



Complete

DRB CASE ACTION LOG (Site plan - Subdivision)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 11DRB-70252 , Project # 1005354
Project Name: ARBOLEA DE VIDA + SAUNDYLL VILLAGE UNIT 2B
Agent: DEKKER PERICH SABATINI Phone No.:

Your request was approved on 10-12-11 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

OK

TRANSPORTATION: address comments

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

OK

PLANNING (Last to sign):

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

OK

3 copies of the approved site plan. Include all pages.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



DRB CASE ACTION LOG (Site Plan - Building Permit)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: <i>11DRB- 70265</i>	Project # <i>1005354</i>
Project Name: <i>Arbolera De Vida Unit 2B. Sawmill Village</i>	
Agent: <i>Dekker Perich Sabatini</i>	Phone No.:

Your request was approved on *10-12-17* by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

TRANSPORTATION: *add resr comments; verify TIS;*
verify street improvement

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

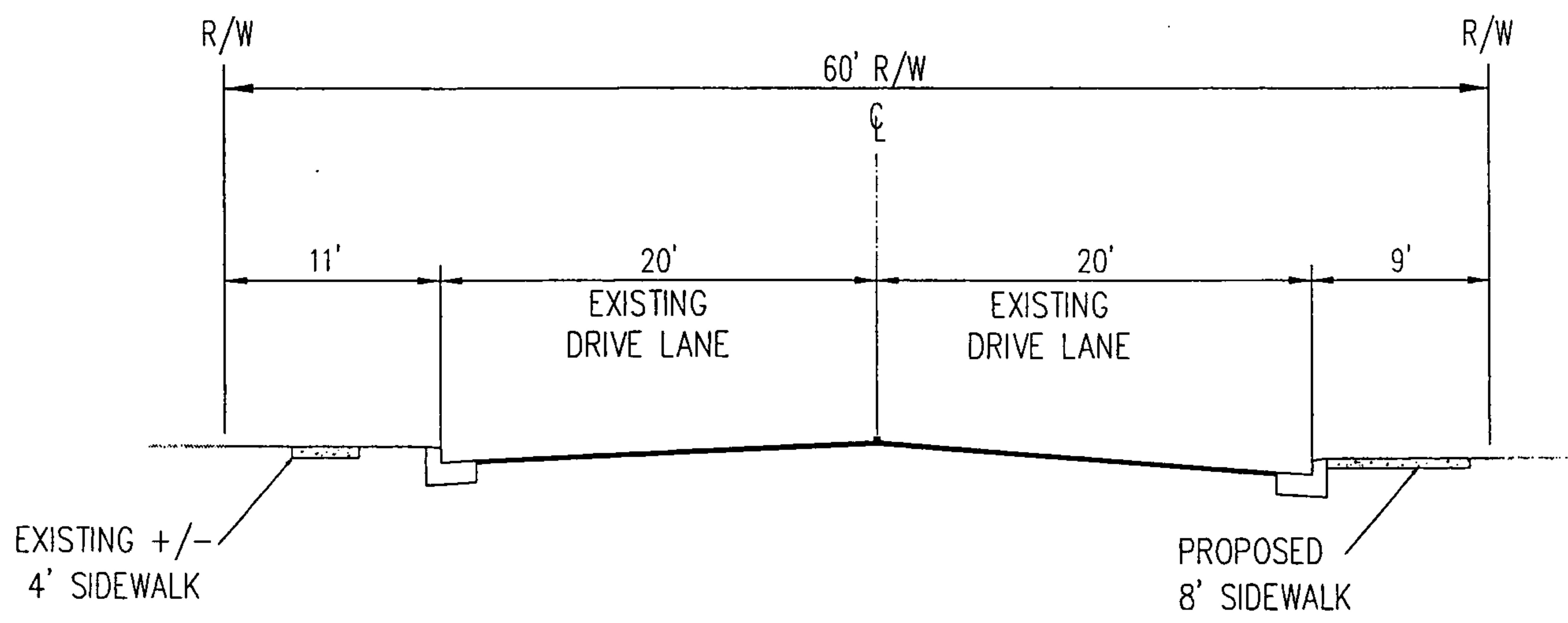
PLANNING (Last to sign): *OK have zoning initial signature blue;*
OK/5 day appeal period

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

SAWMILL VILLAGE SITE



BELLAMAH AVENUE NW
NOT TO SCALE

P:\20120091\CDP\Design\Workarea\0702 95\ahibi(9-14-11).dwg
September 22, 2011 - 11:50am
Layout



ARBOLERA DE VIDA AND SAWMILL VILLAGE UNIT(2B)	
TRANSPORTATION EXHIBIT DRB CASE # 1005354	
DRAWN BY: MHS	DATE: 09/22/11
CHECKED BY: MJB	BHI PROJECT NO. 20120091 ZONE ATLAS PAGE H-13 & J-13

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Keshet Dance Company DATE OF REQUEST: 06 / 30 / 2011 ZONE ATLAS PAGE(S): H&J-13

CURRENT:

ZONING SU-2/SU-1 for PRD
PARCEL SIZE (AC/SQ. FT.) 9.976 ac/ 434,555 sf

LEGAL DESCRIPTION:

LOT OR TRACT # 2-D BLOCK # _____
SUBDIVISION NAME Abolera de Vida

REQUESTED CITY ACTION(S):

ANNEXATION [N]
ZONE CHANGE []: From NA To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [X] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 174
BUILDING SIZE: 246,086 sf (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 6.30.11
(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes: SAWMILL MIXED USE DEVELOPMENT TIS (2/2007) &
ASSOCIATED TRIP LEN. COMPARISON (6/2011)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

[Signature]
TRAFFIC ENGINEER

6-30-11
DATE

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1/11
-FINALIZED 2/1/07

[Signature]
TRAFFIC ENGINEER

6-30-11
DATE

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/06/2011 Issued By: E08375 121617

Category Code **910**
2011 070 252

Application Number: 11DRB-70252, Amended Sdp For Bp

Address:

Location Description: NE CORNER OF BELLAMAH AND 18TH ST BETWEEN 19TH ST AND SAWMILL VILLAGE

Project Number: 1005354

Applicant

KESHET DANCE COMPANY

214 COAL AVE SW
ALBUQUERQUE NM 87102
224-9808

Agent / Contact

DEKKER PERICH SABATINI
CHRIS GUNNING
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE NM 87109

CHRISG@DPSABQ.COM

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$50.00
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

9/6/2011 12:16PM LOC: ANN
WS# 007 TRANSH 0013
RECEIPT# 00147740-00147740
PERMIT# 2011070252 TRSSVG
Trans Amt \$70.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
MC \$70.00
CHANGE \$0.00

Thank You

CITY OF ALBUQUERQUE
P.O. BOX 17
ALBUQUERQUE, NM 87102
505-768-3444

X43861

TERMINAL ID: 0001
MERCHANT #: 347402016583
MC # *****3785
CLK: SYSADMIN EXP.: **/**
SALE INVOICE: CHGD WRONG
BATCH: 174 GO: 046910
DATE: 09/06/11 TIME: 17:02:12
APPROVED: 055782
MANUAL REFERENCE #: 124922022184
TOTAL \$ 20.00

cust/dept. came in
cust. supposed to only
be charged 20.00 not
the additional 50.00.
Rachel R. credited cust.
c/c 50.00. due to
register already performed
end of day.
RH

I AGREE TO PAY ABOVE
TOTAL AMOUNT ACCORDING
TO CARD ISSUER AGREEMENT
(MERCHANT AGREEMENT
IF CREDIT VOUCHER)

SIGN X _____
GRANT/GALT

CUSTOMER COPY

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102

**City of Albuquerque
Planning Dept.
Dev. & Bldg. Svcs.**

Fax

To: Gail

From: Annette

Copies to:

Fax: 761-9700

Pages Sent: 2 (including this page)

Phone:

Date:

Time:

- Urgent For Review Please Comment Please Reply Please Recycle

COMMENTS:

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/06/2011 Issued By: E08375 121617

Category Code **910**
2011 070 252

Application Number: 11DRB-70252, Epc Approved Sdp For Subdivision

Address:

Location Description: NE COURNER OF BELLAMAH AND 18TH ST BETWEEN 19TH ST AND SAWMILL VILLAGE

Project Number: 1005354

Applicant

KESHET DANCE COMPANY

214 COAL AVE SW
ALBUQUERQUE NM 87102
224-9808

Agent / Contact

DEKKER PERICH SABATINI
CHRIS GUNNING
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE NM 87109

CHRISG@DPSABQ.COM

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	
TOTAL:		\$20.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/16/2011 Issued By: E08375 122869

Category Code **910**
2011 070 265

Application Number: 11DRB-70265, Major - Sdp For Building Permit

Address:

Location Description: NE COURNER OF BELLAMAH AND 18TH ST BETWEEN 19TH ST AND SAWMILL VILLAGE

Project Number: 1005354

Applicant

KESHET DANCE COMPANY

214 COAL AVE SW
ALBUQUERQUE NM 87102
224-9808

Agent / Contact

DEKKER PERICH SABATINI
CHRIS GUNNING
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE NM 87109

CHRISG@DPSABQ.COM

Application Fees

441018/4943000	APN Fee	\$75.00
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$385.00
TOTAL:		\$480.00

City Of Albuquerque
Treasury Division

9/16/2011 12:21PM LOC: ANNX
WSH 008 TRANSH 0009
RECEIPT# 00137667-00137667
PERMITH 2011070265 TRSLNP
Trans Amt \$480.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$385.00
CK \$480.00
CHANGE \$0.00

Thank You

September 6, 2011

Mr. Jack Cloud
Chairman
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

**Re: Reason for Request
Sawmill Village
Request for Amended Site Development Plan for Subdivision
Tract 2-D of the Arbolera de Vida Subdivision, Albuquerque, NM (Phase 2)
Project # 1005354; 07EPC-00109**

Dear Mr. Cloud:

This letter addresses the conditions that the Environmental Planning Commission (EPC) required the applicant to address on the EPC submittal for the Keshet Performing Arts Center at Sawmill Village (Project #1005354, 07EPC-00107– Notice of Decision dated August 11, 2011). Following is a brief, bulleted summary of the submittal to date:

- On June 30th, the applicant submitted the first set of plans requesting approval for Site Development Plan for Building Permit.
- On July 29th, the applicant submitted a revised set of plans to the City. The revision showed updates and initial comments from the City Planner incorporated.
- On August 11th, in the Notice of Decision, the EPC ^{Standard process} delegated final approved Site Development Plan for Subdivision Amendment requests to the Design Review Board (DRB).

In response to the City Council and EPC conditions, the applicant is submitting a revised set of plans and some minor changes in the plans. Listed below are the conditions and the applicant's responses.

1. **CONDITION:** The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

RESPONSE: This letter shall accompany the modifications to the Site Development Plan for DRB final sign-off specifying how each EPC condition was met.

2. **CONDITION:** Prior to final DRB sign off, the applicant shall meet with the Staff planner to ensure that conditions of the approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.

RESPONSE: The applicant met with Catalina Lehner, staff senior planner, on Thursday, September 1, 2011 to ensure the conditions of approval have been met.

3. **CONDITION:** The request shall comply with the General SU-2 Regulations in the Sawmill/Wells Park Sector Development Plan and the Sawmill Village design standards (Project #1005354, 07EPC-00107).

RESPONSE: The request complies *provided conditions are incorp.*

4. **CONDITION:** Building Data: Update the Building Data table to keep O-1 and C-1 uses less than 25% of the total development, as required in the SU-1 for PRD zone, and update the associated calculations.

RESPONSE: The Building Data table was clarified with a memo indicating the breakdown of spaces, square footages, and percentages. It is attached to this document.

5. **CONDITION:**

Vehicle Parking:

- a. The parking table shall incorporate the changes to building square footage and shall match the number of parking spaces shown on the site development plan.

RESPONSE: The parking table reflects the accurate number of parking spaces based on the building square footage.

- b. The Zoning Code ratio (“required ratio”) for the brewery/restaurant shall be 1 space for every 4 seats.

RESPONSE: The required ration has been updated to reflect 1 space for every 4 seats.

6. **CONDITION:**

Bicycle & Motorcycle Parking:

- a. The bicycle rack shall be relocated from the southern side of the site (landscape area) to a more central location on the plaza.

RESPONSE: The bicycle rack has been relocated to the plaza area between Keshet Performing Arts Center (KPAC) and the restaurant/micro-brewery.

- b. A bicycle rack detail shall be provided.

RESPONSE: A bicycle rack detail has been provided on a detail sheet, SDP4.

- c. The motorcycle spaces on the western side shall be relocated to an area visible from the arts center’s main entrance and shall be designated by signage [14-16-3-1C (2)].

RESPONSE: The motorcycle spaces on the western side of the parking lot were relocated to the parking island visible from the entry and marked with signage as designated by 14-16-3-1C(2).

- d. Motorcycle spaces shall be counted in addition to vehicle spaces (not as part of the vehicle space total).

RESPONSE: Motorcycle spaces have been counted in addition to vehicle spaces and not part of the vehicle space total, for a total of 117 spaces.

- e. One more motorcycle space shall be provided.

RESPONSE: Two additional motorcycle spaces have been added.

7. **CONDITION:**

Pedestrian & Plaza Issues:

- a. Clearly demarked pedestrian crossings of raised, scored paving shall be provided across the drive aisles to connect the sidewalk (design standard).

RESPONSE: Pedestrian crossings have been identified with a cross hatch pattern and noted (#14) on the site plan at the parking lot drive aisle and 18th Street pedestrian crossing.

- b. “Decorative Paving” shall be defined as scored and/or textured paving and its color specified.

RESPONSE: Decorative paving is identified as scored concrete, color: gray.

8. **CONDITION:**

Walls/Fences:

- a. The color, finish and/or type of block for the screen wall shall be specified.

RESPONSE: The color is tan. The finish is burnished concrete masonry units and is indicated on the Site Detail Sheet SDP4.

- b. The location of the fence near the NW corner, and its color, finish and/or type, shall be specified and a detail provided.

RESPONSE: The site wall is indicated by note 36 and a detail shown on SDP4.

- c. The color of the steel tube fence along the western side shall be indicated.

RESPONSE: The fence is an open steel tube fence, 6’ high, color: silver/gray. Note 42 on SDP1.

- d. The height, type, color and finish of the guard rail by the pond shall be indicated.

RESPONSE: The metal guard rail, 42” high, color: silver/gray, matte finish is indicated, note 42a on SDP1.

9. **CONDITION:**

Landscaping Plan:

- a. The landscape calculations shall be adjusted to correspond to the revised building square footages for Phase II.

RESPONSE: The landscape calculations reflect the proper building square footages.

- b. The 36sf tree planting area shall be a minimum.

RESPONSE: The note was clarified to indicate a minimum 36sf tree planting area.

- c. The seat walls around the planters shall be shown.

RESPONSE: The seat walls are shown and indicated by note 8 on SDP2 and SDP2A.

- d. The trees along Bellamah Avenue, approved in the 2007 site development plan, shall be reinstated.

RESPONSE: The street trees have been reinstated.

10. **CONDITION:**

Refuse Enclosures:

- a. The applicant shall check with SWMD regarding the refuse enclosure's location.

RESPONSE: SWMD has reviewed the location and stamped with signature on September 1, 2011.

- b. Refuse enclosures shall comply with the requirements of the Solid Waste Management Division.

RESPONSE: Will comply.

- c. The color and finish of the refuse enclosure shall be indicated.

RESPONSE: The color and finish are indicated on SDP4, color: tan, finish: burnished CMU block.

11. **CONDITION:** Lighting: Provide detail for each light pole type.

RESPONSE: The light pole types are indicated on SDP4.

12. **CONDITION:** Reflective glass shall not be permitted (General SU-2 regulation 4.f.).

RESPONSE: A note has been added to sheet SDP3.

13. **CONDITION:**

Signage:

- a. The letter color and lighting of the monument sign shall be specified.

RESPONSE: All has been indicated and noted on SDP4.

- b. The letter color and square footage of the building mounted signs shall be specified.

RESPONSE: All has been indicated on the building elevations, sheets SDP7 and SDP7A.

- c. Signs shall not be illuminated plastic panel signs (design standard).

RESPONSE: The note internally illuminated signs has been striked from sheets SDP7 and SDP7A.

14. **CONDITION:**

Minor clean-up & Additions:

- a. Use lighter shading on the building table and parking table.

RESPONSE: This has been updated.

- b. Revise the label "Active Space" used for building A2's breakdown of square footages by use.

RESPONSE: The label has been revised.

- c. Label the loading dock and the turnaround area near it.

RESPONSE: The note was clarified and indicated with note 15 and 34 on SDP1.

- d. Provide a separate detail sheet.

RESPONSE: Detail sheet SDP4 has been added.

- e. Use bubbling to indicate changes to the tables on the Grading & Drainage plan.

RESPONSE: Bubbling has been indicated.

- f. Correct the reference to 14-16-3-19 in the design standards.

RESPONSE: Reference has been corrected.

15. Conditions from the City Engineer:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the site development plan, as may be required by the Development Review Board (DRB).

RESPONSE: Will comply.

- b. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.

RESPONSE: Will comply.

- c. Site plan shall comply and be designed per DPM Standards. Any instances of non-compliance are remedied through conditions of approval.

RESPONSE: Will comply.

16. Conditions from PNM:

- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of these easements.

RESPONSE: Will comply.

- b. An existing electric transmission line is located on the eastern boundary of the Phase 1B and 1C and an existing electric distribution line is located east of the Phase 2 boundary. As a condition it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate the relocation of the existing electric structure regarding this project. In addition coordinate with New Service Delivery Department is necessary regarding any proposed tree location and with the, sign, location and height, and lighting height in order to ensure sufficient safety clearances.

RESPONSE: Will comply.

- c. Screening should be designed to allow for access to utility facilities. As a condition, all screening a vegetation surrounding ground-mounted transformer and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to eh PNM Electric Service Guide for specification.

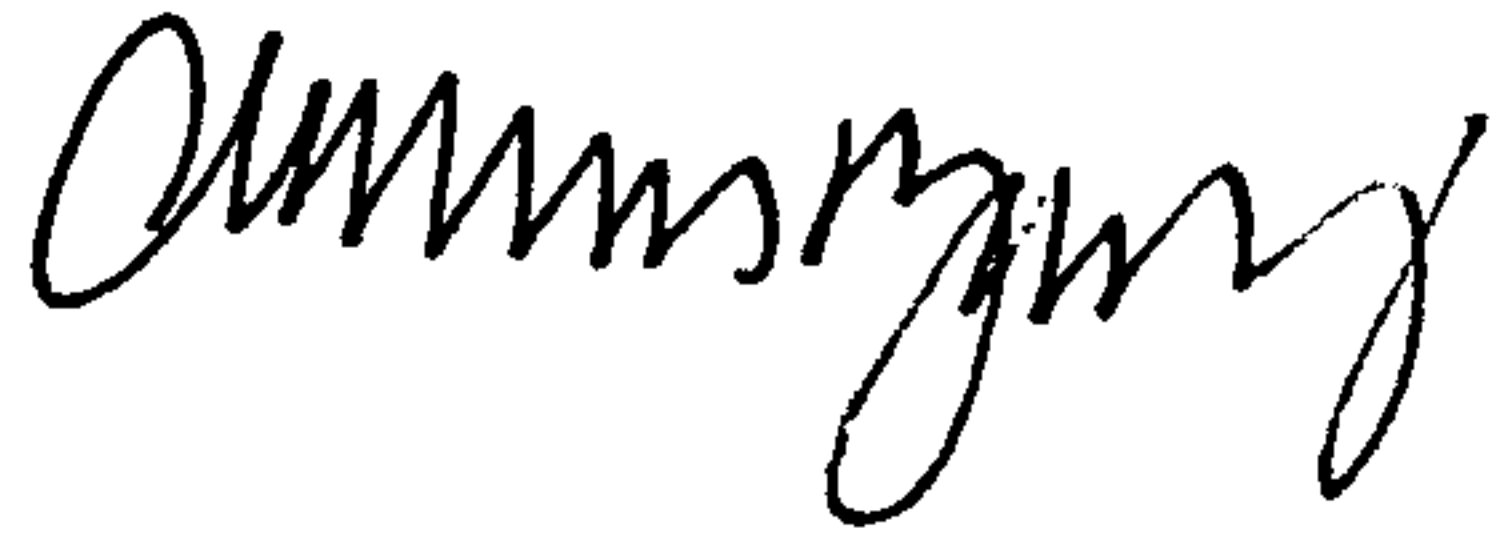
RESPONSE: Will comply.

Conclusion:

We respectfully request approval of the above request. If you have any questions or need clarification of anything contained herein, please contact Gail Granot or myself.

Sincerely,

Dekker/Perich/Sabatini
Agent for Keshet Dance Company



Christopher R. Gunning, AIA, LEED AP BD+C
Principal

INTER-OFFICE MEMO

DATE: September 9, 2011
TO: Jack Cloud, DRB Chair
FROM: Catalina Lehner, Senior Planner *CL*
RE: Project #1005354, Sawmill Village Amendment
Site Development Plan for Subdivision

On August 11, 2011, the EPC voted to approve an amendment to the Sawmill Village Site Development Plan for Subdivision, which corresponds to Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B.

Staff met with the agent, Gail Granot, on September 1, 2011 to check for compliance with the Conditions of Approval.

On September 9, 2011, Staff reviewed the August 30, 2011 version of the Site Development Plan for Subdivision Amendment and found that it meets the EPC conditions of approval elaborated in the Official Notification of Decision.

Note that Planning Staff did not check for compliance with conditions from Transportation Staff.

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Note that I will be out of the office Monday the 12th and Tuesday the 13th, but I will be checking my e-mail. Thanks.

INTER-OFFICE MEMO

DATE: September 9, 2011
TO: Jack Cloud, DRB Chair
FROM: Catalina Lehner, Senior Planner *CL*
RE: Project #1005354, Sawmill Village Amendment
Site Development Plan for Subdivision

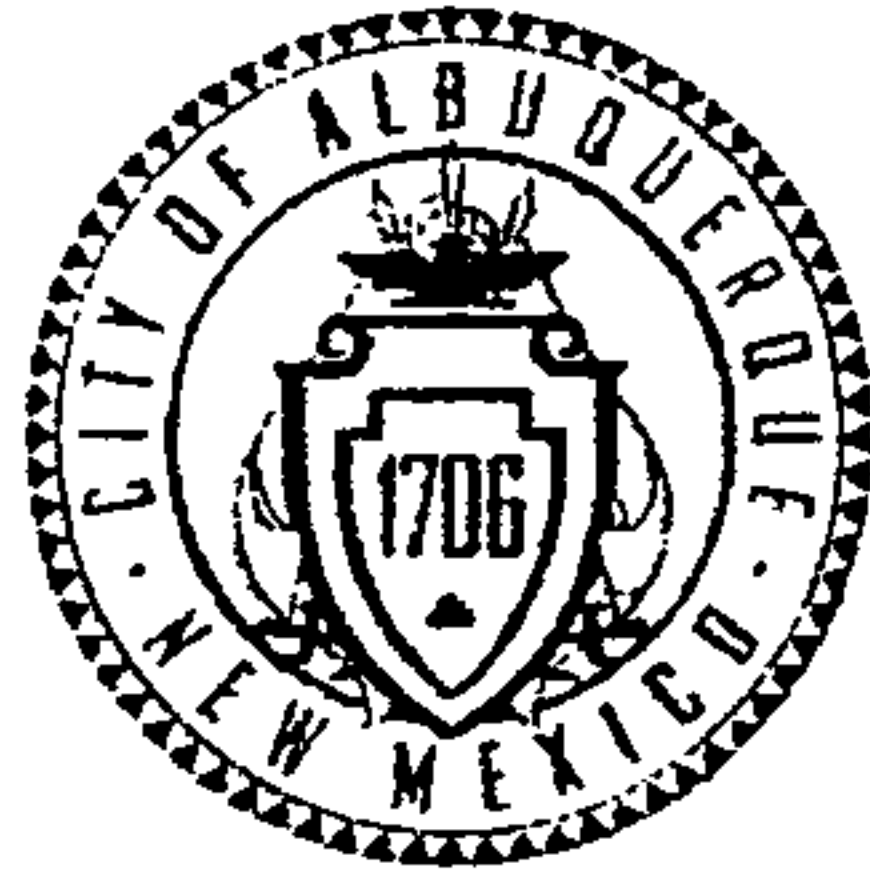
On August 11, 2011, the EPC voted to approve an amendment to the Sawmill Village Site Development Plan for Subdivision, which corresponds to Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B.

Staff met with the agent, Gail Granot, on September 1, 2011 to check for compliance with the Conditions of Approval.

On September 9, 2011, Staff reviewed the August 30, 2011 version of the Site Development Plan for Subdivision Amendment and found that it meets the EPC conditions of approval elaborated in the Official Notification of Decision.

Note that Planning Staff did not check for compliance with conditions from Transportation Staff.

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Note that I will be out of the office Monday the 12th and Tuesday the 13th, but I will be checking my e-mail. Thanks.



Chris G ✓
RECEIVED Gail ✓

AUG 17 2011

Dekker/Perich/Sabatini

City of Albuquerque
Planning Department
Urban Design & Development Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 12, 2011

OFFICIAL NOTIFICATION OF DECISION

FILE: Project #1005354
11EPC-40045 Amend Site Development Plan for
Subdivision

Keshet Dance Company
214 Coal Ave SW
Albuquerque, NM 87102

LEGAL DESCRIPTION:

Dekker/Perich/Sabatini, agent for Keshet Dance Company, requests the above action for all or a portion of Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B, zoned SU-2/SU-1 for PRD and SU-2/SU-1 for PRD and Microbrewery, located at the NW corner of Bellamah Ave. and 18th St., south of Interstate 40, between 19th St. and 12th St., containing approximately 10 acres. (H & J-13)
Catalina Lehner, Staff Planner

On August 11, 2011, the Environmental Planning Commission (EPC) voted to APPROVE Project 1005354 / 11EPC-40045, a request for a Site Development Plan for Subdivision Amendment based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for an amendment to a site development plan for subdivision with design standards for Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B, an approximately 10-acre site known as "Sawmill Village" located at the northwest corner of 18th Street and Bellamah Avenue (the "subject site").
2. The applicant proposes to amend the existing site development plan for subdivision (Project #1005354, 07EPC-00107) to include a performing arts center, and auxiliary uses such as a café and offices, as part of Phase II of the project. The arts center would replace Buildings A2 and C; Building A1 would be smaller and reconfigured. A western portion of Phase I would be modified in response. Changes to building square footages, parking, landscaping and grading & drainage are also included in the amendment.

OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

August 11, 2011

Page 3 of 7

- B. Policy II.B.5e-programmed facilities/neighborhood integrity. The vacant subject site, in the Central Urban part of the City, is contiguous to existing urban facilities and services. The use of these is unlikely to adversely affect neighborhood integrity.
- C. Policy II.B.5l-quality design/new development. The proposed arts facility would be consistent with future buildings onsite and existing buildings and the area, which are characterized by a metal/stucco combination and use of multiple colors, in terms of quality and design. The proposed design would be generally appropriate to the plan area. The request furthers Policy II.B.5l-quality design/new development.

11. The request partially furthers the following, Comprehensive Plan land use policies:

- A. Policy II.B.5i- employment/service use location. Instruction in dance and fine arts is a service use (ref: 14-16-2-16(A)(10)(i)-C-1 zone). The proposed arts facility, at the NE corner of Phase II, is not sited directly east of the existing live/work units which somewhat minimizes its effect. However, current and future residents nearby may experience some noise and traffic impacts- especially on performance days.
- B. Policy II.D.4g- pedestrian opportunities integration. The proposed parking lot is not well-connected to the arts centers and does not meet Zoning Code 14-16-3-5(H)(5 and 6) regarding pedestrian connections. Pedestrian opportunities have not been integrated to the extent that they should be.

12. The request furthers the following Comprehensive Plan land use policies that pertain to redevelopment:

- A. Policy II.B.5o- redevelopment/rehab of older neighborhoods. The request is part of a larger project that would contribute to redevelopment of an older neighborhood in the Central Urban area. The Central Urban area is part of the Established Urban area. Redevelopment efforts in this neighborhood have been ongoing for awhile; such projects will strengthen redevelopment efforts.
- B. Policy II.B.5p- cost effective rehabilitation techniques. The request would result in privately funded redevelopment, which can be considered a cost-effective redevelopment technique since it does not use public funds (Technique #1).

13. The request partially fulfills the intent of the following Action Plans in the Sawmill/Wells Park Sector Development Plan (SWPSDP):

- A. Economic Development Action Plan (EDAP), based on the Sawmill Revitalization Strategy (SRS)- Though some jobs for area residents may result, they are likely to be service jobs and not the industrial or commercial type jobs the SRS envisions.
- B. Public Project Action Plan (PPAP)- The request would create a focal point in approximately the center of the Plan area, thereby linking this relatively isolated part of the Plan area to other parts of it. However, traffic operations could be affected.

14. The Sawmill Mixed-Use Development Traffic Impact Study (TIS) was completed in February 2007 in association with the 2007 proposal (Project #1005354, 07EPC-10107/10109). The required, updated Trip Generation Comparison (June 2011) notes an 18 trip per day increase in 24 hr. two-way volume.

OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

August 11, 2011

Page 5 of 7

7. Pedestrian & Plaza Issues:

- A. Clearly demarcated pedestrian crossings of raised, scored paving shall be provided across the drive aisles to connect the sidewalk (design standard).
- B. "Decorative Paving" shall be defined as scored and/or textured paving and its color specified.
- C. A bench shall be added to the northwest corner of the plaza area and to the area near the northwest corner of Building A-1.
- D. The material of the "plaza over the pond" shall be specified.
- E. The plaza area shall have seating and shade to cover a minimum 25% of the area.

8. Walls/Fences:

- A. The color, finish and/or type of block for the screen wall shall be specified.
- B. The location of the fence near the NW corner, and its color, finish and/or type, shall be specified and a detail provided.
- C. The color of the steel tube fence along the western side shall be indicated.
- D. The height, type, color and finish of the guard rail by the pond shall be indicated.

9. Landscaping Plan:

- A. The landscaping calculations shall be adjusted to correspond to the revised building square footages for Phase II.
- B. The 36 sf tree planting area shall be a minimum.
- C. The seat walls around the planters shall be shown.
- D. The street trees along Bellamah Avenue, approved in the 2007 site development plan, shall be re-instated.

10. Refuse Enclosures:

- A. The applicant shall check with SWMD regarding the refuse enclosure's location.
- B. Refuse enclosures shall comply with the requirements of the Solid Waste Management Division.
- C. The color and finish of the refuse enclosure shall be indicated.

11. Lighting: Provide a detail for each light pole type.

12. Reflective glass shall not be permitted (General SU-2 regulation 4.f.).

13. Signage:

- A. The letter color and lighting of the monument sign shall be specified.
- B. The letter color and square footage of the building mounted signs shall be specified.
- C. Signs shall not be illuminated plastic panel signs (design standard).

14. Minor Clean-Up & Additions:

- A. Use lighter shading on the building table and the parking table.
- B. Revise the label "Active Space" used for building A2's breakdown of square footages by use.
- C. Label the loading dock and the turn around area near it.
- D. Provide a separate detail sheet.

OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

August 11, 2011

Page 7 of 7

DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,



for Deborah Stover
Planning Director

DS/CLL/mc

cc: Dekker/Perich/Sabatini, Attn: Chris Gunning & Gail Granot, 7601 Jefferson NE, Suite 100, Albuquerque, NM 87109
Magdalena Ramirez, Sawmill Area NA, 1020 19th St. NW, Albuquerque, NM 87104
Judy Gallegos, Sawmill Area NA, 1036 18th St. NW, Albuquerque, NM 87104
Connie Chavez, Sawmill Community Land Trust, PO Box 25181, Albuquerque, NM 87125
Wendy Statkus, Sawmill Community Land Trust, PO Box 25181, Albuquerque, NM 87125
Peter Eller, Wells Park NA, 1715 5th St. NW, Albuquerque, NM 87102
Kjudy Gallegos, Arbolera de Vida Association, c/o PO Box 25181, Albuquerque, NM 87125



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

TO: PROJECT NO. 100 5354

- ALL MEMBERS
- Jack Cloud, DRB Chairman, Planning Department
- Curtis Cherne, P.E., Hydrology
- Kristal Metro, P.E., Transportation Development
- Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA
- Christina Sandoval, Parks/Municipal Development

NEXT HEARING DATE: 10.12.11

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFIINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: _____

Re-submittal of sheets SDP1 & SDP2 w/ exhibit

addressing DRB comments.

CONTACT NAME: EMIL GRANOT

TELEPHONE: 338-5706 EMAIL: gailge@dpsdesign.org



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

TO: PROJECT NO. 1005354

- ALL MEMBERS
- Jack Cloud, DRB Chairman, Planning Department
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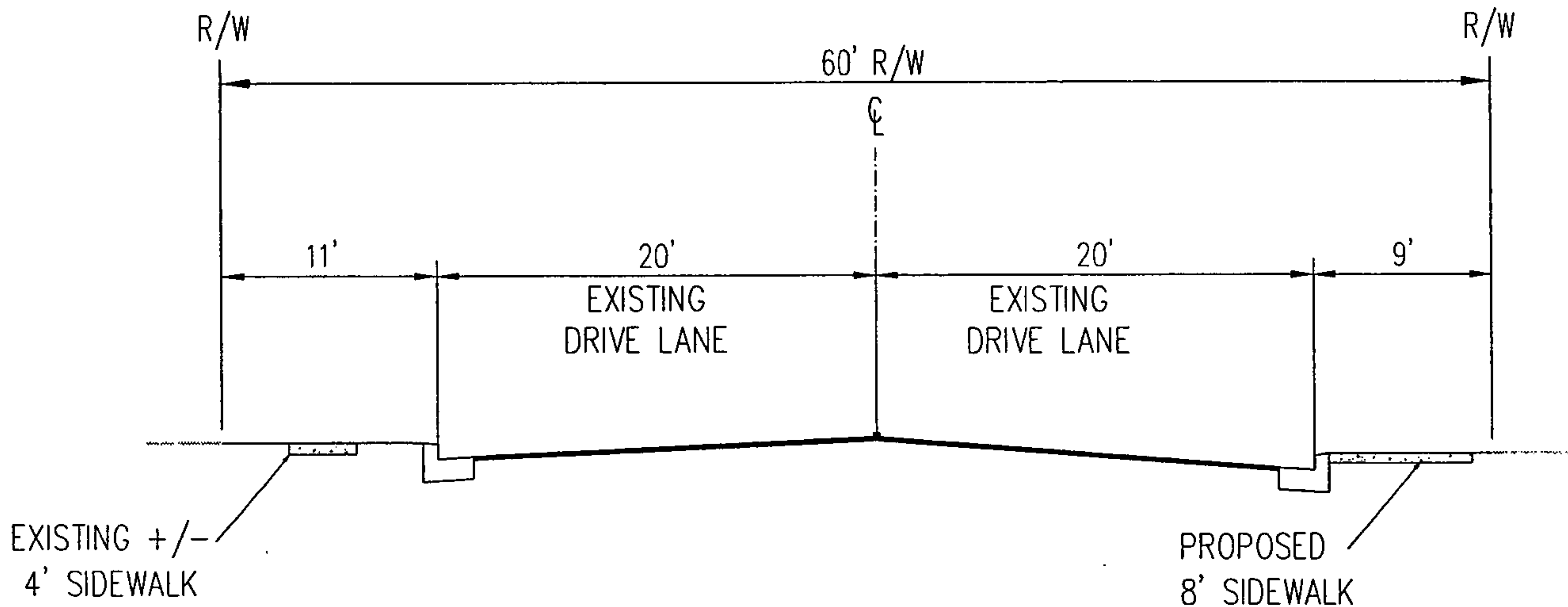
SUBMITTAL DESCRIPTION: REVISED G+D SHEETS FOR KESHET

SUBMITTAL TO ADDRESS CURTIS CHERNE'S COMMENTS

CONTACT NAME: MIKE BALASKOVITS / BHI

TELEPHONE: 823-1000 EMAIL: MBALASKOVITS@BHI.COM

SAWMILL VILLAGE SITE



BELLAMAH AVENUE NW
NOT TO SCALE

P:\20120091\CDP\Design\Workarea\070249E\Exhibit(9-14-11).dwg
September 22, 2011 - 11:15am
Layout1

Bohannon  Huston

**ARBOLERA DE VIDA
AND SAWMILL VILLAGE UNIT(2B)**

**TRANSPORTATION EXHIBIT
DRB CASE # 1005354**

DRAWN BY:	MHS	DATE:	09/22/11
CHECKED BY:	MJB	BHI PROJECT NO.	20120091
		ZONE ATLAS PAGE	H-13 & J-13

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Keshet Dance Company DATE OF REQUEST: 06 / 30 / 2011 ZONE ATLAS PAGE(S): H&J-13

CURRENT:

ZONING SU-2/SU-1 for PRD
PARCEL SIZE (AC/SQ. FT.) 9.976 ac/ 434,555 sf

LEGAL DESCRIPTION:

LOT OR TRACT # 2-D BLOCK # _____
SUBDIVISION NAME Abolera de Vida

REQUESTED CITY ACTION(S):

ANNEXATION [N]
ZONE CHANGE []: From NA To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [X] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 174
BUILDING SIZE: 246,086 sf (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 6.30.11
(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes: SAWMILL MIXED USE DEVELOPMENT TIS (2/2007) & ASSOCIATED TRIP LEN. COMPARISON (6/2011)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature]
TRAFFIC ENGINEER

6-30-11
DATE

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1/11
-FINALIZED 2/1/07

[Signature]
TRAFFIC ENGINEER

6-30-11
DATE



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

October 12, 2011

Project# 1005354

11DRB-70265 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DEKKER PERICH SABATINI agent(s) for KESHET DANCE COMPANY request(s) the referenced/ above action(s) for all or a portion of Tract(s) 2-D1, **ARBOLERA DE VIDA Unit 2B** and Lot(s) 1 & 2, **SAWMILL VILLAGE**, zoned SU-2/SU-1 FOR PRD WITH MICROBREWERY & SU-2 /SU-1 FOR PRD, located on the northeast corner of BELLAMAH AVE NW and 18TH ST NW containing approximately 9.976 acre(s). (H -13 & J-13)

AMAFCA No comment.
COG No comments
TRANSIT No comments
ZONING ENFORCEMENT Verify that on street parking been approved by traffic. It appears the micro brewery shown on the site plan should be shown as future phase. All sidewalks should be a min. width of 6'. The sidewalk at the rear of the building shows a min 4' width.
NEIGHBORHOOD COORDINATION Letters sent to: Sawmill Area NA (R) and Sawmill Community Land Trust
APS This will impact Reginald Chavez Elementary School, Washington Middle School, and Albuquerque High School. Currently, all three schools have excess capacity.
POLICE DEPARTMENT No comments
FIRE DEPARTMENT No comments
PNM ELECTRIC & GAS No comments
COMCAST No comments
QWEST No comments
ENVIRONMENTAL HEALTH No comments

M.R.G.C.D

No comments

OPEN SPACE DIVISION

No comments

CITY ENGINEER

The proposed Building A2 is shown in the drainage easement. The engineer is expected to submit an exhibit that shows the existing pond volume with extents. This will then be used to adjust the drainage easement. The Grading Plan and Conceptual DMP in this packet should be updated to reflect this.

The proposed Conditions narrative on the DMP should be updated: specifically the pond sizing as retention (100yr-24 hr), pond expansion and the sump pump.

Please change Note 8b on the Site Plan for Building Permit and for Subdivision. The easement is not temporary. The Site Plans should show the proposed drainage easement boundary.

Please change Keyed Note 5 on the Landscape Plan, by removing the word "Proposed".

TRANSPORTATION DEVELOPMENT

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

An existing infrastructure list is provided; what is the status of the listed improvements? Have they been constructed? A revised infrastructure list may be required.

Provide additional information regarding the Traffic Impact Study. Who was the study prepared by? When was the study prepared? Has this study been updated to reflect current conditions?

On-street parking is indicated on the revised site plan. Adding on-street parking requires the approval of Traffic Operations.

All ramps located within City right of way must have truncated domes.

General note C calls out: "Phase 1: All development on Lots 1-10." Where are lots 1-10?

Define both radii for the eastern curb cut off of Bellamah.

Keyed note 12 indicates a future connection to Bellamah; show the existing access easement and provide recording information.

PARKS AND RECREATION

No objection to Site Development Plan for Building Permit.

ABCWUA

No comments

PLANNING DEPARTMENT

Contrary to the Project History in the letter of application, the EPC did not approve this Site Development Plan for Building Permit.

Elevations for Building A1 need to be included, or a separate site plan for building permit with an advertised public hearing will be required.

Refer to comments from Zoning Enforcement for compliance with the Zoning Code, plus any public

hearing comments regarding proposed site plan. Zoning will need to indicate its approval by initialing the signature block.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

TO: PROJECT NO. ~~1003311: DRB 97-280~~

ALL MEMBERS

1005354

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Christina Sandoval, Parks/Municipal Development

NEXT HEARING DATE: 9. 21. 11

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!

SUBMITTAL DESCRIPTION: _____

Revisions from DRB hearing on 9/14.

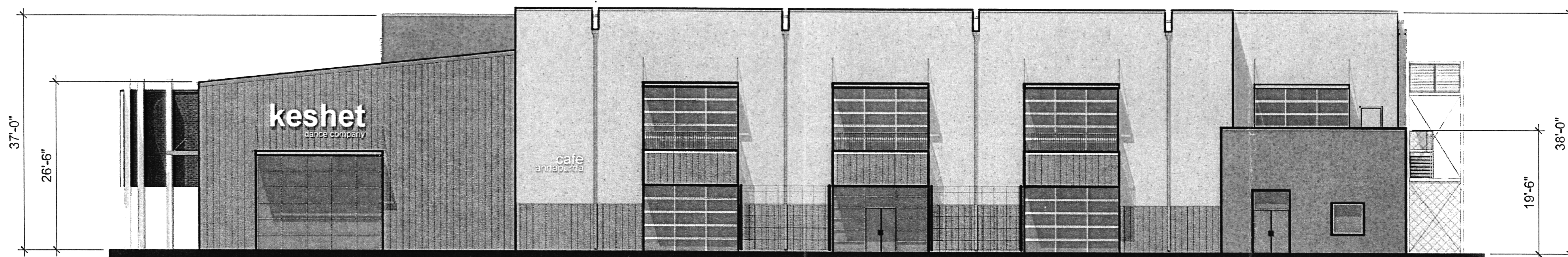
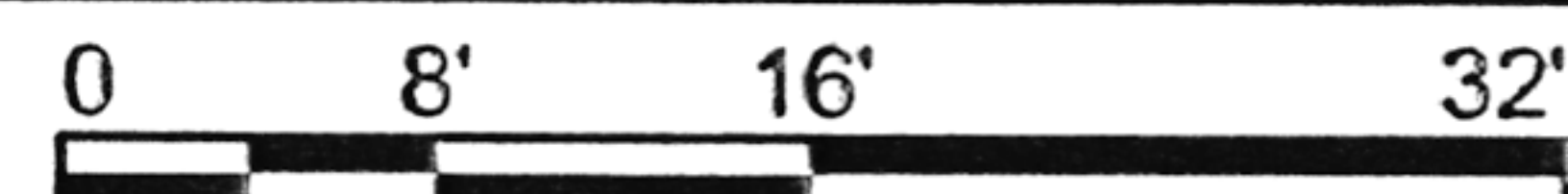
CONTACT NAME: Chris Gunning

TELEPHONE: 505. 761. 9700 EMAIL: chris.g@dpsdesign.org



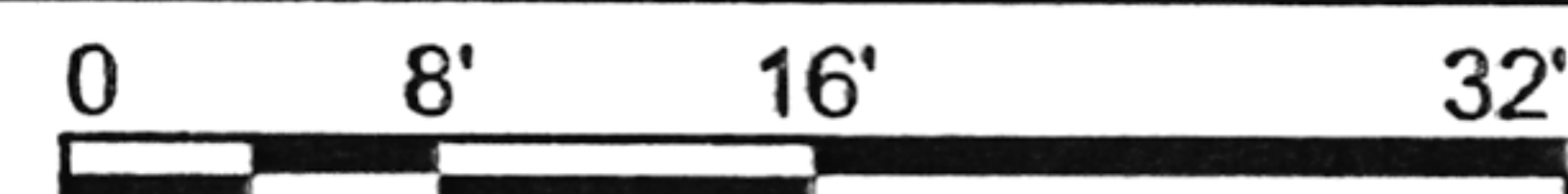
NORTH ELEVATION, BUILDING D1, PHASE 1

1/16" = 1'-0"



EAST ELEVATION, KPAC BUILDING, PHASE 2

1/16" = 1'-0"



Dekker/Perich/Sabatini
 architecture • interiors • landscape • planning • engineering
 7801 Jefferson NE, Suite 100 Albuquerque, NM 87109 505 761-8700 fax 505-761-4222 dsp@dpssnlpn.com

Sawmill Village
 Bellamah Avenue & 18th Street
 Albuquerque, New Mexico

PROJECT NO. 11-0036
 DATE: 7/28/2011
 SCALE: 1/16" = 1'-0"
 DRAWN BY: LRA
 ISSUED FOR: EPC SUBMITAL

**BUILDING ELEVATIONS,
 BUILDING D1 & KPAC**

EXHIBIT-001

Completed
B W of
7/26/2013

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1005354

Application #: 13DRB-70549

Project Name: , SAWMILL VILLAGE

Agent: SURV-TEK INC

Phone #:

Your request was approved on 7-24-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): ability signature

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Dekker/Perich/Sabatini PHONE: 505.761.9700
 ADDRESS: 7601 Jefferson NE, Suite 100 FAX: 505.761.4222
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: chrisg@dpsdesign.org

APPLICANT: Keshet Dance Company PHONE: 505.224.9808
 ADDRESS: 214 Coal Ave. SW FAX: 505.842.0309
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: shira@keshetdance.org

Proprietary interest in site: Long term lease will be entered into by Keshet with SCLT List all owners: Sawmill Community Land Trust & City of ABQ

DESCRIPTION OF REQUEST: Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Arbolera de Vida Unit 2B, Tract 2-D1, Lots 1 & 2 Sawmill Village Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Arbolera de Vida & Sawmill Village
 Existing Zoning: SU-2/SU-1 for PRD with Microbrewery Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): H&J 13-Z UPC Code: 10130s834151512010 & 101305930600340211

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
1003311: DRB-97-280, 1005354: ZA-80-101, 07EPC-00109, 11EPC-40045

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 9.976- 2.5132

LOCATION OF PROPERTY BY STREETS: On or Near: Northwest corner of Bellamah and 18th Street
 Between: 19th Street and Sawmill Village

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team X. Date of review: 05/24/11

SIGNATURE Gail Granot DATE _____

(Print) Gail Granot for Christopher R. Gunning Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/>	All checklists are complete	<u>1DRB - 70265</u>	<u>SDP</u>		<u>\$ 385.00</u>
<input checked="" type="checkbox"/>	All fees have been collected		<u>ADY</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/>	All case #s are assigned		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/>	AGIS copy has been sent				\$
<input checked="" type="checkbox"/>	Case history #s are listed				\$
<input type="checkbox"/>	Site is within 1000ft of a landfill				\$
<input type="checkbox"/>	F.H.D.P. density bonus				\$
<input type="checkbox"/>	F.H.D.P. fee rebate				\$
		Hearing date <u>Oct. 12, 2011</u>			Total <u>\$ 480.00</u>

Gail Granot
 Planner signature / date 9-16-11

Project # 1005354

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

GAIL GIRARDT
 Applicant name (print)
[Signature] 9-16-11
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 11DRB - _____ - 70265

[Signature] 9-16-11
 Planner signature / date
 Project # ~~1005354~~
 1005354

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from September 27, 2011 to October 12, 2011

5. REMOVAL

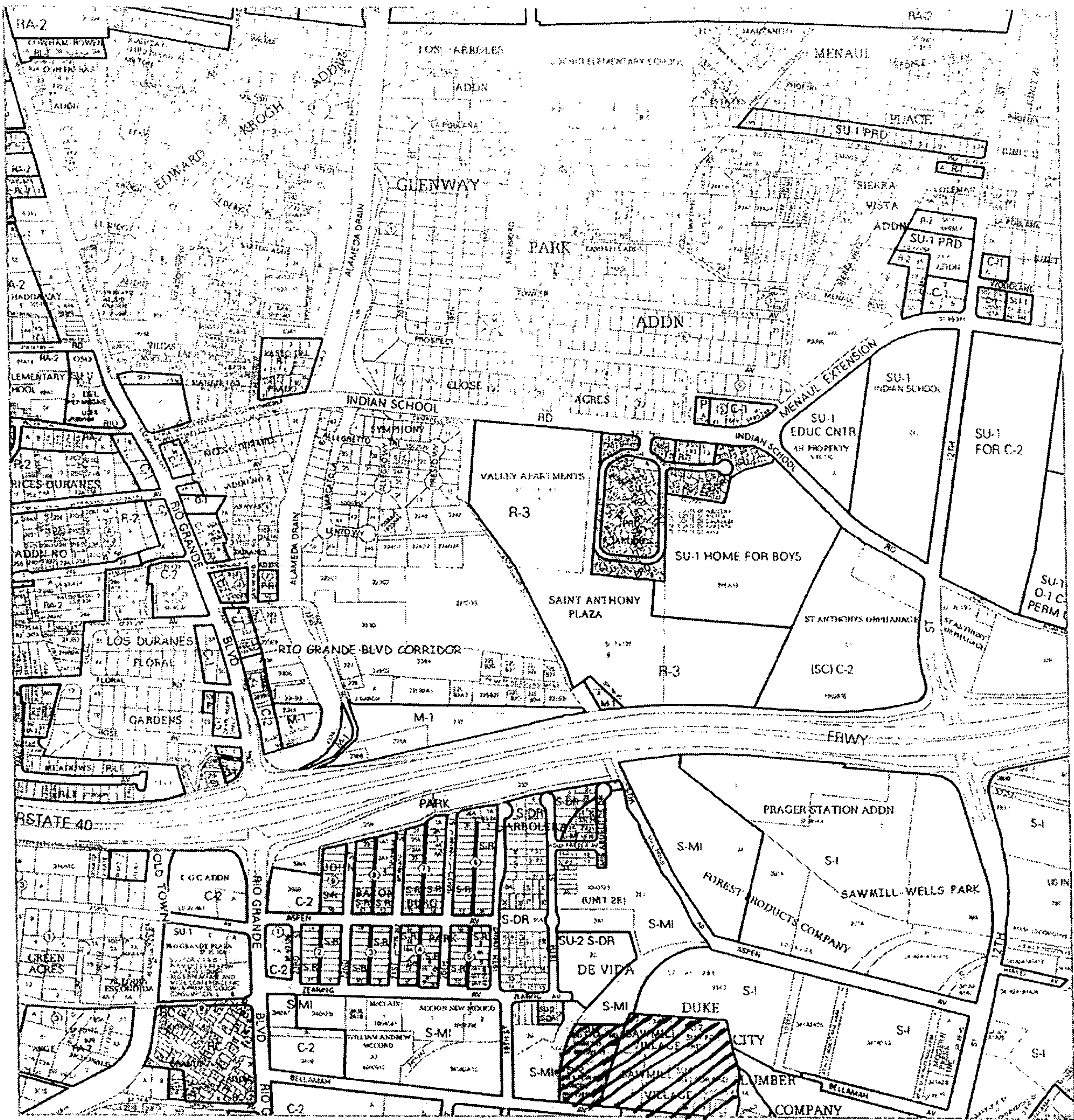
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


[Signature] (Applicant or Agent) 9.16.11 (Date)

I issued 1 signs for this application, 9-16-11 (Date) *[Signature]* (Staff Member)

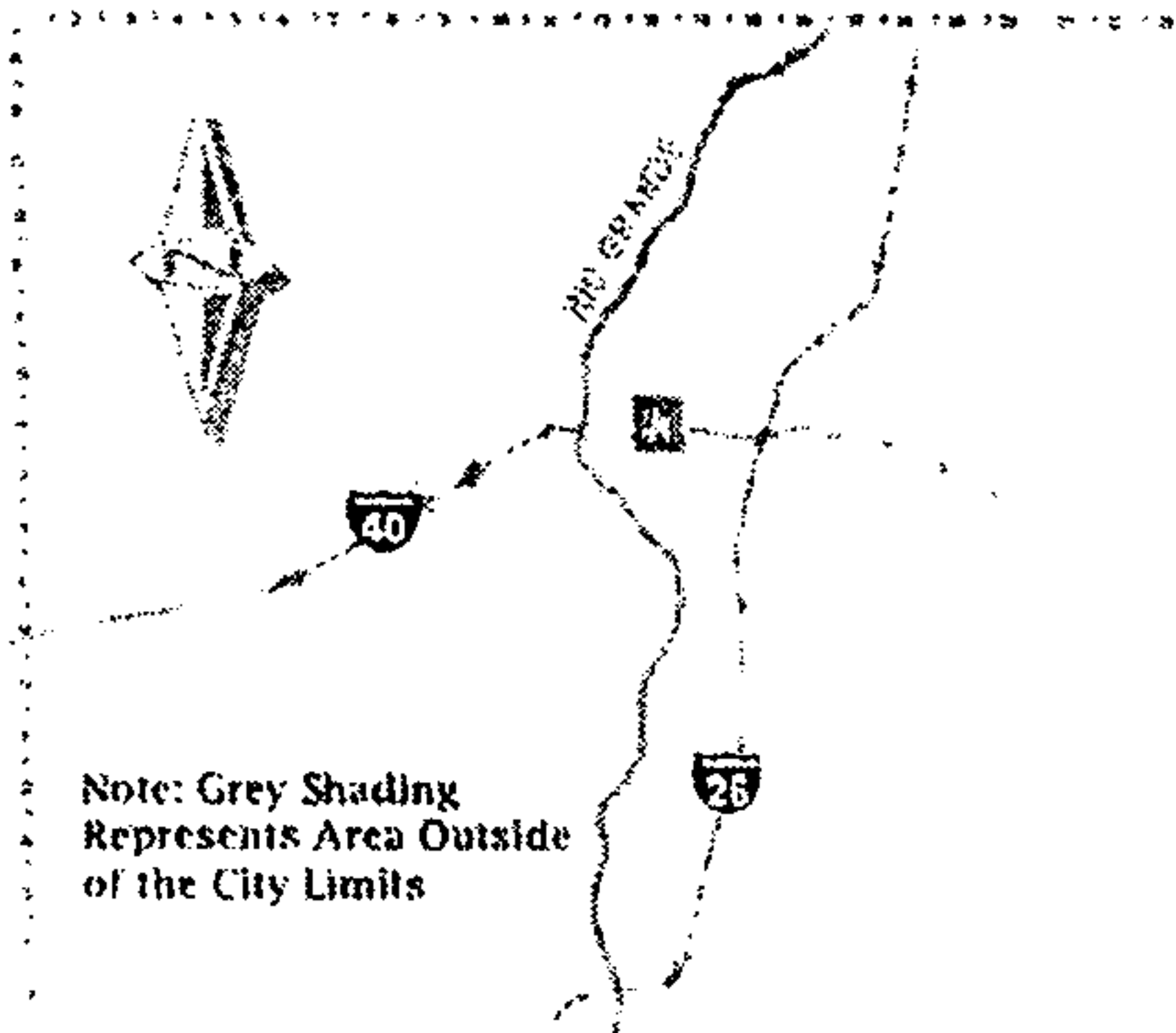
DRB PROJECT NUMBER: ~~1005354~~
1005354



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/24/2011



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

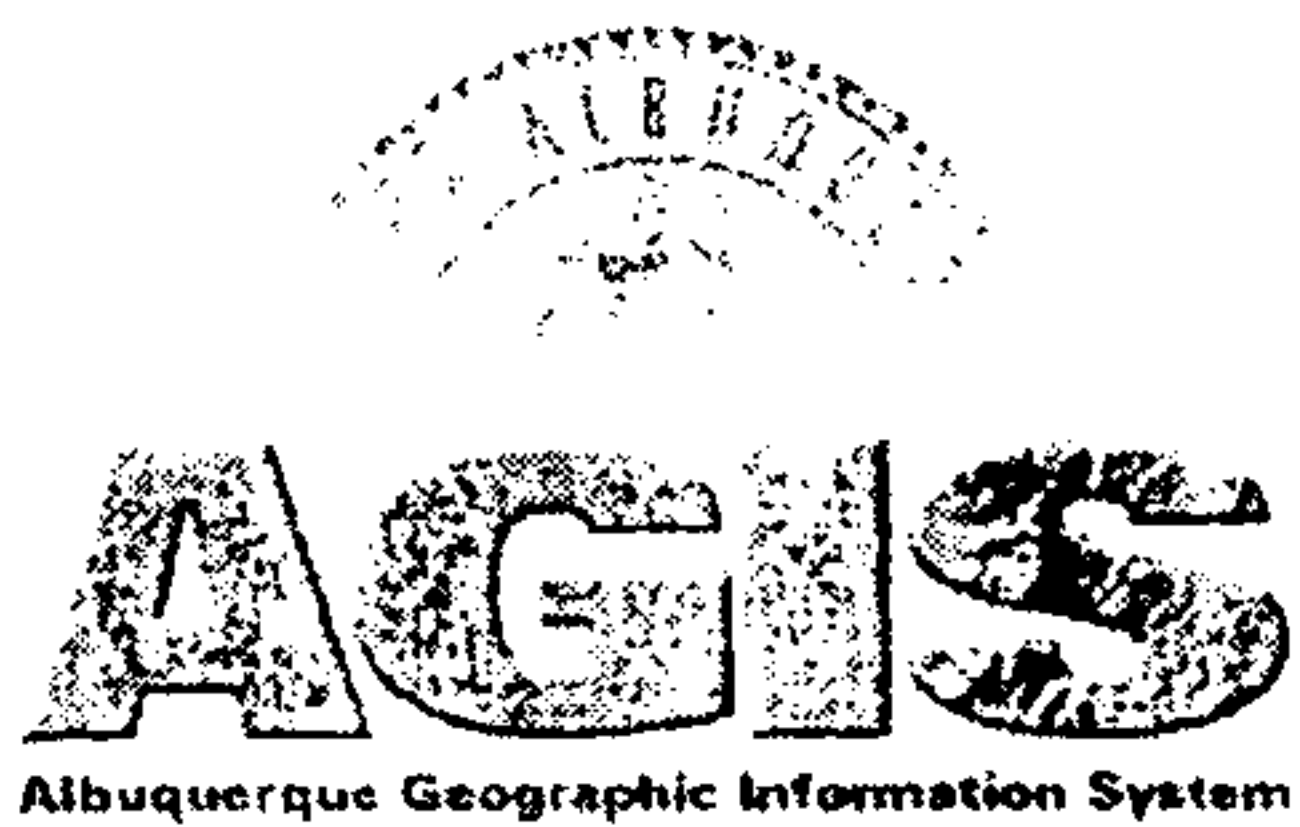
Selected Symbols

SECTOR PLANS		Escarpment
Design Overlay Zones		2 Mile Airport Zone
		City Historic Zones
		Airport Noise Contours
		H-1 Buffer Zone
		Wall Overlay Zone
		Petroglyph Mon.

0 750 1500 Feet

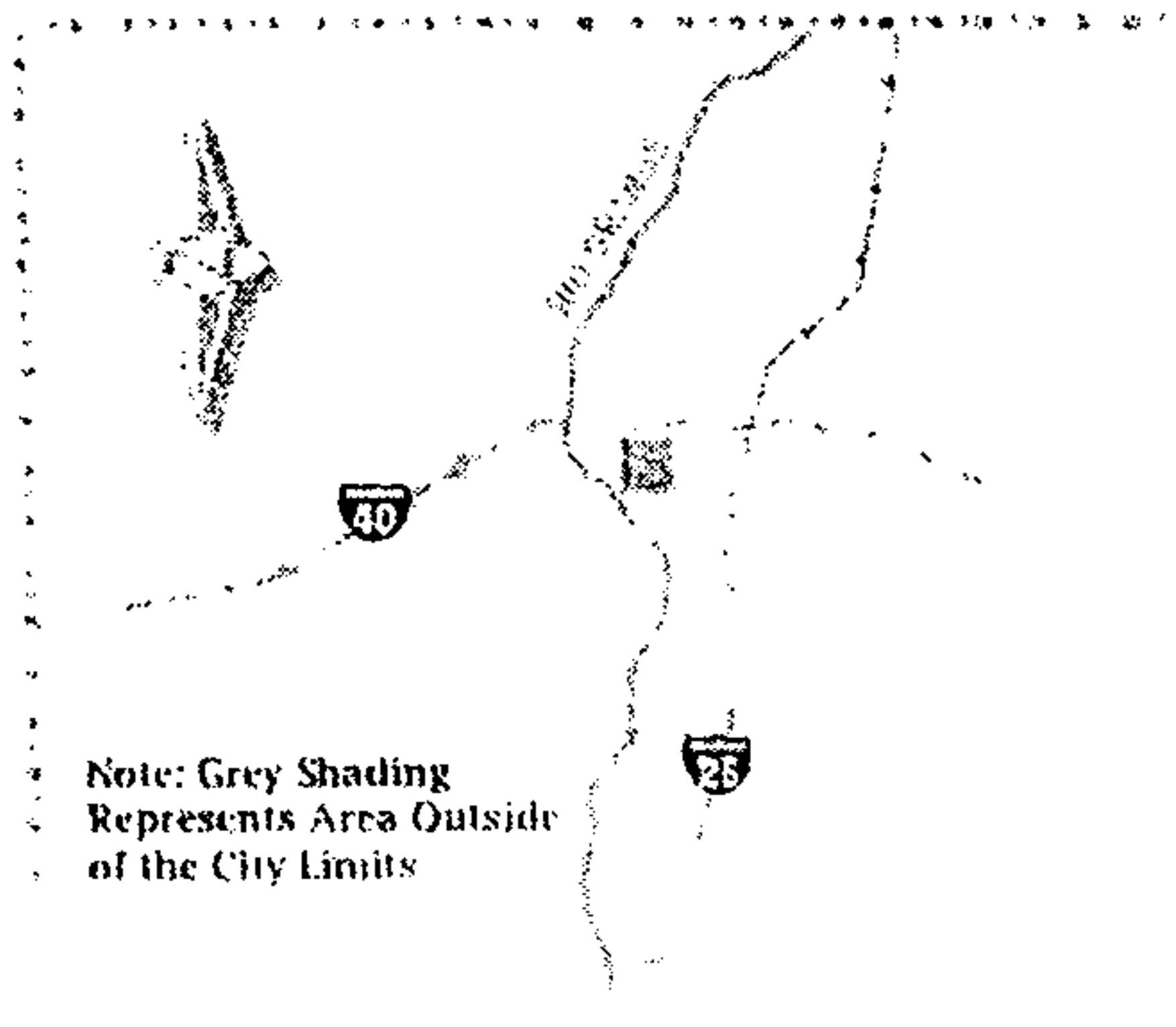


For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/24/2011



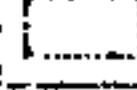
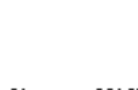

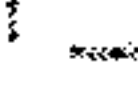

Note: Grey Shading Represents Area Outside of the City Limits

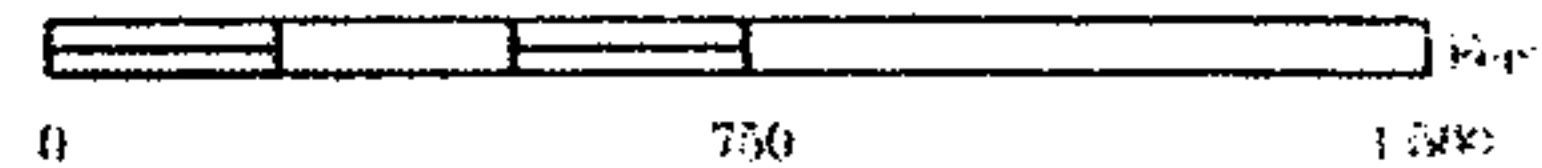


Zone Atlas Page:

J-13-Z

Selected Symbols

- SECTOR PLANS  Escarpment
- Design Overlay Zones  2 Mile Airport Zone
-  City Historic Zones
-  Airport Noise Contours
-  H-1 Buffer Zone
-  Wall Overlay Zone
-  Petroglyph Mon.



September 6, 2011

Mr. Jack Cloud
Chairman
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

**Re: Conditions for Approval
Sawmill Village
Request for Amended Site Development Plan for Subdivision
Tract 2-D of the Arbolera de Vida Subdivision, Albuquerque, NM (Phase 2)
Project # 1005354; 07EPC-00109**

Dear Mr. Cloud:

This letter addresses the conditions that the Environmental Planning Commission (EPC) required the applicant to address on the EPC submittal for the Keshet Performing Arts Center at Sawmill Village (Project #1005354, 07EPC-00107– Notice of Decision dated August 11, 2011). Following is a brief, bulleted summary of the submittal to-date:

- On June 30th, the applicant submitted the first set of plans requesting approval for Site Development Plan for Building Permit.
- On July 29th, the applicant submitted a revised set of plans to the City. The revision showed updates and initial comments from the City Planner incorporated.
- On August 11th, in the Notice of Decision, the EPC delegated final approved Site Development Plan for Subdivision Amendment requests to the Design Review Board (DRB).

Project History:

On August 11, 2011, the Environmental Planning Commission approved the Site Plan for Building Permit (SPBP) application and delegated final approval to the DRB. The original SPBP was submitted, reviewed, and approved (with conditions) by the EPC in 2007, with final sign-off by the DRB obtained later that same year. The original approved plan had two phases, and Phase 1 was subsequently broken into sub-phases through the Administrative Amendment process. Phase 1A, consisting of live/work residential units, is currently under construction. Phase 1F, consisting of retail space and residential condominiums, is currently in design. The remaining sub-phases of Phase 1 will be built to meet market demand.

Phase 2 was approved by the EPC as a conceptual site plan only, and included retail space, a brewery and restaurant, “active spaces,” and ten residential units, all in three buildings totaling 30,500 square feet. Final review and approval of Phase 2 was delegated to the DRB.

Keshet Dance Company is working with the Sawmill Community Land Trust and the developers of Sawmill Village to locate the Keshet Performing Arts Center (KPAC) in Phase 2 of Sawmill Village. The performing arts and community-oriented uses of this facility align perfectly with the goals of the Sawmill area; however, the programmatic requirements of KPAC differ from what was originally approved for Phase 2 of the SBP. Therefore we are requesting an amendment to the approved plan through the EPC process.

In response to the City Council and EPC conditions, the applicant is submitting a revised set of plans and some minor changes in the plans. Listed below are the conditions and the applicant's responses.

1. **CONDITION:** The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

RESPONSE: This letter shall accompany the modifications to the Site Development Plan for DRB final sign-off specifying how each EPC condition was met.

2. **CONDITION:** Prior to final DRB sign off, the applicant shall meet with the staff planner to ensure that conditions of the approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.

RESPONSE: The applicant met with Catalina Lehner, staff senior planner, on Thursday, September 1, 2011, to ensure the conditions of approval have been met.

3. **CONDITION:** The request shall comply with the General SU-2 Regulations in the Sawmill/Wells Park Sector Development Plan and the Sawmill Village design standards (Project #1005354, 07EPC-00107).

RESPONSE: The request complies.

4. **CONDITION:** Building Data: Update the Building Data table to keep O-1 and C-1 uses less than 25% of the total development, as required in the SU-1 for PRD zone, and update the associated calculations.

RESPONSE: The Building Data table was clarified with a memo indicating the breakdown of spaces, square footages, and percentages. It is attached to this document.

5. **CONDITION:** Vehicle Parking:
 - a. The parking table shall incorporate the changes to building square footage and shall match the number of parking spaces shown on the site development plan.

RESPONSE: The parking table reflects the accurate number of parking spaces based on the building square footage.

- b. The Zoning Code ratio ("required ratio") for the brewery/restaurant shall be one (1) space for every four (4) seats.

RESPONSE: The required ration has been updated to reflect one (1) space for every four (4) seats.

6. **CONDITION:** Bicycle and Motorcycle Parking:

- a. The bicycle rack shall be relocated from the southern side of the site (landscape area) to a more central location on the plaza.

RESPONSE: The bicycle rack has been relocated to the plaza area between Keshet Performing Arts Center (KPAC) and the restaurant/micro-brewery.

- b. A bicycle rack detail shall be provided.

RESPONSE: A bicycle rack detail has been provided on a detail sheet, SDP4.

- c. The motorcycle spaces on the western side shall be relocated to an area visible from the arts center's main entrance and shall be designated by signage [14-16-3-1C (2)].

RESPONSE: The motorcycle spaces on the western side of the parking lot were relocated to the parking island visible from the entry and marked with signage as designated by 14-16-3-1C(2).

- d. Motorcycle spaces shall be counted in addition to vehicle spaces (not as part of the vehicle space total).

RESPONSE: Motorcycle spaces have been counted in addition to vehicle spaces and not part of the vehicle space total, for a total of 117 spaces.

- e. One more motorcycle space shall be provided.

RESPONSE: Two additional motorcycle spaces have been added.

7. **CONDITION:** Pedestrian and Plaza Issues:

- a. Clearly demarked pedestrian crossings of raised, scored paving shall be provided across the drive aisles to connect the sidewalk (design standard).

RESPONSE: Pedestrian crossings have been identified with a cross hatch pattern and noted (#14) on the site plan at the parking lot drive aisle and 18th Street pedestrian crossing.

- b. "Decorative Paving" shall be defined as scored and/or textured paving and its color specified.

RESPONSE: Decorative paving is identified as scored concrete, color: gray.

8. **CONDITION:** Walls/Fences:

- a. The color, finish and/or type of block for the screen wall shall be specified.

RESPONSE: The color is tan. The finish is burnished concrete masonry units and is indicated on the Site Detail Sheet SDP4.

- b. The location of the fence near the NW corner, and its color, finish and/or type, shall be specified and a detail provided.

RESPONSE: The site wall is indicated by note 36 and a detail shown on SDP4.

- c. The color of the steel tube fence along the western side shall be indicated.

RESPONSE: The fence is an open steel tube fence, 6' high, color: silver/gray. Note 42 on SDP1.

- d. The height, type, color and finish of the guard rail by the pond shall be indicated.

RESPONSE: The metal guard rail, 42" high, color: silver/gray, matte finish is indicated, note 42a on SDP1.

9. **CONDITION:** Landscaping Plan:

- a. The landscape calculations shall be adjusted to correspond to the revised building square footages for Phase II.

RESPONSE: The landscape calculations reflect the proper building square footages.

- b. The 36 sf tree planting area shall be a minimum.

RESPONSE: The note was clarified to indicate a minimum 36 sf tree planting area.

- c. The seat walls around the planters shall be shown.

RESPONSE: The seat walls are shown and indicated by note 8 on SDP2 and SDP2A.

- d. The trees along Bellamah Avenue, approved in the 2007 site development plan, shall be reinstated.

RESPONSE: The street trees have been reinstated.

10. **CONDITION:** Refuse Enclosures:

- a. The applicant shall check with SWMD regarding the refuse enclosure's location.

RESPONSE: SWMD has reviewed the location and stamped with signature on September 1, 2011.

- b. Refuse enclosures shall comply with the requirements of the Solid Waste Management Division.

RESPONSE: Will comply.

- c. The color and finish of the refuse enclosure shall be indicated.

RESPONSE: The color and finish are indicated on SDP4, color: tan, finish: burnished CMU block.

11. **CONDITION:** Lighting: Provide detail for each light pole type.

RESPONSE: The light pole types are indicated on SDP4.

12. **CONDITION:** Reflective glass shall not be permitted (General SU-2 regulation 4.f.).

RESPONSE: A note has been added to sheet SDP3.

13. **CONDITION:** Signage:

- a. The letter color and lighting of the monument sign shall be specified.

RESPONSE: All have been indicated and noted on SDP4.

- b. The letter color and square footage of the building mounted signs shall be specified.

RESPONSE: All have been indicated on the building elevations, sheets SDP7 and SDP7A.

- c. Signs shall not be illuminated plastic panel signs (design standard).

RESPONSE: The note internally illuminated signs has been striked from sheets SDP7 and SDP7A.

14. CONDITION: Minor clean-up and Additions:

- a. Use lighter shading on the building table and parking table.

RESPONSE: This has been updated.

- b. Revise the label “Active Space” used for building A2’s breakdown of square footages by use.

RESPONSE: The label has been revised.

- c. Label the loading dock and the turnaround area near it.

RESPONSE: The note was clarified and indicated with note 15 and 34 on SDP1.

- d. Provide a separate detail sheet.

RESPONSE: Detail sheet SDP4 has been added.

- e. Use bubbling to indicate changes to the tables on the Grading and Drainage plan.

RESPONSE: Bubbling has been indicated.

- f. Correct the reference to 14-16-3-19 in the design standards.

RESPONSE: Reference has been corrected.

15. Conditions from the City Engineer:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the site development plan, as may be required by the Development Review Board (DRB).

RESPONSE: Will comply.

- b. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.

RESPONSE: Will comply.

- c. Site plan shall comply and be designed per DPM Standards. Any instances of non-compliance are remedied through conditions of approval.

RESPONSE: Will comply.

16. Conditions from PNM:

- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of these easements.

RESPONSE: Will comply.

- b. An existing electric transmission line is located on the eastern boundary of the Phase 1B and 1C and an existing electric distribution line is located east of the Phase 2 boundary. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate the relocation of the existing electric structure regarding this project. In addition, coordination with New Service Delivery Department is necessary regarding any proposed tree location and with the sign, location and height, and lighting height in order to ensure sufficient safety clearances.

RESPONSE: Will comply.

- c. Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformer and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specification.


RESPONSE: Will comply.

Conclusion:

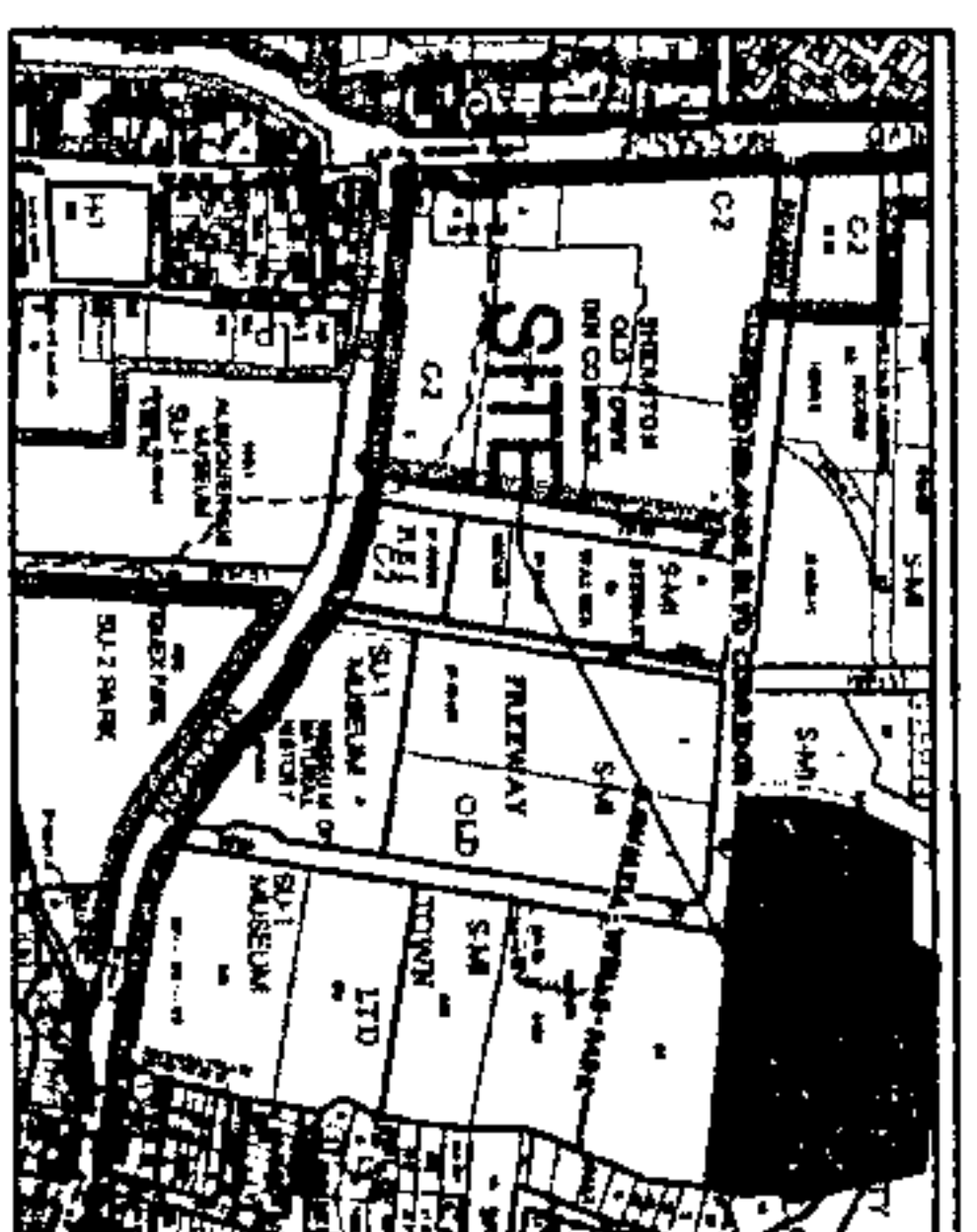
We respectfully request approval of the above request. If you have any questions or need clarification of anything contained herein, please contact Gail Granot or myself.

Sincerely,

Dekker/Perich/Sabatini
Agent for Keshet Dance Company



Christopher R. Gunning, AIA, LEED AP BD+C
Principal



LEGEND

- PROPERTY LINE
- EXISTING SANITARY SEWER & WATERLINE
- EXISTING DRAIN & VENTLINE
- EXISTING WATER LINE
- PROPOSED PUBLIC FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERLINE
- PROPOSED PUBLIC WATER MAIN
- PROPOSED PRIVATE WATER MAIN
- PROPOSED PRIVATE WATER MAIN

WATER KEYS NOTES

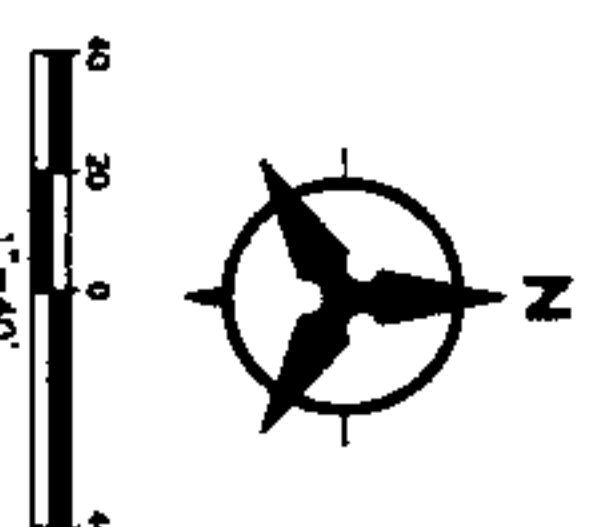
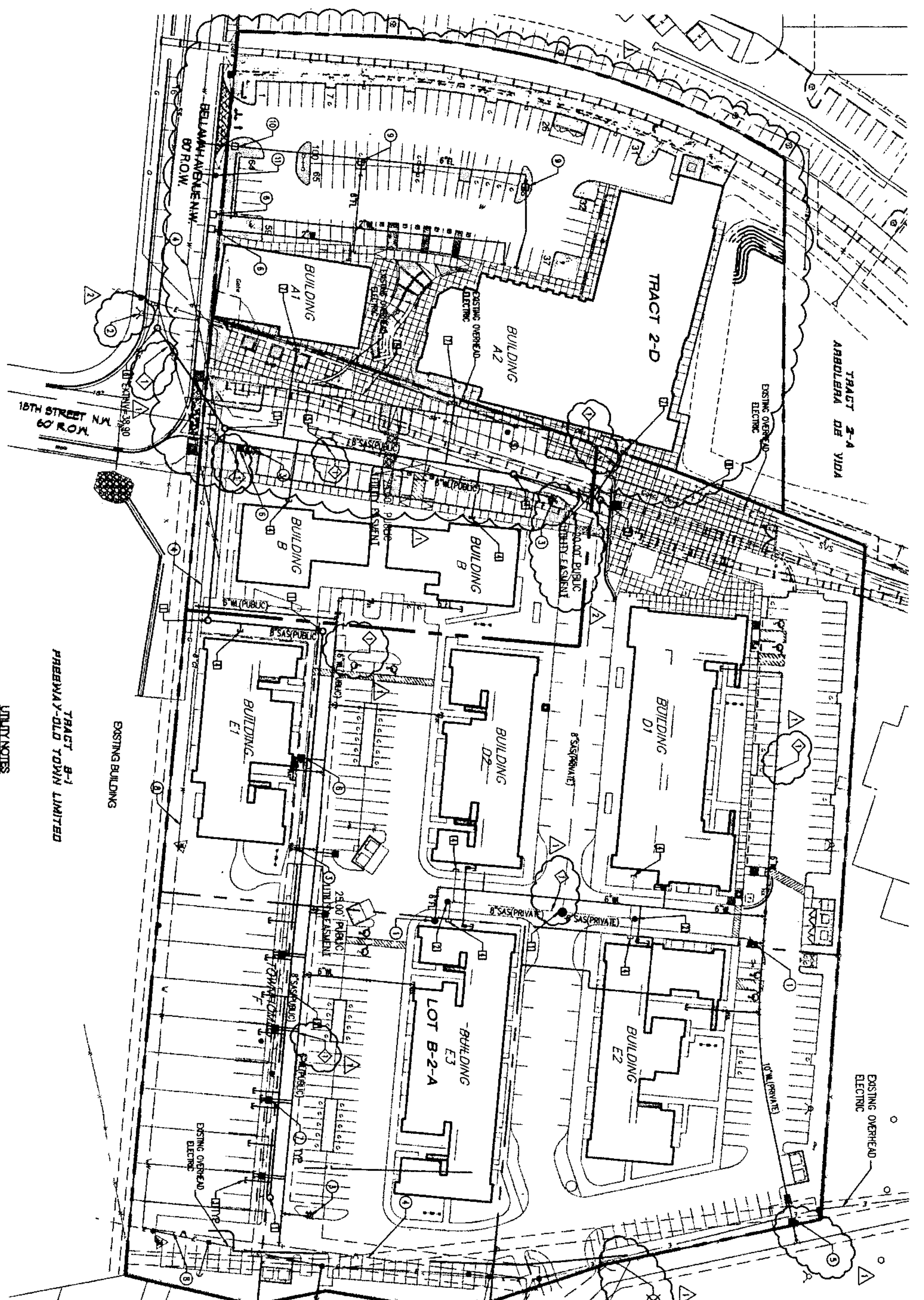
1. PRIVATE FIRE HYDRANT
2. EXISTING PUBLIC FIRE HYDRANT TO REMAIN
3. REMOVE EXISTING OR INSTALL PUBLIC FIRE HYDRANT
4. EXISTING PUBLIC 6" CAST IRON WATER LINE TO REMAIN
5. 2" FIRE ASSEMBLY TYPE IN PUBLIC EXPOSURE AS REQUIRED
6. 2" WATER MAIN
7. 3/4" SERVICE WATER MAIN (TWO PER BOX)
8. SERVICE 6" CAST IRON WATER LINE TO BE APPROVED
9. INSTALL PLY
10. INSTALL BACKFLOW PREVENTER IN HOT BOX
11. INSTALL PUBLIC FIRE HYDRANT

SANITARY SEWER KEYS NOTES

1. 8" S&W MAIN
2. 8" S&W CLEAN OUT
3. 6" S&S SERVICE
4. 6" S&S SERVICE
5. 6" S&S SERVICE
6. EXISTING 6" S&S INVERTION W/ JY EXISTENT
7. 6" S&S SERVICE LINE WITH PRIVATE S&S EXISTENT
8. EXISTING 6" S&S INVERTION W/ JY EXISTENT

OVERALL UTILITY KEYS NOTES

1. EXISTING UTILITIES FOR COA PROJECT AT 75% SHALL MAINTAIN EXISTING PLUMBING PLACES
2. PUBLIC IMPROVEMENTS (PAVING, WATER, GAS, ETC.) SHALL BE THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE (CITY OF ALBUQUERQUE SHALL BE RESPONSIBLE FOR THE PLUMBING WORK AT THE PLUMBING PLACES)



- UTILITY NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: REPAIRING, REPLACING, SUPPORTS, CLEANOUT PLACES, SERVICE STOPS AND BOXES, SERVICE LINES, SERVICE CLEANING, AND SERVICE NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 2. UNLESS OTHERWISE NOTED, ALL WORK SHALL BE 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTIONS.
 3. ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL EXCEPT AS OTHERWISE STATED OR PROVIDED BY GENERAL CONTRACTING IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE, LATEST EDITION.
 4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
 5. MOOR GRADING OF SITE (SLOPE) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
 6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
 7. ALL VALUES SHALL BE APPROVED PER COA STANDARD SPEC. 2111.
 8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER MAIN, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PROTECTA AND OTHER SPECIAL ASSESSMENTS.
 10. CONTRACTOR SHALL VERIFY ANGLES AND LOCATIONS OF EXISTING WATER/S&S LINES PRIOR TO BEGINNING WORK. ALL CONTRACTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RECORDED PRIOR TO BEGINNING WORK.
 11. CONTRACTOR SHALL PREPARE ALL NECESSARY PERMITS AND PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "NEW WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER PUBLIC WATER LINE CONNECTIONS.

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 Plot: 11-09-2011 10:25:59 AM
 Plotter: HP DesignJet 5000 Series
 Plot Style: HP-DesignJet 5000 Series.ctb
 User: jls

Dekker Perich Sabatini
 ARCHITECT
 1001 JOHNSON BLVD. STE. 100
 ALBUQUERQUE, NM 80001
 (505) 761-0700
 (505) 761-4222
 (505) 761-4223

DRB SUBMITTAL
 8/30/2011

Sawmill Village
 Bellamah Avenue & 18th Street
 Albuquerque, New Mexico

CONCEPTUAL UTILITY PLAN

PROJECT NO: 11-0038
 DATE: 8/30/2011
 DRAWING NO: 11-0038

SDP 10

GENERAL NOTES

- Contact the local underground utility services for utility location and identification.
- Refer to civil engineer's utility, easement and grading plans for utility location, existing and proposed easements and grading.
- See site plan for descriptions of elements such as site furnishings, paving materials and other site elements.

IRRIGATION NOTES

- Irrigation design shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance.
- Installation and maintenance of irrigation shall be the responsibility of the property owner.
- The irrigation system shall be run with a fully automated timer irrigation controller. Run times shall be adjusted according to season, location, and plant performance. Drip emitters shall be used for all plant material.
- Point of connection: The water supply shall be a 1/2" tap off of the domestic water line. Valve boxes and equipment shall be installed from view.
- Piping: Minimum allowable PVC size is 3/4". All lateral piping to be schedule 40 class pipe.
- Emitter to be placed 6" from plant center.
- Emitter quantity and flow rates as follows:
 Trees: quantity 5 emitters @ 2gph each
 Shrubs: quantity 2 emitters @ 2gph each
 Ornamental Grasses, Perennials, Accents, Vines: quantity 1 emitter @ 2gph each

KEYED NOTES

- PROPERTY LINE
- TREE IN TREE ORNATE
- TWO-LINE TREE ORNATE
- DIMENSIONED ENCLOSURE
- PROPOSED POOL SEE CIVIL ENGINEER'S DRAWINGS
- FOCAL POINT SEE SITE PLAN
- PHASE DELINEATION LINE
- SEAT WALL SEE SUPPL.

LANDSCAPE CALCULATIONS

NOTE: Original Plan including 18th Street, Building B

SITE AREA: 43,244 SF
 BUILDING FOOTPRINT: 9,419 SF
 NET SITE AREA: 33,825 SF

REQUIRED LANDSCAPE AREA: 18.9% OF NET LOT AREA
 PROVIDED LANDSCAPE AREA: 18.9% OF NET LOT AREA

REQUIRED OFF-STREET PARKING TREES: 48 TREES
 PROVIDED OFF-STREET PARKING TREES: 48 TREES

REQUIRED MULTI-FAMILY RESIDENTIAL TREES: 14 TREES
 PROVIDED MULTI-FAMILY RESIDENTIAL TREES: 14 TREES

REQUIRED HIGH WATER USE TURF AREA: 0 SF (0%)
 PROVIDED HIGH WATER USE TURF AREA: 0 SF (0%)

LANDSCAPE CALCULATIONS

NOTE: Phase I (Bldgs A1, A2)

THESE CALCULATIONS ARE FOR PHASE TWO ONLY. THEY DO NOT INCLUDE THE NET LOT AREA, BUILDING FOOTPRINT, OR NET SITE AREA. AS THEY WERE PART OF PHASE ONE CALCULATION.

PHASE I SITE AREA: 10,000 SF
 BUILDING FOOTPRINT AREA: 1,000 SF
 BUILDING AT FOOTPRINT AREA: 1,000 SF
 BUILDING AT FOOTPRINT AREA: 1,000 SF
 NET SITE AREA: 7,000 SF

REQUIRED LANDSCAPE AREA: 11.8% OF NET LOT AREA
 PROVIDED LANDSCAPE AREA: 11.8% OF NET LOT AREA

REQUIRED HIGH WATER USE TURF AREA: 0 SF (0%)
 PROVIDED HIGH WATER USE TURF AREA: 0 SF (0%)

LANDSCAPE CALCULATIONS

NOTE: Phase II (Bldgs D1, D2, E1, E2, E3)

THESE CALCULATIONS ARE FOR PHASE TWO ONLY. THEY DO NOT INCLUDE THE NET LOT AREA, BUILDING FOOTPRINT, OR NET SITE AREA. AS THEY WERE PART OF PHASE ONE CALCULATION.

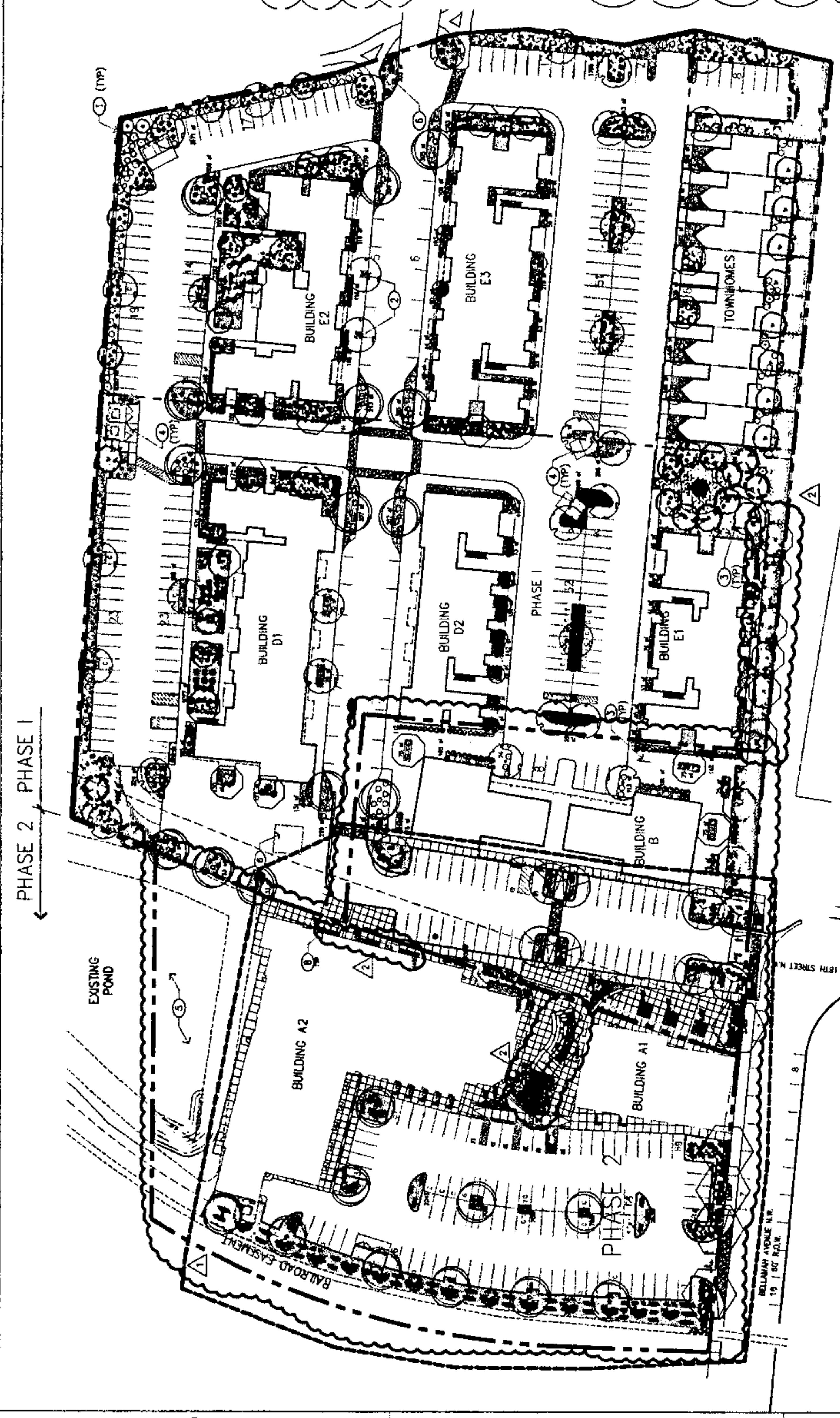
PHASE II SITE AREA: 10,000 SF
 BUILDING FOOTPRINT AREA: 1,000 SF
 BUILDING AT FOOTPRINT AREA: 1,000 SF
 BUILDING AT FOOTPRINT AREA: 1,000 SF
 NET SITE AREA: 7,000 SF

REQUIRED LANDSCAPE AREA: 11.8% OF NET LOT AREA
 PROVIDED LANDSCAPE AREA: 11.8% OF NET LOT AREA

REQUIRED HIGH WATER USE TURF AREA: 0 SF (0%)
 PROVIDED HIGH WATER USE TURF AREA: 0 SF (0%)

PLANTING NOTES

- The design intent of the planting plan includes a regionally appropriate and water wise selection of plant material with year round interest. The design is a collaboration between the architect and the site to create an overall Land Plan. There are optimally located for shade and street tree benefit in combination with ornamental grasses, accents and flowering perennials for color.
- Planting plan complies with the City of Albuquerque's Water Conservation, Landscaping and Water Waste Ordinance, and section 14-16-3-10 of the City of Albuquerque's General Regulations.
- Planting installation and maintenance shall be the responsibility of the property owner including replacement of non-surviving plants within 90 days.
- Landscaping beds shall achieve a minimum of 80% live vegetative coverage upon start maturity.
- Major all landscape areas shall be covered with 3" of rock mulch in order to inhibit weed growth, add visual interest, and protect soil moisture. Color to be determined. See Legend.
- Contractor shall verify plant counts and square footages. This information is provided as owner confirmation only. I quantities on plant list differ from plan quantities, plan quantities shall prevail.
- Detailed and overall plant counts shall meet or exceed those shown on approved plan.
- Organic and biological amendments shall be applied in all tree and plant pits.
- Minimum tree well size shall be 36 square feet per General Reg 14-16-3-10, S.C.C.
- Plants with spines will be planted 5' from sidewalks.
- Plants shall be placed to cover a minimum 25% of the area.



PLANTING LEGEND

NOTE: Phase II Planting Plan includes Bldgs A1, A2 and related 18th Street Planting Plan.

SYMBOL	COMMON NAME	HEIGHT	WIDTH	WATER USE
(Symbol)	DESERT WILLOW	20.00	30.00	Low Water Use
(Symbol)	CHERRY PRISTINE	12.00	12.00	Medium Water Use
(Symbol)	TEXAS RED OAK	30.00	30.00	Medium Water Use
(Symbol)	PURPLE ROSE LOUSET	25.00	25.00	Medium Water Use
(Symbol)	ALPINE PINE	30.00	20.00	Low Water Use

SYMBOL	COMMON NAME	HEIGHT	WIDTH	WATER USE
(Symbol)	DESERT WILLOW	20.00	30.00	Low Water Use
(Symbol)	CHERRY PRISTINE	12.00	12.00	Medium Water Use
(Symbol)	TEXAS RED OAK	30.00	30.00	Medium Water Use
(Symbol)	PURPLE ROSE LOUSET	25.00	25.00	Medium Water Use
(Symbol)	ALPINE PINE	30.00	20.00	Low Water Use

SYMBOL	COMMON NAME	HEIGHT	WIDTH	WATER USE
(Symbol)	DESERT WILLOW	20.00	30.00	Low Water Use
(Symbol)	CHERRY PRISTINE	12.00	12.00	Medium Water Use
(Symbol)	TEXAS RED OAK	30.00	30.00	Medium Water Use
(Symbol)	PURPLE ROSE LOUSET	25.00	25.00	Medium Water Use
(Symbol)	ALPINE PINE	30.00	20.00	Low Water Use

PLANTING LEGEND

NOTE: Original Phase I Planting Plan includes Bldgs B, and 18th Street

SYMBOL	COMMON NAME	HEIGHT	WIDTH	WATER USE
(Symbol)	DESERT WILLOW	20.00	30.00	Low Water Use
(Symbol)	CHERRY PRISTINE	12.00	12.00	Medium Water Use
(Symbol)	TEXAS RED OAK	30.00	30.00	Medium Water Use
(Symbol)	PURPLE ROSE LOUSET	25.00	25.00	Medium Water Use
(Symbol)	ALPINE PINE	30.00	20.00	Low Water Use

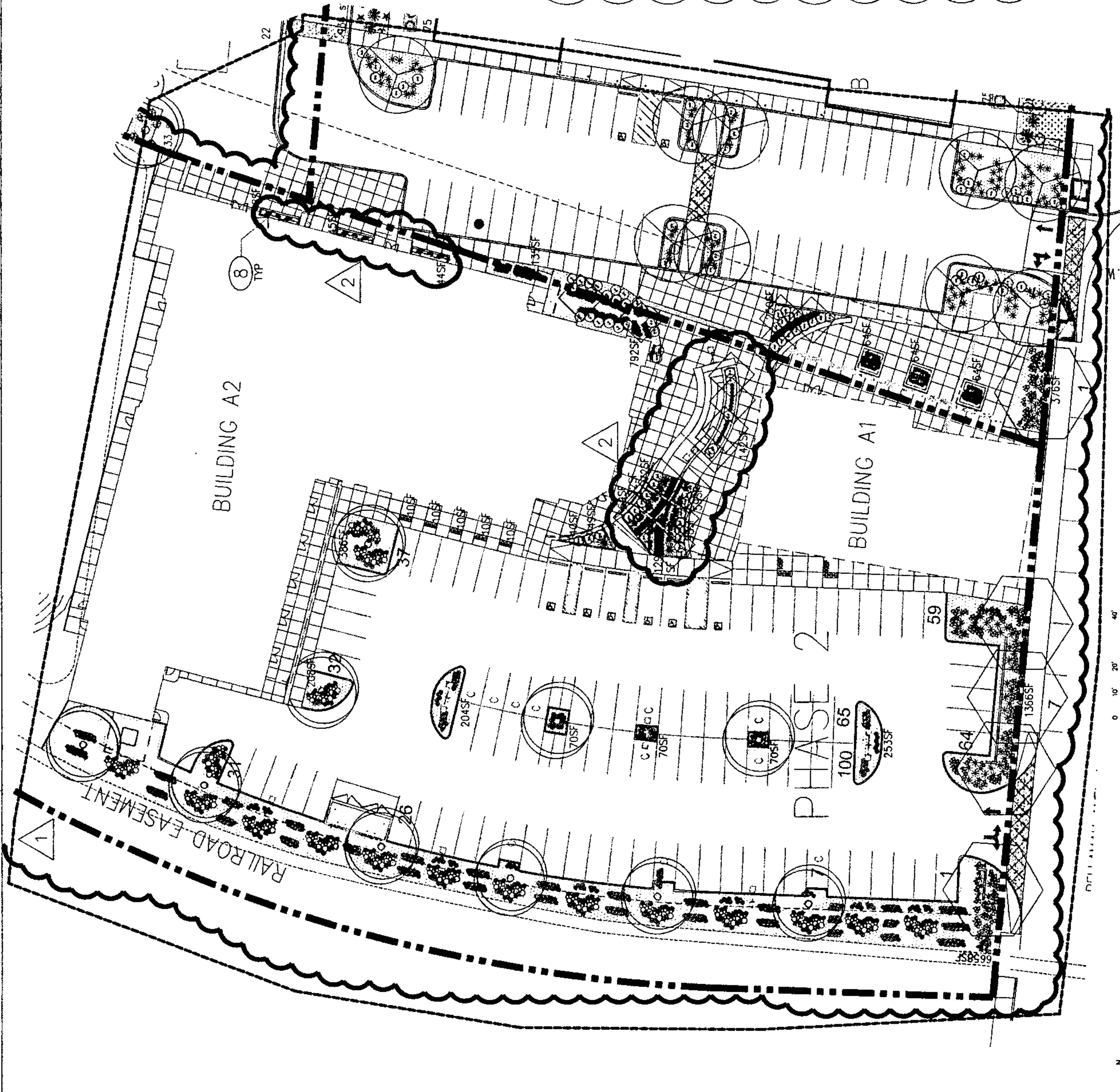
SYMBOL	COMMON NAME	HEIGHT	WIDTH	WATER USE
(Symbol)	DESERT WILLOW	20.00	30.00	Low Water Use
(Symbol)	CHERRY PRISTINE	12.00	12.00	Medium Water Use
(Symbol)	TEXAS RED OAK	30.00	30.00	Medium Water Use
(Symbol)	PURPLE ROSE LOUSET	25.00	25.00	Medium Water Use
(Symbol)	ALPINE PINE	30.00	20.00	Low Water Use

SYMBOL	COMMON NAME	HEIGHT	WIDTH	WATER USE
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PLANTING LEGEND

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(Symbol)	TEXAS RED OAK	30.00	30.00	Medium Water Use
(Symbol)	PURPLE ROSE LOUSET	25.00	25.00	Medium Water Use
(Symbol)	ALPINE PINE	30.00	20.00	Low Water Use



KEYED NOTES

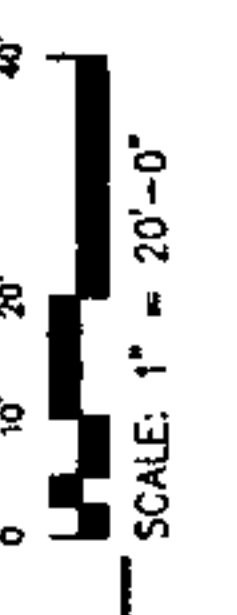
1. PROPERTY LINE
2. 1/2" ASPHALT DRIVE
3. 1/2" ASPHALT DRIVE
4. DRIVE ENCLASURE
5. PROPOSED POND SEE CIVIL ENGINEER'S DRAWINGS
6. 1/2" ASPHALT DRIVE
7. 1/2" ASPHALT DRIVE
8. SEAT WALL SEE SDP4

NOTE: REFER TO L101 LANDSCAPE PLAN FOR GENERAL IRRIGATION AND PLANTING NOTES, AND LANDSCAPE CALCULATIONS.

PLANT LEGEND

NOTE: Phase II Planting Plan includes Bldgs A1, A2 and includes 10th Street Planting Plan

SYMBOL	QTY	INSTALLS	MIN SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
○	19	2'-0"	12"	THORNLESS HONEY LOCUST	Quercus laevis	30.0'	30.0'	Low Water Use
○	6	2'-0"	12"	2'-0" High Thick RED TEXAS OAK	Quercus laevis	30.0'	30.0'	Medium Water Use
○	15	3" to 1 1/2"	12"	CHASTE TREE	Vincetoxicum sp.	20.0'	18.0'	Low Water Use
○	9	2'-0"	12"	CHINESE PRISTINE	Ficus chinensis	30.0'	30.0'	Medium Water Use
○	91	1'-0"	12"	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
○	91	1'-0"	12"	ORANGE BUTTERFLY WEED	Achillea millefolium	1.0'	1.0'	Low Water Use
○	15	1'-0"	12"	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
○	15	1'-0"	12"	ROYAL BLUE ITEM	Amorpha canescens	5.0'	2.0'	Low Water Use
○	20	1'-0"	12"	BLAY THREADPOSS	Humulus lupulus	1.0'	1.0'	Low Water Use
○	30	1'-0"	12"	DERBYWASS	Achillea millefolium	4.0'	2.0'	Low Water Use
○	137	1'-0"	12"	LITTLE BLUESTEM	Schizanthus pinnatifidus	3.0'	1.5'	Low Water Use
○	41	1'-0"	12"	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
○	41	1'-0"	12"	DESBRY MARSHALD	Salix mollis	1.0'	1.0'	Low Water Use
○	91	1'-0"	12"	FOUR O'CLOCK	Ipomoea pes-caprae	1.0'	4.0'	Low Water Use
○	341	1'-0"	12"	MARSHALD EVENING PRIMROSE	Oenothera biennis	1.0'	1.0'	Low Water Use
○	13	1'-0"	12"	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
○	13	1'-0"	12"	PURPLE PROCKLY	Quercus laevis	3.0'	6.0'	Low Water Use
○	100	1'-0"	12"	SOFT BLADE YUCCA	Yucca rostrata	2.0'	3.0'	Low Water Use
○	14	1'-0"	12"	BLUE BOTOL	Delphinium elatum	2.0'	6.0'	Low Water Use
○	12	1'-0"	12"	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER USE
○	12	1'-0"	12"	HALL'S HORNETBUSH	Urtica dioica	6.0'	4.0'	Low Water Use



1 LANDSCAPE PLAN ENLARGEMENT
PHASE II

Design Standards for Planned Residential Development (PRD)

Overall Design, Theme, and Land Use Concept

The purpose of these design standards is to establish a development framework for the area shown on the site development plan for subdivision. These design standards will create an attractive and innovative development that fosters a mixed-use community for residents, artisans and other small business owners, and retailers and their clients. The new community respects the history of the site (former lumber yard), the neighborhood (historic Sawmill and Old Town), and the City. It also allows for the privacy and well-being of the residents and other users. The mix of uses is unique to the City. These standards are complementary to the existing and new design of adjacent properties.

The housing will be affordable rental, and for-sale condominiums and townhome units (in agreement between Sawmill Community Land Trust & the developer allows for up to 20% of condominiums and townhomes to be affordable units). The Active Spaces will be short-term leased to artisans and incubator companies. Service-oriented Retail spaces might be a health club, management leasing office, and other small businesses. Phase II is envisioned with a restaurant with a small brewery, other retail, and more Active Spaces with open-air dining and a community arts center with small leaseable office spaces and a small (community) Green and sustainable building practices shall be incorporated: positive interception of surface water for landscape surfaces, xeric planting, directing roof water from downspouts to landscape areas when feasible. Energy Star appliances, and some materials with recycled content.

The sawmill hoppers from the site will be relocated and used as site monuments (see 14-4-3.3 in the Zoning Code). The largest hopper is approximately 75' tall, including its sandblast abutments. Site monuments shall comply with regulations applicable to signs within 40' feet of residential zones and to signs in the D-1 zone, specifically:

- no part of the monument shall be on the public right-of-way;
- any illumination shall comply with the City's Dark Sky requirements;
- no illuminated portion of the monument shall have a luminance greater than 200 foot-lamberts at night (not change its illumination more than once an hour.

Various plazas serve both residents and visitors. Semi-private spaces for the residents are shown in the lower areas of the site and residents have private patios, courtyards, balconies, decks or roof decks. Salvage of steel and metal from the site's previous life as a lumber yard will be used on site as signage, markers, and sculpture.

All units that face property zoned industrial shall have sound reducing insulation and windows.

The Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code shall approve minor amendments to this Site Plan for Subdivision. The Environmental Planning Commission shall approve major amendments to this Site Development Plan for Subdivision. Phase II site development plans for building permit are designed to the DRB for approval.

Off-Street Parking: Off-street parking spaces shall be provided in compliance with other similar mixed-use and retail developments. The site is designed as a shared parking environment for both residential and commercial users. Parking spaces shall be in compliance with regulation 14-16-3-1. Each townhome has a single-car garage and driveway parking for a second car. See SDP1 for Parking Calculation.

The guidelines also apply to disabled parking, and motorcycle and bicycle parking. Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided. Bicycle racks shall be constructed of metal and finished in colors harmonious with those of the buildings on site.

Architectural Design Guidelines

Landscape
The landscape design for Phase I and Phase II of the project will strive to engage the users by providing a welcoming environment for the residents and public. Through the use of warm, porous outdoor spaces will have residential color, texture and scale and will complement the architecture. There will be used to provide shade in pedestrian areas, highlight entrances and establish hierarchy of streets. Accent plants will be used to emphasize entrance and provide sculptural interest. The remainder of the plant palette will be a mix of shrubs, ornamental grasses and ground covers. The landscape design will comply with the intent of the City of Albuquerque High Corridor Vision, Landscaping and Water. Water ordinance and 14-16-3-10 of the City of Albuquerque General Regulations.

A landscape plan for Phase I and Phase II shall be submitted with the application for building permit to be approved on the Phase II property, reflecting the calculations, plant palette and design theme of the approved Phase I landscape plan.

Exterior Wall Materials and Colors
Exterior wall materials reflect the vernacular in the Sawmill neighborhood, the previous lumber mill and its industrial buildings and geometric forms, and a modern blend of both. Acquisition of materials so as not to produce a long and flat building facade shall be considered and avoided. Concrete colors shall be a mix of shades and colors to provide cover to the occupants and pedestrian and which the building complements with light changes. They further promote pedestrian site access and a place for people to work and socialize. The possible salvages of steel building frames could provide some of the columns and recall the former site of the site.

Succo wall finish system (or synthetic veneer) reinforces the vernacular architectural expression as do metal wall panels, corrugated steel, rusted steel, and stained cement panels. Exterior wall color shall reflect a consistent overall palette of earth and sky-based tones, both pale and saturated with color, as is the palette from nature.

In Phase II the apartment buildings (D and E) will use a succo wall finish system and metal wall panels in addition to metal shading devices. Color will be medium and deep earth tones, warm gray, and the metal will be silver with another accent color.

Building B will include red oxide painted metal shading devices. Structural steel columns that complete the arcade along the east and west face of the first floor retail spaces will also be red oxide color. Succo colors of red, white, terracotta, beige, black, and burnt orange will be used in conjunction with the grouping of the building's different masses. Signs and accoutrements have steel settings. They are in keeping with the industrial references to the Sawmill district as are the aluminum framed windows and doors.

The townhomes will incorporate two succo colors, light ochre and medium gray green along with terracotta stained cement board panels that will break up the facade rhythmically as well.

Architectural Elements
Architectural elements shown with aluminum framed overhead sectioned doors or large windows. The purpose of these is to open those spaces to the public, either by urban street view or to open an overhead door to show his or her car or via a large window to provide both views in and out. (Overhead doors are not provided for vehicles access.) Exterior detail trim such as shade casework and downcast, finials, and open railings shall be consistently detailed for each building to complement the overall architecture.

Phase II buildings will follow the same palette of materials and colors as Phase I.

Reflective glass shall not be permitted. General SUI-2 prohibition (1)
Reflective glass shall not be permitted.

Roof materials and colors
Roof materials and colors shall be consistent with the materials and colors used on the facades of the buildings on the site. The roof shall be a low slope roof and consists of a metal roof with a low profile parapet and a single ply membrane in a light color that will help reduce heat gain in the building. Roofs on the townhomes will be the most decorative single ply roof material that will help reduce heat gain in the townhomes. Some townhome roofs are sloped (plan ranges from 2:12-5:12). Phase II buildings will follow the same range of roof lines, materials and colors as Phase I.

Site Lighting
In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to illuminate public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety standards.
- All fixtures shall be enclosed in protective glass.
- Lighting shall be placed to prevent spillage onto adjacent properties or into the eyes of pedestrians.
- The height of streetlights and lighting shall be kept to the minimum necessary to illuminate the site.
- Individual site streetlights shall be coordinated with the architectural character of the building and other site features.
- Parking lighting shall be coordinated with Phase I, used computerized in Phase II.
- (1) 25' high minimum pole with cutoff features provided that the lighting fixture does not directly shine on any residential premises.

Other parking, lighting and lighting shall be coordinated with the lighting of the building and adjacent pedestrian areas; Building roof and facade, building materials, and colors shall be coordinated with the building design.

Placement of Mechanical Units
Care shall be made to hide the view of exposed mechanical units, tanks, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through free-standing dense evergreen foliage or on "green walls". Roof mounted units shall be screened from public view through the use of parapet walls or roof screens that are architecturally coordinated with the building design.

Signage
The following standards were developed to regulate the site, location, type and quality of sign elements with the overall development. The goal is to provide consistency in appearance and quality, and complements the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Signs identifying the principal use of a building may be free-standing or wall-mounted. Signs identifying the use of an active or other commercial space within the building shall be wall-mounted or banner-type sign that spaces no more than five feet above the adjacent sidewalk.
- The design of the signage directional signs shall be consistent with the design of the site signage.
- No illuminated plastic panel signs are allowed.

Screen Walls and Eaves
Screen walls shall be designed to comply with section 14-16-3-10 of the Zoning Code to be harmonious with the development & adjacent properties.

"Cover walls" - 6' high open metal fencing with plant material growing on or adjacent - will be used in all possible locations including the East and West side perimeter. The color will be similar to or harmonious with the paint materials. Fencing along the narrow lot will be treated to the adjacent Street Lots. 6' High open metal fences painted in a neutral color. At the eastern plaza area at the pond, remain material and color will be used as guards.

Patio walls shall reflect the same use of succo finish to complement that of the building or may contain the building finish by use of metal fencing (rail or solid) to resemble semi-private patios and balconies. Patio walls shall not exceed 5'. Color shall be harmonious with the adjacent building.

Townhome yard separation walls will be a composite of brick wall with stained cement in a metal frame above two cm. It will be stained and painted terracotta which is also used on the homes. Back yard walls shall not exceed 6'.
The west, south, and east sides of the detached pond, will be fenced to the property line with a steel open rail fence or guardrail. These fences and guardrails will be painted a neutral color.
The decorative wall on the north side of the plaza will be constructed, in part, of industrial salvages materials from the site. Other possible materials are metal, brick (not standard grey), and succo. This wall will serve as the backdrop for the main gathering space and will recall the former life of the site.

The effective use of screening devices for utilization spaces, such as refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be placed away from public right-of-way to the extent practical. Materials shall be chosen from brick (not standard grey), succo, and metal in colors harmonious with the adjacent building.

Trails and Sidewalks
Public and private walks provide important connectivity within the project as well as in and out of the site.

- The eastern edge of the site will join a pedestrian path providing for both off and on-site connectivity to recreation and facilities. All private trails and paths shall be soft surface, with a minimum of 5'-0" width. The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.

Public Open Spaces
An important design of this mixed-use community is the inclusion of plazas opportunities for residents to meet their neighbors and visitors to the site. The plazas are designed to provide quiet space in the streets for a group listening to a local musician, and for a community-wide growers' market. The public areas are varied in size and character and will be suited to the same variety of interests. Open plazas and commercial areas shall have seating & shade covering a minimum of 25% of the area per 14-16-3-18 (c) (4) in the zoning code.

ENGINEERING ARCHITECTURE INTERIORS PLANNING DESIGN
Dekker Perich Sabatini
 7801 UNIVERSITY NE SUITE 100
 ALBUQUERQUE, NM 87110
 505 761-8738
 505 761-4222
 505 761-4222
 505 761-4222

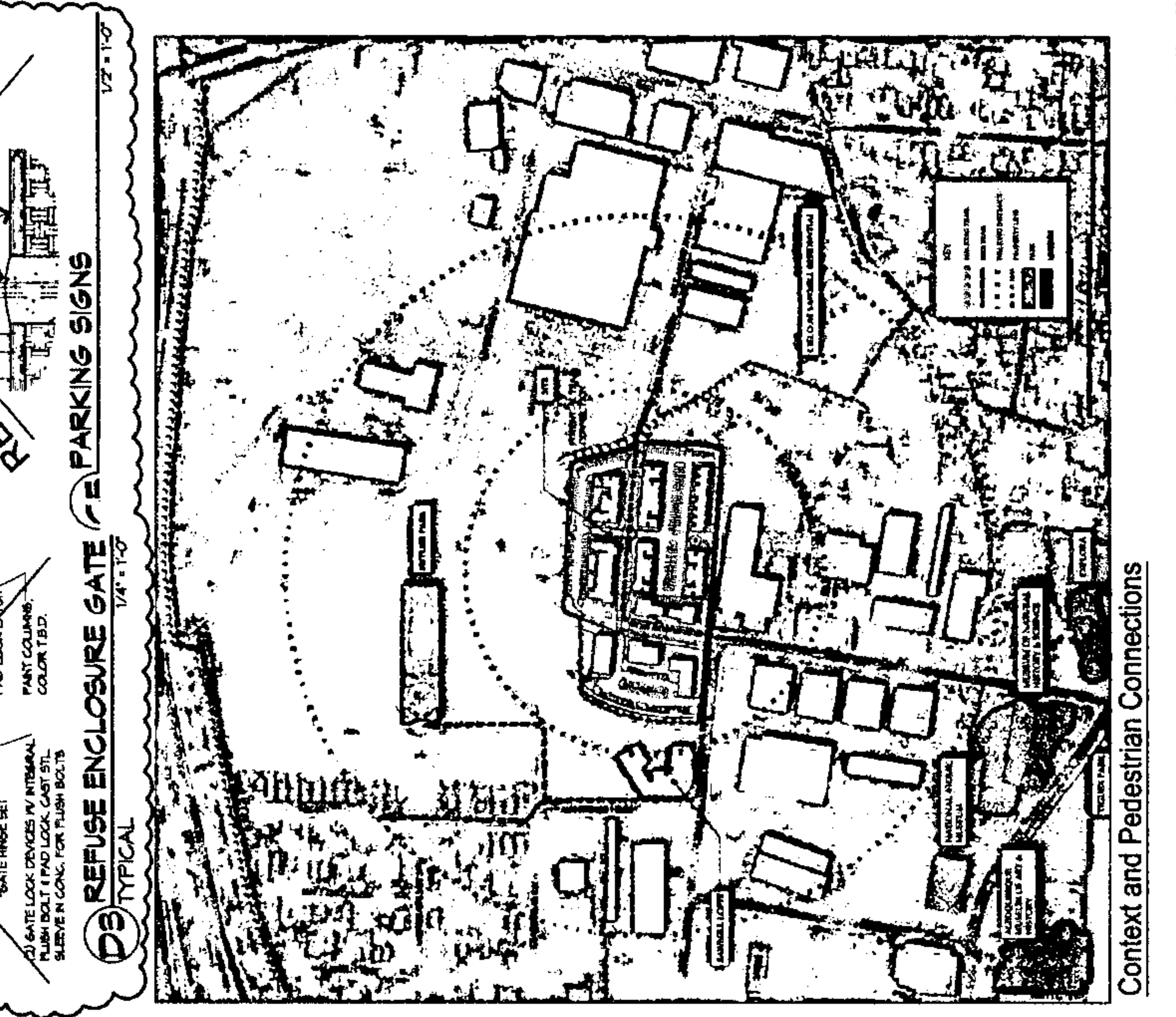
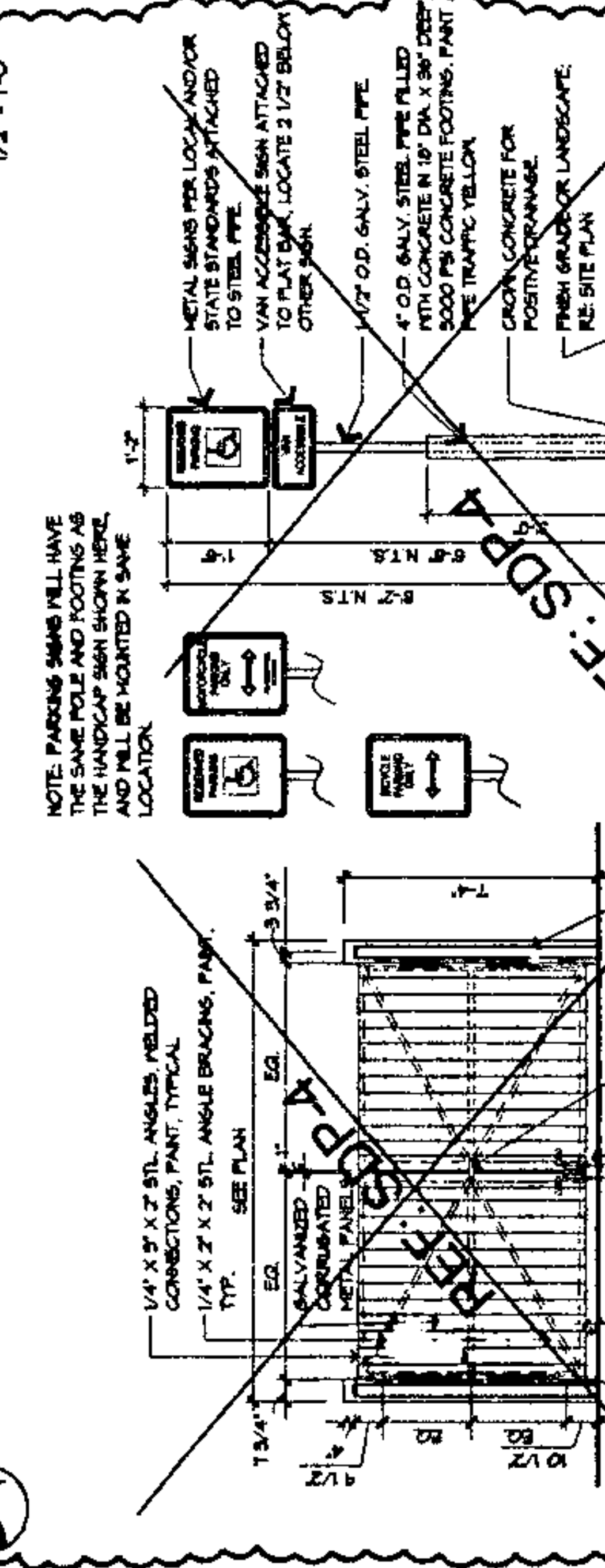
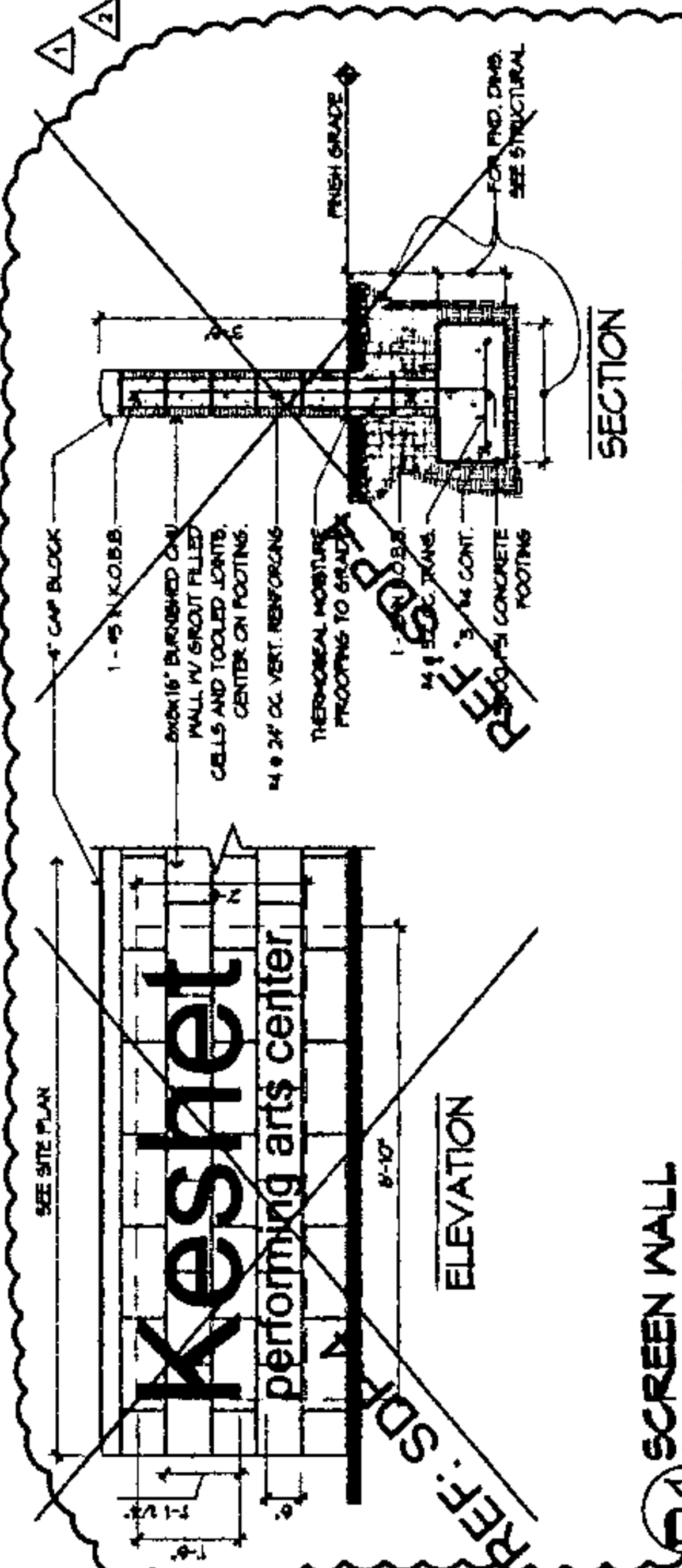
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DRB SUBMITAL
 9/6/2011

PROJECT
Sawmill Village
 Bellamah Avenue & 18th Street
 Albuquerque, New Mexico

REVISIONS	DATE	BY	APPROVED BY
1	7/28/2011	PAULY TULLOCH	

DRAWN BY	CHK. BY	DATE
	CM	03/20/2011
PROJECT NO.	DRAWING NO.	
11-0008		

DEVELOPMENT DESIGN STANDARDS CONTENT GRAPHIC
 SHEET NO. **SDP3**
 3 OF 4



NOTE: PARKING SIGNS WILL HAVE THE SAME POLLS AND FOOTINGS AS THE HANDICAP SIGN SHOWN HERE, AND WILL BE MOUNTED IN SAME LOCATION.

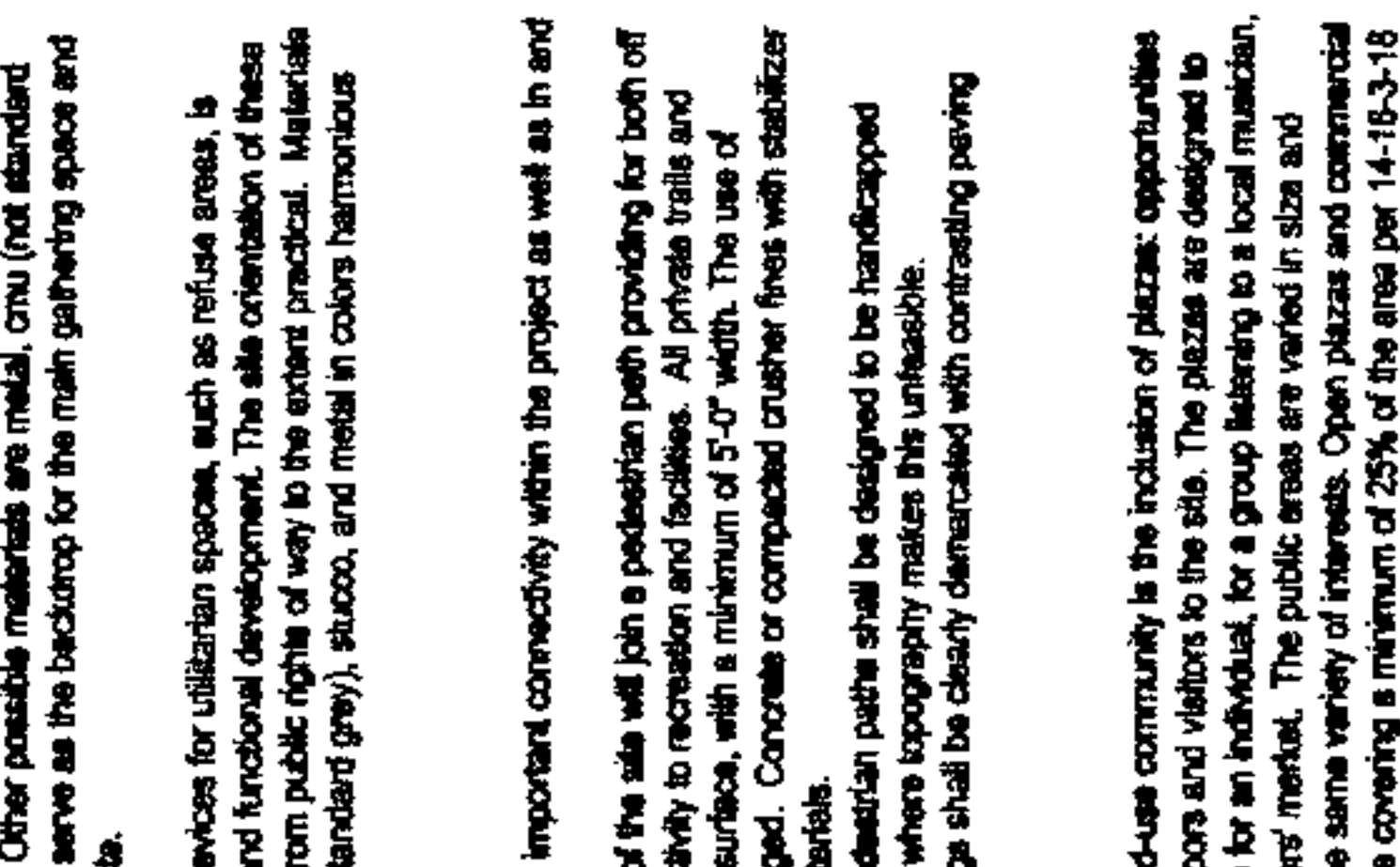
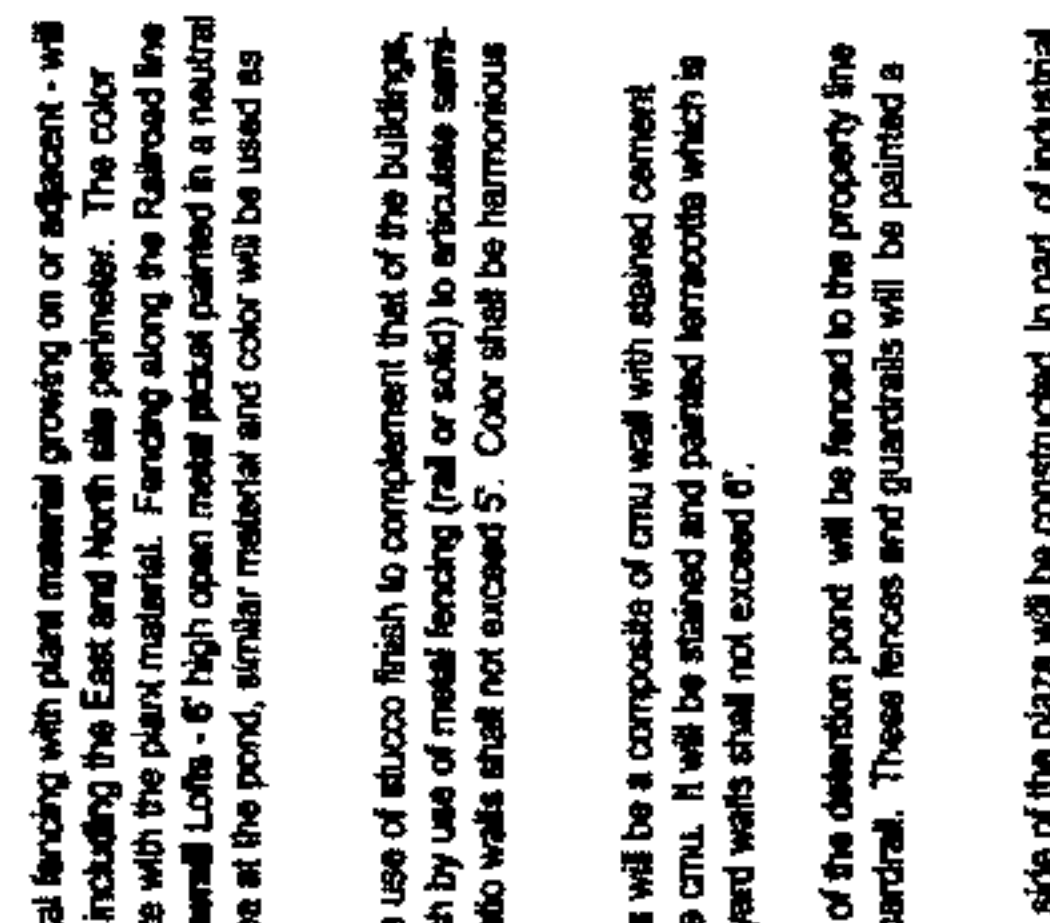
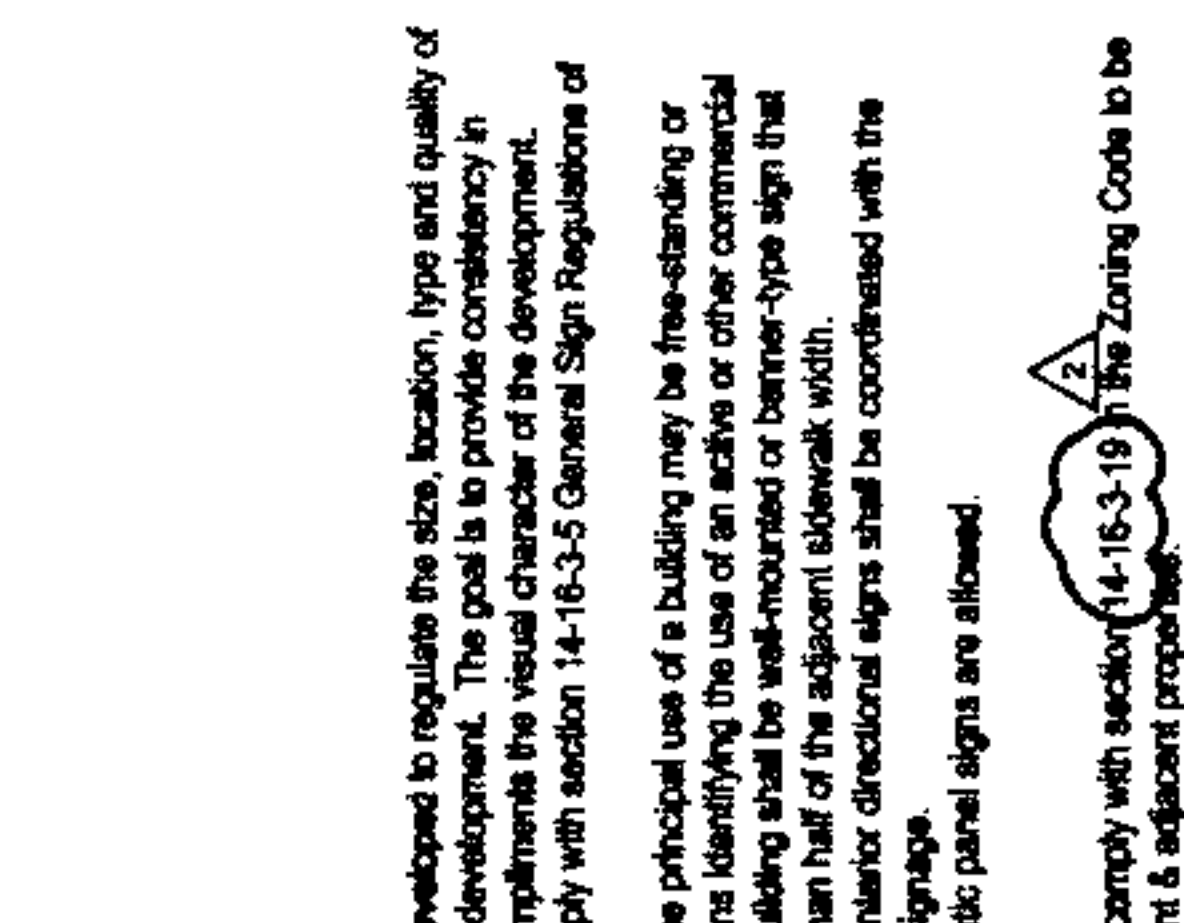
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4" O.D. GALV. STEEL PIPE FULLED WITH CONCRETE IN 1" DIA. X 3" DEEP 3000 PSI CONCRETE FOOTINGS. PAINT THE TRAFFIC YELLOW.

CLACK CONCRETE FOR POSITIVE DRAINAGE.

FRESH GRAVOR FOR LANDSCAPE.

SEE SITE PLAN.



architect
 interior
 landscape
 planning
 engineering

Deker Perich Sabatini

1001 Williams NE Suite 100
 Albuquerque, NM 87109
 505.761.8788
 505.761.8222
 919.618.0119, 919

ENGINEER

DRB SUBMITAL
 8/30/2011

PROJECT

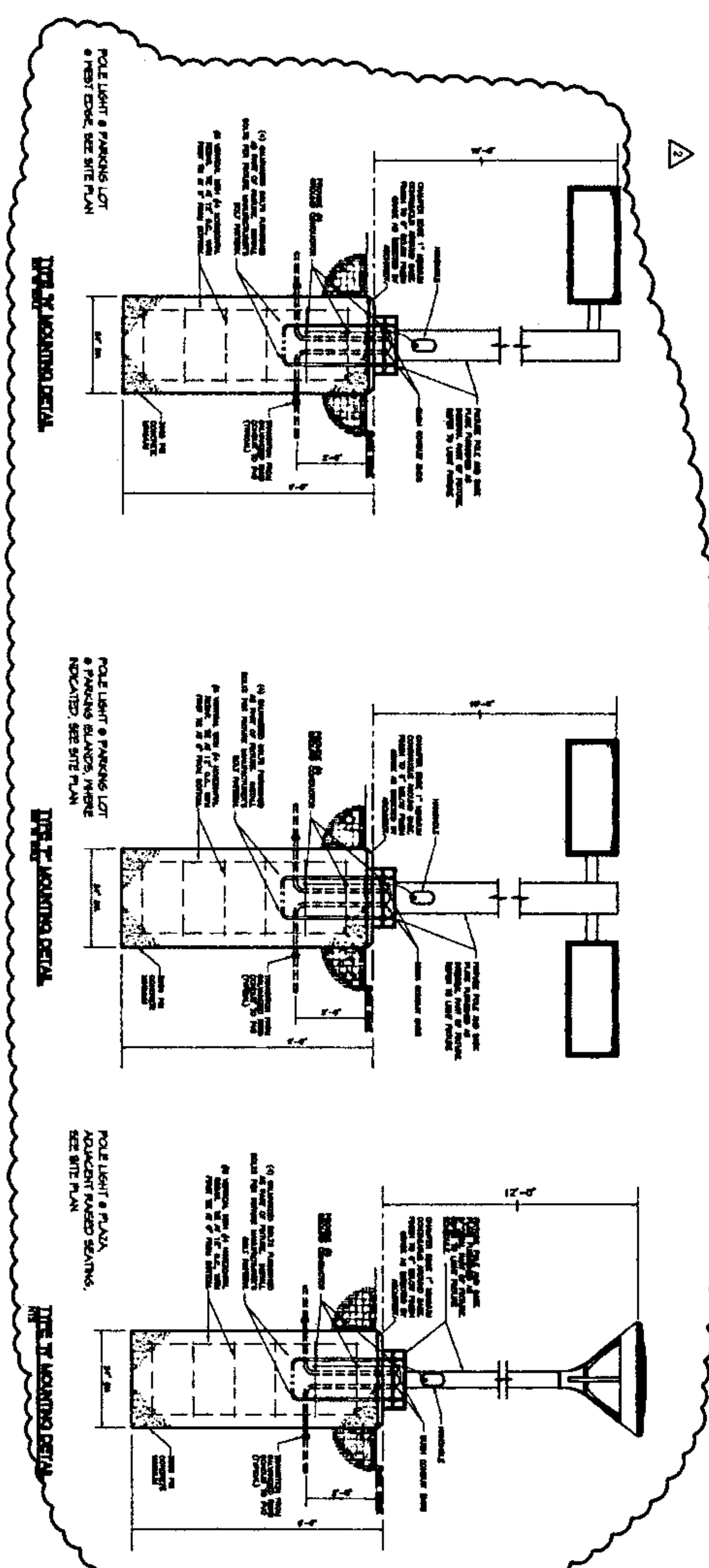
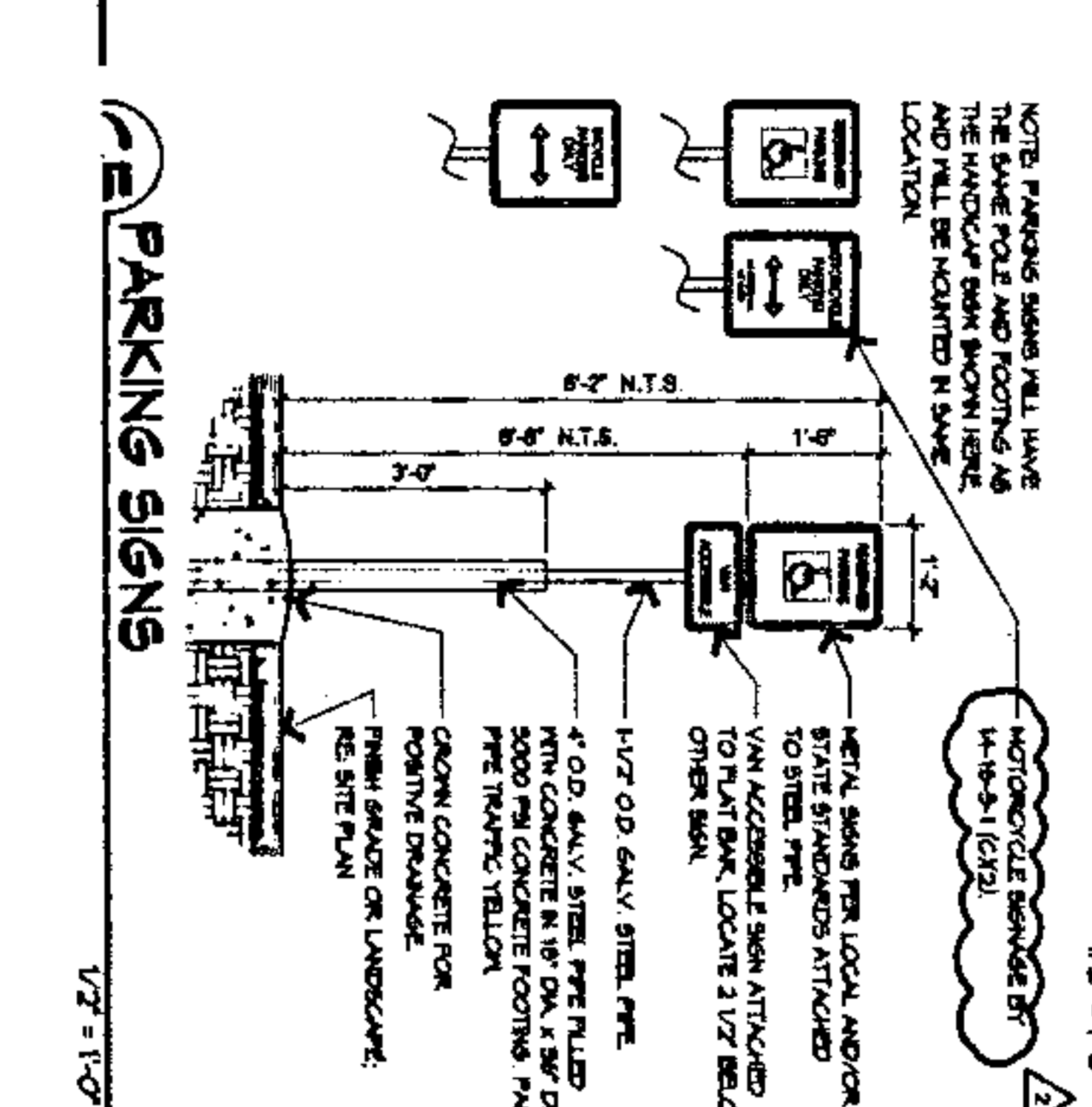
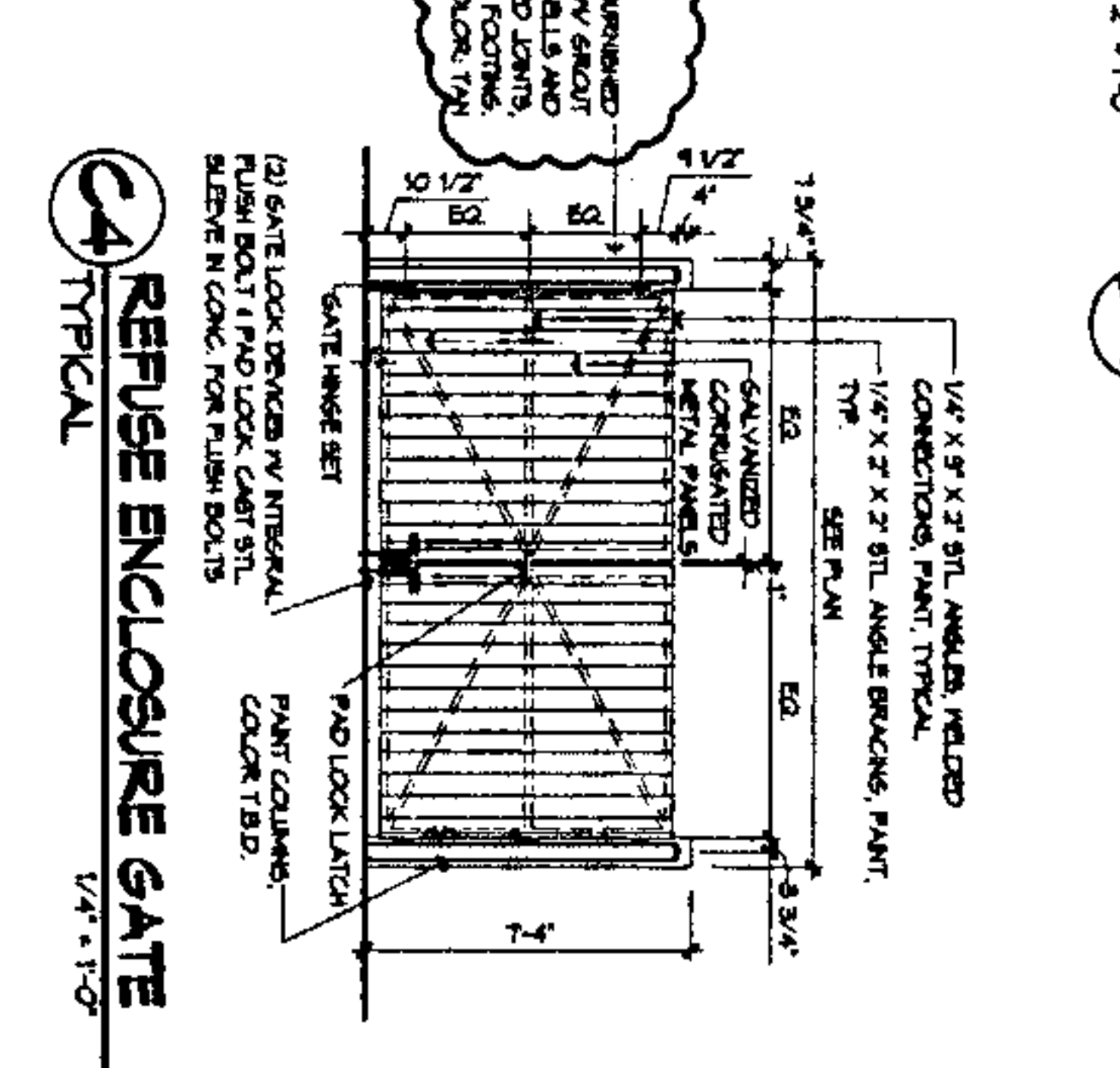
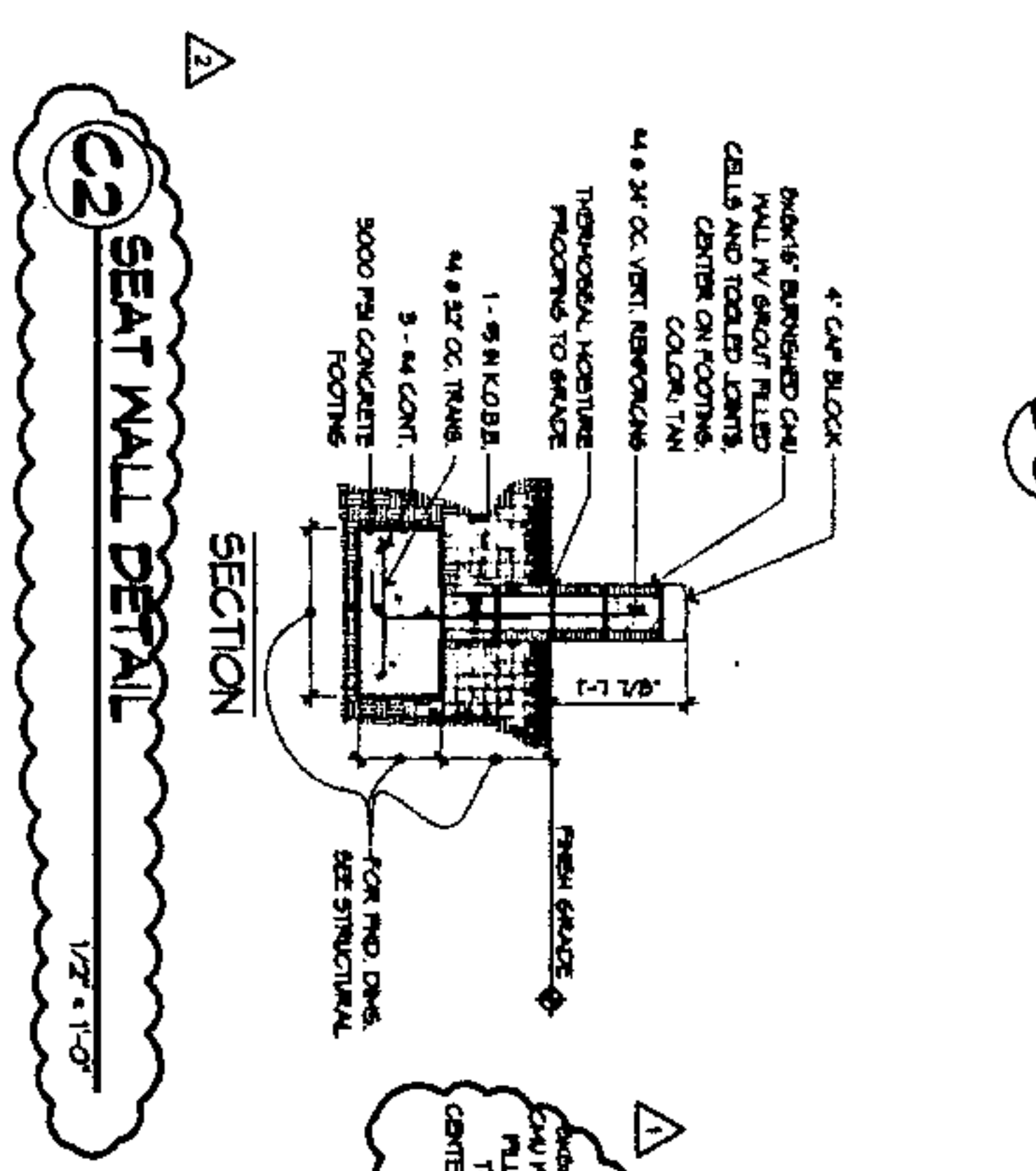
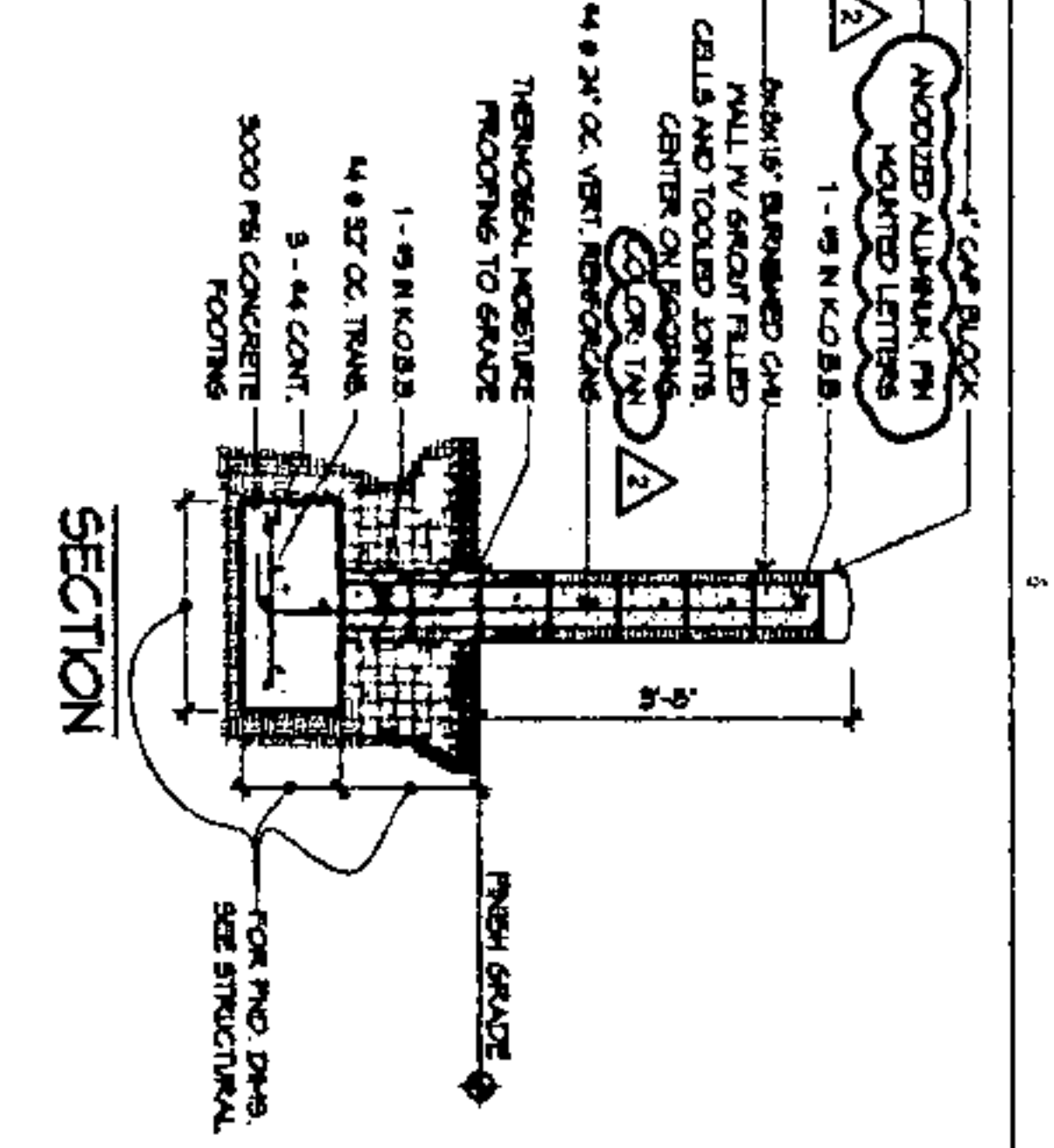
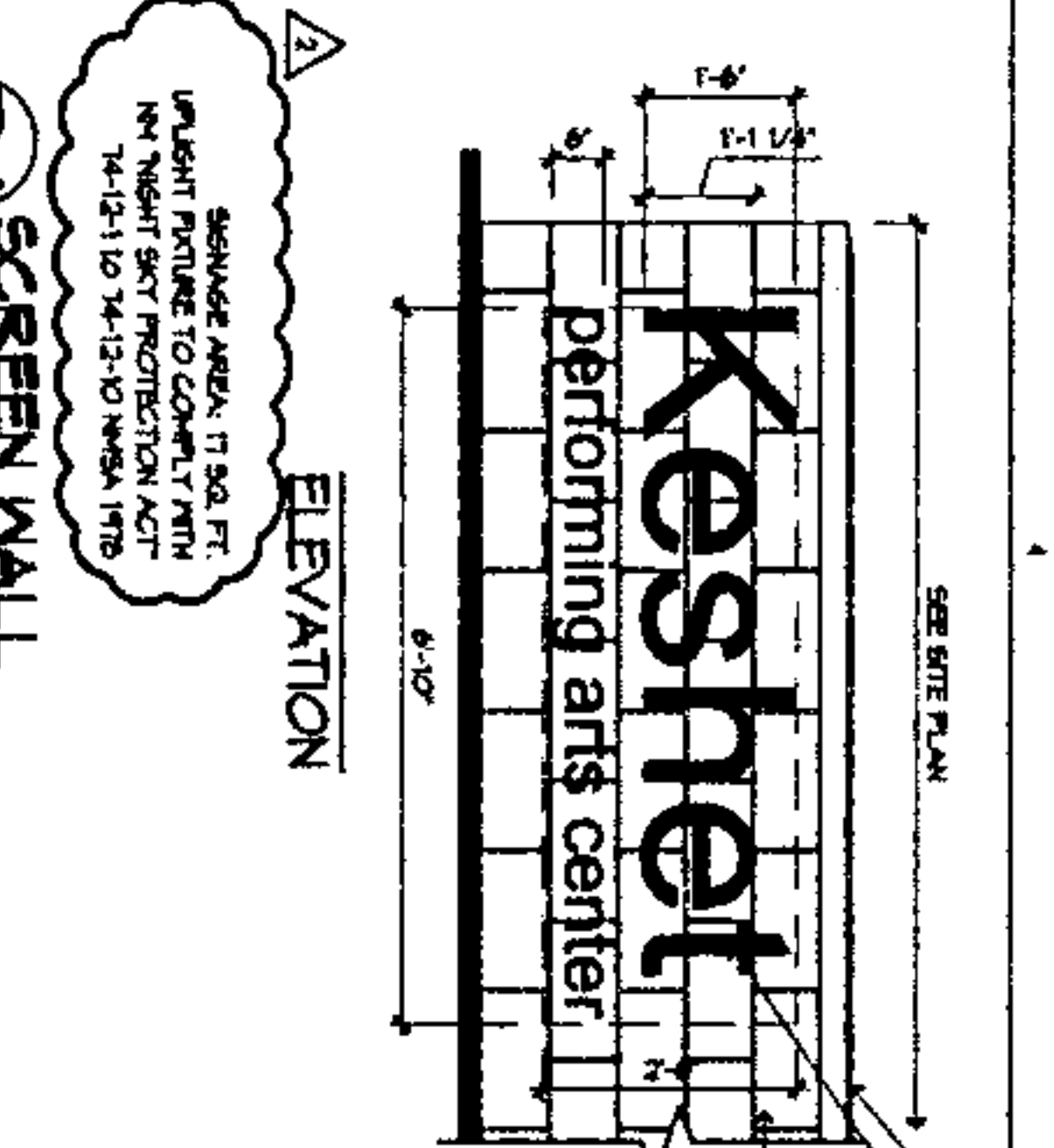
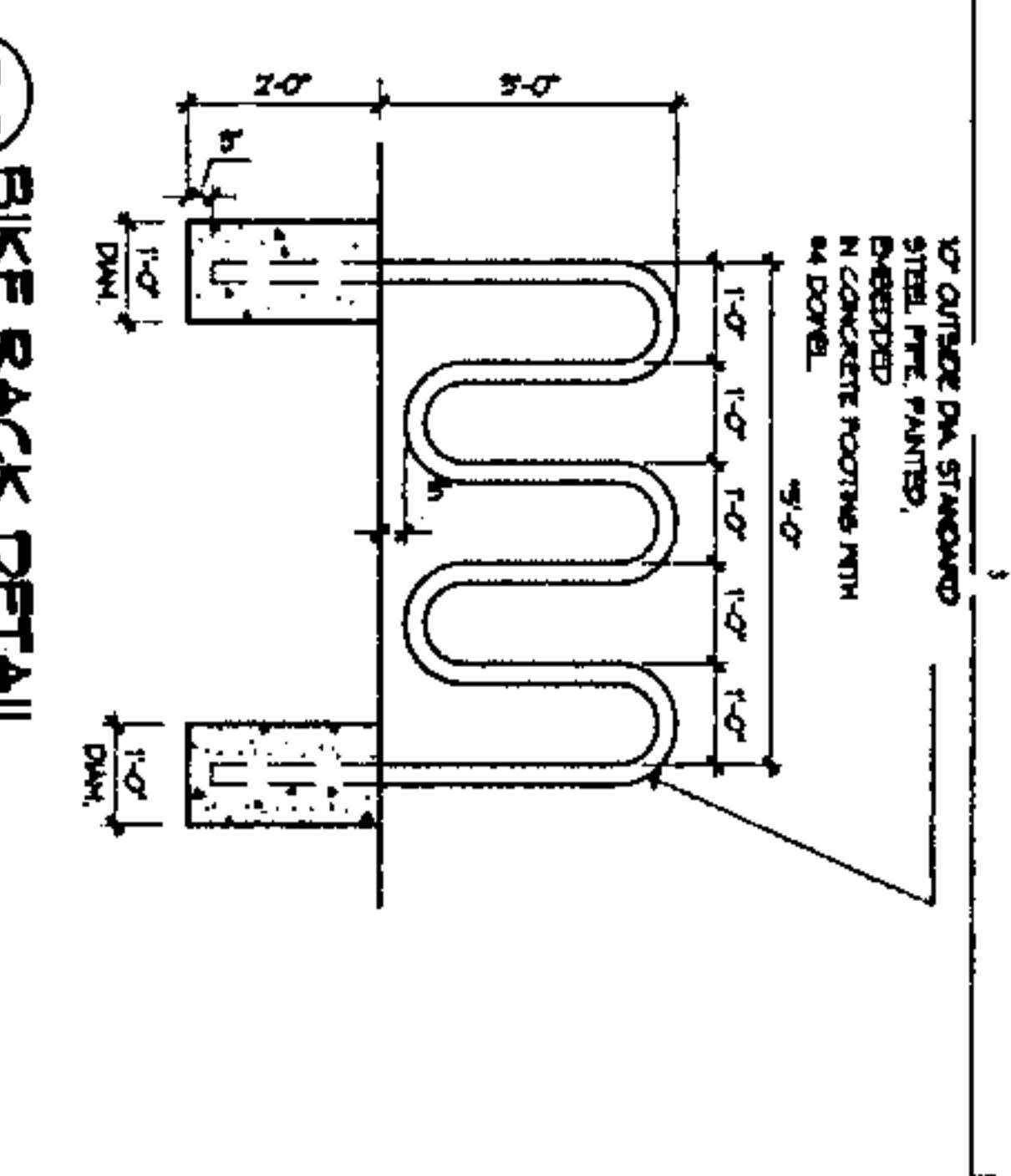
Sawmill Village
 Bellamah Avenue & 18th Street
 Albuquerque, New Mexico

REVISIONS

VARZONI PAINT INDICATORS
 8/30/2011 DR. CANTONIA OF APPROVAL

DRAWN BY: LA 66
 REVIEWED BY: CB
 DATE: 8/30/2011
 PROJECT NO.: 11-0036
 DRAWING NAME: SITE DETAILS

SHEET NO. **SPP4**



SHEET NO. **SPP4**

2 NORTH ELEVATION

Key Values	Reference Text
1	SEE GENERAL NOTES FOR MATERIALS
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1 EAST ELEVATION

Key Values	Reference Text
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LEGEND

- 1. POLYURETHANE CLIMATE FINISH COLOR: TAN
- 2. POLYURETHANE CLIMATE FINISH COLOR: BURNED
- 3. POLYURETHANE CLIMATE FINISH COLOR: GREY
- 4. POLYURETHANE CLIMATE FINISH COLOR: BLACK
- 5. POLYURETHANE CLIMATE FINISH COLOR: WHITE
- 6. POLYURETHANE CLIMATE FINISH COLOR: BLUE
- 7. POLYURETHANE CLIMATE FINISH COLOR: RED
- 8. POLYURETHANE CLIMATE FINISH COLOR: GREEN
- 9. POLYURETHANE CLIMATE FINISH COLOR: YELLOW
- 10. POLYURETHANE CLIMATE FINISH COLOR: PINK
- 11. POLYURETHANE CLIMATE FINISH COLOR: PURPLE
- 12. POLYURETHANE CLIMATE FINISH COLOR: BROWN
- 13. POLYURETHANE CLIMATE FINISH COLOR: SILVER
- 14. POLYURETHANE CLIMATE FINISH COLOR: GOLD
- 15. POLYURETHANE CLIMATE FINISH COLOR: COPPER
- 16. POLYURETHANE CLIMATE FINISH COLOR: BRASS
- 17. POLYURETHANE CLIMATE FINISH COLOR: ZINC
- 18. POLYURETHANE CLIMATE FINISH COLOR: ALUMINUM
- 19. POLYURETHANE CLIMATE FINISH COLOR: STEEL
- 20. POLYURETHANE CLIMATE FINISH COLOR: CONCRETE
- 21. POLYURETHANE CLIMATE FINISH COLOR: PLASTER
- 22. POLYURETHANE CLIMATE FINISH COLOR: STUCCO
- 23. POLYURETHANE CLIMATE FINISH COLOR: MORTAR
- 24. POLYURETHANE CLIMATE FINISH COLOR: GROUT
- 25. POLYURETHANE CLIMATE FINISH COLOR: CAULK
- 26. POLYURETHANE CLIMATE FINISH COLOR: GLAZE
- 27. POLYURETHANE CLIMATE FINISH COLOR: PAINT
- 28. POLYURETHANE CLIMATE FINISH COLOR: VARNISH
- 29. POLYURETHANE CLIMATE FINISH COLOR: SEALANT
- 30. POLYURETHANE CLIMATE FINISH COLOR: ADHESIVE
- 31. POLYURETHANE CLIMATE FINISH COLOR: FINISH
- 32. POLYURETHANE CLIMATE FINISH COLOR: TOP COAT
- 33. POLYURETHANE CLIMATE FINISH COLOR: UNDER COAT
- 34. POLYURETHANE CLIMATE FINISH COLOR: PRIMER
- 35. POLYURETHANE CLIMATE FINISH COLOR: SEALER
- 36. POLYURETHANE CLIMATE FINISH COLOR: PROTECTOR
- 37. POLYURETHANE CLIMATE FINISH COLOR: PRESERVATIVE
- 38. POLYURETHANE CLIMATE FINISH COLOR: MAINTENANCE
- 39. POLYURETHANE CLIMATE FINISH COLOR: CLEANER
- 40. POLYURETHANE CLIMATE FINISH COLOR: RESTORER
- 41. POLYURETHANE CLIMATE FINISH COLOR: REPAIR
- 42. POLYURETHANE CLIMATE FINISH COLOR: PATCH
- 43. POLYURETHANE CLIMATE FINISH COLOR: FILLER
- 44. POLYURETHANE CLIMATE FINISH COLOR: SAND
- 45. POLYURETHANE CLIMATE FINISH COLOR: GRAVEL
- 46. POLYURETHANE CLIMATE FINISH COLOR: ASPHALT
- 47. POLYURETHANE CLIMATE FINISH COLOR: CONCRETE PAVEMENT
- 48. POLYURETHANE CLIMATE FINISH COLOR: STONE PAVEMENT
- 49. POLYURETHANE CLIMATE FINISH COLOR: BRICK PAVEMENT
- 50. POLYURETHANE CLIMATE FINISH COLOR: CERAMIC PAVEMENT
- 51. POLYURETHANE CLIMATE FINISH COLOR: TERRAZZO PAVEMENT
- 52. POLYURETHANE CLIMATE FINISH COLOR: MARBLE PAVEMENT
- 53. POLYURETHANE CLIMATE FINISH COLOR: GRANITE PAVEMENT
- 54. POLYURETHANE CLIMATE FINISH COLOR: QUARTZ PAVEMENT
- 55. POLYURETHANE CLIMATE FINISH COLOR: SLATE PAVEMENT
- 56. POLYURETHANE CLIMATE FINISH COLOR: SCHIST PAVEMENT
- 57. POLYURETHANE CLIMATE FINISH COLOR: GNEISS PAVEMENT
- 58. POLYURETHANE CLIMATE FINISH COLOR: METAMORPHIC PAVEMENT
- 59. POLYURETHANE CLIMATE FINISH COLOR: IGNITE PAVEMENT
- 60. POLYURETHANE CLIMATE FINISH COLOR: SEDIMENTARY PAVEMENT
- 61. POLYURETHANE CLIMATE FINISH COLOR: METAMORPHIC PAVEMENT
- 62. POLYURETHANE CLIMATE FINISH COLOR: IGNITE PAVEMENT
- 63. POLYURETHANE CLIMATE FINISH COLOR: SEDIMENTARY PAVEMENT
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- 82. POLYURETHANE CLIMATE FINISH COLOR: METAMORPHIC PAVEMENT
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- 86. POLYURETHANE CLIMATE FINISH COLOR: IGNITE PAVEMENT
- 87. POLYURETHANE CLIMATE FINISH COLOR: SEDIMENTARY PAVEMENT
- 88. POLYURETHANE CLIMATE FINISH COLOR: METAMORPHIC PAVEMENT
- 89. POLYURETHANE CLIMATE FINISH COLOR: IGNITE PAVEMENT
- 90. POLYURETHANE CLIMATE FINISH COLOR: SEDIMENTARY PAVEMENT

GENERAL SHEET NOTES

1. GENERAL SHEET NOTES

REVISIONS

DATE	DESCRIPTION	BY	CHK
7/29/2011	ISSUE FOR PERMIT	[Signature]	[Signature]
7/29/2011	ISSUE FOR PERMIT	[Signature]	[Signature]

Keshet - performing arts center -
Bellamah Avenue & 18th Street
Albuquerque, New Mexico

EPC
SUBMITAL
7/29/2011

PROJECT: KESHET PERFORMING ARTS CENTER

ARCHITECT: DEKKER PERICH SABATINI

3801 ADELPHI NE SUITE 100
ALBUQUERQUE, NM 87110
505.741-9788
101 26th St NE
354-258-1113

architect
interior
landscape
planning
engineering

SHEET NO. **SDP7**

BUILDING ELEVATIONS



architects
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

TEL: (505) 421-1111
FAX: (505) 421-1111
WWW: www.dpsa.com

**EPC
SUBMITAL
7/29/2011**

ARCHITECT

**Keshet - performing arts center -
Bellevue Avenue & 18th Street
Albuquerque, New Mexico**

REVISIONS	DATE	DESCRIPTION
1	7/29/11	EPC SUBMITAL

DESIGNED BY: [blank]
DRAWING NO: 11-0008
PROJECT NO: 81802011
DATE: 8/18/2011
LVA, LLC
CO

**BUILDING
ELEVATIONS**

SHEET NO: **SDP7A**

GENERAL SHEET NOTES

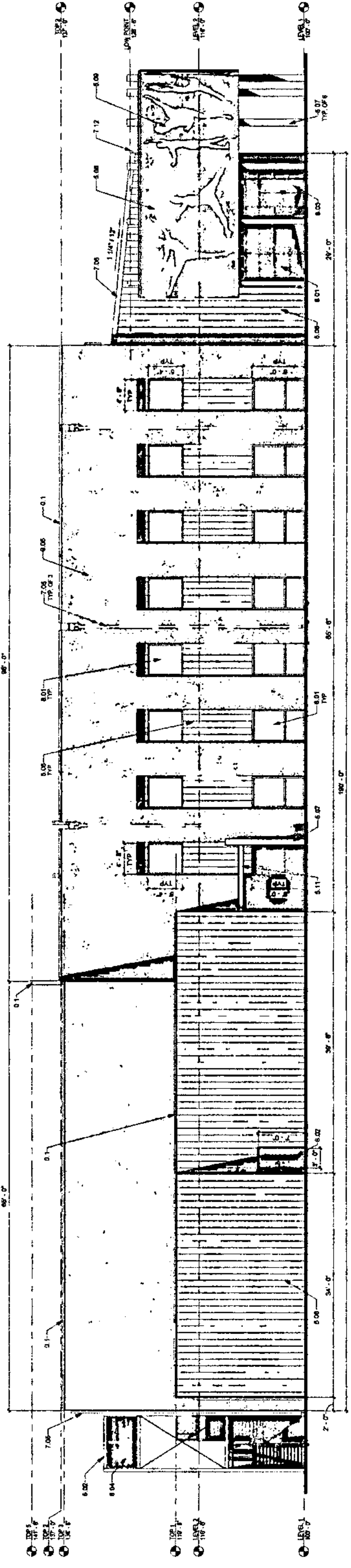
A. GENERAL SHEET NOTES

LEGEND

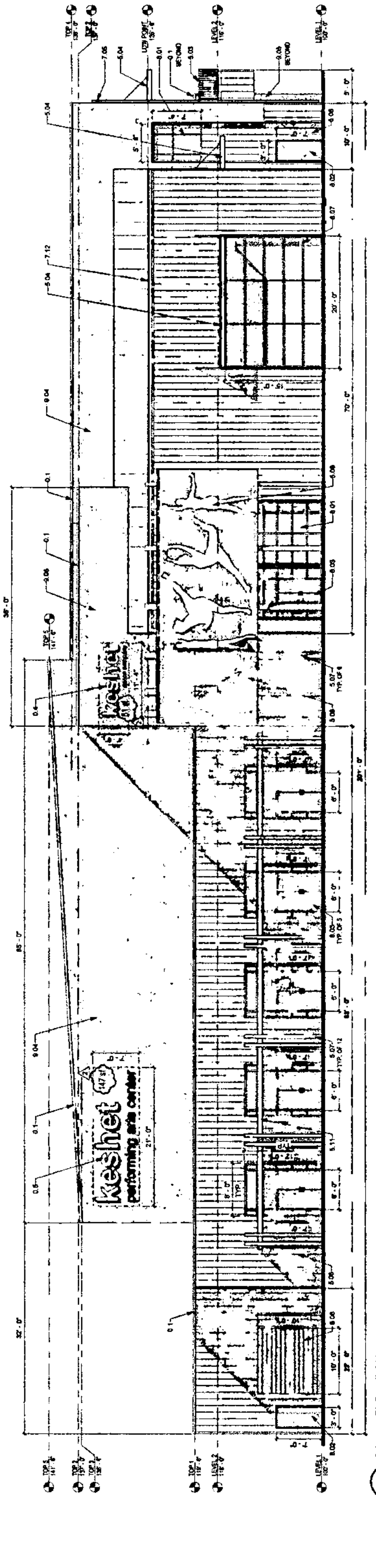
- 200# PORTLAND CEMENT FIBROUS COLOR, TM
- 200# PORTLAND CEMENT STUCCO PURPLE
- CORRUGATED METAL, COLOR GRAY
- METAL PAINTED BROWN, COLOR GRAY

REFERENCE KEYNOTES

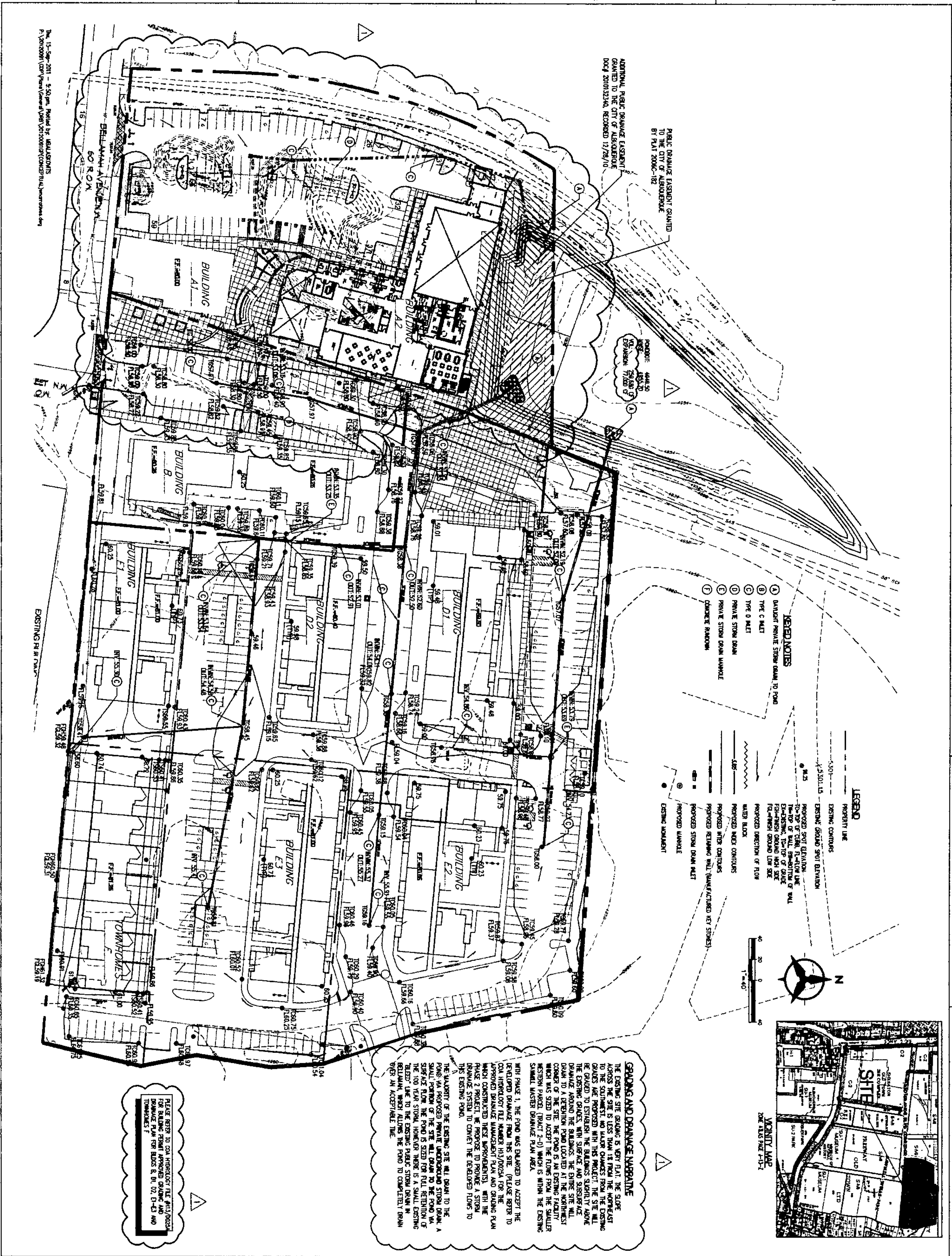
Key Value	Keynote Text
0.1	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
0.2	BUILDING SIGNAGE, ANODIZED ALUMINUM LETTERS, 1/2" AND 1" HIGH, 1/2" SPACING, 1/2" SPACING, 1/2" SPACING, 1/2" SPACING
0.3	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
0.4	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
0.5	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
0.6	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
0.7	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
0.8	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
0.9	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
1.0	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
1.1	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
1.2	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
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1.4	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
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1.7	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
1.8	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
1.9	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.0	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.1	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.2	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.3	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.4	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.5	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.6	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.7	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.8	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
2.9	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE
3.0	SEE EXHIBIT A FOR MATERIAL SCHEDULE LETTERS, IF AND IF NOT SHOWN OTHERWISE



2 WEST ELEVATION



1 SOUTH ELEVATION

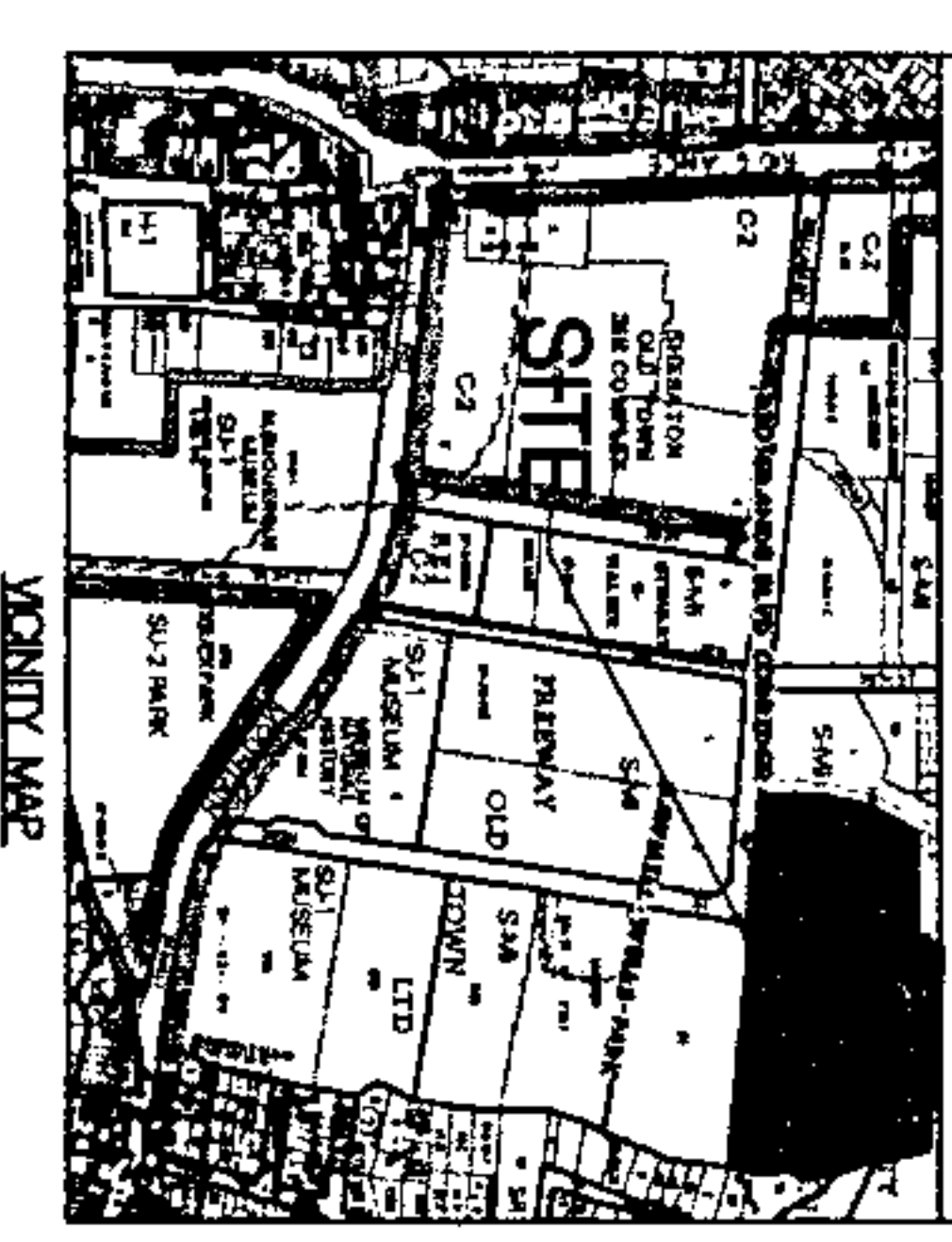


PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT 2006-182

ADDITIONAL PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE DOC# 201002314, RECORDED 12/29/10

- KEYED NOTES**
- ① DRAINAGE PRIVATE STORM DRAIN TO POND
 - ② TYPE C MULET
 - ③ TYPE D MULET
 - ④ PRIVATE STORM DRAIN
 - ⑤ PRIVATE STORM DRAIN MANHOLE
 - ⑥ CHECKED MANHOLE

- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOURS
 - EXISTING GRADED SURF ELEVATION
 - PROPOSED SPOT ELEVATION
 - TOP OF CURB FINISHING LINE
 - EXISTING TOP OF CURB FINISHING GROUND HIGH SIZE
 - PROPOSED DIRECTION OF FLOW
 - WATER BLOCK
 - PROPOSED MUD CONTAINERS
 - PROPOSED WATER CONTAINERS
 - PROPOSED RETAINING WALL (MANUFACTURED KEY STONES)
 - PROPOSED STORM DRAIN MATT
 - PROPOSED WALLHOLE
 - EXISTING MANHOLE



GRADING AND DRAINAGE NARRATIVE

THE EXISTING SITE GRADING IS VERY FLAT. THE GRADE ACROSS THE SITE IS LESS THAN 1% FROM THE NORTHWEST TO THE SOUTHWEST, AND MAJOR CHANGES FROM THE EXISTING GRADES ARE PROPOSED WITH THIS PROJECT. THE SITE WILL BE GRADED TO ESTABLISH THE BUILDING SUBMITTAL ABOVE THE EXISTING GRADES, WITH SURFACE AND SUBSURFACE DRAINAGE AROUND THE BUILDINGS. THE ENTIRE SITE WILL DRAIN TO A DETENTION POND LOCATED AT THE NORTHWEST CORNER OF THE SITE. THE POND IS AN EXISTING FURNITURE WAREHOUSE (TRACT 2-D) WHICH IS WITHIN THE EXISTING SAMUEL MASTER DRAINAGE PLAY AREA.

WITH PHASE 1, THE POND WAS ENLARGED TO ACCEPT THE DEVELOPED DRAINAGE FROM THIS SITE. (PLEASE REFER TO APPROVED DRAINAGE MANAGEMENT PLAN AND GRADING PLAN WHICH CONSTRUCTED THESE IMPROVEMENTS). WITH THE PHASE 2 PROJECT, WE PROPOSE TO PROVIDE A STORM DRAINAGE SYSTEM TO CONNECT THE DEVELOPED FLOWS TO THIS EXISTING POND.

THE MAJORITY OF THE EXISTING SITE WILL DRAIN TO THE POND. A PROPOSED PRIVATE UNDERGROUND STORM DRAIN, A SMALL PORTION OF THE SITE WILL DRAIN TO THE POND VIA SURFACE FLOW. THE POND IS SIZED FOR FULL RETENTION OF THE 100 YEAR STORM, HOWEVER THERE IS A SMALL EXISTING "BEDD" LINE TO THE EXISTING PUBLIC STORM DRAIN IN BELLEVUE, WHICH ALIGNS THE POND TO COMPLETELY DRAIN OVER AN ACCEPTABLE TIME.

PLEASE REFER TO COA HORIZONTAL SITE AND DRAINAGE FOR BUILDING PERMIT APPROVED GRADING AND DRAINAGE PLAN FOR LOTS B, N, O, P, Q, R, S AND T.

REVISIONS

NO.	DATE	DESCRIPTION

Sawmill Village
Bellamah Avenue & 18th Street
Albuquerque, New Mexico

DR SUBMITAL
8/30/2011

ENGINEER
Dekker Perich Sabatini

ARCHITECT
7301 JEFFERSON NE SUITE 100
ALBUQUERQUE, NM 87118
505.761.8118
151.761.4222
info@dsasab.com

DESIGNED BY: **SDP**

DATE: 8/30/2011

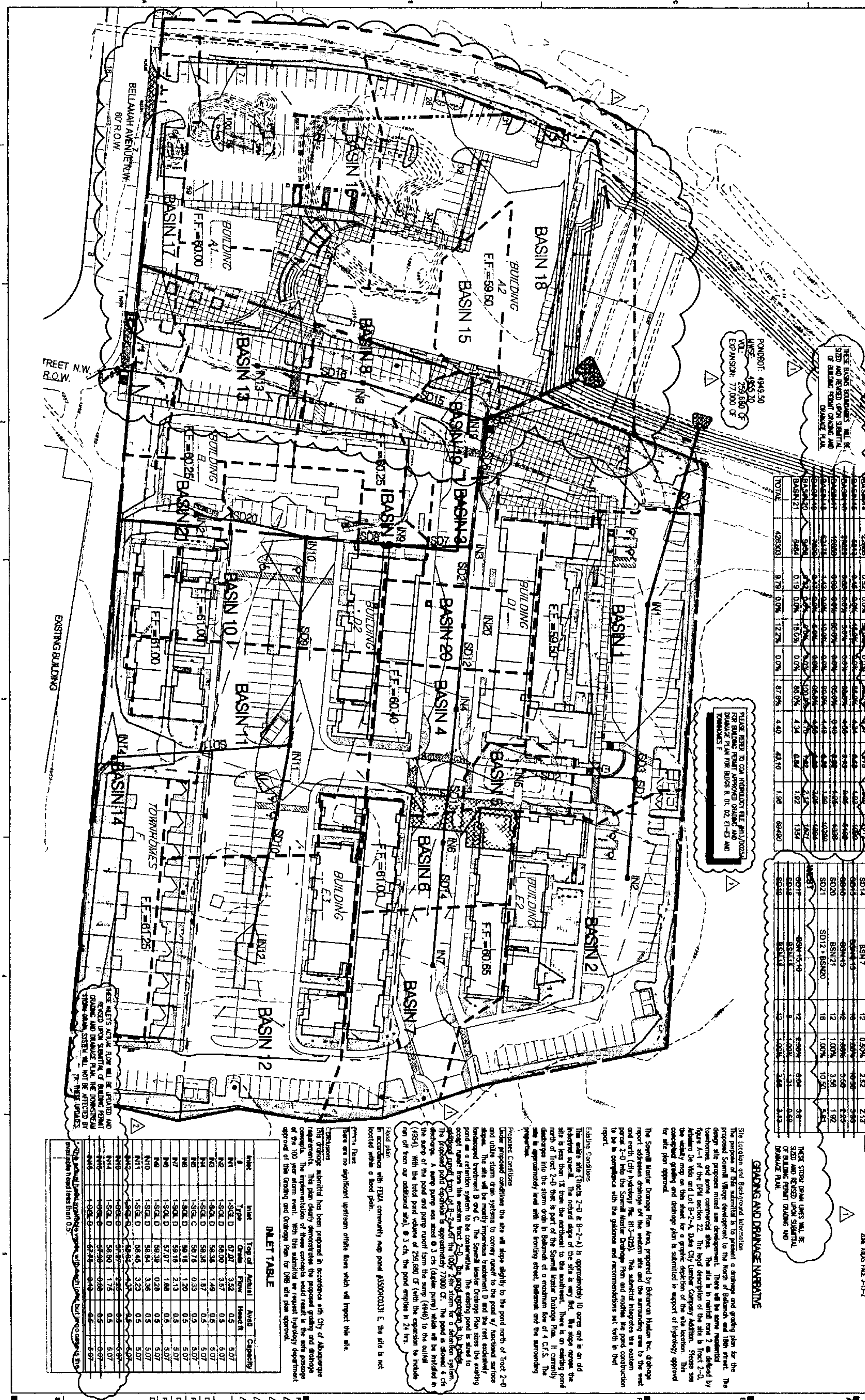
PROJECT NO: 11-0036

DRAWING TITLE: **GRADING PLAN**

SDP

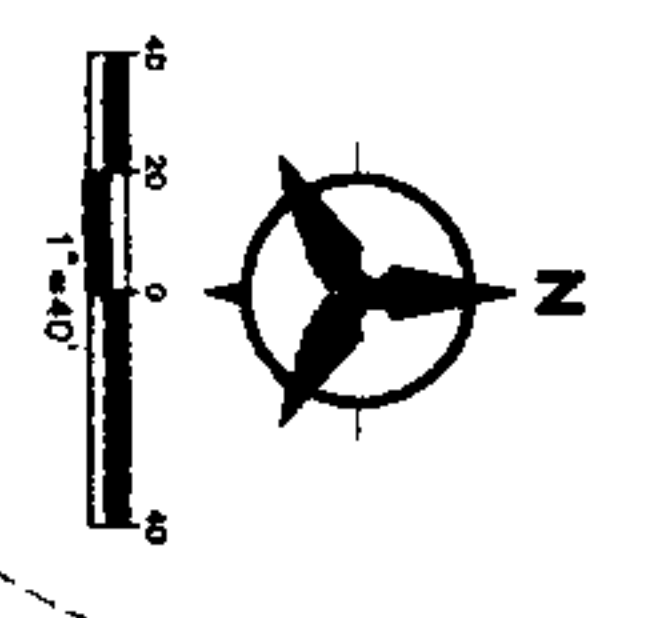
8

7301 JEFFERSON NE SUITE 100
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505.761.8118
151.761.4222
info@dsasab.com



LEGEND

- PROPOSED STORM DRAIN LINE
- EXISTING CONTOURS
- - - - - BASIN BOUNDARY
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED WRECK CONTAINERS
- PROPOSED WRECK CONTAINERS
- PROPOSED STORM DRAIN INLET



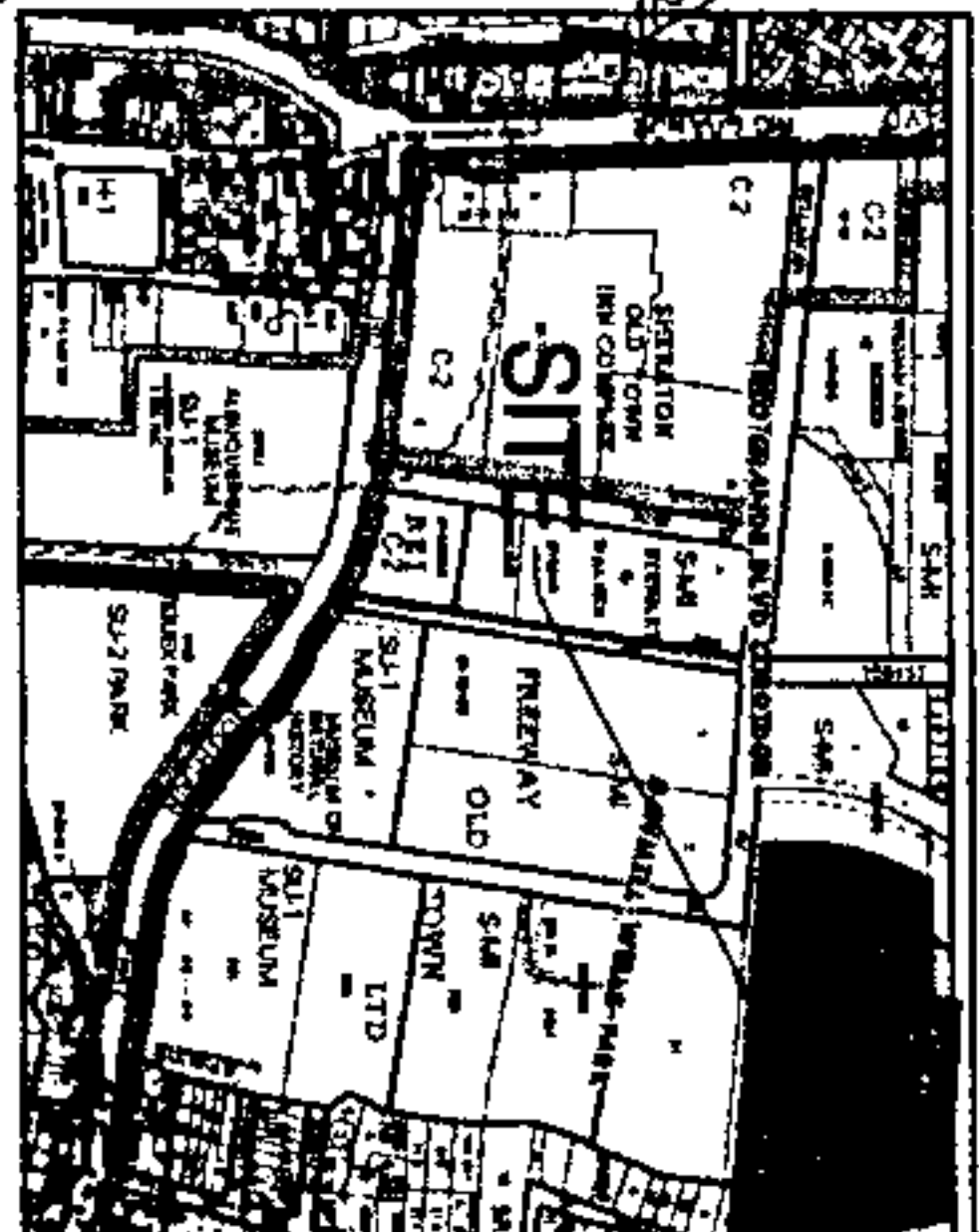
THE SHOWN AND STORM DRAINAGE NOT BE ASSUMED TO BE THE PROPERTY OF THE BUILDING DEPARTMENT. THIS PLAN IS FOR THE USE OF THE BUILDING DEPARTMENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE BUILDING DEPARTMENT.

THESE EXISTING STORM DRAIN LINES WILL BE RELOCATED AND REIZED UPON SUBMITTAL OF BUILDING DEPARTMENT DRAINAGE PLAN.

PONDING: 1849.50
 LINES: 4955.70
 VOL: 258,860.0
 EXPANSION: 77,000.0 CF

Basin ID	Area (SQ. FT.)	Area (Ac.)	Land Use	Impervious %	Runoff Coefficient (C)	Q (100)	Q (50)	Q (25)	V (100)	V (50)	V (25)
TOT	25,785	7.46		5.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 1	3,282	0.95		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 2	3,487	1.00		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 3	960	0.28		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 4	1,980	0.57		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 5	4,209	1.21		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 6	1,413	0.41		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 7	2,054	0.60		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 8	2,375	0.69		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 9	3,074	0.89		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 10	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 11	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 12	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 13	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 14	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 15	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 16	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 17	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 18	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 19	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 20	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 21	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
BASIN 22	3,274	0.93		10.0%	0.78	10.0%	4.48	3.37	1.90	2.00	3.77
TOTAL	429,330	124.24		5.0%	0.78	10.0%	44.8	33.7	19.0	20.0	37.7

PIPE #	Basin and Storm Drains	Size In.	Slope	Capacity CFS	ACTUAL FLOW CFS
NORTH					
S01	BSN 2	18	0.29%	7.43	3.97
S02	BSN 5	8	0.29%	0.85	0.48
S03	BSN 12	18	1.02%	10.50	4.10
S04	BSN 12.5	18	1.02%	10.50	7.42
CENTRAL					
S05	BSN 7	30	0.29%	29.00	20.82
S06	BSN 20 + BSND	24	0.29%	18.00	14.20
S07	BSN 20 + BSND	24	0.29%	18.00	14.20
S08	BSN 20 + BSND	24	0.29%	18.00	14.20
S09	BSN 12	18	0.29%	7.43	4.37
S10	BSN 12	18	0.29%	7.43	4.37
S11	BSN 14	18	0.29%	2.92	1.78
S12	BSN 14	18	1.02%	10.50	3.33
S13	BSN 17	12	0.29%	2.32	2.13
S14	BSN 17	12	0.29%	2.32	2.13
S15	BSN 7	30	0.29%	29.00	20.82
S16	BSN 7	30	0.29%	29.00	20.82
S17	BSN 12	18	1.02%	10.50	3.33
S18	BSN 21	12	1.02%	3.96	1.92
S19	BSN 21	12	1.02%	3.96	1.92
S20	BSN 21	12	1.02%	3.96	1.92
S21	BSN 21 + BSND	18	1.02%	10.50	3.33
S22	BSN 21 + BSND	18	1.02%	10.50	3.33
S23	BSN 21 + BSND	18	1.02%	10.50	3.33
S24	BSN 21 + BSND	18	1.02%	10.50	3.33
S25	BSN 21 + BSND	18	1.02%	10.50	3.33
S26	BSN 21 + BSND	18	1.02%	10.50	3.33
S27	BSN 21 + BSND	18	1.02%	10.50	3.33
S28	BSN 21 + BSND	18	1.02%	10.50	3.33
S29	BSN 21 + BSND	18	1.02%	10.50	3.33
S30	BSN 21 + BSND	18	1.02%	10.50	3.33
S31	BSN 21 + BSND	18	1.02%	10.50	3.33
S32	BSN 21 + BSND	18	1.02%	10.50	3.33
S33	BSN 21 + BSND	18	1.02%	10.50	3.33
S34	BSN 21 + BSND	18	1.02%	10.50	3.33
S35	BSN 21 + BSND	18	1.02%	10.50	3.33
S36	BSN 21 + BSND	18	1.02%	10.50	3.33
S37	BSN 21 + BSND	18	1.02%	10.50	3.33
S38	BSN 21 + BSND	18	1.02%	10.50	3.33
S39	BSN 21 + BSND	18	1.02%	10.50	3.33
S40	BSN 21 + BSND	18	1.02%	10.50	3.33
S41	BSN 21 + BSND	18	1.02%	10.50	3.33
S42	BSN 21 + BSND	18	1.02%	10.50	3.33
S43	BSN 21 + BSND	18	1.02%	10.50	3.33
S44	BSN 21 + BSND	18	1.02%	10.50	3.33
S45	BSN 21 + BSND	18	1.02%	10.50	3.33
S46	BSN 21 + BSND	18	1.02%	10.50	3.33
S47	BSN 21 + BSND	18	1.02%	10.50	3.33
S48	BSN 21 + BSND	18	1.02%	10.50	3.33
S49	BSN 21 + BSND	18	1.02%	10.50	3.33
S50	BSN 21 + BSND	18	1.02%	10.50	3.33
S51	BSN 21 + BSND	18	1.02%	10.50	3.33
S52	BSN 21 + BSND	18	1.02%	10.50	3.33
S53	BSN 21 + BSND	18	1.02%	10.50	3.33
S54	BSN 21 + BSND	18	1.02%	10.50	3.33
S55	BSN 21 + BSND	18	1.02%	10.50	3.33
S56	BSN 21 + BSND	18	1.02%	10.50	3.33
S57	BSN 21 + BSND	18	1.02%	10.50	3.33
S58	BSN 21 + BSND	18	1.02%	10.50	3.33
S59	BSN 21 + BSND	18	1.02%	10.50	3.33
S60	BSN 21 + BSND	18	1.02%	10.50	3.33
S61	BSN 21 + BSND	18	1.02%	10.50	3.33
S62	BSN 21 + BSND	18	1.02%	10.50	3.33
S63	BSN 21 + BSND	18	1.02%	10.50	3.33
S64	BSN 21 + BSND	18	1.02%	10.50	3.33
S65	BSN 21 + BSND	18	1.02%	10.50	3.33
S66	BSN 21 + BSND	18	1.02%	10.50	3.33
S67	BSN 21 + BSND	18	1.02%	10.50	3.33
S68	BSN 21 + BSND	18	1.02%	10.50	3.33
S69	BSN 21 + BSND	18	1.02%	10.50	3.33
S70	BSN 21 + BSND	18	1.02%	10.50	3.33
S71	BSN 21 + BSND	18	1.02%	10.50	3.33
S72	BSN 21 + BSND	18	1.02%	10.50	3.33
S73	BSN 21 + BSND	18	1.02%	10.50	3.33
S74	BSN 21 + BSND	18	1.02%	10.50	3.33
S75	BSN 21 + BSND	18	1.02%	10.50	3.33
S76	BSN 21 + BSND	18	1.02%	10.50	3.33
S77	BSN 21 + BSND	18	1.02%	10.50	3.33
S78	BSN 21 + BSND	18	1.02%	10.50	3.33
S79	BSN 21 + BSND	18	1.02%	10.50	3.33
S80	BSN 21 + BSND	18	1.02%	10.50	3.33
S81	BSN 21 + BSND	18	1.02%	10.50	3.33
S82	BSN 21 + BSND	18	1.02%	10.50	3.33
S83	BSN 21 + BSND	18	1.02%	10.50	3.33
S84	BSN 21 + BSND	18	1.02%	10.50	3.33
S85	BSN 21 + BSND	18	1.02%	10.50	3.33
S86	BSN 21 + BSND	18	1.02%	10.50	3.33
S87	BSN 21 + BSND	18	1.02%	10.50	3.33
S88	BSN 21 + BSND	18	1.02%	10.50	3.33
S89	BSN 21 + BSND	18	1.02%	10.50	3.33
S90	BSN 21 + BSND	18	1.02%	10.50	3.33
S91	BSN 21 + BSND	18	1.02%	10.50	3.33
S92	BSN 21 + BSND	18	1.02%	10.50	3.33
S93	BSN 21 + BSND	18	1.02%	10.50	3.33
S94	BSN 21 + BSND	18	1.02%	10.50	3.33
S95	BSN 21 + BSND	18	1.02%	10.50	3.33
S96	BSN 21 + BSND	18	1.02%	10.50	3.33
S97	BSN 21 + BSND	18	1.02%	10.50	3.33
S98	BSN 21 + BSND	18	1.02%	10.50	3.33
S99	BSN 21 + BSND	18	1.02%	10.50	3.33
S100	BSN 21 + BSND	18	1.02%	10.50	3.33



THESE STORM DRAIN LINES WILL BE RELOCATED AND REIZED UPON SUBMITTAL OF BUILDING DEPARTMENT DRAINAGE PLAN.

PLEASE REFER TO CITY ORDINANCE 10-113 FOR THE STANDARD SPECIFICATIONS FOR STORM DRAINAGE. THIS PLAN IS FOR THE USE OF THE BUILDING DEPARTMENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE BUILDING DEPARTMENT.

EXISTING CONDITIONS

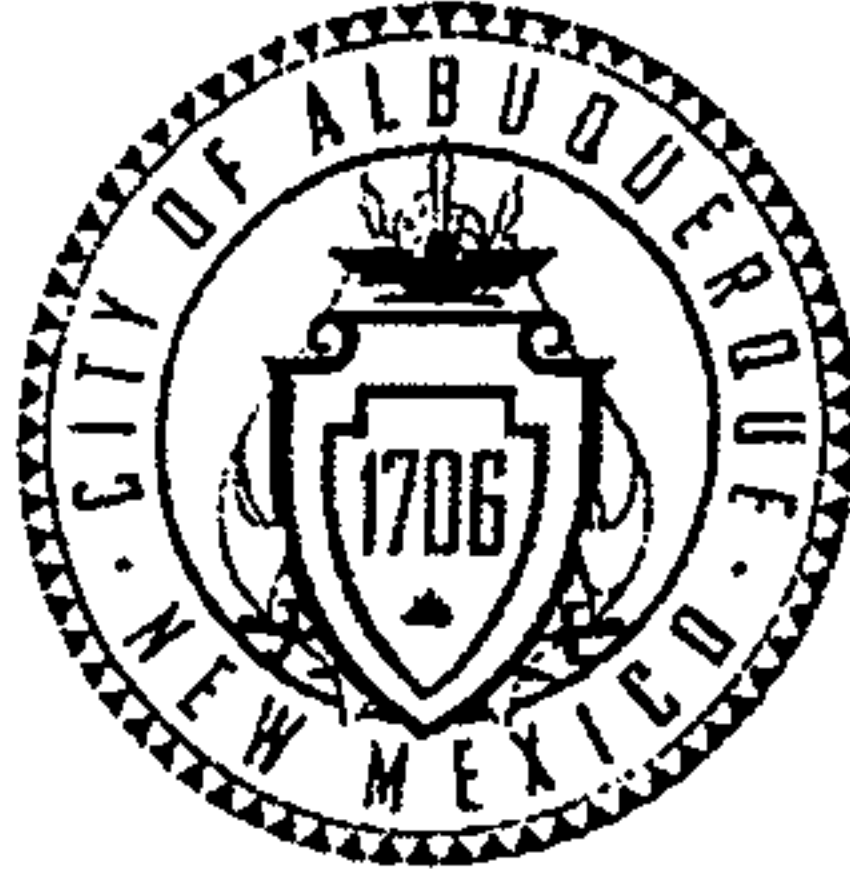
The site is located at the intersection of Bellamah Avenue N.W. and 18th Street N.W. The site is currently undeveloped and contains several existing structures and a parking lot. The site is bounded by Bellamah Avenue N.W. to the north and 18th Street N.W. to the south. The site is approximately 10 acres and is situated in a residential area. The site is currently undeveloped and contains several existing structures and a parking lot. The site is bounded by Bellamah Avenue N.W. to the north and 18th Street N.W. to the south. The site is approximately 10 acres and is situated in a residential area.

PROPOSED CONDITIONS

The proposed conditions for the site include the construction of a storm drain system, the relocation of existing storm drain lines, and the construction of a pond. The pond will be located at the southeast corner of the site and will have a capacity of 100,000 cubic feet. The pond will be used to store storm water during heavy rain events. The storm drain system will consist of several pipes of varying sizes, all of which will be installed at a depth of 4 feet. The storm drain system will be designed to handle a peak flow rate of 100 cubic feet per second. The storm drain system will be installed in accordance with the standards set forth in the City of Albuquerque Storm Drainage Manual.

INLET TABLE

INLET #	Type	Top of Inlet	Top of Basin	Capacity
1	1-SQ. D.	57.07	3.32	5.07
2	1-SQ. D.	56.30	3.37	5.07
3	1-SQ. D.	56.38	1.46	0.5
4	1-SQ. C.	56.76	1.87	5.07
5	1-SQ. D.	56.16	1.20	0.5
6	1-SQ. D.	57.07	1.88	5.07
7	1-SQ. D.	56.39	0.28	0.5
8	1-SQ. D.	56.64	3.32	0.5
9	1-SQ. D.	56.64	3.32	0.5
10	1-SQ. D.	56.90	1.75	5.07
11	1-SQ. D.	57.07	0.28	0.5
12	1-SQ. D.	57.07	0.28	0.5
13	1-SQ. D.	57.07	0.28	0.5
14	1-SQ. D.	57.07	0.28	0.5
15	1-SQ. D.	57.07	0.28	0.5
16	1-SQ. D.	57.07	0.28	0.5
17	1-SQ. D.	57.07	0.28	0.5
18	1-SQ. D.	57.07	0.28	0.5
19	1-SQ. D.	57.07	0.28	0.5



Chris G —
RECEIVED Gail —

AUG 17 2011

Dekker/Perich/Sabatini

City of Albuquerque
Planning Department
Urban Design & Development Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 12, 2011

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project #1005354**
11EPC-40045 Amend Site Development Plan for
Subdivision

Keshet Dance Company
214 Coal Ave SW
Albuquerque, NM 87102

LEGAL DESCRIPTION:

Dekker/Perich/Sabatini, agent for Keshet Dance Company, requests the above action for all or a portion of Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B, zoned SU-2/SU-1 for PRD and SU-2/SU-1 for PRD and Microbrewery, located at the NW corner of Bellamah Ave. and 18th St., south of Interstate 40, between 19th St. and 12th St., containing approximately 10 acres. (H & J-13)
Catalina Lehner, Staff Planner

On August 11, 2011, the Environmental Planning Commission (EPC) voted to APPROVE Project 1005354 / 11EPC-40045, a request for a Site Development Plan for Subdivision Amendment based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for an amendment to a site development plan for subdivision with design standards for Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B, an approximately 10-acre site known as "Sawmill Village" located at the northwest corner of 18th Street and Bellamah Avenue (the "subject site").
2. The applicant proposes to amend the existing site development plan for subdivision (Project #1005354, 07EPC-00107) to include a performing arts center, and auxiliary uses such as a café and offices, as part of Phase II of the project. The arts center would replace Buildings A2 and C; Building A1 would be smaller and reconfigured. A western portion of Phase I would be modified in response. Changes to building square footages, parking, landscaping and grading & drainage are also included in the amendment.

OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

August 11, 2011

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3. The subject site is zoned: SU-2/SU-1 PRD (Planned Residential Development) for Lot B-2-A, Duke City Lumber Company (Phase I) and SU-2/SU-1 for PRD and Microbrewery for Tract 2-D-1, Arbolera de Vida Unit 2B (Phase II). Planned Residential Development (PRD) is a permissive use in the SU-1 zone (§14-16-2-22).
4. The SU-1 for PRD zone [ref: §14-16-2-22(B)(25)] allows O-1 permissive uses and C-1 permissive uses up to 25% of the total gross floor area of a development. In the approved site development plan (07EPC-100107), O-1 permissive uses and C-1 permissive uses total approximately 16%. With the proposed arts center, the total would be 24.9% . This calculation counts live/work spaces as all C-1 uses. However, it is more likely that the live/work spaces would develop as combined office/commercial and residential uses, so the figure would be lower in reality.
5. The Comprehensive Plan, the Sawmill/Wells Park Sector Development Plan (SWPSDP), the Sawmill/Wells Park Metropolitan Redevelopment Plan (SWPMRP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site lies within the boundaries of the Central Urban Area of the Comprehensive Plan and the Sawmill/Wells Park Sector Development Plan (SWPSDP). The request must comply with the General SU-2 Regulations of the SWPSDP and the design standards in the Sawmill Village site development plan for subdivision (07EPC-00107).
7. The request generally furthers the Central Urban Goal and the following land use policies for the Central Urban Area:
 - A. Policy II.B.6a-location of new cultural and arts facilities. The request would result in a new arts facility located in the Central Urban area.
 - B. Policy II.B.6b- Central Urban upgrade/linkages. The request would constitute an effort to continue and expand the general upgrading of this part of the Central Urban area. The location of an arts facility in this area could result in linkages created between it and surrounding neighborhoods.
8. The request generally furthers the Economic Development Goal of the Comprehensive Plan. The request would result in some economic development. Adding an arts center to a mixed-use project can be considered diversified economic development that is balanced with social and cultural goals.
9. The request furthers the Goal for Cultural Traditions and the Arts and Policy II.C.7c because it would generally support the arts as a viable component of the community's well being by providing instruction opportunities and performance space (Goal). Also, the request would support coordination and promotion of the arts in the metropolitan area (Policy II.C.7c).
10. The request furthers the following Comprehensive Plan land use policies:
 - A. Policy II.B.5d-neighborhood values/environmental conditions/resources. The request would result in new development in a mixed-use, Central Urban area. Intensity would be generally appropriate and design would be compatible with existing and future buildings. An arts center would provide a social, cultural and recreational resource. Neighborhood organizations have indicated general support.

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Project #1005354, 11EPC-40045

August 11, 2011

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- B. Policy II.B.5e-programmed facilities/neighborhood integrity. The vacant subject site, in the Central Urban part of the City, is contiguous to existing urban facilities and services. The use of these is unlikely to adversely affect neighborhood integrity.
 - C. Policy II.B.5l-quality design/new development. The proposed arts facility would be consistent with future buildings onsite and existing buildings and the area, which are characterized by a metal/stucco combination and use of multiple colors, in terms of quality and design. The proposed design would be generally appropriate to the plan area. The request furthers Policy II.B.5l-quality design/new development.
11. The request partially furthers the following, Comprehensive Plan land use policies:
- A. Policy II.B.5i- employment/service use location. Instruction in dance and fine arts is a service use (ref: 14-16-2-16(A)(10)(i)-C-1 zone). The proposed arts facility, at the NE corner of Phase II, is not sited directly east of the existing live/work units which somewhat minimizes its effect. However, current and future residents nearby may experience some noise and traffic impacts- especially on performance days.
 - B. Policy II.D.4g- pedestrian opportunities integration. The proposed parking lot is not well-connected to the arts centers and does not meet Zoning Code 14-16-3-5(H)(5 and 6) regarding pedestrian connections. Pedestrian opportunities have not been integrated to the extent that they should be.
12. The request furthers the following Comprehensive Plan land use policies that pertain to redevelopment:
- A. Policy II.B.5o- redevelopment/rehab of older neighborhoods. The request is part of a larger project that would contribute to redevelopment of an older neighborhood in the Central Urban area. The Central Urban area is part of the Established Urban area. Redevelopment efforts in this neighborhood have been ongoing for awhile; such projects will strengthen redevelopment efforts.
 - B. Policy II.B.5p- cost effective rehabilitation techniques. The request would result in privately funded redevelopment, which can be considered a cost-effective redevelopment technique since it does not use public funds (Technique #1).
13. The request partially fulfills the intent of the following Action Plans in the Sawmill/Wells Park Sector Development Plan (SWPSDP):
- A. Economic Development Action Plan (EDAP), based on the Sawmill Revitalization Strategy (SRS)- Though some jobs for area residents may result, they are likely to be service jobs and not the industrial or commercial type jobs the SRS envisions.
 - B. Public Project Action Plan (PPAP)- The request would create a focal point in approximately the center of the Plan area, thereby linking this relatively isolated part of the Plan area to other parts of it. However, traffic operations could be affected.
14. The Sawmill Mixed-Use Development Traffic Impact Study (TIS) was completed in February 2007 in association with the 2007 proposal (Project #1005354, 07EPC-10107/10109). The required, updated Trip Generation Comparison (June 2011) notes an 18 trip per day increase in 24 hr. two-way volume.

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Project #1005354, 11EPC-40045

August 11, 2011

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The land use comparison reveals an increase of 276 trips per day (11.6%) between the proposed and approved land uses. Transportation Development Staff did not have any adverse comments.

15. The existing Sawmill Village design standards apply. Though the request complies with most standards, there are a few instances of non-compliance (ex. Trails & Sidewalks, Public Open Space). In other instances, detail is insufficient (ex. Signage, Site Lighting) to evaluate compliance. These are addressed and remedied through minor conditions of approval.
16. The affected neighborhood organizations are the Sawmill Area Neighborhood Association (SANA) and the Sawmill Community Land Trust (SCLT). A facilitated meeting was not held. The Arbolera de Vida Association, the Wells Park NA and the Sawmill Area NA submitted letters of support. There is no known neighborhood or other opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
3. The request shall comply with the General SU-2 Regulations in the Sawmill/Wells Park Sector Development Plan and the Sawmill Village design standards (Project #1005354, 07EPC-00107).
4. Building Data: Update the Building Data table to keep O-1 and C-1 uses less than 25% of the total development, as required in the SU-1 for PRD zone, and update the associated calculations.
5. Vehicle Parking:
 - A. The parking table shall incorporate the changes to building square footage and shall match the number of parking spaces shown on the site development plan.
 - B. The Zoning Code ratio ("required ratio") for the brewery/restaurant shall be 1 space for every 4 seats.
6. Bicycle & Motorcycle Parking:
 - A. The bicycle rack shall be relocated from the southern side of the site (landscape area) to a more central location on the plaza.
 - B. A bicycle rack detail shall be provided.
 - C. The motorcycle spaces on the western side shall be relocated to an area visible from the arts center's main entrance and shall be designated by signage [14-16-3-1(C)(2)].
 - D. Motorcycle spaces shall be counted in addition to vehicle spaces (not as part of the vehicle space total).
 - E. One more motorcycle space shall be provided.

7. Pedestrian & Plaza Issues:

- A. Clearly demarcated pedestrian crossings of raised, scored paving shall be provided across the drive aisles to connect the sidewalk (design standard).
- B. "Decorative Paving" shall be defined as scored and/or textured paving and its color specified.
- C. A bench shall be added to the northwest corner of the plaza area and to the area near the northwest corner of Building A-1.
- D. The material of the "plaza over the pond" shall be specified.
- E. The plaza area shall have seating and shade to cover a minimum 25% of the area.

8. Walls/Fences:

- A. The color, finish and/or type of block for the screen wall shall be specified.
- B. The location of the fence near the NW corner, and its color, finish and/or type, shall be specified and a detail provided.
- C. The color of the steel tube fence along the western side shall be indicated.
- D. The height, type, color and finish of the guard rail by the pond shall be indicated.

9. Landscaping Plan:

- A. The landscaping calculations shall be adjusted to correspond to the revised building square footages for Phase II.
- B. The 36 sf tree planting area shall be a minimum.
- C. The seat walls around the planters shall be shown.
- D. The street trees along Bellamah Avenue, approved in the 2007 site development plan, shall be re-instated.

10. Refuse Enclosures:

- A. The applicant shall check with SWMD regarding the refuse enclosure's location.
- B. Refuse enclosures shall comply with the requirements of the Solid Waste Management Division.
- C. The color and finish of the refuse enclosure shall be indicated.

11. Lighting: Provide a detail for each light pole type.

12. Reflective glass shall not be permitted (General SU-2 regulation 4.f.).

13. Signage:

- A. The letter color and lighting of the monument sign shall be specified.
- B. The letter color and square footage of the building mounted signs shall be specified.
- C. Signs shall not be illuminated plastic panel signs (design standard).

14. Minor Clean-Up & Additions:

- A. Use lighter shading on the building table and the parking table.
- B. Revise the label "Active Space" used for building A2's breakdown of square footages by use.
- C. Label the loading dock and the turn around area near it.
- D. Provide a separate detail sheet.

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Project #1005354, 11EPC-40045

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- E. Use bubbling to indicate changes to the tables on the Grading & Drainage plan.
- F. Correct the reference to 14-16-3-19 in the design standards.

15. Conditions from the City Engineer:

- A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- B. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
- C. Site plan shall comply and be designed per DPM Standards. Any instances of non-compliance are remedied through conditions of approval.

16. Conditions from PNM:

- A. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- B. An existing electric transmission line is located on the eastern boundary of the Phase 1B and 1C and an existing electric distribution line is located east of the Phase 2 boundary. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate the relocation of existing electric structures regarding this project. In addition coordination with New Service Delivery Department is necessary regarding any proposed tree location and height, sign location and height, and lighting height in order to ensure sufficient safety clearances.
- C. Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY AUGUST 26, 2011 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL

DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

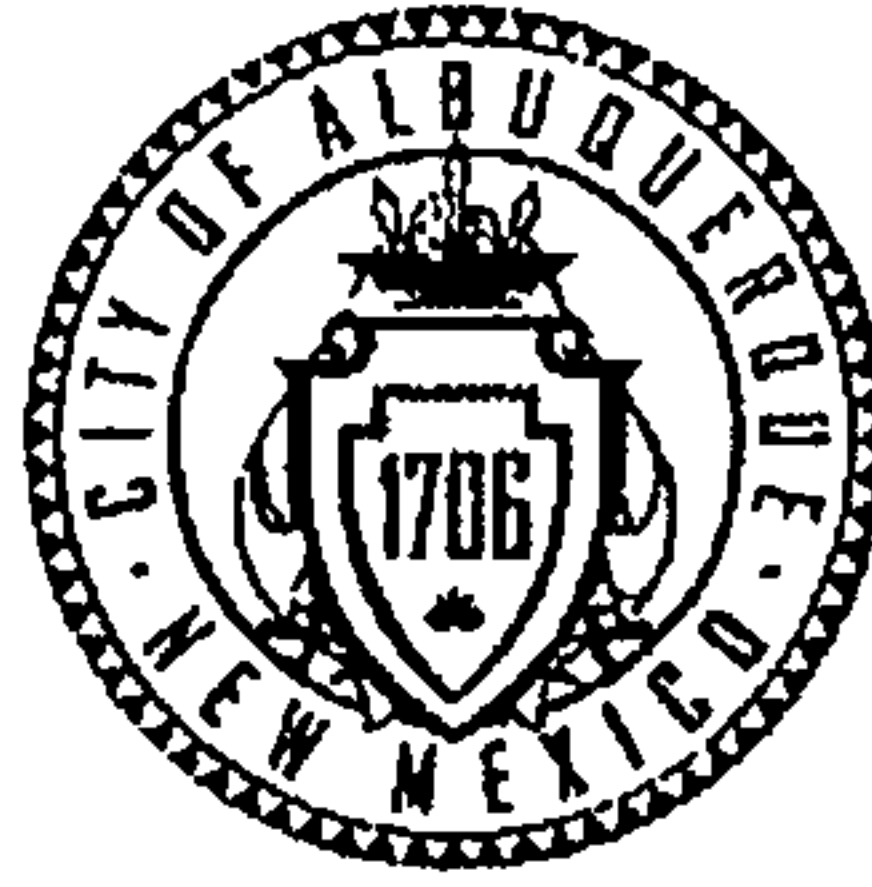
Sincerely,

C. Marone

for Deborah Stover
Planning Director

DS/CLL/mc

cc: Dekker/Perich/Sabatini, Attn: Chris Gunning & Gail Granot, 7601 Jefferson NE, Suite 100, Albuquerque, NM 87109
Magdalena Ramirez, Sawmill Area NA, 1020 19th St. NW, Albuquerque, NM 87104
Judy Gallegos, Sawmill Area NA, 1036 18th St. NW, Albuquerque, NM 87104
Connie Chavez, Sawmill Community Land Trust, PO Box 25181, Albuquerque, NM 87125
Wendy Statkus, Sawmill Community Land Trust, PO Box 25181, Albuquerque, NM 87125
Peter Eller, Wells Park NA, 1715 5th St. NW, Albuquerque, NM 87102
Kjudy Gallegos, Arbolera de Vida Association, c/o PO Box 25181, Albuquerque, NM 87125



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 16, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1005354**
07EPC-00109 EPC Sector Development Plan
Map Amendment
07EPC-00107 EPC Site Development Plan-
Subdivision

*Authority to DRB →
(see page 6)*

Sawmill Village LLC
4528 Carlisle Blvd. NE
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of Lot B-2A, **Duke City Lumber Co. Addition** and Tract 2D, Arbolera de Vida, , zoned SU-2/S-I and S-MI to SU-2/SU-1 for PRD and Microbrewery, located on BELLAMAH AVE. NW, between ASPEN AVE. NW and BELLAMAH NW at 18th St., containing approximately 10 acres. (H-13)
Carol Toffaleti, Staff Planner

On March 15, 2007 the Environmental Planning Commission voted to approve Project 1005354/ 07EPC-00109, a sector development plan map amendment from SU-2/S-MI (Sawmill Mixed Industrial) and SU-2/S-I (Sawmill Industrial) to SU-2/SU-1 for PRD for proposed Lots 2-11 and SU-2/SU-1 for PRD and microbrewery for proposed Lot 1, a site of approximately 9.97 acres located on Bellamah Avenue at 18th Street NW based on the following Findings and subject to the following Condition:

FINDINGS:

1. This request is for a sector development plan map amendment from SU-2/S-MI and SU-2/S-I to SU-2/SU-1 for PRD for proposed Lots 2-11 and SU-2/SU-1 for PRD and microbrewery for proposed Lot 1 a site of approximately 9.97 acres in total located on Bellamah Avenue at 18th Street NW.
2. As required by Zoning Code Section 14-16-2-22 (B) (25) (b), this request is accompanied by a site development plan for subdivision (07EPC-00107) that meets the requirements of this section.
3. The request furthers Comprehensive Plan goals and policies:
 - a. Developing and Established Urban Areas (Section II.B.5) - The goal and policies d, e, h, i., j, l, m, o, p are furthered because the zoning will replace a blighted former industrial site with a mixed use, mixed income development that is compatible with surrounding uses, improves connectivity and does not pose significant air quality, noise and safety conflict.

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MARCH 15, 2007
PROJECT #1005354
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- b. Central Urban Area (Section II.B.6) – The goal and policy b are furthered because the development will upgrade a pivotal site in the neighborhood and improve connectivity between residential areas, Tiguex Park, museums and other cultural/arts facilities in Old Town.
 - c. Air Quality (Section II.C.1) – The goal and policies b and i are furthered because the development combines residential with retail uses and employment opportunities on site, which reduces the need to travel by car. The site is also near Downtown and Old Town employment opportunities and amenities.
 - d. Water Quality (Section II.C.2) – The goal and policy a are furthered because rezoning and redevelopment will finalize clean-up of the site and prevent any possible further contamination of the groundwater by previous industrial uses.
 - e. Noise (Section II.C.4) – The goal and policy a are furthered because future noise/land use conflicts are prevented by the proposed mix of residential and small scale commercial uses.
 - f. Cultural Traditions and the Arts (Section II.C.7) – Policy c is furthered because the development is designed to provide uses that contribute to the arts and public spaces for cultural events.
 - g. Developed Landscape (Section II.C.8) – The goal and policy d are furthered because the rezoning and site development plan will significantly improve the environment and visual quality of this blighted industrial site.
 - h. Water Management (Section II.D.2) – The goal and policy b are furthered by the proposed xeriscaping and detention of stormwater run-off on site.
 - i. Energy Management (Section II.D.3) – The goal and policies a and c are furthered through the energy efficiency of multi-story compact development, the use of energy efficient appliances and shading from plantings.
 - j. Transportation and Transit (Section II.D.4) – The goal and policy g are furthered by this mixed use development that is pedestrian-friendly and improves connectivity for the neighborhood.
 - k. Housing (Section II.D.5) – The goal and policies a, b and d are furthered because the development provides affordable apartments and innovative design, including the opportunity to work on site, and will comply with all fair housing regulations.
 - l. Economic Development (Section II.C.6) – The goal and policies b and d are furthered because the development provides neighborhood-scale retail spaces and active spaces for artisans and professionals that encourages new local enterprises and economic investment in this redeveloping area. The site is well-located relative to Old Town and museums to capitalize on the tourist market.
4. The request supports the Sawmill/Wells Park Sector Development Plan because mixed use development at the site furthers many of its goals, policies and actions including those related to environmental problems, affordable housing, economic development, reusing vacant land, improving area appearance, and building on community historic character.

5. The request implements the Artisan Village, a priority action identified in the Sawmill/Wells Park Metropolitan Redevelopment Plan, and also furthers goals related to housing and infrastructure, as well as community economic development.
6. The request is justified as required by Resolution 270-1980:
 - a. Section A because the zone change is not in conflict with the health, safety, morals, and general welfare of the City and it furthers many goals and policies of City Plans.
 - b. Section B because the applicant provided a sound justification for the change by addressing many applicable City Plans, Goals, and Policies in its submittal and supplementary letters.
 - c. Section C because the zone change is not in conflict with adopted elements of City Plans and Policies.
 - d. Section D.2 and D.3 because the applicant demonstrated that the existing zoning is inappropriate because of changed neighborhood or community conditions and that a different use category is more advantageous to the community. The adoption of the Sawmill/Wells Park Metropolitan Redevelopment Plan constitutes a changed condition, which altered the course of development in the area from industrial to mixed-use commercial, service, retail, and residential (p.28). The applicant addressed several City goals and policies that apply to this request, in particular those in the Comprehensive Plan related to the Established Urban Area, Central Urban Area, Air Quality, Cultural Traditions and the Arts, Developed Landscape, Transportation and Transit, Housing and Economic Development.
 - e. Section E because the proposed zoning for residential and neighborhood scale commercial uses does not allow uses that are harmful to adjacent property, the neighborhood, or the community. A change to SU-2/SU-1 for PRD and microbrewery zoning requires review and approval of a site development plan for subdivision that addresses many development proposal questions and the zoning will allow for the removal of a use that no longer furthers the goals for the area.
 - f. Section F because the zone change does not require unprogrammed capital expenditures by the City. Adjacent improvements are the responsibility of the developer.
 - g. Section G because the cost of land is not the determining factor of the zone change.
 - h. Section H (not applicable).
 - i. Section I because the SU-2/SU-1 for PRD and microbrewery zoning is a justified spot zone. The request furthers many City goals and policies and is accompanied by a site development plan for subdivision as required by a change to SU-1 for PRD and microbrewery zoning. In addition, the zoning functions as a transition between the industrial/manufacturing uses to the north and south and the single-family residential uses to the east and west.
 - j. Section J because the proposed zoning does not constitute a strip zone.

CONDITION:

1. Replatting of the subject site must be completed at the DRB.
-

OFFICIAL NOTICE OF DECISION
MARCH 15, 2007
PROJECT #1005354
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On March 15, 2007 the Environmental Planning Commission voted to approve Project 1005354/ 07EPC-00107, a site development plan for subdivision for Lot B-2-A Duke City Lumber Co. Addition and Tract 2D Arbolera de Vida Unit 2, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for a site development plan for subdivision for Lot B-2-A Duke City Lumber Co. Addition and Tract 2D Arbolera de Vida Unit 2, a site of approximately 9.97 acres, located on Bellamah Avenue at 18th Street NW, zoned SU-2/SU-1 for PRD and microbrewery for proposed Lot 1 and SU-2/SU-1 for PRD for proposed Lots 2-11, a site of approximately 9.97 acres in total located on Bellamah Avenue at 18th Street NW.
2. This request accompanies a sector development plan map amendment (07EPC-00109).
3. The request furthers Comprehensive Plan goals and policies:
 - a. Developing and Established Urban Areas (Section II.B.5) - The goal and policies d, e, h, i., j, l, m, o, p are furthered because the zoning will replace a blighted former industrial site with a mixed use, mixed income development that is compatible with surrounding uses, improves connectivity and does not pose significant air quality, noise and safety conflict.
 - b. Central Urban Area (Section II.B.6) – The goal and policy b are furthered because the development will upgrade a pivotal site in the neighborhood and improve connectivity between residential areas, Tiguex Park, museums and other cultural/arts facilities in Old Town.
 - c. Air Quality (Section II.C.1) – The goal and policies b and i. are furthered because the development combines residential with retail uses and employment opportunities on site, which reduces the need to drive. The site is also near Downtown and Old Town employment opportunities and amenities.
 - d. Water Quality (Section II.C.2) – The goal and policy a are furthered because rezoning and redevelopment will finalize clean-up of the site and prevent any possible further contamination of the groundwater by previous industrial uses.
 - e. Noise (Section II.C.4) – The goal and policy a are furthered because future noise/land use conflicts are prevented by the proposed mix of residential and small scale commercial uses. The applicant has not fully demonstrated compliance with policy b.
 - f. Cultural Traditions and the Arts (Section II.C.7) – Policy c is furthered because the development is designed to provide uses that contribute to the arts and public spaces for cultural events.
 - g. Developed Landscape (Section II.C.8) – The goal and policy d are furthered because the rezoning and site development plan will significantly improve the environment and visual quality of this blighted industrial site.
 - h. Water Management (Section II.D.2) – The goal and policy b are furthered by the proposed xeriscaping and detention of stormwater run-off on site.
 - i. Energy Management (Section II.D.3) – The goal and policies a and c are furthered through the energy efficiency of multi-story buildings, the use of energy efficient appliances and shading from plantings.

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MARCH 15, 2007

PROJECT #1005354

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- j. Transportation and Transit (Section II.D.4) – The goal and policy g are furthered by this mixed use development that is pedestrian-friendly and improves connectivity for the neighborhood.
 - k. Housing (Section II.D.5) – The goal and policies a, b and d are furthered because the development provides affordable apartments and innovative design including the opportunity to work on site and will comply with all fair housing regulations.
 - l. Economic Development (Section II.C.6) – The goal and policies b and d are furthered because the development provides neighborhood-scale retail spaces and active spaces for artisans and professionals that encourage new local enterprises and economic investment in this redeveloping area. The site is well-located relative to Old Town and museums to capitalize on the tourist market.
4. The request supports the Sawmill/Wells Park Sector Development Plan because mixed use development at the site furthers many of its goals, policies and actions including those related to environmental problems, affordable housing, economic development, reusing vacant land, improving area appearance, and building on community historic character.
5. The request implements the Artisan Village, a priority action identified in the Sawmill/Wells Park Metropolitan Redevelopment Plan, and also furthers goals related to housing and infrastructure, as well as community economic development.
6. Findings from the Transportation Development (City Engineer/Planning Department):
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. A Traffic Impact Study (TIS) has been submitted and reviewed by Transportation Staff.
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. The Traffic Impact Study is available for review by any interested party, in the office of the Traffic Engineer.
 - e. Main access aisle linking the extension of Bellamah Avenue with 18th Street to be dedicated as a public roadway easement. Should the applicant decide not to make this connection, an on-site cul-de-sac at Bellamah Avenue (east property line) shall be constructed to City standards.
 - f. Four-way intersection at east property line to be re-aligned such that the north/south legs of the intersection align with one another and are perpendicular to the main drive aisle (approximately in both cases).
 - g. Provide cross access agreements.
 - h. Site plan shall comply and be designed per DPM Standards.

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PROJECT #1005354
PAGE 6 OF 9

7. The Sawmill Neighborhood Association and property owners within 100 feet of the site were notified of the requests. No facilitated meeting was requested. The Sawmill NA and Wells Park NA submitted letters of support for the project.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
- * 3. Site development plans for building permit for buildings in Phase I (Lots 2-11) may be submitted for building permit approval. Site development plans for building permit for buildings in Phase II (Lot 1) shall be submitted to the DRB for approval.
4. Conditions of approval from CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT for the proposed Sector Development Plan and Site Development Plan for Subdivision shall include:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - c. Main access aisle linking the potential extension of Bellamah Avenue with 18th Street to be granted as a public roadway easement. Should the extension not be made the design shall be made subject to Fire, Solid Waste and Police Department approval.
 - d. Four-way intersection at east property line to be re-aligned such that the north/south legs of the intersection align with one another and are perpendicular to the main drive aisle (approximately in both cases).
 - e. Provide cross access agreements.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Platting must be a concurrent DRB action.

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5. The final design of a possible future connection with Bellamah Avenue NW on the east side of the site is contingent on the results of a neighborhood transportation study commissioned by City Council and further discussions between the City and all appropriate concerned parties.
6. Sheet SDP1 of the site development plan for subdivision shall be amended as follows:
 - a. Plan
Add two bicycle racks, one for Building E3 and C.
 - b. Text
 - i) Open space – Refer to the R2 zone and section 14-16-2-11 (H) of the Zoning Code.
 - ii) Maximum building heights – Townhomes F: 28' maximum.
 - iii) Lighting
 - Insert after Perimeter parking “(north and northeast perimeter in Phase I, west perimeter in Phase II)”
 - Insert after cutoff features “provided that the lighting fixture does not directly shine on any residential premises’.
 - Change ‘Interior’ to ‘Other’ parking areas.
 - Move amended text to Design Guidelines, under site lighting.
 - iv) Parking
 - Correct errors in table of parking calculations related to Active Spaces.
7. The Design Guidelines on Sheet SDP3 shall be amended as follows:
 - a. Replace all citations of the term ‘should’ with ‘shall’.
 - b. Overall design theme –
 - i. Specify the green and sustainable building practices that shall be incorporated to support the water and energy management policies in the Comprehensive Plan.
 - ii. Site monuments and associated logo, symbol or letters shall comply with regulations applicable to signs within 40 feet of residential zones and to signs in the O-1 zone, specifically:
 - the monuments shall not be on the public right-of-way;
 - no part of the monument shall move, flash or rotate;
 - any illumination shall comply with the City’s Dark Sky requirements;
 - no illuminated portion of the monument shall have a luminance greater than 200 footlamberts at night nor change its illumination more than once an hour;
 - in addition; the identifying logo, symbol or letters shall be placed at a maximum height agreeable with staff prior to DRB;
 - the maximum overall size of the logo, symbol or lettering shall be in a size agreeable with staff prior to DRB.
 - iii. All units that face property zoned industrial shall have sound reducing insulation and windows.
 - iv. Include a sentence in the last paragraph to the effect that Phase II site development plans for building permit are delegated to the DRB for approval.

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- c. Parking
 - i. State that the guidelines also apply to disabled parking, and motorcycle and bicycle parking.
 - ii. Move the bicycle parking requirements currently under Trails and Sidewalks to this section and include material and color of bicycle racks.
 - d. Landscape - A landscape plan for Phase II shall be included with the (first) site development plan for building permit of a building on Lot 1, reflecting the calculations, plant palette and design theme of the approved Phase I landscape plan.
 - e. Exterior Wall Materials and Colors – The materials and colors of architectural elements, including patio walls, shall be listed for each building type in the development.
 - f. Roof lines, materials and colors – The roof lines, materials and colors shall be specified for each building type in the development.
 - g. Site lighting – Insert amended text from Sheet SDP1.
 - h. Placement of Mechanical Units – Specify that landscape screening for ground level units will be dense evergreen foliage.
 - i. Signage – Replace the second and fourth bullet points with the following text: ‘Signs identifying the principal use of a building may be free-standing or wall-mounted. Signs identifying the use of an active or other commercial space within a building shall be wall-mounted or a banner-type sign that projects no more than half of the adjacent sidewalk width.’
 - j. Screen Walls and Fences –
 - i. The applicant shall provide more detail concerning materials and colors for all walls and fences, including screening for dumpsters, the guardrail at the detention pond and the decorative wall at the back of the plaza.
 - ii. The applicant shall clarify fencing arrangements for the west side of the detention pond.
 - iii. Patio walls shall not exceed 5 feet.
8. The Landscape Plan (Sheet SDP2) shall be amended as follows:
- a. Add a Planting Note that prickly pears shall be planted away from communal areas and 5 feet from pedestrian walkways.
 - b. Keyed Note 2 shall specify a minimum tree grate size of 6 by 6 feet.
 - c. Planting note 4 on SDP2 shall be increased to 80%.
 - d. Planting note 7 add “Densities and overall count of plants shall meet or exceed those shown in the approved plan”.
 - e. The applicant shall add 1 tree in front of the north side of building D2.
9. The applicant shall clarify the location of electrical lines on the site (ref. Utility Plan, Sheet SDP9).

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 30, 2007** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

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Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

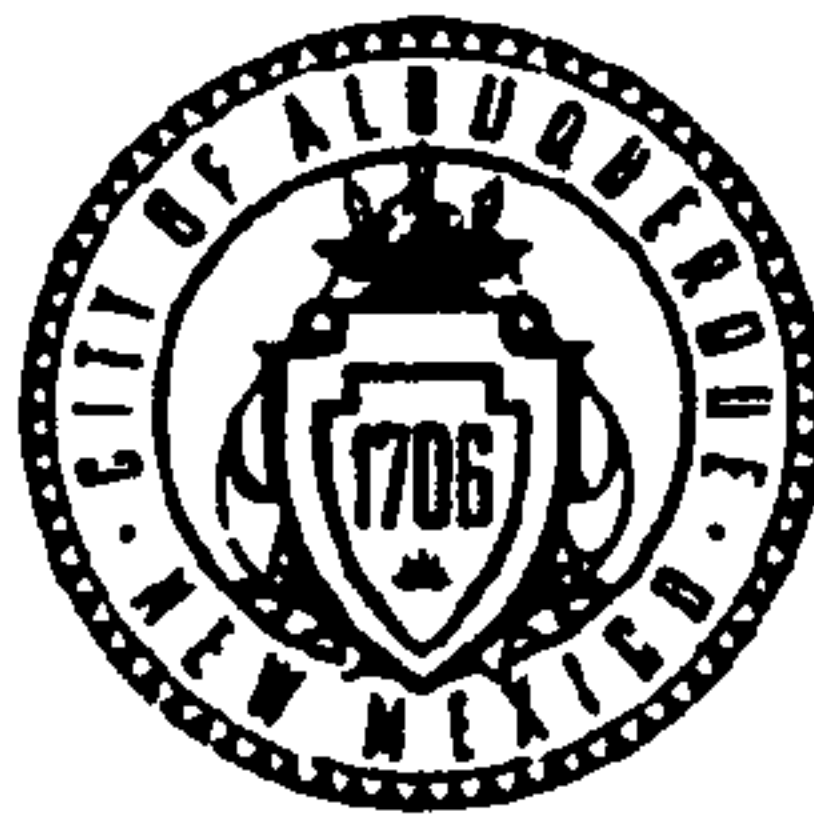
Sincerely,

CMarone

for Richard Dineen
Planning Director

RD/CT/ac

cc: Dekker/Perich/Sabatini, 7601 Jefferson NE, Suite 100, Albuquerque, NM 87109
LF Schultz, Sawmill Area NA, 1324 Sawmill Rd. NW, Albuquerque, NM 87104
Lezle Williams, Sawmill Area NA, 1127 12th St. NW, Albuquerque, NM 87104
Bob Jones, 1015 20th St. NW, Albuquerque, NM 87104
Gabriel Rivera, Metropolitan Redevelopment



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 9-15-11

TO CONTACT NAME: CHRIS CUNNING
COMPANY/AGENCY: NEKKER PERICH/SABATINI
ADDRESS/ZIP: 7601 JEFFERSON N.E. ALBUQUERQUE NM 87109
PHONE/FAX #: 761-9700 761-4222

Thank you for your inquiry of 9-15-11 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Tract 2 of Arborescence Vida - zone map page(s) H-13 J-13.

Our records indicate that the Affected Neighborhood and/or Homeowner Associations affected by this proposal and the contact names are as follows:

Table with 2 columns: Neighborhood or Homeowner Association, Contacts. Row 1: Sawmill Community Homeowners, Sawmill Assoc. Row 2: [Handwritten signature], Attached.

See reverse side for additional Neighborhood and/or Homeowner Associations Information: YES { } NO X

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.

Sincerely, [Signature] OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

SAWMILL AREA N.A. (SMA) "R"

***Maggie Ramirez** *e-mail:* mramirezsac@gmail.com

1020 19th St. NW/87104 235-7482 (c)

Judy Gallegos *e-mail:* kjudy413ar@msn.com

1036 18th St. NW/87104 514-4045 (h)

SAWMILL COMMUNITY LAND TRUST (SCL)

Connie Chavez *e-mail:* cchavez@sawmillct.org

P.O. Box 25181/87125 764-0359 (w)

Wendy Statkus *e-mail:* wstatkus@aol.com

P.O. Box 25181/87125

Website: www.sawmillct.org

Council District: 2

County District: 2

Police Beat: 232/VA

Zone Map #: H-J-13

Council District: 2

County District: 2

Police Beat: 232/VA

Zone Map #: H-J-13

September 16, 2011

Ms. Judy Gallegos
Sawmill Area N.A.
1036 18th St. NW
Albuquerque, NM 87104

Re: Keshet Performing Arts Center (KPAC)
Northwest Corner of 18th Street and Bellamah Avenue NW
Request for Site Development Plan for Building Permit Amendment (project # 1005354)

Dear Ms. Gallegos:

This letter is to inform you that a request for review and approval of an amendment to a Site Development Plan for Building Permit for the Keshet Dance Company will be heard at the Development Review Board (DRB) meeting on Wednesday, October 12, 2011. On August 11, 2011, the Environmental Planning Commission approved the Site Plan for Building Permit application and delegated final approval to the DRB.

Keshet Dance Company desires to build a dance studio including performance space, a small restaurant and office space. Keshet provides dance lessons to children, adults, and those with physical and developmental disabilities.

Tract 2-D of Arbolera de Vida Subdivision, is zoned "SU-1/SU-2 for PRD with Microbrewery." An amendment to the approved plan to allow reducing the number of buildings on the site from three buildings to two is requested. One building will be Keshet Performing Arts Center (KPAC) and the other will remain as a pad site for a microbrewery/restaurant.

The amendment submitted, if approved, will include Buildings A2 and C to be one (1) building (A2) a 36,000 square foot two story building with 24,000 sf on the ground floor and 14,000 sf on the second floor. The pad site as a microbrewery will accommodate 8,500 sf with 6,500 sf on the ground floor and 2,000 sf on the second floor.

The Amended Site Development Plan for Building Permit includes parking east of the site to change from angled parking to perpendicular parking with a total of 41 parking spaces.

If you have any questions or need clarification of anything contained herein, please contact Gail Granot or myself at 761-9700.

Sincerely,

Dekker/Perich/Sabatini
Agent for Keshet Performing Arts Center



Christopher R. Gunning, AIA, LEED AP BD+C
Principal

September 16, 2011

Ms. Maggie Ramirez
Sawmill Area N.A.
1020 19th St. NW
Albuquerque, NM 87104

Re: Keshet Performing Arts Center (KPAC)
Northwest Corner of 18th Street and Bellamah Avenue NW
Request for Site Development Plan for Building Permit Amendment (project # 1005354)

Dear Ms. Ramirez:

This letter is to inform you that a request for review and approval of an amendment to a Site Development Plan for Building Permit for the Keshet Dance Company will be heard at the Development Review Board (DRB) meeting on Wednesday, October 12, 2011. On August 11, 2011, the Environmental Planning Commission approved the Site Plan for Building Permit application and delegated final approval to the DRB.

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If you have any questions or need clarification of anything contained herein, please contact Gail Granot or myself at 761-9700.

Sincerely,

Dekker/Perich/Sabatini
Agent for Keshet Performing Arts Center



Christopher R. Gunning, AIA, LEED AP BD+C
Principal

September 16, 2011

Ms. Wendy Statkus
Sawmill Community Land Trust
P.O. Box 25181
Albuquerque, NM 87125

Re: Keshet Performing Arts Center (KPAC)
Northwest Corner of 18th Street and Bellamah Avenue NW
Request for Site Development Plan for Building Permit Amendment (project # 1005354)

Dear Ms. Statkus:

This letter is to inform you that a request for review and approval of an amendment to a Site Development Plan for Building Permit for the Keshet Dance Company will be heard at the Development Review Board (DRB) meeting on Wednesday, October 12, 2011. On August 11, 2011, the Environmental Planning Commission approved the Site Plan for Building Permit application and delegated final approval to the DRB.

Keshet Dance Company desires to build a dance studio including performance space, a small restaurant and office space. Keshet provides dance lessons to children, adults, and those with physical and developmental disabilities.

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If you have any questions or need clarification of anything contained herein, please contact Gail Granot or myself at 761-9700.

Sincerely,

Dekker/Perich/Sabatini
Agent for Keshet Performing Arts Center



Christopher R. Gunning, AIA, LEED AP BD+C
Principal

September 16, 2011

Ms. Connie Chavez
Sawmill Community Land Trust
P.O. Box 25181
Albuquerque, NM 87125

Re: Keshet Performing Arts Center (KPAC)
Northwest Corner of 18th Street and Bellamah Avenue NW
Request for Site Development Plan for Building Permit Amendment (project # 1005354)

Dear Ms. Chavez:

This letter is to inform you that a request for review and approval of an amendment to a Site Development Plan for Building Permit for the Keshet Dance Company will be heard at the Development Review Board (DRB) meeting on Wednesday, October 12, 2011. On August 11, 2011, the Environmental Planning Commission approved the Site Plan for Building Permit application and delegated final approval to the DRB.

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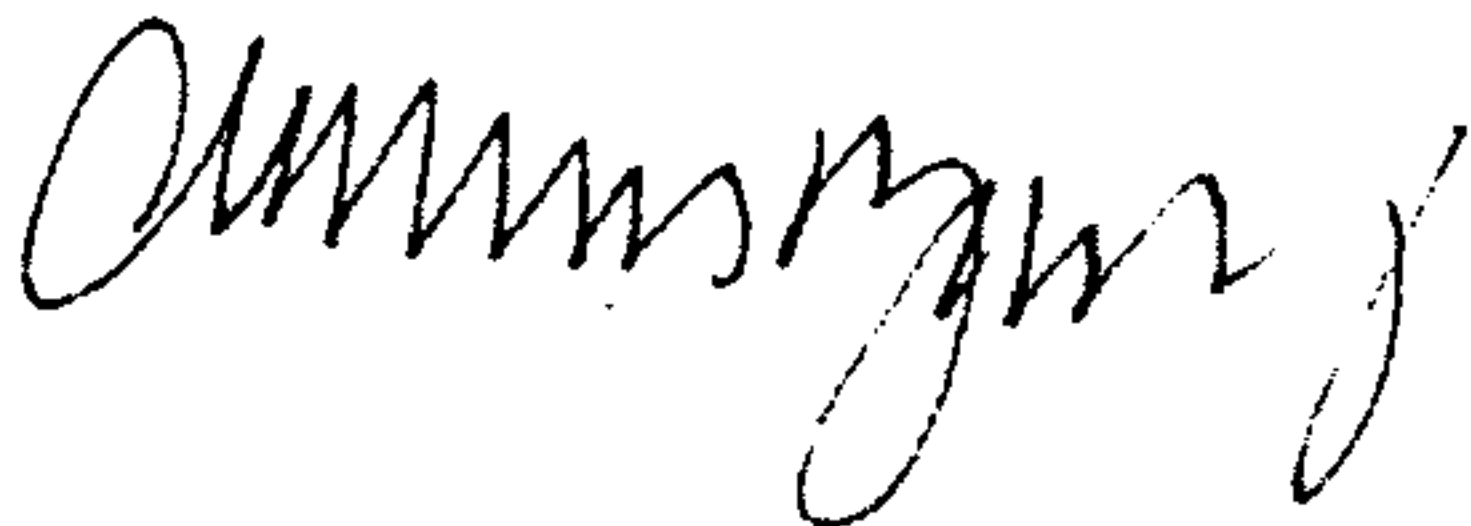
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The Amended Site Development Plan for Building Permit includes parking east of the site to change from angled parking to perpendicular parking with a total of 41 parking spaces.

If you have any questions or need clarification of anything contained herein, please contact Gail Granot or myself at 761-9700.

Sincerely,

Dekker/Perich/Sabatini
Agent for Keshet Performing Arts Center



Christopher R. Gunning, AIA, LEED AP BD+C
Principal

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City, State, ZIP+4

Ms. Connie Chavez
 Sawmill Community Land Trust
 P.O. Box 25181
 Albuquerque, NM 87125

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- For an additional fee, a *Return Receipt* may be requested to provide proof of delivery. To obtain Return Receipt service, please complete and attach a Return Receipt (PS Form 3811) to the article and add applicable postage to cover the fee. Endorse mailpiece "Return Receipt Requested". To receive a fee waiver for a duplicate return receipt, a USPS® postmark on your Certified Mail receipt is required.
- For an additional fee, delivery may be restricted to the addressee or addressee's authorized agent. Advise the clerk or mark the mailpiece with the endorsement "*Restricted Delivery*".
- If a postmark on the Certified Mail receipt is desired, please present the article at the post office for postmarking. If a postmark on the Certified Mail receipt is not needed, detach and affix label with postage and mail.

IMPORTANT: Save this receipt and present it when making an inquiry. Internet access to delivery information is not available on mail addressed to APOs and FPOs.

U.S. Postal Service™

CERTIFIED MAIL™ RECEIPT

(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	RECEIVED Postmark SEP 16 2011 Deker/Perich/Sabatini
Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.59	

Sent To

Street, Apt. No.;
or PO Box No.

City, State, ZIP+4

Ms. Wendy Statkus
Sawmill Community Land Trust
P.O. Box 25181
Albuquerque, NM 87125

4902 4212 TNNN M2PT 5NN1

Certified Mail Provides:

- A mail receipt
- A unique identifier for your mailpiece
- A record of delivery kept by the Postal Service for two years

PS Form 3800, June 2002 (Reverse)

Important Reminders:

- Certified Mail may **ONLY** be combined with First-Class Mail® or Priority Mail®
- Certified Mail is *not* available for any class of international mail.
- **NO INSURANCE COVERAGE IS PROVIDED** with Certified Mail. For valuables, please consider Insured or Registered Mail.
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\$ 0.44

Certified Fee

2.85

Return Receipt Fee
(Endorsement Required)

2.30

Restricted Delivery Fee
(Endorsement Required)

Total Postage & Fees

\$ 5.59

RECEIVED

Postmark

Here

SEP 16 2011

Dekker/Perich/Sabatini

Sent To

Ms. Judy Gallegos
Sawmill Area N.A.
1036 18th St. NW
Albuquerque, NM 87104

Street, Apt. No.;
or PO Box No.

City, State, ZIP+4

0402 4277 7111 0297 5001

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U.S. Postal Service™

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(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	RECEIVED Postmark 23 SEP 16 2011 Here
Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.59	Delton/Perich/Sabatini

Sent To

Ms. Maggie Ramirez

Street, Apt. No.;
or PO Box No.

Sawmill Area N.A.

1020 19th St. NW

City, State, ZIP+4

Albuquerque, NM 87104

Certified Mail Provides:

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7005 1820 0001 2729 2071

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Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.59	Dekker/Perich/Sabatini

Sent To
 Ms. Connie Chavez
 Sawmill Community Land Trust
 P.O. Box 25181
 Albuquerque, NM 87125

PS Form 3800, June 2002 See Reverse for Instructions

7005 1820 0001 2729 2064

U.S. Postal Service™
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OFFICIAL USE

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Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.59	Dekker/Perich/Sabatini

Sent To
 Ms. Wendy Statkus
 Sawmill Community Land Trust
 P.O. Box 25181
 Albuquerque, NM 87125

PS Form 3800, June 2002 See Reverse for Instructions

7005 1820 0001 2729 2040

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OFFICIAL USE

Postage	\$ 0.44	RECEIVED Postmark SEP 16 2011
Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.59	Dekker/Perich/Sabatini

Sent To
 Ms. Judy Gallegos
 Sawmill Area N.A.
 1036 18th St. NW
 Albuquerque, NM 87104

PS Form 3800, June 2002 See Reverse for Instructions

7005 1820 0001 2729 2057

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For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	RECEIVED Postmark SEP 16 2011
Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.59	Dekker/Perich/Sabatini

Sent To
 Ms. Maggie Ramirez
 Sawmill Area N.A.
 1020 19th St. NW
 Albuquerque, NM 87104

PS Form 3800, June 2002 See Reverse for Instructions

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Keshet Dance Company DATE OF REQUEST: 06 / 30 / 2011 ZONE ATLAS PAGE(S): H&J-13

CURRENT:

ZONING SU-2/SU-1 for PRD
 PARCEL SIZE (AC/SQ. FT.) 9.976 ac/ 434,555 sf

LEGAL DESCRIPTION:

LOT OR TRACT # 2-D BLOCK # _____
 SUBDIVISION NAME Abolera de Vida

REQUESTED CITY ACTION(S):

ANNEXATION [N]
 ZONE CHANGE []: From NA To _____
 SECTOR, AREA, FAC, COMP PLAN []
 AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
 BUILDING PERMIT [X] ACCESS PERMIT []
 BUILDING PURPOSES [] OTHER []
 *includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
 NEW CONSTRUCTION [X]
 EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 174
 BUILDING SIZE: 246,086 sf (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 6-30-11
 (To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
 2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes: SAWMILL MIXED USE DEVELOPMENT TIS (2/2007) & ASSOCIATED TRIP LEN. COMPARISON (6/2011)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

[Signature] DATE 6-30-11
 TRAFFIC ENGINEER

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1/11 [Signature] 6-30-11
 -FINALIZED 2/1/07 TRAFFIC ENGINEER DATE

From February 2007 Report

Table 1 - Trip Generation							
Land Use	ITE Land Use Code	Size	24 Hour Two-Way Volume	AM Peak Hour		PM Peak Hour	
				Enter	Exit	Enter	Exit
High Turnover Restaurant	932	4.5 Th. Sq. Ft.	572	27	25	30	19
Drinking Place	936	3.0 Th. Sq. Ft.	0	0	0	22	12
Health/Fitness Club	492	3.0 Th. Sq. Ft.	99	2	2	6	6
General Office	710	1.0 Th. Sq. Ft.	11	1	0	0	1
Specialty Retail Center	814	12.5 TGLA	554	0	0	15	19
General Light Industrial	110	14.0 Th. Sq. Ft.	98	11	2	2	13
Residential Condominium/Townhouse	230	179 DU's	1,049	13	66	63	30
Total			2,383	54	95	138	99

Note: A zero indicates no available data

General Light Industrial used as surrogate for "Active Spaces," the live-work component

Approved Site Plan

Table 2 - Trip Generation							
Land Use	ITE Land Use Code	Size	24 Hour Two-Way Volume	AM Peak Hour		PM Peak Hour	
				Enter	Exit	Enter	Exit
Phase 1							
Residential Condominium/Townhouse	230	28 DU's	163	2	10	10	5
Apartments	220	162 DU's	1,077	16	66	65	36
Specialty Retail Center	814	8.7 TGLA	386	0	0	10	13
Phase 1 Total			1,626	18	76	85	57
Phase 2							
High Turnover Restaurant	932	4.5 Th. Sq. Ft.	572	27	25	30	21
Drinking Place	936	3.0 Th. Sq. Ft.	0	0	0	22	12
Apartments	220	20 DU's	133	2	8	8	4
Specialty Retail Center	814	7.0 TGLA	310	0	0	8	11
Phase 2 Total			1,015	29	33	68	48
Total			2,641	47	109	153	105

Note: A zero indicates no available data

26 Apartments substituted for Active Spaces instead of Light Industrial
 Health/Fitness Club and Office removed, assigned as Specialty Retail space

Proposed Site Plan -- Phase 1 stays the same as in Approved Site Plan

Table 3 - Trip Generation							
Land Use	ITE Land Use Code	Size	24 Hour Two-Way Volume	AM Peak Hour		PM Peak Hour	
				Enter	Exit	Enter	Exit
Phase 1							
Residential Condominium/Townhouse	230	28 DU's	163	2	10	10	5
Apartments	220	162 DU's	1,077	16	66	65	36
Specialty Retail Center	814	8.7 TGLA	386	0	0	10	13
Phase 1 Total			1,626	18	76	85	57
Phase 2							
High Turnover Restaurant	932	4.5 Th. Sq. Ft.	572	27	25	30	21
Drinking Place	936	3.0 Th. Sq. Ft.	0	0	0	22	12
Performing Arts Center Rec. Community Ctr	495	18.9 Th. Sq. Ft.	432	19	12	10	17
Performing Arts Center General Office	710	2.6 Th. Sq. Ft.	29	4	0	1	3
Phase 2 Total			1,033	50	37	63	53
Total			2,659	68	113	148	110
Note: A zero indicates no available data							

36,000 sf Performing Arts Center Considered:

2,600 sf Office

18,900 sf Recreational Community Center (for classes)

14,500 sf Lobby/Concessions/Circulation/Restrooms, etc. -- not used on daily basis

Differences between Proposed Site Plan and Approved Site Plan (all due to Phase 2 changes)

24-Hour Two-Way Volume +18 trips per day	(0.7% increase)
Am Enter +21 trips	(45% increase)
AM Exit +4 trips	(3.7% increase)
PM Enter -5 trips	(-3.3% decrease)
PM Exit +5 trips	(4.8% increase)

Differences between Proposed Site Plan and Traffic Study Land Uses

24-Hour Two-Way Volume +276 trips per day	(11.6% increase)
Am Enter +14 trips	(25.9% increase)
AM Exit +18 trips	(18.9% increase)
PM Enter +10 trips	(7.2% increase)
PM Exit +11 trips	(11.1% increase)



City of Albuquerque

Info for ONC request

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 6.10.2011

TO CONTACT NAME: CHRIS CUNNING
COMPANY/AGENCY: DEKKER/PERICH/VAZZANI
ADDRESS/ZIP: 7001 Jefferson NE Suite 1W
PHONE/FAX #: 761-9700 761-7222

Thank you for your inquiry of 6.10.2011 (date) requesting the names of **ALL Affected**

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at NW CORNER of 18th Street and Bellamah
zone map page(s) H-13, I-13.

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Sawmill Community Homeowner Association
Neighborhood or Homeowner Association

Sawmill Area
Neighborhood or Homeowner Association

Contacts: _____

Contacts: _____

Not attached

See reverse side for additional Neighborhood and/or Homeowner Associations

Information:

YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Arvid Morko
OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

NOTES
 Copy of site of working plan. I would like to see

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

FORGE STIPENDIUM
 NAME (print) Christine Sandrol 3/17/10
 PARKS & RECREATION - date

John White 3/17/10
 DRB CHAIR - date

KSAS 03/17/10
 TRANSPORTATION DEVELOPMENT - date

Allen Peter 03/17/10
 UTILITY DEVELOPMENT - date

Bradley D. Bingham 3/17/10
 CITY ENGINEER - date

BEHI
 FIRM
Bevan Steinhilber
 SIGNATURE - date

AMAFCA - date
 _____ date
 _____ date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

The logo for Keshet, featuring the word "keshet" in a bold, lowercase, sans-serif font. The text is white and is set against a solid black rectangular background.

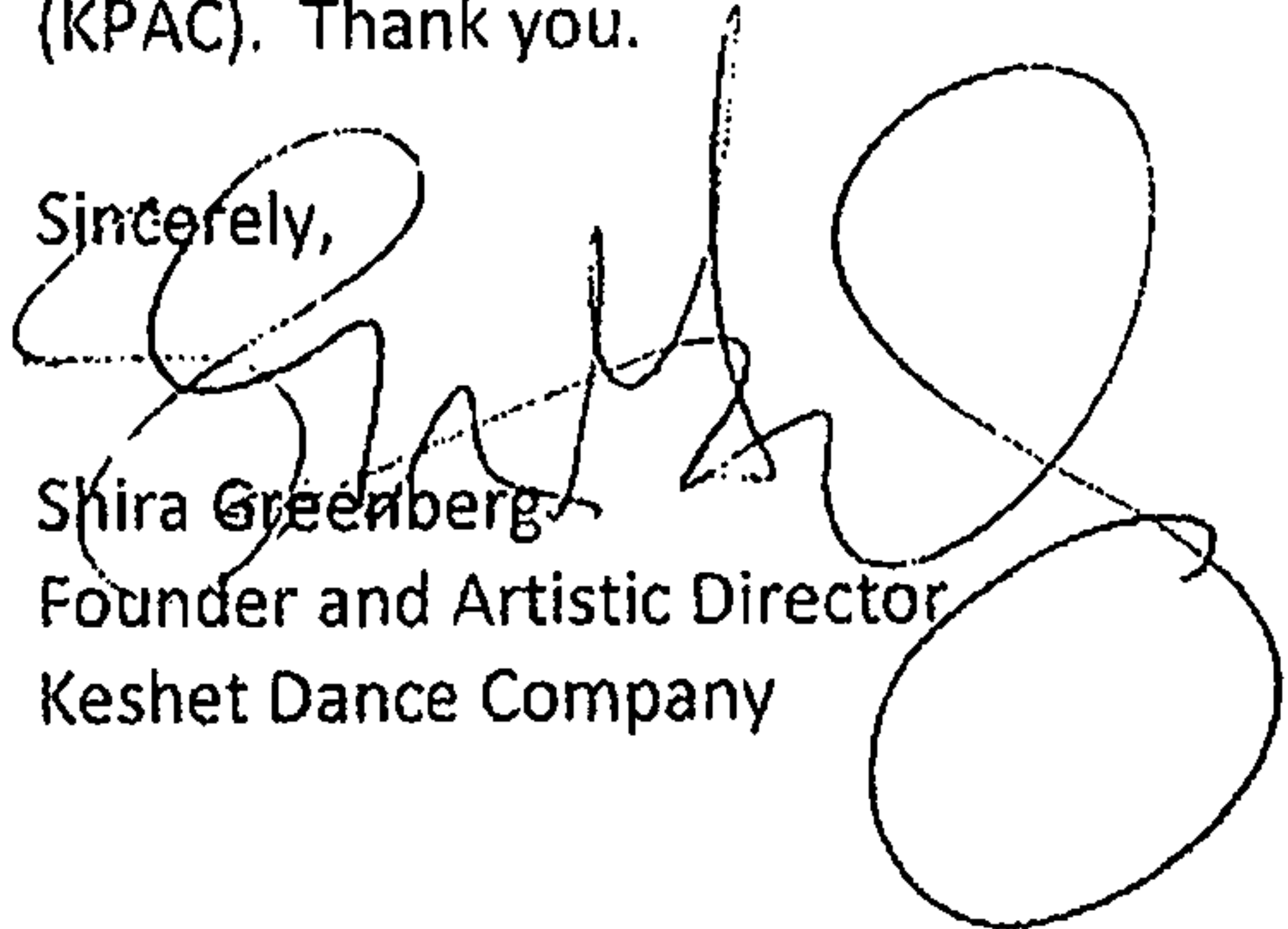
June 30, 2011

Shira Greenberg
Keshet Dance Company
214 Coal Avenue SW
Albuquerque, NM 87102

To Whom It May Concern:

Keshet Dance Company authorizes Dekker/Perich/Sabatini (D/P/S) to act as its agent in matters relating to the submission to the Environmental Planning Commission for the Keshet Performing Arts Center (KPAC). Thank you.

Sincerely,

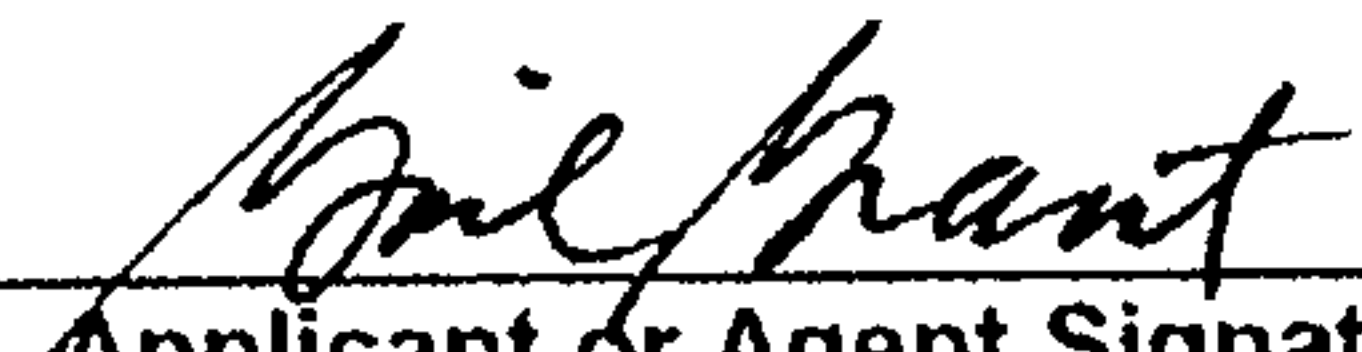
A handwritten signature in black ink, appearing to be "Shira Greenberg". The signature is fluid and cursive, with a large loop at the end. It is positioned to the right of the typed name and title.

Shira Greenberg
Founder and Artistic Director
Keshet Dance Company

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 6.30.11
 Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type) *in design standards*
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable. *in design standards*
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 185 provided: 116 117
Handicapped spaces (included in required total) required: 4 provided: 6 *Based on*
Motorcycle spaces (in addition to required total) required: 3 provided: 24 *provided.*
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: _____ provided: 18
 - NA 2. Bikeways and other bicycle facilities, if applicable
- NA C. Public Transit
 - _____ 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

1. Scale - must be same as scale on sheet #1 - Site plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Identify nature of ground cover materials
- A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
- B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
- C. Ponding areas either for drainage or landscaping/recreational use
7. Identify type, location and size of plantings (common and/or botanical names).
- A. Existing, indicating whether it is to preserved or removed.
- B. Proposed, to be established for general landscaping.
- C. Proposed, to be established for screening/buffering.
8. Describe irrigation system - Phase I & II . . .
9. Backflow prevention detail
10. Planting Beds, indicating square footage of each bed
11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
12. Responsibility for Maintenance (statement)
13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
14. Landscaped area requirement; square footage and percent (specify clearly on plan)
15. Landscaped area provided; square footage and percent (specify clearly on plan)
16. Planting or tree well detail
17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle facade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

617585
 617585
 3/17/10
 3/17/11

PLAT NO. 12
 REVISION 1425-131
 EXHIBIT 'A'
 TO SLEB VISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Savannah Village
PROPOSED NAME OF PLAT AND SITE DEVELOPMENT PLAN

Tract 2-D, Arbolera De Vida, and Lot B-2-A, Duke City Lumber Company Addition
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following and including the 2005 PREPARED INFRASTRUCTURE required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the 60-day process available in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in this listing and place in these drawings. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair. The User Department and applicant, if such approvals are obtained, those revisions to this listing will be incorporated automatically in additional city unforeseen items which arise during construction which are necessary to complete the project and which normally are the Submitter's responsibility will be required as a condition of project acceptance and compliance with the City.

B-1	Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification:	
								Inspector	City Cust Engineer
	617585		3'	Sanitary Sewer including manholes and appurtenances as required (approx. 375')	18th Street/Highway	Belair Rd	372' North of Belair Rd	/	/
	617585		4'	Sanitary Sewer including manholes and appurtenances as required (approx. 663')	Eastwest utility easement along south side of lot	Intersection of Belair Rd & 10th St	East side of the development	/	/
	617585		6"	Water line including valves, services, & fire hydrants as required (approx. 258')	18th St extended	Belair Rd	482' North of Belair Rd	/	/
	617585		8"	Water line including valves, services, & fire hydrants as required (approx. 592')	Eastwest utility easement along south side of lot	Approx. 14th St/SE of intersection of Belair Rd and 18th St	Existing water line at intersection of Belair Rd	/	/
	617585			Modifications to the existing Drainage Pond located NW of Lot 1 (on Tract 2-A, Arbolera De Vida) in accordance with the approved drainage plan (city hydrology file H13-D25A). Drainage Covenant & Agreement Required.				/	/
	617585		12" to 36"	Storm Drain System on Lot 1 in accordance with the approved drainage plan (city hydrology file H13-D25A). Drainage Covenant and Agreement Required.				/	/
	617585			Abandonment of waterline within Easement from Southwest corner to east side of site				/	/
	617585			15" valley gutter on the (10) proposed townhomes on south side of lots				/	/

NOTES
 Conf. Sept. of grading plan would be release
 2/19 and F.G.

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

POWELL STIPWORTHY
 NAME (print)
BHI
 FIRM
POWELL STIPWORTHY
 SIGNATURE - date

[Signature] 3/17/10
 DRB CHAIR - date
[Signature] 03/17/10
 TRANSPORTATION DEVELOPMENT - date
Allen Futer 03/17/10
 UTILITY DEVELOPMENT - date
Bradley D. Bingham 3/17/10
 CITY ENGINEER - date

Christina Sandora 3/17/10
 PARKS & RECREATION - date

 AMAFCA - date

 _____ - date

 _____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT OWNER

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 185 provided: 117
Handicapped spaces (included in required total) required: 4 provided: 6
Motorcycle spaces (in addition to required total) required: 3 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: provided: 18
 - NA 2. Bikeways and other bicycle facilities, if applicable
- NA C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

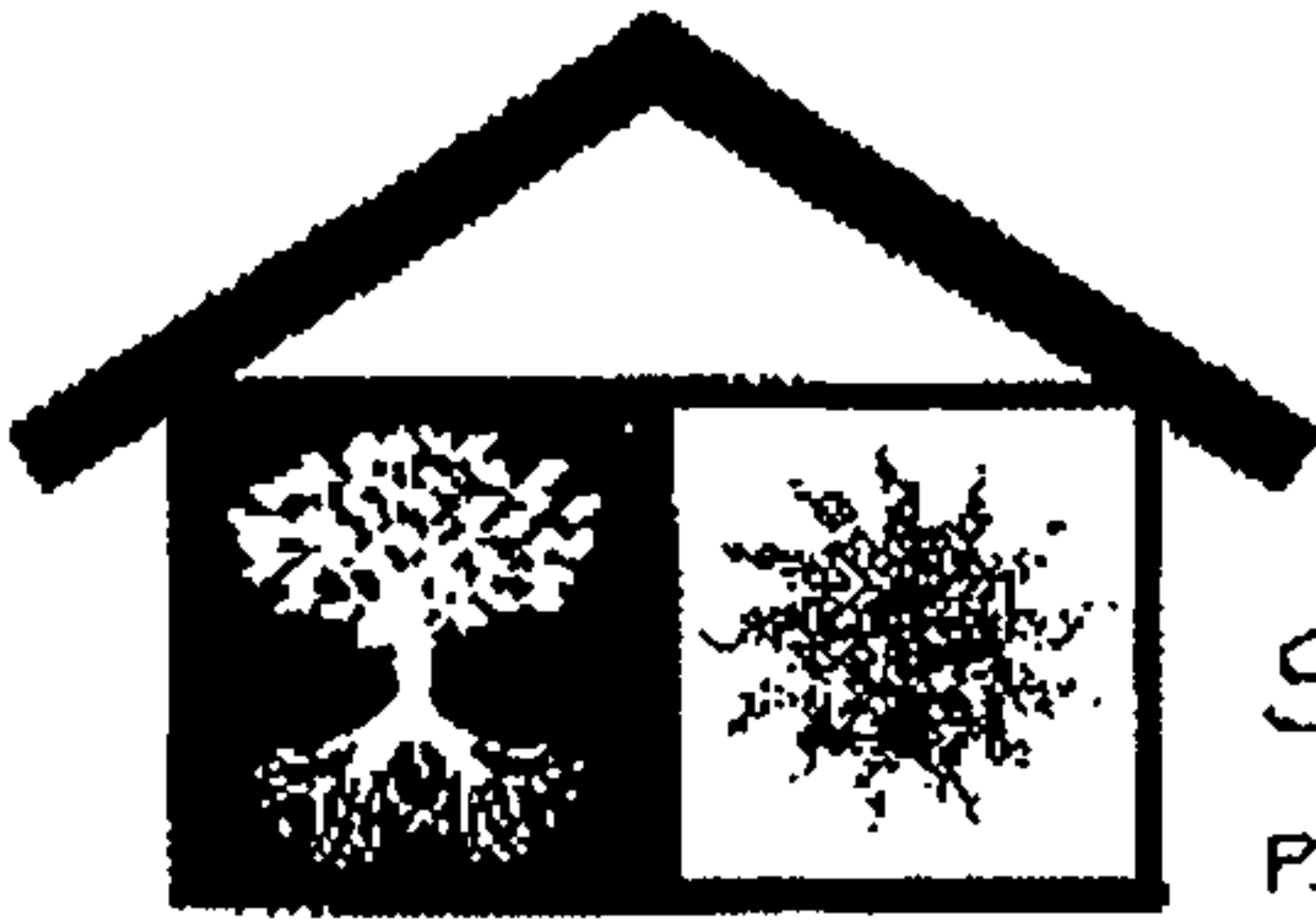
SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations *11x17 exhibit*
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.



Sawmill Community Land Trust

P.O. Box 2518 • Albuquerque, NM 87125-5518 • Phone (505) 764-0359 • Fax (505) 243-6736 • www.SawmillCLT.org

June 30, 2011

Connie Chavez
Sawmill Community Land Trust
Villa Nueva Community Bldg
990 18th St NW, Second floor
Albuquerque, NM 87104

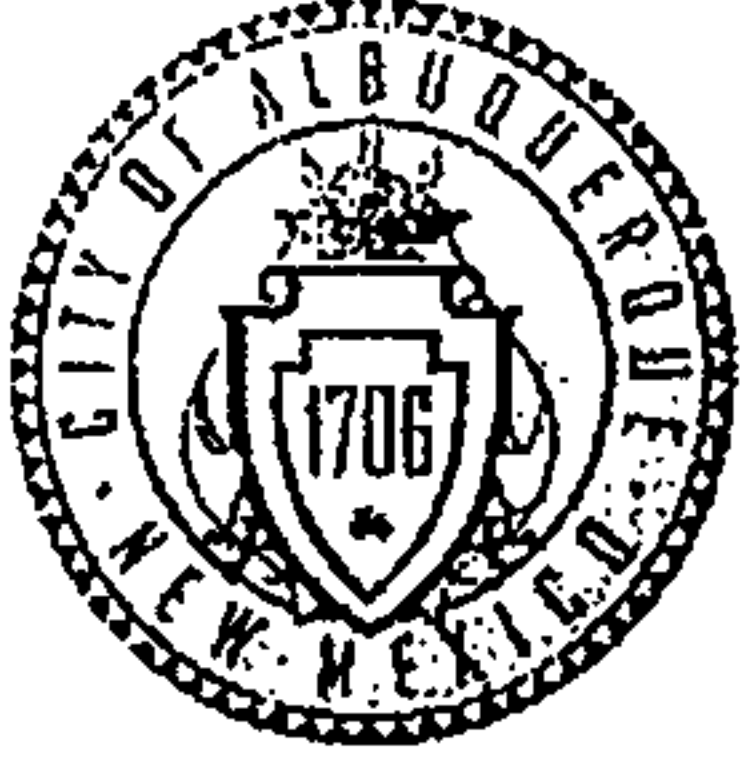
To Whom It May Concern:

Sawmill Community Land Trust authorizes Dekker/Perich/Sabatini (D/P/S) to act as its agent in matters relating to the submission to the Environmental Planning Commission for the Keshet Performing Arts Center (KPAC). Thank you.

Sincerely,


Connie Chavez
Executive Director

"We're building more than houses, we're building neighborhoods."



City of Albuquerque

MEMORANDUM

From the Desk of
Gabriel Rivera, Senior Planner
Metropolitan Redevelopment Agency
600 Second Street, 3rd Floor, NW
PO Box 1293
Albuquerque, NM 87102

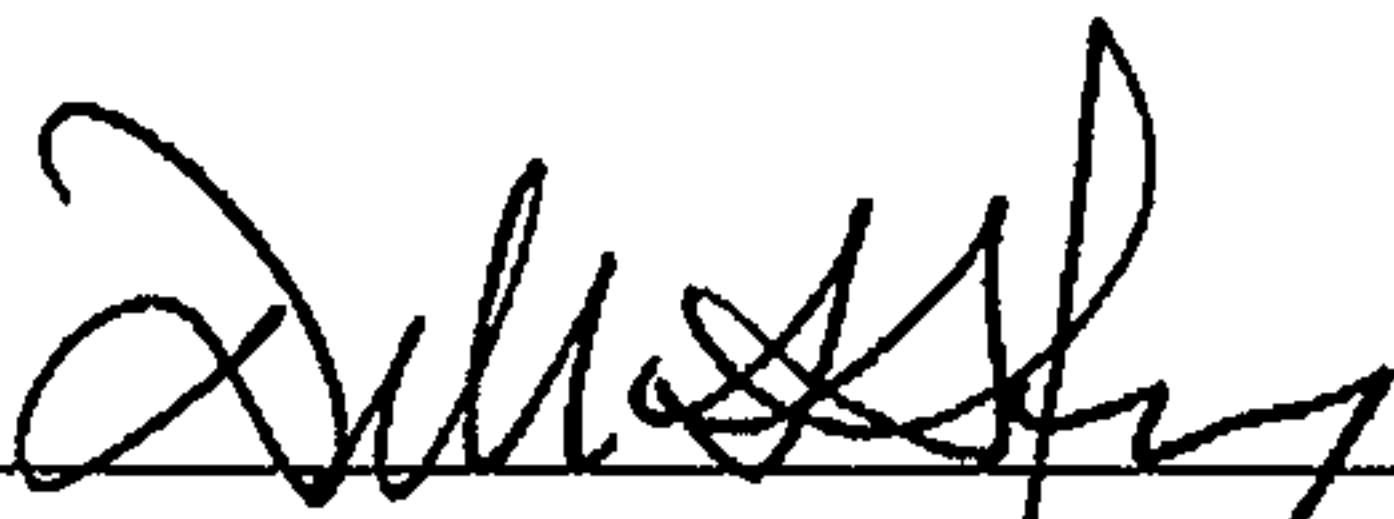
DATE: July 29, 2011

TO: Debbie Stover, Planning Director *GVK*

SUBJECT: Authorization to Amend Site Plan.

The City of Albuquerque acknowledges that Dekker/Perich/Sabatini is to be the agent for the Sawmill Community Land Trust in matters related to the site designated for the Keshet Dance Company. (TR 2-D-1 Plat of Arbolera de Vida Unit 2B / Being a replat OFTRS 2-A, 2-D, & 2-E Arbolera de Vida Unit 2)

We give Authorization to pursue an Amendment to the Site Plan by going through the Environmental Planning Commission process. (Project #: 100534/11EPC-40045)



Debbie Stover, Planning Director
City of Albuquerque

Cc: Connie Chavez, Sawmill Community Land Trust, Director
Christopher Gunning, Dekker/Perich/Sabatini, Principal
Catalina Lerner, City of Albuquerque, Currant Planning

City of Albuquerque

AMENDED



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision (Amended)
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Dekker/Perich/Sabatini PHONE: 505.761.9700

ADDRESS: 7601 Jefferson NE, Suite 100 FAX: 505.761.4222

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: chrisg@dpsdesign.org

APPLICANT: Keshet Dance Company PHONE: 505.224.9808

ADDRESS: 214 Coal Ave. SW FAX: 505.842.0309

CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: shira@keshetdance.org

Proprietary interest in site: Long term lease will be entered into by Keshet with SCLT List all owners: Sawmill Community Land Trust & City of ABQ

DESCRIPTION OF REQUEST: Amendment to Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Arbolera de Vida Unit 2B, Tract 2-D1, Lots 1 & 2 Sawmill Village Block: _____ Unit: _____

Subdiv/Addn/TBKA: Arbolera de Vida & Sawmill Village

Existing Zoning: SU-2/SU-1 for PRD with Microbrewery & SU-2/SU-1 for PRD Proposed zoning: No Change MRGCD Map No _____

Zone Atlas page(s): H&J 13-Z UPC Code: 10130s834151512010 & 101305930600340211

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

1003311: DRB-97-280, 1005354: ZA-80-101, 07EPC-00109

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: 3 No. of proposed lots: 3 Total area of site (acres): 9.976

LOCATION OF PROPERTY BY STREETS: On or Near: Northwest corner of Bellamah and 18th Street

Between: 19th Street and Sawmill Village

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team X. Date of review: 05/24/11

SIGNATURE Gail Granot DATE 9-6-11

(Print) Gail Granot for Christopher R. Gunning Applicant: Agent: X

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate.

Application case numbers

11DRB-70252

Action

SPS

S.F.

Fees

\$ 0

\$ 20.00

\$ _____

\$ _____

\$ _____

\$ _____

Total

\$ 20.00

Hearing date September 14, 2011

Gail Granot
Planner signature / date 9-6-11

Project # 1005354

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

GAIL GRANDT
Applicant name (print)
Gail Grandt 9-6-11
Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
11DRB - 76252

[Signature] 9-6-11
Planner signature / date
Project # 100 5354

September 6, 2011

Mr. Jack Cloud
Chairman
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

**Re: Reason for Request
Sawmill Village
Request for Amended Site Development Plan for Subdivision
Tract 2-D of the Arbolera de Vida Subdivision, Albuquerque, NM (Phase 2)
Project # 1005354; 07EPC-00109**

Dear Mr. Cloud:

This letter addresses the conditions that the Environmental Planning Commission (EPC) required the applicant to address on the EPC submittal for the Keshet Performing Arts Center at Sawmill Village (Project #1005354, 07EPC-00107– Notice of Decision dated August 11, 2011). Following is a brief, bulleted summary of the submittal to date:

- On June 30th, the applicant submitted the first set of plans requesting approval for Site Development Plan for Building Permit.
- On July 29th, the applicant submitted a revised set of plans to the City. The revision showed updates and initial comments from the City Planner incorporated.
- On August 11th, in the Notice of Decision, the EPC delegated final approved Site Development Plan for Subdivision Amendment requests to the Design Review Board (DRB).

In response to the City Council and EPC conditions, the applicant is submitting a revised set of plans and some minor changes in the plans. Listed below are the conditions and the applicant's responses.

1. **CONDITION:** The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

RESPONSE: This letter shall accompany the modifications to the Site Development Plan for DRB final sign-off specifying how each EPC condition was met.

2. **CONDITION:** Prior to final DRB sign off, the applicant shall meet with the Staff planner to ensure that conditions of the approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.

RESPONSE: The applicant met with Catalina Lehner, staff senior planner, on Thursday, September 1, 2011 to ensure the conditions of approval have been met.

3. **CONDITION:** The request shall comply with the General SU-2 Regulations in the Sawmill/Wells Park Sector Development Plan and the Sawmill Village design standards (Project #1005354, 07EPC-00107).

RESPONSE: The request complies.

4. **CONDITION:** Building Data: Update the Building Data table to keep O-1 and C-1 uses less than 25% of the total development, as required in the SU-1 for PRD zone, and update the associated calculations.

RESPONSE: The Building Data table was clarified with a memo indicating the breakdown of spaces, square footages, and percentages. It is attached to this document.

5. **CONDITION:**
Vehicle Parking:

- a. The parking table shall incorporate the changes to building square footage and shall match the number of parking spaces shown on the site development plan.

RESPONSE: The parking table reflects the accurate number of parking spaces based on the building square footage.

- b. The Zoning Code ratio (“required ratio”) for the brewery/restaurant shall be 1 space for every 4 seats.

RESPONSE: The required ration has been updated to reflect 1 space for every 4 seats.

6. **CONDITION:**
Bicycle & Motorcycle Parking:

- a. The bicycle rack shall be relocated from the southern side of the site (landscape area) to a more central location on the plaza.

RESPONSE: The bicycle rack has been relocated to the plaza area between Keshet Performing Arts Center (KPAC) and the restaurant/micro-brewery.

- b. A bicycle rack detail shall be provided.

RESPONSE: A bicycle rack detail has been provided on a detail sheet, SDP4.

- c. The motorcycle spaces on the western side shall be relocated to an area visible from the arts center’s main entrance and shall be designated by signage [14-16-3-1C (2)].

RESPONSE: The motorcycle spaces on the western side of the parking lot were relocated to the parking island visible from the entry and marked with signage as designated by 14-16-3-1C(2).

- d. Motorcycle spaces shall be counted in addition to vehicle spaces (not as part of the vehicle space total).

RESPONSE: Motorcycle spaces have been counted in addition to vehicle spaces and not part of the vehicle space total, for a total of 117 spaces.

- e. One more motorcycle space shall be provided.

RESPONSE: Two additional motorcycle spaces have been added.

7. **CONDITION:**

Pedestrian & Plaza Issues:

- a. Clearly demarked pedestrian crossings of raised, scored paving shall be provided across the drive aisles to connect the sidewalk (design standard).

RESPONSE: Pedestrian crossings have been identified with a cross hatch pattern and noted (#14) on the site plan at the parking lot drive aisle and 18th Street pedestrian crossing.

- b. “Decorative Paving” shall be defined as scored and/or textured paving and its color specified.

RESPONSE: Decorative paving is identified as scored concrete, color: gray.

8. **CONDITION:**

Walls/Fences:

- a. The color, finish and/or type of block for the screen wall shall be specified.

RESPONSE: The color is tan. The finish is burnished concrete masonry units and is indicated on the Site Detail Sheet SDP4.

- b. The location of the fence near the NW corner, and its color, finish and/or type, shall be specified and a detail provided.

RESPONSE: The site wall is indicated by note 36 and a detail shown on SDP4.

- c. The color of the steel tube fence along the western side shall be indicated.

RESPONSE: The fence is an open steel tube fence, 6’ high, color: silver/gray. Note 42 on SDP1.

- d. The height, type, color and finish of the guard rail by the pond shall be indicated.

RESPONSE: The metal guard rail, 42” high, color: silver/gray, matte finish is indicated, note 42a on SDP1.

9. **CONDITION:**

Landscaping Plan:

- a. The landscape calculations shall be adjusted to correspond to the revised building square footages for Phase II.

RESPONSE: The landscape calculations reflect the proper building square footages.

- b. The 36sf tree planting area shall be a minimum.

RESPONSE: The note was clarified to indicate a minimum 36sf tree planting area.

- c. The seat walls around the planters shall be shown.

RESPONSE: The seat walls are shown and indicated by note 8 on SDP2 and SDP2A.

- d. The trees along Bellamah Avenue, approved in the 2007 site development plan, shall be reinstated.

RESPONSE: The street trees have been reinstated.

10. **CONDITION:**

Refuse Enclosures:

- a. The applicant shall check with SWMD regarding the refuse enclosure's location.

RESPONSE: SWMD has reviewed the location and stamped with signature on September 1, 2011.

- b. Refuse enclosures shall comply with the requirements of the Solid Waste Management Division.

RESPONSE: Will comply.

- c. The color and finish of the refuse enclosure shall be indicated.

RESPONSE: The color and finish are indicated on SDP4, color: tan, finish: burnished CMU block.

11. **CONDITION:** Lighting: Provide detail for each light pole type.

RESPONSE: The light pole types are indicated on SDP4.

12. **CONDITION:** Reflective glass shall not be permitted (General SU-2 regulation 4.f.).

RESPONSE: A note has been added to sheet SDP3.

13. **CONDITION:**

Signage:

- a. The letter color and lighting of the monument sign shall be specified.

RESPONSE: All has been indicated and noted on SDP4.

- b. The letter color and square footage of the building mounted signs shall be specified.

RESPONSE: All has been indicated on the building elevations, sheets SDP7 and SDP7A.

- c. Signs shall not be illuminated plastic panel signs (design standard).

RESPONSE: The note internally illuminated signs has been struck from sheets SDP7 and SDP7A.

14. **CONDITION:**

Minor clean-up & Additions:

- a. Use lighter shading on the building table and parking table.

RESPONSE: This has been updated.

- b. Revise the label "Active Space" used for building A2's breakdown of square footages by use.

RESPONSE: The label has been revised.

- c. Label the loading dock and the turnaround area near it.

RESPONSE: The note was clarified and indicated with note 15 and 34 on SDP1.

- d. Provide a separate detail sheet.

RESPONSE: Detail sheet SDP4 has been added.

- e. Use bubbling to indicate changes to the tables on the Grading & Drainage plan.

RESPONSE: Bubbling has been indicated.

- f. Correct the reference to 14-16-3-19 in the design standards.

RESPONSE: Reference has been corrected.

15. Conditions from the City Engineer:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the site development plan, as may be required by the Development Review Board (DRB).

RESPONSE: Will comply.

- b. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.

RESPONSE: Will comply.

- c. Site plan shall comply and be designed per DPM Standards. Any instances of non-compliance are remedied through conditions of approval.

RESPONSE: Will comply.

16. Conditions from PNM:

- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of these easements.

RESPONSE: Will comply.

- b. An existing electric transmission line is located on the eastern boundary of the Phase 1B and 1C and an existing electric distribution line is located east of the Phase 2 boundary. As a condition it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate the relocation of the existing electric structure regarding this project. In addition coordinate with New Service Delivery Department is necessary regarding any proposed tree location and with the, sign, location and height, and lighting height in order to ensure sufficient safety clearances.

RESPONSE: Will comply.

- c. Screening should be designed to allow for access to utility facilities. As a condition, all screening a vegetation surrounding ground-mounted transformer and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to eh PNM Electric Service Guide for specification.


RESPONSE: Will comply.

Conclusion:

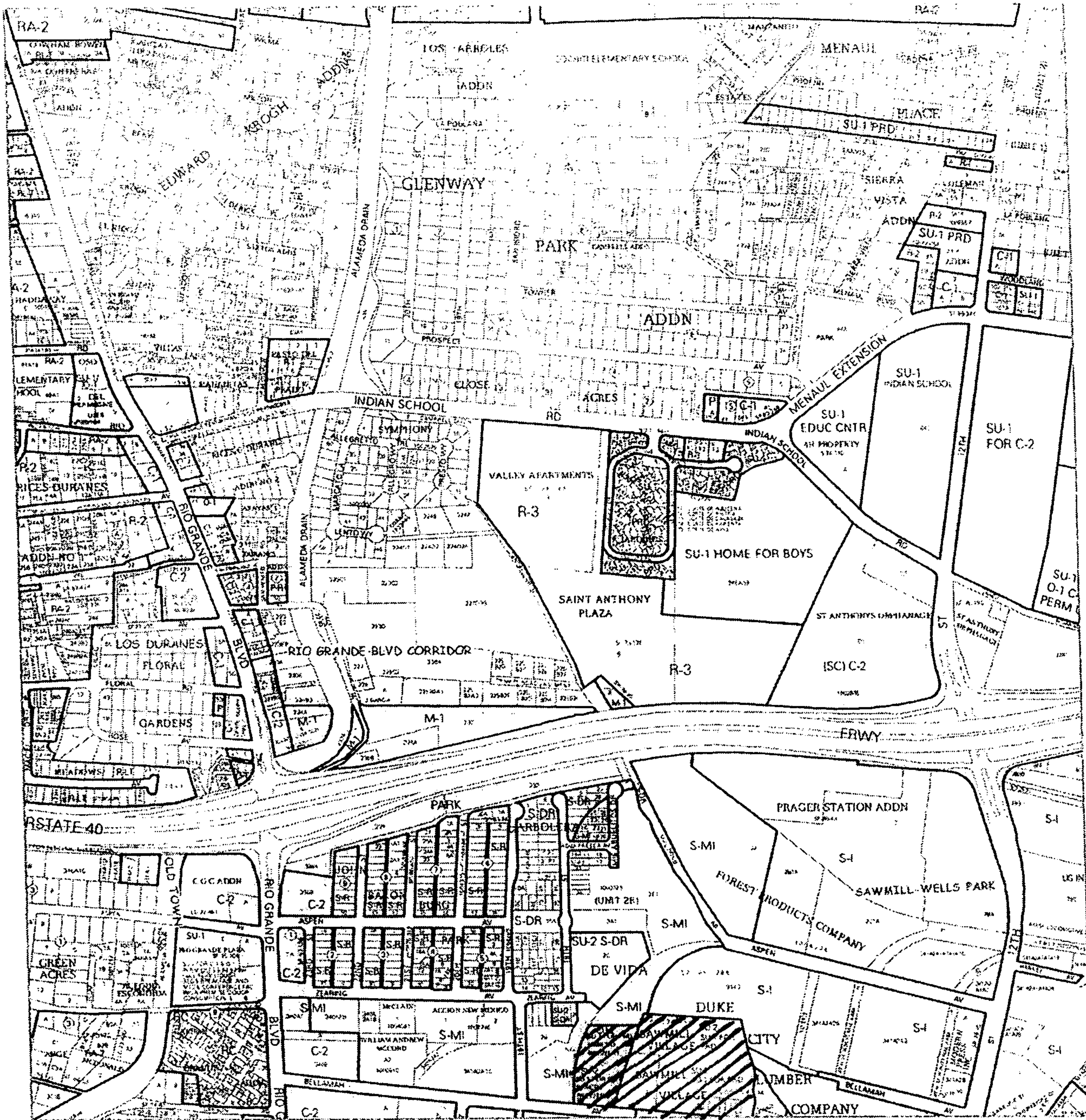
We respectfully request approval of the above request. If you have any questions or need clarification of anything contained herein, please contact Gail Granot or myself.

Sincerely,

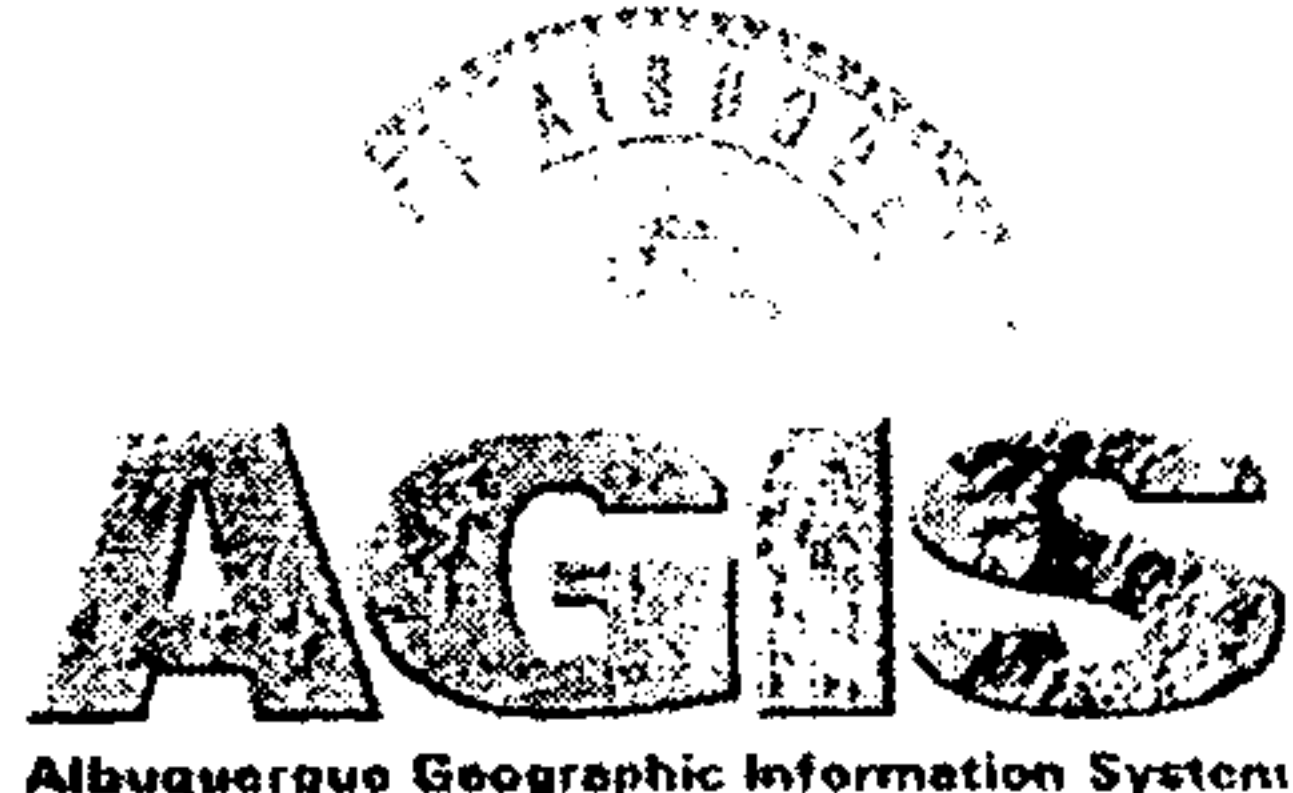
Dekker/Perich/Sabatini
Agent for Keshet Dance Company



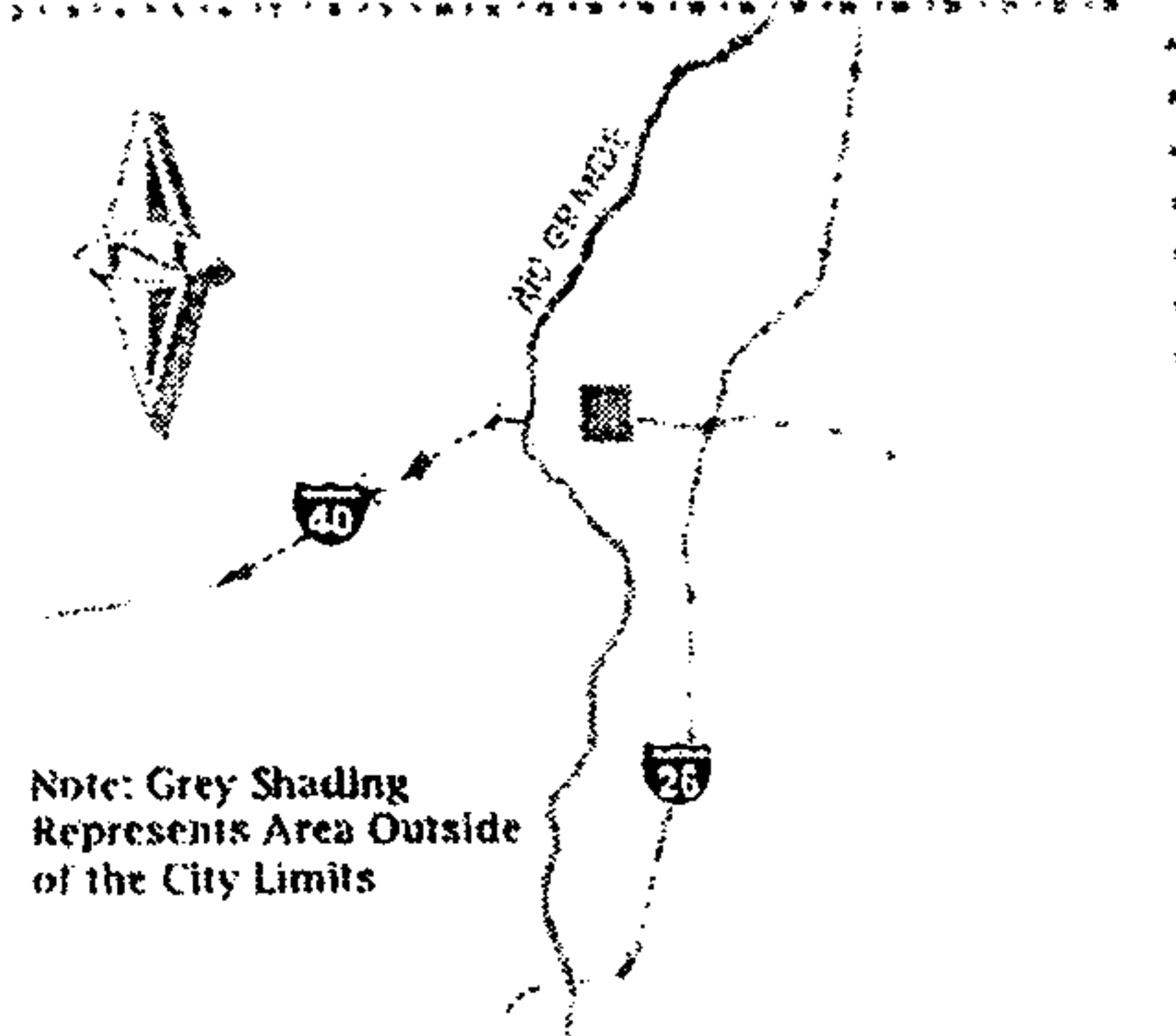
Christopher R. Gunning, AIA, LEED AP BD+C
Principal



For more current information and more details visit: <http://www.cabq.gov/gis>



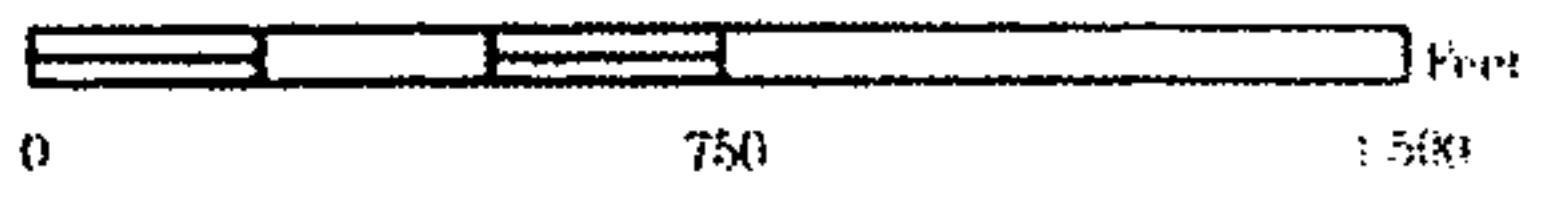
Map amended through: 1/24/2011



Note: Grey Shading Represents Area Outside of the City Limits

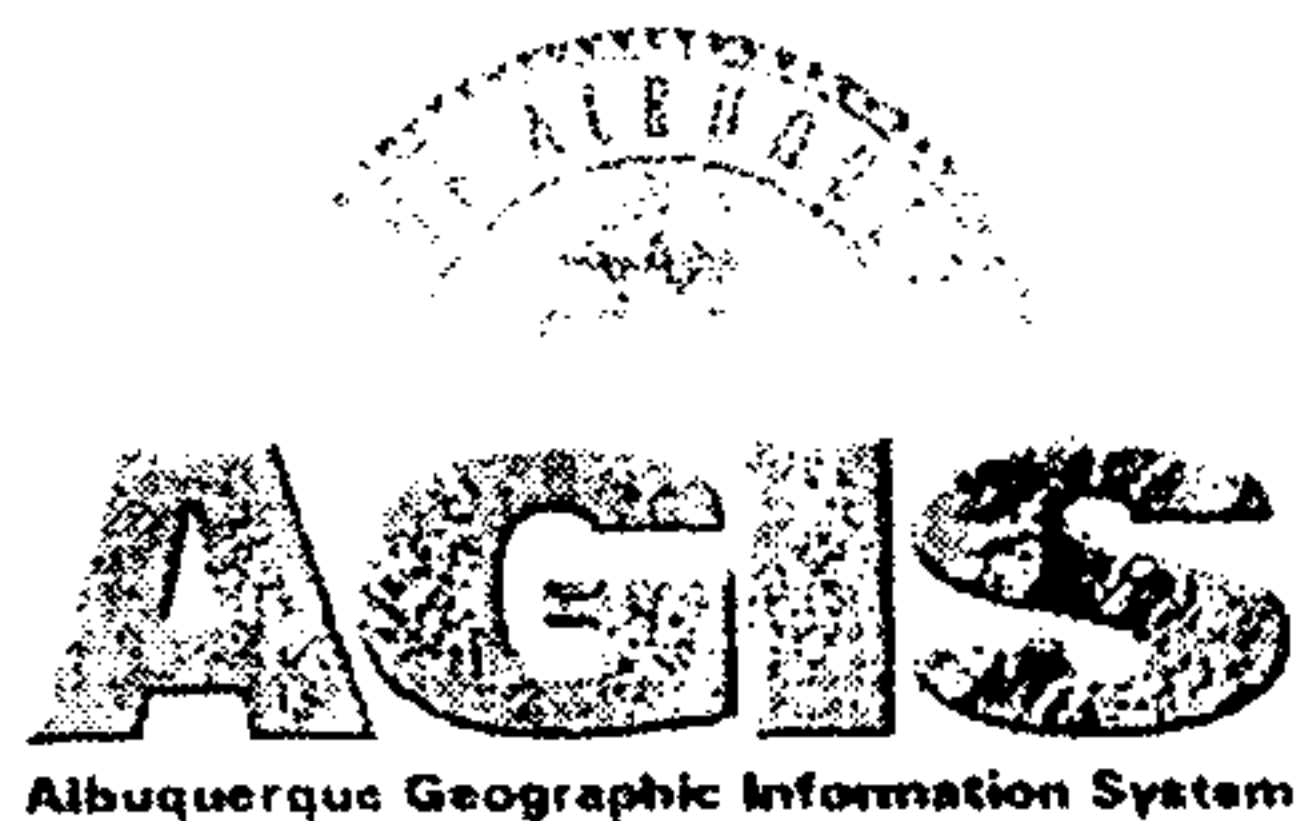
Zone Atlas Page:
H-13-Z

- Selected Symbols
- SECTOR PLANS
 - Design Overlay Zones
 - City Historic Zones
 - H-1 Buffer Zone
 - Petroglyph Mon.
 - Escarpment
 - 2 Mile Airport Zone
 - Airport Noise Contours
 - Wall Overlay Zone

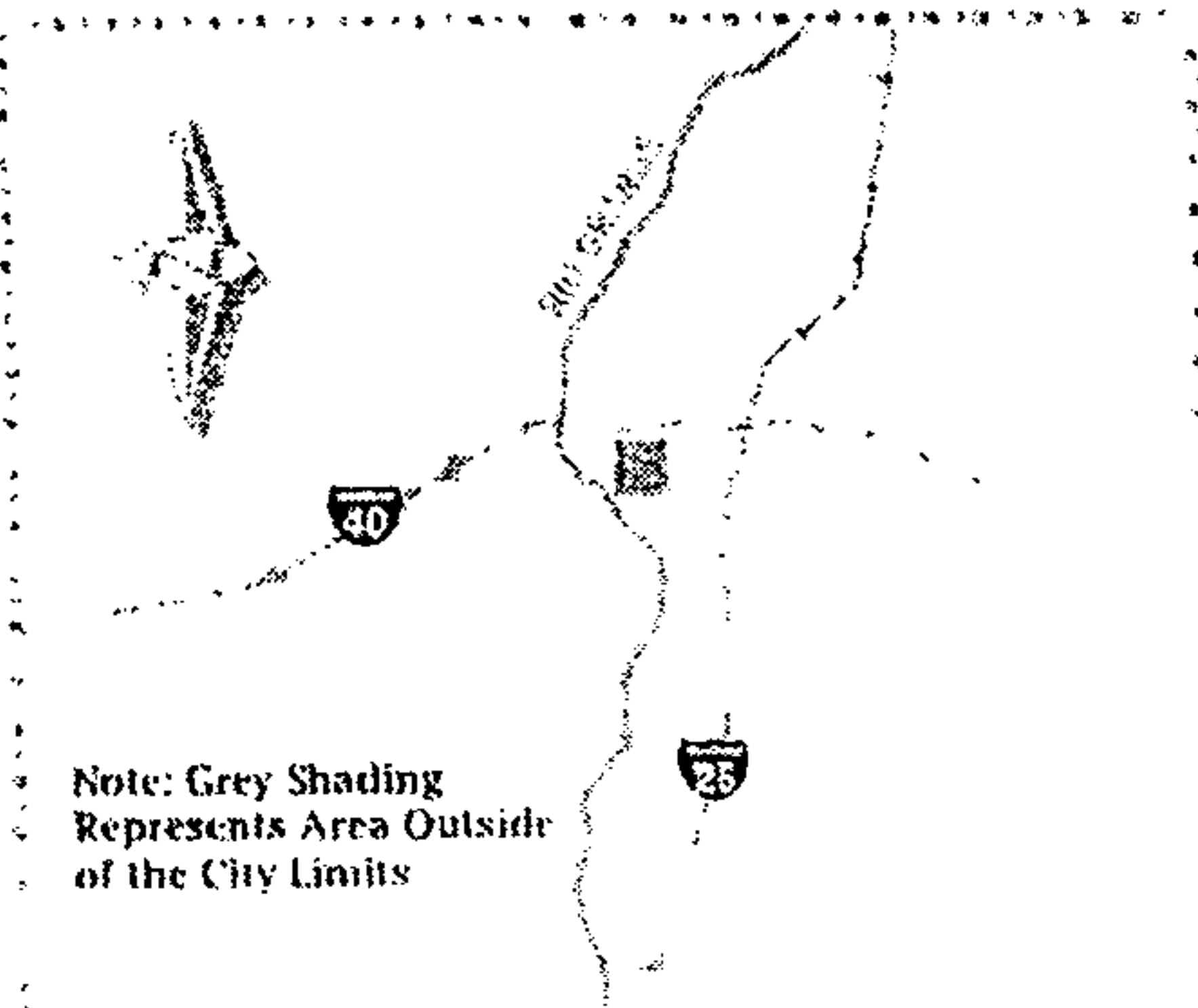




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/24/2011



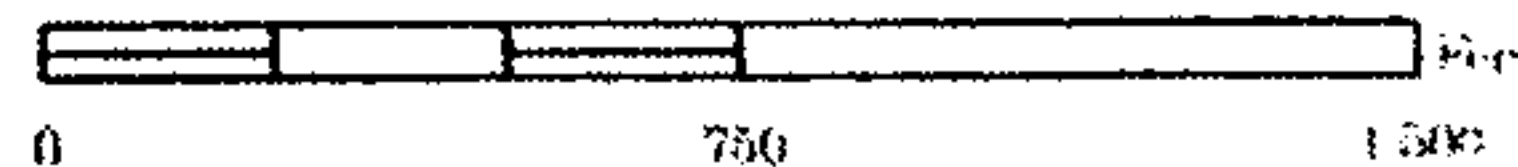
Note: Grey Shading Represents Area Outside of the City Limits

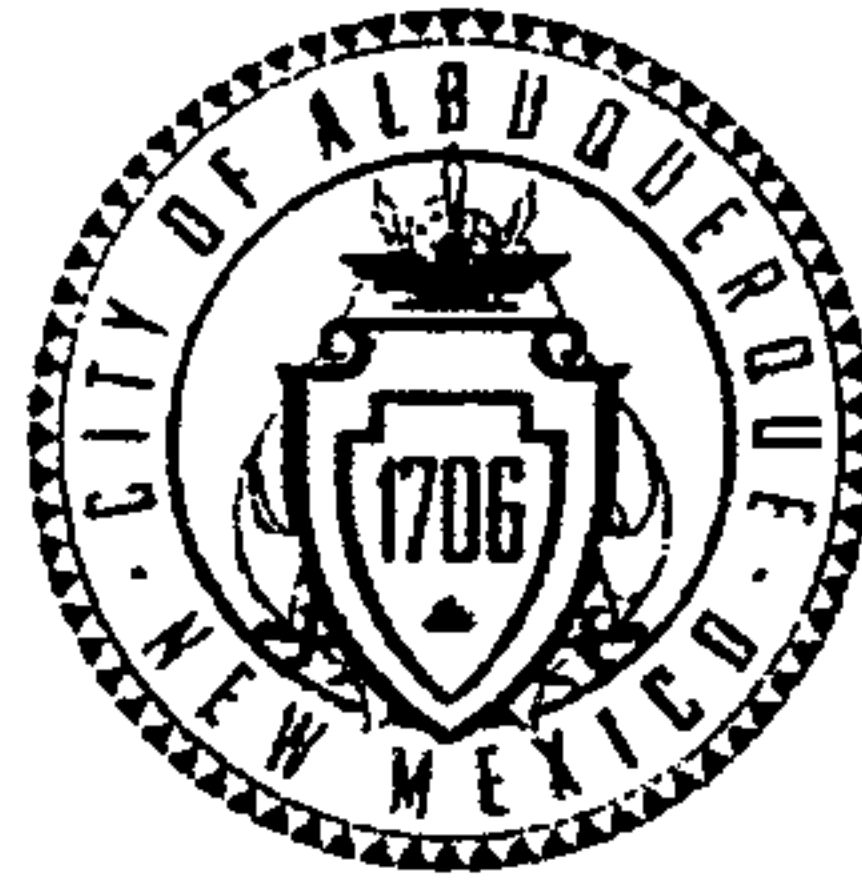
Zone Atlas Page:

J-13-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





Chris G ✓
RECEIVED

Gail ✓

AUG 17 2011

Dekker/Perich/Sabatini

City of Albuquerque
Planning Department
Urban Design & Development Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 12, 2011

OFFICIAL NOTIFICATION OF DECISION

FILE: Project #1005354
11EPC-40045 Amend Site Development Plan for
Subdivision

Keshet Dance Company
214 Coal Ave SW
Albuquerque, NM 87102

LEGAL DESCRIPTION:

Dekker/Perich/Sabatini, agent for Keshet Dance Company, requests the above action for all or a portion of Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B, zoned SU-2/SU-1 for PRD and SU-2/SU-1 for PRD and Microbrewery, located at the NW corner of Bellamah Ave. and 18th St., south of Interstate 40, between 19th St. and 12th St., containing approximately 10 acres. (H & J-13)
Catalina Lehner, Staff Planner

On August 11, 2011, the Environmental Planning Commission (EPC) voted to APPROVE Project 1005354 / 11EPC-40045, a request for a Site Development Plan for Subdivision Amendment based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for an amendment to a site development plan for subdivision with design standards for Lot B-2-A, Duke City Lumber Company, and Tract 2-D-1, Arbolera de Vida Unit 2B, an approximately 10-acre site known as "Sawmill Village" located at the northwest corner of 18th Street and Bellamah Avenue (the "subject site").
2. The applicant proposes to amend the existing site development plan for subdivision (Project #1005354, 07EPC-00107) to include a performing arts center, and auxiliary uses such as a café and offices, as part of Phase II of the project. The arts center would replace Buildings A2 and C; Building A1 would be smaller and reconfigured. A western portion of Phase I would be modified in response. Changes to building square footages, parking, landscaping and grading & drainage are also included in the amendment.

OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

August 11, 2011

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3. The subject site is zoned: SU-2/SU-1 PRD (Planned Residential Development) for Lot B-2-A, Duke City Lumber Company (Phase I) and SU-2/SU-1 for PRD and Microbrewery for Tract 2-D-1, Arbolera de Vida Unit 2B (Phase II). Planned Residential Development (PRD) is a permissive use in the SU-1 zone (§14-16-2-22).
4. The SU-1 for PRD zone [ref: §14-16-2-22(B)(25)] allows O-1 permissive uses and C-1 permissive uses up to 25% of the total gross floor area of a development. In the approved site development plan (07EPC-100107), O-1 permissive uses and C-1 permissive uses total approximately 16%. With the proposed arts center, the total would be 24.9% . This calculation counts live/work spaces as all C-1 uses. However, it is more likely that the live/work spaces would develop as combined office/commercial and residential uses, so the figure would be lower in reality.
5. The Comprehensive Plan, the Sawmill/Wells Park Sector Development Plan (SWPSDP), the Sawmill/Wells Park Metropolitan Redevelopment Plan (SWPMRP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site lies within the boundaries of the Central Urban Area of the Comprehensive Plan and the Sawmill/Wells Park Sector Development Plan (SWPSDP). The request must comply with the General SU-2 Regulations of the SWPSDP and the design standards in the Sawmill Village site development plan for subdivision (07EPC-00107).
7. The request generally furthers the Central Urban Goal and the following land use policies for the Central Urban Area:
 - A. Policy II.B.6a-location of new cultural and arts facilities. The request would result in a new arts facility located in the Central Urban area.
 - B. Policy II.B.6b- Central Urban upgrade/linkages. The request would constitute an effort to continue and expand the general upgrading of this part of the Central Urban area. The location of an arts facility in this area could result in linkages created between it and surrounding neighborhoods.
8. The request generally furthers the Economic Development Goal of the Comprehensive Plan. The request would result in some economic development. Adding an arts center to a mixed-use project can be considered diversified economic development that is balanced with social and cultural goals.
9. The request furthers the Goal for Cultural Traditions and the Arts and Policy II.C.7c because it would generally support the arts as a viable component of the community's well being by providing instruction opportunities and performance space (Goal). Also, the request would support coordination and promotion of the arts in the metropolitan area (Policy II.C.7c).
10. The request furthers the following Comprehensive Plan land use policies:
 - A. Policy II.B.5d-neighborhood values/environmental conditions/resources. The request would result in new development in a mixed-use, Central Urban area. Intensity would be generally appropriate and design would be compatible with existing and future buildings. An arts center would provide a social, cultural and recreational resource. Neighborhood organizations have indicated general support.

OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

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- B. Policy II.B.5e-programmed facilities/neighborhood integrity. The vacant subject site, in the Central Urban part of the City, is contiguous to existing urban facilities and services. The use of these is unlikely to adversely affect neighborhood integrity.
- C. Policy II.B.5l-quality design/new development. The proposed arts facility would be consistent with future buildings onsite and existing buildings and the area, which are characterized by a metal/stucco combination and use of multiple colors, in terms of quality and design. The proposed design would be generally appropriate to the plan area. The request furthers Policy II.B.5l-quality design/new development.

11. The request partially furthers the following, Comprehensive Plan land use policies:

- A. Policy II.B.5i- employment/service use location. Instruction in dance and fine arts is a service use (ref: 14-16-2-16(A)(10)(i)-C-1 zone). The proposed arts facility, at the NE corner of Phase II, is not sited directly east of the existing live/work units which somewhat minimizes its effect. However, current and future residents nearby may experience some noise and traffic impacts- especially on performance days.
- B. Policy II.D.4g- pedestrian opportunities integration. The proposed parking lot is not well-connected to the arts centers and does not meet Zoning Code 14-16-3-5(H)(5 and 6) regarding pedestrian connections. Pedestrian opportunities have not been integrated to the extent that they should be.

12. The request furthers the following Comprehensive Plan land use policies that pertain to redevelopment:

- A. Policy II.B.5o- redevelopment/rehab of older neighborhoods. The request is part of a larger project that would contribute to redevelopment of an older neighborhood in the Central Urban area. The Central Urban area is part of the Established Urban area. Redevelopment efforts in this neighborhood have been ongoing for awhile; such projects will strengthen redevelopment efforts.
- B. Policy II.B.5p- cost effective rehabilitation techniques. The request would result in privately funded redevelopment, which can be considered a cost-effective redevelopment technique since it does not use public funds (Technique #1).

13. The request partially fulfills the intent of the following Action Plans in the Sawmill/Wells Park Sector Development Plan (SWPSDP):

- A. Economic Development Action Plan (EDAP), based on the Sawmill Revitalization Strategy (SRS)- Though some jobs for area residents may result, they are likely to be service jobs and not the industrial or commercial type jobs the SRS envisions.
- B. Public Project Action Plan (PPAP)- The request would create a focal point in approximately the center of the Plan area, thereby linking this relatively isolated part of the Plan area to other parts of it. However, traffic operations could be affected.

14. The Sawmill Mixed-Use Development Traffic Impact Study (TIS) was completed in February 2007 in association with the 2007 proposal (Project #1005354, 07EPC-10107/10109). The required, updated Trip Generation Comparison (June 2011) notes an 18 trip per day increase in 24 hr. two-way volume.

OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

August 11, 2011

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The land use comparison reveals an increase of 276 trips per day (11.6%) between the proposed and approved land uses. Transportation Development Staff did not have any adverse comments.

15. The existing Sawmill Village design standards apply. Though the request complies with most standards, there are a few instances of non-compliance (ex. Trails & Sidewalks, Public Open Space). In other instances, detail is insufficient (ex. Signage, Site Lighting) to evaluate compliance. These are addressed and remedied through minor conditions of approval.
16. The affected neighborhood organizations are the Sawmill Area Neighborhood Association (SANA) and the Sawmill Community Land Trust (SCLT). A facilitated meeting was not held. The Arbolera de Vida Association, the Wells Park NA and the Sawmill Area NA submitted letters of support. There is no known neighborhood or other opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
3. The request shall comply with the General SU-2 Regulations in the Sawmill/Wells Park Sector Development Plan and the Sawmill Village design standards (Project #1005354, 07EPC-00107).
4. Building Data: Update the Building Data table to keep O-1 and C-1 uses less than 25% of the total development, as required in the SU-1 for PRD zone, and update the associated calculations.
5. Vehicle Parking:
 - A. The parking table shall incorporate the changes to building square footage and shall match the number of parking spaces shown on the site development plan.
 - B. The Zoning Code ratio ("required ratio") for the brewery/restaurant shall be 1 space for every 4 seats.
6. Bicycle & Motorcycle Parking:
 - A. The bicycle rack shall be relocated from the southern side of the site (landscape area) to a more central location on the plaza.
 - B. A bicycle rack detail shall be provided.
 - C. The motorcycle spaces on the western side shall be relocated to an area visible from the arts center's main entrance and shall be designated by signage [14-16-3-1(C)(2)].
 - D. Motorcycle spaces shall be counted in addition to vehicle spaces (not as part of the vehicle space total).
 - E. One more motorcycle space shall be provided.

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7. Pedestrian & Plaza Issues:

- A. Clearly demarcated pedestrian crossings of raised, scored paving shall be provided across the drive aisles to connect the sidewalk (design standard).
- B. "Decorative Paving" shall be defined as scored and/or textured paving and its color specified.
- C. A bench shall be added to the northwest corner of the plaza area and to the area near the northwest corner of Building A-1.
- D. The material of the "plaza over the pond" shall be specified.
- E. The plaza area shall have seating and shade to cover a minimum 25% of the area.

8. Walls/Fences:

- A. The color, finish and/or type of block for the screen wall shall be specified.
- B. The location of the fence near the NW corner, and its color, finish and/or type, shall be specified and a detail provided.
- C. The color of the steel tube fence along the western side shall be indicated.
- D. The height, type, color and finish of the guard rail by the pond shall be indicated.

9. Landscaping Plan:

- A. The landscaping calculations shall be adjusted to correspond to the revised building square footages for Phase II.
- B. The 36 sf tree planting area shall be a minimum.
- C. The seat walls around the planters shall be shown.
- D. The street trees along Bellamah Avenue, approved in the 2007 site development plan, shall be reinstated.

10. Refuse Enclosures:

- A. The applicant shall check with SWMD regarding the refuse enclosure's location.
- B. Refuse enclosures shall comply with the requirements of the Solid Waste Management Division.
- C. The color and finish of the refuse enclosure shall be indicated.

11. Lighting: Provide a detail for each light pole type.

12. Reflective glass shall not be permitted (General SU-2 regulation 4.f.).

13. Signage:

- A. The letter color and lighting of the monument sign shall be specified.
- B. The letter color and square footage of the building mounted signs shall be specified.
- C. Signs shall not be illuminated plastic panel signs (design standard).

14. Minor Clean-Up & Additions:

- A. Use lighter shading on the building table and the parking table.
- B. Revise the label "Active Space" used for building A2's breakdown of square footages by use.
- C. Label the loading dock and the turn around area near it.
- D. Provide a separate detail sheet.

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August 11, 2011

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- E. Use bubbling to indicate changes to the tables on the Grading & Drainage plan.
- F. Correct the reference to 14-16-3-19 in the design standards.

15. Conditions from the City Engineer:

- A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- B. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
- C. Site plan shall comply and be designed per DPM Standards. Any instances of non-compliance are remedied through conditions of approval.

16. Conditions from PNM:

- A. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- B. An existing electric transmission line is located on the eastern boundary of the Phase 1B and 1C and an existing electric distribution line is located east of the Phase 2 boundary. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate the relocation of existing electric structures regarding this project. In addition coordination with New Service Delivery Department is necessary regarding any proposed tree location and height, sign location and height, and lighting height in order to ensure sufficient safety clearances.
- C. Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY AUGUST 26, 2011 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL

OFFICIAL NOTICE OF DECISION

Project #1005354, 11EPC-40045

August 11, 2011

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DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan; within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

C. Marone

for Deborah Stover
Planning Director

DS/CLL/mc

cc: Dekker/Perich/Sabatini, Attn: Chris Gunning & Gail Granot, 7601 Jefferson NE, Suite 100, Albuquerque, NM 87109
Magdalena Ramirez, Sawmill Area NA, 1020 19th St. NW, Albuquerque, NM 87104
Judy Gallegos, Sawmill Area NA, 1036 18th St. NW, Albuquerque, NM 87104
Connie Chavez, Sawmill Community Land Trust, PO Box 25181, Albuquerque, NM 87125
Wendy Statkus, Sawmill Community Land Trust, PO Box 25181, Albuquerque, NM 87125
Peter Eller, Wells Park NA, 1715 5th St. NW, Albuquerque, NM 87102
Kjudy Gallegos, Arbolera de Vida Association, c/o PO Box 25181, Albuquerque, NM 87125



June 30, 2011

Shira Greenberg
Keshet Dance Company
214 Coal Avenue SW
Albuquerque, NM 87102

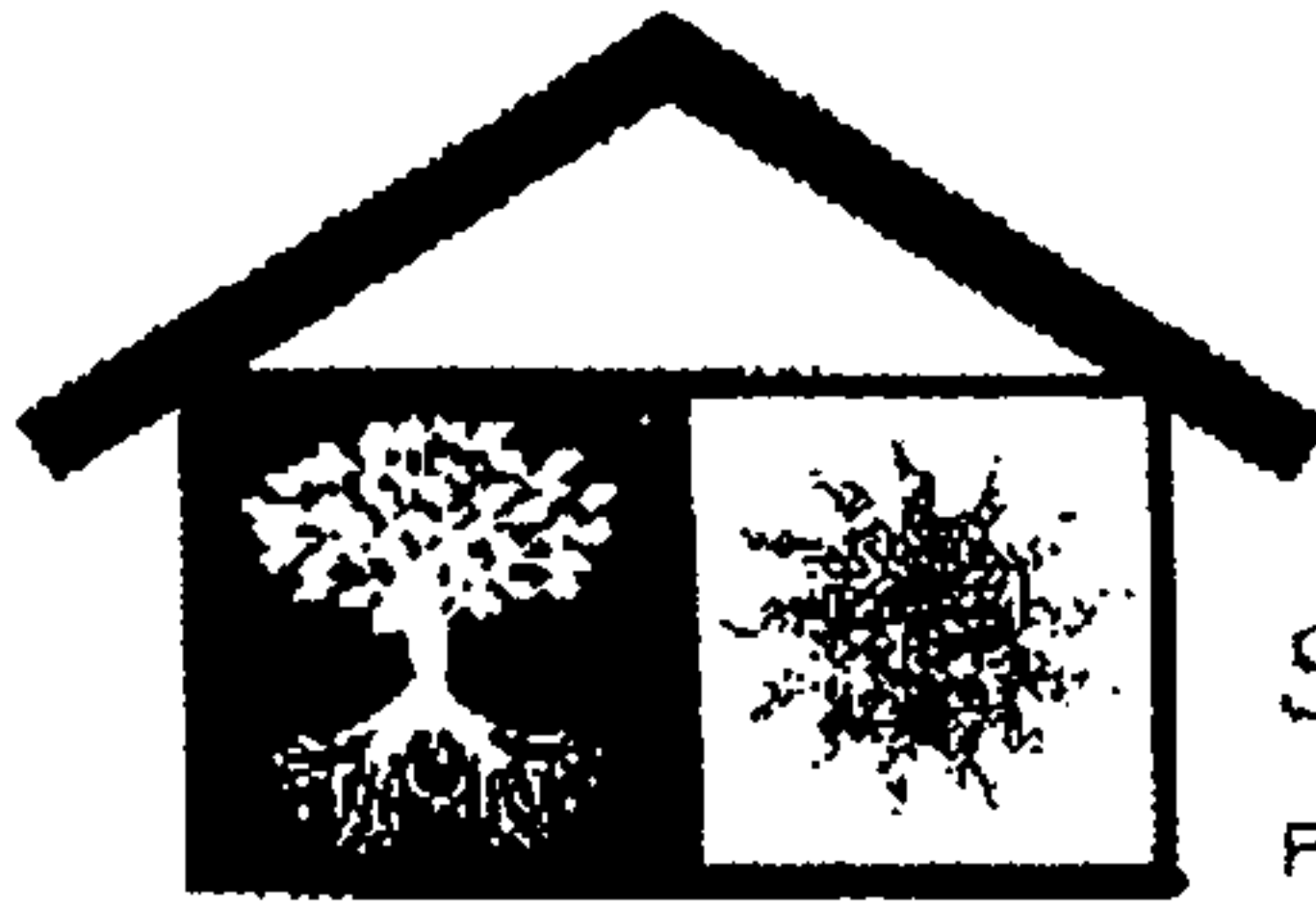
To Whom It May Concern:

Keshet Dance Company authorizes Dekker/Perich/Sabatini (D/P/S) to act as its agent in matters relating to the submission to the Environmental Planning Commission for the Keshet Performing Arts Center (KPAC). Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Shira Greenberg". The signature is stylized and overlaps the printed name below it.

Shira Greenberg
Founder and Artistic Director
Keshet Dance Company



Sawmill Community Land Trust

P.O. Box 2518 • Albuquerque, NM 87125-5581 • Phone (505) 764-0359 • Fax (505) 243-6756 • www.SawmillCLT.org

June 30, 2011

Connie Chavez
Sawmill Community Land Trust
Villa Nueva Community Bldg
990 18th St NW, Second floor
Albuquerque, NM 87104

To Whom It May Concern:

Sawmill Community Land Trust authorizes Dekker/Perich/Sabatini (D/P/S) to act as its agent in matters relating to the submission to the Environmental Planning Commission for the Keshet Performing Arts Center (KPAC). Thank you.

Sincerely,


Connie Chavez
Executive Director

"We're building more than houses, we're building neighborhoods."

617585

March 19, 2011
 3/17/11
 3/17/11

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (DRB) REQUIRED INFRASTRUCTURE LIST

PROPOSED NAME OF PLAT AND SITE DEVELOPMENT PLAN
 Savannah Village

Tract 2-D, Arboleda De Vida, and Lot B-2-A, Duke City Lumber Company Addition
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Functionality and safety of public infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a comprehensive listing of all items that are required for the development. The DRB Chair determines that appurtenant items and/or foreseen items have not been included in the infrastructure listing. The DRB Chair may, at his/her discretion, delete items from the listing and/or add items to the listing. If these items are deleted from the listing, these items may be deleted as well as the related portions of the financial guarantees. All such deletions require approval by the DRB Chair. The User Department and agencies. If such approvals are obtained, these revisions to the listing will be incorporated into the listing. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Submitter's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Civil Engineer
617585		3"	Sanitary Sewer, including man holes and sections as required (approx. 275')	18th St extended	Bellamah	370' north of Bellamah	/	/
617585		3"	Sanitary Sewer, including man holes and services as required (approx. 663')	East-west utility easement along south side of site	Intersection of Bellamah & 16th St	East side of the development	/	/
617585		6"	Water line, including valves, services, & fire hydrants as required (approx. 268')	18th St extended	Bellamah	268' north of Bellamah	/	/
617585		3"	Water line, including valves, services, & fire hydrants as required (approx. 592')	East-west utility easement along south side of site	Approx. 14th Street, Intersection of Bellamah and 16th St	Existing water line at east side of development	/	/
617585		12" to 24"	Modifications to the existing Drainage Pond located NW of Lot 1 (see Tract 2-A, Arboleda De Vida) in accordance with the approved drainage plan (city hydrology file H13D25A). Drainage Covenant & Agreement Required.				/	/
617585			Storm Drain System on Lot 1 in accordance with the approved drainage plan (city hydrology file H13D25A). Drainage Covenant and Agreement Required.				/	/
617585			Abandonment of water line within Easement from Saniflex to corner to east side of site				/	/
617585			15" valley gutter on Tract (10) proposed to abut lines of south side of lots				/	/

Notes: *Eng. Cert. of grading plan req'd for release*

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

POWELL STODOLSKY
 NAME (print)
EHI
 FIRM
Powell Stodolsky
 SIGNATURE - date

[Signature] 3/17/10
 DRB CHAIR - date
[Signature] 03/17/10
 TRANSPORTATION DEVELOPMENT - date
Allen Futer 03/17/10
 UTILITY DEVELOPMENT - date
Bradley D. Bingham 3/17/10
 CITY ENGINEER - date

Christina Sandoval 3/17/10
 PARKS & RECREATION - date
 _____ - date
 _____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



June 21, 2011

Mr. Doug Peterson
Chair, Environmental Planning Commission
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Dear Mr. Peterson,

I am the President of the *Arbolera de Vida* Association which is within the Sawmill Community Land Trust. At our June association board meeting we reviewed the plans for Keshet's Performing Arts Center (KPAC) to be located at the northwest corner of Bellamah Avenue and 18th Street NW. We unanimously voted to support Keshet and provide a letter of support to build KPAC as part of Phase II in Sawmill Village on Tract 2D of the *Arbolera de Vida* subdivision.

We believe the addition of this performing arts center will not only enhance the surrounding neighborhood, but will provide amenities to the community with additional meeting spaces and activities for the local residents to attend and participate in. We agree this function supports the overall vision of the Sawmill area and Sawmill Community Land Trust.

The black box theater component of the project will provide a venue for dance, theater, and musical performances and supports the cultural arts already present. A small restaurant component included in the KPAC building will also provide an amenity to the local community.

Overall the Keshet program and presence within Sawmill will make a positive impact to further enhance the neighborhood. We ask that you approve the proposed amendment to the original Environmental Planning Commission submittal. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Kjudy Gallegos", with a long horizontal stroke extending to the right.

Kjudy Gallegos
President, *Arbolera de Vida* Association

Kjudy Gallegos
Christopher Cates
Christina de Santiago
Javier Benevidez
Renati West

Phone: 505 843-6868
Fax: 505 243-6759

Wells Park Neighborhood Association
1715 5th Street NW
Albuquerque, NM 87102
(505) 463-5824

June 22, 2011

Mr. Doug Peterson
Chair, Environmental Planning Commission
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

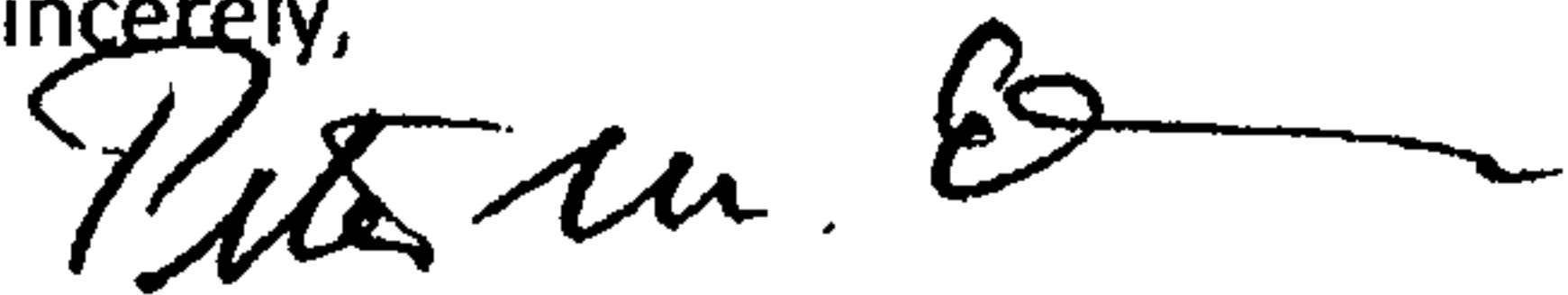
Dear Mr. Peterson,

On behalf of the Wells Park Neighborhood Association, I am writing to you today to express support for the Keshet Performing Arts Center (KPAC) that will be located within the Sawmill Community Land Trust. At our recent neighborhood association board meeting we reviewed the plans for KPAC and voted unanimously to support this project.

In addition to the fine design, we are thrilled that Keshet will be offering its services to our community residents regardless of their ability to pay. The Sawmill/Wells Park Metropolitan Redevelopment Plan includes important cultural, educational, and economic development activities that will be met by this facility.

Overall the Keshet program and presence within Sawmill will make a positive impact to further enhance the Sawmill/Wells Park neighborhood redevelopment activities. We respectfully request that you approve the proposed amendment to the existing site development plan to include the addition of the Keshet Performing Arts Theatre.

Sincerely,



Peter Eller, Vice President
Wells Park Neighborhood Association

June 24, 2011



To whom it may concern,

New Mexico, rich with history and tradition, has long been a pioneer of arts and culture. Countless shops, fairs, and festivals, underscore the state's attraction amongst tourists and visitors eager to experience the Land of Enchantment's cultural offerings. While the visual arts and cultural heritage have attracted visitors and excited residents, the local performing arts scene has been sadly overlooked. Fortunately, that is about to change.

In step with New Mexico's cultural arts tradition, Keshet has been a pioneer among performing arts organizations in the state. Its progressive vision behind the Keshet Performing Arts Center (KPAC) is just another example of its spirit and strength. While the concept of a performing arts center has been envisioned for decades in Albuquerque, Keshet is turning this idea into a reality. KPAC has obvious benefits for an expanding Keshet, but its advantages for Albuquerque are endless. Albuquerque's businesses and citizens can expect to see concrete profits from this project. Tourists will be more likely to stay in Albuquerque rather than pass through to Santa Fe. Local shops, restaurants, hotels and museums will see a boom in business. The influx of dancers and their families will create an immediate and sustainable difference while the 200 seat theater will generate event related spending.

New Mexico Ballet Company's relationship with Keshet has developed from being friendly and supportive to strong and collaborative. In times when many organizations, especially those related to the arts, struggle to survive and clearly differentiate themselves from the pack, both NMBC and Keshet have actively searched for mutually beneficial projects. Pooling our resources and working together to enhance each other's missions will allow our organizations to continue to thrive and better serve the community.

NMBC is thrilled for Albuquerque to have a performing arts center built around collaboration, but it is even more pleased to be able to call it our home. We are honored to be a part of a center that is not only great for our artists and patrons but for the economic and artistic well being of Albuquerque.

Sincerely,

Emily Fine, Executive Director
Jolie Sutton-Simballa, Artistic Director
The New Mexico Ballet Company Board of Trustees:
Karen Delle Site, Virginia Wilmerding, Helene Silverblatt, Ralph Brown, Sally Machacek

City of **Albuquerque** AMENDED



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form		ZONING & PLANNING	
<input type="checkbox"/>	Major Subdivision action	S	Z	<input type="checkbox"/>	Annexation
<input type="checkbox"/>	Minor Subdivision action			<input type="checkbox"/>	County Submittal
<input type="checkbox"/>	Vacation	V		<input type="checkbox"/>	EPC Submittal
<input type="checkbox"/>	Variance (Non-Zoning)			<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN		P		<input type="checkbox"/>	Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/>	for Subdivision (Amended)			<input type="checkbox"/>	Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/>	for Building Permit			<input type="checkbox"/>	Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/>	Administrative Amendment (AA)	D		<input type="checkbox"/>	Street Name Change (Local & Collector)
<input type="checkbox"/>	IP Master Development Plan	L	A	APPEAL / PROTEST of...	
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	
STORM DRAINAGE (Form D)					
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan				

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Dekker/Perich/Sabatini PHONE: 505.761.9700
 ADDRESS: 7601 Jefferson NE, Suite 100 FAX: 505.761.4222
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: chrisg@dpsdesign.org

APPLICANT: Keshet Dance Company PHONE: 505.224.9808
 ADDRESS: 214 Coal Ave. SW FAX: 505.842.0309
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: shira@keshetdance.org

Proprietary interest in site: Long term lease will be entered into by Keshet with SCLT List all owners: Sawmill Community Land Trust & City of ABQ

DESCRIPTION OF REQUEST: Amendment to Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Arbolera de Vida Unit 2B, Tract 2-D1, Lots 1 & 2 Sawmill Village Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Arbolera de Vida & Sawmill Village
 Existing Zoning: SU-2/SU-1 for PRD with Microbrewery & SU-2/SU-1 for PRD Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): H&J 13-Z UPC Code: 10130s834151512010 & 101305930600340211

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____
1003311: DRB-97-280, 1005354: ZA-80-101, 07EPC-00109

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 3 No. of proposed lots: 3 Total area of site (acres): 9.976

LOCATION OF PROPERTY BY STREETS: On or Near: Northwest corner of Bellamah and 18th Street
 Between: 19th Street and Sawmill Village

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team X. Date of review: 05/24/11

SIGNATURE Gail Granot DATE 9-6-11
 (Print) Gail Granot for Christopher R. Gunning Applicant: Agent:

FOR OFFICIAL USE ONLY

<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/>	All checklists are complete	<u>11DRB - 70252</u>	<u>ASBP</u>		<u>\$50.00</u>
<input checked="" type="checkbox"/>	All fees have been collected		<u>CME</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/>	All case #s are assigned				\$
<input checked="" type="checkbox"/>	AGIS copy has been sent				\$
<input checked="" type="checkbox"/>	Case history #s are listed				\$
<input type="checkbox"/>	Site is within 1000ft of a landfill				\$
<input type="checkbox"/>	F.H.D.P. density bonus				Total
<input type="checkbox"/>	F.H.D.P. fee rebate	Hearing date <u>September 14, 2011</u>			<u>\$20.00</u>

Gail Granot 9-6-11 Project # 1005354
 Planner signature / date

Form revised 4/07

September 6, 2011

Mr. Jack Cloud
Chairman
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

**Re: Conditions for Approval
Sawmill Village
Request for Amended Site Development Plan for Subdivision
Tract 2-D of the Arbolera de Vida Subdivision, Albuquerque, NM (Phase 2)
Project # 1005354; 07EPC-00109**

Dear Mr. Cloud:

This letter addresses the conditions that the Environmental Planning Commission (EPC) required the applicant to address on the EPC submittal for the Keshet Performing Arts Center at Sawmill Village (Project #1005354, 07EPC-00107– Notice of Decision dated August 11, 2011). Following is a brief, bulleted summary of the submittal to date:

- On June 30th, the applicant submitted the first set of plans requesting approval for Site Development Plan for Building Permit.
- On July 29th, the applicant submitted a revised set of plans to the City. The revision showed updates and initial comments from the City Planner incorporated.
- On August 11th, in the Notice of Decision, the EPC delegated final approved Site Development Plan for Subdivision Amendment requests to the Design Review Board (DRB).

In response to the City Council and EPC conditions, the applicant is submitting a revised set of plans and some minor changes in the plans. Listed below are the conditions and the applicant's responses.

1. **CONDITION:** The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

RESPONSE: This letter shall accompany the modifications to the Site Development Plan for DRB final sign-off specifying how each EPC condition was met.

2. **CONDITION:** Prior to final DRB sign off, the applicant shall meet with the Staff planner to ensure that conditions of the approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.

RESPONSE: The applicant met with Catalina Lehner, staff senior planner, on Thursday, September 1, 2011 to ensure the conditions of approval have been met.

3. **CONDITION:** The request shall comply with the General SU-2 Regulations in the Sawmill/Wells Park Sector Development Plan and the Sawmill Village design standards (Project #1005354, 07EPC-00107).

RESPONSE: The request complies.

4. **CONDITION:** Building Data: Update the Building Data table to keep O-1 and C-1 uses less than 25% of the total development, as required in the SU-1 for PRD zone, and update the associated calculations.

RESPONSE: The Building Data table was clarified with a memo indicating the breakdown of spaces, square footages, and percentages. It is attached to this document.

5. **CONDITION:**
Vehicle Parking:

- a. The parking table shall incorporate the changes to building square footage and shall match the number of parking spaces shown on the site development plan.

RESPONSE: The parking table reflects the accurate number of parking spaces based on the building square footage.

- b. The Zoning Code ratio (“required ratio”) for the brewery/restaurant shall be 1 space for every 4 seats.

RESPONSE: The required ration has been updated to reflect 1 space for every 4 seats.

6. **CONDITION:**
Bicycle & Motorcycle Parking:

- a. The bicycle rack shall be relocated from the southern side of the site (landscape area) to a more central location on the plaza.

RESPONSE: The bicycle rack has been relocated to the plaza area between Keshet Performing Arts Center (KPAC) and the restaurant/micro-brewery.

- b. A bicycle rack detail shall be provided.

RESPONSE: A bicycle rack detail has been provided on a detail sheet, SDP4.

- c. The motorcycle spaces on the western side shall be relocated to an area visible from the arts center’s main entrance and shall be designated by signage [14-16-3-1C (2)].

RESPONSE: The motorcycle spaces on the western side of the parking lot were relocated to the parking island visible from the entry and marked with signage as designated by 14-16-3-1C(2).

- d. Motorcycle spaces shall be counted in addition to vehicle spaces (not as part of the vehicle space total).

RESPONSE: Motorcycle spaces have been counted in addition to vehicle spaces and not part of the vehicle space total, for a total of 117 spaces.

- e. One more motorcycle space shall be provided.

RESPONSE: Two additional motorcycle spaces have been added.

7. **CONDITION:**

Pedestrian & Plaza Issues:

- a. Clearly demarked pedestrian crossings of raised, scored paving shall be provided across the drive aisles to connect the sidewalk (design standard).

RESPONSE: Pedestrian crossings have been identified with a cross hatch pattern and noted (#14) on the site plan at the parking lot drive aisle and 18th Street pedestrian crossing.

- b. “Decorative Paving” shall be defined as scored and/or textured paving and its color specified.

RESPONSE: Decorative paving is identified as scored concrete, color: gray.

8. **CONDITION:**

Walls/Fences:

- a. The color, finish and/or type of block for the screen wall shall be specified.

RESPONSE: The color is tan. The finish is burnished concrete masonry units and is indicated on the Site Detail Sheet SDP4.

- b. The location of the fence near the NW corner, and its color, finish and/or type, shall be specified and a detail provided.

RESPONSE: The site wall is indicated by note 36 and a detail shown on SDP4.

- c. The color of the steel tube fence along the western side shall be indicated.

RESPONSE: The fence is an open steel tube fence, 6’ high, color: silver/gray. Note 42 on SDP1.

- d. The height, type, color and finish of the guard rail by the pond shall be indicated.

RESPONSE: The metal guard rail, 42” high, color: silver/gray, matte finish is indicated, note 42a on SDP1.

9. **CONDITION:**

Landscaping Plan:

- a. The landscape calculations shall be adjusted to correspond to the revised building square footages for Phase II.

RESPONSE: The landscape calculations reflect the proper building square footages.

- b. The 36sf tree planting area shall be a minimum.

RESPONSE: The note was clarified to indicate a minimum 36sf tree planting area.

- c. The seat walls around the planters shall be shown.

RESPONSE: The seat walls are shown and indicated by note 8 on SDP2 and SDP2A.

- d. The trees along Bellamah Avenue, approved in the 2007 site development plan, shall be reinstated.

RESPONSE: The street trees have been reinstated.

10. **CONDITION:**

Refuse Enclosures:

- a. The applicant shall check with SWMD regarding the refuse enclosure's location.

RESPONSE: SWMD has reviewed the location and stamped with signature on September 1, 2011.

- b. Refuse enclosures shall comply with the requirements of the Solid Waste Management Division.

RESPONSE: Will comply.

- c. The color and finish of the refuse enclosure shall be indicated.

RESPONSE: The color and finish are indicated on SDP4, color: tan, finish: burnished CMU block.

11. **CONDITION:** Lighting: Provide detail for each light pole type.

RESPONSE: The light pole types are indicated on SDP4.

12. **CONDITION:** Reflective glass shall not be permitted (General SU-2 regulation 4.f.).

RESPONSE: A note has been added to sheet SDP3.

13. **CONDITION:**

Signage:

- a. The letter color and lighting of the monument sign shall be specified.

RESPONSE: All has been indicated and noted on SDP4.

- b. The letter color and square footage of the building mounted signs shall be specified.

RESPONSE: All has been indicated on the building elevations, sheets SDP7 and SDP7A.

- c. Signs shall not be illuminated plastic panel signs (design standard).

RESPONSE: The note internally illuminated signs has been struck from sheets SDP7 and SDP7A.

14. **CONDITION:**

Minor clean-up & Additions:

- a. Use lighter shading on the building table and parking table.

RESPONSE: This has been updated.

- b. Revise the label "Active Space" used for building A2's breakdown of square footages by use.

RESPONSE: The label has been revised.

- c. Label the loading dock and the turnaround area near it.

RESPONSE: The note was clarified and indicated with note 15 and 34 on SDP1.

- d. Provide a separate detail sheet.

RESPONSE: Detail sheet SDP4 has been added.

- e. Use bubbling to indicate changes to the tables on the Grading & Drainage plan.

RESPONSE: Bubbling has been indicated.

- f. Correct the reference to 14-16-3-19 in the design standards.

RESPONSE: Reference has been corrected.

15. Conditions from the City Engineer:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the site development plan, as may be required by the Development Review Board (DRB).

RESPONSE: Will comply.

- b. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.

RESPONSE: Will comply.

- c. Site plan shall comply and be designed per DPM Standards. Any instances of non-compliance are remedied through conditions of approval.

RESPONSE: Will comply.

16. Conditions from PNM:

- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of these easements.

RESPONSE: Will comply.

- b. An existing electric transmission line is located on the eastern boundary of the Phase 1B and 1C and an existing electric distribution line is located east of the Phase 2 boundary. As a condition it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate the relocation of the existing electric structure regarding this project. In addition coordinate with New Service Delivery Department is necessary regarding any proposed tree location and with the, sign, location and height, and lighting height in order to ensure sufficient safety clearances.

RESPONSE: Will comply.

- c. Screening should be designed to allow for access to utility facilities. As a condition, all screening a vegetation surrounding ground-mounted transformer and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to eh PNM Electric Service Guide for specification.

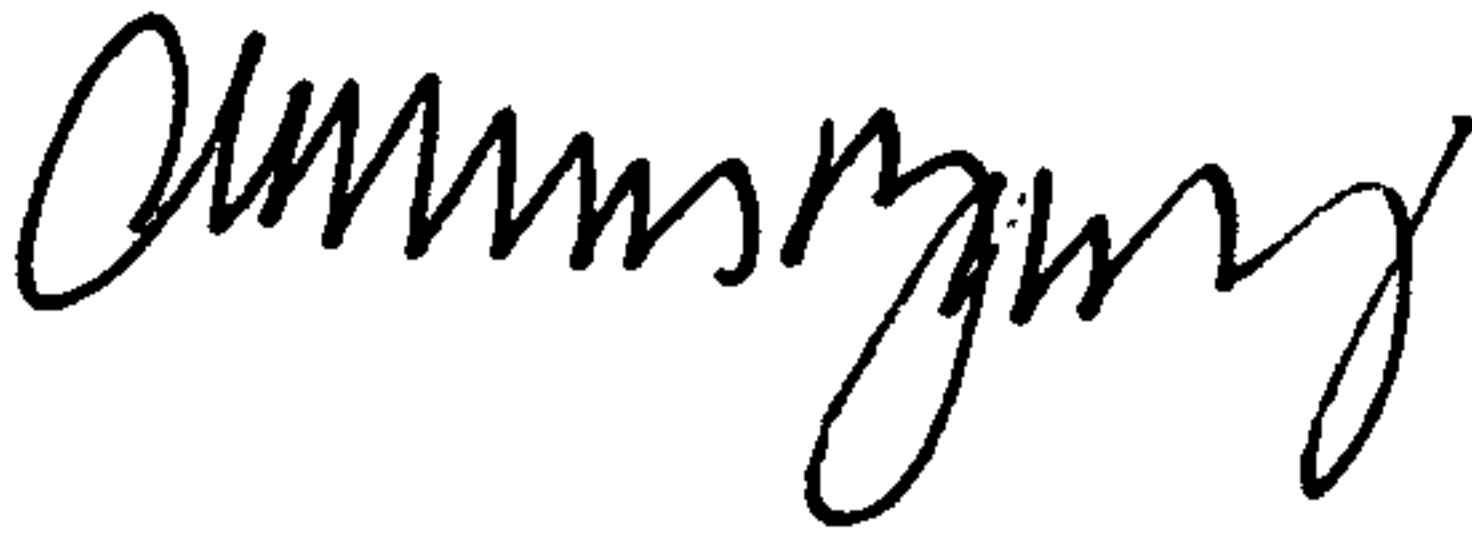
RESPONSE: Will comply.

Conclusion:

We respectfully request approval of the above request. If you have any questions or need clarification of anything contained herein, please contact Gail Granot or myself.

Sincerely,

Dekker/Perich/Sabatini
Agent for Keshet Dance Company



Christopher R. Gunning, AIA, LEED AP BD+C
Principal

Memorandum

To: Catalina Lehner, CoA Planning
 From: Chris Gunning & Gail Granot
 Date: September 2, 2011
 Subject: Keshet Performing Arts Center – Building Area Calculations
 1008786, 11EPC-40029, 11EPC-40031

This memo is to explain the changes to the Building Data table as it relates to meeting the maximum 25% O-1/C-1 uses relative to the overall building area. The previously approved building area total was increased from 232,086 square feet to 257,859 square feet. Part of this is due to the 14,000 square foot increase in total building area for Phase 2, from 30,500 square feet to 44,500 square feet. The remainder is an increase in the Phase 1 building area of 11,773 square feet, from 201,586 to 213,359 square feet, based on the more detailed design of the buildings under construction and those currently in design. The refined Phase 1 building designs resulted in less area assigned to retail and active uses (O-1/C-1 uses) in Phase 1, allowing an increase in those same area types in Phase 2. The calculation in the amended site development plan is as follows:

Maximum O-1/C-1 (Retail/Commercial & Active Space) =	25% of total building area
Total building area =	257,859 square feet
Maximum of 25% of 257,859 square feet =	64,465 square feet

<u>O-1/C-1 (Retail/Commercial & Active Space)</u>	
Phase 1 - Retail SF =	7,891 square feet
Phase 1 - Active Space SF =	8,762 square feet
Phase 2 – Retail (retail, restaurant, and office uses) SF =	15,500 square feet
Phase 2 – Active Space (studio and support spaces) SF =	29,000 square feet
Total - O-1/C-1 (Retail/Commercial & Active Space) SF =	61,153 square feet

O-1/C-1 Uses as a percentage of total building area =	23.7%
-------------------------------------------------------	-------

Per our discussion following the EPC hearing on August 11, 2011, the “Active Space” located in the live/work units in the residential buildings may or may not be utilized as O-1/C-1 type uses, such as studios or offices. A portion of the allowed O-1/C-1 space could be utilized as purely residential area depending each tenant’s utilization of their space. In reality, the maximum of 25% called out in the amended site development plan will most likely never be reached, and is intended only as a maximum allowable.

Please let us know if you have questions or would like to discuss further our calculations.

Gail Granot

From: Chad Rennaker [crennaker@pacificap.com]
Sent: Tuesday, August 30, 2011 10:52 AM
To: Gail Granot
Subject: RE: Keshet EPC Comments

We (Jason) talked with PNM and their suggestion is to relocate the line underground. It will cost around \$50K, perhaps less if they determine there is a revenue credit generated from the KPAC facility. We are waiting for a letter from them confirming this.

From: Gail Granot [mailto:GailG@dpsdesign.org]
Sent: Thursday, August 25, 2011 9:26 AM
To: Chad Rennaker
Cc: Christopher R. Gunning
Subject: Keshet EPC Comments

Hi Chad,

Since the approval of Keshet at the EPC hearing, I've been working on addressing the Conditions of Approval. Under "Conditions" Item 16B, page 6, it requires that you contact Public Service Company of New Mexico (PNM) regarding relocation of the electrical lines and coordination of new service. I've attached a copy of the conditions for your reference. We'd like to meet with Catalina, city planner, early next week to review how we addressed the conditions of approval. Please let me know the outcome of your coordination with PNM so we can review it with Catalina. Thank you.

Gail Granot, AIA, LEED AP BD+C - Architect
Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100 | Albuquerque, NM 87109 | 505.761.9700

D/P/S is pleased to announce the opening of its newest office in Las Cruces, NM! Please [visit our website](#) for more information.

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/06/2011 Issued By: E08375 121617

Category Code **910**
2011 070 252

Application Number: 11DRB-70252, Amended Sdp For Bp

Address:

Location Description: NE COURNER OF BELLAMAH AND 18TH ST BETWEEN 19TH ST AND SAWMILL VILLAGE

Project Number: 1005354

Applicant

KESHET DANCE COMPANY

214 COAL AVE SW
ALBUQUERQUE NM 87102
224-9808

Agent / Contact

DEKKER PERICH SABATINI
CHRIS GUNNING
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE NM 87109

CHRISG@DPSABQ.COM

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$50.00
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

9/6/2011 12:16PM LOC: ANNX
US# 007 TRANS# 0013
RECEIPT# 00147740-00147740
PERMIT# 2011070252 TR55VG
Trans Amt \$70.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
MC \$70.00
CHANGE \$0.00

Thank You

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102

**City of Albuquerque
Planning Dept.
Dev. & Bldg. Svcs.**

Fax

To: Gail

From: Annette

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- Urgent For Review Please Comment Please Reply Please Recycle

COMMENTS:

CITY OF ALBUQUERQUE
P.O. BOX 17
ALBUQUERQUE, NM 87102
505-768-3444

X43861

TERMINAL ID: 0001
MERCHANT #: 347402016583

MC # *****3705
CLK: SYSADMIN EXP.: **/**
SALE INVOICE: CHGD WRONG
BATCH: 174 SQ: 046910
DATE: 09/06/11 TIME: 17:02:12
APPROVED: 055782

MANUAL REFERENCE #: 124922022184

TOTAL \$ 20.00

*cust/dept. came in
cust. supposed to only
be charged 20.00 not
the additional 50.00.
Rachel R. credited cust.
c/c 50.00. due to
register already performed
end of day.*
RS

I AGREE TO PAY ABOVE
TOTAL AMOUNT ACCORDING
TO CARD ISSUER AGREEMENT
(MERCHANT AGREEMENT
IF CREDIT VOUCHER)

SIGN X _____
GRANT/GALT

CUSTOMER COPY

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

Category Code **910**
2011 070 252

09/06/2011 Issued By: E08375 121617

Application Number: 11DRB-70252, Epc Approved Sdp For Subdivision

Address:

Location Description: NE COURNER OF BELLAMAH AND 18TH ST BETWEEN 19TH ST AND SAWMILL VILLAGE

Project Number: 1005354

Applicant

KESHET DANCE COMPANY

214 COAL AVE SW
ALBUQUERQUE NM 87102
224-9808

Agent / Contact

DEKKER PERICH SABATINI
CHRIS GUNNING
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE NM 87109

CHRISG@DPSABQ.COM

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	
TOTAL:		\$20.00