

VICINITY MAP ZONE MAP: H-9,10-Z

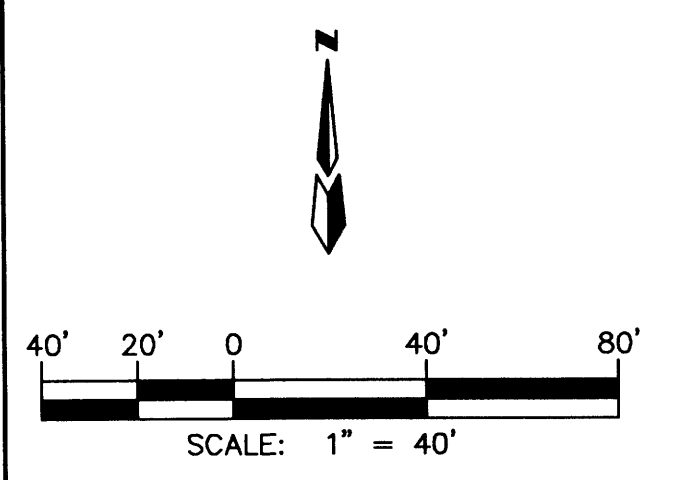
ACS BENCHMARK

LEGAL DESCRIPTION

LADERA BUSINESS PARK TRACT 9 UNIT 1

LEGEND

- — — — — EXISTING CURB
- — — — — EXISTING TOP OF CURB
- — — — — EXISTING FLOWLINE
- x .00.00 EXISTING SPOT ELEVATION
- — — — — STANDARD 8" CURB & GUTTER
- 28.53' PROPOSED SPOT ELEVATION
- ~ ~ ~ ~ ~ WATER BLOCK
- ⊙ NEW FIRE HYDRANT
- FP= 30.38 FINISHED PAD ELEVATION
- ▭ NEW BUILDINGS
- — — — — PROPOSED PROPERTY LINE
- PROPOSED FLOW DIRECTION
- FP=58.00 PROPOSED FINISH PAD ELEVATION
- 55.60 PROPOSED SPOT ELEVATION



LADERA BUSINESS PARK LOT #9

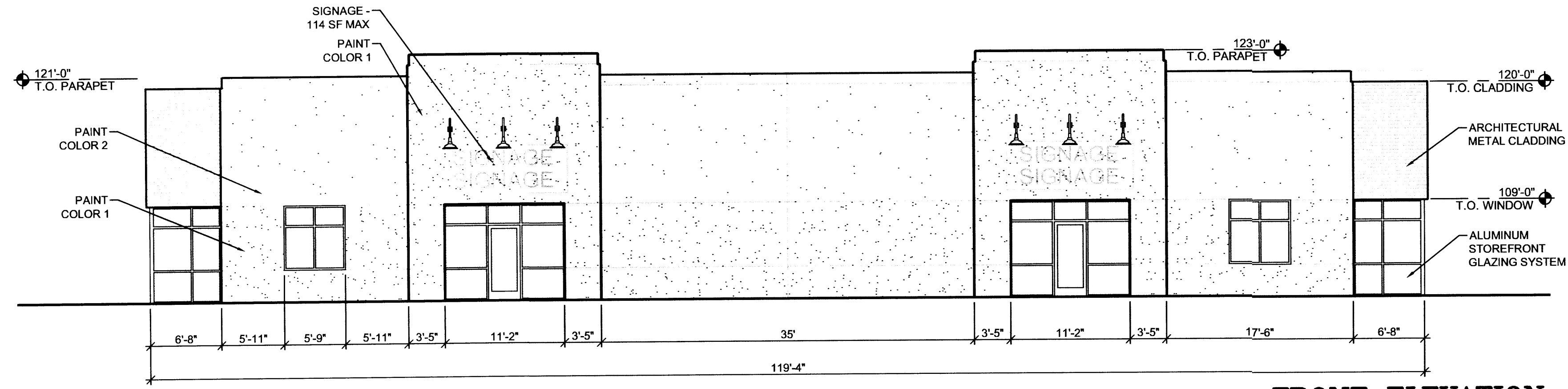
CONCEPTUAL GRADING & DRAINAGE PLAN

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: *ptk* Drawn: *CAR* Checked: *JMM* Sheet **I** of **2**  
Scale: 1" = 40' Date: 01/18/07 Job: A6093



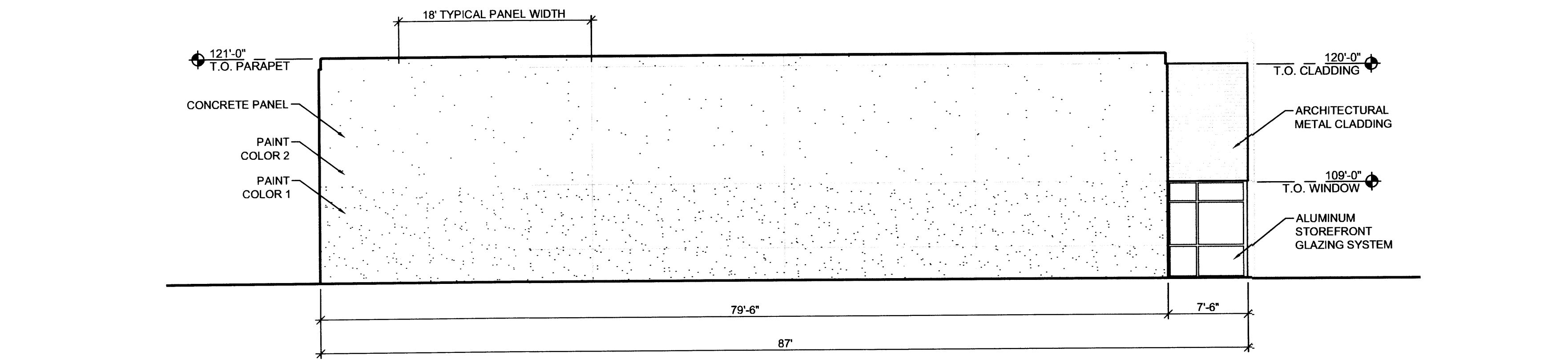




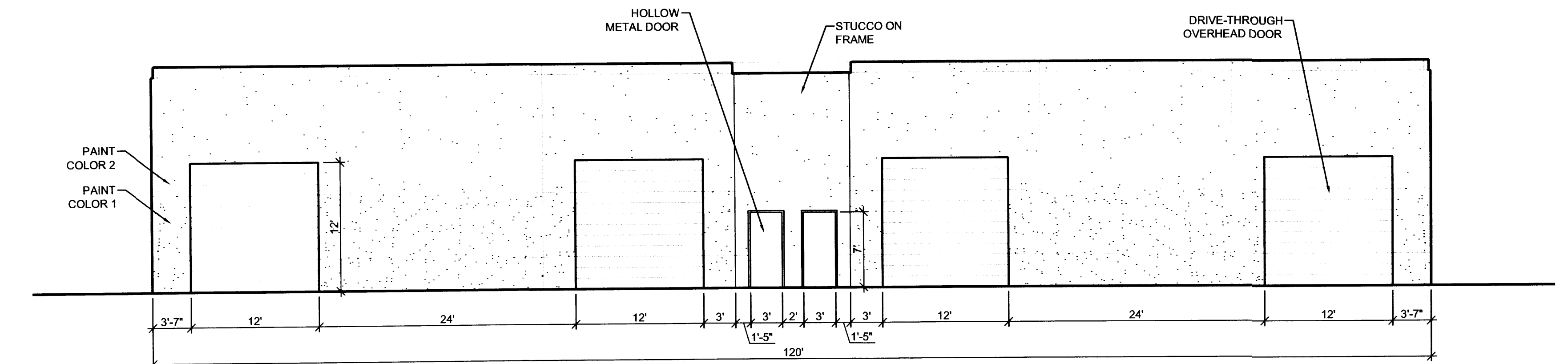
**D2** FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

MATERIAL	COLOR
PAINT:	COLOR 1: DARK TAN COLOR 2: MEDIUM TAN
ALUMINUM STOREFRONT:	CLEAR ANODIZED ALUMINUM
HOLLOW METAL DOORS & FRAMES:	MEDIUM TAN
GLAZING:	BLUE SEMI-REFLECTIVE
OVERHEAD DOORS:	DARK TAN
METAL CLADDING:	DUSTY BLUE

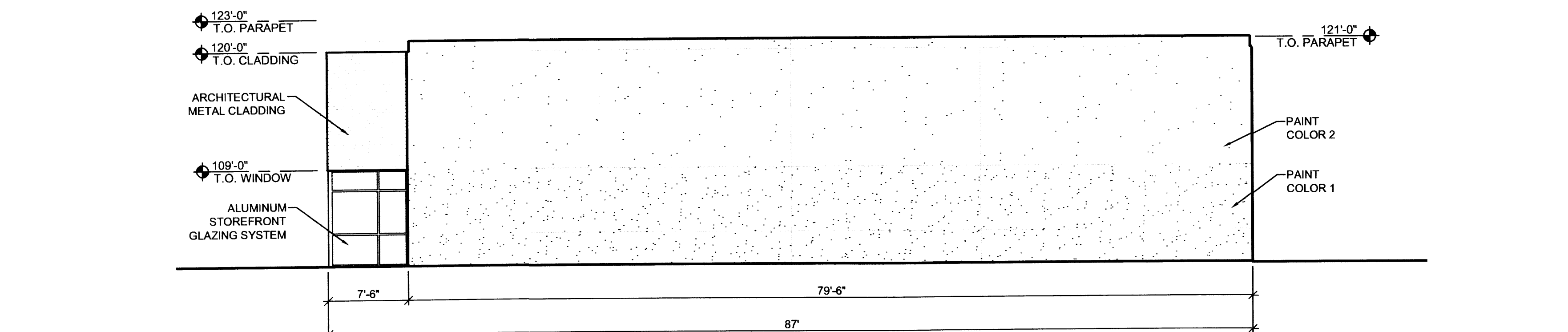
**D5** COLORS LEGEND



**C2** SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



**B2** REAR ELEVATION  
SCALE: 1/8" = 1'-0"



**A2** SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



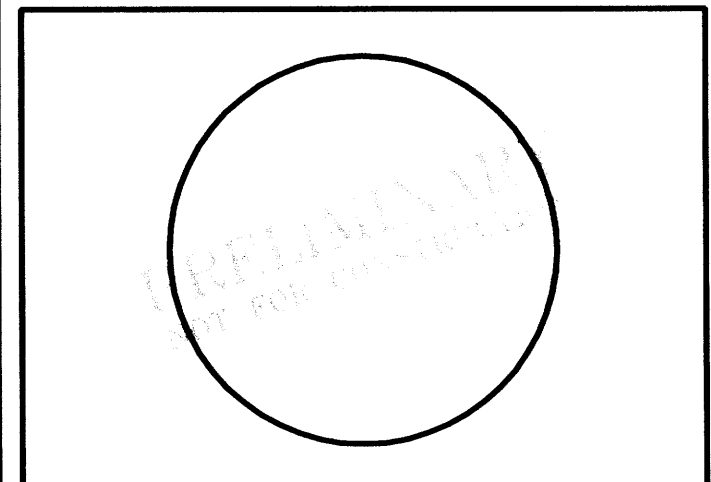
**CLAUDIO VIGIL ARCHITECTS**

1801 Rio Grande Boulevard, N.W.  
Albuquerque, New Mexico  
Phone: (505) 842-1113  
Fax: (505) 842-1330

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**CONSULTANTS**


**PROFESSIONAL SEAL**



**LADERA BUSINESS PARK TRACT 9**

7500 LA MORADA PL, NW  
ALBUQUERQUE, NEW MEXICO

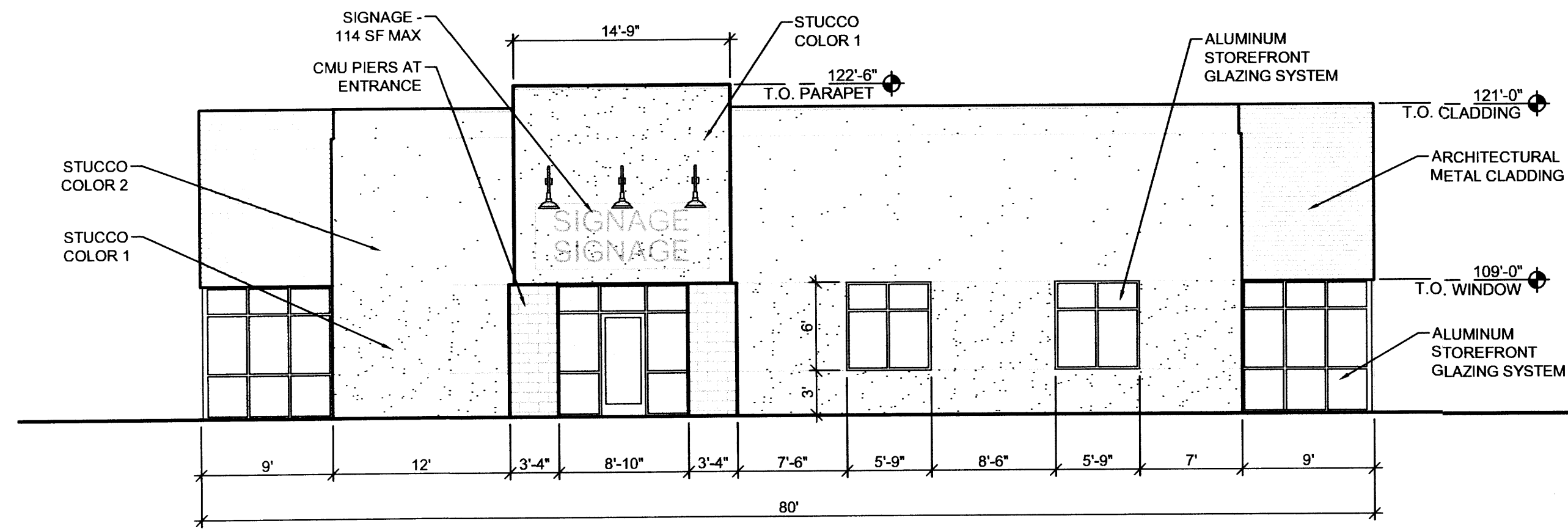
MARK	DATE	DESCRIPTION

PROJECT NUMBER:	06270
DRAWING FILE:	062703DESDEVLBP A-201
DRAWN BY:	LH
CHECK BY:	
COPYRIGHT:	CLAUDIO VIGIL ARCHITECTS 2005
DATE:	MARCH 5, 2007

SHEET TITLE  
**BUILDINGS C, F, H, I**

SHEET NUMBER  
**A-201**

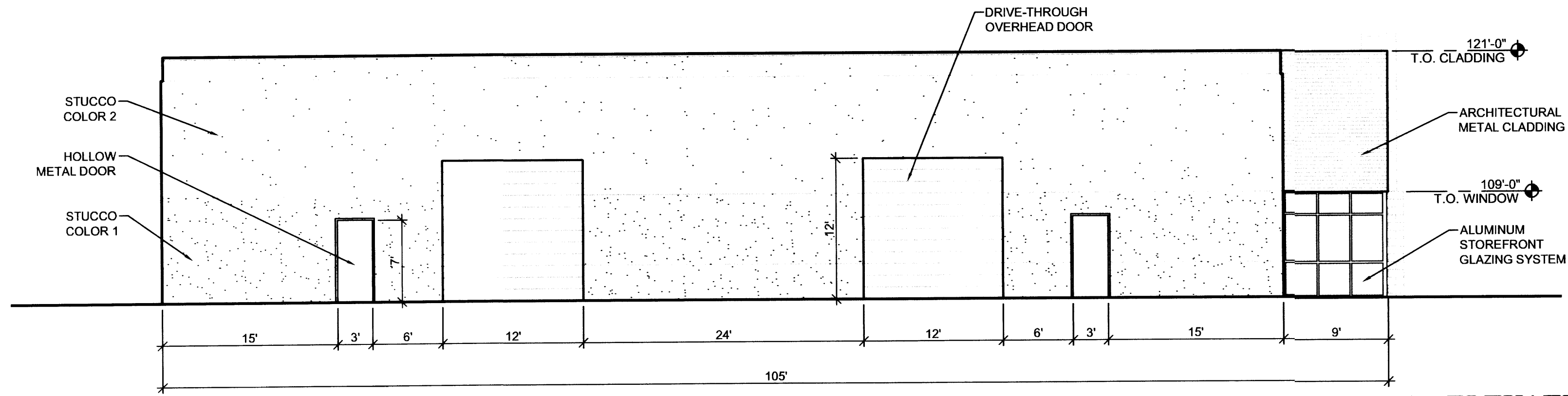
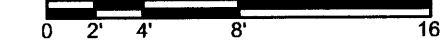




**FRONT ELEVATION**

**D2**

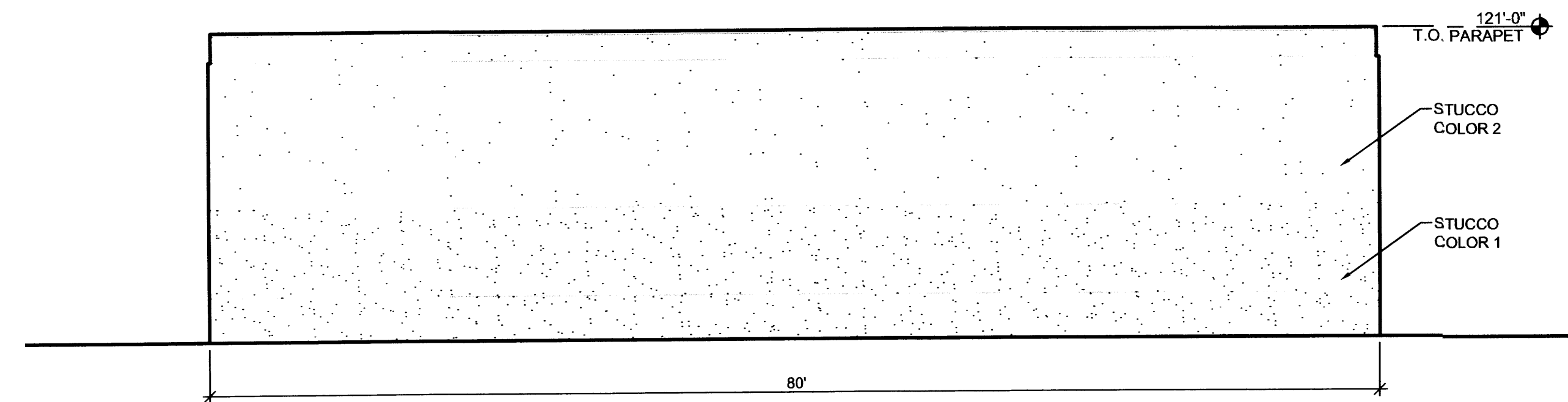
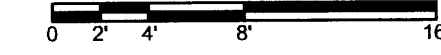
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**

**C2**

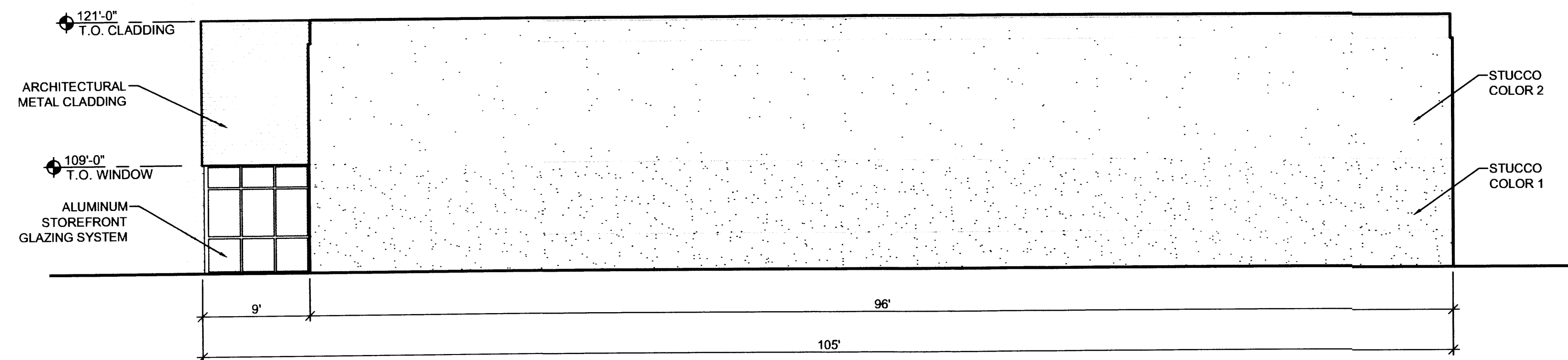
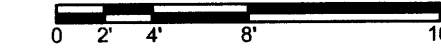
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**REAR ELEVATION**

**B2**

SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**

**A2**

SCALE: 1/8" = 1'-0"



**MATERIAL**

**COLOR**

STUCCO:	COLOR 1: DARK TAN COLOR 2: MEDIUM TAN
ALUMINUM STOREFRONT:	CLEAR ANODIZED ALUMINUM
HOLLOW METAL DOORS & FRAMES:	MEDIUM TAN
GLAZING:	BLUE SEMI-REFLECTIVE
OVERHEAD DOORS:	DARK TAN
METAL CLADDING:	DUSTY BLUE
CMU:	TAN

**D5**

**COLORS LEGEND**



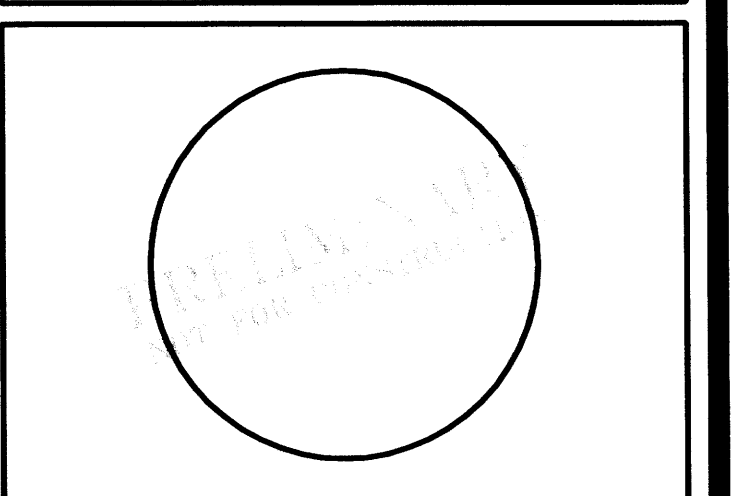
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**LADERA BUSINESS PARK**

**TRACT 9**

7500 LA MORADA PL, NW  
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

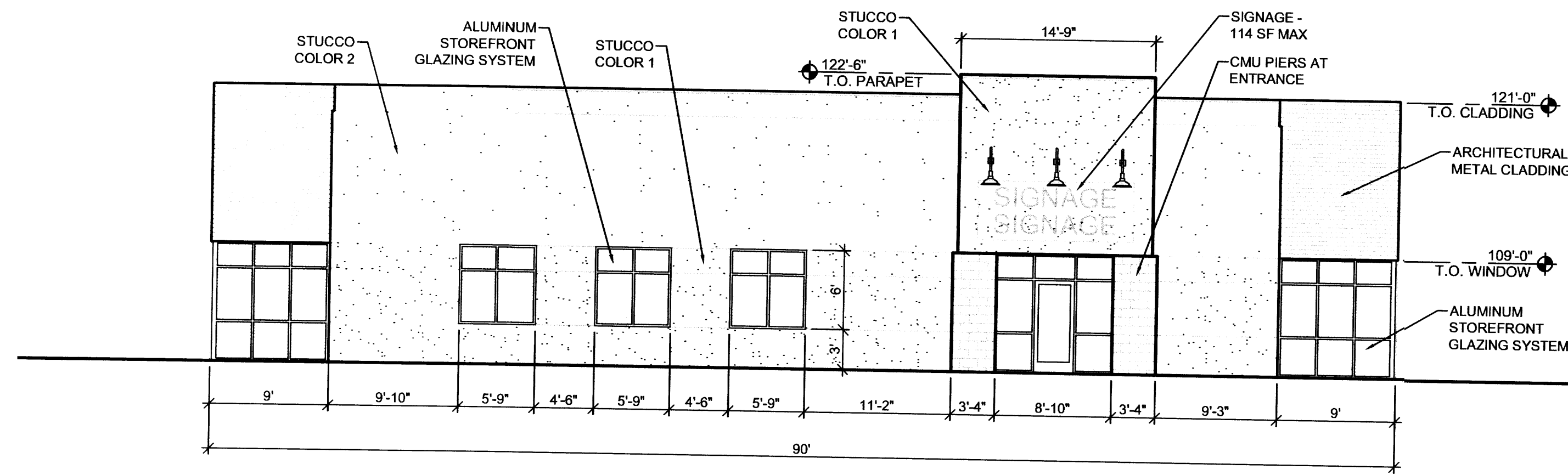
PROJECT NUMBER:	06270
DRAWING FILE:	06270\3DESDEVLBP A-201
DRAWN BY:	LH
CHECK BY:	
COPYRIGHT:	CLAUDIO VIGIL ARCHITECTS 2005
DATE:	MARCH 5, 2007

**SHEET TITLE**

**BUILDINGS A, B, G**

**SHEET NUMBER**

**A-202**



D2

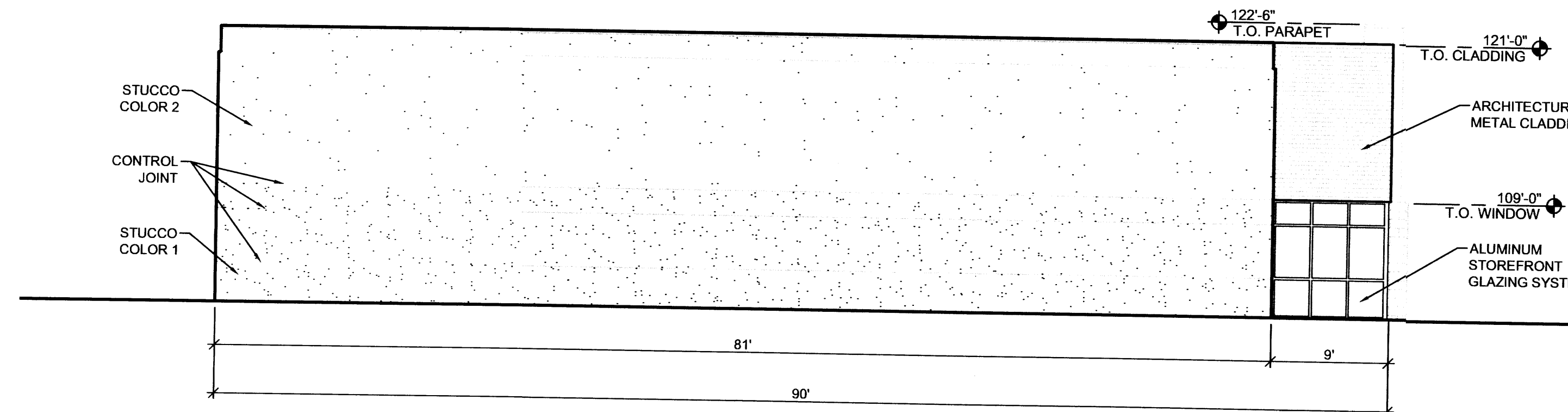
SCALE: 1/8" = 1'-0"

FRONT ELEVATION

D5

COLORS LEGEND

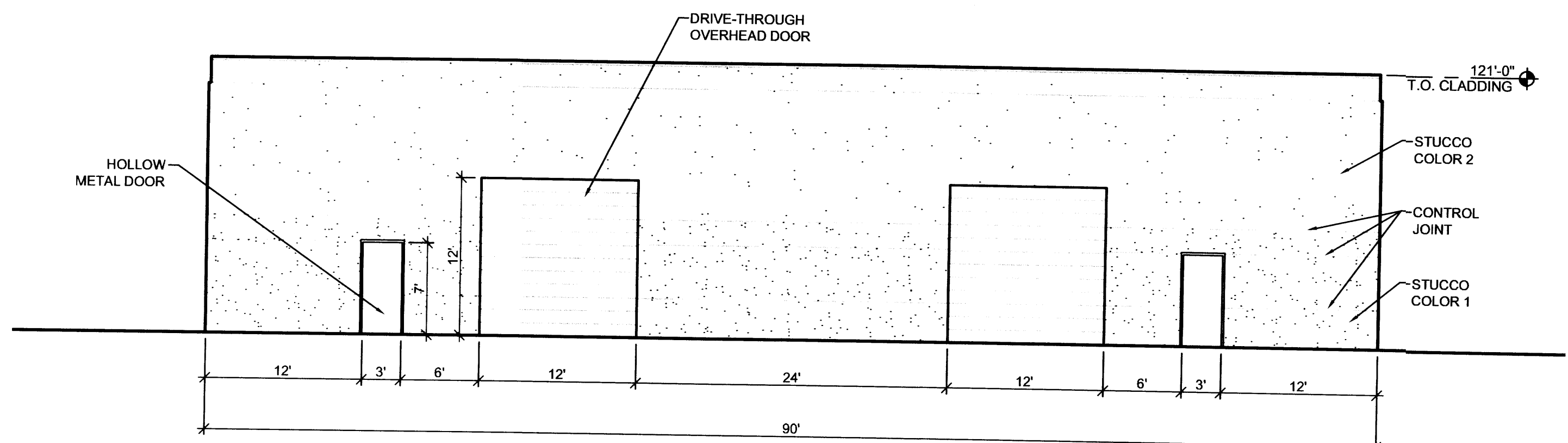
MATERIAL	COLOR
STUCCO:	COLOR 1: DARK TAN COLOR 2: MEDIUM TAN
ALUMINUM STOREFRONT:	CLEAR ANODIZED ALUMINUM
HOLLOW METAL DOORS & FRAMES:	MEDIUM TAN
GLAZING:	BLUE SEMI-REFLECTIVE
OVERHEAD DOORS:	DARK TAN
METAL CLADDING:	DUSTY BLUE
CMU:	TAN



C2

SCALE: 1/8" = 1'-0"

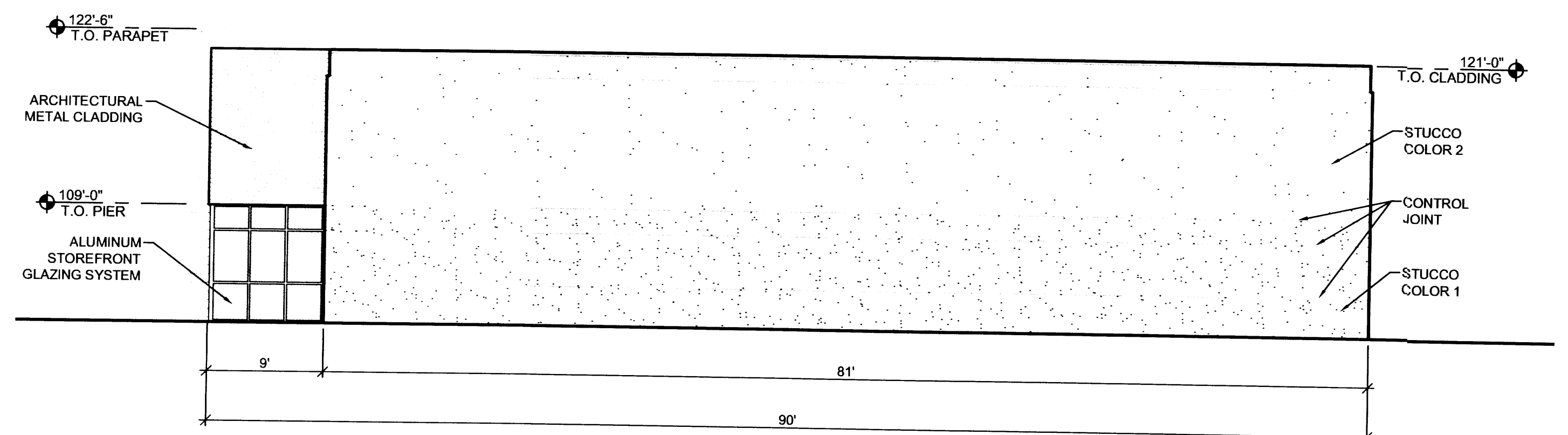
SIDE ELEVATION



B2

SCALE: 1/8" = 1'-0"

REAR ELEVATION



A2

SCALE: 1/8" = 1'-0"

SIDE ELEVATION



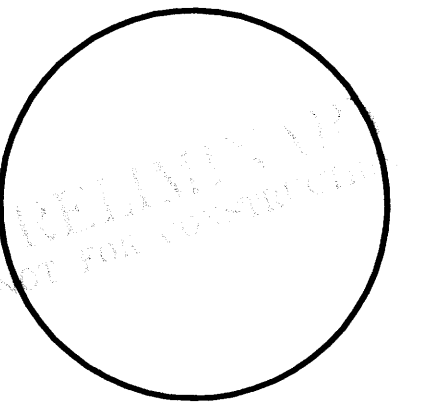
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**LADERA BUSINESS PARK**

**TRACT 9**

7500 LA MORADA PL, NW  
ALBUQUERQUE, NEW MEXICO

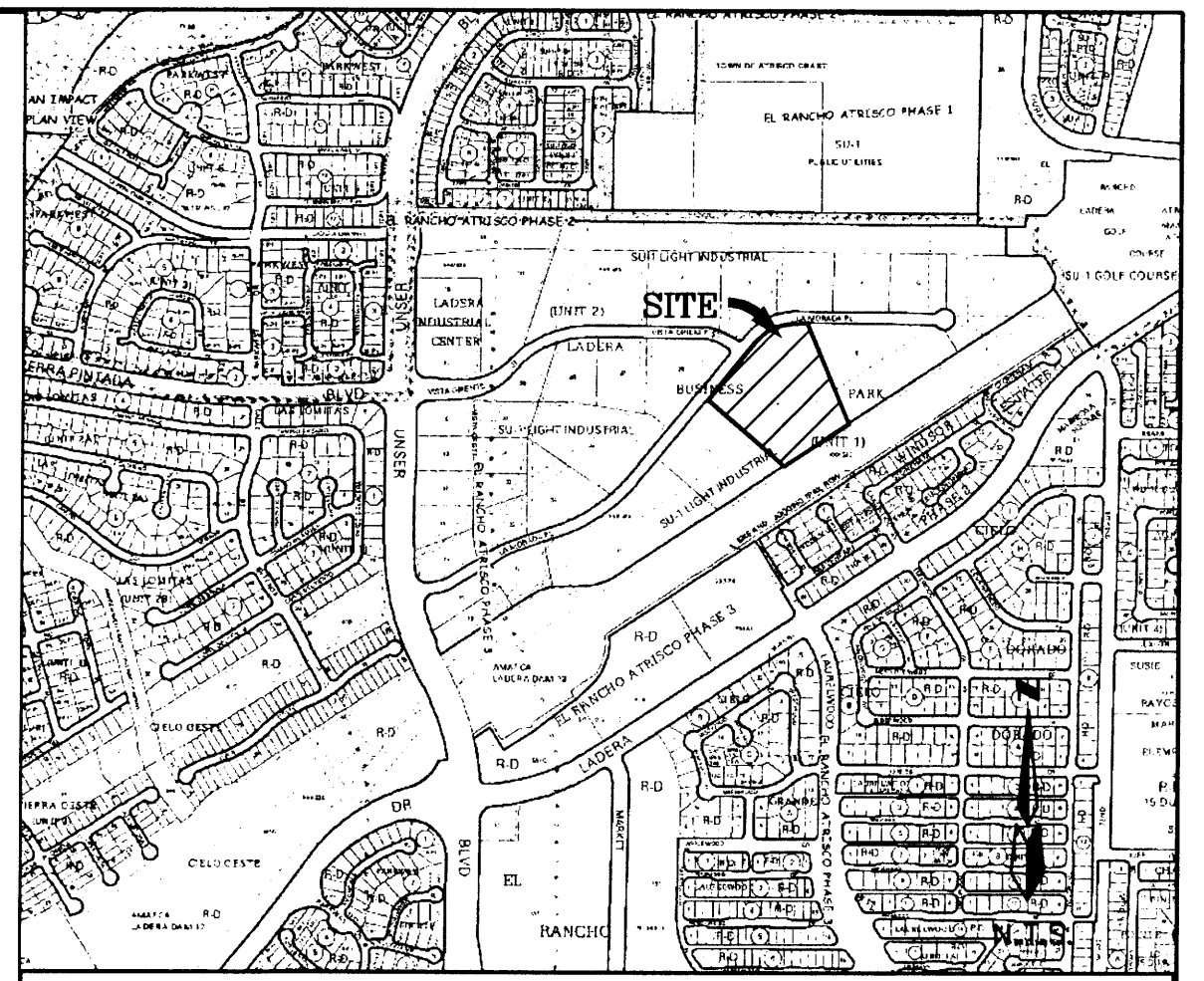
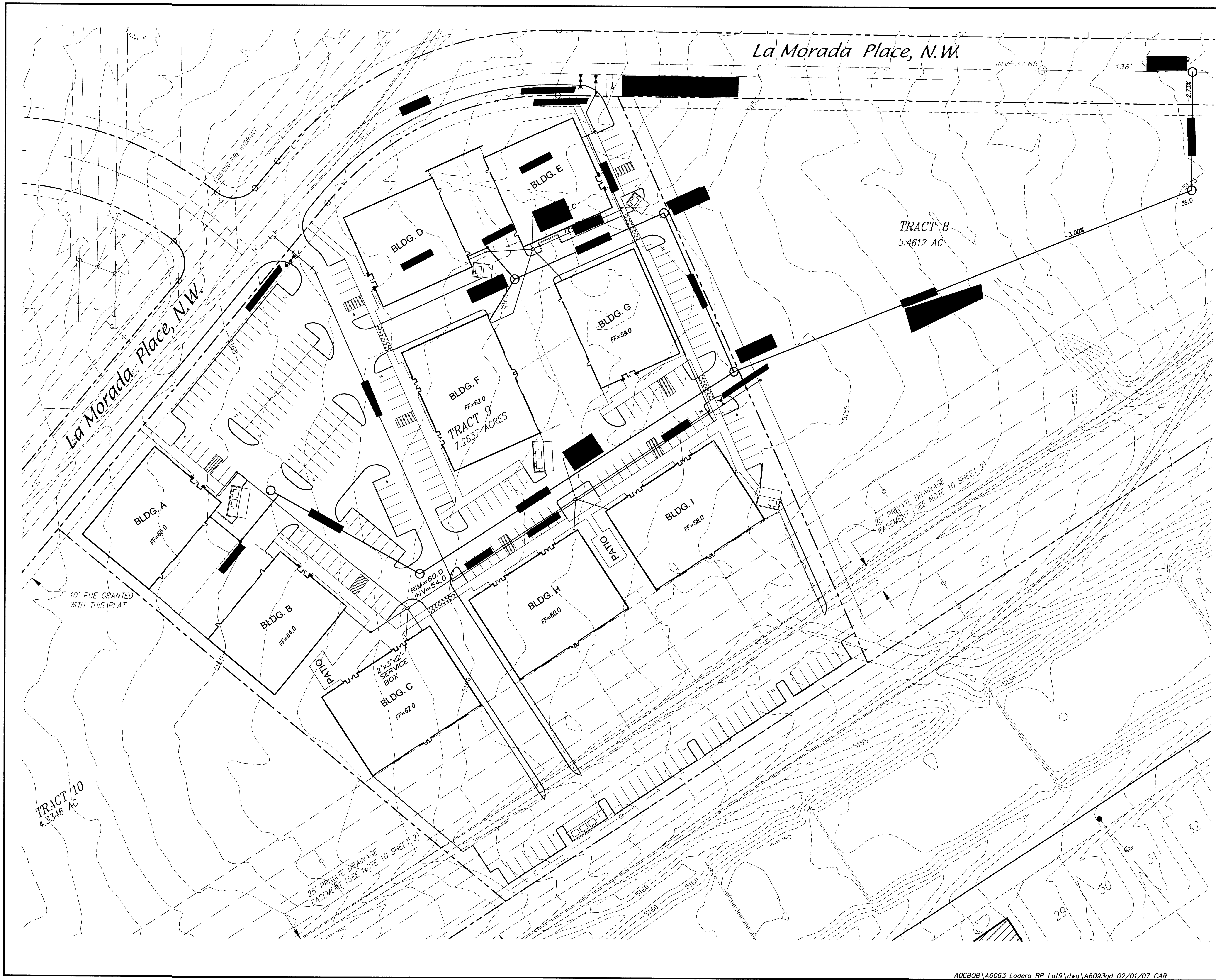
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06270  
DRAWING FILE: 06270\3DESDEVLBP A-201  
DRAWN BY: LH  
CHECK BY:  
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005  
DATE: MARCH 5, 2007

SHEET TITLE  
**BUILDINGS D, E**

SHEET NUMBER  
**A-203**





VICINITY MAP      ZONE MAP: H-9,10-Z

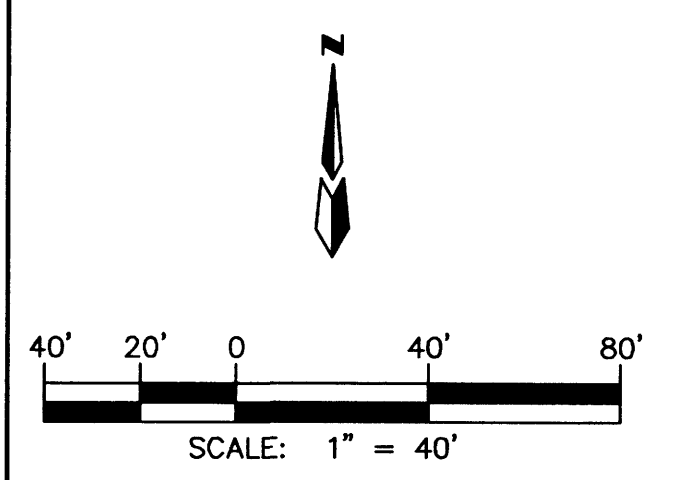
ACS BENCHMARK

LEGAL DESCRIPTION

LADERA BUSINESS PARK TRACT 9 UNIT 1

LEGEND

- — — EXISTING CURB
- — — STANDARD 8" CURB & CUTTER
- 28.53+ PROPOSED SPOT ELEVATION
- WATER BLOCK
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- FP= 30.38 FINISHED PAD ELEVATION
- NEW BUILDINGS
- PROPOSED PROPERTY LINE



LADERA BUSINESS PARK LOT#9  
CONCEPTUAL UTILITY PLAN

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
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ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: *ptk*    Drawn: *CAR*    Checked: *JMM*    Sheet 2 of 2  
Scale: 1" = 40'    Date: 01/18/07    Job: A6093

I:\JOBS\A6093 Ladera BP Lot 9.dwg 2/1/2007 6:16:45 AM, Charles

A06B08\A6063 Ladera BP Lot9.dwg\A6093qd 02/01/07 CAR