

**PROJECT DATA:**

Address: 18th Street and Bellamah Avenue N.W.

Zone Atlas Page: H & J-15-Z

**The Site**

Phase I:

**Legal Description:**

Lots 1 - 10 within the Town of Albuquerque Grant in Projected Sections 7 and 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico

Address: 1701 Bellamah Ave. N.W.

Zoning: SU-2/SU-1 for PRD

Acres: 7.4628

**Phase II:**

**Legal Description:**

Tract 2-D of the Arbolera de Vida subdivision, Albuquerque, New Mexico, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 11, 2005 in Plat Book 2005C, Page 106

Zoning: SU-2/SU-1 for PRD with Microbrewery

Acres: 2.5132

Total acres for both sites is 9.976

Cross access and drainage easements provided.

Phase II site development plans for building permit are delegated to the DRB for approval.

**Proposed Use**

Site is being developed in two phases as mixed-use with housing, retail and active space (small rental spaces for artisan and incubator office space). Phase II has two single story Retail buildings and a building with Active Spaces and Apartments above. The following is Phase I development: Lot 2 is ground floor Retail and two floors of Condominiums above. Lot 1 has two buildings with ground floor Active Spaces and Apartments on two floors above. The remaining three buildings on Lot 1 are Apartments on three floors. Lots 3 - 10 are Townhomes (eight total).

C1 and O1 permissive use allowed in PRD up to 25% of Total Gross Floor Area of Development.

**Pedestrian Ingress & Egress**

The existing public sidewalk at along 18th Street is extended into the site and continues the edge of the property along Bellamah. At the east side of the site is an opening for a potential connection with the adjacent development. A pedestrian trail is connected to this development. Sidewalks and plaza areas provide for on site connectivity and separation from vehicular traffic.

**Vehicular Ingress & Egress**

Primary access is from 18th and Bellamah. A potential connection to Bellamah is provided on the east side of the property.

**Internal Circulation Requirements**

Access is via drive aisles, 26' and 24' wide. Radii and parking spaces are shown on the Site Plan in compliance with the City D.P.M. An emergency vehicle path is shown from the north parking area across a roll-down curb and the paved plaza. This plan meets the criteria of City Traffic, Fire Marshal, and Solid Waste Department.

**Open Space** (as defined in Zoning Code 14-16-1-5 and per RZ zone 14-16-2-11-H)

Phase I Required: (49 units @ 400 sf/unit) + (62 units @ 500sf/unit) + (63 units @ 600sf/unit) = 88,400 sf  
Provided: 125,326 sf (does not include balconies)

**Phase II**

Required: 10 units @ 500sf/unit = 5,000sf  
Provided: 29,663 sf (does not include railroad easement or pond)

**Maximum Building Heights**

Buildings A1 and A2: 36' maximum  
Building B: 48' maximum  
Building C: 45' maximum  
Buildings D1, D2, E1, E2, E3: 45' maximum  
Townhomes F: 28' maximum

**Minimum Building Setbacks:**

South: 15'; East: 30'; North: 30'; West: 30'  
Accessory outbuildings allowed minimum setback of 0' lot line (14-16-3-3)

**Residential Development Density:**

Density shall not exceed 20 DU's per acre.

Phase	Building	Lot Size	Building Footprint	Retail SF	Active Spaces SF	Total Building SF					
Phase 1	Building B FL #1 - Retail FL #2 & 3 - Condos - 20	55,016	6,664	6,664	0	34,750					
	Building D1 FL #1 - Active Spaces - 10 FL #2, 3 & 4 - Apartments - 35	246,336	13,774	0	6,234	35,724					
	Building D2 FL #1 - Active Spaces - 6 FL #2, 3 & 4 - Apartments - 27		9,091	0	3,934	15,887					
	Building E1 FL #1, 2 & 3 - Apartments - 27		8,860	0	0	28,158					
	Building E2 FL #1, 2 & 3 - Apartments - 24		6,434	0	0	30,586					
	Building E3 FL #1, 2 & 3 - Apartments - 33		12,267	0	0	38,197					
	Building F FL #1, 2 & 3 - Apartments - 33	21,732	8,847	0	0	17,264					
Total Phase 1 Buildings							335,084	70,667	8,094	10,167	201,588
Phase 2	Building A1 FL #1 - Brewery & Restaurant	106,475	7,500	7,500	0	7,500					
	Building A2 FL #1 - Retail Building C FL #1 - Active Spaces - 10 FL #2 - Apartments (2 Levels each) - 10		7,000	7,000	0	7,000					
			8,000	0	8,000	16,000					
	Total Phase 2 Buildings							109,475	22,500	14,500	8,000
Total Phase 1 and Phase 2							444,559	93,167	23,194	18,167	237,088

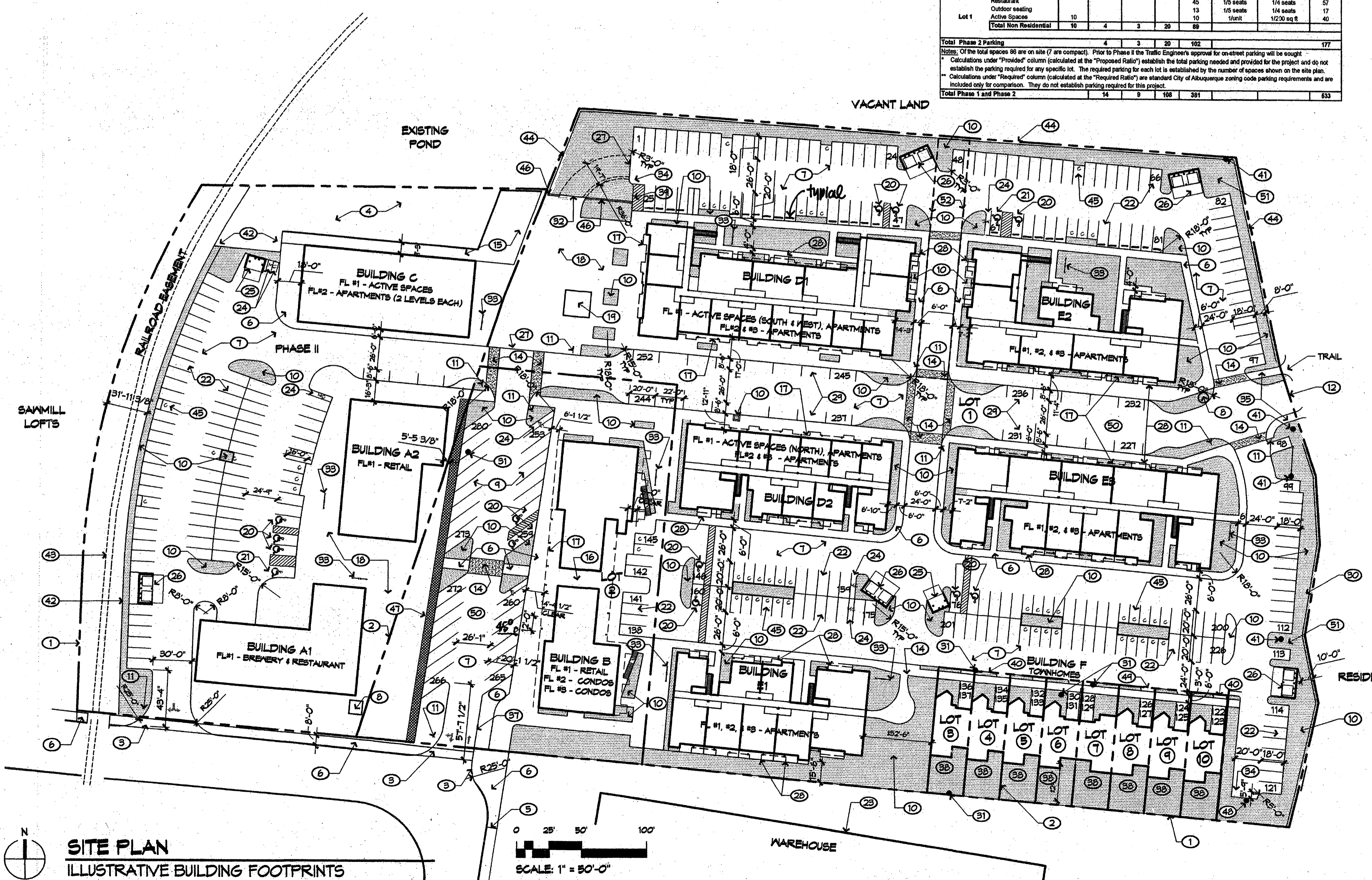
Notes:  
1. All Square Footage is Approximate.  
2. C1 & O1 Permissive Uses = 41,382 SF / Total Building SF (Total Gross Floor Area of Development) of 232,085 = 18%, under 25% allowed in PRD.  
3. Dwelling Units not to exceed a maximum of 190 Units.

Phase	Units	Accessible	Motorcycle	Bicycle	Provided*	Proposed Ratio*	Required Ratio	Required*	
Residential	Condominiums	20			25	1.25/unit	1.5 or > 1000sf +2	30	
	Apartments	146			183	1.25/unit	1.5 or > 1000sf +2	219	
	Townhomes	8			18	2/unit	1 per bath	16	
	Total Residential		174			226			265
	Non Residential					23	3/1000 sq ft	1/200 sq ft	39
Total					249			284	
Motorcycle			10	6	16			16	
Bicycle			6	68	74			74	
Total			16	74	90			90	

\* Calculations under "Proposed Ratio" column (calculated at the "Proposed Ratio") establish the total parking needed and provided for the project and do not establish the parking required for any specific lot. The required parking for each lot is established by the number of spaces shown on the site plan.  
\* Calculations under "Required Ratio" column (calculated at the "Required Ratio") are established City of Albuquerque zoning code parking requirements and are included only for comparison. They do not establish parking required for this project.

Phase	Units	Accessible	Motorcycle	Bicycle	Provided*	Proposed Ratio*	Required Ratio	Required*
Phase 2	Apartments	10			13	1.25/unit	1.5 or > 1000sf +2	15
	Total Residential	10			13			15
Non Residential					18	3/1000 sq ft	1/200 sq ft	30
Total					31			45
Motorcycle			4	3	7			7
Bicycle			3	20	23			23
Total			7	23	30			30

Total Phase 1 and Phase 2: 44 3 20 122 177

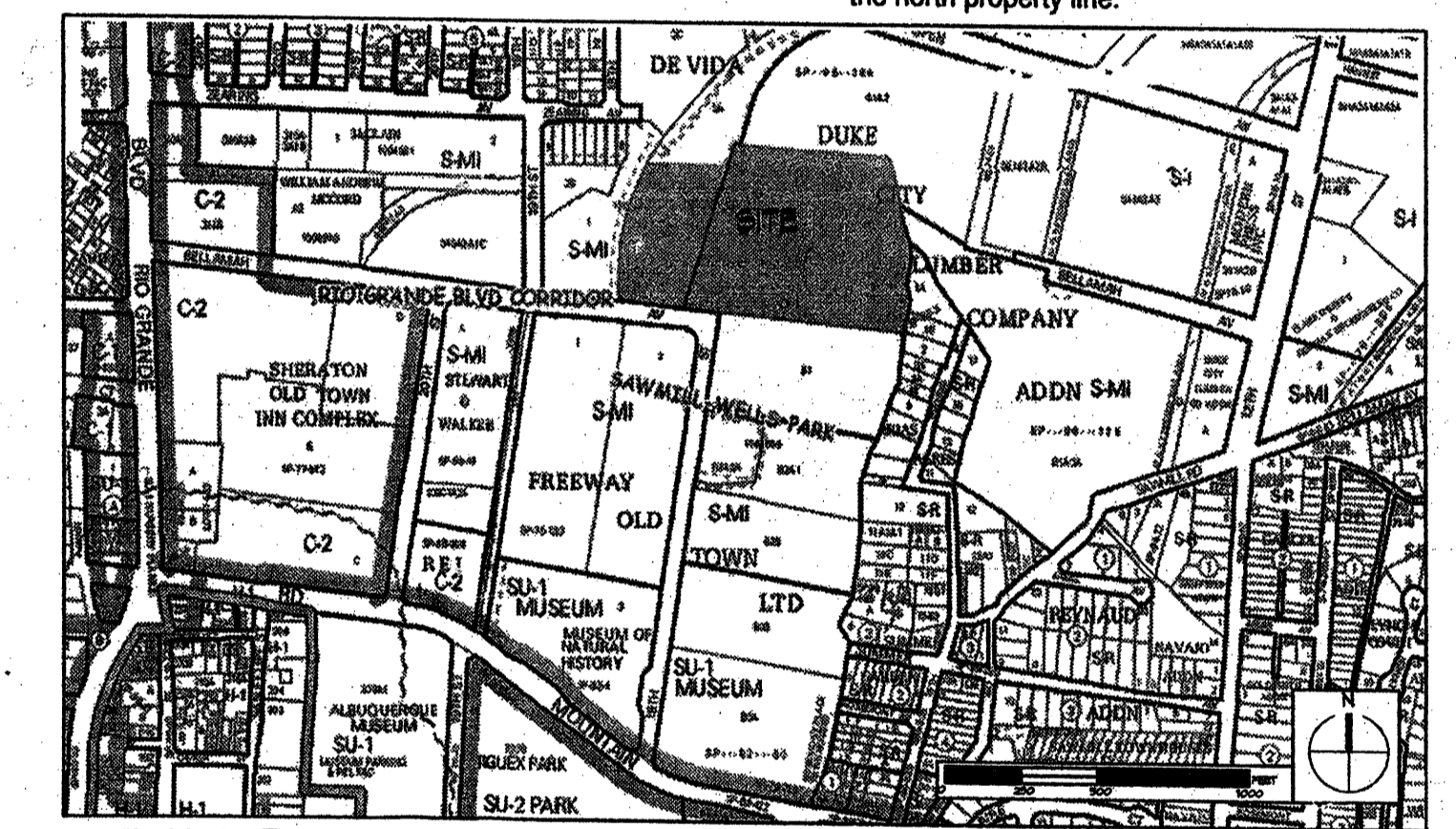


**GENERAL NOTES**

- A. All existing Structures, Paving, Fencing, Walls, Foundations; Sidewalks, to be Demolished and Removed.
- B. Accessible curb cuts and ramps provided throughout site.
- C. Phase I: All development on Lots 1-10
- D. Phase II: All development on Phase II
- E. See Plat for all easements.

**KEYED NOTES**

1. Property line, Typ.
2. Lot line, Typ.
3. New site drive per COA Std. Dwg. 2426.
4. Drainage pond, see Conceptual Grading Plan
5. Existing sidewalk to remain
6. Concrete sidewalk, 4' wide minimum (see plan), per COA Std. Dwg. 2430.
7. Asphalt Drive, Aisle and Parking Spaces
8. Entry feature from salvaged site metal/equipment.
9. 45' Parking space per D.P.M. Figure 23.7.1
10. Landscaping, typ. (See Landscape Plan)
11. 18"x18" Stop Sign
12. Future connection to Bellamah Street
13. Not used.
14. Decorative paving
15. Plaza extended over pond w/guardrail surround
16. Pedestrian passageway
17. Building overhang with columns
18. Plaza, w/ decorative paving & landscaping
19. Relocated steel Sawdust Hopper
20. Accessible parking space, 8' W. x 20' L. space W/ 9' W. aisle.
21. Accessible van parking, 9' W. x 20' L. space W/ 9' W. aisle.
22. Standard parking space, 8' W. x 20' L., typ. (18' L. where perimeter landscape strip)
23. Building on adjacent property (more than 20' from property line)
24. Motorcycle space, 4' W. x 8' L. min., typ.
25. Single refuse containers, enclosure & concrete apron
26. Double refuse containers, enclosure and concrete apron
27. Mountable roll curb for emergency vehicle access
28. Patio enclosure, 5' high maximum, typ.
29. Parallel parking, typ.
30. 10' wide minimum landscape setback W/6' high planted open fencing
31. Existing power pole to be removed
32. Gravel with roll-up curb for emergency vehicle traffic.
33. Bicycle rack
34. Vehicle back-up space
35. Sidewalk connection to pedestrian trail on adjacent property
36. Not used.
37. 12' L. mountable roll curb for utility vehicle access
38. Backyard walls, 6' high maximum
39. Dedicated back-up space (No Parking)
40. Curb. 3' wide planting strip, and 6' wide sidewalk.
41. Existing power pole to remain.
42. Open steel tube fence, 6' high, to match fence at Sawmill Lofts.
43. Existing railroad tracks
44. Open metal fence w/vines
45. Compact parking space, 8' W. x 15' L., typ. Paint "Small Car Space" on pavement.
46. 6' high decorative wall
47. Sidewalk at west edge of diagonal parking curb to be constructed in Phase II
48. New location of power pole
49. Townhome driveway with apron at sidewalk to allow vehicle access
50. 28' public access easement at drive aisle starting east at Bellamah connection and south to 18th Street.
51. Proposed future recycling area.
52. 24' wide access easement at drive aisle; starts south at the 26' drive aisle easement and extends north to the north property line.



VICINITY MAP  
ZONING ATLAS PAGE: H&J-13-Z  
PROJECT NUMBER: 1005354

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 03/16/2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes  No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division  
*Royce Hagan*  
Date: 7/10/07

Water Utility Department  
*Christina Sandoval*  
Date: 7/10/07

Parks and Recreation Department  
*Bradley J. Bryman*  
Date: 6/30/10

City Engineer  
*N/A*  
Date: \_\_\_\_\_

\*Environmental Health Department (conditional)  
*Michael Holton*  
Date: 7/10/07

Solid Waste Management  
*Paul Chan*  
Date: 6/30/10

DRB Chairperson, Planning Department  
*R. Chan*  
Date: 7/10/07

\*Environmental Health, if necessary  
Date: \_\_\_\_\_

APPROVED BY: *R. Chan*  
7-10-07  
Signature & Date  
Site Access

architecture  
interiors  
planning  
engineering

**Dekker  
Perich  
Sabatini**  
7601 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT  
ENGINEER  
**DRB  
SUBMITTAL**  
7/3/07

PROJECT  
**Sawmill Village**  
Bellamah Avenue & 18th Street  
Albuquerque, New Mexico

REVISIONS  
△  
△  
△  
△

DRAWN BY: BB, DM, MS, CM  
REVIEWED BY: CM  
DATE: \_\_\_\_\_  
PROJECT NO: 06124  
DRAWING NAME: \_\_\_\_\_

**SITE DEVELOPMENT  
PLAN FOR  
SUBDIVISION**

SHEET NO. **SDP1**  
1 OF 4

**GENERAL NOTES**

- CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
- REFER TO CIVIL ENGINEER'S UTILITY, EASEMENT AND GRADING PLANS FOR UTILITY LOCATION, EXISTING AND PROPOSED EASEMENTS AND GRADING.
- SEE SITE PLAN FOR DESCRIPTIONS OF HARD ELEMENTS SUCH AS PAVING TYPES, SITE FURNISHINGS AND SITE ELEMENTS.

**IRRIGATION NOTES**

- IRRIGATION DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- INSTALLATION AND MAINTENANCE OF IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME SHALL BE ADJUSTED ACCORDING TO SEASON, LOCATION AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT SOD AND POSSIBLY PERENNIAL GROUNDCOVERS. THESE AREAS SHALL BE IRRIGATED WITH SPRAY EMITTERS APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.
- THE USE OF HIGH WATER USE PLANT MATERIALS SHALL BE LIMITED.
- POINT OF CONNECTION: A CONNECTION TO POTABLE WATER FOR IRRIGATION PURPOSES WILL BE MADE ON THE PROPERTY. VALVE BOXES AND EQUIPMENT SHALL BE SHIELDED FROM VIEW.

**KEYED NOTES**

- PROPERTY LINE
- TREE IN 36 SF TREE GRATE PER GENERAL RES 14-16-3-10, G.1.C.
- BIKE RACK
- DUMPSTER ENCLOSURE
- PROPOSED POND SEE CIVIL ENGINEER'S DRAWINGS.
- FOCAL POINT, SEE SITE PLAN.
- PHASE DELINEATION LINE.

**LANDSCAPE CALCULATIONS**

SITE AREA: 434,554 (PHASE 1: 325,084 SF, PHASE 2: 109,470 SF)  
BUILDING FOOTPRINT: 48,147 SF  
NET SITE AREA: 341,362 SF

REQUIRED LANDSCAPE AREA: 51,204 SF (15% OF NET LOT AREA)  
PROVIDED LANDSCAPE AREA: 71,661 SF (21% OF NET LOT AREA.)  
PHASE 1: 60,239 SF  
PHASE 2: 11,422 SF

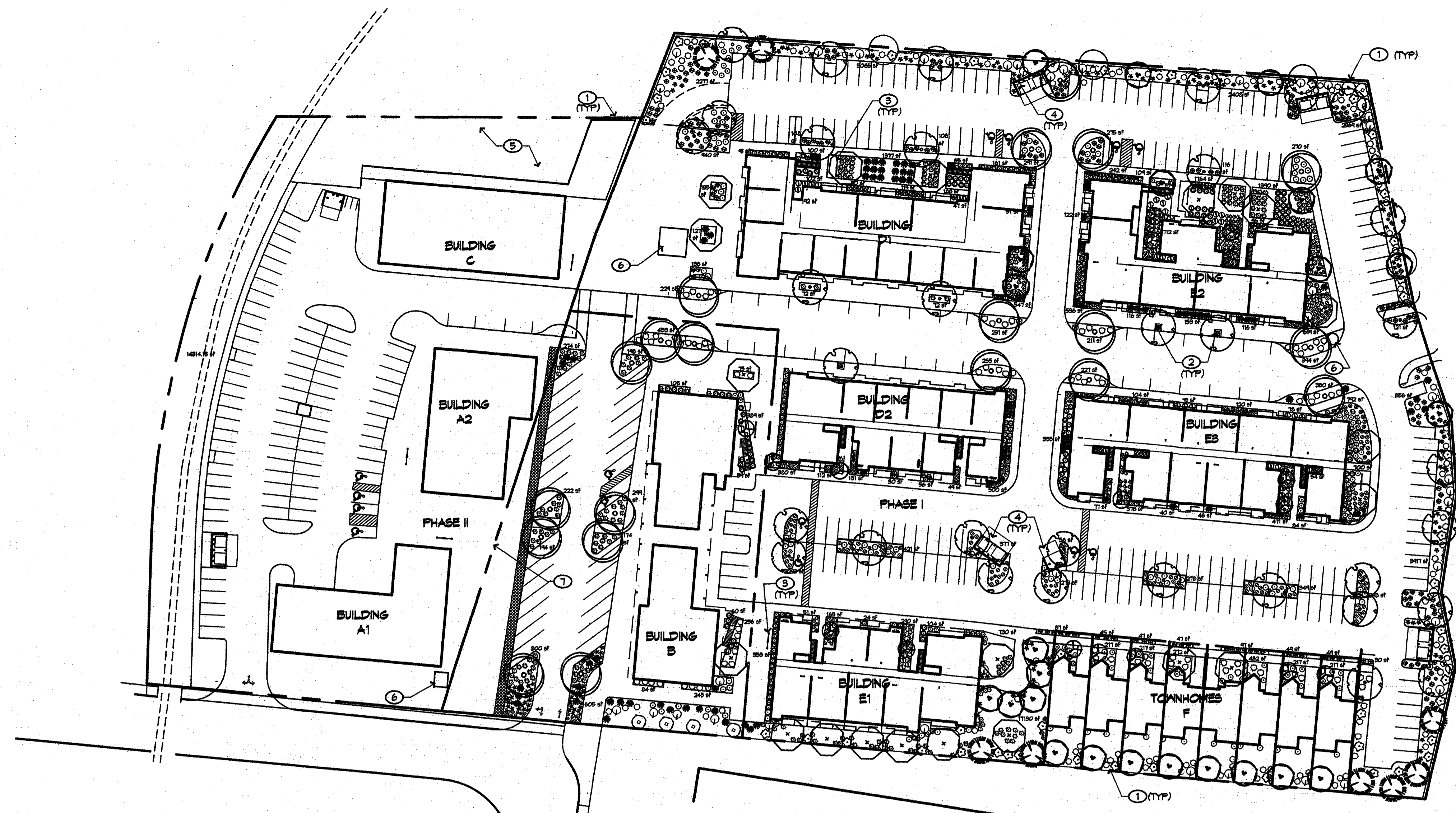
REQUIRED OFF-STREET PARKING TREES: 36 TREES  
PROVIDED OFF-STREET PARKING TREES: 46 TREES  
PHASE 1: 36 TREES  
PHASE 2: 10 TREES (ASSUMED).

REQUIRED MULTI-FAMILY RESIDENTIAL TREES: 65 TREES  
PROVIDED MULTI-FAMILY RESIDENTIAL TREES: 65 TREES  
PHASE 1: 60 TREES  
PHASE 2: 5 TREES (ASSUMED).

PROVIDED HIGH WATER USE TURF AREA: 0 SF (0%)  
ALLOWED HIGH WATER USE TURF AREA: 10,149 SF (20%)

**PLANTING NOTES**

- LANDSCAPE DESIGN:  
THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLIMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO REINFORCE A SENSE OF PLACE WITH PLANTS THAT ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE AND LOCALITY. GRASSES AND ACCENT PLANTS SUCH AS YUCCA AND SOTOL WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. LANDSCAPE DESIGN WILL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE AND 14-16-3-10 OF THE CITY OF ALBUQUERQUE GENERAL REGULATIONS.
- EXISTING PLANT MATERIAL:  
THERE IS SOME LARGE SIZE VEGETATION ON THE SITE, HOWEVER IT IS OF POOR QUALITY AND WILL BE REMOVED. THE SITE HAS BEEN DISTURBED, OTHER EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AT LOW DENSITIES.
- PLANTING INSTALLATION AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER INCLUDING AND REPLACEMENT OF NON-SURVIVING PLANTS WITHIN 90 DAYS.
- LANDSCAPE BEDS SHALL ACHIEVE A MINIMUM 80% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY.
- MULCH: ALL LANDSCAPE AREAS, EXCEPT FOR SODDED AREAS, SHALL BE COVERED WITH 2" OF ROCK MULCH IN ORDER TO MINIMIZE WEED GROWTH, ADD VISUAL INTEREST, AND PROTECT SOIL MOISTURE. COLOR TO BE DETERMINED. SEE PLAN FOR LOCATION.
- CONTRACTOR SHALL VERIFY PLANT COUNTS AND SQUARE FOOTAGES. THIS INFORMATION IS PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM PLAN INDICATIONS, PLAN QUANTITIES SHALL PREVAIL.
- EXACT LOCATION OF PLANT MATERIALS SHALL BE APPROVED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. THE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT PLACEMENT IN THE FIELD. DENSITIES AND OVERALL COUNT OF PLANTS SHALL MEET OR EXCEED THOSE SHOWN ON APPROVED PLAN.
- ORGANIC SOIL BIOLOGY AMENDMENT SHALL BE APPLIED IN ALL TREE AND PLANT PITS.
- PLANTS WITH SPINES WILL BE PLANTED 5' FROM WALKS.



**PLANTING LEGEND**

TREES							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
⊙	27	24" BOX MULTI	DESERT WILLOW	Chilopsis linearis	20.00	25.00	Low Water Use
⊙	18	24" BOX MULTI	DESERT OLIVE	Forestiera neomexicana	12.00	12.00	Medium Water Use
⊙	20	2"-Cal @ 9'x4'	CHINESE PISTACHE	Pistacia chinensis	30.00	30.00	Medium Water Use
⊙	22	24"-Box @ 9'x4'	TEXAS RED OAK	Quercus texana	25.00	30.00	Medium Water Use
⊙	36	2"-Cal @ 9'x4'	PURPLE ROBE LOCUST	Robinia pseudoacacia "Purple Robe"	35.00	25.00	Medium Water Use
⊙	8	24"-Box @ 9'x4'	AFGHAN PINE	Pinus eiderica	50.00	20.00	Low Water Use
Ground Cover/Grasses/Perennials							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
⊙	156	1-Gal @ 6'x6"	PRAIRIE SAGE	Artemisia ludoviciana	1.00	2.50	Low Water Use
⊙	61	1-Gal @ 9'x6"	ARP ROSEMARY	Rosmarinus officinalis 'Arp'	3.50	3.50	Low Water Use
⊙	166	1-Gal @ 1X1'	DWARF MAIDEN GRASS	Miscanthus sinensis 'Morning Light'	4.00	3.00	Medium Water Use
⊙	571	1-Gal @ 9'x6"	REGAL MIST GRASS	Muhlenbergia capillaris 'Regal Mist'	3.50	3.00	Medium Water Use
⊙	98	1-Gal @ 1X1'	DEER GRASS	Muhlenbergia rigens	3.00	4.00	Medium Water Use
⊙	86	1-Gal @ 9'x6"	MEXICAN HAT	Ratibida columnaris	2.50	2.00	Low Water Use
⊙	83	1-Gal @ 9'x6"	CREEPING MAHONIA	Mahonia repens	1.00	2.00	Medium Water Use
⊙	207	1-Gal @ 1X1'	ALKALI SACATON	Sporobolus airoides	2.00	3.00	Low Water Use
⊙	160	1-Gal @ 9'x6"	MOONSHINE YARRROW	Achillea x 'Moonshine'	2.00	1.50	Low Water Use
⊙	175	1-Gal @ 1X1'	BLUE AVENA GRASS	Helictotrichon sempervirens	1.50	3.00	Medium Water Use
Shrub							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
⊙	48	1-Gal @ 1X1'	FERNBUSH	Chamaebatiaria millefolium	8.00	6.00	Low Water Use
⊙	34	1-Gal @ 9'x9"	DWARF CHAMISA	Chrysothamnus depressus	1.50	2.00	Low Water Use
⊙	8	1-Gal @ 1X1'	SILVERBERRY	Elaeagnus pungens	12.00	15.00	Low Water Use
⊙	94	1-Gal @ 9'x6"	TURPENTINE BUSH	Ericameria laricifolia	3.00	4.00	Low Water Use
⊙	47	1-Gal @ 1X1'	APACHE PLUME	Fallugia paradoxa	5.00	6.00	Low Water Use
⊙	48	1-Gal @ 1X1'	ISANTI REDTING DOGWOOD	Cornus sericea 'Isanti'	4.00	5.00	Medium Water Use
Succulent							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
⊙	48	1-Gal @ 6'x6"	LECHUGILLA	Agave lechugilla	1.00	3.00	Low Water Use
⊙	75	1-Gal @ 9'x6"	SOTOL	Dasylirion wheeleri	5.00	5.00	Low Water Use
⊙	108	1-Gal @ 2 PAD MIN	DESERT FRICKLY PEAR	Opuntia engelmannii	4.00	5.00	Low Water Use
⊙	105	1-Gal @ 12'x12"	FLAINS YUCCA	Yucca glauca	2.00	3.00	Low Water Use
Vines							
SYMBOL	EST. QTY.	INSTALLED SIZE	COMMON NAME	Botanical name	Height	Width	Water requirements
⊙	24	1-Gal @ 6'x6"	CORAL HONEYSUCKLE	Lonicera sempervirens	8.00	10.00	Medium Water Use

# Design Standards for Planned Residential Development (PRD)

## Overall Design Theme and Land use Concept:

The purpose of these design standards is to establish a development framework for the area shown on the site development plan for subdivision. These design standards will create an attractive and innovative development that fosters a mixed-use community for residents, artisans and other small business owners, and retailers and their clients. The new community respects the history of the site (former lumber yard), the neighborhood (historic Sawmill and Old Town), and the City. It also allows for the privacy and well-being of the residents and other users. This mix of uses is unique to the City. These standards are complementary to the existing and new design of adjacent properties.

The housing will be affordable rental, and for-sale condominiums and townhome units (an agreement between Sawmill Community Land Trust & the developer allows for up to 20% of condominiums and townhomes to be affordable units). The Active Spaces will be short-term leased to artisans and incubator companies. Service-oriented Retail spaces might be a health club, management leasing office, and other small businesses. Phase II is envisioned with a restaurant with a small brewery, other retailers, and more Active Spaces with apartments above. Green and sustainable building practices shall be incorporated: passive interception of surface water in parking lot landscape surfaces, xeric planting, directing roof water from downspouts to landscape areas when feasible, Energy Star appliances, and some materials with recycled content.

The sawdust hoppers from the site will be relocated and used as site monuments (see 14-6-3-3 in the Zoning Code). The largest hopper is approximately 75' tall, including its sawdust attachments. Site monuments shall comply with regulations applicable to signs within 40 feet of residential zones and to signs in the O-1 zone, specifically:

- the monuments shall not be on the public right-of-way;
- no part of the monument shall move, flash, or rotate;
- any illumination shall comply with the City's Dark Sky requirements;
- no illuminated portion of the monument shall have a luminance greater than 200 footcandle at night nor change its illumination more than once an hour.

Various plazas serve both residents and visitors. Semi-private spaces for the residents are shown in the inner areas of the site and residents have private patios, courtyards, balconies, decks or roof decks. Salvage of steel and metal from the site's previous life as a lumber yard will be used on site as signage, markers, and sculpture.

All units that face property zoned industrial shall have sound reducing insulation and windows.

The Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code shall approve minor amendments to this Site Plan for Subdivision. The Environmental Planning Commission shall approve major amendments to this Site Development Plan for Subdivision. Phase II site development plans for building permit are delegated to the DRB for approval.

## Off-Street Parking:

Off-street parking space shall be provided in compliance with other similar mixed-use and infill developments. The site is designed as a shared parking environment for both residential and commercial uses. Parking space design is in compliance with regulation 14-16-3-1. Each townhome has a single-car garage and driveway parking for a second car. See SDP1 for Parking Calculation.

The guidelines also apply to disabled parking, and motorcycle and bicycle parking. Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided. Bicycle racks shall be constructed of metal and finished in colors harmonious with those of the buildings on site.

## Architectural Design Guidelines:

### Landscape

The landscape design for Phase I and Phase II of the project will strive to engage the users by providing a welcoming environment for the residents and public. Through the use of xeric plants outdoor spaces will have seasonal color, texture and scale and will compliment the architecture. Trees will be used to provide shade in pedestrian areas, highlight intersections and establish hierarchy of streets. Accent plants will be used to emphasize entries and provide sculptural interest. The remainder of the plant palette will be a mixture of shrubs, ornamental grasses and groundcovers. The landscape design will comply with the intent of the city of Albuquerque Water Conservation, Landscaping and Water Waste ordinance and 14-16-3-10 of the city of Albuquerque General Regulations.

A landscape plan for Phase II shall be included with the (first) site development plan for building permit of a building on the Phase II property, reflecting the calculations, plant palette and design theme of the approved Phase I landscape plan.

### Exterior Wall Materials and Colors

Exterior wall materials reflect the vernacular in the Sawmill neighborhood, the previous lumber mill and its industrial buildings and geometric forms, and a modern blend of both.

Articulation of massing so as not to produce a long and flat building facade shall be considered and encouraged. Contemporary colonnades and portals provide shade and cover to the occupant and pedestrian and enrich the building planes with light changes. They further promote pedestrian site access and a place for people to work and socialize. The possible salvage of steel building frames could provide some of the columns and recall the former use of the site.

Stucco wall finish system (or synthetic version) reinforces the vernacular architectural expression as do metal wall panels, corrugated steel, rusted steel, and stained cement panels. Exterior wall color shall reflect a consistent overall palette of earth and sky-based tones, both pale and saturated with color, as is the palette from nature.

In Phase I the apartment buildings (D and E) will use a stucco wall finish system and metal wall panels in addition to metal shading devices. Color will be medium and deep earth tones, warm gray, and the metal will be silver with another accent color.

Building B will include red oxide painted metal shading devices. Structural steel columns that comprise the arcade along along the east and west face of the first floor retail spaces will also be red oxide color. Stucco colors of raw sienna, terracotta, indigo blue, and burnt ochre work in conjunction with the grouping of the building's different masses. Stairs and balconies have steel railings. They are in keeping with the industrial reference to the Sawmill district as are the aluminum framed windows and doors.

The townhomes will incorporate two stucco colors, light ochre and medium grey green along with terracotta stained cement board panels that will break up the facade texturally as well.

Active Spaces are shown with aluminum framed overhead sectional doors or large windows. The purpose of these is to open those spaces to the public either by an artisan that may want to open an overhead door to share his or her craft or via a large window to provide both views in and out. (Overhead doors are not provided for vehicle access.)

Exterior detail trim such as shade canopies and louvers, trellises, and open railings shall be consistently detailed for each building to complement the overall architecture.

Phase II buildings will follow the same palette of materials and colors as Phase I.

### Roof materials and colors

Rooflines shall be reminiscent of the turn of the century neighborhood roofs, including the simple pitches of the industrial ghosts, or clean line parapets. Apartment buildings will have low heat absorbing "flat" roofs hidden behind parapets. The retail-condos building will have a low slope roof and parapets all around. The roof will be a low heat absorbing single ply material in a light color that will help reduce heat gain in the building. Roofs on the townhomes will be low heat absorbing single ply roof material that will help reduce heat gain in the homes. Some townhome roofs are sloped (pitch ranges from 2:12 - 5:12). Phase II buildings will follow the same range of roof lines, materials and colors as Phase I.

### Site Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Fixtures shall comply with the City of Albuquerque's Dark Skies requirements.
- The height of street lights and parking area lights shall be kept to the minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Perimeter parking (north and northeast in Phase I, west perimeter in Phase II): 25' high maximum pole with cutoff features provided that the lighting fixture does not directly shine on any residential premises.
- Other parking: 18' high maximum pole
- Buildings and adjacent pedestrian areas: Building mounted fixtures, bollards.

### Placement of Mechanical Units

Care shall be made to hide the view of exposed mechanical units, risers, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through free-standing dense evergreen foliage or on "green walls". Roof mounted units shall be screened from public view through the use of parapet walls or roof screens that are architecturally coordinated with the building they serve.

### Signage

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and compliments the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Signs identifying the principal use of a building may be free-standing or wall-mounted. Signs identifying the use of an active or other commercial space within the building shall be wall-mounted or banner-type sign that projects no more than half of the adjacent sidewalk width.
- The design of the interior directional signs shall be coordinated with the design of the site signage.
- No illuminated plastic panel signs are allowed.

### Screen Walls and Fences

Site fencing will be designed to comply with section 14-6-3-19 in the Zoning Code to be harmonious with the development & adjacent properties.

"Green walls" - 6' high open metal fencing with plant material growing on or adjacent - will be used in all possible locations including the East and North site perimeter. The color will be neutral so as to harmonize with the plant material. Fencing along the Railroad line will be similar to the adjacent Sawmill Lofts - 6' high open metal picket painted in a neutral color. At the extended plaza area at the pond, similar material and color will be used as guardrails.

Patio walls shall reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of metal fencing (rail or solid) to articulate semi-private patios and balconies. Patio walls shall not exceed 5'. Color shall be harmonious with the adjacent building.

Townhome yard separation walls will be a composite of cmu wall with stained cement board in a metal frame above the cmu. It will be stained and painted terracotta which is also used on the homes. Back yard walls shall not exceed 6'.

The west, south, and east sides of the detention pond will be fenced to the property line with a steel open rail fence or guardrail. These fences and guardrails will be painted a neutral color.

The decorative wall on the north side of the plaza will be constructed, in part, of industrial salvage materials from the site. Other possible materials are metal, cmu (not standard grey), and stucco. This wall will serve as the backdrop for the main gathering space and will recall the former life of the site.

The effective use of screening devices for utilitarian spaces, such as refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be placed away from public rights of way to the extent practical. Materials shall be chosen from cmu (not standard grey), stucco, and metal in colors harmonious with the adjacent buildings.

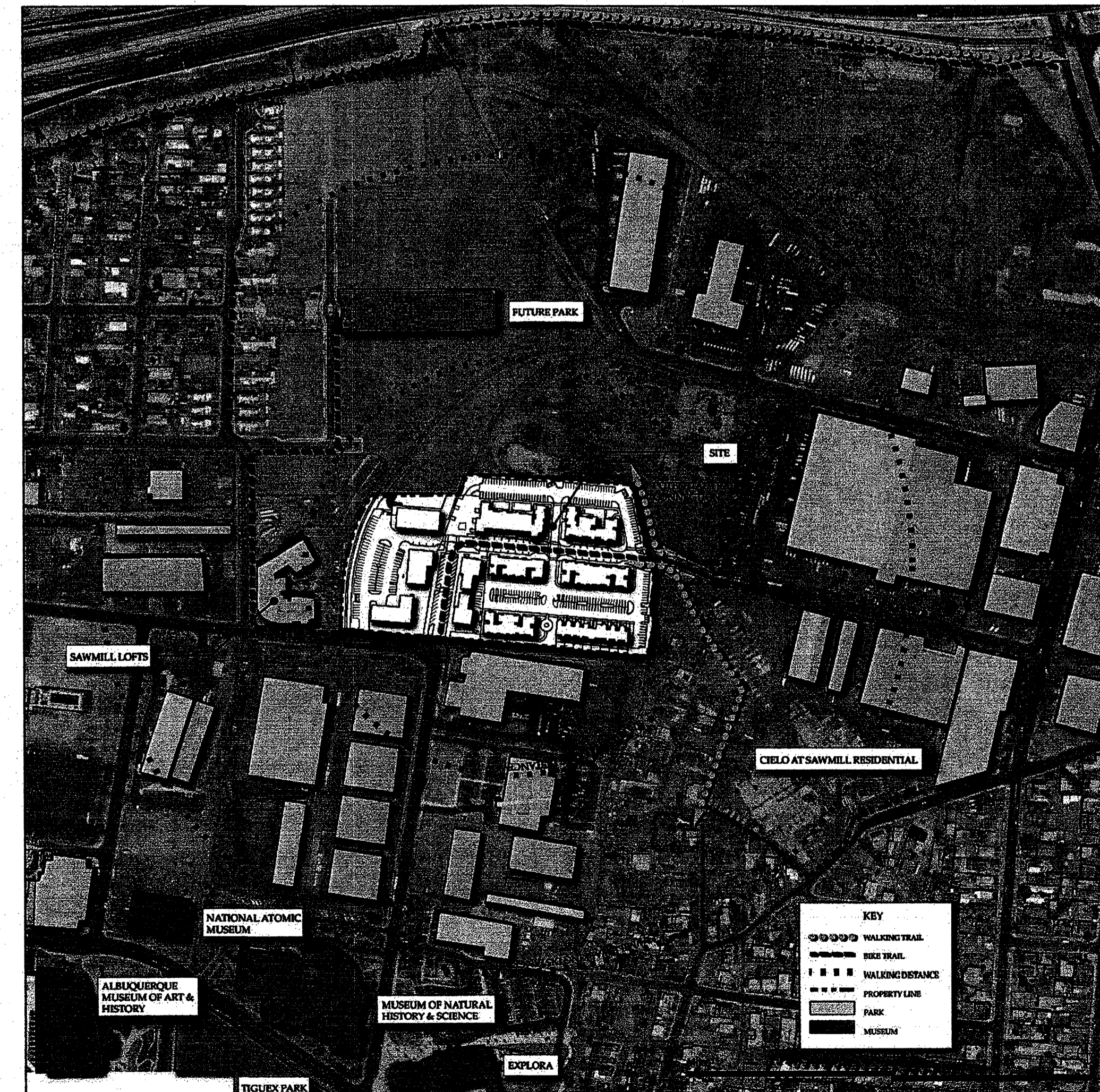
### Trails and Sidewalks

Public and private walks provide important connectivity within the project as well as in and out of the site.

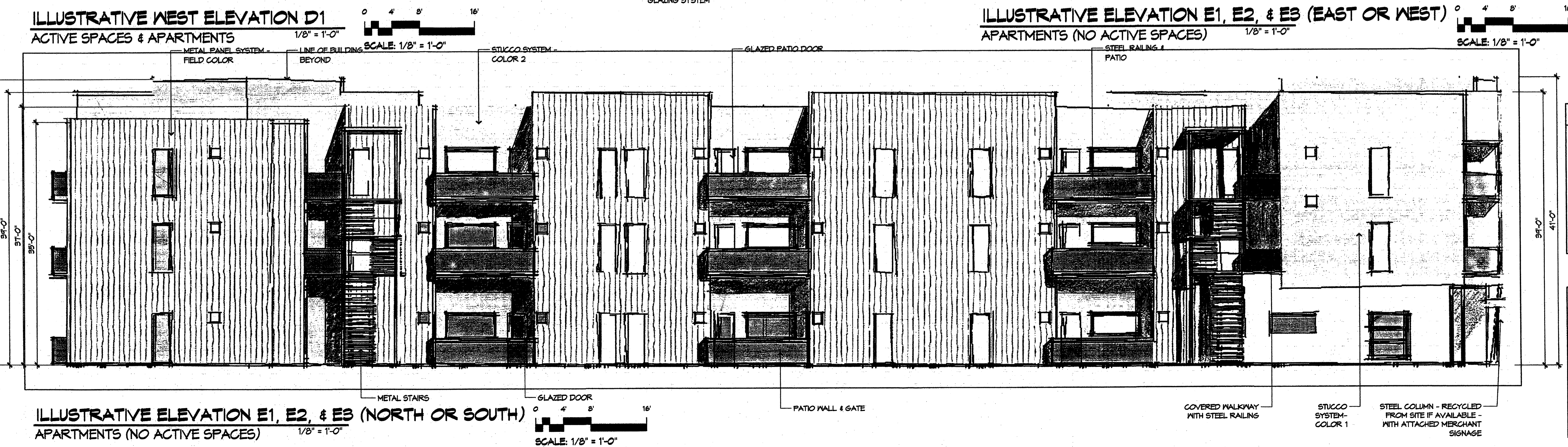
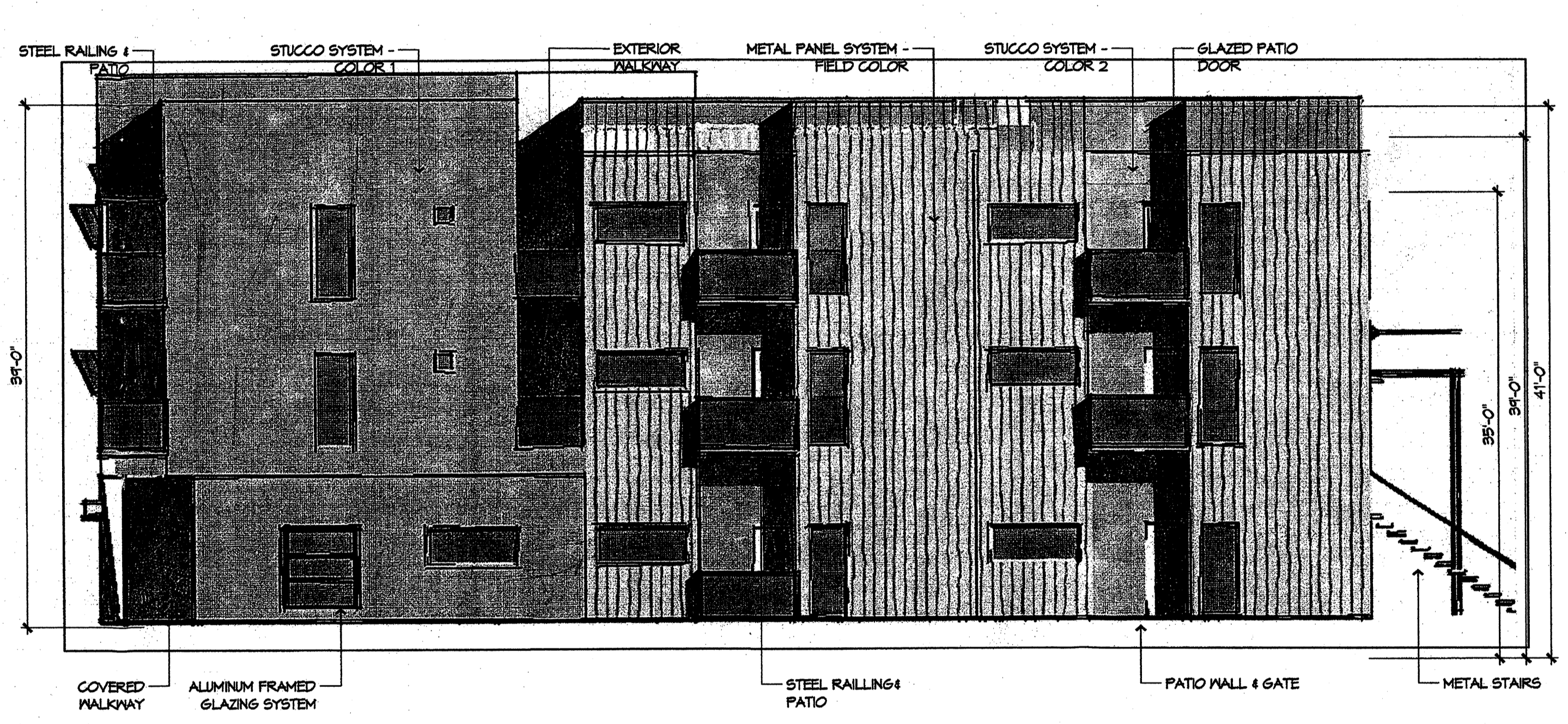
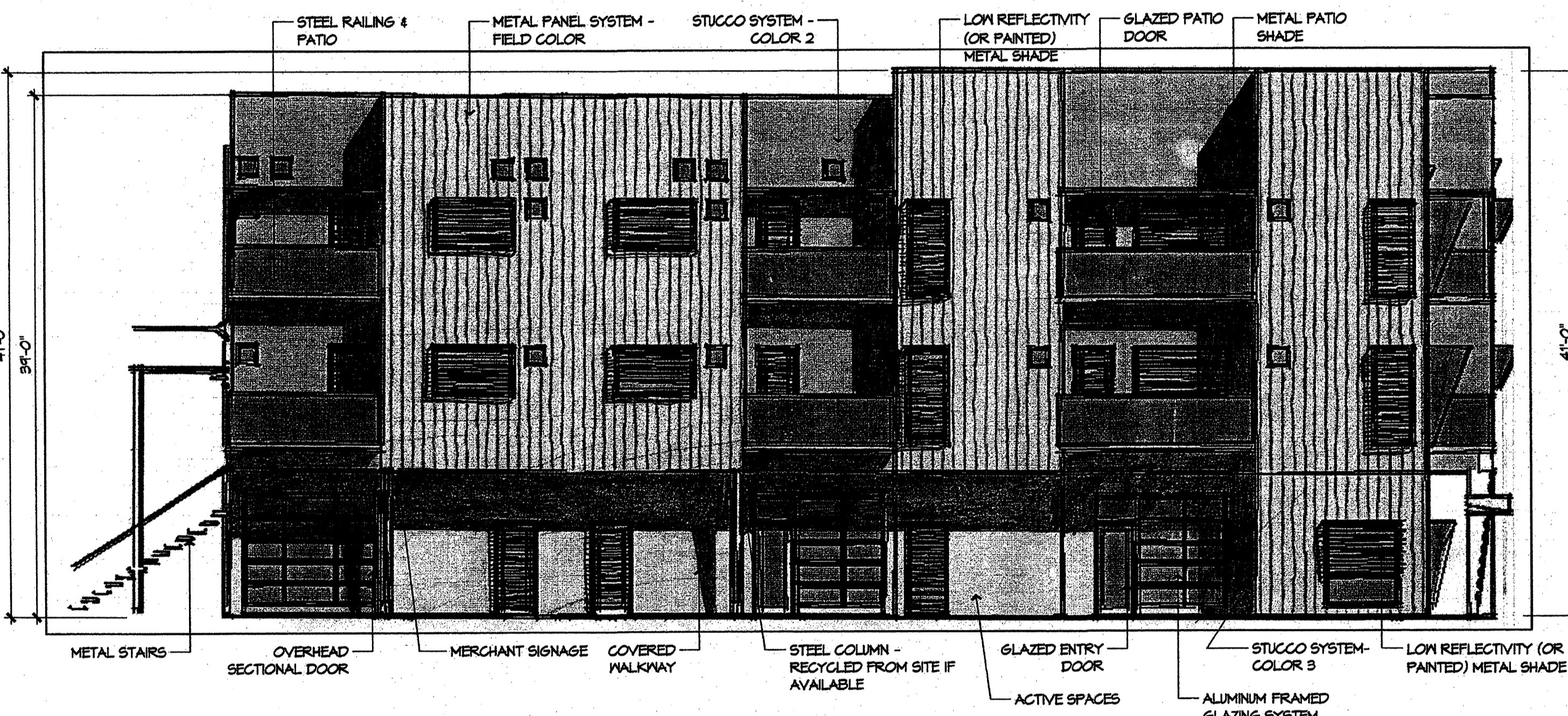
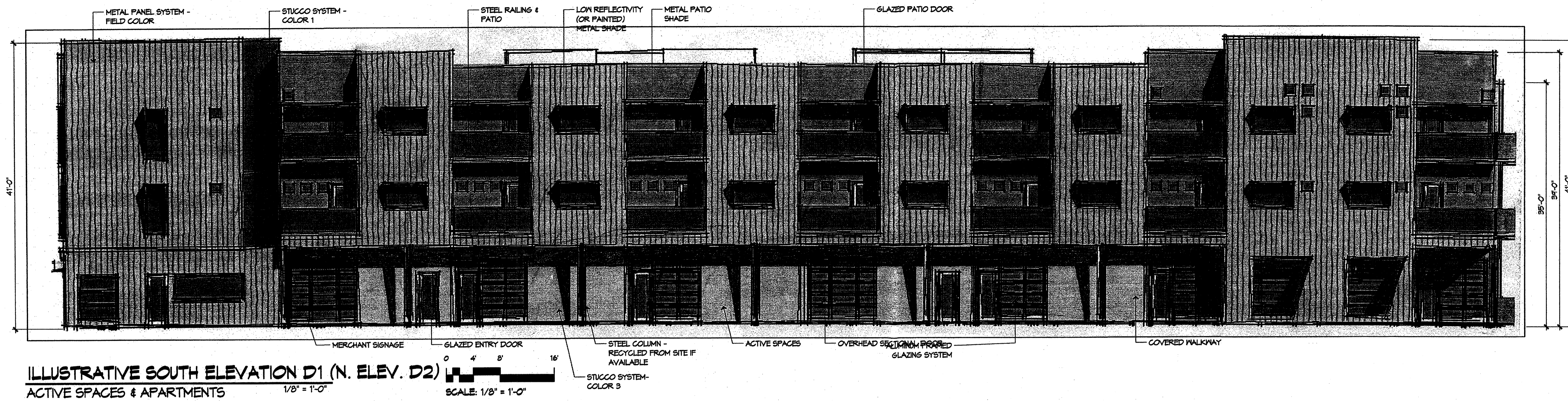
- The eastern edge of the site will join a pedestrian path providing for both off and on-site connectivity to recreation and facilities. All private trails and paths shall be soft surface, with a minimum of 5'-0" width. The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.

### Public Open Space

An important design of this mixed-use community is the inclusion of plazas: opportunities for residents to meet their neighbors and visitors to the site. The plazas are designed to provide quiet space in the shade for an individual, for a group listening to a local musician, and for a community-wide growers' market. The public areas are varied in size and character and will be suited to the same variety of interests. Open plazas and commercial areas shall have seating & shade covering a minimum of 25% of the area per 14-16-3-18 (c) (4) in the zoning code.



Context and Pedestrian Connections



COLOR LEGEND	
COLOR 1 - MEDIUM EARTH TONE	△
COLOR 2 - DEEP EARTH TONE	△
COLOR 3 - WARM GRAY	△
FIELD COLOR METAL PANEL SYSTEM - SILVER (LIKE GALVALUME). SECOND METAL COLOR USED AS MINOR ACCENT.	
NOTE: EACH BUILDING HAS A MAXIMUM OF FOUR WALL COLORS.	
REVISIONS	
	△
	△
	△
	△
DRAWN BY: BB, DM, CM	
REVIEWED BY: CM	
DATE: _____	
PROJECT NO.: 06124	
DRAWING NAME: ELEVATIONS - D4E BUILDINGS	
SHEET NO.: SDP4	

APARTMENT UNIT SIZES (APPROXIMATE)	
1 BEDROOM, 1 BATH:	650-750 SF
2 BEDROOM, 1 BATH:	850-950 SF
2 BEDROOM, 2 BATH:	950-1050 SF

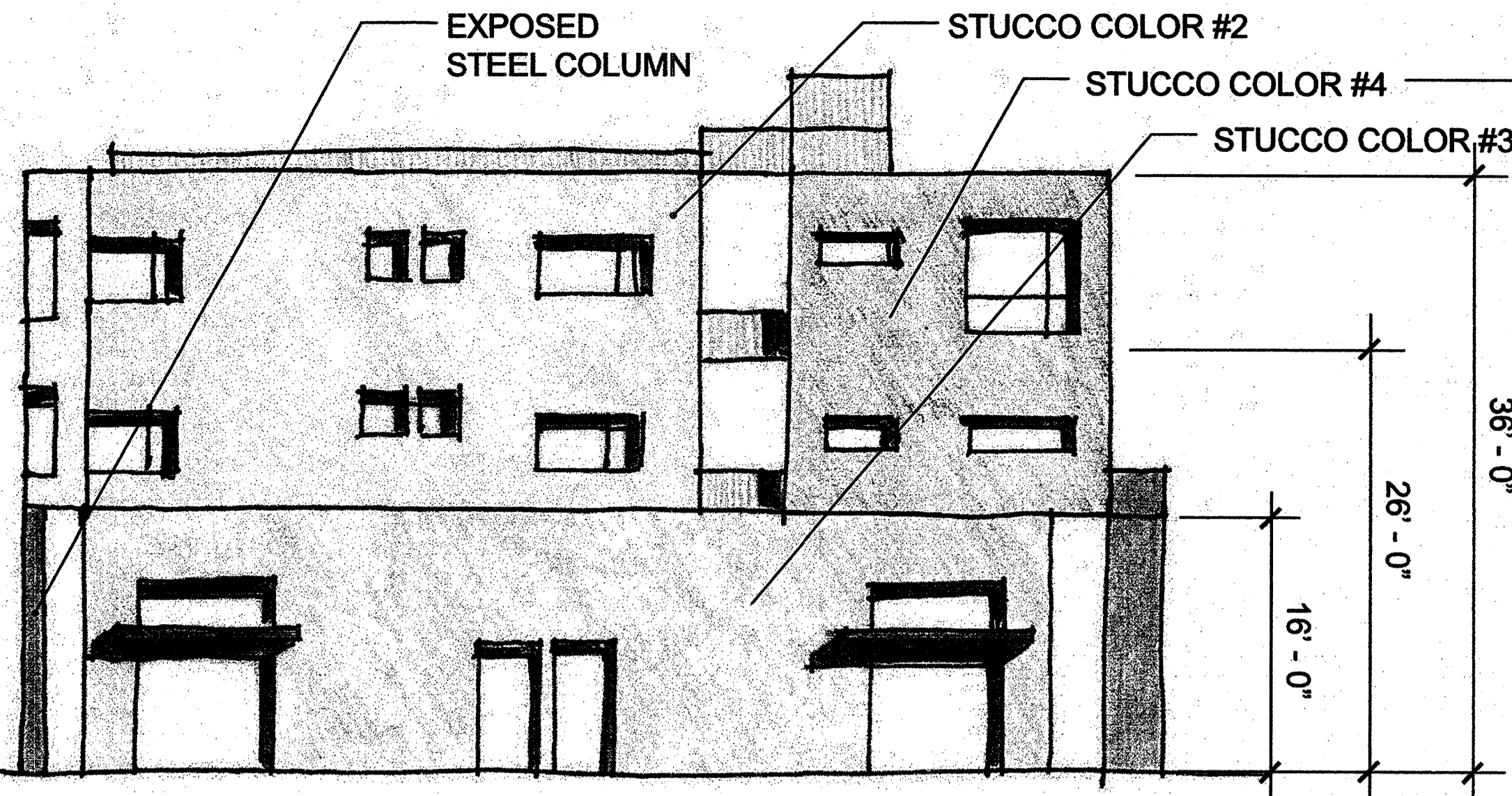
ACTIVE SPACE SIZES (APPROXIMATE)	
ACTIVE SPACES RANGE FROM 950-1050 SF	

**BUILDING B - SQUARE FOOTAGE**

Commercial/ Retail	+/- 8,950 SF
Residential Level 2	+/- 11,500 SF
Residential Level 3	+/- 11,500 SF
<b>Total</b>	<b>+/- 31,950 SF</b>

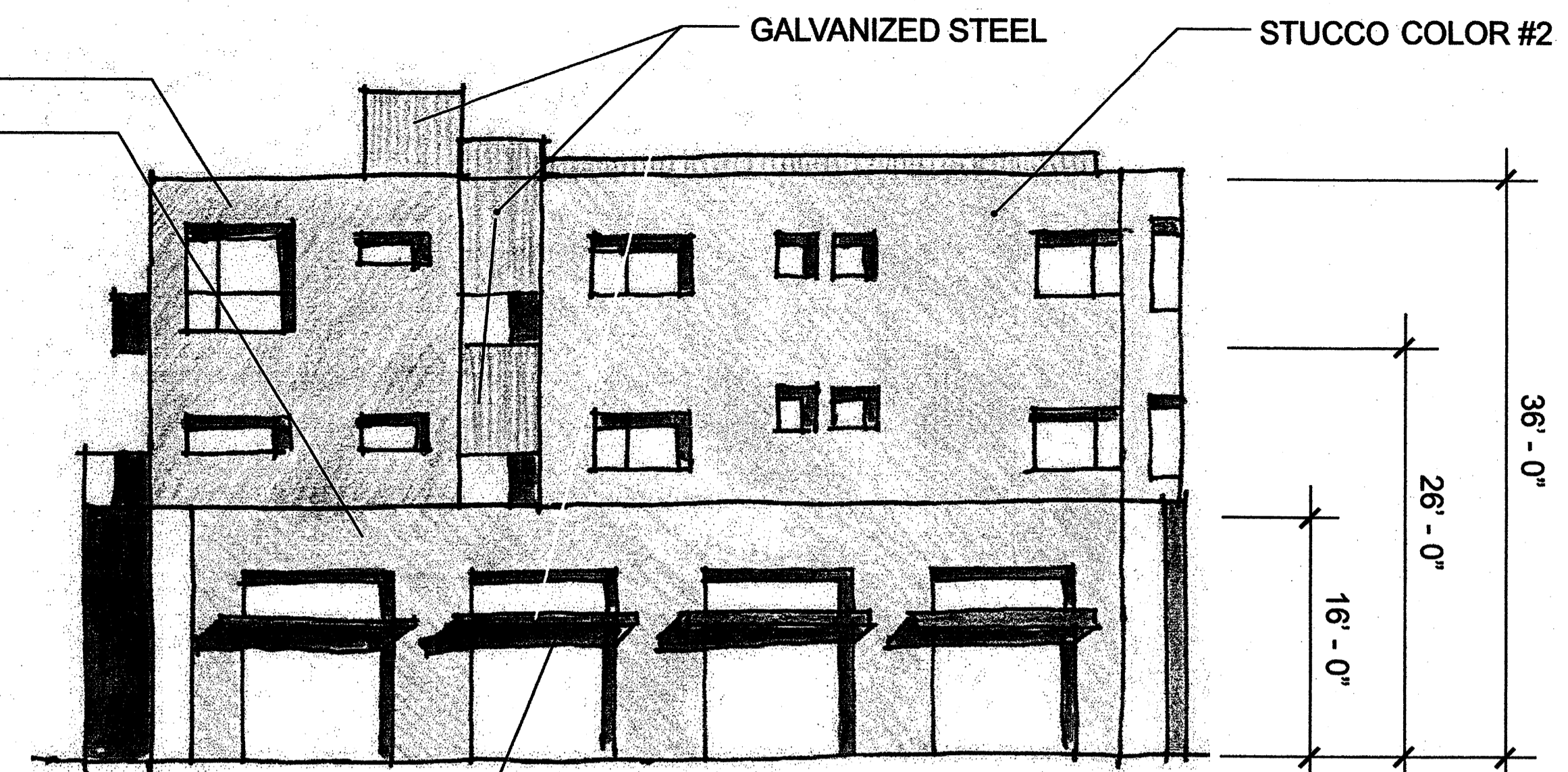
**FINISHES**

Stucco Color #1:	Raw Sienna
Stucco Color #2:	Burnt Ochre
Stucco Color #3:	Terracotta
Stucco Color #4:	Indigo Blue
Exposed Steel:	Rust / Red Oxide
Windows:	Aluminum Finish



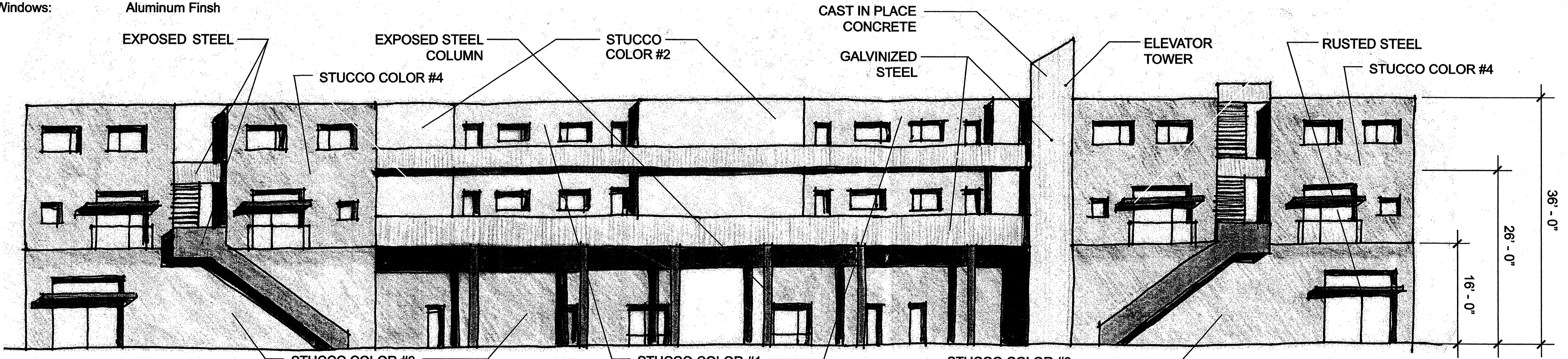
**ILLUSTRATIVE SOUTH ELEVATION**  
COMMERCIAL / RETAIL-CONDOS

SCALE: 1/8" = 1'-0"



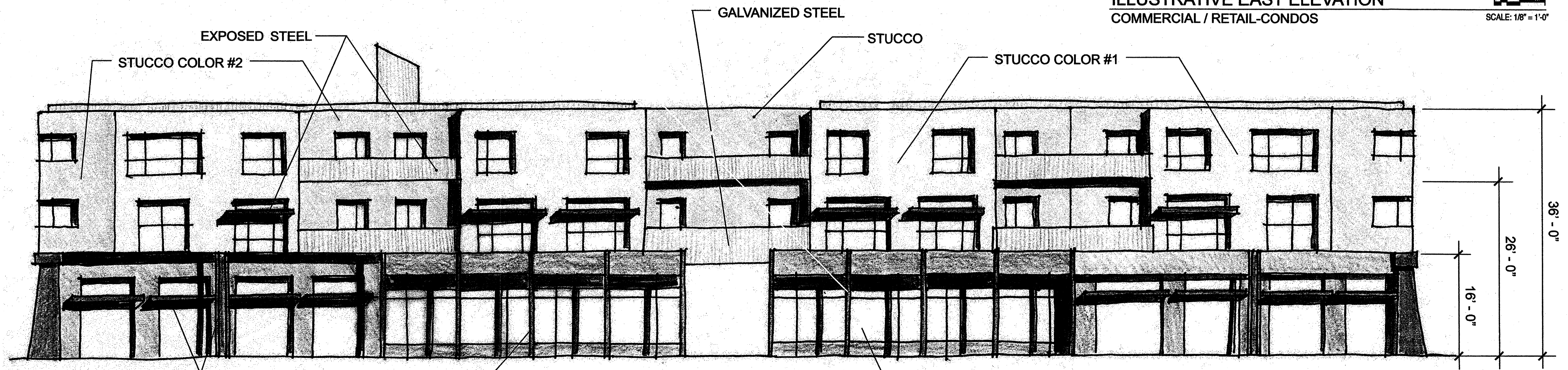
**ILLUSTRATIVE NORTH ELEVATION**  
COMMERCIAL / RETAIL-CONDOS

SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE EAST ELEVATION**  
COMMERCIAL / RETAIL-CONDOS

SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE WEST ELEVATION**  
COMMERCIAL / RETAIL-CONDOS

SCALE: 1/8" = 1'-0"

**GARRETT SMITH LTD**  
DESIGN, ARCHITECTURE & DEVELOPMENT  
514 CENTRAL SW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
505/766-6968  
FAX/243-4508

**GARRETT SMITH LTD**  
DESIGN, ARCHITECTURE & DEVELOPMENT  
ARCHITECT

ENGINEER

DRB  
SUBMITTAL  
7/03/07

PROJECT

**Sawmill Village**  
Bellamah Avenue & 18th Street  
Albuquerque, New Mexico

REVISIONS

△	
△	
△	
△	

DRAWN BY	
REVIEWED BY	
DATE	
PROJECT NO.	06124
DRAWING NAME	

ELEVATIONS  
BUILDING B

SHEET NO.  
SPD-5  
5 OF 9

**FINISHES**

- Stucco Color #1: Light Ochre
- Stucco Color #2: Medium Grey-Green
- Stained Cement Panel: Terracotta

**Backyard Fencing**

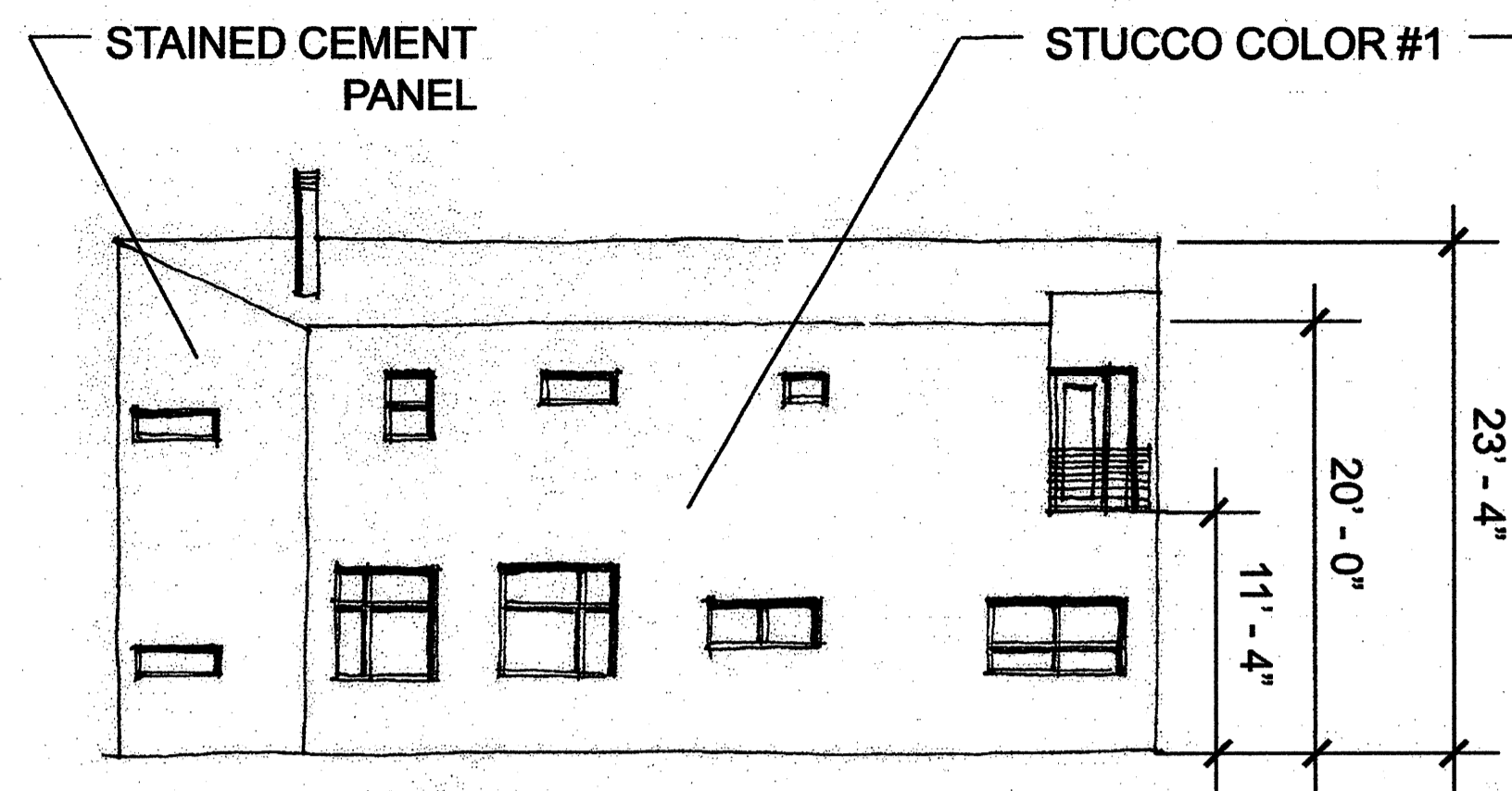
2' CMU wall with stained cement board panel in metal tubular steel frame painted terracotta

**Roof**

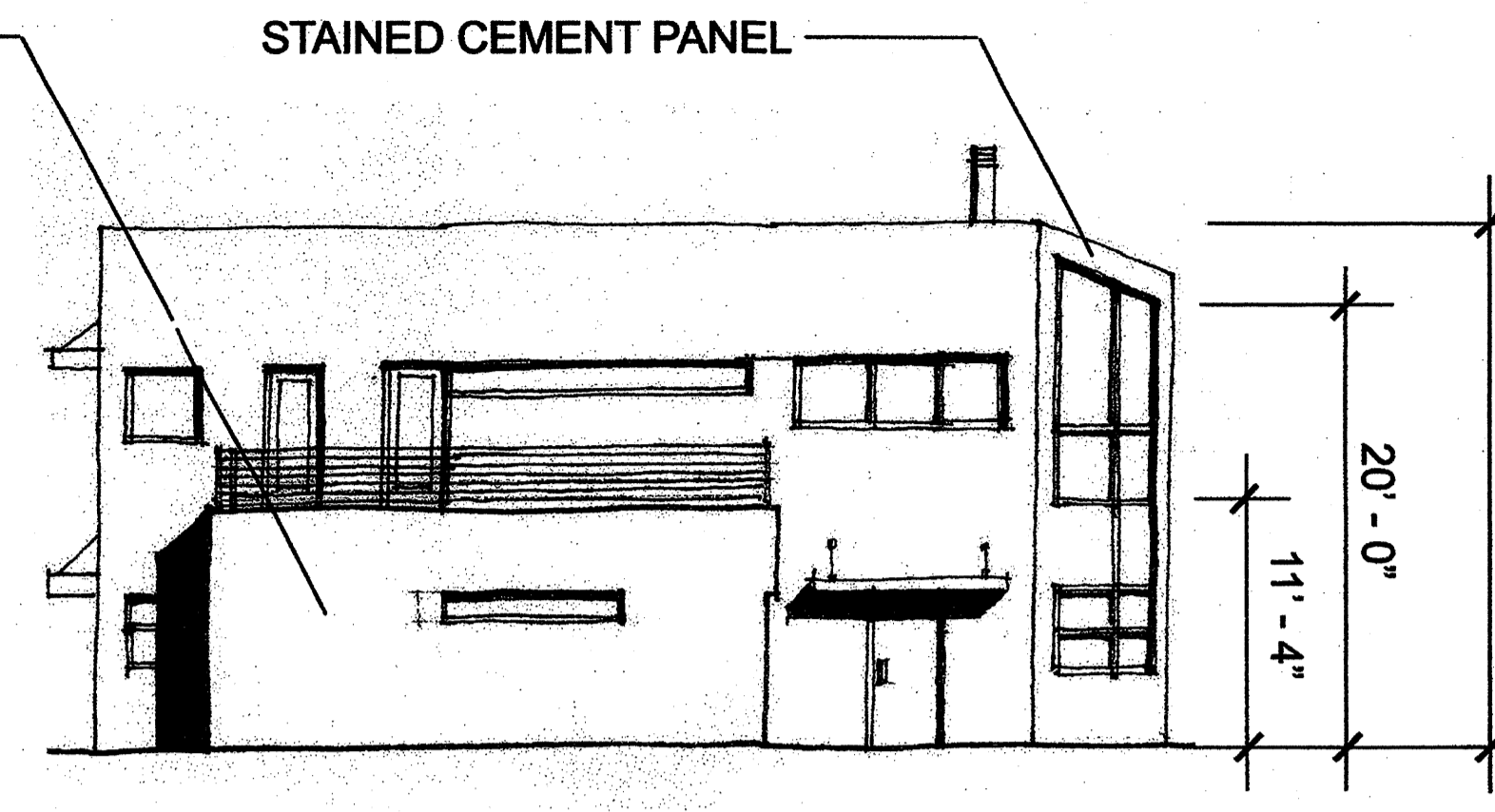
Sloping and flat roofs to be off white single ply membrane

**BUILDING F - SQUARE FOOTAGE**

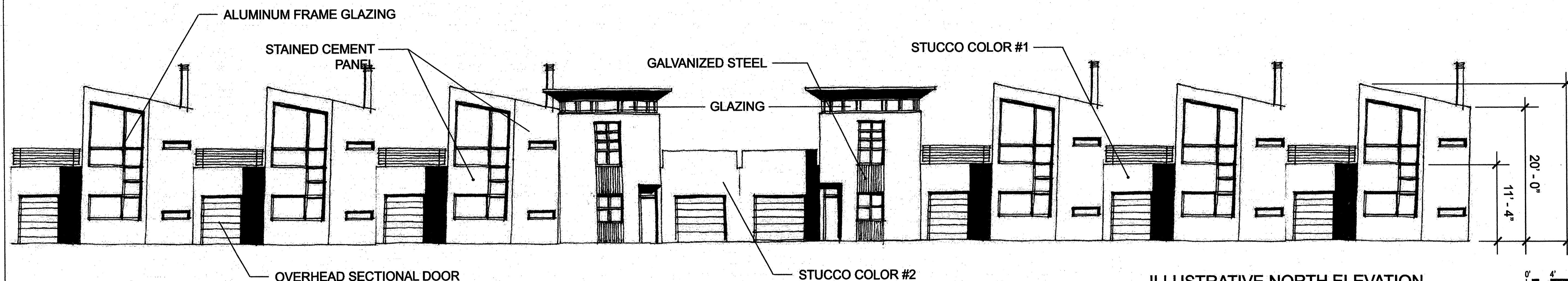
Eight Townhomes	+/-1550 SF
<b>Total</b>	<b>+/- 12,400 SF</b>



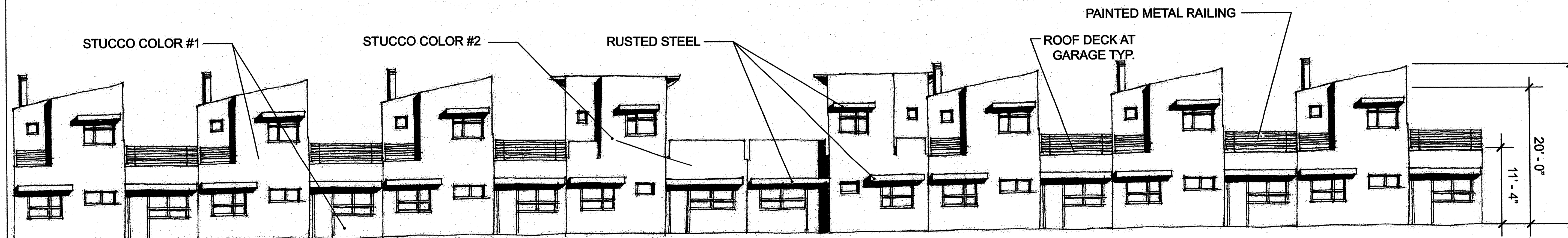
**ILLUSTRATIVE WEST ELEVATION**  
TOWNHOMES



**ILLUSTRATIVE EAST ELEVATION**  
TOWNHOMES



**ILLUSTRATIVE NORTH ELEVATION**  
TOWNHOMES



**ILLUSTRATIVE SOUTH ELEVATION**  
TOWNHOMES

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NEW MEXICO  
8 7 1 0 2  
505/766-8968  
FAX/243-4508

GARRETT SMITH LTD  
DESIGN ARCHITECTURE & DEVELOPMENT

ARCHITECT

ENGINEER

DRB  
SUBMITTAL

6/15/07  
7/3/07

PROJECT

**Sawmill Village**  
**Bellamah Avenue & 18th Street**  
Albuquerque, New Mexico

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE

PROJECT NO.

06124

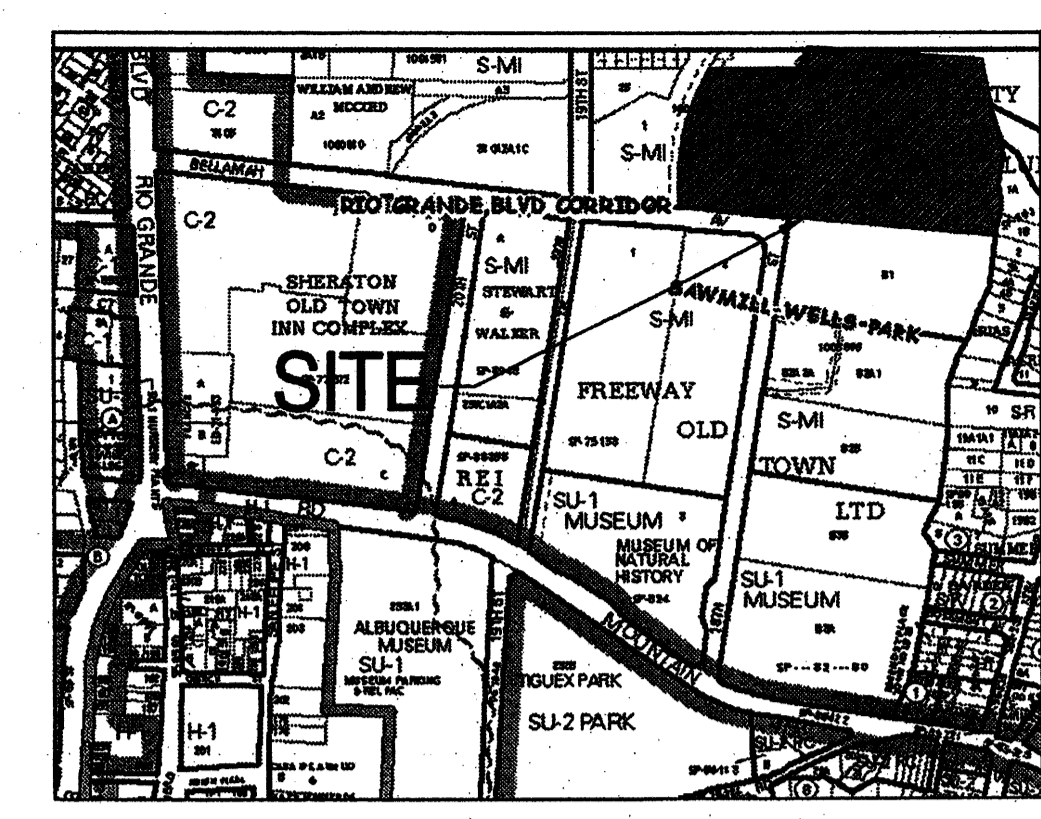
DRAWING NAME

**ELEVATIONS**  
**BUILDING F**

SHEET NO.

SPD-6

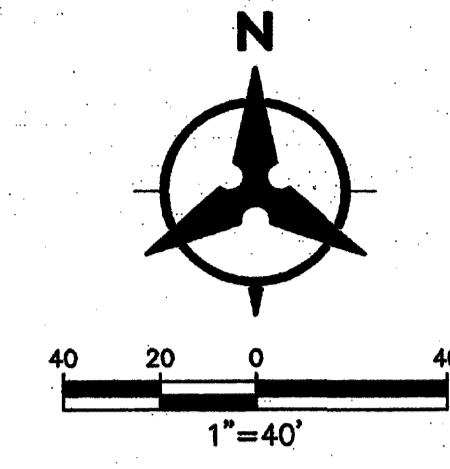
6 OF 9



VICINITY MAP  
ZONE ATLAS PAGE J-13-Z

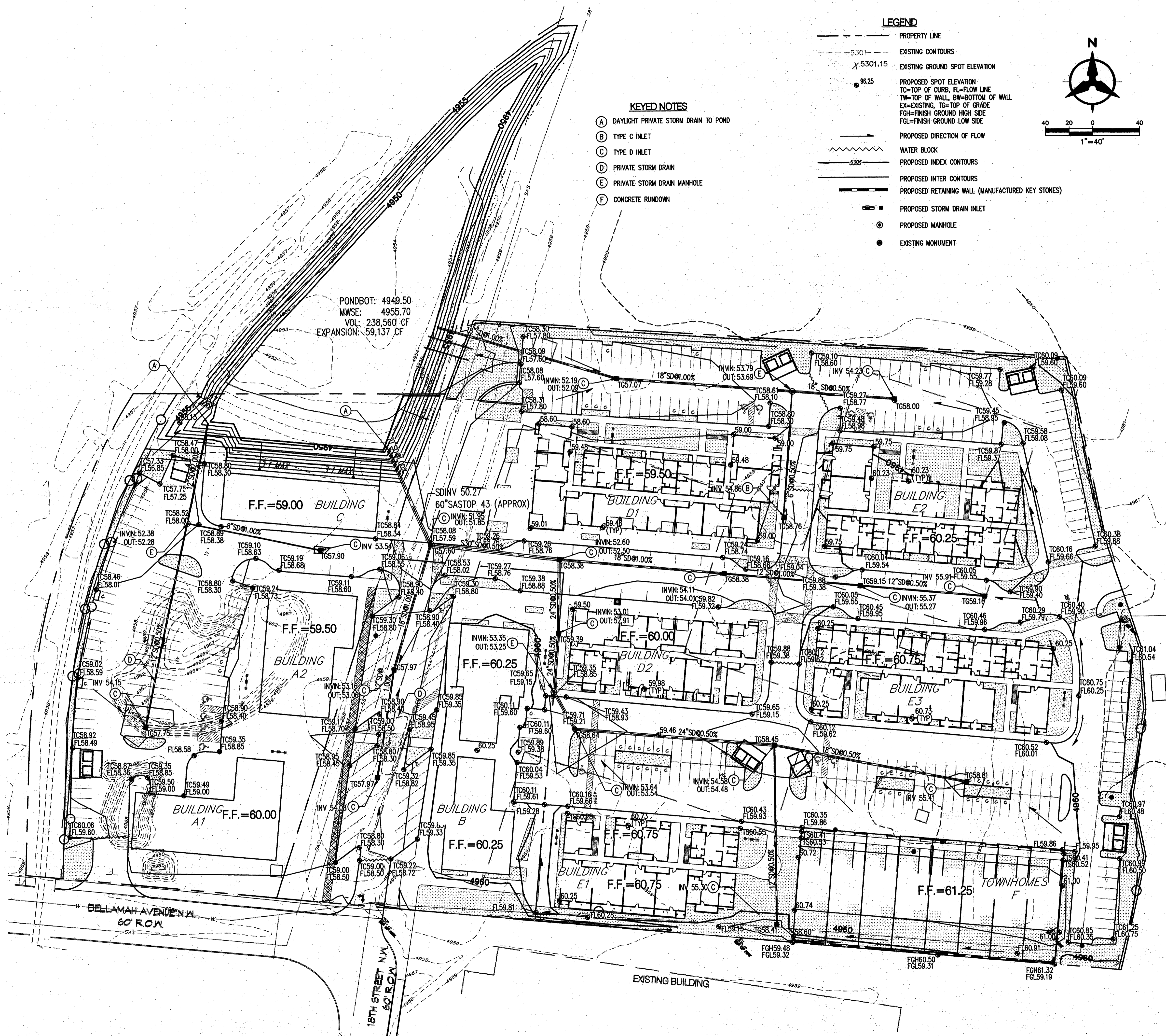
**LEGEND**

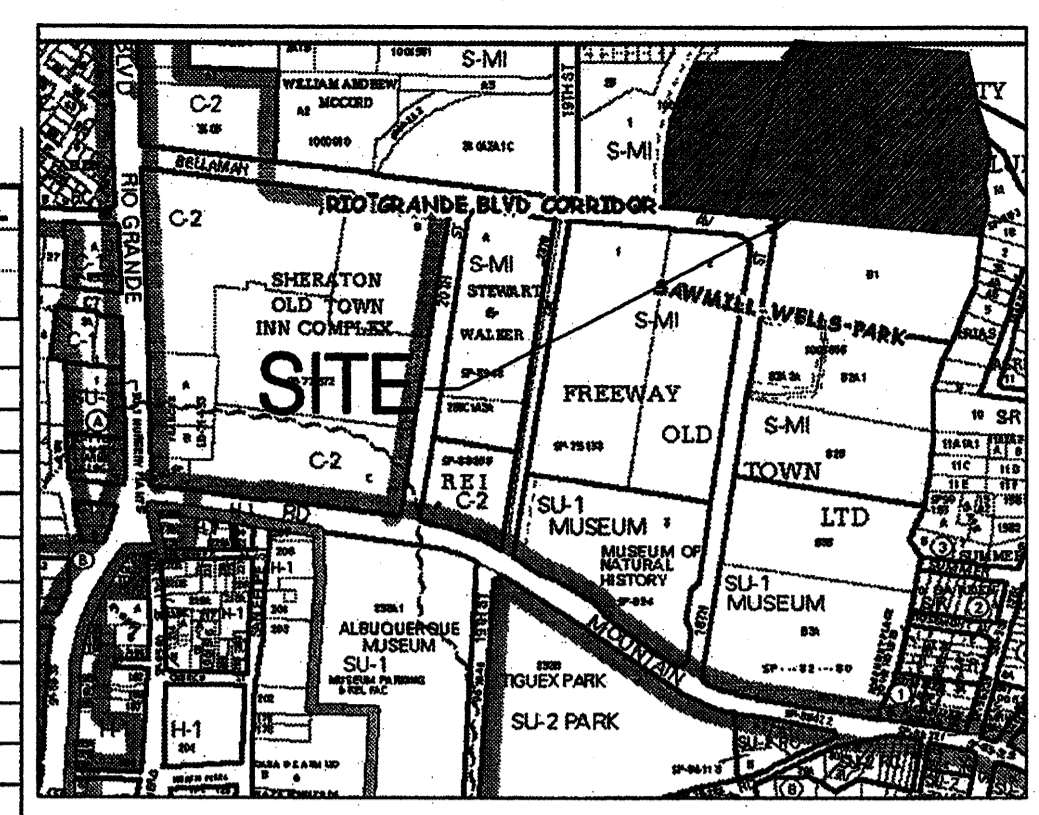
- PROPERTY LINE
- - - - - 5.301 - - - - - EXISTING CONTOURS
- X 5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FL=FLOW LINE
- TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TG=TOP OF GRADE
- FGH=FINISH GROUND HIGH SIDE
- FGL=FINISH GROUND LOW SIDE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- - - - - 5.025 - - - - - PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED RETAINING WALL (MANUFACTURED KEY STONES)
- PROPOSED STORM DRAIN INLET
- PROPOSED MANHOLE
- EXISTING MONUMENT



**KEYED NOTES**

- (A) DAYLIGHT PRIVATE STORM DRAIN TO POND
- (B) TYPE C INLET
- (C) TYPE D INLET
- (D) PRIVATE STORM DRAIN
- (E) PRIVATE STORM DRAIN MANHOLE
- (F) CONCRETE RUNDOWN





VICINITY MAP  
ZONE ATLAS PAGE J-13-2

**SAWMILL VILLAGE SITE BASIN PROPERTIES (PHASE I & II)**

Proposed Ultimate Development Conditions Basin Data Table  
This table is based on the DPM Section 22.2, Zone 2

Basin ID	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) cfs/ac.	Q(100) (CFS)	V(100) inches	V(100) HR
			A	B	C	D				
Tract B-2-A	226055	7.46	0.0%	5.0%	5.0%	90.0%	4.50	33.58	2.00	37742
BASIN 1	34415	0.79	0.0%	10.0%	0.0%	90.0%	4.46	3.52	1.99	5696
BASIN 2	34871	0.80	0.0%	10.0%	0.0%	90.0%	4.46	3.57	1.99	5771
BASIN 3	14171	0.33	0.0%	5.0%	0.0%	95.0%	4.58	1.49	2.05	2424
BASIN 4	17798	0.41	0.0%	5.0%	0.0%	95.0%	4.58	1.87	2.05	3045
BASIN 5	3260	0.07	0.0%	10.0%	0.0%	90.0%	4.46	0.33	1.99	540
BASIN 6	11415	0.26	0.0%	5.0%	0.0%	95.0%	4.58	1.20	2.05	1953
BASIN 7	20804	0.48	0.0%	10.0%	0.0%	90.0%	4.46	2.13	1.99	3443
BASIN 8	16442	0.38	0.0%	10.0%	0.0%	90.0%	4.46	1.68	1.99	2721
BASIN 9	2706	0.06	0.0%	5.0%	0.0%	95.0%	4.58	0.28	2.05	463
BASIN 10	31998	0.73	0.0%	5.0%	0.0%	95.0%	4.58	3.36	2.05	5474
BASIN 11	30743	0.71	0.0%	5.0%	0.0%	95.0%	4.58	3.23	2.05	5260
BASIN 12	42740	0.98	0.0%	10.0%	0.0%	90.0%	4.46	4.37	1.99	7073
BASIN 13	21398	0.49	0.0%	5.0%	0.0%	95.0%	4.58	2.25	2.05	3681
BASIN 14	22666	0.52	0.0%	55.0%	0.0%	45.0%	3.37	1.75	1.38	2612
BASIN 15	6813	0.16	0.0%	15.0%	0.0%	85.0%	4.34	0.68	1.92	1090
BASIN 16	29822	0.68	0.0%	5.0%	0.0%	95.0%	4.58	3.13	2.05	5102
BASIN 17	14451	0.33	0.0%	65.0%	0.0%	35.0%	3.13	1.04	1.25	1504
BASIN 18	62175	1.43	0.0%	10.0%	0.0%	90.0%	4.46	6.36	1.99	10290
BASIN 19	7620	0.17	0.0%	5.0%	0.0%	95.0%	4.58	0.80	2.05	1304

**STORM DRAIN PIPE TABLE**

PIPE #	Contributing Basins and Storm Drains	Size in.	Slope	Capacity cfs	ACTUAL
					FLOW cfs
<b>NORTH</b>					
SD1	BSN 2	18	0.50%	7.43	3.57
SD2	BSN 5	6	0.50%	0.40	0.33
SD3	BSN 2,5	18	1.00%	10.50	3.90
SD4	BSN 1,2,5	18	1.00%	10.50	7.42
<b>CENTRAL</b>					
SD5	BSN 3,4,6,7,8,9,10,11,12,13,14,19	30	1.00%	41.02	24.43
SD6	BSN 3,4,6,7,9,10,11,12,14	30	0.50%	29.00	19.70
SD7	BSN 9,10,11,12,14	24	0.50%	16.00	13.01
SD8	BSN 10,11,12,14	24	0.50%	16.00	12.72
SD9	BSN 11,12,14	24	0.50%	16.00	9.36
SD10	BSN 12	18	0.50%	7.43	4.37
SD11	BSN 14	12	0.50%	2.52	1.75
SD12	BSN 4,6,7	18	1.00%	10.50	5.20
SD13	BSN 6,7	12	1.00%	3.56	3.33
SD14	BSN 7	12	0.50%	2.52	2.13
SD15	BSN 8,13	18	1.00%	10.50	3.93
SD16	BSN 13	12	1.00%	3.56	2.25
<b>WEST</b>					
SD17	BSN 15,16	12	2.00%	5.04	3.81
SD18	BSN 15	6	1.00%	1.21	0.68
SD19	BSN 16	12	1.00%	3.56	3.13

**GRADING AND DRAINAGE NARRATIVE**

**Site Location and Background Information**

The purpose of this submittal is to present a drainage and grading plan for the proposed Sawmill Village development to the North of Bellamah and 18th street. The design site proposes mixed use development. There will be some residential townhomes, and some commercial sites. The site is in rainfall zone 2 as defined by figure A-1 of the DPM section 22. The existing legal description of the site is Tract 2-D, Arbolera De Vida and Lot B-2-A, Duke City Lumber Company Addition. Please see the vicinity map on this sheet for a graphic depiction of the site location. This conceptual grading and drainage plan is submitted in support site plan approval.

The Sawmill Master Drainage Plan Area, prepared by Bahannon Huston Inc. addresses drainage off the western site and the surrounding area to the west and north (city hydrology file: H13-D25). This submittal integrates the eastern parcel 2-D into the Sawmill Master Drainage Plan and modifies the pond construction to be in compliance with the guidance and recommendations set forth in that report.

**Existing Conditions**

This entire site (Tracts 2-D & B-2-A) is approximately 10 acres and is an old industrial sawmill. The natural slope of the site is very flat. The slope across the site is less than 1% from the northeast to the southwest. There is an existing pond north of Tract 2-D that is part of the Sawmill Master Drainage Plan. It currently discharges into the storm drain in Bellamah at a maximum flow of 4 C.F.S. The site is approximately level with Bellamah and the surrounding properties.

**Proposed Conditions**

Under proposed conditions the site will slope slightly to the pond north of Tract 2-D and utilize storm drain systems to convey runoff to the pond w/ functional surface slopes. The site will be mostly impervious treatment D and the rest landscaped treatment B and C. The Sawmill Master Drainage Plan sizes the existing pond as a retention system to be conservative. The pond is a retention pond to elevation 4954 at which it can discharge 4 C.F.S. in a detention condition. The existing pond is sized to accept runoff from the western tract 2-D. The pond expansion is to include additional runoff from Lot B-2-A. With this project, we propose to expand the volume of the existing pond by approximately 59,000 CF. This expansion can be accomplished without lowering the pond bottom. Accordingly, the depth of retained water below the invert of the outlet pipe will not be increased with this project. The proposed pond expansion volume exceeds the 100yr, 6hr storm volume generated by tract B-2-A.

**Flood plain**

In accordance with FEMA community map panel #35001C0331 E, the site is not located within a flood plain.

**Offsite Flows**

There are no significant upstream offsite flows which will impact this site.

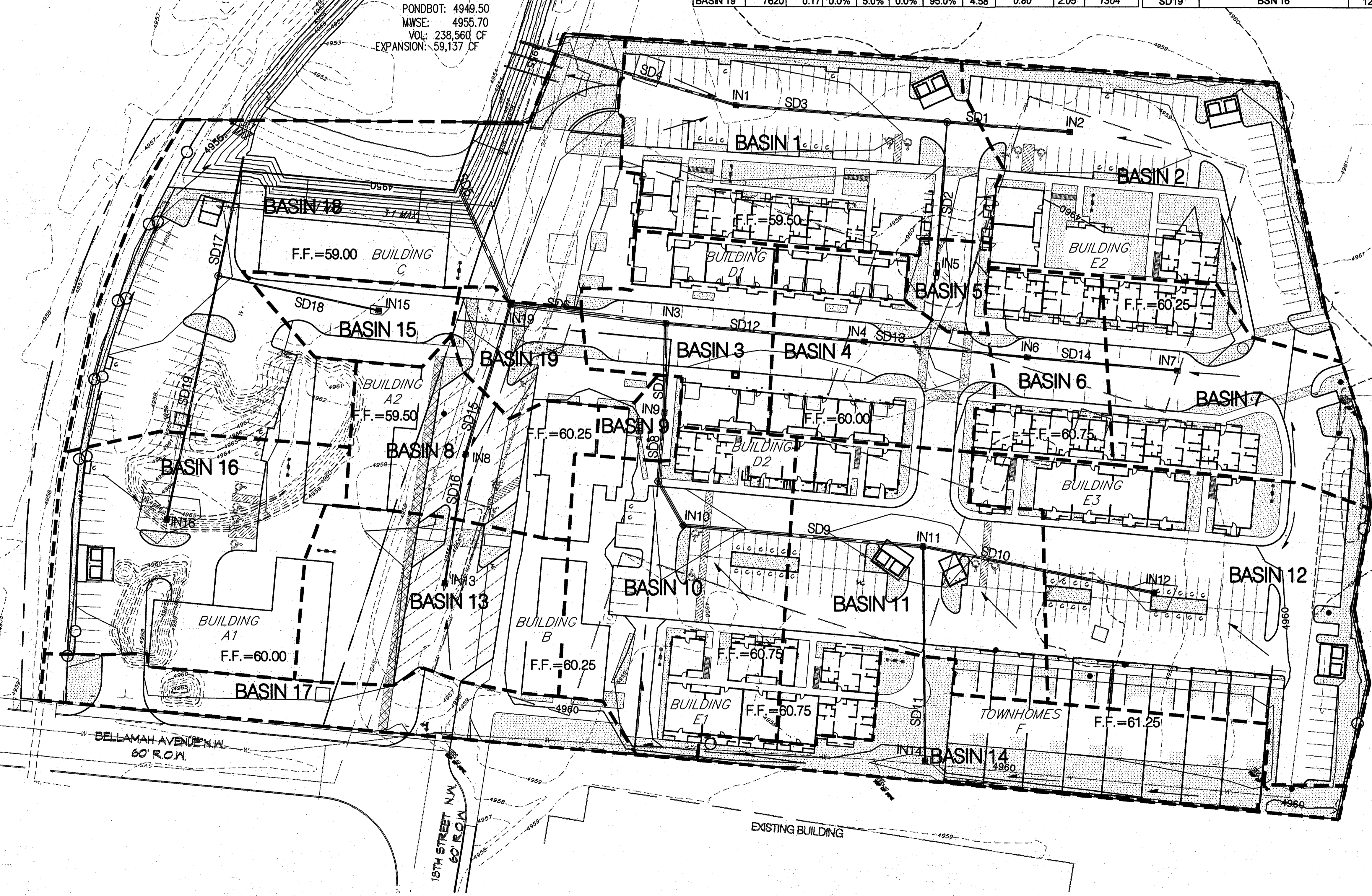
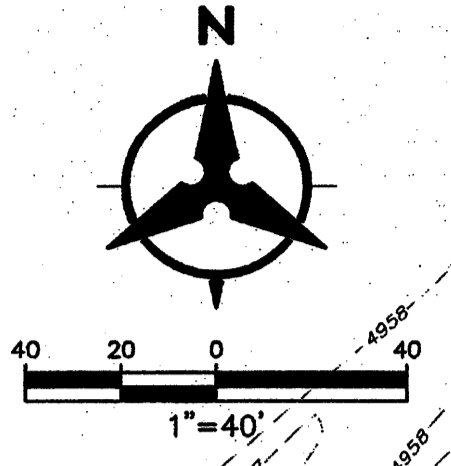
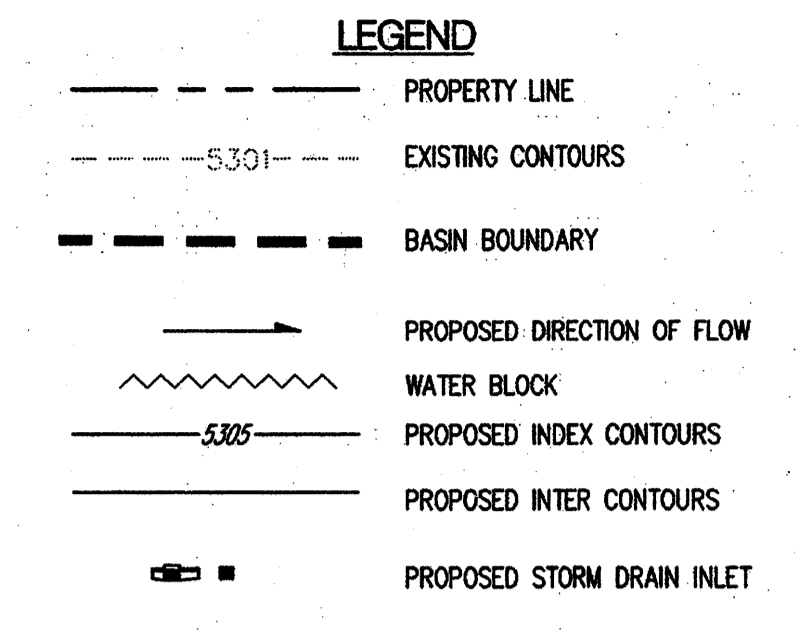
**Conclusions**

This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan clearly demonstrates the proposed grading and drainage concepts. The implementation of these concepts would result in the safe passage of the 100 year storm event. With this submittal we request hydrology department approval of this Grading and Drainage Plan for DRB site plan approval.

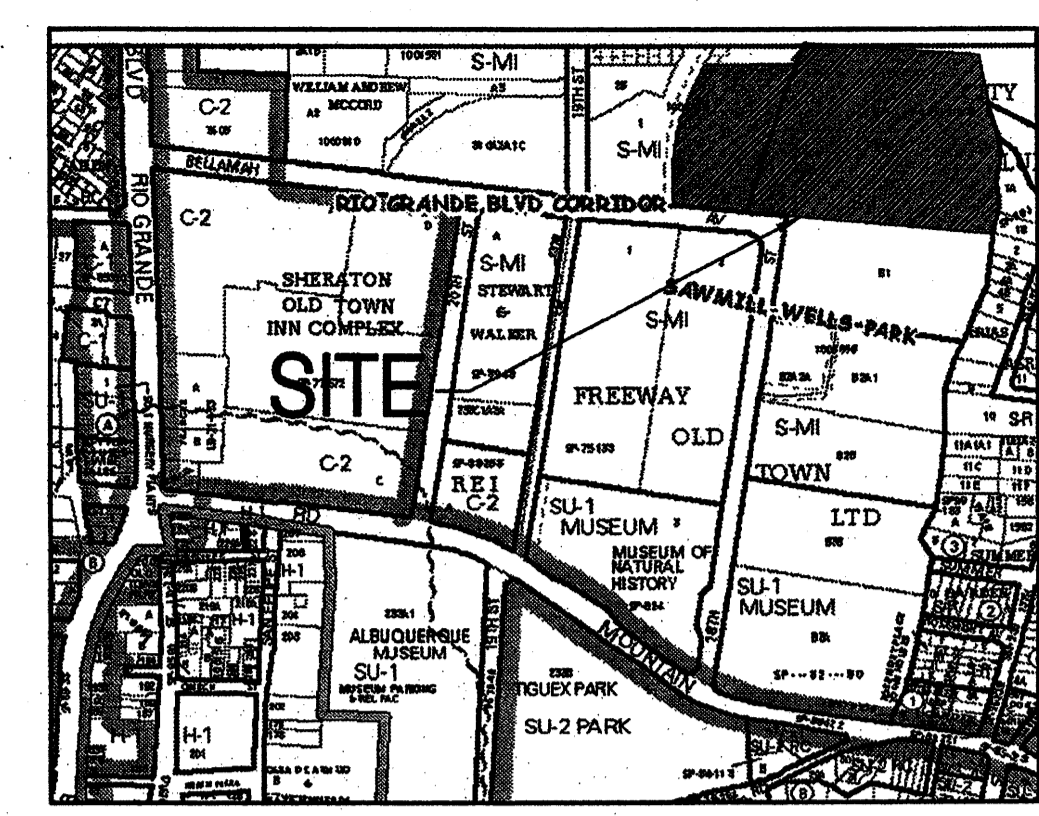
**INLET TABLE**

Inlet #	Inlet Type	Top of Grate	Actual Flow	Avail Head ft	Capacity
IN1	1-SGL D	57.07	3.52	0.5	5.07
IN2	1-SGL D	58.00	3.57	0.5	5.07
IN3	1-SGL D	58.38	1.49	0.5	5.07
IN4	1-SGL D	58.38	1.87	0.5	5.07
IN5	1-SGL C	58.76	0.33	0.5	5.07
IN6	1-SGL D	59.15	1.20	0.5	5.07
IN7	1-SGL D	59.16	2.13	0.5	5.07
IN8	1-SGL D	57.97	1.68	0.5	5.07
IN9	1-SGL D	59.39	0.28	0.5	5.07
IN10	1-SGL D	58.64	3.36	0.5	5.07
IN11	1-SGL D	58.45	3.23	0.5	5.07
IN12	1-SGL D	58.81	4.37	0.5	5.07
IN13	1-SGL D	57.97	2.25	0.5	5.07
IN14	1-SGL D	58.80	1.75	0.5	5.07
IN15	1-SGL D	57.90	0.68	0.5	5.07
IN16	1-SGL D	57.75	3.13	0.5	5.07

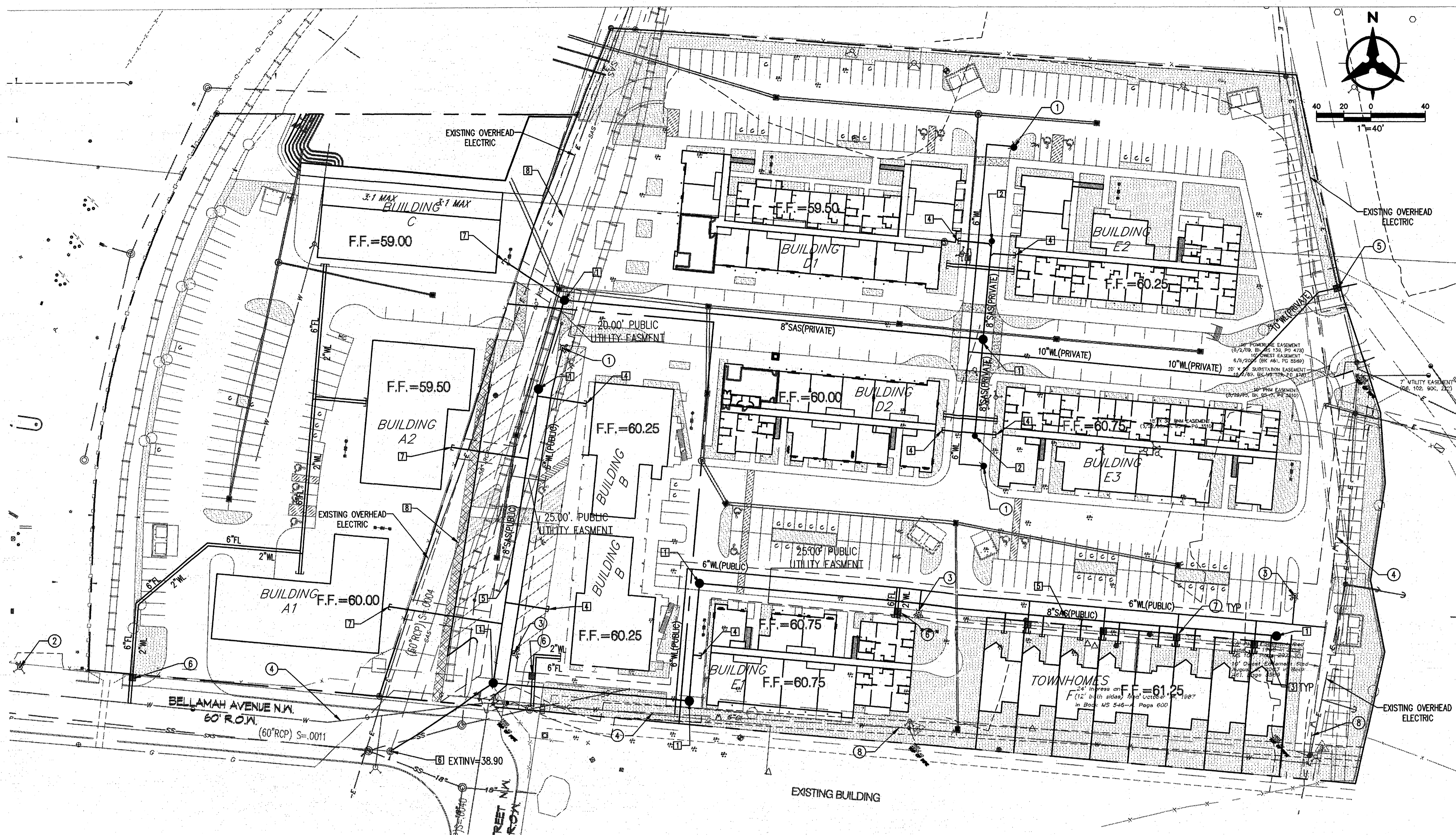
\* The actual head available varies with each inlet, but in no case is the available head less than 0.5'.







VICINITY MAP  
ZONE ATLAS PAGE J-13-Z



PUBLIC IMPROVEMENTS (PAVING, WATER, AND SANITARY SEWER) TO BE CONSTRUCTED WITH SIMULTANEOUS PUBLIC WORK ORDER PER DRG PLANS.

**UTILITY NOTES**

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 48" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MINI WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.

**LEGEND**

- — — — — PROPERTY LINE
- ○ — — — — EX SANITARY SEWER & MANHOLE
- ○ — — — — EX STORM DRAIN & MANHOLE
- — — — — EX WATER LINE
- ○ — — — — RELOCATED PUBLIC FIRE HYDRANT
- ○ — — — — EX FIRE HYDRANT
- ○ — — — — PRIVATE FIRE HYDRANT
- ○ — — — — PROPOSED CLEANOUT
- ○ — — — — PROPOSED SANITARY SEWER MAN HOLE
- ○ — — — — 8" SAS
- ○ — — — — 2" WL
- ○ — — — — 6" FL
- ○ — — — — WATER METER VAULT

**WATER KEYED NOTES**

1. PRIVATE FIRE HYDRANT.
2. EXISTING PUBLIC FIRE HYDRANT TO REMAIN.
3. RELOCATE EXISTING OR INSTALL PUBLIC FIRE HYDRANT WITHIN NEW PUBLIC WATER LINE EASEMENT PER SIMULTANEOUS WORK ORDER.
4. EXISTING PUBLIC 6" CAST IRON WATER LINE TO REMAIN.
5. 2"x10" FIRE ASSEMBLY TYPE IN PUBLIC EASEMENT AS REQUIRED.
6. 2" WATER METER.
7. 3/4" SERVICE WATER METERS. (TWO PER BOX)
8. EXISTING 6" CAST IRON WATER LINE TO BE ABANDONED.

**SANITARY SEWER KEYED NOTES**

1. SAS MAN HOLE
2. SAS CLEAN OUT
3. 4" SAS SERVICE.
4. 6" SAS SERVICE.
5. 8" PUBLIC SAS W/ 25' SHARED EASEMENT PER SIMULTANEOUS WORK ORDER.
6. CONNECT TO EXISTING SAS.
7. 6" SAS SERVICE LINE WITH PRIVATE SAS EASEMENT.
8. EXISTING 60" SAS INTERCEPTOR W/ 30' EASEMENT.