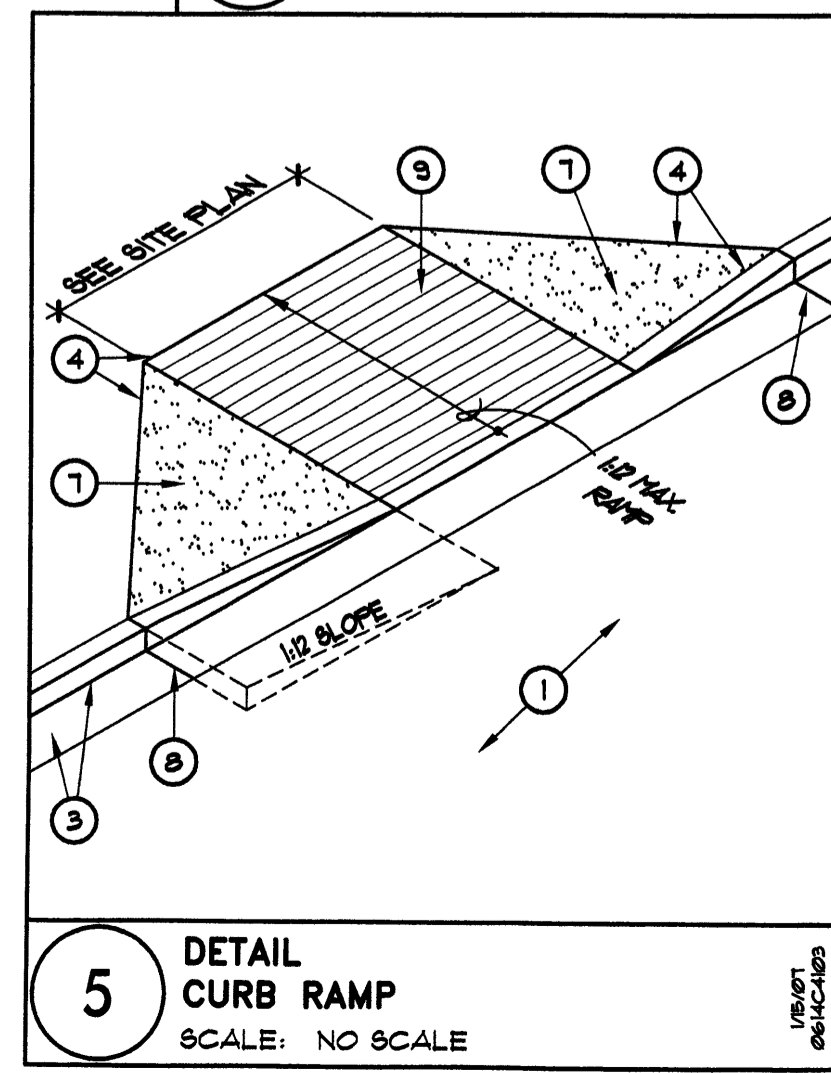




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- KEYED NOTES**
- TYPICAL ASPHALT PAVEMENT SECTION.
  - PORTLAND CEMENT CONC. PAVING. PROVIDE CONTROL AND EXPANSION JOINTS AS SHOWN.
  - CONCRETE CURBS AND GUTTER.
  - 1/2" EXPANSION JOINT MATERIAL, FULL DEPTH OF CONCRETE. CONTINUOUS SEALANT.
  - ENCASE POST IN CONCRETE ALL AROUND.
  - 6" DIA. X 1/4" TK STEEL PIPE W/ STEEL TOP CAP. FILL W/ CONCRETE BEFORE PLACEMENT, PAINT.
  - MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE AT SPLAYED PORTION OF RAMP.
  - EXPANSION JOINT.
  - PROVIDE TOOLED JOINTS 4' O.C. AT RAMP.
  - STEEL SLEEVE SET IN CONCRETE FOUNDATION.
  - 2-3/8" O.D. SCHEDULE 40 STEEL PIPE BENT AS SHOWN AND SET INTO SLEEVES WITH EPOXY GROUT.
  - PIPE ESCUTCHEON, PAINT.
  - ENCASE POST IN CONCRETE ALL AROUND.
  - COMPACTED SUBGRADE.
  - 1" STUCCO SYSTEM APPLIED DIRECTLY TO CMU.
  - 8" CMU.
  - SLOPE STUCCO AT TOP OF WALL.
  - GROUT ALL CELLS SOLID BELOW FINISHED GRADE.
  - PIPE ESCUTCHEON, PAINT.
  - 1-1/2" SQ. STEEL TUBE. MITER CORNERS, GRIND SMOOTH AND PAINT.
  - 15" X 24" CUSTOM PAINTED ACCESSIBLE PARKING AND VAN ACCESSIBLE SIGNS W/ HANDICAP SYMBOL ON 1/8" TK ALUMINUM PLATE, ATTACHED TO 1/2" BAR STOCK SUPPORTS W/ VANDAL PROOF BOLTS.
  - 1/2" THK X 1" DIA STEEL STUD. PAINT.
  - PROVIDE END CAPS, GRIND SMOOTH.
  - 3/4" CEMENT BONDED FIBERBOND. FASTEN TO CONCEALED STRUCTURE. COUNTER SINK FASTENERS AND PATCH FLUSH. PAINT.
  - 3/4" SQ. STEEL TUBE VERTICALS 4' O.C. GRIND SMOOTH AND PAINT.
  - 2" SQ. STEEL TUBE GATE FRAME. MITER AND WELD CORNERS, GRIND SMOOTH AND PAINT.
  - STRUCTURE AS IT OCCURS.
  - CMU PATIO WALL. SEE SITE PLAN.
  - CONCRETE.
  - STEEL CHANNEL, PAINT.
  - 1/4" THICK STEEL PLATE, PAINT.
  - STEEL ANGLE, PAINT.
  - 1/8" THICK STEEL PLATE, PAINT.
  - 1" DIA. HOLE.
  - 1' X 2" CONCEALED T.S. STRUCTURE. PRIME AND PAINT GREY.
  - STUD MOUNTED METAL LETTERS.
  - CONCEALED LIGHT FIXTURE. PROVIDE FOUR TOTAL.

**GREGORY T. HICKS & ASSOC., P.C.**  
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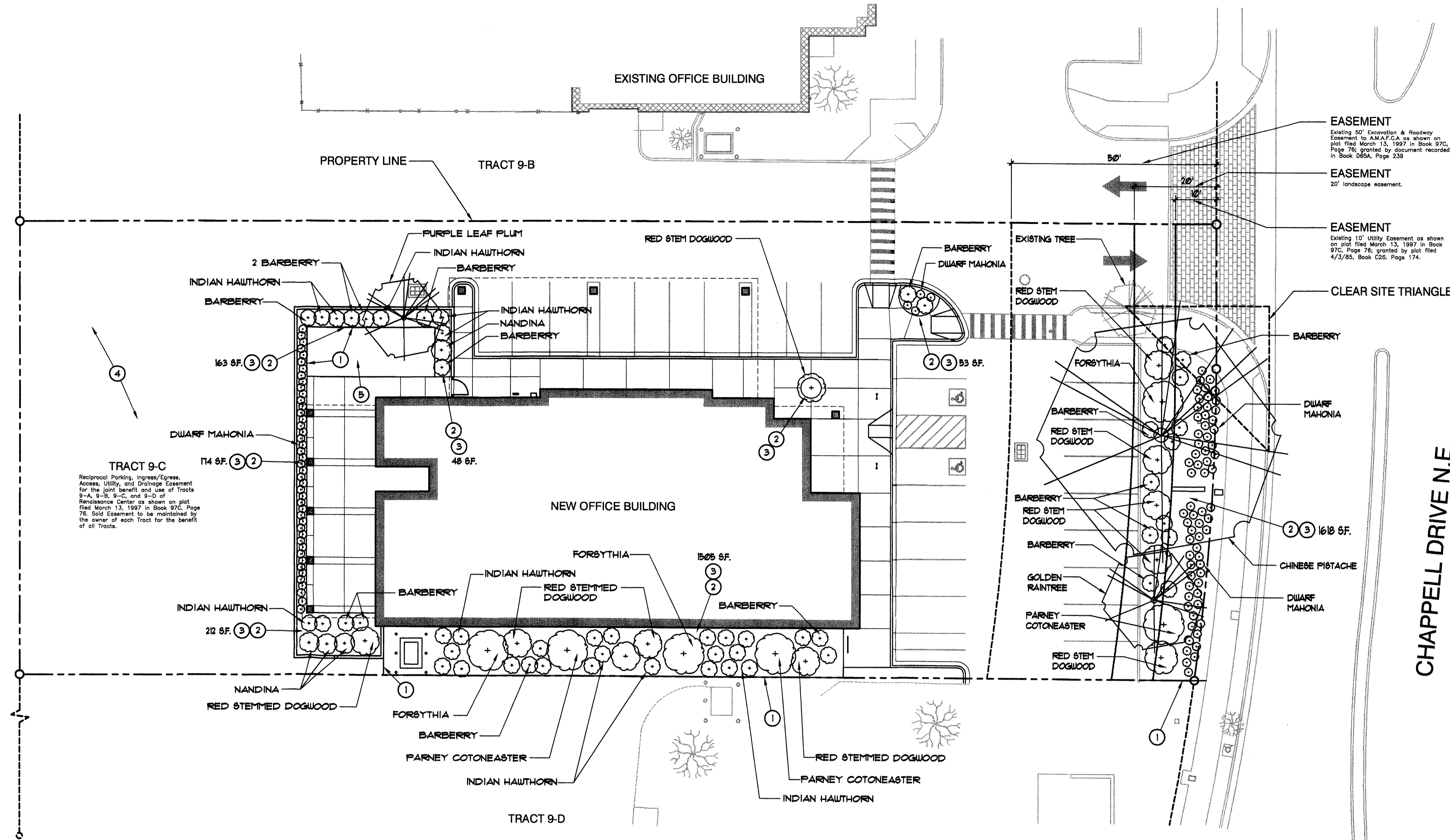
revisions: 2-5-7

Glads Holdings, LLC Office Building  
4911 Chappell Dr. N.E.  
Albuquerque, New Mexico

proj. no.: 0614  
acad file: 0614C41  
date: 1-24-7  
SITE DETAILS

1a

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**LANDSCAPING PLAN**  
SCALE: 1/16" = 1'-0"

**C.O.A. LANDSCAPING REQUIREMENTS**

LAND USAGE:	
LOT AREA (0.1429 AC)	32214 SF
BUILDING (INCLUDING PATIO/CARPORT ROOFS)	9,994 SF
NET LOT AREA:	22,220 SF
IRRIGATED LANDSCAPING REQUIRED (15% N.L.A.)	3,422 SF
IRRIGATED LANDSCAPING PROVIDED (16% N.L.A.)	3,551 SF

**OFF-STREET PARKING AREA LANDSCAPING:**  
PROVIDE 1 TREE FOR EACH 10 PARKING SPACES  
REQUIRED = 28 PARKING SPACES / 10 = 3 TREES  
PROVIDED = 3 TREES  
EACH PARKING SPACE SHALL BE WITHIN 100 FEET OF A TREE

**STREET TREES:**  
PROVIDE STREET TREES SPACED APPROX. 30 FEET APART

**LANDSCAPING NOTES**

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATION, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

3" MINIMUM DEEP 5#B GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.

**IRRIGATION NOTES**

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1/2 GPM DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1/2 GPM DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**KEYED NOTES**

- 4" x 1/8" COMMERCIAL GRADE METAL LANDSCAPE BORDER.
- PROVIDE IRRIGATION SYSTEM IN THIS LANDSCAPED AREA.
- COVER THIS AREA WITH 1/8" x 3" DEEP SANTA FE BROWN GRAVEL OVER FILTER FABRIC.
- PROVIDE NATIVE GRASS SEED. IRRIGATE UNTIL ESTABLISHED.
- ARTIFICIAL TURF BY OWNER.

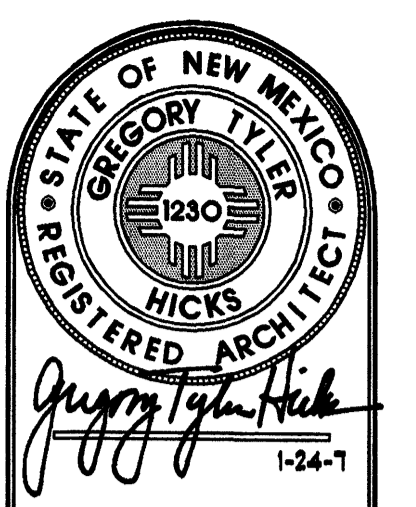
**PLANT LIST**

ALL PLANTS ARE SELECTED FROM PAGE 39 OF THE RENAISSANCE MASTER DECLARATION.

COMMON/BOTANICAL NAME	WATER	W X H	SIZE	ALLERG.
<b>SHADE TREES:</b>				
CHINESE PISTACHE <i>pitcaethia chinensis</i>	M	60'x60'	4" CAL.	LOW
<b>ORNAMENTAL TREES:</b>				
GOLDEN RAIN TREE <i>koeleruteria paniculata</i>	M	25'x25'	8' HIGH	LOW
PURPLE LEAF PLUM <i>prunus cerasifera 'atropurpurea'</i>	H	20'x20'	8' HIGH	LOW
<b>DECIDUOUS SHRUBS:</b>				
FORSYTHIA <i>forsetia</i>	M	10'x10'	5 GAL.	LOW
REDLEAF BARBERRY <i>barberis thunbergii atropurpurea</i>	M	4'x4'	5 GAL.	MOD.
RED STEMMED DOGWOOD <i>cornus stolonifera</i>	H	7'x7'	5 GAL.	LOW
<b>EVERGREEN SHRUBS:</b>				
INDIAN HAWTHORN <i>raphitolepis indica</i>	M	4'x3'	5 GAL.	LOW
DWARF MAHONIA <i>mahonia repens</i>	M	2'x1'	5 GAL.	LOW
NANDINA <i>nandina domestica</i>	M	5'x3'	5 GAL.	LOW
PARNEY COTONEASTER <i>cotoneaster lacteus</i>	M	12'x8'	5 GAL.	LOW

**LEGEND**

- NEW TREE AS LABELED.
- NEW SHRUB AS LABELED.
- EXISTING TREE OR SHRUB TO REMAIN



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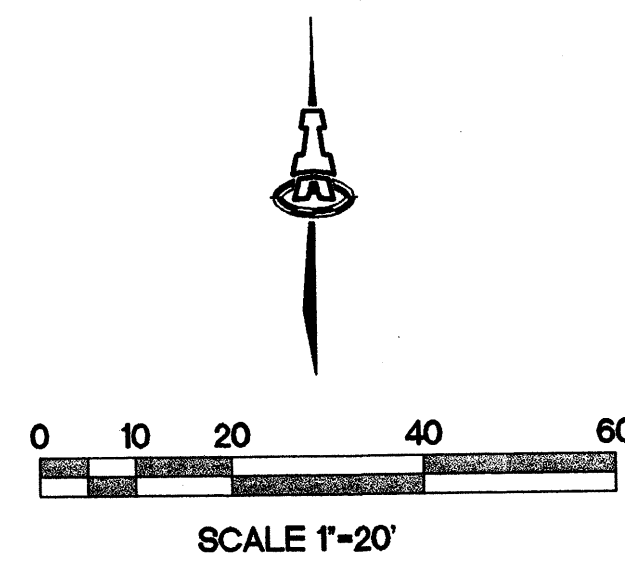
revisions: 2-5-7

**Glads Holdings, LLC Office Building**  
4911 Chappell Dr. N.E.  
Albuquerque, New Mexico

proj. no.: 0614  
ocad file:  
date: 1-24-7

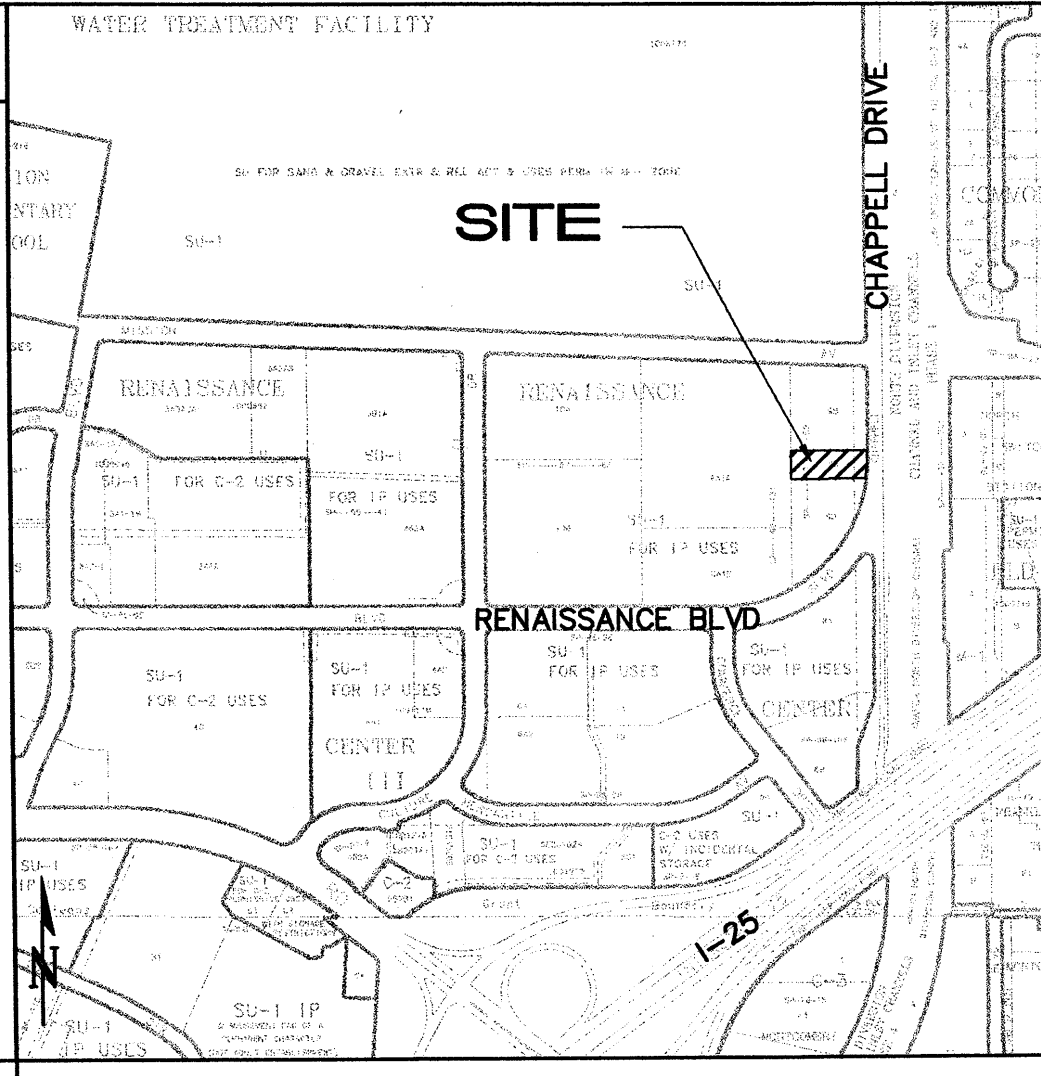
LANDSCAPING PLAN

AREA DRAIN TABLE		
Circle	GRATE ELEV.	INVERT ELEV.
1	99.69	97.23
2	99.68	90.18



### LEGEND

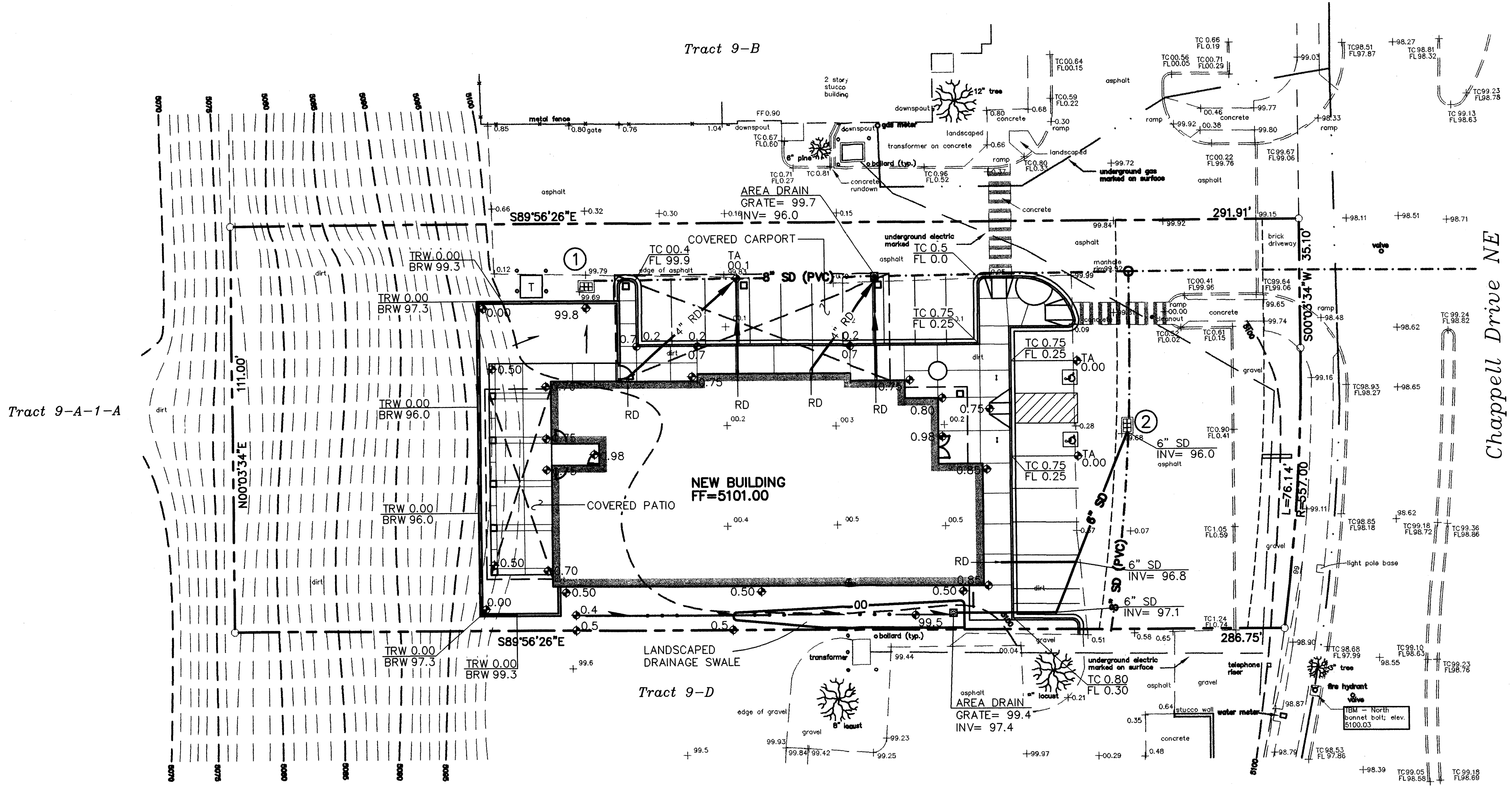
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF=5101.00 FINISH FLOOR ELEVATION
- TC 81.9  
FL 81.4 TOP OF CURB ELEVATION
- ② AREA DRAIN
- INV=72.5 INVERT ELEVATION
- - - EXISTING GAS LINE
- - - EXISTING UNDERGROUND ELECTRIC
- RD ROOF DRAIN
- ▬ RETAINING WALL



MAP # F-16-Z VICINITY MAP 1"=750'±

### GENERAL NOTES

LEGAL: Tract Nine-C (9-C) of RENAISSANCE CENTER  
 SURVEYOR: Forstbauer Surveying, L.L.C.  
 AREA: 0.7408 ACRES  
 BENCHMARK: AMAFCA brass tablet stamped, "NDC1A2", set on a concrete post projection 0.3 feet above ground (City of Albuquerque Control Station NDC 13-1A2). The station is located 0.7 miles south of the Osuna bridge over the AMAFCA North Diversion Channel. Elevation: 5,100.3 (NGVD29).  
 TEMPORARY BENCHMARK: North bonnet bolt on fire hydrant at southeast corner of site. Elevation: 5100.03.  
 OFFSITE FLOWS: No offsite flows enter this site.  
 EXISTING CONDITIONS: The site is undeveloped but has 7,000 sf of asphalt paving along the east and north sides of the site. Two existing storm inlets capture developed runoff and convey it east to the North Diversion Channel. The undeveloped portion of the site slopes steeply to the west.  
 Zone: 2 Land Treatment: 50% A, 27% C, & 23% D  
 $Q = (.7408)(2.71 \text{ cfs/ac}) = 2.0 \text{ cfs}$   
 PROPOSED CONDITIONS: A 6,400 sf. office building is proposed with associated paved parking and landscaping. Developed runoff is routed to the existing onsite storm drain system.  
 LAND TREATMENT: 9% B, 27% C, & 64% D  
 $Q = (.7408)(4.06 \text{ cfs/ac}) = 3.0 \text{ cfs}$   
 Undeveloped flow, from the existing 3:1 slope along the west side of the lot, will remain unchanged and continue to discharge west at  
 $Q = (.20\text{ac})(3.14 \text{ cfs/ac}) = 0.63\text{cfs}$   
 Developed flow will enter the storm drain system and flow to the North Diversion Channel at  $Q = 2.37 \text{ cfs}$ .



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**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph: 505-268-8828 Fax: 505-268-2632  
 1590GRD.dwg Jan 23, 2007

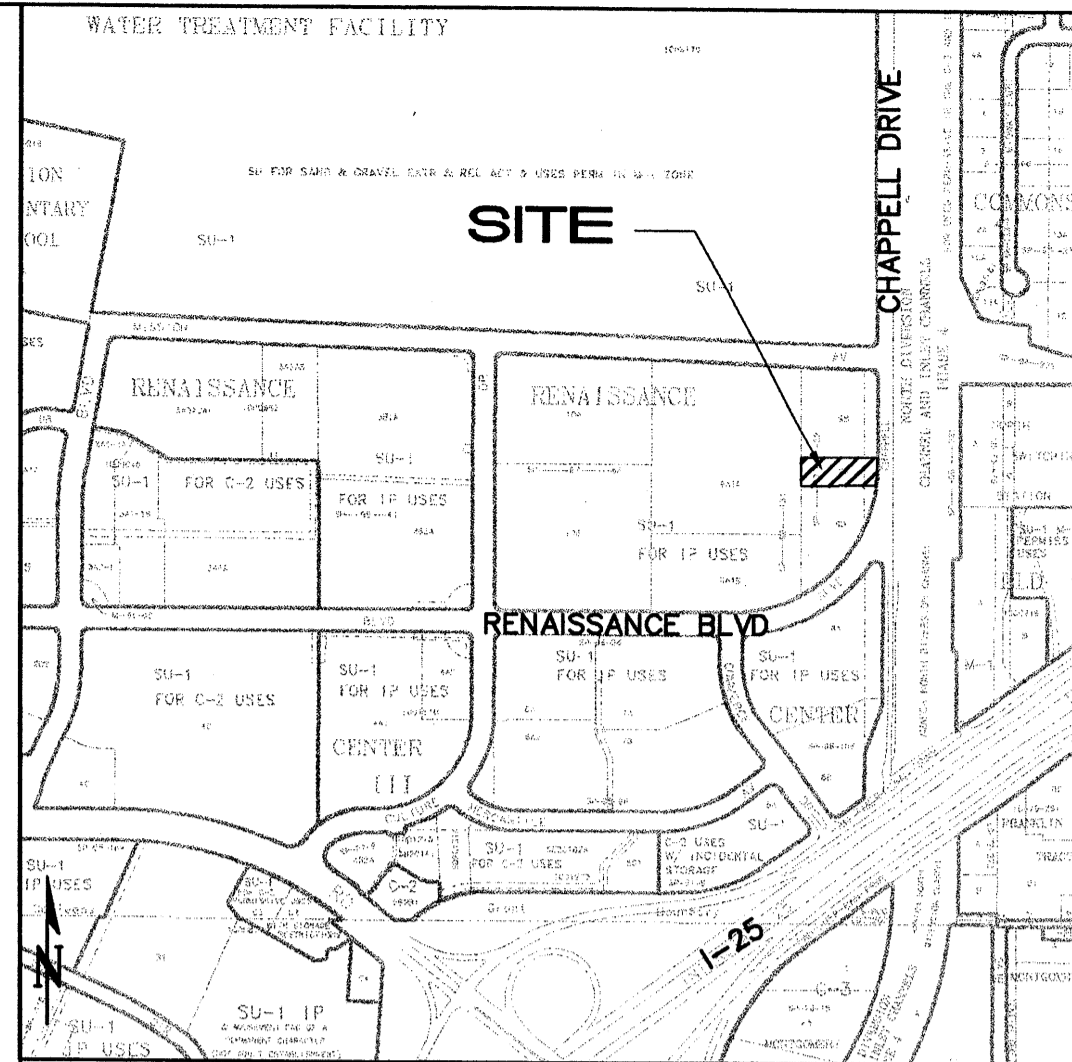
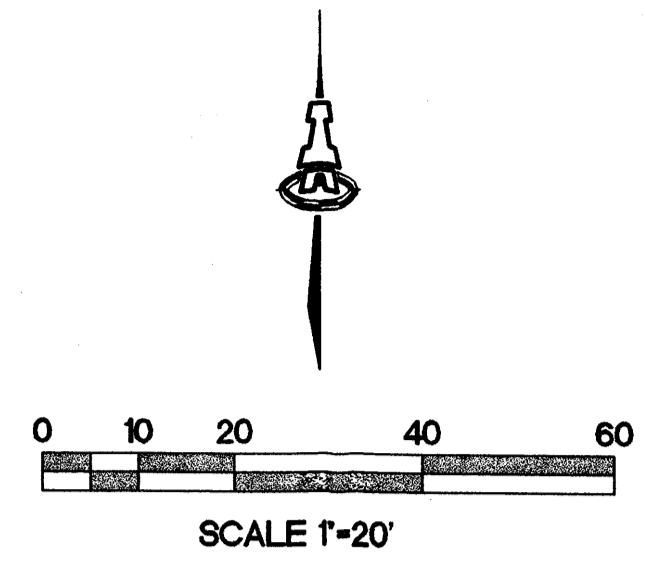
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**GLADS HOLDINGS**  
**4911 CHAPPELL DRIVE NE**

PRELIMINARY GRADING PLAN			
Date:	No. Revisions	Date	Job No.
01/24/07			1590
Drawn By:	thor		
Ckd By:	SMM		
			<b>SH. 3</b>



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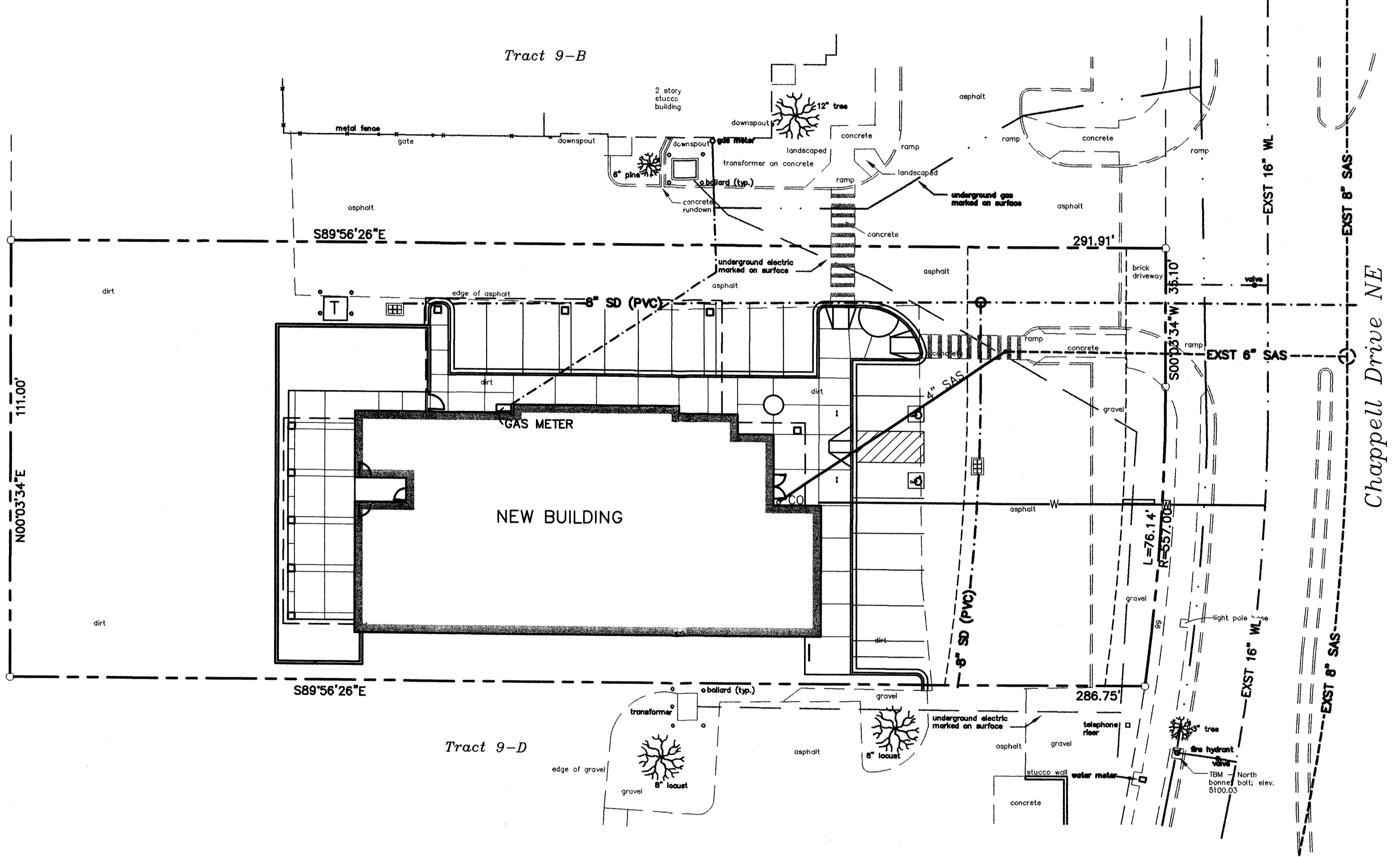


MAP # F-16-Z VICINITY MAP 1"=750'±

**LEGEND**

- EXISTING UNDERGROUND ELECTRIC
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER SERVICE/ METER
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- SAS MANHOLE
- WATER LINE W/ FITTING
- NEW GAS SERVICE
- PROPOSED ELECTRIC TRANSFORMER

**GENERAL NOTES**



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 Albuquerque, New Mexico 87108  
 Ph: 505-268-8828 Fax: 505-268-2632  
 1590UMSTR.dwg Jan 19, 2007

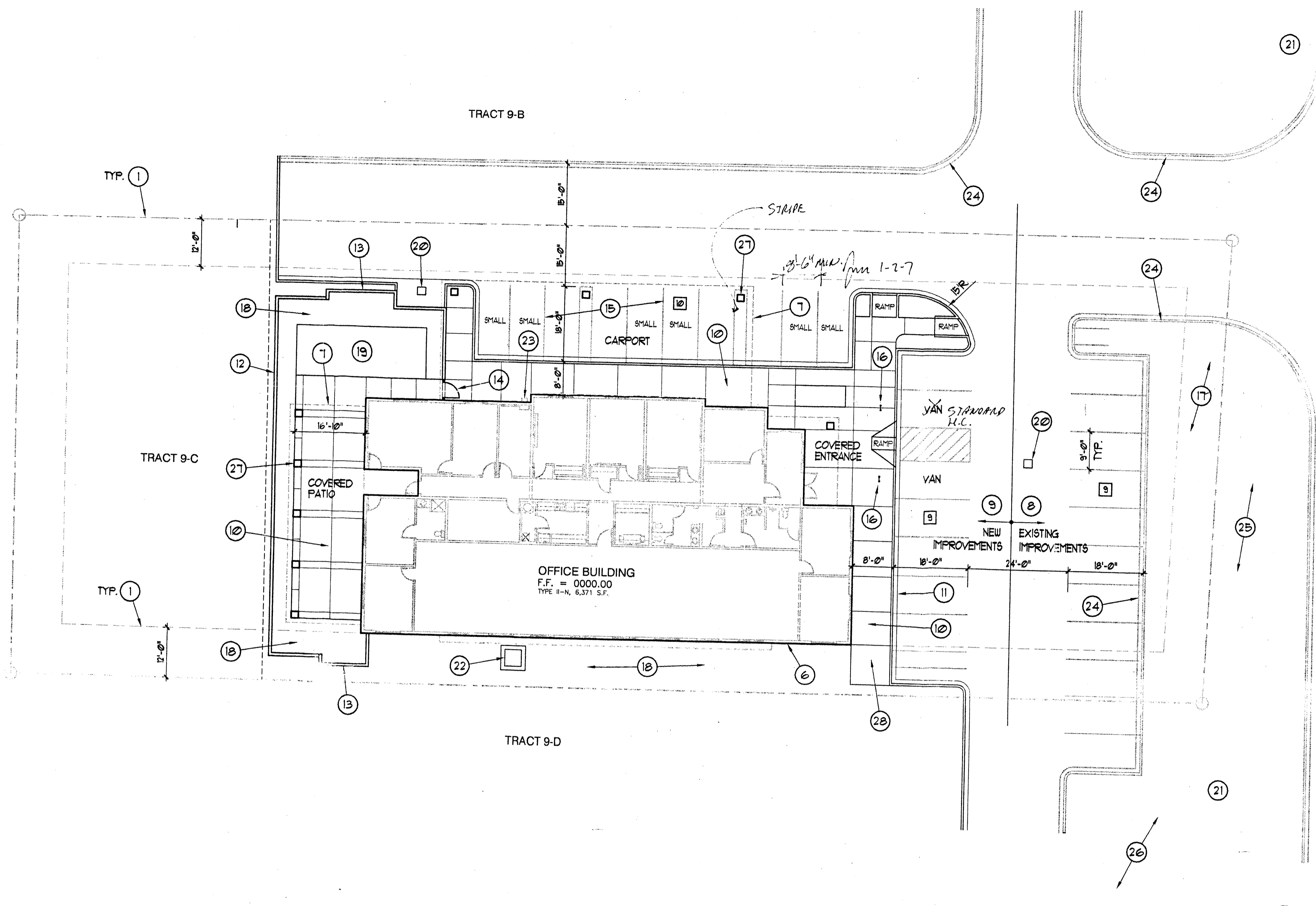
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**GLADS HOLDINGS**  
**4911 CHAPPELL DRIVE NE**

**CONCEPTUAL UTILITY PLAN**

Date:	No.	Revisions	Date	Job No.
				1590
Drawn By:				
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**CONCEPTUAL SITE PLAN**  
 SCALE: 1/16" = 1'-0"  
 0 2 4 8 16 32'

- SUBMIT TO THE OUTSIDE  
 OF CO. ROW.  
 PER 1-2-7

**CHAPPELL DRIVE N.E.**

**CODE DATA**

ADDRESS:	4911 CHAPPELL DR. NE. ALBUQUERQUE, NEW MEXICO.
UPC NUMBER:	101606146630410230
ZONE ATLAS MAP:	F-16-Z
LEGAL DESCRIPTION:	TRACT 9-C, RENAISSANCE CENTER
PRIOR CASE NUMBERS:	DRB 96-495
ZONING DISTRICT:	8U-1 IP (INDUSTRIAL PARK)
USE:	OFFICE BUILDING
HEIGHT:	ALLOWABLE: 26' ANY LEGAL LOCATION 45' FROM NORTHERN PROPERTY LINE. 60' FROM E, W, S. PROPERTY LINES. ACTUAL: 1-STORY, 19 FEET

**LAND USAGE**

BUILDING AREA:	
GROSS BUILDING AREA:	6,371 SF
COVERED ENTRANCE:	192 SF
CARPORT:	2,025 SF
WEST PATIO ROOF:	936 SF
TOTAL COVERED AREA:	9,594 SF
LAND USAGE:	
LOT AREA (0.7428 AC):	32,274 SF
BUILDING (INCLUDING PATIO/CARPORT ROOFS):	9,594 SF
NET LOT AREA:	22,680 SF
IRRIGATED LANDSCAPING REQUIRED (15% N.L.A.):	3,402 SF
IRRIGATED LANDSCAPING PROVIDED:	3,712 SF

**PARKING**

<b>PARKING TALLY:</b>	
REQUIRED:	5,544 SF. (N.L.A.) / 200 = 28 SPACES
PROVIDED:	(INCLD. MOTORCYCLE SPACES) 28 SPACES
<b>SMALL CAR PARKING:</b>	
ALLOWABLE:	28 X 0.25 = 7 SPACES
PROVIDED:	6 SPACES
<b>DISABLED PARKING:</b>	
REQUIRED (ZONING):	26-35 PARKING SPACES: 2 SPACES
REQUIRED (NMBC):	26-35 PARKING SPACES: 2 SPACES (1 VAN)
PROVIDED:	2 SPACES (2 VAN)
<b>MOTORCYCLE PARKING:</b>	
REQUIRED: FOR 26-35 PARKING SPACES:	2 SPACES
<b>BICYCLE PARKING:</b>	
REQUIRED: 1 FOR EACH 20 PARKING SPACES:	2 SPACES

**EXTERIOR LIGHTING**

BUILDING, PARKING AND PEDESTRIAN AREA ILLUMINATION SHALL BE INDIRECT IN CHARACTER. NO LAMP SHALL BE DIRECTLY VISIBLE. SHALL BE OF A WHITE LIGHT SOURCE AND SHALL BE DIRECTED AWAY FROM ADJACENT SINGLE FAMILY AREAS. SITE LIGHTING FOR THE PARKING AREAS OF LOTS SHALL BE DESIGNED IN SUCH A MANNER AS TO PROVIDE A MINIMUM AVERAGE ILLUMINATION LEVEL WITH A UNIFORMITY LEVEL OF 3 TO 1 (AVERAGE TO MINIMUM) WITH A MAINTAINED AVERAGE OF 1 FOOT CANDLE AND A MINIMUM OF 3 FOOT CANDLE.

ALL ON-SITE LIGHTING SHALL BE OWNED AND MAINTAINED BY THE OWNER OF THE BUILDING SITE. BUILDING LIGHTING SHALL BE GROUND MOUNTED ONLY AND SHALL BE RECESSED INTO THE GROUND OR SCREENED FROM STREET VIEW BY LANDSCAPING. POLE MOUNTED SITE LIGHTING UNITS SHALL COMPLY WITH THE FOLLOWING HEIGHT LIMITATIONS:

PARKING LOT LIGHTS:	35' MAX.
PEDESTRIAN PATHWAY LIGHTS:	15' MAX.

**SIGNAGE**

SIGNAGE SHALL COMPLY WITH MASTER DELGARATION FOR NORTH RENAISSANCE.

**KEYED NOTES**

- PROPERTY LINE.
- LINE OF SETBACK.
- NOT USED.
- NOT USED.
- NOT USED.
- LINE OF NEW BUILDING FOOTPRINT.
- LINE OF BUILDING OVERHANG.
- EXISTING ASPHALTIC PAVING.
- ASPHALTIC PAVING.
- 4" THICK NON-REINFORCED PORTLAND CEMENT CONCRETE PAVING OVER COMPACTED SUBGRADE.
- PORTLAND CEMENT CONCRETE STANDUP CURB AND GUTTER.
- 8" THK X 3' HIGH MASONRY WALL STUCCOED.
- 8" THK X 5' HIGH MASONRY WALL STUCCOED.
- STEEL GATE.
- 4" WHITE PAINTED STRIPES. TYPICAL AT NON-H.C. SPACES.
- VAN ACCESSIBLE HANDICAP PARKING SIGN.
- ILLUMINATED SIGNMENT SIGN.
- IRRIGATED LANDSCAPING.
- ARTIFICIAL TURF.
- EXISTING DROP INLET.
- EXISTING FIRE HYDRANT. (TWO TOTAL)
- TRANSFORMER.
- ELECTRICAL METER.
- EXISTING CONCRETE CURB AND GUTTER.
- EXISTING LANDSCAPING.
- EXISTING DOUBLE DUMPSTER ENCLOSURE.
- BUILDING COLUMN.
- BICYCLE PARKING.

**CASE NUMBER:**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [ ] AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLETED WITH:

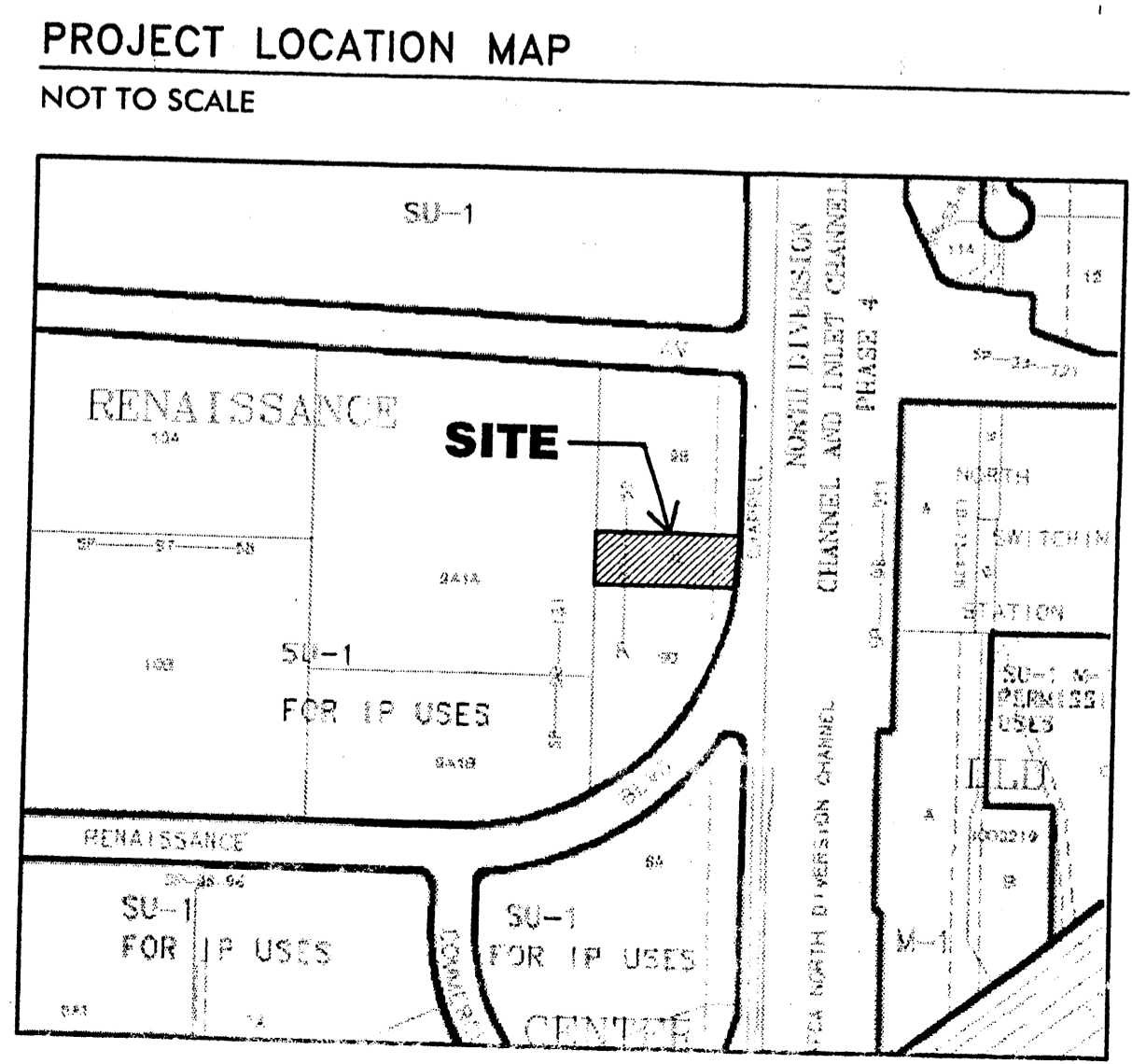
**SITE DEVELOPMENT PLAN**

CHAIR, DEVELOPMENT REVIEW BOARD	DATE
TRANSPORTATION DEV.	DATE
UTILITY DEV.	DATE
PARKS AND G.S.	DATE
CITY ENGINEER	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

CITY PLANNER, ALBUQUERQUE

DATE



**PROJEC T # 1005310 (M)**

**GREGORY T. HICKS & ASSOC., P.C.**  
 ARCHITECTS • PLANNERS  
 The Sunshine Building  
 Albuquerque, New Mexico 87102  
 (505) 243-7492 fax (505) 243-1106  
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DESIGNING TODAY DESIGNING TOMORROW.

SINCE 1930

Glads Holdings, LLC Office Building  
 4911 Chappell Dr. N.E.  
 Albuquerque, New Mexico

proj. no.: 0614  
 occd file:  
 date: 12-12-6  
 SITE PLAN

**C3.1**

**LEGEND AND ABBREVIATIONS**

☐ NUMBER OF PARKING SPACES.

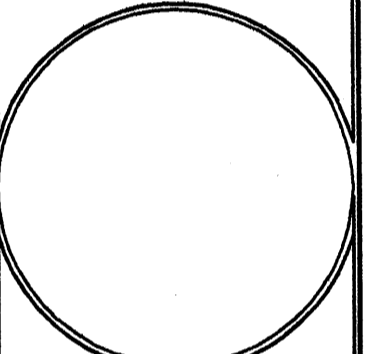
# GLADS HOLDINGS, LLC OFFICE BUILDING

4911 Chappell Dr. N.E.  
Albuquerque, New Mexico

GTH PROJECT NO. 0614



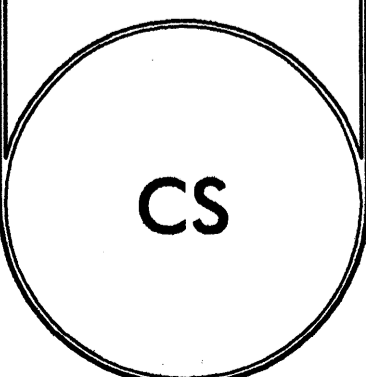
**GREGORY T. Hicks & Assoc., P.C.**  
ARCHITECTS • PLANNERS  
110 Second St., S.W. Suite 204  
Albuquerque, New Mexico 87102  
(505) 243-7492 fax: (505) 243-1106  
e-mail: gthicks@gthicks.com



revisions:

**Glads Holdings, LLC Office Building**  
4911 Chappell Dr. N.E.  
Albuquerque, New Mexico

proj. no.: 0614  
acad file: 0614CS  
date:



## ARCHITECTURAL SYMBOLS & ABBREVIATIONS

	Drawing No. / Sheet No.	WALL OR BUILDING SECTION CUT MARK	H.M.G., HMG	HOLLOW METAL GALVANIZED
	Drawing No. / Sheet No.	ENLARGED PLAN OR DETAIL REFERENCE MARK	H.M.I., HMI	HOLLOW METAL INSULATED
	Drawing No. / Sheet No.	ELEVATION REFERENCE MARK	HORIZ.	HORIZONTAL
			HPDL	HIGH PRESSURE DECORATIVE LAMINATE
			HR.	HOUR
			I.D., ID	INSIDE DIAMETER
			IN., "	INCH, INCHES
			INFO.	INFORMATION
			INSUL.	INSULATION
			I.B.C., IBC	INTERNATIONAL BUILDING CODE
			JT., JNT.	JOINT
			JST.	JOIST
			JST. BRG., J.B.	JOIST BEARING
			L	LONG, LENGTH
			LPDL	LOW PRESSURE DECORATIVE LAMINATE
			MANUF., MFR.	MANUFACTURER
			MAT'L.	MATERIAL
			MAX.	MAXIMUM
			MECH.	MECHANICAL
			M.H., MH	MANHOLE
			MIN.	MINIMUM
			MISC.	MISCELLANEOUS
			M.O.	MASONRY OPENING
			MTL.	METAL
			N.I.C.	NOT IN CONTRACT
			NO., #	NUMBER, POUND
			N.T.S., NTS	NOT TO SCALE
			O.A.E.	OR APPROVED EQUAL
			O.C.	ON CENTER
			OCC.	OCCUPANCY, OCCUPANT(S)
			O.D., OD	OUTSIDE DIAMETER, OVERFLOW DRAIN
			ORD	OVERFLOW ROOF DRAIN
			O.F.E.	OWNER FURNISHED EQUIPMENT
			O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
			O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED
			O.F.V.I.	OWNER FURNISHED, VENDOR INSTALLED
			O.H., OH	OVERHEAD
			OPG., OPN'G.	OPENING
			OPP.	OPPOSITE
			O.S.B., OSB	ORIENTED STRAND BOARD
			P.C.C.	PORTLAND CEMENT CONCRETE
			PED.	PEDESTAL
			PERIM.	PERIMETER
			PL, ♀	PROPERTY LINE
			PLAM.	PLASTIC LAMINATE
			PLYWD.	PLYWOOD
			P.P., PP	POWER POLE
			PR.	PAIR
			P.S.I., PSI	POUNDS PER SQUARE INCH
			Q.T., QT	QUARRY TILE
			R	RADIUS, RISERS
			RCP	REFLECTED CEILING PLAN
			R.D., RD	ROOF DRAIN
			REF.	REFERENCE
			REQ'D.	REQUIRED
			REV.	REVISION, REVISED
			RM.	ROOM
			R.O.	ROUGH OPENING
			R.O.W.	RIGHT-OF-WAY
			S.C.G., SCG	STAINLESS STEEL CORNER GUARD
			SCWD	SOLID CORE WOOD
			S.E.C., SEC	STAINLESS STEEL END CAP
			SHT.	SHEET
			SIM.	SIMILAR
			S.F., SQ. FT., SF	SQUARE FEET
			SMACNA	SHEET METAL & A/C CONTRACTORS NATIONAL ASSOCIATION, INC.
			SO.	SQUARE
			S.S., S/S	STAINLESS STEEL
			STL.	STEEL
			SUSP.	SUSPENDED, SUSPENSION
			S.V., SV	SHEET VINYL
			T, TR.	TREADS
			T&G	TONGUE & GROOVE
			T.O.F., TF	TOP OF FINISH
			TG	TOP OF GRADE
			TK., THK.	THICK
			TC	TOP OF CURB
			T.O.	TOP OF
			T.O.C.	TOP OF CONCRETE
			T.O.P.	TOP OF PARAPET
			T.O.W.	TOP OF WALL
			TP	TOP OF PAVEMENT
			TS	TOP OF SLAB
			TYP.	TYPICAL
			U.B.C., UBC	UNIFORM BUILDING CODE
			U/C	UNDER COUNTER
			U.N.O.	UNLESS NOTED OR INDICATED OTHERWISE
			VCT	VINYL COMPOSITION TILE
			VERT.	VERTICAL
			V.I.F.	VERIFY IN FIELD
			W	WIDE, WIDTH
			W/, W/O	WITH, WITHOUT
			WD.	WOOD
			WM	WATER METER
			W.W.F., WWF	WELDED WIRE FABRIC
			X	BY
			YD.	YARD

## DESIGN DATA

### CODE DATA

ADDRESS: 4911 CHAPPELL DR. N.E. ALBUQUERQUE, NEW MEXICO.  
UPC NUMBER: 101806146630410230  
ZONE ATLAS MAP: F-16-Z  
LEGAL DESCRIPTION: TRACT 9-C, RENAISSANCE CENTER  
ZONING: SU-1 I.P. - INDUSTRIAL PARK (OFFICES)  
LOT AREA: 0.7409 AC  
HEIGHT: 19 FEET

### BUILDING CODE DATA

BUILDING CODE USED: 2003 NMBC (2003 IBC)  
OCCUPANCY GROUPS: GROUP B, OFFICE  
OCCUPANT LOAD:  
OFFICE: 5,280 GROSS S.F. / 100 = 53  
CONFERENCE: 674 NET S.F. / 15 = 45  
EXERCISE: 180 GROSS S.F. / 50 = 4  
TOTAL: 100

CONSTRUCTION TYPE: TYPE II-B, NON-SPRINKLED

HEIGHT: 1 STORY

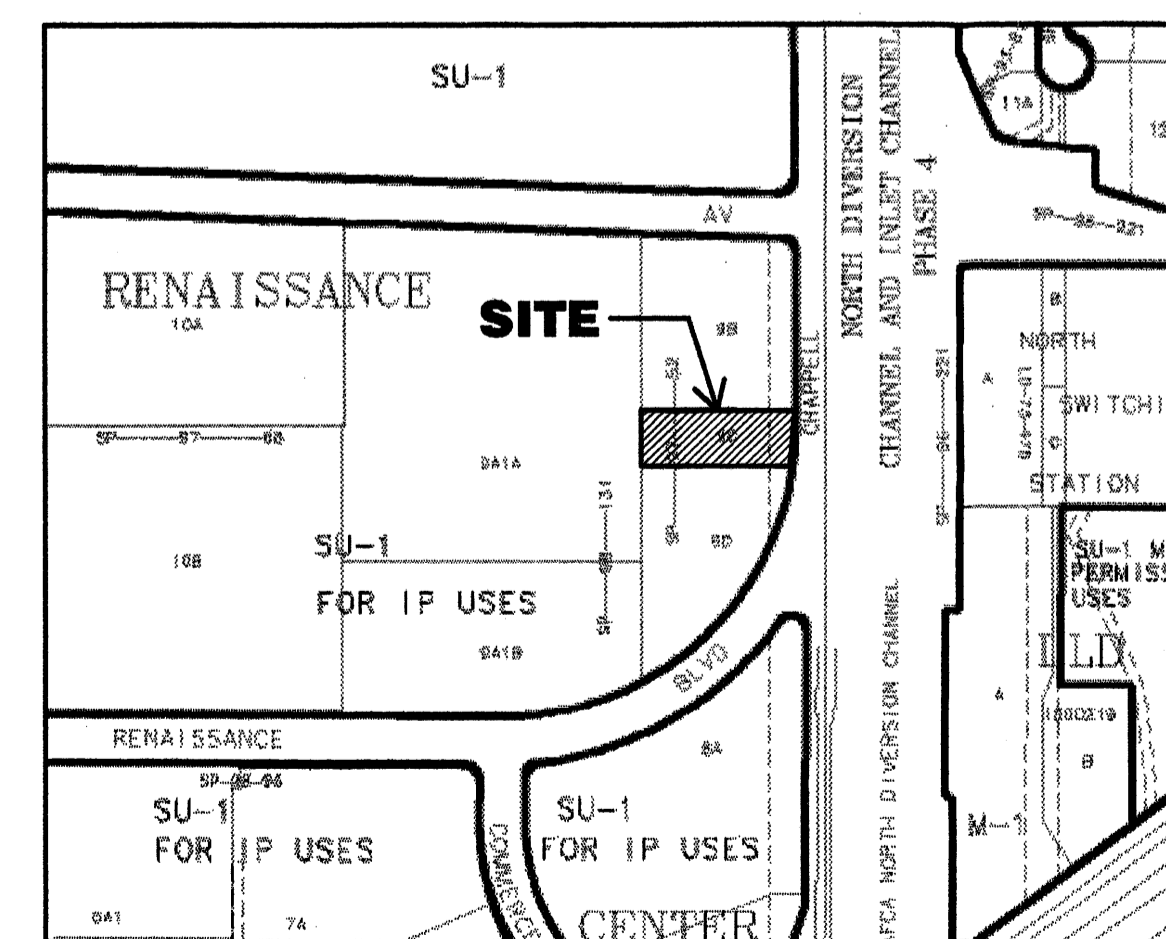
ALLOWABLE AREA: 23,000 S.F.

ACTUAL BUILDING AREA:  
GROSS BUILDING: 6,371 S.F.  
COVERED ENTRANCE: 192 S.F.  
COVERED PATIO: 936 S.F.  
CARPORT: 2,095 S.F.  
TOTAL: 9,594 S.F.

### PLUMBING FIXTURE COUNT

GROUP B (BUSINESS) RATIO REQUIRED REQ. PROV.

OCCUPANTS SERVED:	100 / 2 = 50 MALES / 50 FEMALES		
WATER CLOSET MALE		2	2
1 PER 25 FOR THE FIRST 50			
1 PER 50 FOR REMAINDER EXCEEDING 50			
WATER CLOSET FEMALE		2	2
1 PER 25 FOR THE FIRST 50			
1 PER 50 FOR REMAINDER EXCEEDING 50			
LAVATORY MALE		2	2
1 PER 40 FOR THE FIRST 80			
1 PER 80 FOR REMAINDER EXCEEDING 80			
LAVATORY FEMALE		2	2
1 PER 40 FOR THE FIRST 80			
1 PER 80 FOR REMAINDER EXCEEDING 80			
BATH/SHOWER		0	1
DRINKING FOUNTAINS	1 PER 100	1	1
SERVICE SINK		1	1



### PROJECT LOCATION MAP

NOT TO SCALE

## PROJECT TEAM

OWNER: GLADS HOLDINGS, LLC  
4921 CHAPPELL DRIVE NE  
ALBUQUERQUE, NEW MEXICO 87107  
(505) 217-3156  
CONTACT: MR. STEVE GRIEGO

ARCHITECT: GREGORY T. HICKS & ASSOCIATES, P.C.  
110 SECOND ST. SW - SUITE 204  
ALBUQUERQUE, NEW MEXICO 87102  
(505) 243-7492 FAX: (505) 243-1106  
CONTACT: JIM MACGILLIVRAY  
JAY DAVIS (CELL 239-7878)  
jim@gthicks.com jayd@gthicks.com

CIVIL: ISAACSON & ARFMAN, P.A.  
128 MONROE ST. NE  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 268-8828 FAX: (505) 268-2632  
CONTACT: SCOTT MCGREE  
BRYAN BOBRICK  
scottm@iacivil.com bryanb@iacivil.com

STRUCTURAL: RME ABQ, LLC.  
2835 PAN AMERICAN FWY. NE - SUITE C  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 889-3004 FAX: (505) 889-2797  
CONTACT: DAVE SULLENS  
dsulens@meabq.com

MECHANICAL: JCE INTERNATIONAL, INC.  
512 CHAMA ST. N.E.  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 255-0328 FAX: (505) 255-0329  
CONTACT: NORMAN ESTANISLAO P.E.  
ndeice@aol.com

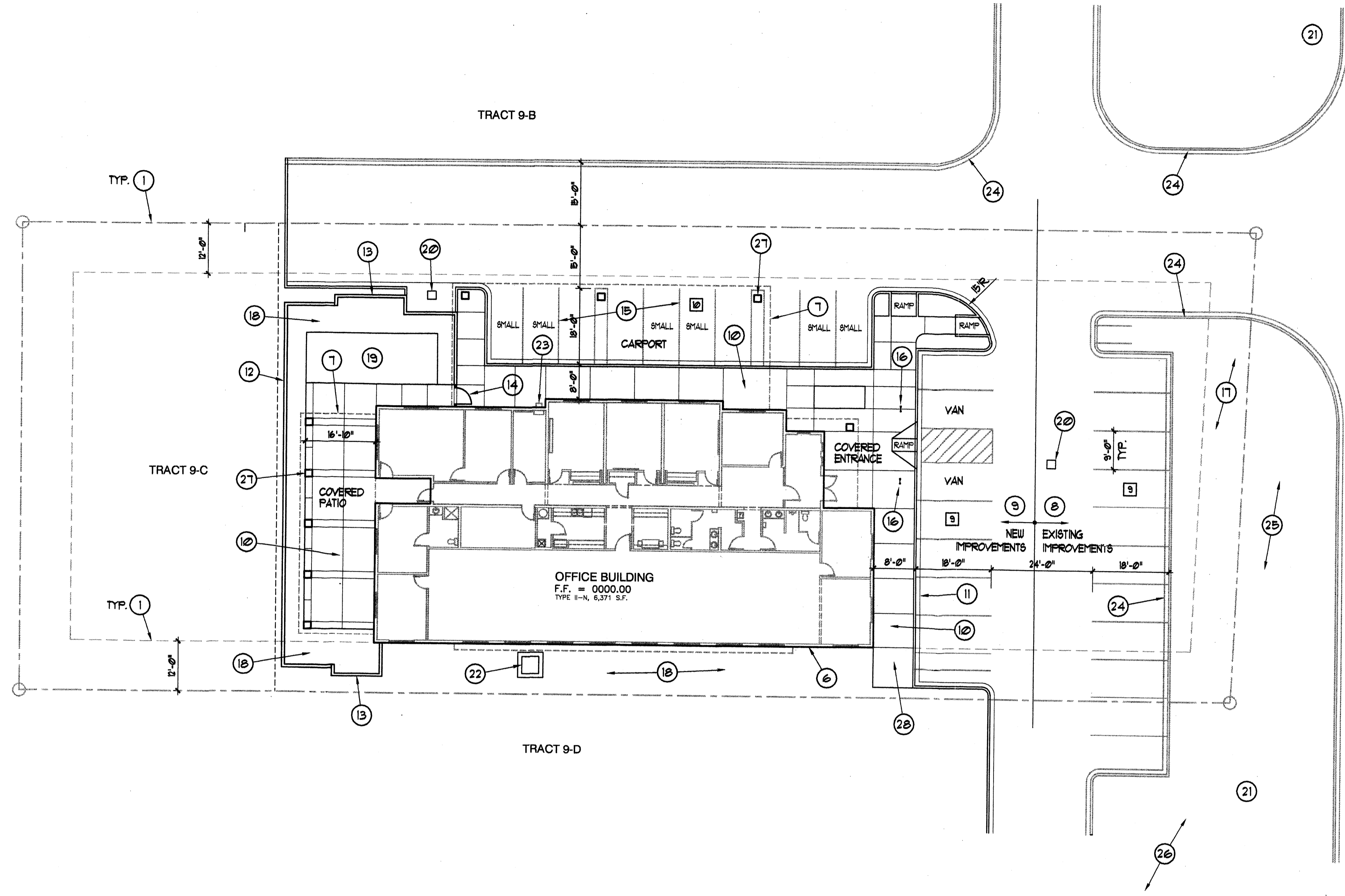
ELECTRICAL: JCE INTERNATIONAL, INC.  
512 CHAMA ST. N.E.  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 255-0328 FAX: (505) 255-0329  
CONTACT: HENRY NIBLOCK  
hndice@aol.com

## INDEX OF DRAWINGS

Bid Set No. DRB 1  
JIM'S COPY.



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**CONCEPTUAL SITE PLAN**  
SCALE: 1/16" = 1'-0"  
0 2 8 16 32'

CHAPPELL DRIVE N.E.

**CODE DATA**

ADDRESS:	4911 CHAPPELL DR. N.E. ALBUQUERQUE, NEW MEXICO.
UPC NUMBER:	101606146630410230
ZONE ATLAS MAP:	F-16-Z
LEGAL DESCRIPTION:	TRACT 9-C, RENAISSANCE CENTER
PRIOR CASE NUMBERS:	DRB 96-495
ZONING DISTRICT:	SU-1 IP (INDUSTRIAL PARK)
USE:	OFFICE BUILDING
HEIGHT:	ALLOWABLE: 26' ANY LEGAL LOCATION 45' FROM NORTHERN PROPERTY LINE. 60' FROM E, W, S, PROPERTY LINES. ACTUAL: 1-STORY, 19 FEET

**LAND USAGE**

BUILDING AREA:	
GROSS BUILDING AREA:	6,371 SF
COVERED ENTRANCE:	192 SF
CARPORT:	2,095 SF
WEST PATIO ROOF:	936 SF
TOTAL COVERED AREA:	9,594 SF

**LAND USAGE**

LOT AREA (0.1429 AC):	32,274 SF
BUILDING (INCLUDING PATIO/CARPORT ROOFS):	9,594 SF
NET LOT AREA:	22,680 SF
IRRIGATED LANDSCAPING REQUIRED (15% N.L.A.):	3,402 SF
IRRIGATED LANDSCAPING PROVIDED:	3,712 SF

**PARKING**

<b>PARKING TALLY:</b>	
REQUIRED:	5,544 SF. (N.L.A.) / 200 = 28 SPACES
PROVIDED:	(INCLD. MOTORCYCLE SPACES) 28 SPACES

<b>SMALL CAR PARKING:</b>	
ALLOWABLE:	28 X 225 = 7 SPACES
PROVIDED:	6 SPACES

<b>DISABLED PARKING:</b>	
REQUIRED (ZONING):	26-35 PARKING SPACES: 2 SPACES
REQUIRED (NMBC):	26-35 PARKING SPACES: 2 SPACES (1 VAN)
PROVIDED:	2 SPACES (2 VAN)

<b>MOTORCYCLE PARKING:</b>	
REQUIRED: FOR 26-50 PARKING SPACES:	2 SPACES

<b>BICYCLE PARKING:</b>	
REQUIRED: 1 FOR EACH 20 PARKING SPACES:	2 SPACES

**EXTERIOR LIGHTING**

BUILDING, PARKING AND PEDESTRIAN AREA ILLUMINATION SHALL BE INDIRECT IN CHARACTER (NO LAMP SHALL BE DIRECTLY VISIBLE). SHALL BE OF A WHITE LIGHT SOURCE AND SHALL BE DIRECTED AWAY FROM ADJACENT SINGLE FAMILY AREAS. SITE LIGHTING FOR THE PARKING AREAS OF LOTS SHALL BE DESIGNED IN SUCH A MANNER AS TO PROVIDE A MINIMUM AVERAGE ILLUMINATION LEVEL WITH A UNIFORMITY LEVEL OF 3 TO 1 (AVERAGE TO MINIMUM) WITH A MAINTAINED AVERAGE OF 1 FOOT CANDLE AND A MINIMUM OF 3 FOOT CANDLE.

ALL ON-SITE LIGHTING SHALL BE OWNED AND MAINTAINED BY THE OWNER OF THE BUILDING SITE. BUILDING LIGHTING SHALL BE GROUND MOUNTED ONLY AND SHALL BE RECESSED INTO THE GROUND OR SCREENED FROM STREET VIEW BY LANDSCAPING. POLE MOUNTED SITE LIGHTING UNITS SHALL COMPLY WITH THE FOLLOWING HEIGHT LIMITATIONS:

PARKING LOT LIGHTS:	35' MAX.
PEDESTRIAN PATHWAY LIGHTS:	15' MAX.

**SIGNAGE**

SIGNAGE SHALL COMPLY WITH MASTER DECLARATION FOR NORTH RENAISSANCE.

- KEYED NOTES**
1. PROPERTY LINE.
  2. LINE OF SETBACK.
  3. NOT USED.
  4. NOT USED.
  5. NOT USED.
  6. LINE OF NEW BUILDING FOOTPRINT.
  7. LINE OF BUILDING OVERHANG.
  8. EXISTING ASPHALTIC PAVING.
  9. ASPHALTIC PAVING.
  10. 4" THICK NON-REINFORCED PORTLAND CEMENT CONCRETE PAVING OVER COMPACTED SUBGRADE.
  11. PORTLAND CEMENT CONCRETE STANDUP CURB AND GUTTER.
  12. 8" THK X 3' HIGH MASONRY WALL STUCCOED.
  13. 8" THK X 5' HIGH MASONRY WALL STUCCOED.
  14. STEEL GATE.
  15. 4" WHITE PAINTED STRIPES, TYPICAL AT NON-H.C. SPACES.
  16. VAN ACCESSIBLE HANDICAP PARKING SIGN.
  17. ILLUMINATED MONUMENT SIGN.
  18. IRRIGATED LANDSCAPING.
  19. ARTIFICIAL TURF.
  20. EXISTING DROP INLET.
  21. EXISTING FIRE HYDRANT. (TWO TOTAL)
  22. TRANSFORMER
  23. ELECTRICAL METER.
  24. EXISTING CONCRETE CURB AND GUTTER.
  25. EXISTING LANDSCAPING.
  26. EXISTING DOUBLE DUMPSTER ENCLOSURE.
  27. BUILDING COLUMN.
  28. BICYCLE PARKING.

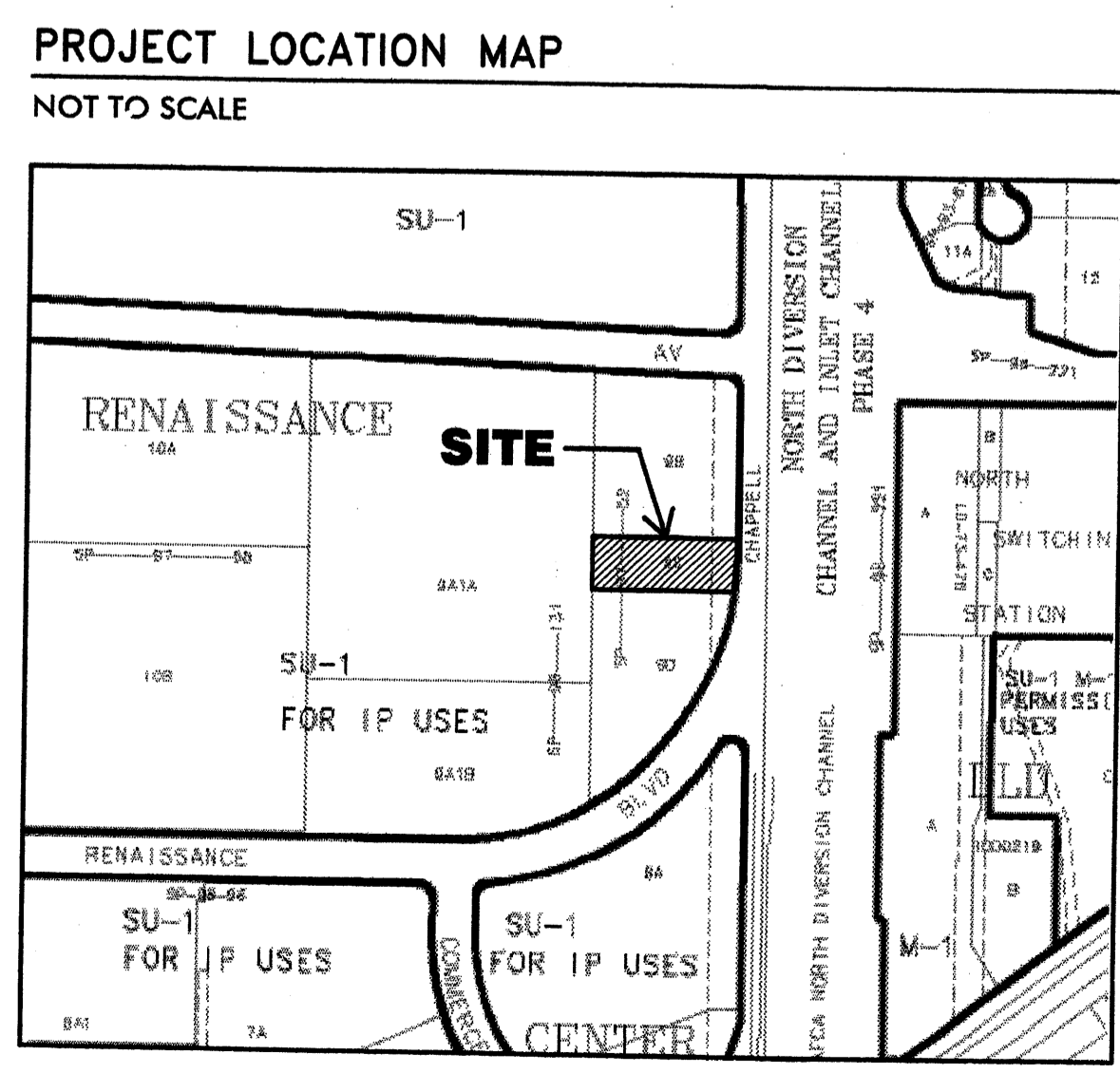
**CASE NUMBER:**  
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLETED WITH:

**SITE DEVELOPMENT PLAN**

CHAIR, DEVELOPMENT REVIEW BOARD	DATE
TRANSPORTATION DEV.	DATE
UTILITY DEV.	DATE
PARKS AND G.S.	DATE
CITY ENGINEER	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

CITY PLANNER, ALBUQUERQUE	DATE
---------------------------	------

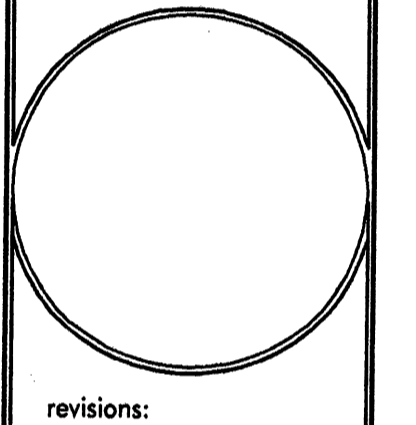


**LEGEND AND ABBREVIATIONS**

☐ NUMBER OF PARKING SPACES.

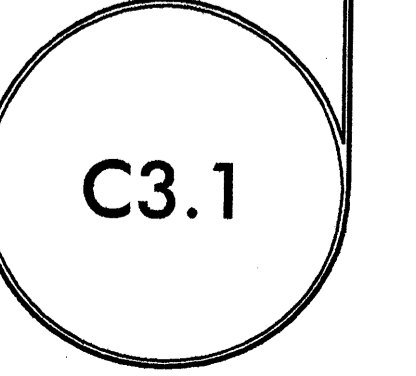


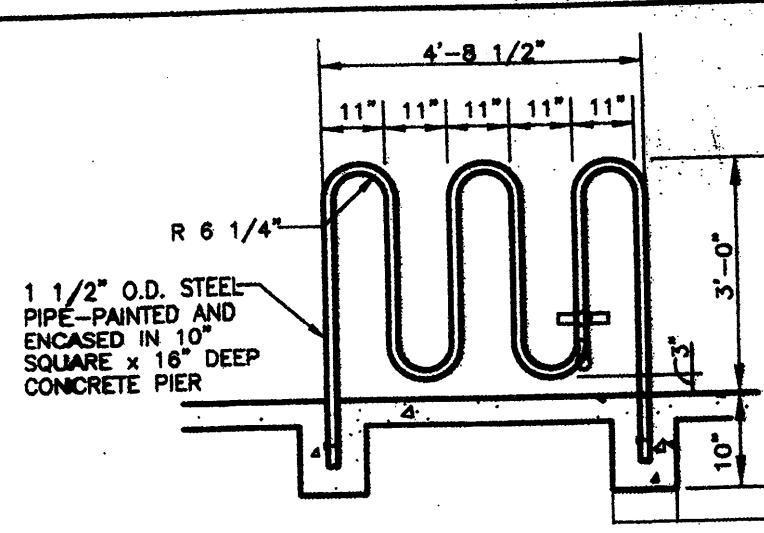
**GREGORY T. Hicks & ASSOC., P.C.**  
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 e-mail gthicks@gtahicks.com  
 • designing today designing tomorrow •



Glads Holdings, LLC Office Building  
 4911 Chappell Dr. N.E.  
 Albuquerque, New Mexico

proj. no.: 0614  
 acad file:  
 date:  
 SITE PLAN





**NOTE:**  
 SITE PLAN ON TRACT 9A IS CONCEPTUAL ONLY. THE SITE PLAN ON TRACT 9B ALSO COVERS THE AREA ON 3A. PLEASE SEE DRB 97-89 FOR CROSS REFERENCE.

**BIKE RACK (MIN. 1 SPACES)**  
 1/2" = 1'-0"

**TRACT 10**  
 15.36 AC.  
 BASIS OF BEARINGS  
 N 89°44'57" W  
 1481.34'  
 ACS MONUMENT "3-F16"  
 NEW MEXICO STATE PLANE  
 COORDINATES-CENTRAL ZONE  
 NAD 1927  
 X=389,439.19  
 Y=1,504,678.27  
 G-G=0.9996734  
 DELTA ALPHA=-0°12'46"  
 EL.=5029.557

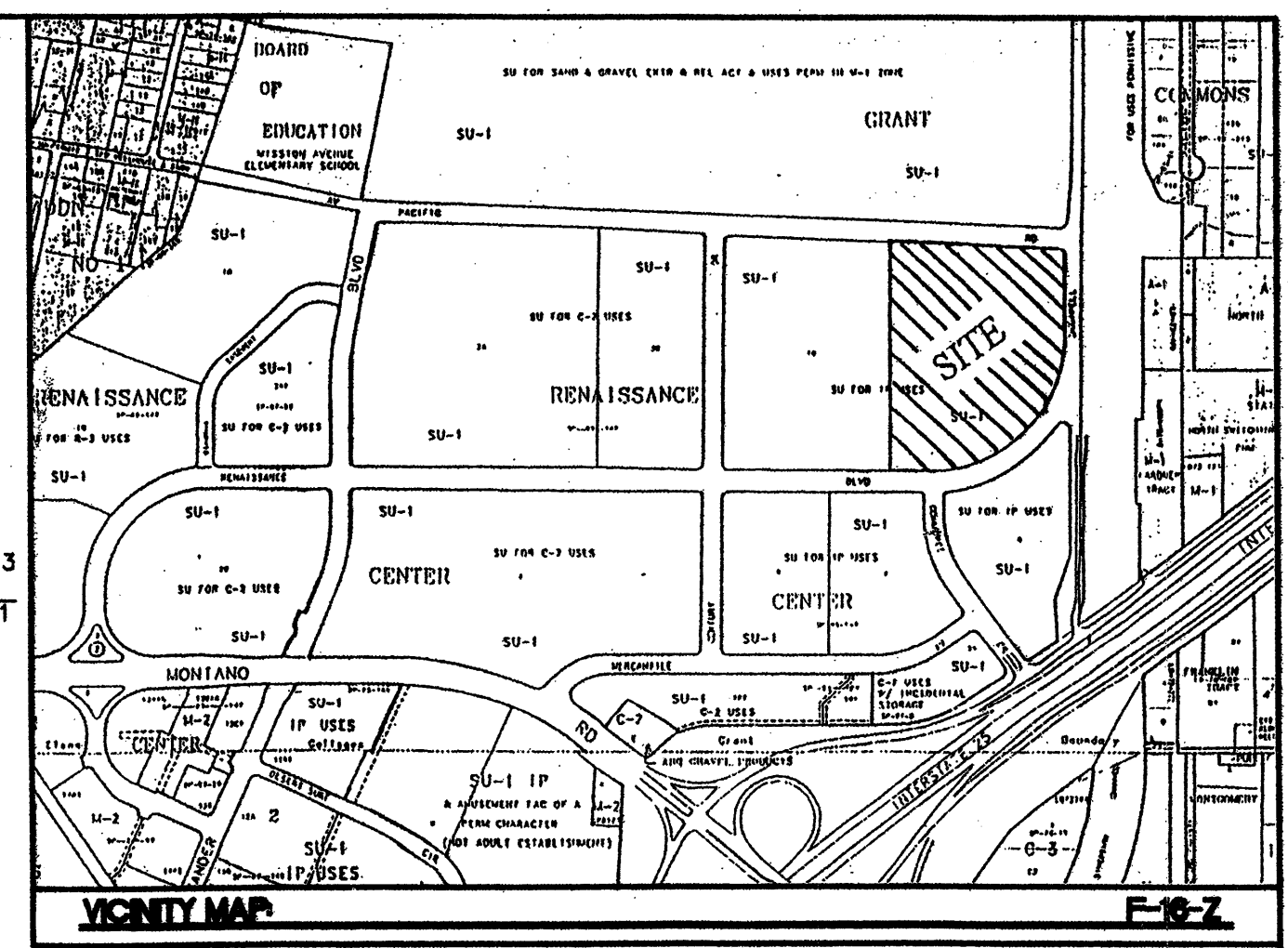
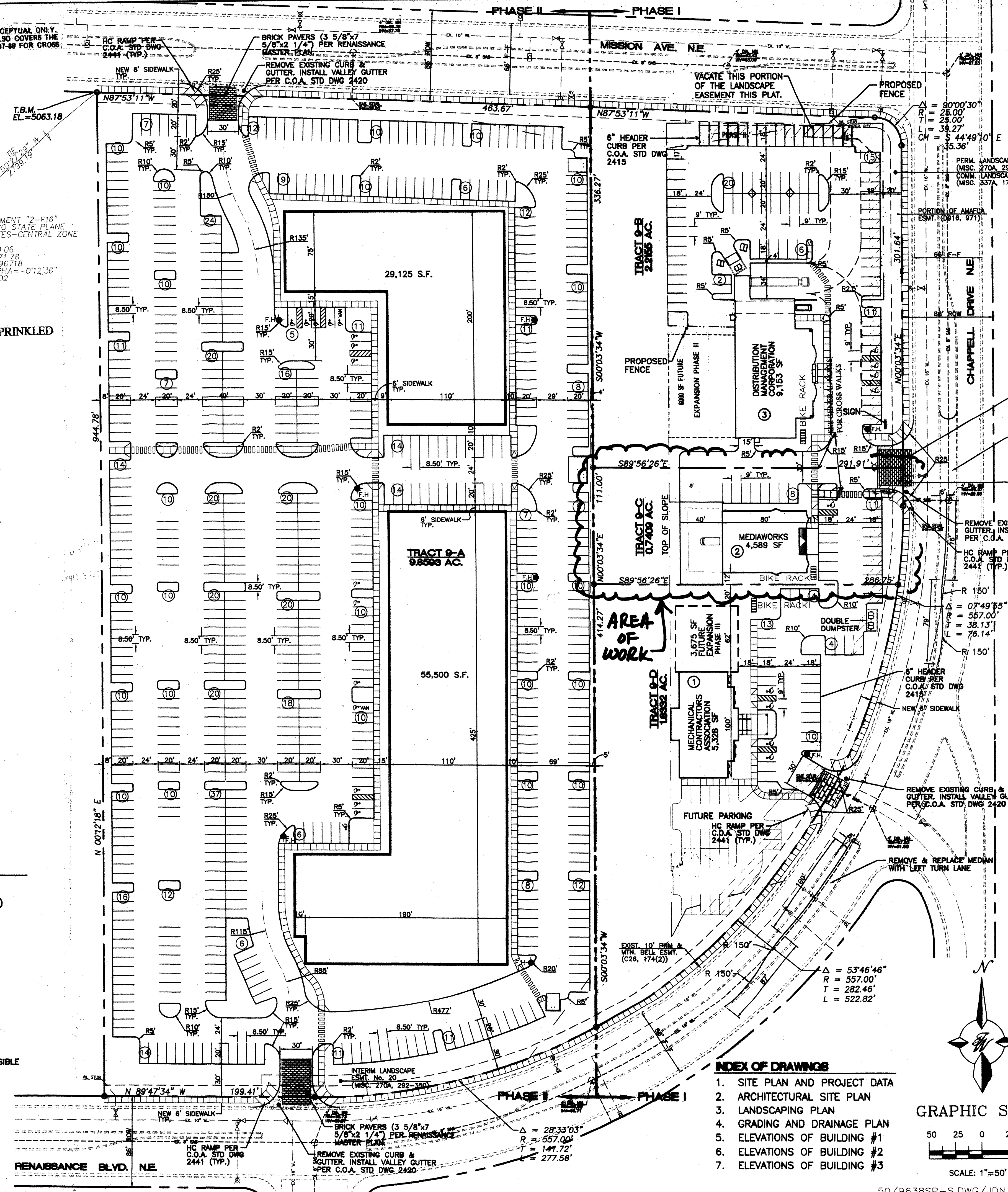
**TRACT 9-A CONCEPTUAL**  
 PROPOSED USAGE: INDUSTRIAL PARK USES  
 LOT AREA: 429,471 SF (9.859 ACRE)  
 BUILDING AREA: 84,625 SF  
 PARKING/DRIVEWAY: 253,333 SF ±  
 LANDSCAPE AREA: 91,513 SF ±  
 LANDSCAPING REQUIRED: 51,727 SF ±  
 PARKING PROVIDED: 718 SPACES (8.50' x 20')  
 PARKING REQUIRED: 423 SPACES (84,625 X 1/200)  
 HC PARKING PROVIDED: 16 SPACES (8.50' x 20')  
 HC PARKING REQUIRED: 2 SPACES VAN ACCESSIBLE (10' x 20')

**TRACT 9-B**  
 PROPOSED USAGE: OFFICE/WAREHOUSE/DELIVERY  
 LOT AREA: 96,507 SF (2.216 ACRE)  
 BUILDING AREA: 9,153 SF  
 PARKING/DRIVEWAY: 46,903 SF ±  
 LANDSCAPE AREA: 40,804 SF ±  
 LANDSCAPING REQUIRED: 13,156 SF ±  
 PARKING PROVIDED: 82 SPACES (9' x 18')  
 PARKING REQUIRED: 46 SPACES (9,153 X 1/200)  
 HC PARKING PROVIDED: 4 SPACES (9' x 18')  
 HC PARKING REQUIRED: 3 SPACES (9' x 18')  
 1 SPACES VAN ACCESSIBLE (9' x 18')

**TRACT 9-C**  
 PROPOSED USAGE: OFFICE/STORAGE BUILDING  
 LOT AREA: 32,274 SF (0.741 ACRE)  
 BUILDING AREA: 4,589 SF  
 PARKING/DRIVEWAY: 14,213 SF ±  
 LANDSCAPE AREA: 13,496 SF ±  
 LANDSCAPING REQUIRED: 4,156 SF ±  
 PARKING PROVIDED: 28 SPACES (9' x 18')  
 PARKING REQUIRED: 23 SPACES (4,589 X 1/200)  
 HC PARKING PROVIDED: 2 SPACES (9' x 18')  
 HC PARKING REQUIRED: 1 SPACES

**TRACT 9-D**  
 PROPOSED USAGE: OFFICE BUILDING  
 LOT AREA: 79,845 SF (1.833 ACRE)  
 BUILDING AREA: 5,328 SF  
 FUTURE EXPANSION: 3,675 SF ±  
 TOTAL BUILDING AREA: 9,003 SF ±  
 PARKING/DRIVEWAY: 32,655 SF ±  
 LANDSCAPE AREA: 47,190 SF ±  
 LANDSCAPING REQUIRED: 10,723 SF ±  
 PARKING PROVIDED: 31 SPACES (9' x 18')  
 PARKING REQUIRED: 27 SPACES  
 HC PARKING PROVIDED: 4 SPACES (9' x 18')  
 HC PARKING REQUIRED: 3 SPACES  
 1 SPACES VAN ACCESSIBLE

**OVERALL PROJECT DATA (TRACT 9)**  
 LANDSCAPE AREA: 193,003 SF ±  
 LANDSCAPING REQUIRED: 79,762 SF ±  
 PARKING PROVIDED: 883 SPACES  
 PARKING REQUIRED: 538 SPACES  
 HC PARKING PROVIDED: 26 SPACES  
 4 SPACES VAN ACCESSIBLE  
 HC PARKING REQUIRED: 20 SPACES  
 4 SPACES VAN ACCESSIBLE



**LEGAL DESCRIPTION**  
 TRACT 9 OF NORTH RENAISSANCE CENTER

**LEGEND**

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	PROPOSED FIRE HYDRANT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PHASE LINE

**GENERAL NOTES:**  
 ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS 9A THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.  
 APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.  
 LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND MUST COMPLY WITH THE STREET TREE ORDINANCE.  
 CROSS PARKING, INGRESS/EGRESS, AND DRAINAGE EASEMENTS WILL BE GRANTED ON THE REPLAT.  
 ALL CROSS WALKS ARE EXPOSED AGGREGATED CONCRETE SIDEWALKS, (PER LANDSCAPING PLAN)

**CASE NUMBER: DRB 96-495**  
**SITE DEVELOPMENT PLAN FOR SUBDIVISION**  
**FOR TRACT 9. BUILDING PERMIT**  
**SITE DEVELOPMENT PLAN FOR TRACTS 9B, 9C, & 9D ONLY.**

*Robert W. Kone* 10-29-96  
 Traffic Engineer, Transportation Division Date

*Ed Stang* 10-29-96  
 Design and Development, CIP Date

*Robert W. Kone* 10-29-96  
 Public Works, Water Utilities Division Date

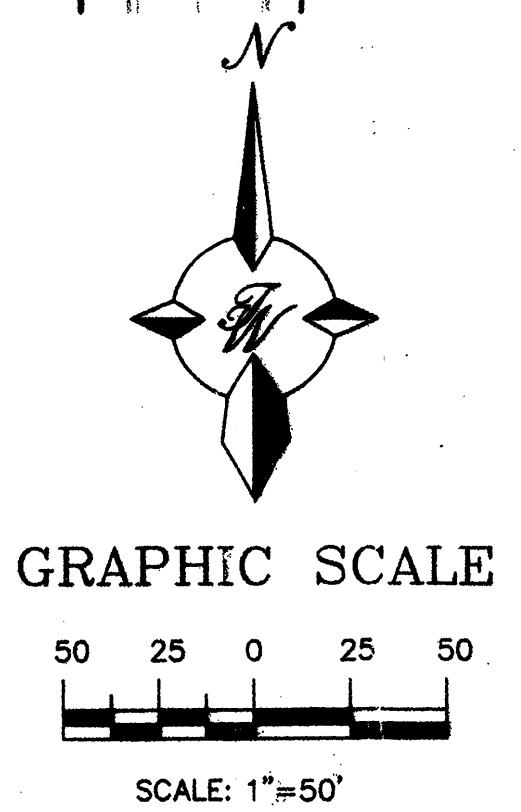
*John Kelly* 3-10-97  
 City Engineer, Engineering Division / AMAFCA Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

*Kyle L. Mose* 3-12-97  
 City Planner, Albuquerque / Bernalillo County Planning Division Date

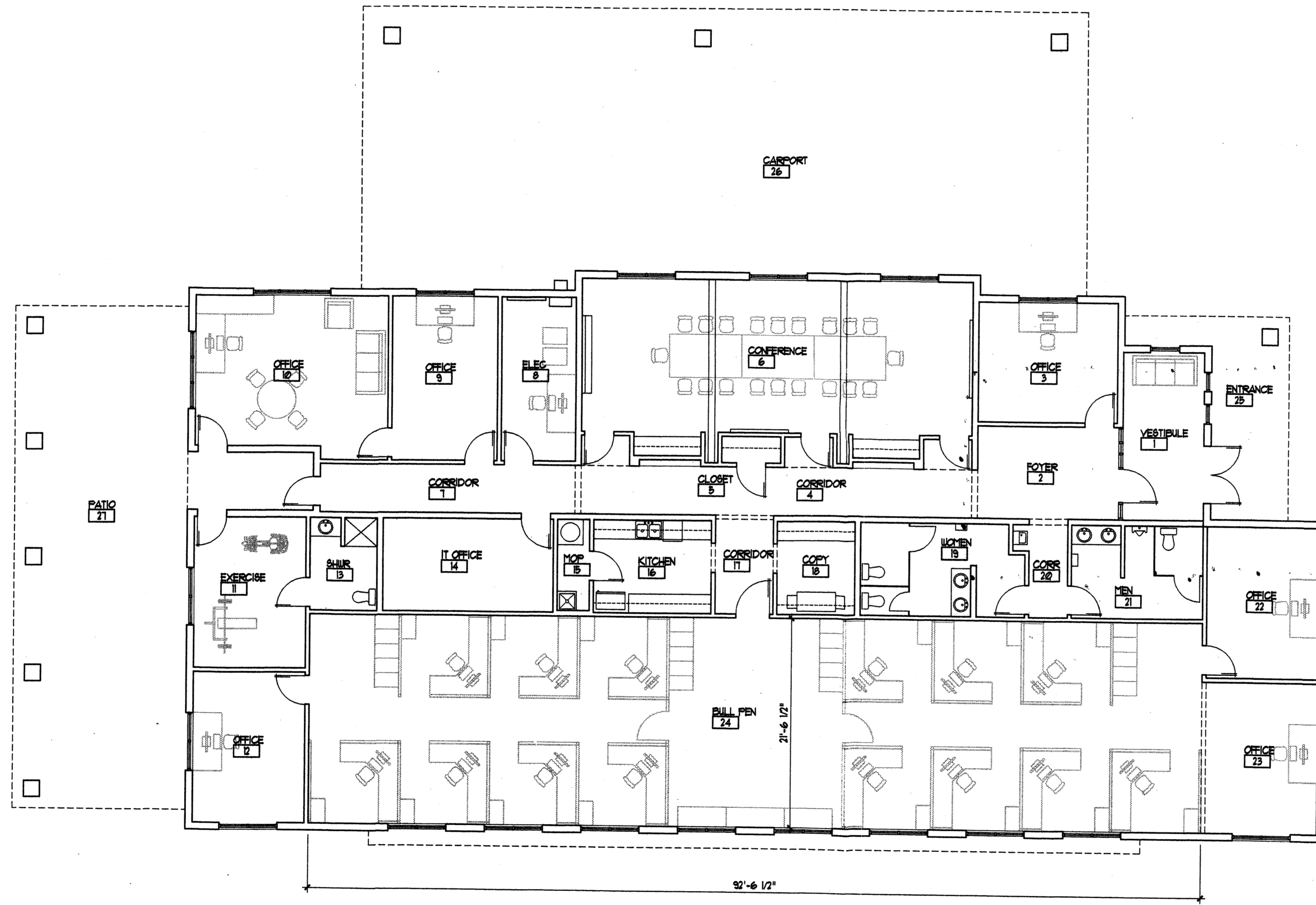
PLN2 (10706) 4/96

- INDEX OF DRAWINGS**
1. SITE PLAN AND PROJECT DATA
  2. ARCHITECTURAL SITE PLAN
  3. LANDSCAPING PLAN
  4. GRADING AND DRAINAGE PLAN
  5. ELEVATIONS OF BUILDING #1
  6. ELEVATIONS OF BUILDING #2
  7. ELEVATIONS OF BUILDING #3

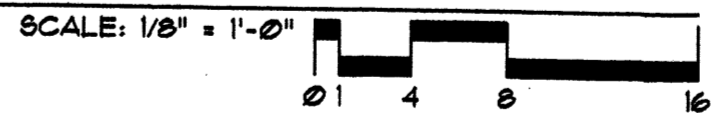


ENGINEER'S SEAL 	<b>TRACT 9 RENAISSANCE</b>	DRAWN BY BDG
	<b>SITE PLAN FOR SUBDIVISION PURPOSES</b>	DATE 8-08-96
TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES 4421 McLEOD ROAD N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592		SHEET # 1
RONALD J. BOHANNON P.E. #7868		JOB # 960038

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FLOOR PLAN



**GENERAL NOTES**

- A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED, VERIFY INTENT WITH THE ARCHITECT BEFORE PROCEEDING.
- B. MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATION SERVICES TO OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BYPASS, CROSS-CONNECTS AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION - AT NO ADDITIONAL COST.
- C. AT ANY AND ALL LOCATIONS IN THE PROJECT WHERE DEMOLITION OCCURS, PATCH/REPLACE ADJACENT FLOOR FINISHES, WALL FINISHES, CEILING FINISHES, ETC. AFFECTED BY THE DEMOLITION TO ACHIEVE A UNIFORM FINISH - WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT.
- D. SEE SITE PLAN FOR CONTINUATION OF SITE WORK NOT SHOWN ON THIS PLAN.
- E. PROVIDE CONCEALED BACKING FOR ALL WALL-MOUNTED ITEMS INCLUDING DOOR BUMPERS, DOOR HOLDERS, GRAB BARS, CASEWORK, ETC.
- F. REFER TO EQUIPMENT SCHEDULE FOR EQUIPMENT MARKS SHOWN ON THIS SHEET.
- G. PROVIDE WINDOW TREATMENT AT WINDOW MARKS WITH (#).

**GENERAL CONSTRUCTION NOTES**

- TYPICAL EXTERIOR WALL:  
1-1/2" THICK EIFS SYSTEM  
5/8" EXTERIOR GYPSUM SHEATHING  
6" METAL STUDS FILLED WITH BATT INSULATION  
5/8" INTERIOR GYPSUM BOARD
- TYPICAL EXTERIOR WALL HEIGHT (TO T.O. PARAPET):  
TYPICAL - 13'  
OVER CONFERENCE ROOM - 15'  
OVER POTTER - 15'
- TYPICAL INTERIOR PARTITION:  
3-5/8" METAL STUDS FILLED WITH FIBERGLASS SOUND BATT  
5/8" GYPSUM BOARD BOTH SIDES  
(6" METAL STUDS AT PLUMBING WALLS)
- TYPICAL FLOOR SLAB:  
5" THICK WITH #3 REBAR 16" O.C. EACH WAY
- TYPICAL FOUNDATION:  
FOOTING: 24" WIDE X 12" DEEP  
STEM WALL: 8" WIDE X 24" DEEP
- TYPICAL ROOF STRUCTURE:  
ROOFING SYSTEM  
1-1/2" RIGID INSULATION (THICKER AT CRICKETS)  
1-1/2" METAL DECK  
BAR JOISTS  
12" FIBERGLASS INSULATION  
LAY-IN CEILING
- FIRE SUPPRESSION SPRINKLER SYSTEM:  
NONE

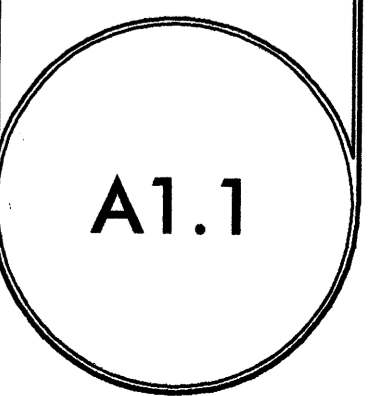


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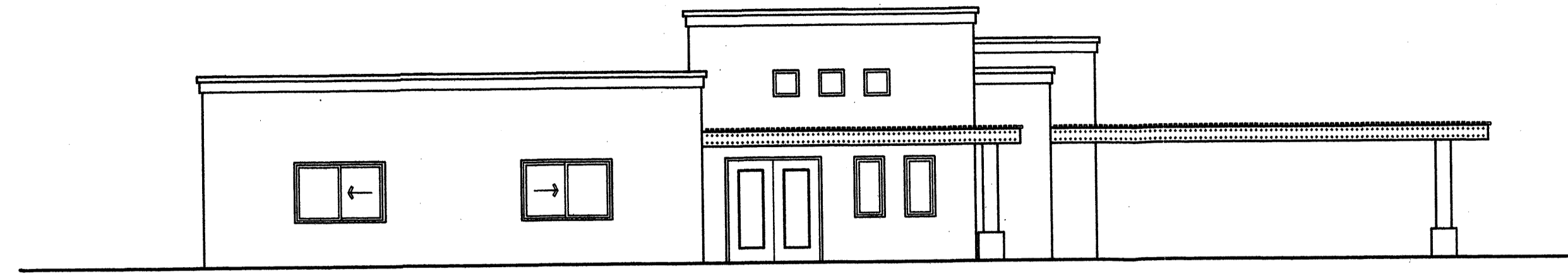
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 FLOOR PLAN

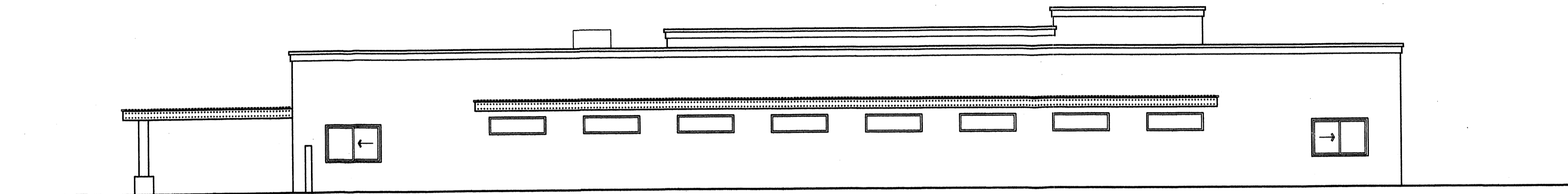


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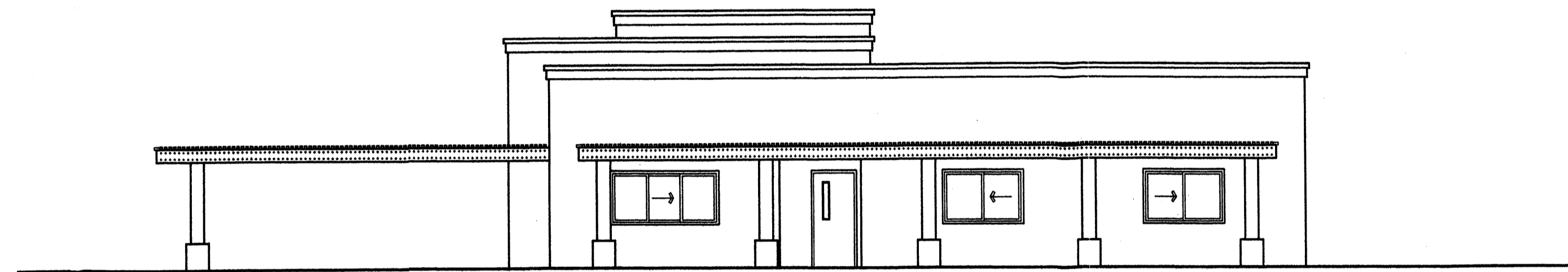
EAST ELEVATION

SCALE: 1/8" = 1'-0"



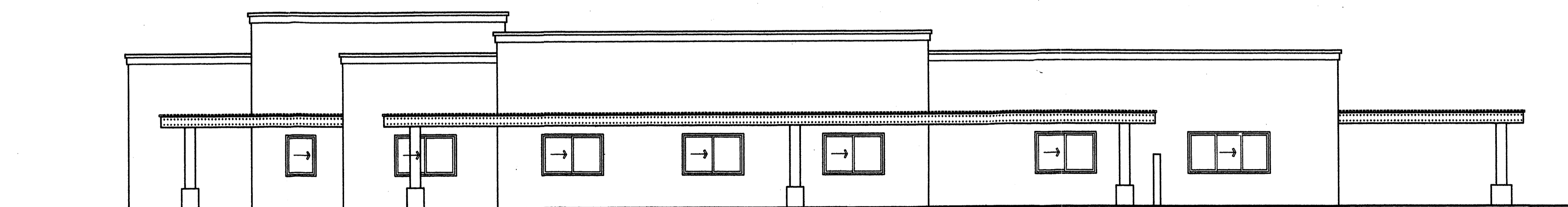
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL NOTES

XX  
XX

KEYED NOTES

1. APPROXIMATE LOCATION OF GRADE. COORDINATE WITH CIVIL.
2. EIFS SYSTEM.
3. NEW PARAPET CAP FLASHING. PAINT.
4. CONCRETE PEDESTAL.
5. STEEL COLUMN. PAINT.
6. 2"x12" STEEL CHANNEL WITH DECORATIVE PERFORATIONS. PAINT.
7. 2"x2"x8" DECORATIVE TUBE STEEL PIECES WELDED TO TOP OF STEEL CHANNEL. PAINT.
8. DECORATIVE MISC. METAL WINDOW PEDIMENT. PAINT.
9. ROOF DRAIN NOZZLE.
10. LIGHT FIXTURE.

FINISH NOTES

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)  
 EIFS1 - COLOR-----  
 EIFS2 - COLOR-----

EXTERIOR PAINT  
 EP1 - PATIO ROOF COLUMN AND BEAMS -----  
 EP2 - WINDOW PEDIMENTS -----

CONCRETE PEDESTALS (ALL)  
 NATURAL CONCRETE, SEALED.

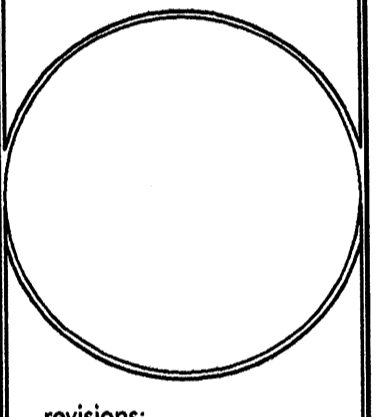
METAL PARAPET CAPS (ALL)  
 PREFINISHED, COLOR-----

EXTERIOR WINDOWS (ALL)  
 PREFINISHED ALUMINUM, COLOR-----  
 GLAZING:-----

EXTERIOR DOORS (ALL)  
 HOLLOW METAL, PAINTED, COLOR-----  
 GLAZING:-----



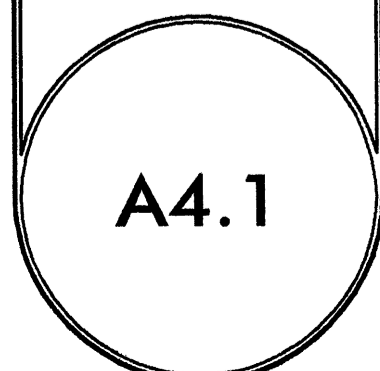
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 EXTERIOR ELEVATIONS



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