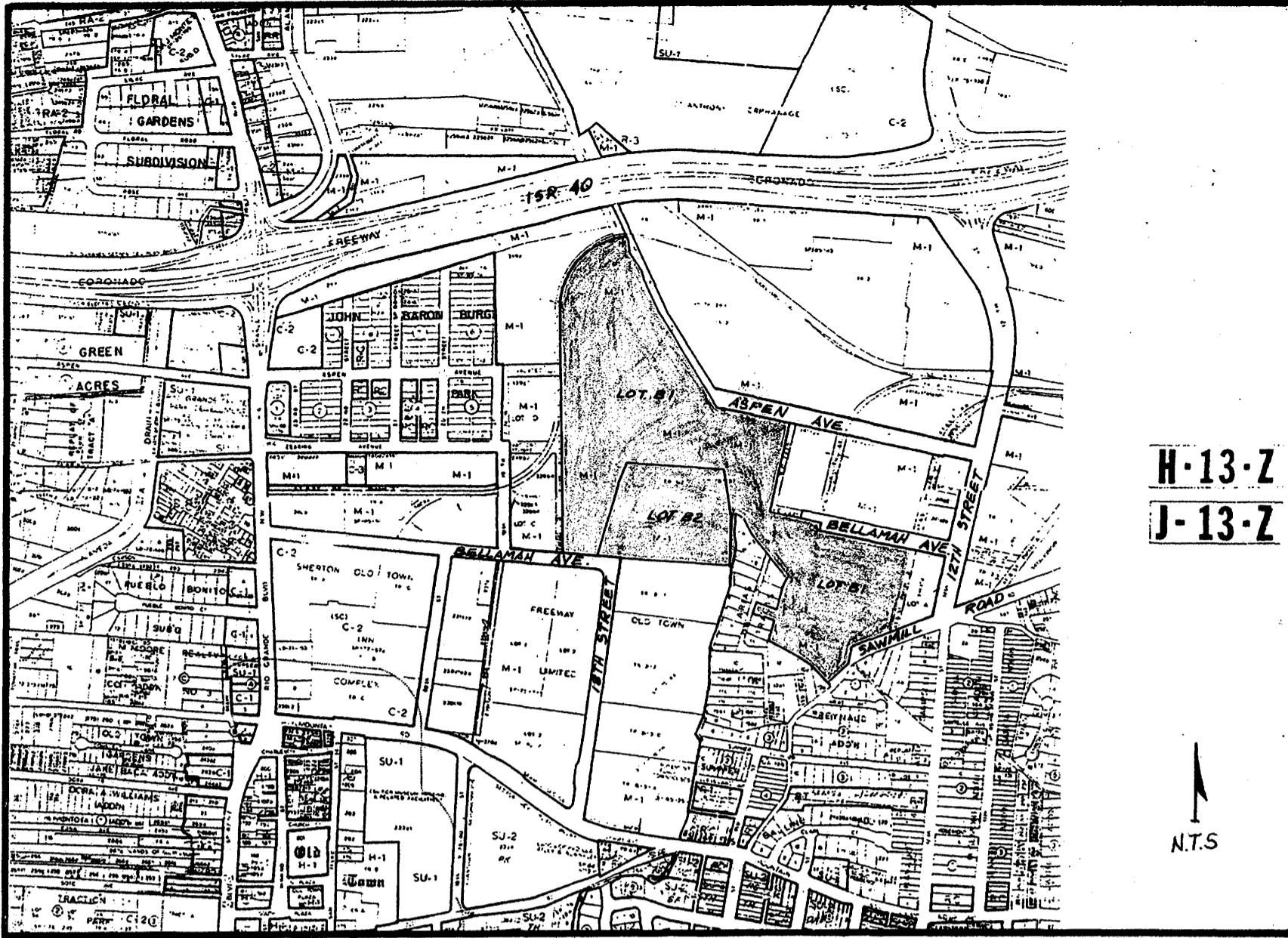


90C-222(1)



VICINITY MAP

H-13-Z  
J-13-Z

9072703

PLAT OF  
LOTS B-1-A AND B-2-A  
DUKE CITY LUMBER COMPANY ADDITION  
IN THE CITY OF ALBUQUERQUE, NEW MEXICO  
PROJECTED SECTIONS 7 AND 18, T.10 N., R.3 E., N.M.P.M.  
MAY 1990  
SHEET 1 OF 2

State of New Mexico } SS  
County of Bernalillo }  
This instrument was filed for record on  
11:34 SEP 7 1990  
of records of said County Folio 90C  
522  
Deputy Clerk & Recorder

LEGAL DESCRIPTION AND FREE CONSENT

The undersigned owner(s) of the land hereon shown do hereby consent to the Replat of the land hereon shown: Lots lettered B-1 and B-2 Replat of Lot "B" DUKE CITY LUMBER COMPANY ADDITION, in the City of Albuquerque, New Mexico as the same is shown and designated on said Replat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on April 4, 1978, in Book D8, page 102 and is with the free consent and in accordance with the desires of the undersigned owner(s) and proprietor(s) thereof, and hereby grants additional easements as shown hereon and hereby dedicates additional right-of-way as shown.

Owner(s) Carlos Sanchez Date 5-17-90  
DUKE CITY LUMBER CO  
ACKNOWLEDGEMENT LOT B-1-A

STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } ss.

The foregoing instrument was acknowledged before me this 17 day of May, 1990, By: Carlos Sanchez

My Commission Expires: April 12, 1994  
Heroldine Alvarez  
Notary Public

Owner(s) Ed Stewart Date 5/17/90  
PONDEROSA PRODUCTS INC.  
ACKNOWLEDGEMENT LOT B-2-A

STATE OF NEW MEXICO }  
COUNTY OF } ss.

The foregoing instrument was acknowledged before me this 17 day of May, 1990. By: ED STEWART

My Commission Expires: April 12, 1994  
Heroldine Alvarez  
Notary Public

CITY/COUNTY APPROVALS:

|                         |                 |
|-------------------------|-----------------|
| Property Management     | Date            |
| <u>N/A</u>              |                 |
| <u>Neil Chet</u>        | <u>062590</u>   |
| City Surveyor           | Date            |
| <u>Robert W. Kane</u>   | <u>9-7-90</u>   |
| City Water Resources    | Date            |
| <u>Richard Alley</u>    | <u>07-03-90</u> |
| City Engineer           | Date            |
| <u>Fred J. Copani</u>   | <u>9-7-90</u>   |
| A.M.A.F.C.A.            | Date            |
| <u>Richard W. White</u> | <u>7-03-90</u>  |
| Traffic Engineer        | Date            |
| <u>James M. Stone</u>   | <u>7/3/90</u>   |
| Parks and Recreation    | Date            |
| <u>Jack Clavel</u>      | <u>9/13/90</u>  |
| City Planning Director  | Date            |

SURVEYOR'S CERTIFICATION  
I, Franklin E. Wilson, a registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance, and that it is true and correct to the best of my knowledge and belief.  
Franklin E. Wilson 6/22/90  
Franklin E. Wilson, No. 6446 Date

DISCLOSURE STATEMENT: The purpose of this plat is to adjust lot lines between two (2) existing lots and create two (2) new lots.

GENERAL NOTES:

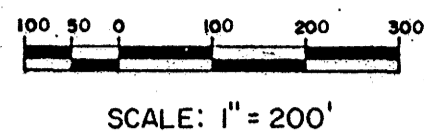
- 1) Bearings Based upon DUKE CITY LUMBER COMPANY ADDITION filed April 14, 1978 in Book D8, page 102.
- 2) Plat shows easements of record.
- 3) All distances and bearings are ground unless otherwise noted.
- 4) All distances and bearings in ( ) are per the Replat of Lot "B" DUKE CITY LUMBER COMPANY ADDITION, filed April 4, 1978, Volume D8, Folio 102.
- 5) All property corners identified as "set", are set with 1/2" rebar and cap stamped "L.S. 6446", unless otherwise indicated.
- 6) Rotate bearings clockwise 00'12'28" to adjust to New Mexico State Plane Coordinate System.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPCT: 1013-058-333-515-12010  
PROPERTY OWNER OF RECORD:  
DUKE CITY LUMBER CO + PONDEROSA PRODUCTS  
BERNALILLO COUNTY TREASURER'S OFFICE:  
Chris Simpson 9-11-92  
1-013-058-333-515-12010

SOUTHWEST SURVEYING CO.  
333 Lomas Blvd, N.E. Albuquerque, New Mexico 87102  
(505) 247-4444

90C-222(1)

5072703  
 PLAT OF  
 LOTS B-1-A AND B-2-A  
 DUKE CITY LUMBER COMPANY ADDITION  
 IN THE CITY OF ALBUQUERQUE, NEW MEXICO  
 PROJECTED SECTIONS 7 AND 18, T.10 N., R.3 E., N.M.P.M.  
 MAY 1990  
 SHEET 2 OF 2



State of New Mexico }  
 County of Bernalillo } SS  
 This instrument was filed for record on  
 434 SEP 17 1990  
 At \_\_\_\_\_ o'clock P.M. Recorded in Vol. 90C  
 of records of said County Folio 255  
 Deputy Clerk

LINE TABLE

| LINE | BEARING     | DISTANCE |
|------|-------------|----------|
| A    | N26°37'20"W | 100.74'  |
| B    | N56°14'W    | 58.71'   |
| C    | N18°05'49"W | 90.04'   |
| D    | S04°18'E    | 52.00'   |
| E    | S08°29'W    | 73.00'   |
| F    | S12°04'E    | 54.00'   |
| G    | S12°38'W    | 98.90'   |

CURVE TABLE

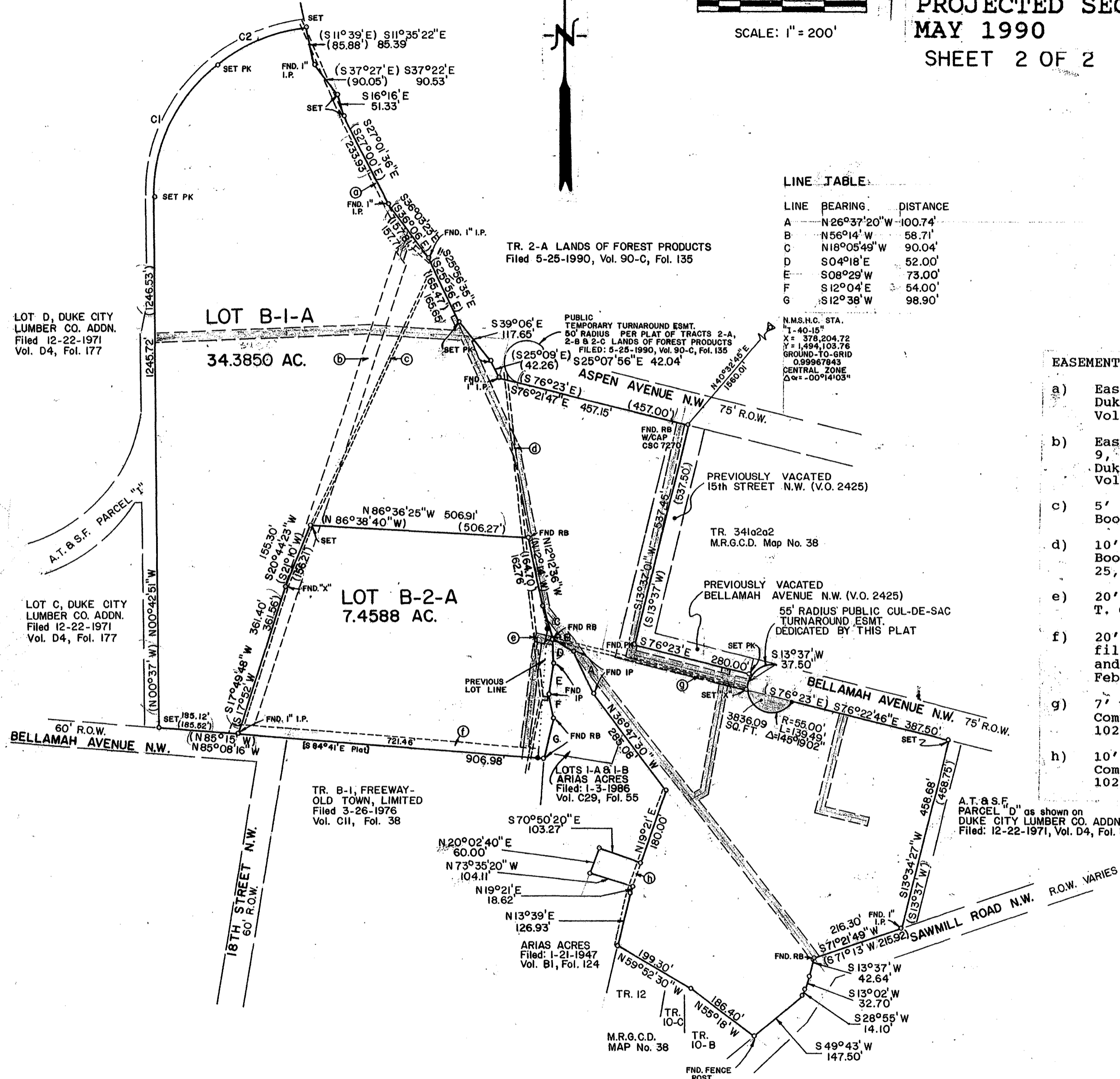
| CURVE | LENGTH  | RADIUS  | CHORD BEARING | CHORD DISTANCE | DELTA     |
|-------|---------|---------|---------------|----------------|-----------|
| C1    | 344.37' | 386.20' | N24°55'41"E   | 333.07'        | 51°05'22" |
| C2    | 227.33' | 400.28' | N66°44'34"E   | 224.29'        | 32°32'24" |

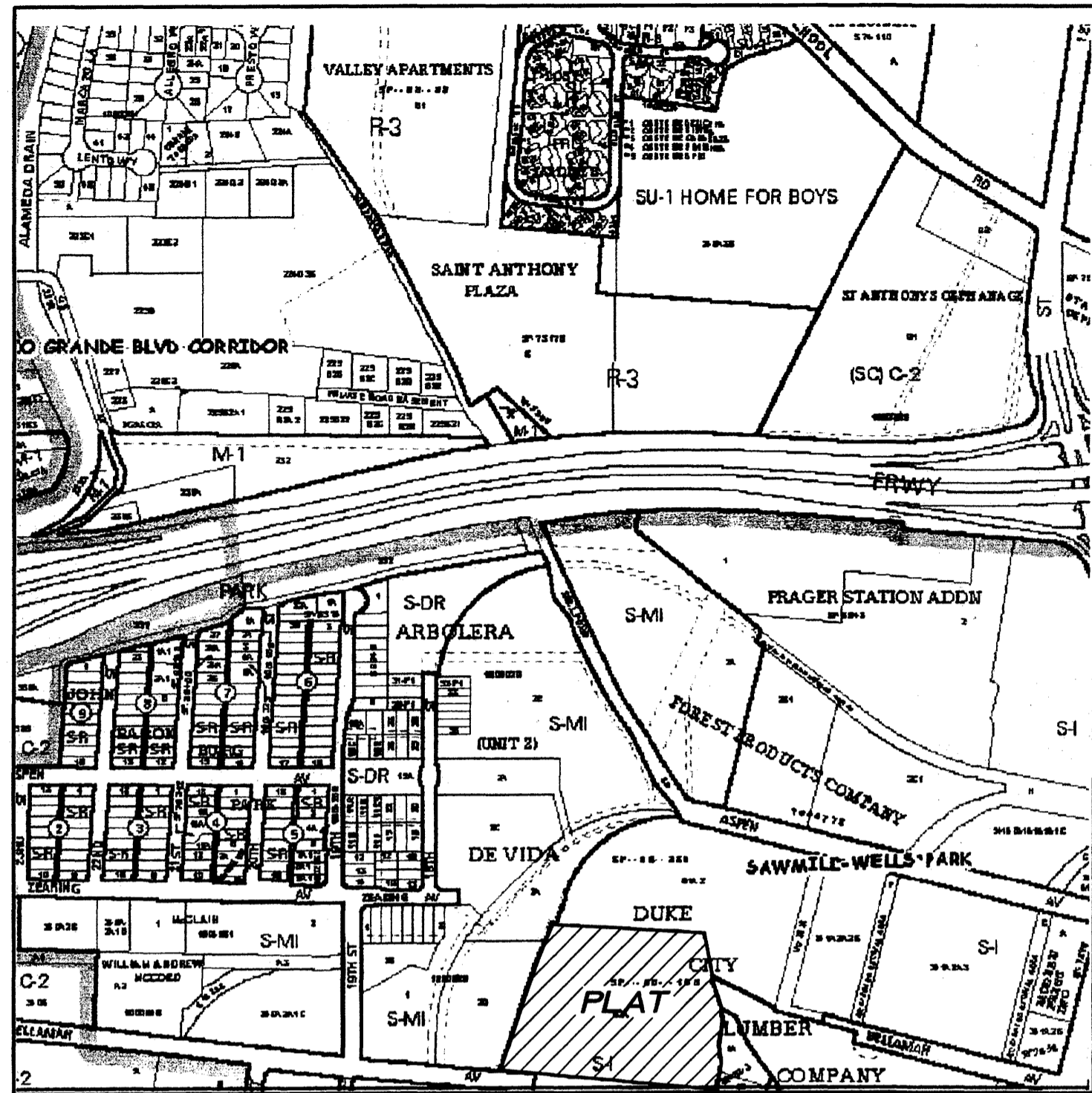
EASEMENT TABLE

- a) Easement to the City of Albuquerque per plat of Lot "B" Duke City Lumber Company Addition filed on April 4, 1978; Volume D8, Folio 102.
- b) Easement to the City of Albuquerque per document filed April 9, 1968; Book Misc. 99, Pages 776-781, and per plat of Lot "B" Duke City Lumber Company Addition filed April 4, 1978; Volume D8, Folio 102.
- c) 5' P.N.M. easement per document filed March 18, 1950; Book D135, Page 547.
- d) 10' P.N.M. easement per document filed June 25, 1968; Book Misc. 107, Pages 297-300 and per document filed June 25, 1968; Book Misc. 107, Pages 301-304.
- e) 20' x 20' substation easement to P.N.M. and M.S.T. and T. Company filed June 2, 1969; Book Misc. 139, Page 478.
- f) 20' easement to the City of Albuquerque per document filed September 24, 1969; Book Misc. 151, Pages 32-34 and 20' easement to Southern Union Gas Company filed February 6, 1970; Book Misc. 163, Pages 779-780.
- g) 7' utility easement per plat of Lot "B" Duke City Lumber Company Addition filed April 4, 1978; Volume D8, Folio 102.
- h) 10' ditch easement per plat of Lot "B" Duke City Lumber Company Addition filed April 4, 1978; Volume D8, Folio 102.

All easements shown as are 20' public waterline utility easements granted by this plat.

The locations of the "granted" easements are approximate.





VICINITY MAP  
Not to Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD27) and rotated to grid at the Albuquerque Control Survey Monument "5-J13A".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page H-13.
- U.C.L.S. Log Number 2007292230.
- Zoning: ~~S-1~~ S-1.

**PURPOSE OF PLAT**

The purpose of this plat is to

- Subdivide existing Lot B-2-A into 2 Tracts and 8 Lots as shown hereon.
- Show the Public and Private Easements Vacated by 07DRB-00499 and 07DRB-00500.
- Grant the new easements as shown hereon.

**SUBDIVISION DATA**

- Total number of existing Lots : 1
- Total number of Tracts created: 2
- Total number of Lots created: 8
- Gross Subdivision acreage: 7.4628 acres.

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

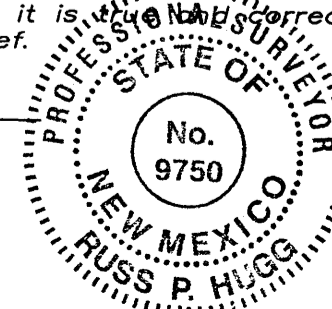
**DISCLAIMER**

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is, to the best of my knowledge and belief, correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
June 7, 2007



**PLAT OF  
SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JUNE, 2007

PRELIMINARY PLAT  
APPROVED BY DRB  
ON \_\_\_\_\_

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

Utility Approvals:

PNM Gas and Electric Services \_\_\_\_\_ Date \_\_\_\_\_

QWest Corporation \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

City Approvals:  
City Surveyor *[Signature]* \_\_\_\_\_ Date 6/19/07

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Utilities Development \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

SHEET 1 OF 4

**SURVOTEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366  
Fax: 505-897-3377

PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JUNE, 2007

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Albuquerque Grant in projected Sections 7 and 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising All of Lot B-2-A, Duke City Lumber Company Addition as the same is shown and designated on the plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION IN THE CITY OF ALBUQUERQUE, NEW MEXICO, PROJECTED SECTIONS 7 AND 18, T.10 N., R.3 E., N.M.P.M.", filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990 in Volume 90C, Folio 222.

Said Parcel contains 7.4628 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF SAWMILL VILLAGE (BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION  
SAWMILL COMMUNITY LAND TRUST

By: Connie Chavez  
Connie Chavez, Executive Director

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

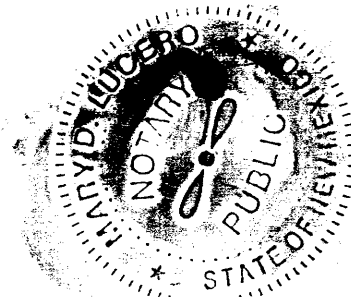
This instrument was acknowledged before me on this 15<sup>th</sup> day  
of June, 2007, by Connie Chavez as Executive  
Director of the Sawmill Community Land Trust.

M. J. ...  
Notary Public

9/30/2009  
My Commission expires

**Documents used in the preparation of this survey are as follows:**

- Plat entitled "SECOND CORRECTION PLAT ARBOLERA DE VIDA UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2006, in Plat Book 2006C, page 192.
- Plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION, CITY OF ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990, in Volume 90C, Folio 222.
- ALTA/ASCM Land Title Survey of Lot B-2-A, Duke City Lumber Company Addition prepared by Gary E. Gritsko, New Mexico Professional Surveyor Number 8686, dated February 2004.
- Title Report prepared for this property by First American Title Company Insurance Company, Commitment for Title Insurance Numbers 973013-AL16, LMC, dated January 26, 2007 and 979513-AL16, LC, dated February 7, 2007.



GRAPHIC SCALE



( IN FEET )  
1 inch = 60 ft.

| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 66.67' | N21°31'49"E |
| L2   | 17.92' | S86°09'28"E |
| L3   | 90.04' | S18°03'44"E |
| L4   | 52.03' | S03°42'11"E |
| L5   | 72.89' | S09°00'10"W |
| L6   | 54.04' | S11°12'29"E |

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 320.82' | 621.36' | 164.07' | 317.26' | S16°49'54"W   | 29°34'58" |

PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN  
THE TOWN OF ALBUQUERQUE GRANT  
IN

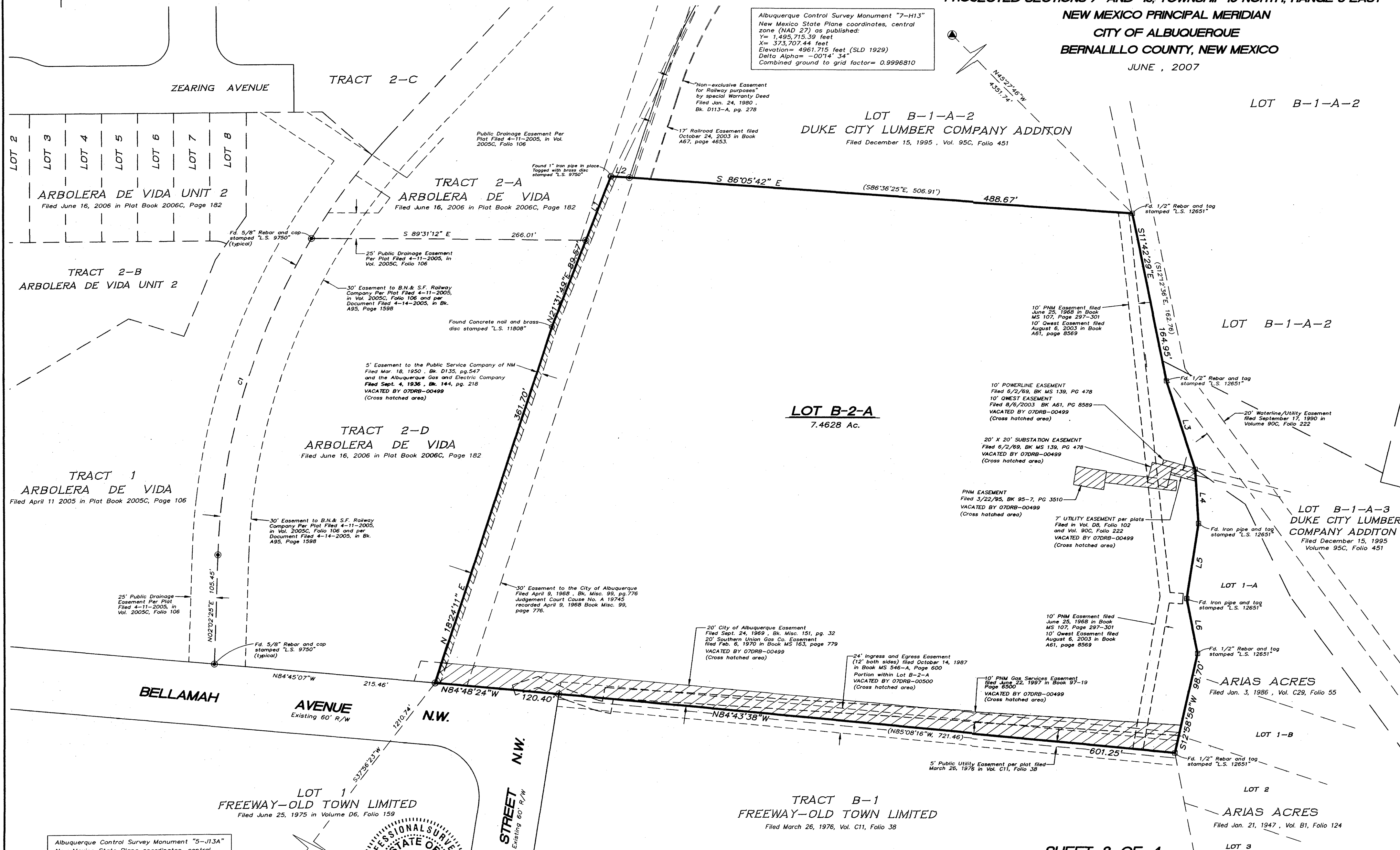
PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

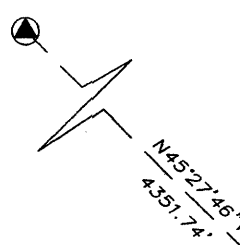
CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

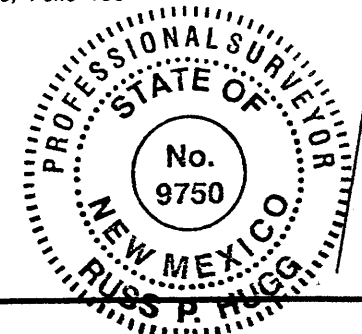
JUNE, 2007



Albuquerque Control Survey Monument "7-H13"  
New Mexico State Plane coordinates, central zone (NAD 27) as published:  
Y = 1,495,715.39 feet  
X = 373,707.44 feet  
Elevation = 4361.715 feet (SLD 1929)  
Delta Alpha = -00'14" 34"  
Combined ground to grid factor = 0.9996810



Albuquerque Control Survey Monument "5-J13A"  
New Mexico State Plane coordinates, central zone (NAD 27) as published:  
Y = 1,491,255.48 feet  
X = 375,387.46 feet  
Elevation = 4957.87 feet (SLD 1929)  
Delta Alpha = -00'14" 22"  
Combined ground to grid factor = 0.9996807



EXISTING PLAT BOUNDARIES AND EASEMENTS  
AND EASEMENTS VACATED BY 07DRB-00499 AND 00500.

SHEET 3 OF 4

**SURV TEK, INC.**

Consulting Surveyors  
8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

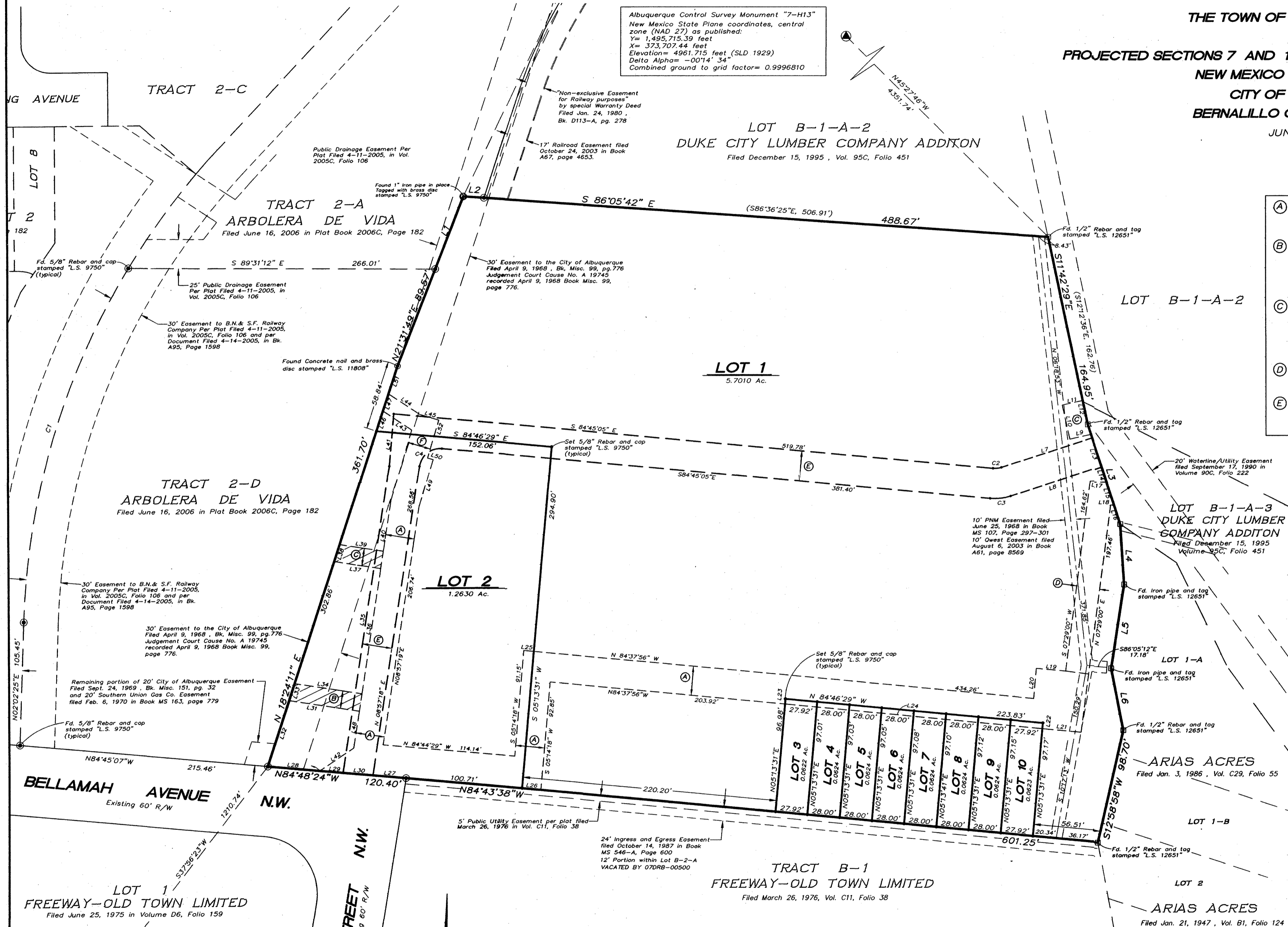
# PLAT OF SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)  
 WITHIN  
 THE TOWN OF ALBUQUERQUE GRANT  
 IN  
 PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2007

## NEW TRACTS, LOTS AND EASEMENTS

| CURVE TABLE |        |        |         |        |               |           |
|-------------|--------|--------|---------|--------|---------------|-----------|
| CURVE       | LENGTH | RADIUS | TANGENT | CHORD  | CHORD BEARING | DELTA     |
| C2          | 7.32'  | 18.00' | 3.71'   | 7.27'  | N83°35'43"E   | 23°18'23" |
| C3          | 17.90' | 44.00' | 9.07'   | 17.77' | N83°35'43"E   | 23°18'23" |
| C4          | 27.11' | 18.00' | 16.87'  | 24.62' | S52°06'06"W   | 86°17'37" |

Albuquerque Control Survey Monument "7-H13"  
 New Mexico State Plane coordinates, central zone (NAD 27) as published:  
 Y= 1,495,715.39 feet  
 X= 373,707.44 feet  
 Elevation= 4961.715 feet (SLD 1929)  
 Delta Alpha= -00°14' 34"  
 Combined ground to grid factor= 0.9996810

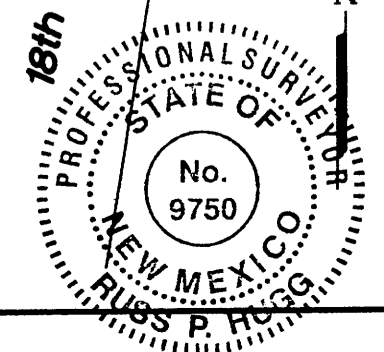
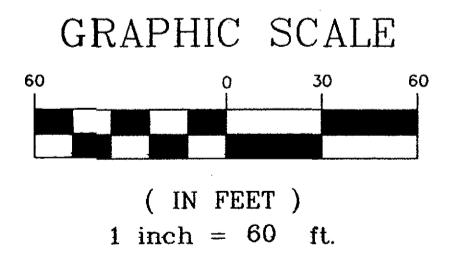


- ### NEW EASEMENT LEGEND
- (A) 25' Public Sanitary Sewer and Water Easement granted to the City of Albuquerque by this plat.
  - (B) 15' Private Sanitary Sewer Easement granted by this plat for the benefit of Lot 2-D, Arbolera De Vida. Maintenance of said easement to be the responsibility of the owner(s) of said Lot 2-D.
  - (C) 15' Private Sanitary Sewer Easement for Building "C" granted by this plat for the benefit of Lot 2-D, Arbolera De Vida. Maintenance of said easement to be the responsibility of the owner(s) of said Lot 2-D.
  - (D) 20' Public Waterline Easement granted to the City of Albuquerque by this plat.
  - (E) 26' Public Access Easement granted to the City of Albuquerque by this plat.

### LINE TABLE

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L7   | 82.73'  | N71°56'32"E |
| L8   | 82.73'  | N71°56'32"E |
| L9   | 18.81'  | S77°33'02"W |
| L10  | 30.00'  | N12°26'58"W |
| L11  | 18.20'  | N77°33'02"E |
| L12  | 21.02'  | S11°42'29"E |
| L13  | 26.00'  | S18°03'28"E |
| L14  | 13.49'  | S18°04'16"E |
| L15  | 21.02'  | S18°03'44"E |
| L16  | 17.35'  | S18°03'44"E |
| L17  | 14.05'  | N89°50'06"E |
| L18  | 3.02'   | N89°50'06"E |
| L19  | 25.41'  | S84°46'29"E |
| L20  | 25.97'  | N05°13'31"E |
| L21  | 33.63'  | S84°37'56"E |
| L22  | 5.02'   | N05°13'31"E |
| L23  | 4.47'   | N05°13'31"E |
| L24  | 223.83' | S84°37'56"E |
| L25  | 8.71'   | S84°37'56"E |
| L26  | 16.27'  | S84°43'38"E |
| L27  | 28.91'  | S84°48'24"E |
| L28  | 45.31'  | S84°48'24"E |
| L29  | 20.12'  | S84°48'24"E |
| L30  | 26.06'  | S84°48'24"E |
| L31  | 41.12'  | N81°04'39"W |
| L32  | 59.34'  | N18°24'11"E |
| L33  | 15.21'  | N18°24'11"E |
| L34  | 59.05'  | S81°04'39"E |
| L35  | 266.45' | N08°57'18"E |
| L36  | 108.71' | N08°57'19"E |
| L37  | 40.96'  | N81°04'39"W |
| L38  | 15.21'  | N18°24'11"E |
| L39  | 38.47'  | S81°04'39"E |
| L40  | 44.98'  | N09°04'25"E |
| L41  | 44.97'  | N05°11'41"E |
| L42  | 35.18'  | N56°47'28"E |
| L43  | 29.87'  | N56°40'12"W |
| L44  | 32.21'  | S56°40'12"E |
| L45  | 17.32'  | S73°13'40"E |
| L46  | 18.12'  | N18°24'11"E |
| L47  | 15.52'  | N18°24'11"E |
| L48  | 31.98'  | N08°58'14"E |
| L49  | 42.54'  | N16°46'20"E |
| L50  | 5.00'   | N73°13'40"W |
| L51  | 25.19'  | N18°24'11"E |
| L52  | 33.91'  | N16°46'20"E |

**NOTE**  
 Lots 1 thru 10, Sawmill Village are subject to that certain  
 "DECLARATION OF CROSS ACCESS AND DRAINAGE EASEMENTS"  
 filed in the office of the County Clerk of Bernalillo County, New Mexico  
 on the \_\_\_\_ day of \_\_\_\_\_, 2007, in Book \_\_\_\_\_, Page \_\_\_\_\_.



**SHEET 4 OF 4**  
**SURVOTEK, INC.**  
 Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377

**PROJECT DATA:**

Address: 18th Street and Bellamah Avenue N.W.

Zone/Alas Page: H & J-15-Z

**The Site**

Consists of the following 2 parcels to be replatted through the Development Review Board:

Existing Parcel 1 (to be replatted in Phase II):

Legal Description:

Tract 2-D of the Arbolera de Vida subdivision, Albuquerque, New Mexico, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 11, 2005 in Plat Book 2005C, Page 106

Existing Zoning: S-M1

Acres: 2.5132

Existing Parcel 2:

Legal Description:

Lot "B-2-A" of the Plat of the Lots B-1-A and B-2-A of Duke City Lumber Company Addition, to the City of Albuquerque, Bernalillo County, New Mexico, within projected Sections 7 and 18, T. 10 N., R. 3 E., N.M.P.M., as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990 in Plat Book 90-C, Page 222

Address: 1701 Bellamah Ave. N.W.

Existing Zoning: S-1

Acres: 7.4628

Total acreage for both sites is 9.976

Phase I site will be replatted into 10 Lots, as shown on the Site Development Plan for Subdivision. Cross access and drainage easements for Lots 1 - 10 provided (shown on plat).

**Proposed Use**

SU-2/SU-1 for PRD with Small Brewery.

Site is being developed in two phases as mixed-use with housing, retail and active space (small rental spaces for artisan and incubator office space). Phase II has two single story Retail buildings and a building with Active Spaces and Apartments above. The following is Phase I development: Lot 2 is ground floor Retail and two floors of Condominiums above. Lot 1 has two buildings with ground floor Active Spaces and Apartments on two floors above. The remaining three buildings on Lot 1 are Apartments on three floors. Lots 3 - 10 are Townhomes (eight total).

C1 and O1 permissive use allowed in PRD up to 25% of Total Gross Floor Area of Development.

**Pedestrian Ingress & Egress**

The existing public sidewalk at along 18th Street is extended into the site and continues the length of the property along Bellamah. At the east side of the site is an opening for a potential connection with the adjacent development. A pedestrian trail is connected to this development. Sidewalks and plaza areas provide for on site connectivity and separation from vehicular traffic.

**Vehicular Ingress & Egress**

Primary access is from 18th and Bellamah. A potential connection to Bellamah is provided on the east side of the property.

**Internal Circulation Requirements**

Access is via drive aisles, 26' and 24' wide. Radii and parking spaces are shown on the Site Plan in compliance with the City D.P.M. An emergency vehicle path is shown on the north parking area across a roll-down curb and the paved plaza. This plan meets the criteria of City Traffic, Fire Marshal, and Solid Waste Department.

**Open Space (as defined in Zoning Code 14-16-1-5 and per R2 zone 14-16-2-11-H)**

Phase I

Required: (49 units @ 400 sf/unit) + (62 units @ 500sf/unit) + (63 units @ 600sf/unit) = 88,400 sf

Provided: 125,326 sf (does not include balconies)

Phase II

Required: 10 units @ 500sf/unit = 5,000sf

Provided: 29,663 sf (does not include railroad easement or pond)

**Maximum Building Heights**

Buildings A1 and A2: 36' maximum

Building B: 48' maximum

Building C: 45' maximum

Buildings D1, D2, E1, E2, E3: 45' maximum

Townhomes F: 28' maximum

**Minimum Building Setbacks**

South: 15'; East: 30'; North: 30'; West: 30'

Accessory buildings allowed minimum setback of 0' lot line (14-16-3-3)

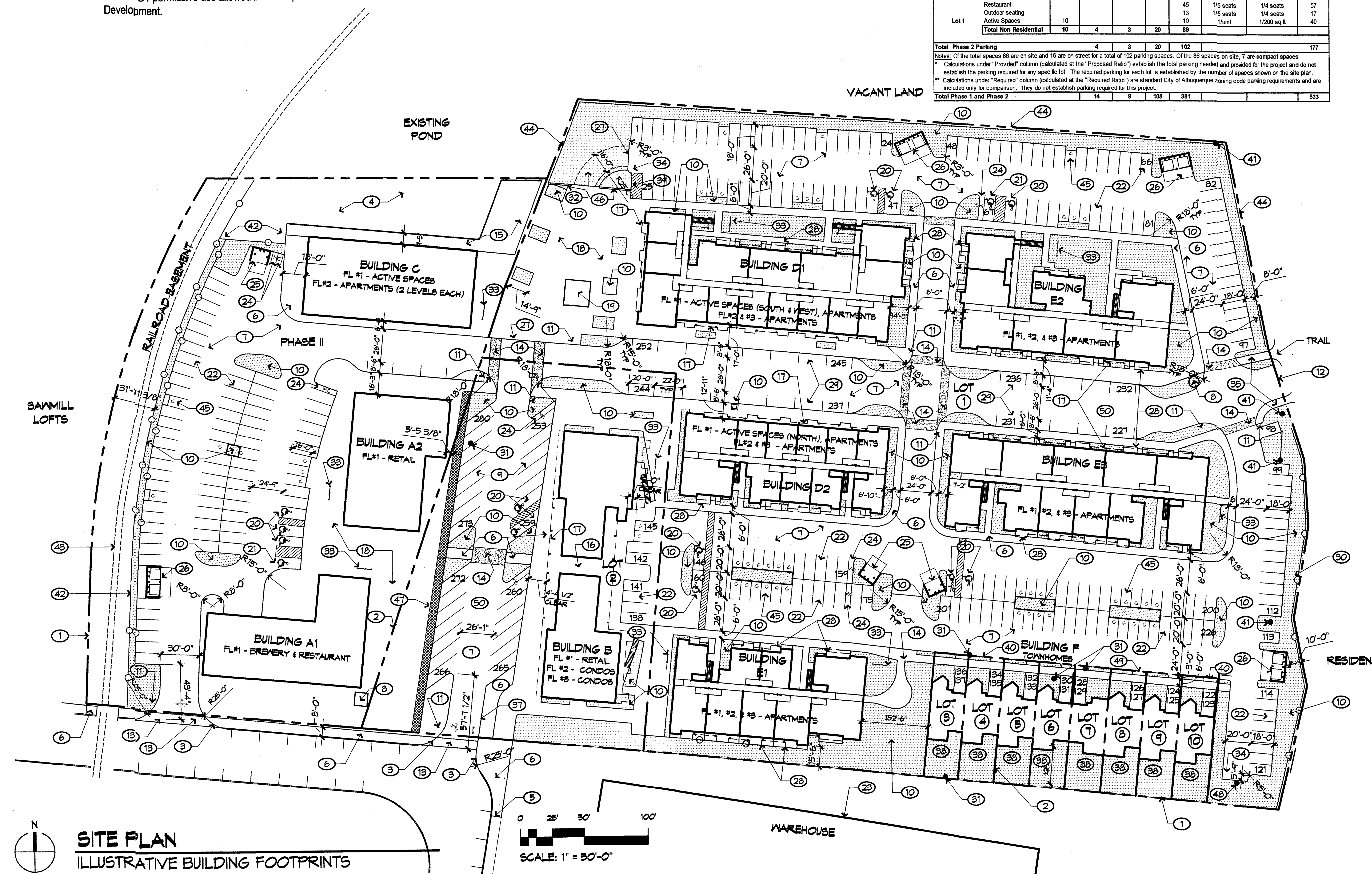
**Residential Development Density:**

Density shall not exceed 20 DU's per acre.

| Phase                                    | Building  | Lot Size                                    | Building Footprint | Retail SF | Active Space SF | Total Building SF |         |
|--|---|---|--------------------|-----------|-----------------|-------------------|---------|
| Phase 1                                  | Building B<br>FL #1 - Retail<br>FL #2 & 3 - Condos - 20                             | 55,916                                      | 8,694              | 8,694     | 0               | 34,700            |         |
|  | Building D1<br>FL #1 - Active Spaces - 10<br>FL #2 & 3 - Apartments - 35            | 248,336                                     | 13,774             | 0         | 6,234           | 35,724            |         |
|  | Building D2<br>FL #1 - Active Spaces - 6<br>FL #2 & 3 - Apartments - 27             |   | 9,031              | 0         | 3,934           | 15,867            |         |
|  | Building E1<br>FL #1, 2, & 3 - Apartments - 27                                      |   | 8,860              | 0         | 0               | 26,159            |         |
|  | Building E2<br>FL #1, 2, & 3 - Apartments - 24                                      |   | 9,434              | 0         | 0               | 30,565            |         |
|  | Building E3<br>FL #1, 2, & 3 - Apartments - 33                                      |   | 12,257             | 0         | 0               | 36,187            |         |
|  | Building F<br>FL #1 - Active Spaces - 10<br>FL #2 - Apartments (2 Levels each) - 10 | 21,732                                      | 8,847              | 0         | 0               | 17,284            |         |
|  | Total of 8 Lots = Approx. 2,700 SF Each   |   | 21,732             | 8,847     | 0               | 17,284            |         |
|  | Total Phase 1 Buildings   |   | 325,684            | 70,697    | 8,694           | 10,167            | 251,586 |
|  | Phase 2   | Building A1<br>FL #1 - Brewery & Restaurant | 106,476            | 7,500     | 7,500           | 0                 | 7,500   |
| Building A2<br>FL #1 - Retail            |   |   | 7,000              | 7,000     | 0               | 7,000             |         |
| Building C<br>FL #1 - Active Spaces - 10 |   |   | 8,000              | 0         | 8,000           | 16,000            |         |
| Total Phase 2 Buildings                  |   | 106,476                                     | 22,500             | 14,500    | 8,000           | 30,500            |         |
| Total Phase 1 and Phase 2                |   | 432,160                                     | 93,197             | 23,194    | 18,167          | 282,086           |         |

Notes:  
 1. All Square Footage is Approximate.  
 2. O-1 + C-1 Permissive Uses = 41,362 SF / Total Building SF (Total Gross Floor Area of Development) of 232,086 = 18%, under 25% allowed in PRD.  
 3. Dwelling Units not to exceed a maximum of 180 Units.

| Phase  | Units                 | Accessible | Motorcycle | Bicycle      | Proposed Ratio | Required Ratio    | Required |  |
|--|-----------------------|------------|------------|--------------|----------------|-------------------|----------|--|
| Phase 1  | Residential           |            |            |              |                |                   |          |  |
|  | Lot 2                 | 20         |            |              | 1.25/unit      | 1.5 or > 1000sf+2 | 30       |  |
|  | Lot 3                 | 146        |            |              | 1.25/unit      | 1.5 or > 1000sf+2 | 219      |  |
|  | Lot 4 to 11           | 8          |            |              | 16             | 2/unit            | 16       |  |
|  | Total Residential     | 174        |            |              | 234            |                   | 285      |  |
| Non Residential  | Lot 2                 | 16         |            |              | 3/1000 sq ft   | 1/200 sq ft       | 39       |  |
|  | Lot 3                 | 16         |            |              | 16             | 1/200 sq ft       | 52       |  |
|  | Total Non Residential | 32         |            |              | 39             |                   | 91       |  |
| Visitor  |                       |            |            |              |                |                   | 16       |  |
| Total Phase 1 Parking  |                       | 10         | 6          | 88           | 279            |                   | 358      |  |
| Note: Of the 279 spaces, 44 are compact spaces   |                       |            |            |              |                |                   |          |  |
| Phase 2  | Residential           |            |            |              |                |                   |          |  |
|  | Lot 1                 | 10         |            |              | 1.25/unit      | 1.5 or > 1000sf+2 | 15       |  |
|  | Total Residential     | 10         |            |              | 13             |                   | 15       |  |
|  | Non Residential       |            |            |              |                |                   |          |  |
|  | Lot 1                 | 16         |            |              | 3/1000 sq ft   | 1/200 sq ft       | 30       |  |
| Micro Brewery  | 45                    |            |            | 1/1000 sq ft | 1/1000 sq ft   | 3                 |          |  |
| Restaurant   | 13                    |            |            | 1/2 seats    | 1/4 seats      | 57                |          |  |
| Outdoor seating  | 10                    |            |            | 1/2 seats    | 1/4 seats      | 17                |          |  |
| Active Spaces  | 10                    |            |            | 1/unit       | 1/200 sq ft    | 40                |          |  |
| Total Non Residential  | 10                    | 4          | 3          | 28           | 88             |                   | 117      |  |
| Total Phase 2 Parking  |                       | 4          | 3          | 20           | 102            |                   | 127      |  |
| Notes: Of the total spaces 85 are on site and 16 are on street for a total of 102 parking spaces. Of the 85 spaces on site, 7 are compact spaces   |                       |            |            |              |                |                   |          |  |
| * Calculations under "Provided" column (calculated at the "Proposed Ratio") establish the total parking needed and provided for the project and do not establish the parking required for any specific lot. The required parking for each lot is established by the number of spaces shown on the site plan. |                       |            |            |              |                |                   |          |  |
| * Calculations under "Required" column (calculated at the "Required Ratio") are standard City of Albuquerque zoning code parking requirements and are included only for comparison. They do not establish parking required for this project.   |                       |            |            |              |                |                   |          |  |
| Total Phase 1 and Phase 2  |                       | 14         | 9          | 108          | 381            |                   | 533      |  |



**GENERAL NOTES**

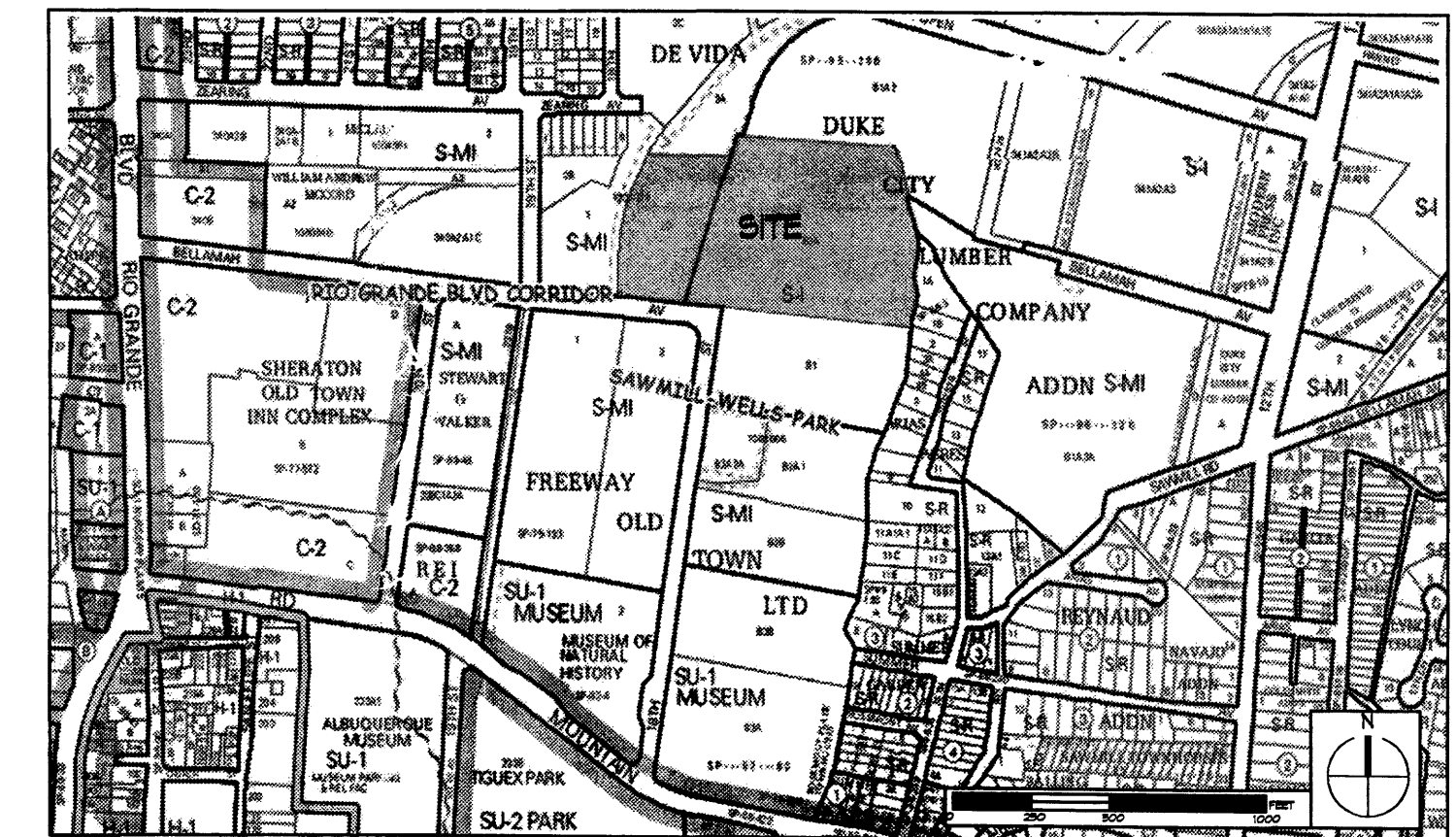
- A. All existing Structures, Paving, Fencing, Walls, Foundations; Sidewalks, to be Demolished and Removed.
- B. Accessible curb cuts and ramps provided throughout site.
- C. Phase I: All development on Lots 1-10
- D. Phase II: All development on Phase II
- E. See Plat for all easements.

**SHEET INDEX:**

|       |                                       |
|-------|---------------------------------------|
| SDP1  | Site Development Plan for Subdivision |
| SDP2  | Landscape Plan                        |
| SDP3  | Design Standards & Context Graphic    |
| SDP4  | Buildings D & E Elevations            |
| SDP5  | Building B Elevations                 |
| SDP6  | Building F Elevations                 |
| SDP7  | Not Used                              |
| SDP8  | Conceptual Grading Plan               |
| SDP9  | Conceptual Drainage Management Plan   |
| SDP10 | Conceptual Utility Plan               |

**KEYED NOTES**

1. Property line, Typ.
2. Lot line, Typ.
3. New curb cut for site access drive
4. Drainage pond, see Conceptual Grading Plan
5. Existing sidewalk to remain
6. Concrete sidewalk
7. Asphalt Drive, Aisle and Parking Spaces
8. Entry feature from salvaged site metal/equipment.
9. 45' Parking space per D.P.M. Figure 23.7.1
10. Landscaping, typ. (See Landscape Plan)
11. 18"x18" Stop Sign
12. Future connection to Bellamah Street
13. Colored concrete drive per C.O.A. Std.
14. Decorative paving
15. Plaza extended over pond w/guardrail surround
16. Pedestrian passageway
17. Building overhang with columns
18. Plaza, w/decorative paving & landscaping
19. Relocated steel Sawdust Hopper
20. Accessible parking space, 8 1/2' W. x 20' L. space W/5' W. aisle.
21. Accessible van parking, 9' W. x 20' L. space W/9' W. aisle.
22. Standard parking space, 8 1/2' W. x 20' L., typ. (18' L. where perimeter landscape strip)
23. Building on adjacent property (more than 20' from property line)
24. Motorcycle space, 4' W. x 8' L. min., typ.
25. Single refuse containers, enclosure & concrete apron
26. Double refuse containers, enclosure and concrete apron
27. Mountable roll curb for emergency vehicle access
28. Patio enclosure, 5' high maximum, typ.
29. Parallel parking, typ.
30. 10' wide minimum landscape setback W/6' high planted open fencing
31. Existing power pole to be removed
32. Gravel with roll-up curb for emergency vehicle traffic.
33. Bicycle rack
34. Vehicle back-up space
35. Sidewalk connection to pedestrian trail on adjacent property
36. Not used.
37. 12' L. mountable roll curb for utility vehicle access
38. Backyard walls, 6' high maximum
39. Dedicated back-up space (No Parking)
40. Curb, 3' wide planting strip, and 6' wide sidewalk.
41. Existing power pole to remain.
42. Open steel tube fence, 6' high, to match fence at Sawmill Lofts.
43. Existing railroad tracks
44. Open metal fence w/vines
45. Compact parking space, 6'W. x 15'L., typ.
46. 6' high decorative wall
47. Sidewalk at west edge of diagonal parking curb to be constructed in Phase II
48. New location of power pole
49. Townhome driveway with apron at sidewalk to allow vehicle access
50. 26' public access easement at drive aisle starting east at Bellamah connection and south to 18th Street.



**VICINITY MAP**

ZONING ATLAS PAGE: H&J-13-Z  
 PROJECT NUMBER: 1005354

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 03/16/2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG rights with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

|  |      |
|--|------|
| Traffic Engineering, Transportation Division   | Date |
| Water Utility Department                       | Date |
| Parks and Recreation Department                | Date |
| City Engineer                                  | Date |
| *Environmental Health Department (conditional) | Date |
| Solid Waste Management                         | Date |
| DRB Chairperson, Planning Department           | Date |

**SPS**  
 PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON \_\_\_\_\_ Date

**GENERAL NOTES**

1. CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
2. REFER TO CIVIL ENGINEER'S UTILITY, EASEMENT AND GRADING PLANS FOR UTILITY LOCATION, EXISTING AND PROPOSED EASEMENTS AND GRADING.
3. SEE SITE PLAN FOR DESCRIPTIONS OF HARD ELEMENTS SUCH AS PAVING TYPES, SITE FURNISHINGS AND SITE ELEMENTS.

**IRRIGATION NOTES**

1. IRRIGATION DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
2. INSTALLATION AND MAINTENANCE OF IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME SHALL BE ADJUSTED ACCORDING TO SEASON, LOCATION AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT SOD AND POSSIBLY PERENNIAL GROUNDCOVERS. THESE AREAS SHALL BE IRRIGATED WITH SPRAY EMITTERS APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.
4. THE USE OF HIGH WATER USE PLANT MATERIALS SHALL BE LIMITED.
5. POINT OF CONNECTION: A CONNECTION TO POTABLE WATER FOR IRRIGATION PURPOSES WILL BE MADE ON THE PROPERTY. VALVE BOXES AND EQUIPMENT SHALL BE SHIELDED FROM VIEW.

**KEYED NOTES**

1. PROPERTY LINE
2. TREE IN 36 SF TREE GRATE PER GENERAL REG 14-16-3-10, 6.1.C.
3. BIKE RACK
4. DUMPSTER ENCLOSURE
5. PROPOSED POND SEE CIVIL ENGINEER'S DRAWINGS.
6. FOCAL POINT, SEE SITE PLAN.
7. PHASE DELINEATION LINE.

**LANDSCAPE CALCULATIONS**

SITE AREA: 434,554 (PHASE 1: 325,084 SF, PHASE 2: 109,470 SF)  
BUILDING FOOTPRINT: 45,147 SF  
NET SITE AREA: 341,362 SF

REQUIRED LANDSCAPE AREA: 51,204 SF (15% OF NET LOT AREA)  
PROVIDED LANDSCAPE AREA: 71,876 SF (23% OF NET LOT AREA)  
PHASE 1: 60,448 SF  
PHASE 2: 11,428 SF

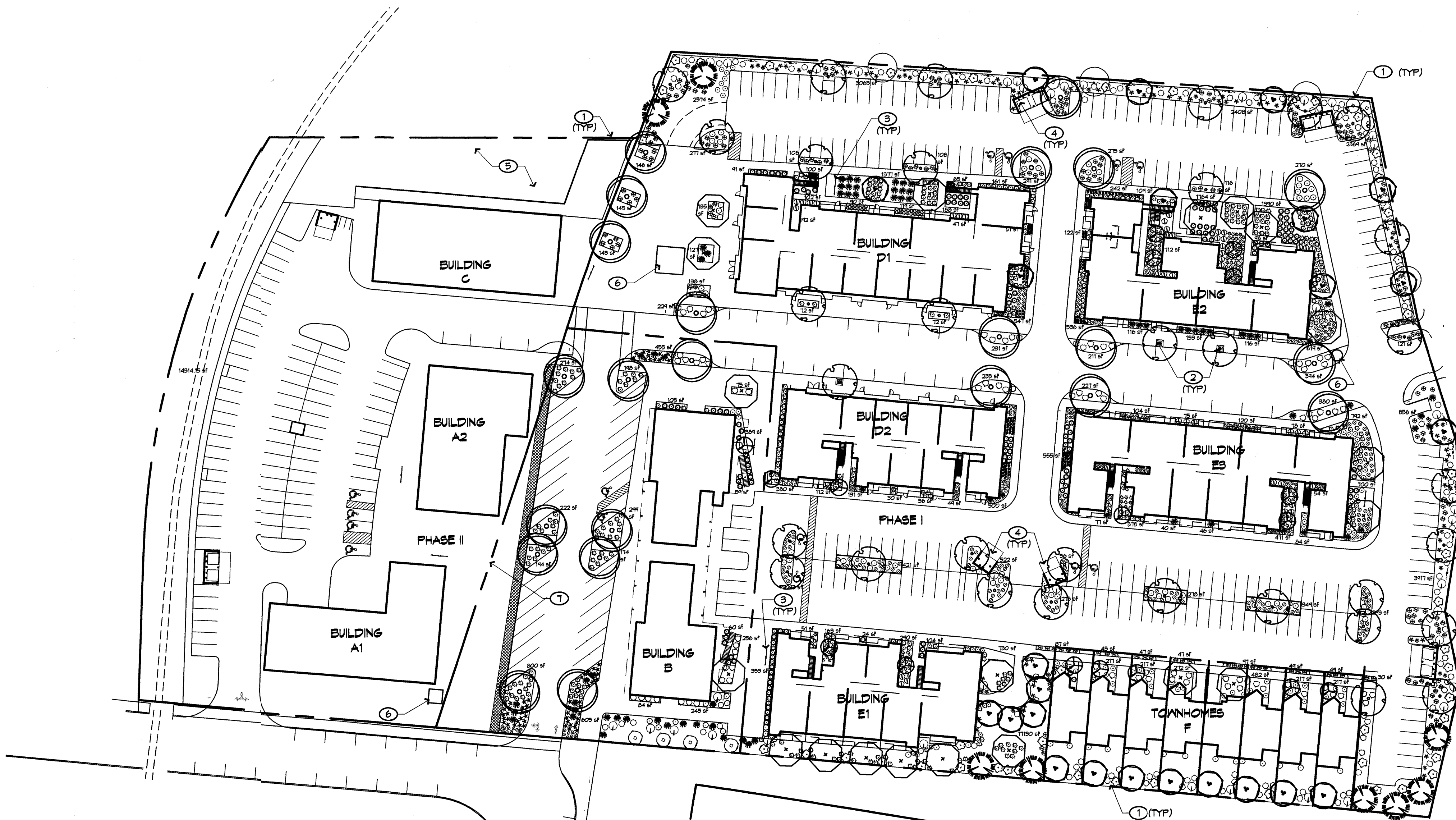
REQUIRED OFF-STREET PARKING TREES: 36 TREES  
PROVIDED OFF-STREET PARKING TREES: 46 TREES  
PHASE 1: 36 TREES  
PHASE 2: 10 TREES (ASSUMED)

REQUIRED MULTI-FAMILY RESIDENTIAL TREES: 83 TREES  
PROVIDED MULTI-FAMILY RESIDENTIAL TREES: 86 TREES  
PHASE 1: 81 TREES  
PHASE 2: 5 TREES (ASSUMED)

PROVIDED HIGH WATER USE TURF AREA: 0 SF (0%)  
ALLOWED HIGH WATER USE TURF AREA: 10,145 SF (20%)

**PLANTING NOTES**

1. LANDSCAPE DESIGN:  
THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO REINFORCE A SENSE OF PLACE WITH PLANTS THAT ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE AND LOCAL. GRASSES AND ACCENT PLANTS SUCH AS YUCCA AND SOTOL WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. LANDSCAPE DESIGN WILL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE AND 14-16-3-10 OF THE CITY OF ALBUQUERQUE GENERAL REGULATIONS.
2. EXISTING PLANT MATERIAL:  
THERE IS SOME LARGE SIZE VEGETATION ON THE SITE, HOWEVER IT IS OF POOR QUALITY AND WILL BE REMOVED. THE SITE HAS BEEN DISTURBED, OTHER EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AT LOW DENSITIES.
3. PLANTING INSTALLATION AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER INCLUDING AND REPLACEMENT OF NON-SURVIVING PLANTS WITHIN 90 DAYS.
4. LANDSCAPE BEDS SHALL ACHIEVE A MINIMUM 80% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY.
5. MULCH: ALL LANDSCAPE AREAS, EXCEPT FOR SODDED AREAS, SHALL BE COVERED WITH 2" OF ROCK MULCH IN ORDER TO MINIMIZE WEED GROWTH, ADD VISUAL INTEREST, AND PROTECT SOIL MOISTURE. COLOR TO BE DETERMINED. SEE PLAN FOR LOCATION.
6. CONTRACTOR SHALL VERIFY PLANT COUNTS AND SQUARE FOOTAGES. THIS INFORMATION IS PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM PLAN INDICATIONS, PLAN QUANTITIES SHALL PREVAIL.
7. EXACT LOCATION OF PLANT MATERIALS SHALL BE APPROVED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. THE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT PLACEMENT IN THE FIELD. DENSITIES AND OVERALL COUNT OF PLANTS SHALL MEET OR EXCEED THOSE SHOWN IN APPROVED PLAN.
8. ORGANIC SOIL BIOLOGY AMENDMENT SHALL BE APPLIED IN ALL TREE AND PLANT PITS.
9. PLANTS WITH SPINES WILL BE PLANTED 5' FROM WALKS.



| TREES                           |           |                   |                       |                                      |        |       |                    |
|---------------------------------|-----------|-------------------|-----------------------|--------------------------------------|--------|-------|--------------------|
| SYMBOL                          | EST. QTY. | INSTALLED SIZE    | COMMON NAME           | Botanical name                       | Height | Width | Water requirements |
| ⊙                               | 21        | 24" BOX MULTI     | DESERT WILLOW         | Chilopsis linearis                   | 20.00  | 25.00 | Low Water Use      |
| ⊙                               | 18        | 24" BOX MULTI     | DESERT OLIVE          | Forestiera neomexicana               | 12.00  | 12.00 | Medium Water Use   |
| ⊙                               | 23        | 2"-Cal @ 9'x4'    | CHINESE PISTACHE      | Pistacia chinensis                   | 30.00  | 30.00 | Medium Water Use   |
| ⊙                               | 21        | 24"-Box @ 9'x4'   | TEXAS RED OAK         | Quercus texana                       | 25.00  | 30.00 | Medium Water Use   |
| ⊙                               | 35        | 2"-Cal @ 9'x4'    | PURPLE ROBE LOCUST    | Robinia pseudoacacia "Purple Robe"   | 35.00  | 25.00 | Medium Water Use   |
| ⊙                               | 8         | 24"-Box @ 9'x4'   | AFGHAN PINE           | Pinus eldarica                       | 50.00  | 20.00 | Low Water Use      |
| Ground Cover/Grasses/Perennials |           |                   |                       |                                      |        |       |                    |
| SYMBOL                          | EST. QTY. | INSTALLED SIZE    | COMMON NAME           | Botanical name                       | Height | Width | Water requirements |
| ⊙                               | 162       | 1-Gal @ 6"x6"     | PRAIRIE SAGE          | Artemesia ludoviciana                | 1.00   | 2.50  | Low Water Use      |
| ⊙                               | 61        | 1-Gal @ 9"x6"     | ARP ROSEMARY          | Rosmarinus officinalis 'Arp'         | 3.50   | 3.50  | Low Water Use      |
| ⊙                               | 167       | 1-Gal @ 1'x1'     | DWARF MAIDEN GRASS    | Miscanthus sinensis 'Morning Light'  | 4.00   | 3.00  | Medium Water Use   |
| ⊙                               | 377       | 1-Gal @ 9"x6"     | REGAL MIST GRASS      | Muhlenbergia capillaris 'Regal Mist' | 3.50   | 3.00  | Medium Water Use   |
| ⊙                               | 43        | 1-Gal @ 1'x1'     | DEER GRASS            | Muhlenbergia rigens                  | 3.00   | 4.00  | Medium Water Use   |
| ⊙                               | 86        | 1-Gal @ 9"x6"     | MEXICAN HAT           | Ratibida columnaris                  | 2.50   | 2.00  | Low Water Use      |
| ⊙                               | 83        | 1-Gal @ 9"x6"     | CREEPING MAHONIA      | Mahonia repens                       | 1.00   | 2.00  | Medium Water Use   |
| ⊙                               | 208       | 1-Gal @ 1'x1'     | ALKALI SACATON        | Sporobolus airoides                  | 2.00   | 3.00  | Low Water Use      |
| ⊙                               | 160       | 1-Gal @ 9"x6"     | MOONSHINE YARROW      | Achillea x 'Moonshine'               | 2.00   | 1.50  | Low Water Use      |
| ⊙                               | 175       | 1-Gal @ 1'x1'     | BLUE AVENA GRASS      | Helictotrichon sempervirens          | 1.50   | 3.00  | Medium Water Use   |
| Shrub                           |           |                   |                       |                                      |        |       |                    |
| SYMBOL                          | EST. QTY. | INSTALLED SIZE    | COMMON NAME           | Botanical name                       | Height | Width | Water requirements |
| ⊙                               | 48        | 1-Gal @ 1'x1'     | FERNEBUSH             | Chamaebatiaria millefolium           | 8.00   | 6.00  | Low Water Use      |
| ⊙                               | 39        | 1-Gal @ 9"x9"     | DWARF CHAMISA         | Chrysothamnus depressus              | 1.50   | 2.00  | Low Water Use      |
| ⊙                               | 8         | 1-Gal @ 1'x1'     | SILVERBERRY           | Elaeagnus pungens                    | 12.00  | 15.00 | Low Water Use      |
| ⊙                               | 41        | 1-Gal @ 9"x6"     | TURPENTINE BUSH       | Ericameria laricifolia               | 3.00   | 4.00  | Low Water Use      |
| ⊙                               | 47        | 1-Gal @ 1'x1'     | APACHE PLUME          | Fallugia paradoxa                    | 5.00   | 6.00  | Low Water Use      |
| ⊙                               | 48        | 1-Gal @ 1'x1'     | ISANTI REDTNG DOGWOOD | Cornus sericea 'Isanti'              | 4.00   | 5.00  | Medium Water Use   |
| Succulent                       |           |                   |                       |                                      |        |       |                    |
| SYMBOL                          | EST. QTY. | INSTALLED SIZE    | COMMON NAME           | Botanical name                       | Height | Width | Water requirements |
| ⊙                               | 60        | 1-Gal @ 6"x6"     | LECHUGILLA            | Agave lechugilla                     | 1.00   | 3.00  | Low Water Use      |
| ⊙                               | 75        | 1-Gal @ 9"x6"     | SOTOL                 | Dasylirion wheeleri                  | 5.00   | 5.00  | Low Water Use      |
| ⊙                               | 107       | 1-Gal @ 2 PAD MIN | DESERT PRICKLY PEAR   | Opuntia engelmannii                  | 4.00   | 5.00  | Low Water Use      |
| ⊙                               | 104       | 1-Gal @ 12"x12"   | PLAINS YUCCA          | Yucca glauca                         | 2.00   | 3.00  | Low Water Use      |
| Vines                           |           |                   |                       |                                      |        |       |                    |
| SYMBOL                          | EST. QTY. | INSTALLED SIZE    | COMMON NAME           | Botanical name                       | Height | Width | Water requirements |
| ⊙                               | 24        | 1-Gal @ 6"x6"     | CORAL HONEYSUCKLE     | Lonicera sempervirens                | 8.00   | 10.00 | Medium Water Use   |



# Design Standards for Planned Residential Development (PRD)

## Overall Design Theme and Land Use Concept:

The purpose of these design standards is to establish a development framework for the area shown on the site development plan for subdivision. These design standards will create an attractive and innovative development that fosters a mixed-use community for residents, artisans and other small business owners, and retailers and their clients. The new community respects the history of the site (former lumber yard), the neighborhood (historic Sawmill and Old Town), and the City. It also allows for the privacy and well-being of the residents and other users. This mix of uses is unique to the City. These standards are complementary to the existing and new design of adjacent properties.

The housing will be affordable rental, and for-sale condominiums and townhome units (an agreement between Sawmill Community Land Trust & the developer allows for up to 20% of condominiums and townhomes to be affordable units). The Active Spaces will be short-term leased to artisans and incubator companies. Service-oriented Retail spaces might be a health club, management leasing office, and other small businesses. Phase II is envisioned with a restaurant with a small brewery, other retailers, and more Active Spaces with apartments above. Green and sustainable building practices shall be incorporated: passive interception of surface water in parking lot landscape surfaces, xeric planting, directing roof water from downspouts to landscape areas when feasible, Energy Star appliances, and some materials with recycled content.

The sawdust hoppers from the site will be relocated and used as site monuments (see 14-6-3-3 in the Zoning Code). The largest hopper is approximately 75' tall, including its sawdust attachments. Site monuments shall comply with regulations applicable to signs within 40 feet of residential zones and to signs in the O-1 zone, specifically:

- the monuments shall not be on the public right-of-way;
- no part of the monument shall move, flash, or rotate;
- any illumination shall comply with the City's Dark Sky requirements;
- no illuminated portion of the monument shall have a luminance greater than 200 footlamberts at night nor change its illumination more than once an hour.

Various plazas serve both residents and visitors. Semi-private spaces for the residents are shown in the inner areas of the site and residents have private patios, courtyards, balconies, decks or roof decks. Salvage of steel and metal from the site's previous life as a lumber yard will be used on site as signage, markers, and sculpture.

All units that face property zoned industrial shall have sound reducing insulation and windows.

The Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code shall approve minor amendments to this Site Plan for Subdivision. The Environmental Planning Commission shall approve major amendments to this Site Development Plan for Subdivision. Phase II site development plans for building permit are delegated to the DRB for approval.

## Off-Street Parking:

Off-street parking space shall be provided in compliance with other similar mixed-use and infill developments. The site is designed as a shared parking environment for both residential and commercial uses. Parking space design is in compliance with regulation 14-16-3-1. Each townhome has a single-car garage and driveway parking for a second car. See SDP1 for Parking Calculation.

The guidelines also apply to disabled parking, and motorcycle and bicycle parking. Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided. Bicycle racks shall be constructed of metal and finished in colors harmonious with those of the buildings on site.

## Architectural Design Guidelines:

### Landscape

The landscape design for Phase I and Phase II of the project will strive to engage the users by providing a welcoming environment for the residents and public. Through the use of xeric plants outdoor spaces will have seasonal color, texture and scale and will compliment the architecture. Trees will be used to provide shade in pedestrian areas, highlight intersections and establish hierarchy of streets. Accent plants will be used to emphasize entries and provide sculptural interest. The remainder of the plant palette will be a mixture of shrubs, ornamental grasses and groundcovers. The landscape design will comply with the intent of the city of Albuquerque Water Conservation, Landscaping and Water Waste ordinance and 14-16-3-10 of the city of Albuquerque General Regulations.

A landscape plan for Phase II shall be included with the (first) site development plan for building permit of a building on the Phase II property, reflecting the calculations, plant palette and design theme of the approved Phase I landscape plan.

### Exterior Wall Materials and Colors

Exterior wall materials reflect the vernacular in the Sawmill neighborhood, the previous lumber mill and its industrial buildings and geometric forms, and a modern blend of both.

Articulation of massing so as not to produce a long and flat building facade shall be considered and encouraged. Contemporary colonnades and portals provide shade and cover to the occupant and pedestrian and enrich the building planes with light changes. They further promote pedestrian site access and a place for people to work and socialize. The possible salvage of steel building frames could provide some of the columns and recall the former use of the site.

Stucco wall finish system (or synthetic version) reinforces the vernacular architectural expression as do metal wall panels, corrugated steel, rusted steel, and stained cement panels. Exterior wall color shall reflect a consistent overall palette of earth and sky-based tones, both pale and saturated with color, as is the palette from nature.

In Phase I the apartment buildings (D and E) will use a stucco wall finish system and metal wall panels in addition to metal shading devices. Color will be medium and deep earth tones, warm gray, and the metal will be silver with another accent color.

Building B will include red oxide painted metal shading devices. Structural steel columns that comprise the arcade along along the east and west face of the first floor retail spaces will also be red oxide color. Stucco colors of raw sienna, terracotta, indigo blue, and burnt ochre work in conjunction with the grouping of the building's different masses. Stairs and balconies have steel railings. They are in keeping with the industrial reference to the Sawmill district as are the aluminum framed windows and doors.

The townhomes will incorporate two stucco colors, light ochre and medium grey green along with terracotta stained cement board panels that will break up the facade texturally as well.

Active Spaces are shown with aluminum framed overhead sectional doors or large windows. The purpose of these is to open those spaces to the public either by an artisan that may want to open an overhead door to share his or her craft or via a large window to provide both views in and out. (Overhead doors are not provided for vehicle access.)

Exterior detail trim such as shade canopies and louvers, trellises, and open railings shall be consistently detailed for each building to complement the overall architecture.

Phase II buildings will follow the same palette of materials and colors as Phase I.

### Roof materials and colors

Rooflines shall be reminiscent of the turn of the century neighborhood roofs, including the simple pitches of the industrial ghosts, or clean line parapets. Apartment buildings will have low heat absorbing "flat" roofs hidden behind parapets. The retail-condos building will have a low slope roof and parapets all around. The roof will be a low heat absorbing single ply material in a light color that will help reduce heat gain in the building. Roofs on the townhomes will be low heat absorbing single ply roof material that will help reduce heat gain in the homes. Some townhome roofs are sloped (pitch ranges from 2:12 - 5:12). Phase II buildings will follow the same range of roof lines, materials and colors as Phase I.

### Site Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Fixtures shall comply with the City of Albuquerque's Dark Skies requirements.
- The height of street lights and parking area lights shall be kept to the minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Perimeter parking (north and northeast in Phase I, west perimeter in Phase II): 25' high maximum pole with cutoff features provided that the lighting fixture does not directly shine on any residential premises.
- Other parking: 16' high maximum pole
- Buildings and adjacent pedestrian areas: Building mounted fixtures, bollards.

Perimeter parking (north and northwest in Phase I, west perimeter in Phase II): 25' high maximum pole with cutoff features provided that the lighting fixture does not directly shine on any residential premises.

Other parking: 16' high maximum pole

Buildings and adjacent pedestrian areas: Building mounted fixtures, bollards.

### Placement of Mechanical Units

Care shall be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through free-standing dense evergreen foliage or on "green walls". Roof mounted units shall be screened from public view through the use of parapet walls or roof screens that are architecturally coordinated with the building they serve.

### Signage

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and compliments the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Signs identifying the principal use of a building may be free-standing or wall-mounted. Signs identifying the use of an active or other commercial space within the building shall be wall-mounted or banner-type sign that projects no more than half of the adjacent sidewalk width.
- The design of the interior directional signs shall be coordinated with the design of the site signage.
- No illuminated plastic panel signs are allowed.

### Screen Walls and Fences

Site fencing will be designed to comply with section 14-6-3-19 in the Zoning Code to be harmonious with the development & adjacent properties.

"Green walls" - 6' high open metal fencing with plant material growing on or adjacent - will be used in all possible locations including the East and North site perimeter. The color will be neutral so as to harmonize with the plant material. Fencing along the Railroad line will be similar to the adjacent Sawmill Lofts - 6' high open metal picket painted in a neutral color. At the extended plaza area at the pond, similar material and color will be used as guardrails.

Patio walls shall reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of metal fencing (rail or solid) to articulate semi-private patios and balconies. Patio walls shall not exceed 5'. Color shall be harmonious with the adjacent building.

Townhome yard separation walls will be a composite of cmu wall with stained cement board in a metal frame above the cmu. It will be stained and painted terracotta which is also used on the homes. Back yard walls shall not exceed 6'.

The west, south, and east sides of the detention pond will be fenced to the property line with a steel open rail fence or guardrail. These fences and guardrails will be painted a neutral color.

The decorative wall on the north side of the plaza will be constructed, in part, of industrial salvage materials from the site. Other possible materials are metal, cmu (not standard grey), and stucco. This wall will serve as the backdrop for the main gathering space and will recall the former life of the site.

The effective use of screening devices for utilitarian spaces, such as refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be placed away from public rights of way to the extent practical. Materials shall be chosen from cmu, stucco, and metal in colors harmonious with the adjacent buildings.

### Trails and Sidewalks

Public and private walks provide important connectivity within the project as well as in and out of the site.

- The eastern edge of the site will join a pedestrian path providing for both off and on-site connectivity to recreation and facilities. All private trails and paths shall be soft surface, with a minimum of 5'-0" width. The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.

### Public Open Space

An important design of this mixed-use community is the inclusion of plazas: opportunities for residents to meet their neighbors and visitors to the site. The plazas are designed to provide quiet space in the shade for an individual, for a group listening to a local musician, and for a community-wide growers' market. The public areas are varied in size and character and will be suited to the same variety of interests. Open plazas and commercial areas shall have seating & shade covering a minimum of 25% of the area per 14-16-3-18 (c) (4) in the zoning code.



Context and Pedestrian Connections

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ARCHITECT

ENGINEER

# DRB SUBMITTAL

6/19/07

PROJECT

# Sawmill Village

## Bellamah Avenue & 18th Street

### Albuquerque, New Mexico

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE

PROJECT NO. 06124

DRAWING NAME

## DEVELOPMENT DESIGN STANDARDS, CONTEXT GRAPHIC

SHEET NO.

# SDP3

3 OF 9

# Dekker Perich Sabatini

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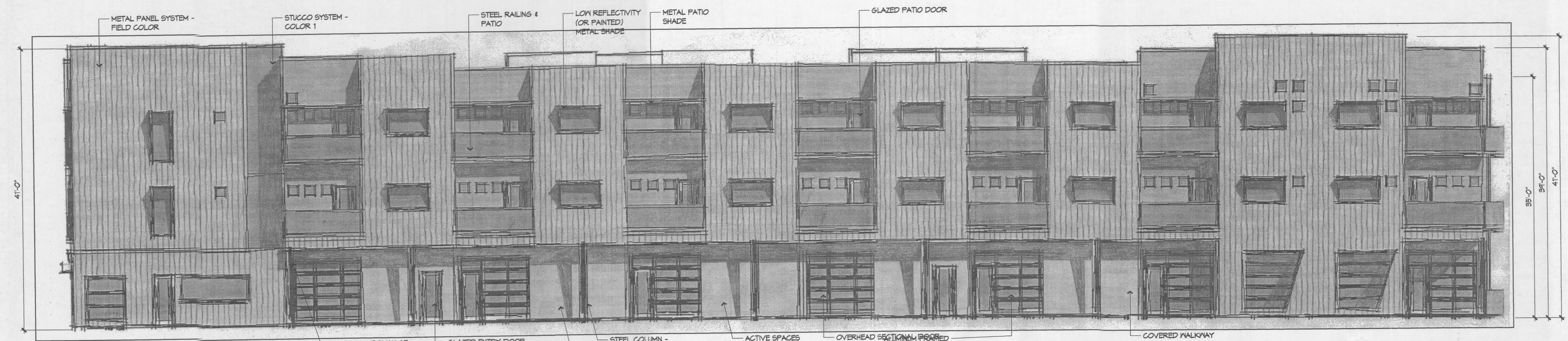
ARCHITECT

ENGINEER

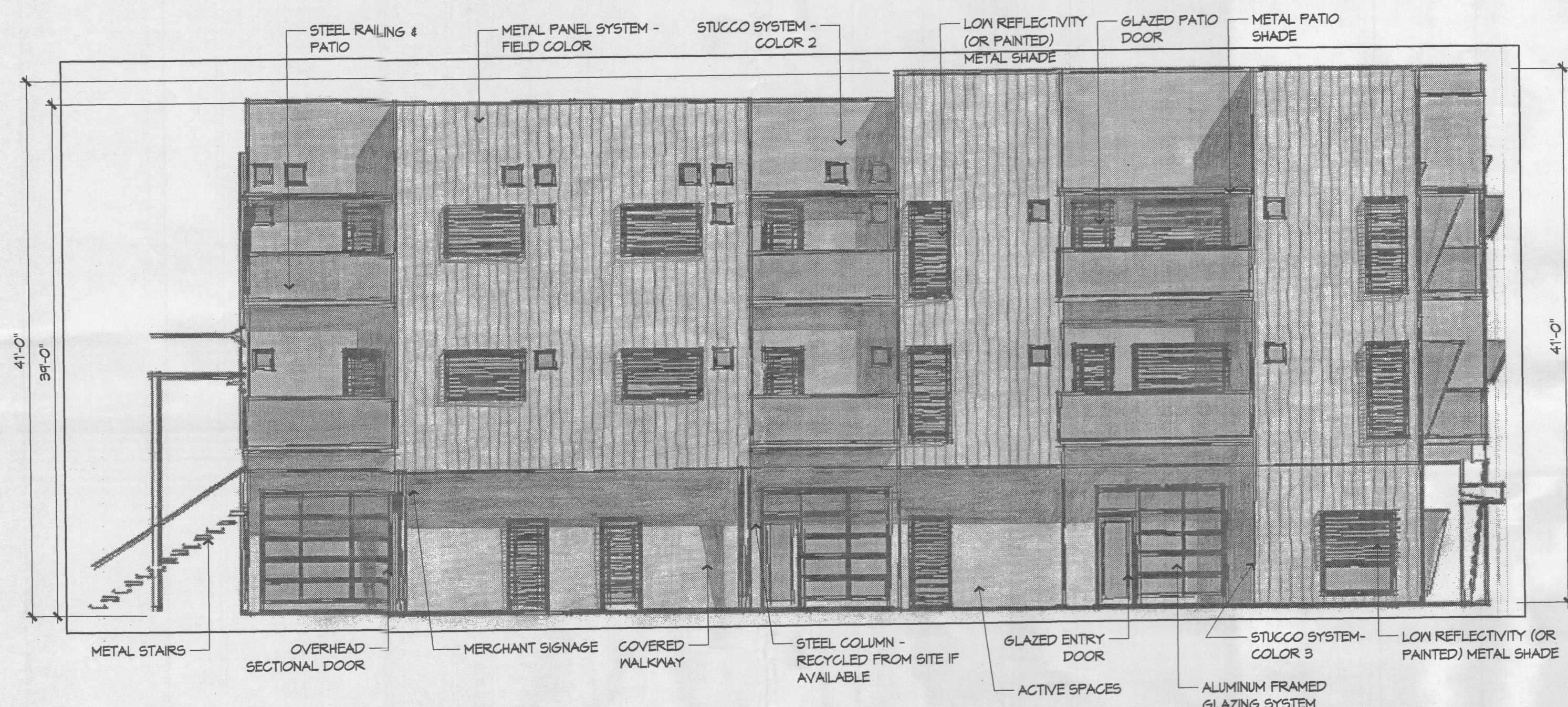
**DRB  
SUBMITTAL**  
6/19/07

PROJECT

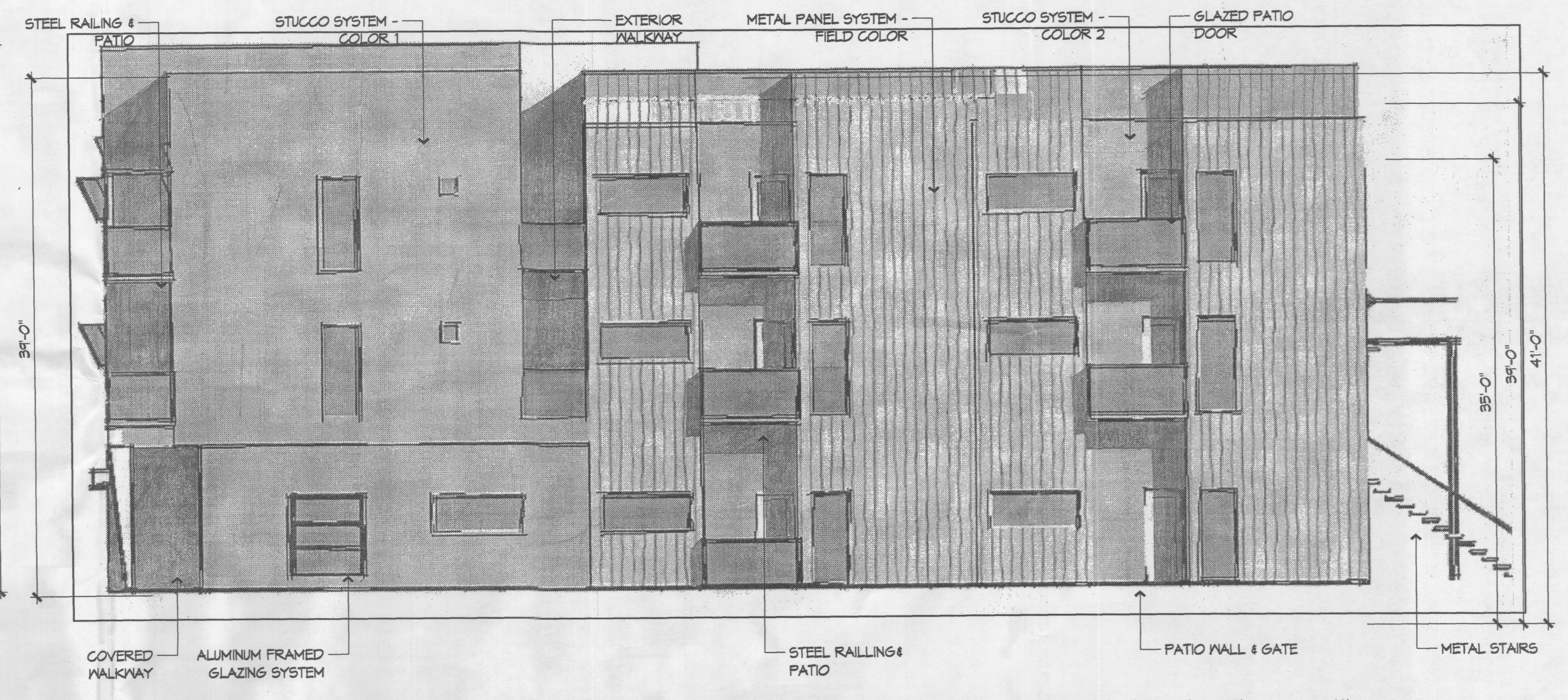
## Sawmill Village Bellamah Avenue & 18th Street Albuquerque, New Mexico



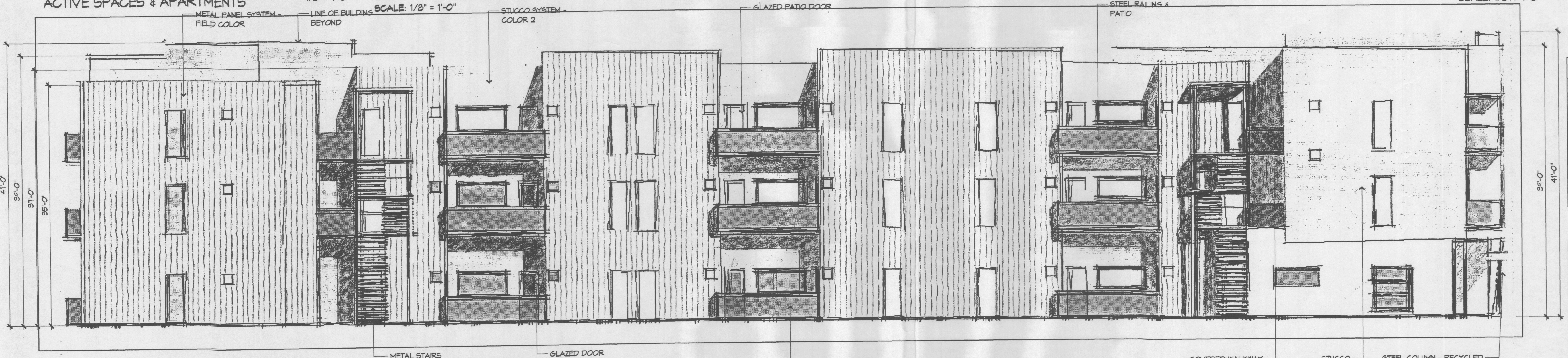
**ILLUSTRATIVE SOUTH ELEVATION D1 (N. ELEV. D2)**  
ACTIVE SPACES & APARTMENTS  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE WEST ELEVATION D1**  
ACTIVE SPACES & APARTMENTS  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE ELEVATION E1, E2, & E3 (EAST OR WEST)**  
APARTMENTS (NO ACTIVE SPACES)  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE ELEVATION E1, E2, & E3 (NORTH OR SOUTH)**  
APARTMENTS (NO ACTIVE SPACES)  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"

**COLOR LEGEND**

- COLOR 1 - MEDIUM EARTH TONE
- COLOR 2 - DEEP EARTH TONE
- COLOR 3 - WARM GRAY

FIELD COLOR METAL PANEL SYSTEM - SILVER (LIKE GALVALUME). SECOND METAL COLOR USED AS MINOR ACCENT.

NOTE: EACH BUILDING HAS A MAXIMUM OF FOUR WALL COLORS.

**APARTMENT UNIT SIZES (APPROXIMATE)**

- 1 BEDROOM, 1 BATH: 650-750 SF
- 2 BEDROOM, 1 BATH: 850-950 SF
- 2 BEDROOM, 2 BATH: 1050-1250 SF

**ACTIVE SPACE SIZES (APPROXIMATE)**

ACTIVE SPACES RANGE FROM 550-1050 SF

**REVISIONS**

|   |  |
|---|--|
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DRAWING NAME

**ELEVATIONS - D&E BUILDINGS**

SHEET NO.  
**SDP4**  
4 OF 9

514 CENTRAL SW  
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GARRETT SMITH LTD  
DESIGN, ARCHITECTURE & DEVELOPMENT

ARCHITECT

ENGINEER

DRB  
SUBMITTAL  
6/19/07

PROJECT

Sawmill Village  
Bellamah Avenue & 18th Street  
Albuquerque, New Mexico

REVISIONS

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DATE  
PROJECT NO. 06124  
DRAWING NAME

ELEVATIONS  
BUILDING B

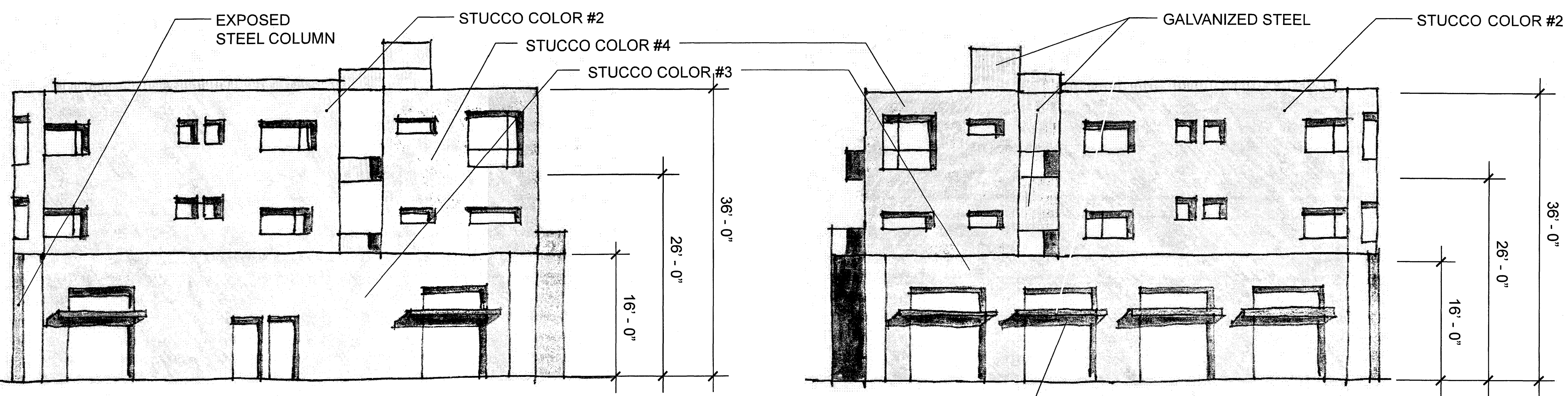
SHEET NO.  
SPD-5  
5 OF 9

**BUILDING B - SQUARE FOOTAGE**

|                     |                      |
|---------------------|----------------------|
| Commercial/ Retail  | +/- 8,950 SF         |
| Residential Level 2 | +/- 11,500 SF        |
| Residential Level 3 | +/- 11,500 SF        |
| <b>Total</b>        | <b>+/- 31,950 SF</b> |

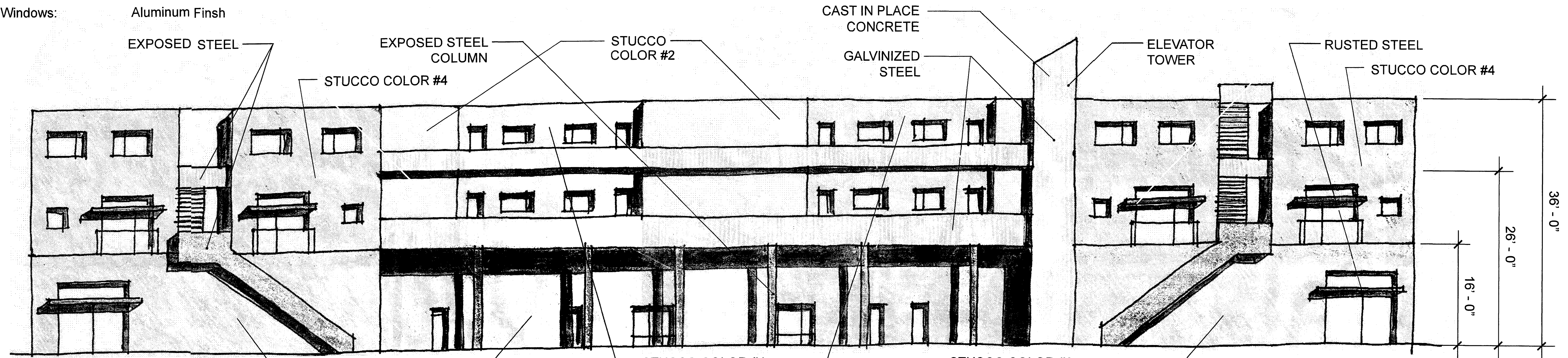
**FINISHES**

|                  |                  |
|------------------|------------------|
| Stucco Color #1: | Raw Sienna       |
| Stucco Color #2: | Burnt Ochre      |
| Stucco Color #3: | Terracotta       |
| Stucco Color #4: | Indigo Blue      |
| Exposed Steel:   | Rust / Red Oxide |
| Windows:         | Aluminum Finish  |

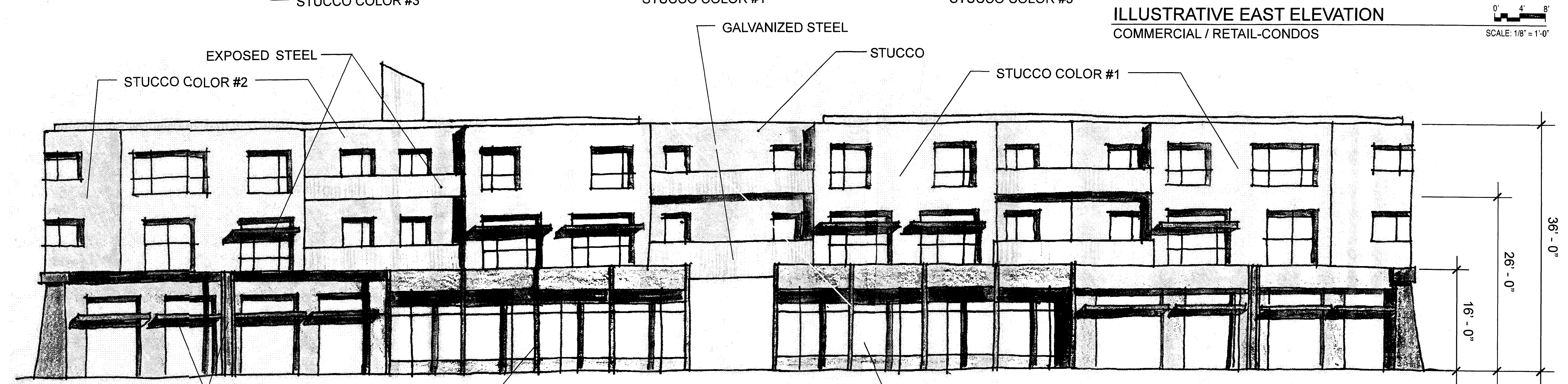


**ILLUSTRATIVE SOUTH ELEVATION**  
COMMERCIAL / RETAIL-CONDOS  
SCALE: 1/8" = 1'-0"

**ILLUSTRATIVE NORTH ELEVATION**  
COMMERCIAL / RETAIL-CONDOS  
SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE EAST ELEVATION**  
COMMERCIAL / RETAIL-CONDOS  
SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE WEST ELEVATION**  
COMMERCIAL / RETAIL-CONDOS  
SCALE: 1/8" = 1'-0"

514 CENTRAL SW  
 ALBUQUERQUE  
 NEW MEXICO  
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GARRETT SMITH LTD  
 DESIGN, ARCHITECTURE & DEVELOPMENT  
 ARCHITECT

ENGINEER

DRB  
 SUBMITTAL  
 6/19/07

PROJECT

Sawmill Village  
 Bellamah Avenue & 18th Street  
 Albuquerque, New Mexico

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DATE

PROJECT NO. 06124

DRAWING NAME

ELEVATIONS  
 BUILDING F

SHEET NO.

SPD-6  
 6 OF 9

**FINISHES**

- Stucco Color #1: Light Ochre
- Stucco Color #2: Medium Grey-Green
- Stained Cement Panel: Terracotta

**Backyard Fencing**

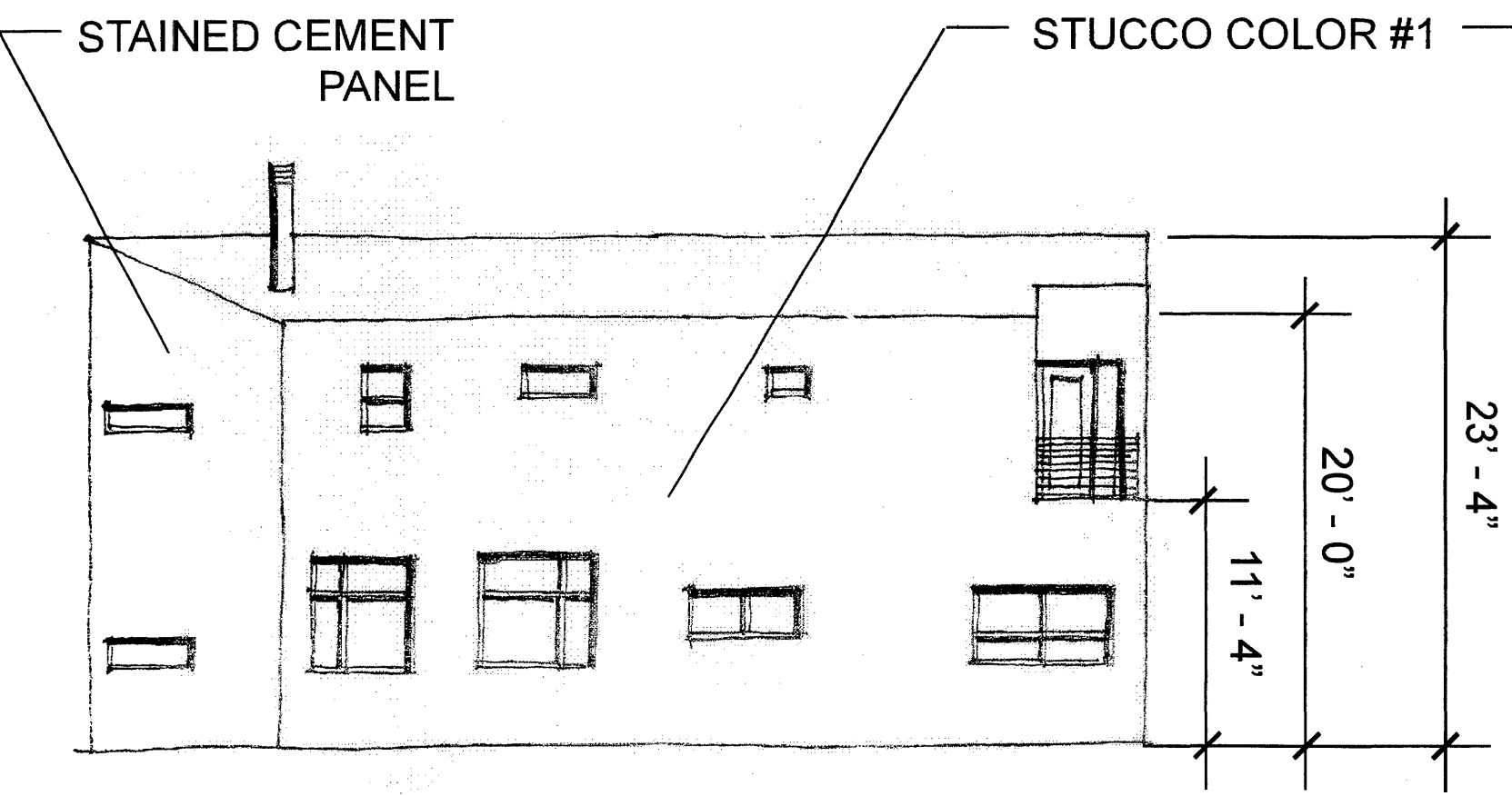
2' CMU wall with stained cement board panel in metal tubular steel frame painted terracotta

**Roof**

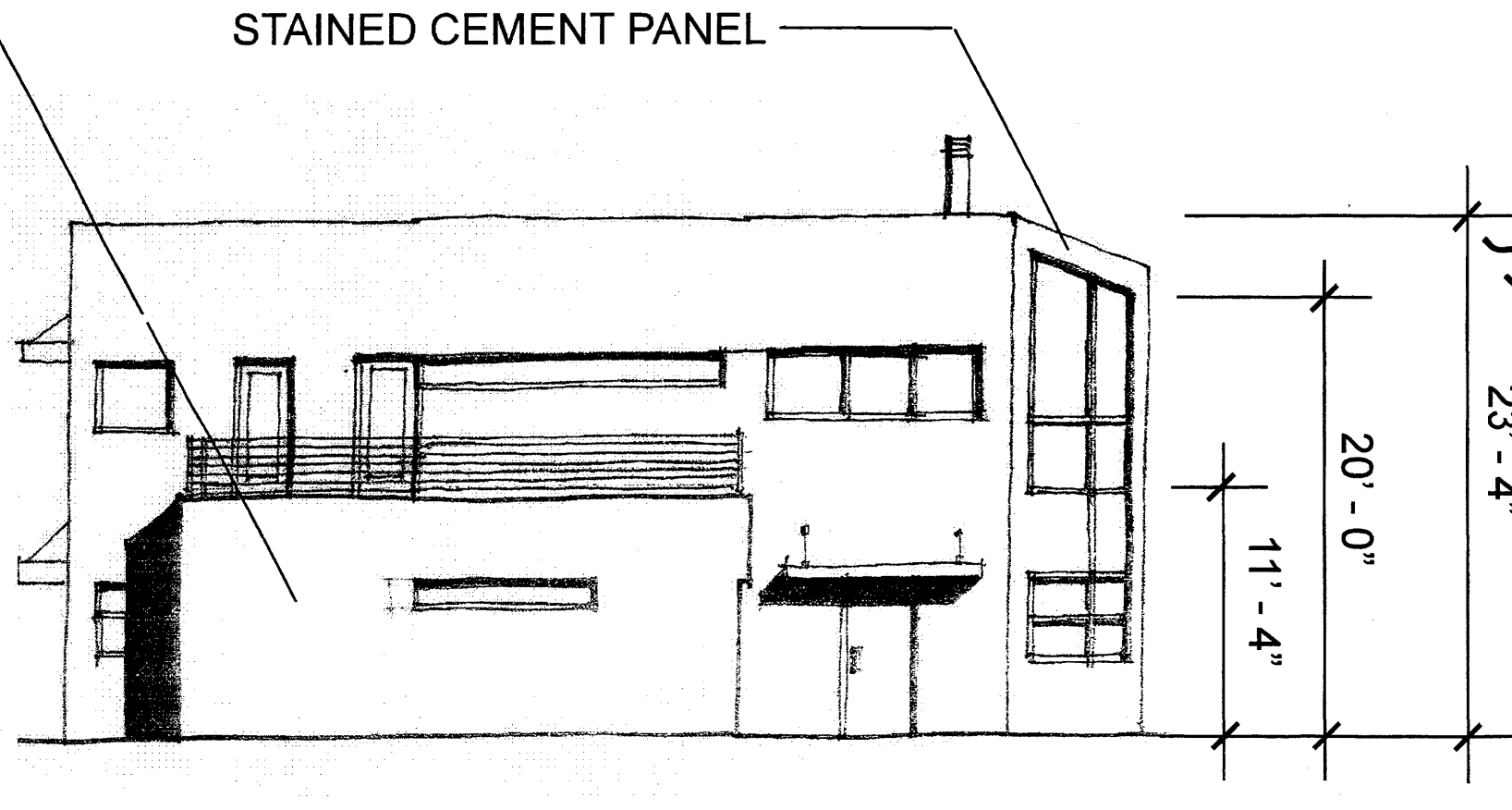
Sloping and flat roofs to be off white single ply membrane

**BUILDING F - SQUARE FOOTAGE**

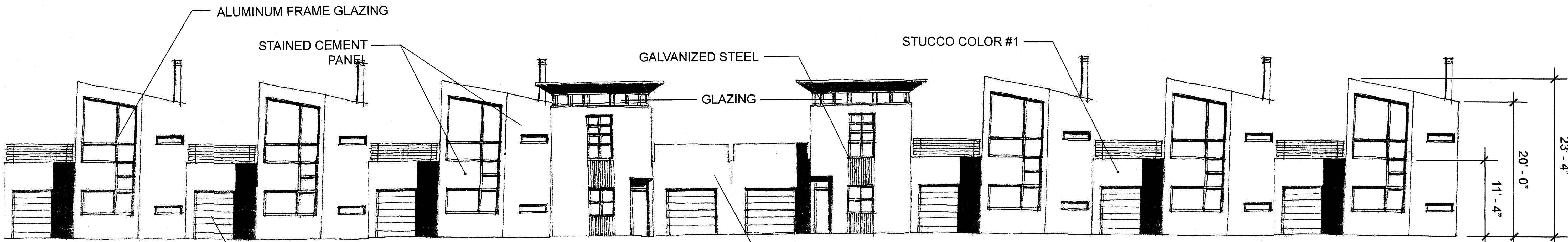
|                 |                      |
|-----------------|----------------------|
| Eight Townhomes | +/- 1550 SF          |
| <b>Total</b>    | <b>+/- 12,400 SF</b> |



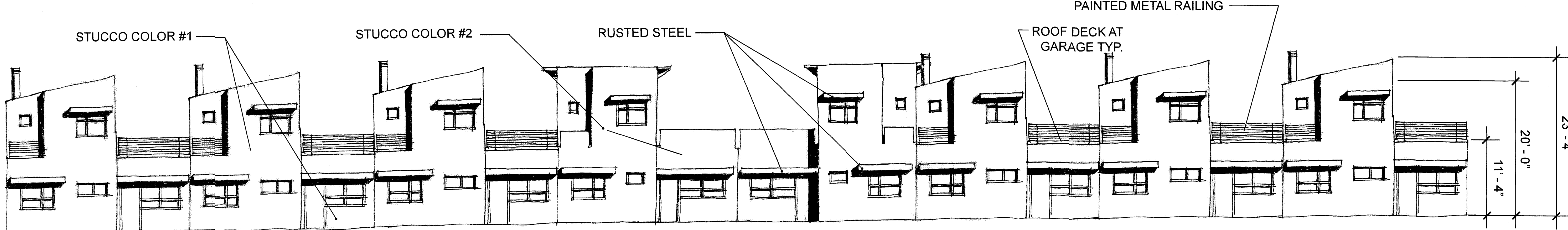
ILLUSTRATIVE WEST ELEVATION  
 TOWNHOMES



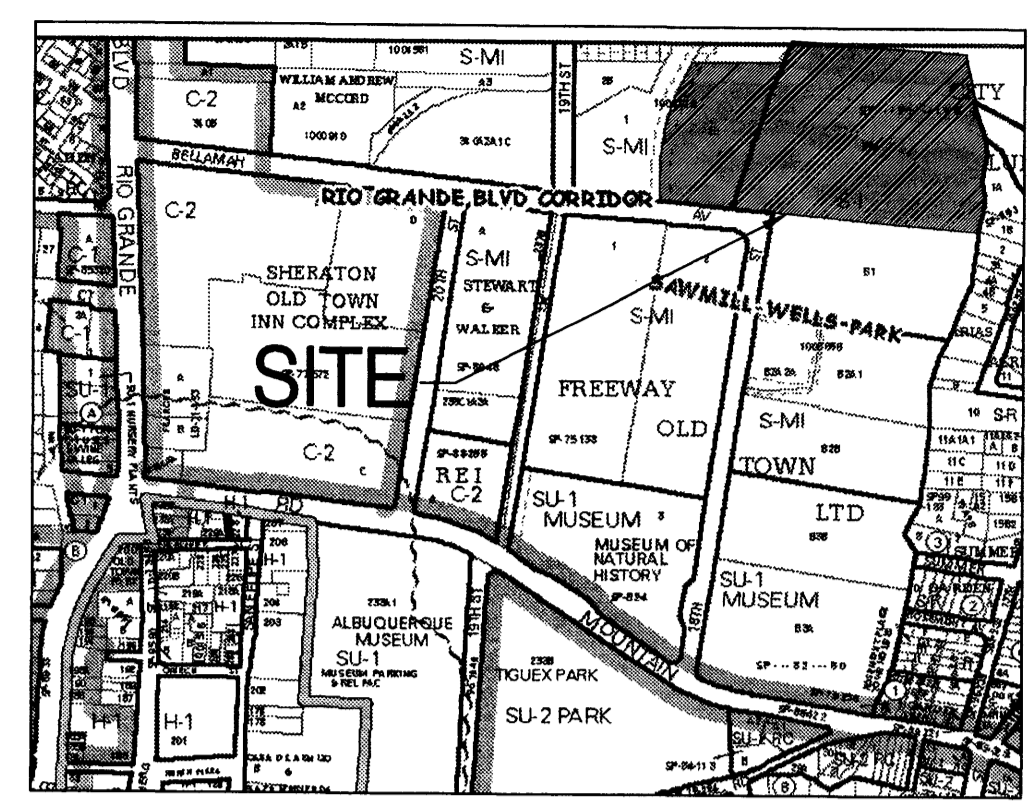
ILLUSTRATIVE EAST ELEVATION  
 TOWNHOMES



ILLUSTRATIVE NORTH ELEVATION  
 TOWNHOMES



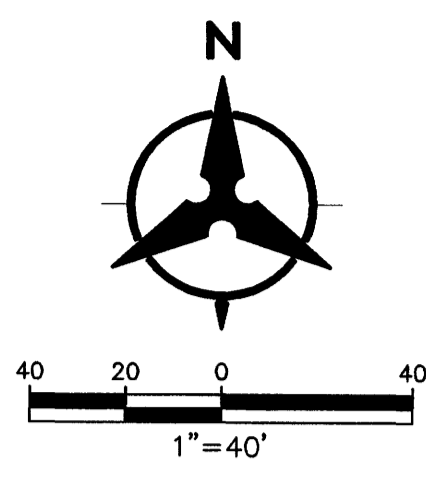
ILLUSTRATIVE SOUTH ELEVATION  
 TOWNHOMES



VICINITY MAP  
ZONE ATLAS PAGE J-13-Z

**LEGEND**

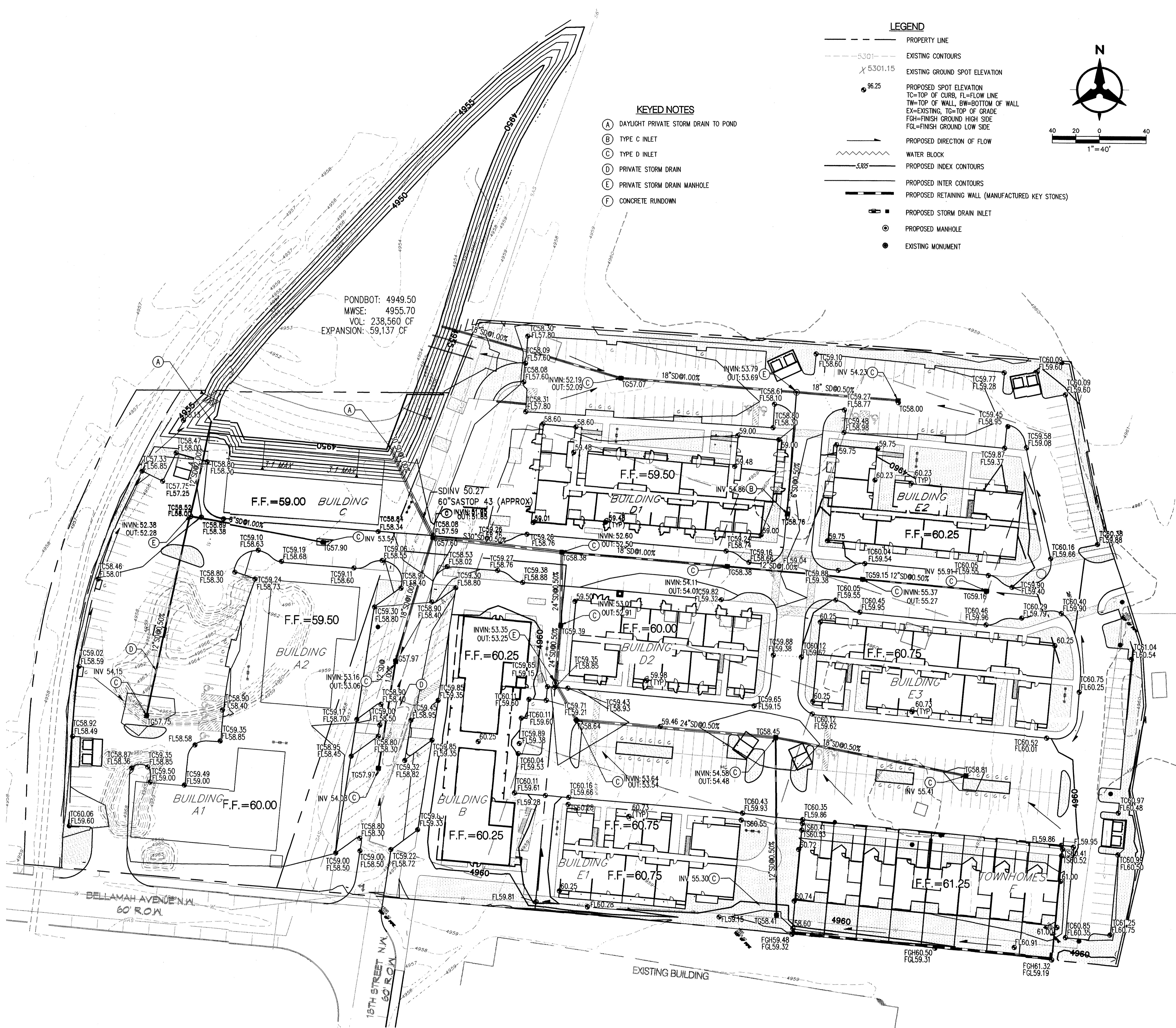
- PROPERTY LINE
- - - - - EXISTING CONTOURS
- 5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE  
TW=TOP OF WALL, BW=BOTTOM OF WALL  
EX=EXISTING, TG=TOP OF GRADE  
FGH=FINISH GROUND HIGH SIDE  
FGL=FINISH GROUND LOW SIDE
- PROPOSED DIRECTION OF FLOW
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED RETAINING WALL (MANUFACTURED KEY STONES)
- PROPOSED STORM DRAIN INLET
- PROPOSED MANHOLE
- EXISTING MONUMENT

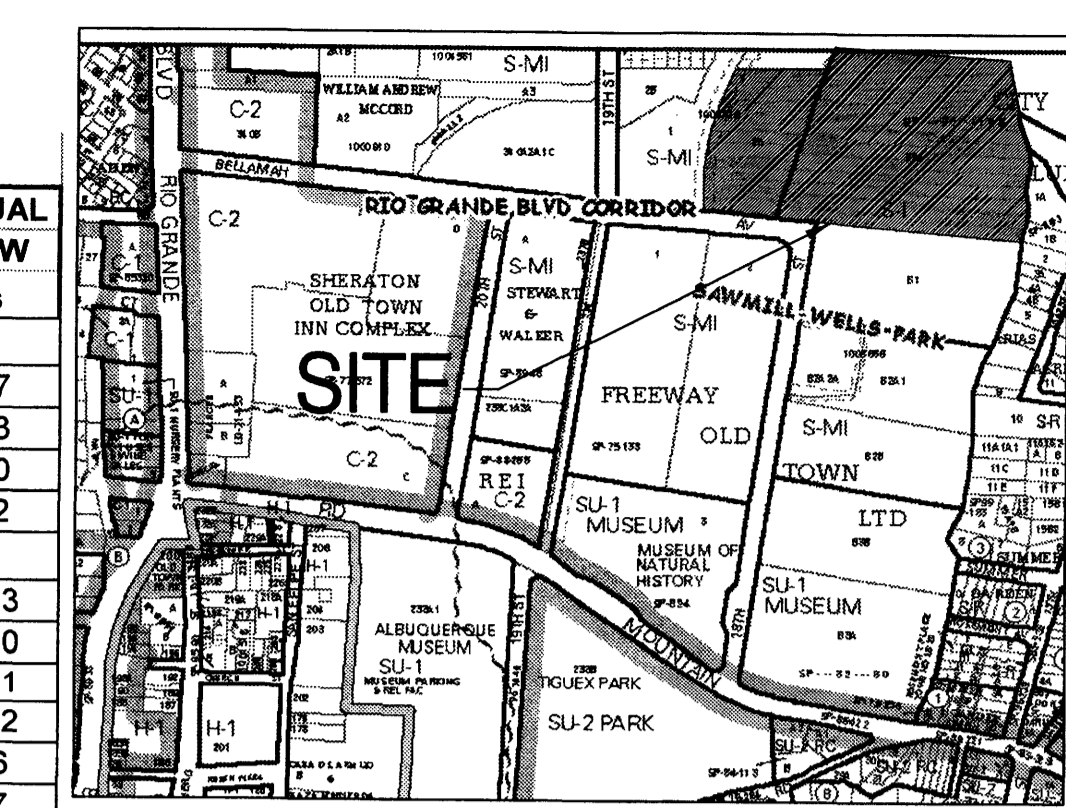


**KEYED NOTES**

- (A) DAYLIGHT PRIVATE STORM DRAIN TO POND
- (B) TYPE C INLET
- (C) TYPE D INLET
- (D) PRIVATE STORM DRAIN
- (E) PRIVATE STORM DRAIN MANHOLE
- (F) CONCRETE RUNDOWN

PONDBOT: 4949.50  
MWSE: 4955.70  
VOL: 238,560 CF  
EXPANSION: 59,137 CF





VICINITY MAP  
ZONE ATLAS PAGE J-13-Z

**SAWMILL VILLAGE SITE BASIN PROPERTIES (PHASE I & II)**  
Proposed Ultimate Development Conditions Basin Data Table  
This table is based on the DPM Section 22.2, Zone: 2

| Basin ID    | Area (SQ. FT) | Area (AC.) | Land Treatment Percentages |       |      |       | Q(100) (cfs/ac.) | Q(100) (CFS) | V(100) inches | V(100) (CF) |
|-------------|---------------|------------|----------------------------|-------|------|-------|------------------|--------------|---------------|-------------|
|             |               |            | A                          | B     | C    | D     |                  |              |               |             |
| Tract B-2-A | 226055        | 7.46       | 0.0%                       | 5.0%  | 5.0% | 90.0% | 4.50             | 33.58        | 2.00          | 37742       |
| BASIN 1     | 34415         | 0.79       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46             | 3.52         | 1.99          | 5696        |
| BASIN 2     | 34871         | 0.80       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46             | 3.57         | 1.99          | 5771        |
| BASIN 3     | 14171         | 0.33       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58             | 1.49         | 2.05          | 2424        |
| BASIN 4     | 17798         | 0.41       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58             | 1.87         | 2.05          | 3045        |
| BASIN 5     | 3280          | 0.07       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46             | 0.33         | 1.99          | 540         |
| BASIN 6     | 11415         | 0.26       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58             | 1.20         | 2.05          | 1953        |
| BASIN 7     | 20804         | 0.48       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46             | 2.13         | 1.99          | 3443        |
| BASIN 8     | 16442         | 0.38       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46             | 1.68         | 1.99          | 2721        |
| BASIN 9     | 2706          | 0.06       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58             | 0.28         | 2.05          | 463         |
| BASIN 10    | 31998         | 0.73       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58             | 3.36         | 2.05          | 5474        |
| BASIN 11    | 30743         | 0.71       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58             | 3.23         | 2.05          | 5260        |
| BASIN 12    | 42740         | 0.98       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46             | 4.37         | 1.99          | 7073        |
| BASIN 13    | 21398         | 0.49       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58             | 2.25         | 2.05          | 3661        |
| BASIN 14    | 22666         | 0.52       | 0.0%                       | 55.0% | 0.0% | 45.0% | 3.37             | 1.75         | 1.38          | 2612        |
| BASIN 15    | 6813          | 0.16       | 0.0%                       | 15.0% | 0.0% | 85.0% | 4.34             | 0.68         | 1.92          | 1090        |
| BASIN 16    | 29822         | 0.68       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58             | 3.13         | 2.05          | 5102        |
| BASIN 17    | 14451         | 0.33       | 0.0%                       | 65.0% | 0.0% | 35.0% | 3.13             | 1.04         | 1.25          | 1504        |
| BASIN 18    | 62175         | 1.43       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46             | 6.36         | 1.99          | 10290       |
| BASIN 19    | 7620          | 0.17       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58             | 0.80         | 2.05          | 1304        |

**STORM DRAIN PIPE TABLE**

| PIPE #         | Contributing Basins and Storm Drains | Size in. | Slope | Capacity* cfs | ACTUAL FLOW cfs |
|----------------|--------------------------------------|----------|-------|---------------|-----------------|
| <b>NORTH</b>   |                                      |          |       |               |                 |
| SD1            | BSN 2                                | 18       | 0.50% | 7.43          | 3.57            |
| SD2            | BSN 5                                | 6        | 0.50% | 0.40          | 0.33            |
| SD3            | BSN 2,5                              | 18       | 1.00% | 10.50         | 3.90            |
| SD4            | BSN 1,2,5                            | 18       | 1.00% | 10.50         | 7.42            |
| <b>CENTRAL</b> |                                      |          |       |               |                 |
| SD5            | BSN 3,4,6,7,8,9,10,11,12,13,14,19    | 30       | 1.00% | 41.02         | 24.43           |
| SD6            | BSN 3,4,6,7,9,10,11,12,14            | 30       | 0.50% | 29.00         | 19.70           |
| SD7            | BSN 9,10,11,12,14                    | 24       | 0.50% | 16.00         | 13.01           |
| SD8            | BSN 10,11,12,14                      | 24       | 0.50% | 16.00         | 12.72           |
| SD9            | BSN 11,12,14                         | 24       | 0.50% | 16.00         | 9.36            |
| SD10           | BSN 12                               | 18       | 0.50% | 7.43          | 4.37            |
| SD11           | BSN 14                               | 12       | 0.50% | 2.52          | 1.75            |
| SD12           | BSN 4,6,7                            | 18       | 1.00% | 10.50         | 5.20            |
| SD13           | BSN 6,7                              | 12       | 1.00% | 3.56          | 3.33            |
| SD14           | BSN 7                                | 12       | 0.50% | 2.52          | 2.13            |
| SD15           | BSN 8,13                             | 18       | 1.00% | 10.50         | 3.93            |
| SD16           | BSN 13                               | 12       | 1.00% | 3.56          | 2.25            |
| <b>WEST</b>    |                                      |          |       |               |                 |
| SD17           | BSN 15,16                            | 12       | 2.00% | 5.04          | 3.81            |
| SD18           | BSN 15                               | 8        | 1.00% | 1.21          | 0.68            |
| SD19           | BSN 16                               | 12       | 1.00% | 3.56          | 3.13            |

**GRADING AND DRAINAGE NARRATIVE**

**Site Location and Background Information**  
The purpose of this submittal is to present a drainage and grading plan for the proposed Sawmill Village development to the North of Bellamah and 18th street. The design site proposes mixed use development. There will be some residential townhomes, and some commercial sites. The site is in rainfall zone 2 as defined by figure A-1 of the DPM section 22. The existing legal description of the site is Tract 2-D, Arbolera De Vida and Lot B-2-A, Duke City Lumber Company Addition. Please see the vicinity map on this sheet for a graphic depiction of the site location. This conceptual grading and drainage plan is submitted in support site plan approval.

The Sawmill Master Drainage Plan Area, prepared by Bohannon Huston Inc. addresses drainage off the western site and the surrounding area to the west and north (city hydrology file: H13-D25). This submittal integrates the eastern parcel 2-D into the Sawmill Master Drainage Plan and modifies the pond construction to be in compliance with the guidance and recommendations set forth in that report.

**Existing Conditions**  
This entire site (Tracts 2-D & B-2-A) is approximately 10 acres and is an old industrial sawmill. The natural slope of the site is very flat. The slope across the site is less than 1% from the northeast to the southwest. There is an existing pond north of Tract 2-D that is part of the Sawmill Master Drainage Plan. It currently discharges into the storm drain in Bellamah at a maximum flow of 4 C.F.S. The site is approximately level with Bellamah and the surrounding properties.

**Proposed Conditions**  
Under proposed conditions the site will slope slightly to the pond north of Tract 2-D and utilize storm drain systems to convey runoff to the pond w/ functional surface slopes. The site will be mostly impervious treatment D and the rest landscaped treatment B and C. The Sawmill Master Drainage Plan sizes the existing pond as a retention system to be conservative. The pond is a retention pond to accept runoff from the western tract 2-D. The pond expansion is to include additional runoff from Lot B-2-A. With this project, we propose to expand the volume of the existing pond by approximately 59,000 CF. This expansion can be accomplished without lowering the pond bottom. Accordingly, the depth of retained water below the invert of the outlet pipe will not be increased with this project. The proposed pond expansion volume exceeds the 100yr, 6hr storm volume generated by tract B-2-A.

**Flood plain**  
In accordance with FEMA community map panel #35001C0331 E, the site is not located within a flood plain.

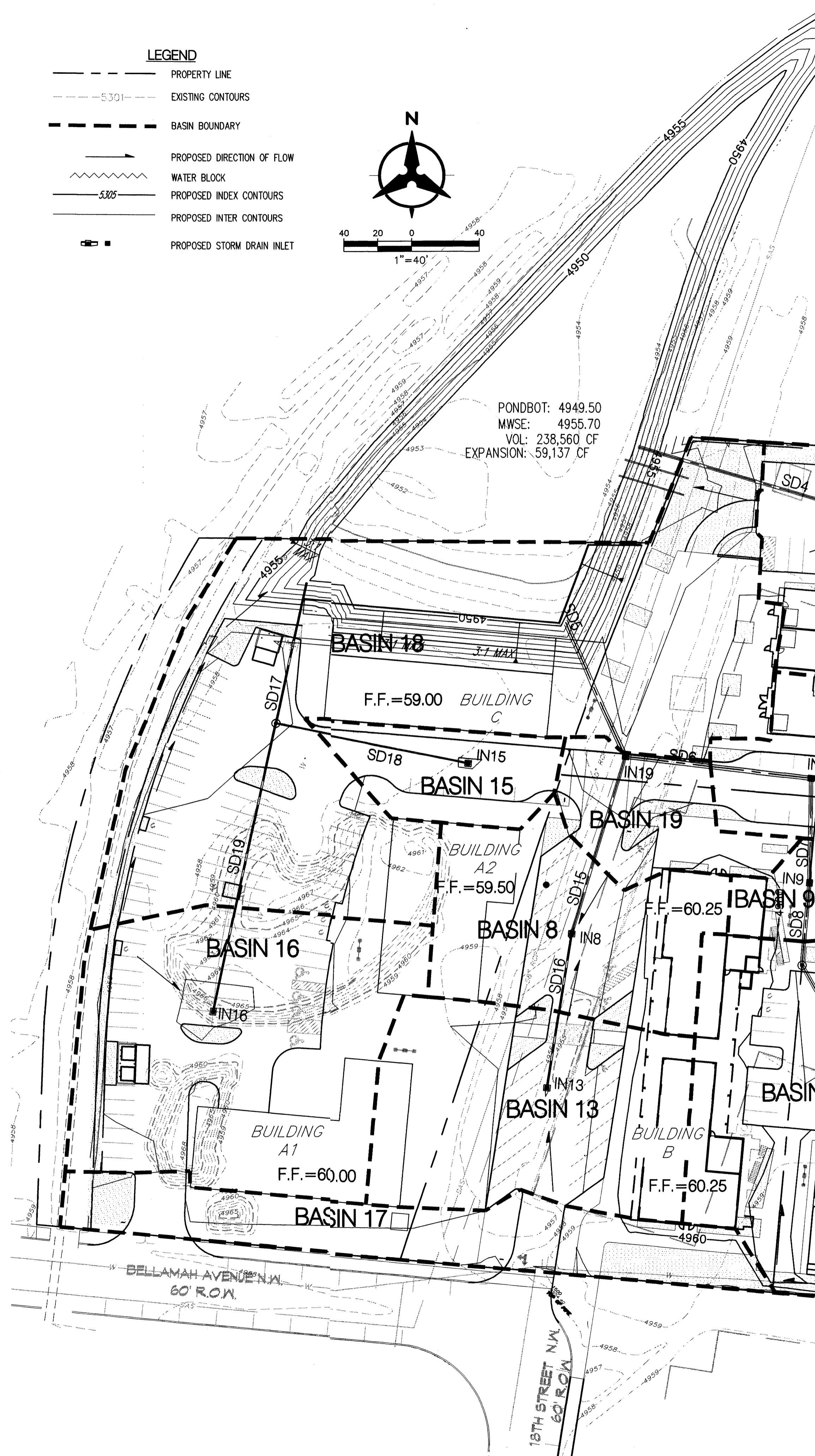
**Offsite Flows**  
There are no significant upstream offsite flows which will impact this site.

**Conclusions**  
This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan clearly demonstrates the proposed grading and drainage concepts. The implementation of these concepts would result in the safe passage of the 100 year storm event. With this submittal we request hydrology department approval of this Grading and Drainage Plan for DRB site plan approval.

**INLET TABLE**

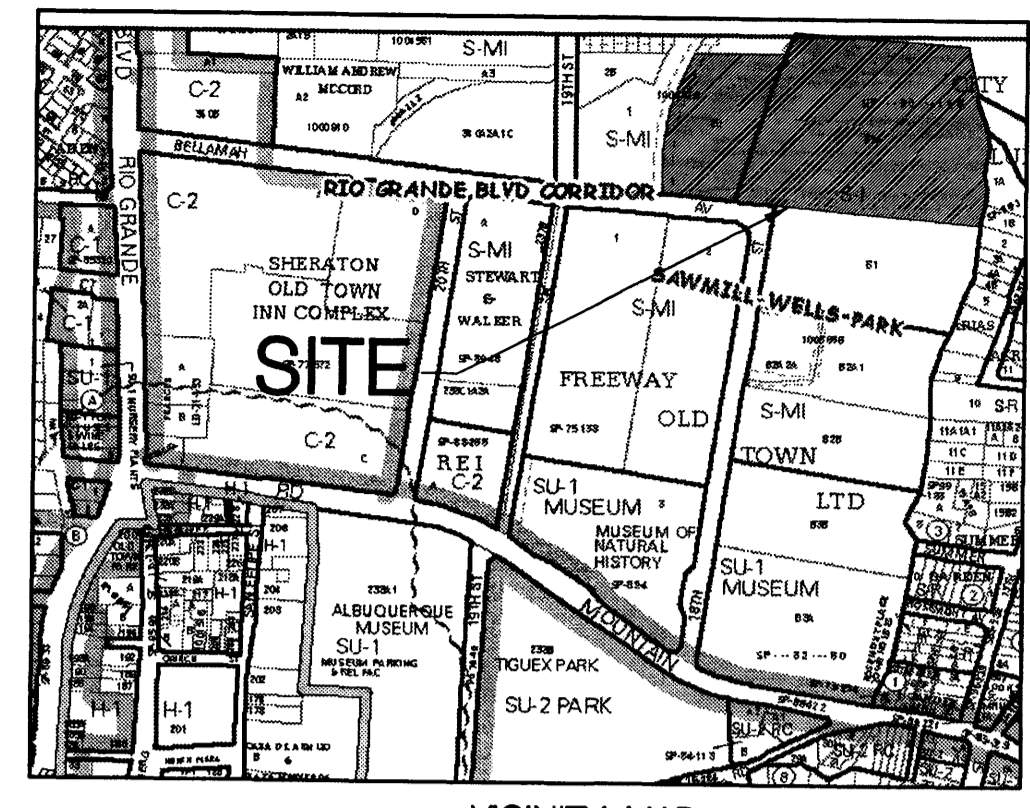
| Inlet # | Inlet Type | Top of Inlet | Actual Flow | Avail Head ft | Capacity |
|---------|------------|--------------|-------------|---------------|----------|
| IN1     | 1-SGL D    | 57.07        | 3.52        | 0.5           | 5.07     |
| IN2     | 1-SGL D    | 58.00        | 3.57        | 0.5           | 5.07     |
| IN3     | 1-SGL D    | 58.38        | 1.49        | 0.5           | 5.07     |
| IN4     | 1-SGL D    | 58.38        | 1.87        | 0.5           | 5.07     |
| IN5     | 1-SGL C    | 58.76        | 0.33        | 0.5           | 5.07     |
| IN6     | 1-SGL D    | 59.15        | 1.20        | 0.5           | 5.07     |
| IN7     | 1-SGL D    | 59.16        | 2.13        | 0.5           | 5.07     |
| IN8     | 1-SGL D    | 57.97        | 1.68        | 0.5           | 5.07     |
| IN9     | 1-SGL D    | 59.39        | 0.28        | 0.5           | 5.07     |
| IN10    | 1-SGL D    | 58.64        | 3.36        | 0.5           | 5.07     |
| IN11    | 1-SGL D    | 58.45        | 3.23        | 0.5           | 5.07     |
| IN12    | 1-SGL D    | 58.81        | 4.37        | 0.5           | 5.07     |
| IN13    | 1-SGL D    | 57.97        | 2.25        | 0.5           | 5.07     |
| IN14    | 1-SGL D    | 58.80        | 1.75        | 0.5           | 5.07     |
| IN15    | 1-SGL D    | 57.90        | 0.68        | 0.5           | 5.07     |
| IN16    | 1-SGL D    | 57.75        | 3.13        | 0.5           | 5.07     |

\* The actual head available varies with each inlet, but in no case is the available head less than 0.5'.



**Sawmill Village**  
**Bellamah Avenue & 18th Street**  
**Albuquerque, New Mexico**

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VICINITY MAP  
ZONE ATLAS PAGE J-13-Z

LEGEND

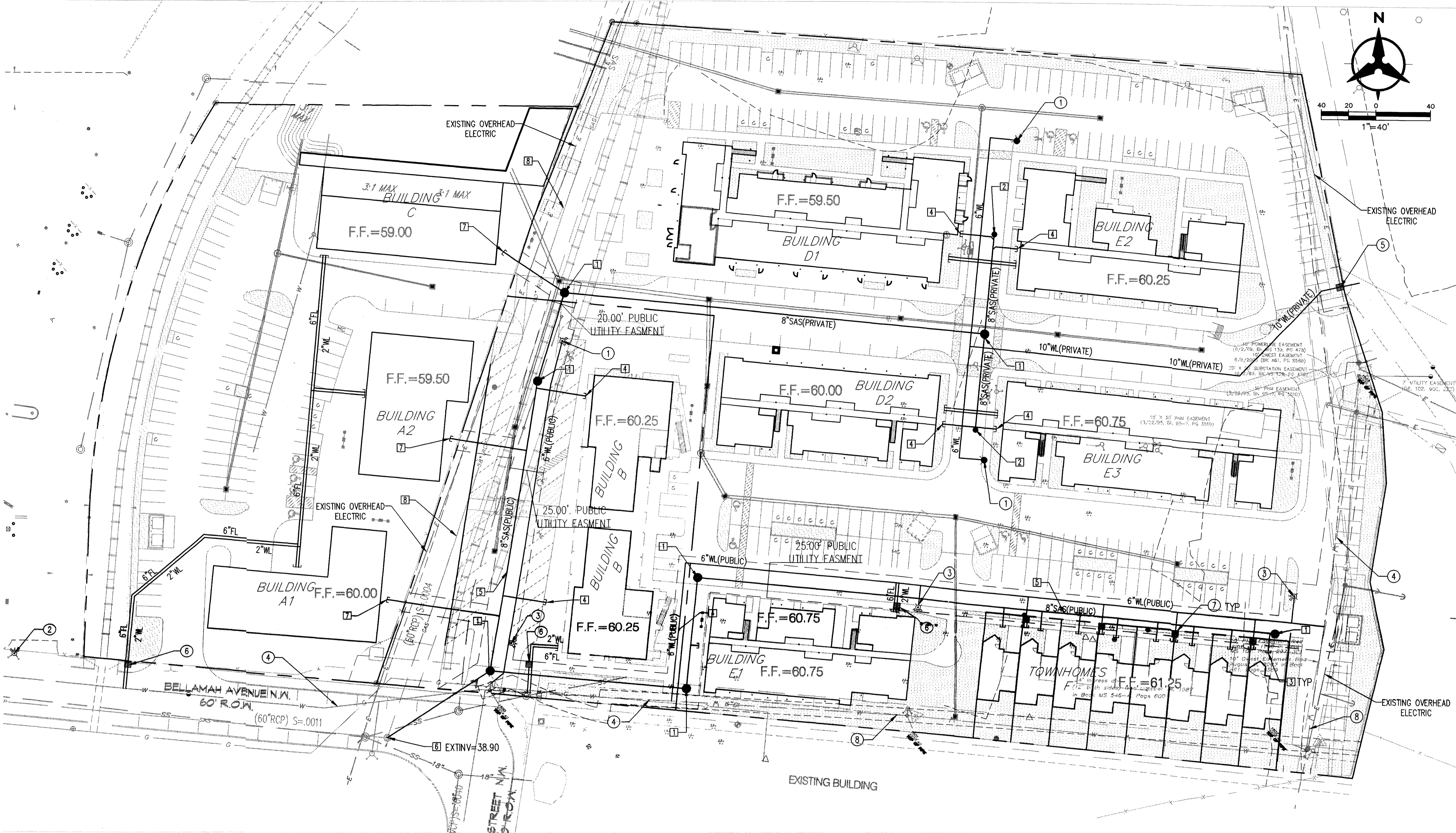
- PROPERTY LINE
- SAS EX SANITARY SEWER & MANHOLE
- SS EX STORM DRAIN & MANHOLE
- EX WATER LINE
- RELOCATED PUBLIC FIRE HYDRANT
- EX FIRE HYDRANT
- PRIVATE FIRE HYDRANT
- PROPOSED CLEANOUT
- PROPOSED SANITARY SEWER MAN HOLE
- 8" SAS PROPOSED SANITARY SEWER
- 2" WL PROPOSED WATERLINE
- 6" FL PROPOSED FIRELINE
- WATER METER VAULT

WATER KEYED NOTES

1. PRIVATE FIRE HYDRANT.
2. EXISTING PUBLIC FIRE HYDRANT TO REMAIN.
3. RELOCATE EXISTING OR INSTALL PUBLIC FIRE HYDRANT WITHIN NEW PUBLIC WATER LINE EASEMENT PER SIMULTANEOUS WORK ORDER.
4. EXISTING PUBLIC 6" CAST IRON WATER LINE TO REMAIN.
5. 2"x10" FIRE ASSEMBLY TYPE IN PUBLIC EASEMENT AS REQUIRED.
6. 2" WATER METER.
7. 3/4" SERVICE WATER METERS. (TWO PER BOX)
8. EXISTING 6" CAST IRON WATER LINE TO BE ABANDONED.

SANITARY SEWER KEYED NOTES

1. SAS MAN HOLE
2. SAS CLEAN OUT
3. 4" SAS SERVICE.
4. 6" SAS SERVICE.
5. 8" PUBLIC SAS W/ 25' SHARED EASEMENT PER SIMULTANEOUS WORK ORDER.
6. CONNECT TO EXISTING SAS.
7. 6" SAS SERVICE LINE WITH PRIVATE SAS EASEMENT.
8. EXISTING 60" SAS INTERCEPTOR W/ 30' EASEMENT.



UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 48" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MINI WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.

PUBLIC IMPROVEMENTS (PAVING, WATER, AND SANITARY SEWER) TO BE CONSTRUCTED WITH SIMULTANEOUS PUBLIC WORK ORDER PER DRG PLANS.

AA

PROJECT DATA:

Address: 18th Street and Bellamah Avenue N.W.

Zone Atlas Page: H & J-15-Z

The Site Phase I:

Legal Description:

Lots 1 - 10 within the Town of Albuquerque Grant in Projected Sections 7 and 19, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico

Address: 1701 Bellamah Ave. N.W. Zoning: SU-2/SU-1 for PRD Acreage: 7.4628

Phase II:

Legal Description:

Tract 2-D of the Arbolera de Vida subdivision, Albuquerque, New Mexico, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 11, 2005 in Plat Book 2005C, Page 106

Cross access and drainage easements provided.

Phase II site development plans for building permit are delegated to the DRB for approval.

Proposed Use

Site is being developed in two phases as mixed-use with housing, retail and active space (small rental spaces for artisan and incubator office space). Phase II has two single story Retail buildings and a building with Active Spaces and Apartments above.

C1 and O1 permissive use allowed in PRD up to 25% of Total Gross Floor Area of Development.

Pedestrian Ingress & Egress

The existing public sidewalk at along 18th Street is extended into the site and continues the length of the property along Bellamah. At the east side of the site is an opening for a potential connection with the adjacent development.

vehicular Ingress & Egress

Primary access is from 18th and Bellamah. A potential connection to Bellamah is provided on the east side of the property.

Internal Circulation Requirements

Access is via drive aisles, 26' and 24' wide. Radii and parking spaces are shown on the Site Plan in compliance with the City D.P.M. An emergency vehicle path is shown from the north parking area across a roll-down curb and the paved plaza.

Open Space (as defined in Zoning Code 14-16-1-5 and per R2 zone 14-16-2-11 H)

Required: (49 units @ 400 sf/unit) + (62 units @ 500sf/unit) + (63 units @ 600sf/unit) = 88,400 sf

Phase II

Required: 10 units @ 500sf/unit = 5,000sf

Maximum Building Heights

Buildings A1 and A2: 36' maximum Building C: 48' maximum Building D: 45' maximum Buildings D1, D2, E1, E2, E3: 45' maximum Townhomes F: 28' maximum

Minimum Building Setbacks

South: 16'; East: 30'; North: 30'; West: 30'

Residential Development Density

Density shall not exceed 20 DU's per acre.

Table with columns: Phase, Lot, Building, Lot Size, Building Footprint, Retail SF, Active Space SF, Total Building SF. Includes data for Phase 1 and Phase 2 buildings.

Notes: 1. All Square Footage is Approximate. 2. O1 + O1 Permissible Uses = 41,362 SF / Total Building SF (Total Gross Floor Area of Development) of 232,340 = 18%, under 25% allowed in PRD.

Table with columns: Phase, Lot, Units, Accessible (Wheelchair), Bicycles, Promoted, Proposed Ratio, Required Ratio, Required Ratio. Includes data for Residential and Non-Residential units.

GENERAL NOTES

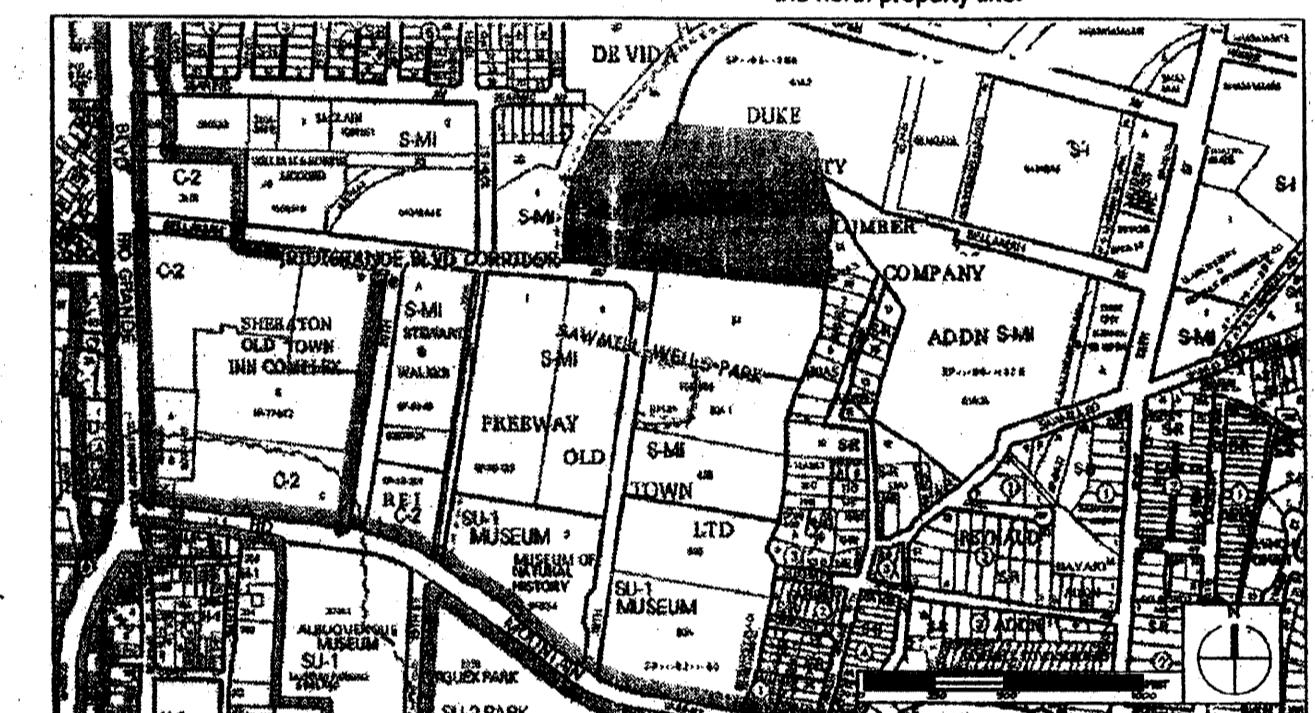
- A. All existing Structures, Paving, Fencing, Walls, Foundations; Sidewalks, to be Demolished and Removed. B. Accessible curb cuts and ramps provided throughout site.

SHEET INDEX:

- SDP1 Site Development Plan for Subdivision SDP2 Landscape Plan SDP3 Design Standards & Context Graphic SDP4 Buildings D & E Elevations SDP5 Building B Elevations SDP6 Building F Elevations SDP7 Not Used SDP8 Conceptual Grading Plan SDP9 Conceptual Drainage Management Plan SDP10 Conceptual Utility Plan

KEYED NOTES

- 1. Property line, Typ. 2. Lot line, Typ. 3. New site drive per COA Std. Dwg. 2426. 4. Drainage pond, see Conceptual Grading Plan. 5. Existing sidewalk to remain. 6. Concrete sidewalk, 4' wide minimum (see plan), per COA Std. Dwg. 2430. 7. Asphalt Drive, Aisle and Parking Spaces. 8. Entry feature from salvaged site metal/equipment. 9. 45' Parking space per D.P.M. Figure 23.7.1. 10. Landscaping, typ. (See Landscape Plan) 11. 18"x18" Stop Sign. 12. Future connection to Bellamah Street. 13. Not used. 14. Decorative paving. 15. Plaza extended over pond w/guardrail surround. 16. Pedestrian passageway. 17. Building overhang with columns. 18. Plaza, w/ decorative paving & landscaping. 19. Relocated steel Sawdust Hopper. 20. Accessible parking space, 8' W. x 20' L. space W/5' W. aisle. 21. Accessible van parking, 9' W. x 20' L. space W/ 9' W. aisle. 22. Standard parking space, 8' W. x 20' L. typ. (18' L. where perimeter landscape strip) 23. Building on adjacent property (more than 20' from property line) 24. Motorcycle space, 4' W. x 8' L. min. typ. 25. Single refuse containers, enclosure & concrete apron. 26. Double refuse containers, enclosure and concrete apron. 27. Mountable roll curb for emergency vehicle access. 28. Patio enclosure, 5' high maximum, typ. 29. Parallel parking, typ. 30. 10' wide minimum landscape setback W/6' high planted open fencing. 31. Existing power pole to be removed. 32. Gravel with roll-up curb for emergency vehicle traffic. 33. Bicycle rack. 34. Vehicle back-up space. 35. Sidewalk connection to pedestrian trail on adjacent property. 36. Not used. 37. 12' L. mountable roll curb for utility vehicle access. 38. Backyard walls, 6' high maximum. 39. Dedicated back-up space (No Parking). 40. Curb, 3' wide planting strip, and 6' wide sidewalk. 41. Existing power pole to remain. 42. Open steel tube fence, 6' high, to match fence at Sawmill Lofts. 43. Existing railroad tracks. 44. Open metal fence w/vines. 45. Compact parking space, 8'W. x 15'L., typ. Paint. 46. 6' high decorative wall. 47. Sidewalk at west edge of diagonal parking curb to be constructed in Phase II. 48. New location of power pole. 49. Townhome driveway with apron at sidewalk to allow vehicle access. 50. 26' public access easement at drive aisle starting east at Bellamah connection and south to 18th Street. 51. Proposed future recycling area. 52. 24' wide access easement at drive aisle; starts south at the 26' drive aisle easement and extends north to the north property line.



VICINITY MAP ZONING ATLAS PAGE: H4J-13-Z PROJECT NUMBER: 1005354

Application Number: This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 03/16/2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: Includes signatures and dates for Traffic Engineering, Water Utility Department, Parks and Recreation Department, City Engineer, Environmental Health Department, and Solid Waste Management.

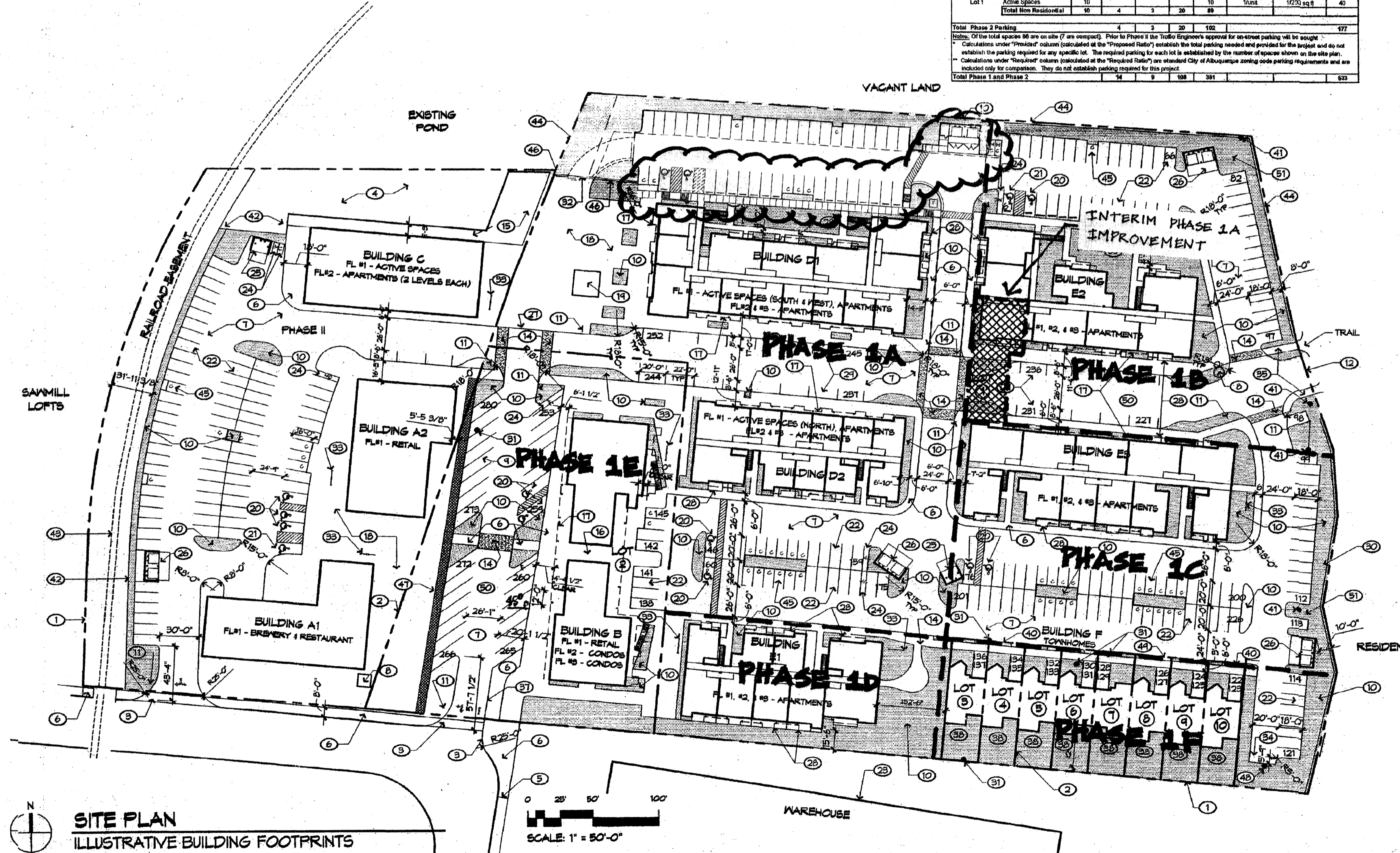
architectural interiors planning engineering Dekker Perich Sabatini 7601 Jefferson NE Suite 100 Albuquerque, NM 87109 505 761-9700 fax 761-4222 dps@dpsdesigns.org

DRB SUBMITTAL 1/3/07

Sawmill Village Bellamah Avenue & 18th Street Albuquerque, New Mexico

REVISIONS: Includes a list of revision symbols and dates. SITE DEVELOPMENT PLAN FOR SUBDIVISION SHEET NO. SDP1 1 OF 9

ADMINISTRATIVE AMENDMENT File # 10-10697 Project # 1005354 create sub-phase boundaries; adjust parking lot & trash release on north side Approved by [Signature] DATE 8/30/10



SITE PLAN ILLUSTRATIVE BUILDING FOOTPRINTS

SCALE: 1" = 50'-0"



**PROJECT DATA:**

Address: 18th Street and Bellamah Avenue N.W.

Zone Atlas Page: H & J-15-Z

**The Site**

**Phase I:**

**Legal Description:**

Lots 1 - 10 within the Town of Albuquerque Grant in Projected Sections 7 and 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico

Address: 1701 Bellamah Ave. N.W.

Zoning: SU-2/SU-1 for PRD

Acreage: 7.4628

**Phase II:**

**Legal Description:**

Tract 2-D of the Arbolera de Vida subdivision, Albuquerque, New Mexico, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 11, 2005 in Plat Book 2005C, Page 106

Zoning: SU-2/SU-1 for PRD with Microbrewery

Acreage: 2.5132

Total acreage for both sites is 9.976

Cross access and drainage easements provided.

Phase II site development plans for building permit are delegated to the DRB for approval.

**Proposed Use**

Site is being developed in two phases as mixed-use with housing, retail and active space (small rental spaces for artisan and incubator office space). Phase II has two single story Retail buildings and a building with Active Spaces and Apartments above. The following is Phase I development: Lot 2 is ground floor Retail and two floors of Condominiums above. Lot 1 has two buildings with ground floor Active Spaces and Apartments on three floors. Lots 3 - 10 are Townhomes (eight total).

C1 and O1 permissive use allowed in PRD up to 25% of Total Gross Floor Area of Development.

**Pedestrian Ingress & Egress**

The existing public sidewalk at along 18th Street is extended into the site and continues the length of the property along Bellamah. At the east side of the site is an opening for a potential connection with the adjacent development. A pedestrian trail is connected to this development. Sidewalks and plaza areas provide for on site connectivity and separation from vehicular traffic.

**Vehicular Ingress & Egress**

Primary access is from 18th and Bellamah. A potential connection to Bellamah is provided on the east side of the property.

**Internal Circulation Requirements**

Access is via drive aisles, 26' and 24' wide. Radii and parking spaces are shown on the Site Plan in compliance with the City D.P.M. An emergency vehicle path is shown from the north parking area across a roll-down curb and the paved plaza. This plan meets the criteria of City Traffic, Fire Marshal, and Solid Waste Department.

**Open Space** (as defined in Zoning Code 14-16-1-5 and per R2 zone 14-16-2-11-H) Phase I

Required: (49 units @ 400 sf/unit) + (62 units @ 500sf/unit) + (63 units @ 600sf/unit) = 88,400 sf

Provided: 125,326 sf (does not include balconies)

**Phase II**

Required: 10 units @ 500sf/unit = 5,000sf

Provided: 29,663 sf (does not include railroad easement or pond)

**Maximum Building Heights**

Buildings A1 and A2: 36' maximum

Building B: 48' maximum

Building C: 45' maximum

Buildings D1, D2, E1, E2, E3: 45' maximum

Townhomes F: 28' maximum

**Minimum Building Setbacks:**

South: 15'; East: 30'; North: 30'; West: 30'

Accessory buildings allowed minimum setback of 0' lot line (14-16-3-3)

**Residential Development Density:**

Density shall not exceed 20 DU's per acre.

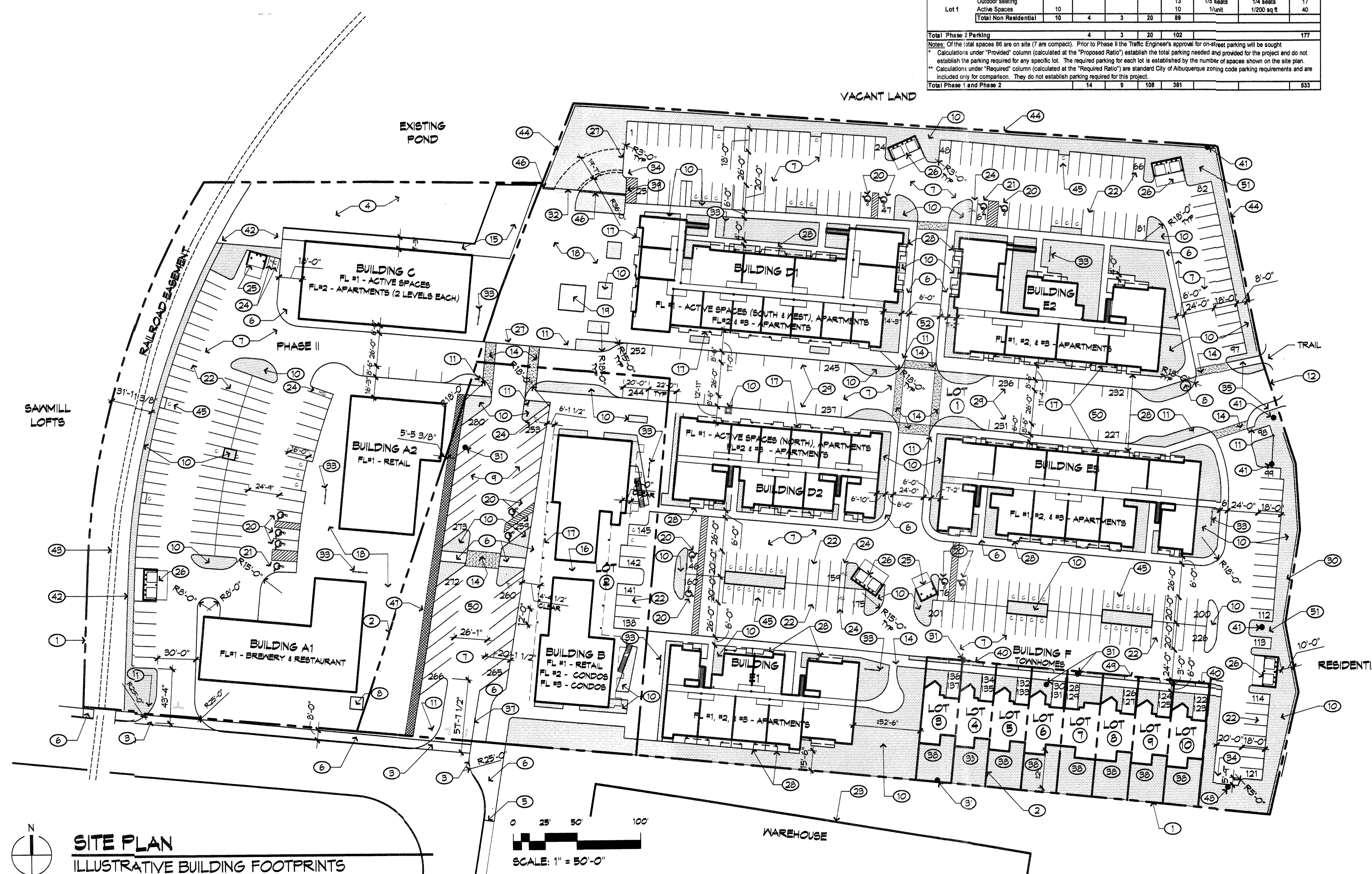
| Phase                            | Building  | Lot Size       | Building Footprint | Nett SF       | Active Space SF | Total Building SF |
|----------------------------------|---|----------------|--------------------|---------------|-----------------|-------------------|
| Phase 1                          | Building B<br>FL #1 - Retail<br>FL 2 & 3 - Condos - 20                            | 55,016         | 5,684              | 8,694         | 0               | 34,730            |
|                                  | Building D1<br>FL 1 - Active Spaces - 10<br>FL 1, 2, & 3 - Apartments - 35        | 248,336        | 15,774             | 0             | 6,234           | 35,724            |
|                                  | Building D2<br>FL 1 - Active Spaces - 6<br>FL 1, 2, & 3 - Apartments - 27         | 9,051          | 0                  | 0             | 3,934           | 15,987            |
| Phase 2                          | Building A1<br>FL 1 - Brewery & Restaurant  | 109,475        | 7,500              | 7,500         | 0               | 7,500             |
|                                  | Building A2<br>FL 1 - Retail  | 7,000          | 7,000              | 0             | 0               | 7,000             |
|                                  | Building F<br>FL 1 - Active Spaces - 10<br>FL 2 - Apartments (2 Levels each) - 10 | 6,000          | 0                  | 8,000         | 16,000          | 30,000            |
|                                  | <b>Total Phase 2 Buildings</b>  | <b>109,475</b> | <b>22,500</b>      | <b>14,500</b> | <b>8,000</b>    | <b>30,500</b>     |
| <b>Total Phase 1 and Phase 2</b> |   | <b>414,687</b> | <b>43,957</b>      | <b>23,194</b> | <b>14,167</b>   | <b>102,086</b>    |

| Phase                        | Units                        | Accessible (Motorcycle/Bicycle) | Provided*  | Proposed Ratio | Required Ratio      | Required** |
|------------------------------|------------------------------|---------------------------------|------------|----------------|---------------------|------------|
| Residential                  | Lot 2 Condominiums           | 20                              | 25         | 1.25/unit      | 1.5 or > 1000sf = 2 | 30         |
|                              | Lot 3 Apartments             | 148                             | 183        | 1.25/unit      | 1.5 or > 1000sf = 2 | 219        |
|                              | Lot 4 to 11 Townhome         | 8                               | 16         | 2/unit         | 1 per bath          | 16         |
| <b>Total Residential</b>     |                              | <b>176</b>                      | <b>224</b> |                |                     | <b>265</b> |
| Non Residential              | Lot 2 Retail                 | 18                              | 23         | 3/1000 sq ft   | 1/200 sq ft         | 36         |
|                              | Lot 3 Active Spaces          | 18                              | 18         | 1/unit         | 1/200 sq ft         | 36         |
|                              | <b>Total Non Residential</b> | <b>36</b>                       | <b>41</b>  |                |                     | <b>72</b>  |
| <b>Total Phase 1 Parking</b> |                              | <b>10</b>                       | <b>6</b>   | <b>88</b>      | <b>279</b>          | <b>358</b> |

| Phase                        | Units                    | Accessible (Motorcycle/Bicycle) | Provided* | Proposed Ratio | Required Ratio      | Required** |
|------------------------------|--------------------------|---------------------------------|-----------|----------------|---------------------|------------|
| Residential                  | Lot 1 Apartments         | 10                              | 13        | 1.25/unit      | 1.5 or > 1000sf = 2 | 15         |
|                              | <b>Total Residential</b> | <b>10</b>                       | <b>13</b> |                |                     | <b>15</b>  |
| Non Residential              | Lot 1 Retail             | 18                              | 23        | 3/1000 sq ft   | 1/200 sq ft         | 36         |
|                              | Micro Brewery            | 3                               | 3         | 1/1000 sq ft   | 1/1000 sq ft        | 3          |
|                              | Restaurant               | 45                              | 45        | 1/5 seats      | 1/4 seats           | 87         |
|                              | Outdoor seating          | 13                              | 13        | 1/5 seats      | 1/4 seats           | 17         |
|                              | Active Spaces            | 10                              | 10        | 1/unit         | 1/200 sq ft         | 20         |
| <b>Total Non Residential</b> |                          | <b>89</b>                       | <b>89</b> |                |                     | <b>162</b> |
| <b>Total Phase 2 Parking</b> |                          | <b>4</b>                        | <b>3</b>  | <b>20</b>      | <b>162</b>          | <b>177</b> |

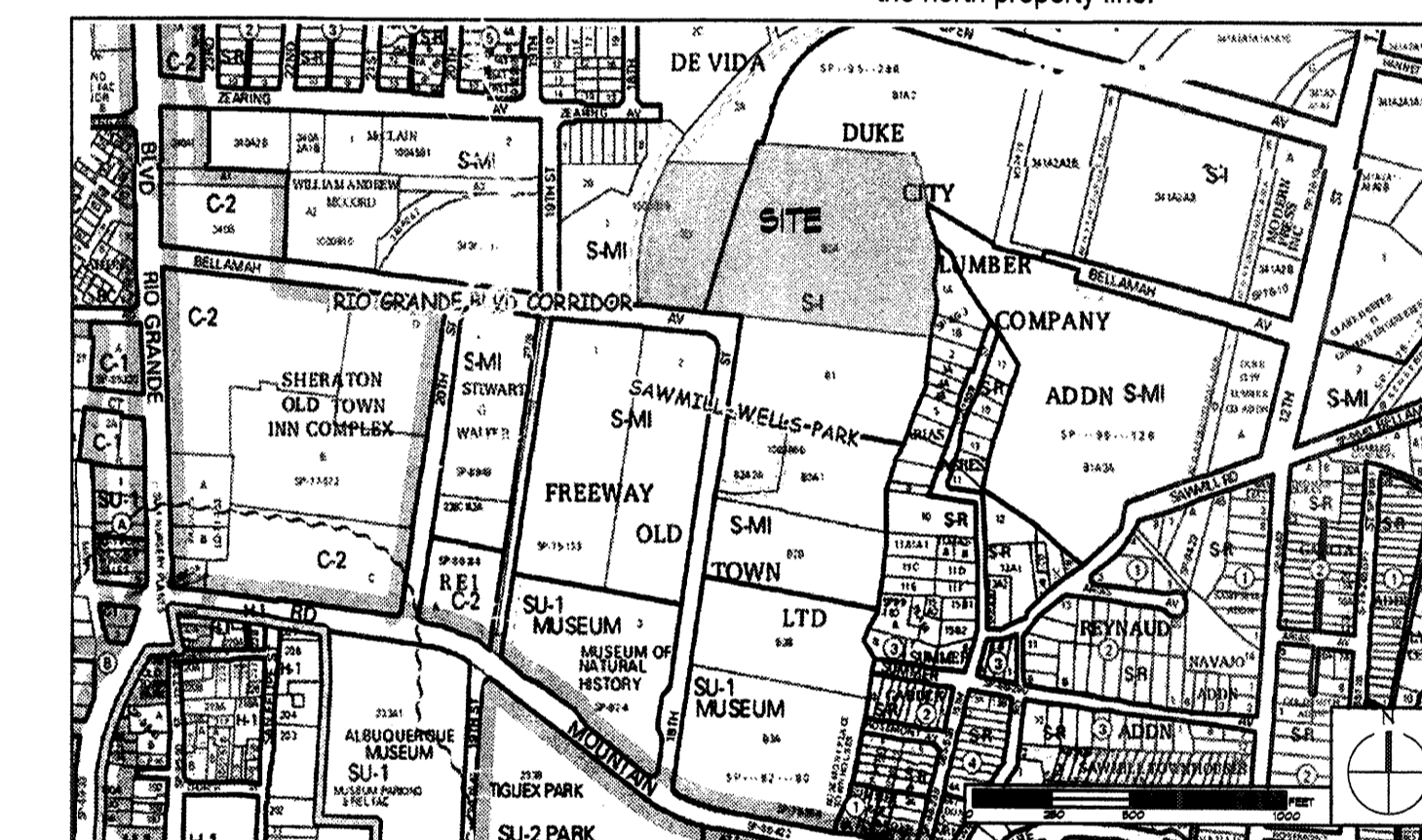


**GENERAL NOTES**

- A. All existing Structures, Paving, Fencing, Walls, Foundations; Sidewalks, to be Demolished and Removed.
- B. Accessible curb cuts and ramps provided throughout site.
- C. Phase I: All development on Lots 1-10
- D. Phase II: All development on Phase II
- E. See Plat for all easements.

**KEYED NOTES**

1. Property line, Typ.
2. Lot line, Typ.
3. New site drive per COA Std. Dwg. 2426.
4. Drainage pond, see Conceptual Grading Plan
5. Existing sidewalk to remain
6. Concrete sidewalk, 4' wide minimum (see plan), per COA Std. Dwg. 2430.
7. Asphalt Drive, Aisle and Parking Spaces
8. Entry feature from salvaged site metal/equipment.
9. 45' Parking space per D.P.M. Figure 23.7.1
10. Landscaping, typ. (See Landscape Plan)
11. 18"X18" Stop Sign
12. Future connection to Bellamah Street
13. Not used.
14. Decorative paving
15. Plaza extended over pond w/guardrail surround
16. Pedestrian passageway
17. Building overhang with columns
18. Plaza, w/ decorative paving & landscaping
19. Relocated steel Sawdust Hopper
20. Accessible parking space, 8' W. x 20' L. space W/ 9' W. aisle.
21. Accessible van parking, 9' W. x 20' L. space W/ 9' W. aisle.
22. Standard parking space, 8' W. x 20' L., typ. (18' L. where perimeter landscape strip)
23. Building on adjacent property (more than 20' from property line)
24. Motorcycle space, 4' W. x 8' L. min., typ.
25. Single refuse containers, enclosure & concrete apron
26. Double refuse containers, enclosure and concrete apron
27. Mountable roll curb for emergency vehicle access
28. Patio enclosure, 5' high maximum, typ.
29. Parallel parking, typ.
30. 10' wide minimum landscape setback W/6' high planted open fencing
31. Existing power pole to be removed
32. Gravel with roll-up curb for emergency vehicle traffic.
33. Bicycle rack
34. Vehicle back-up space
35. Sidewalk connection to pedestrian trail on adjacent property
36. Not used.
37. 12' L. mountable roll curb for utility vehicle access
38. Backyard walls, 6' high maximum
39. Dedicated back-up space (No Parking)
40. Curb, 3' wide planting strip, and 6' wide sidewalk.
41. Existing power pole to remain.
42. Open steel tube fence, 6' high, to match fence at Sawmill Lofts.
43. Existing railroad tracks
44. Open metal fence w/wines
45. Compact parking space, 8'W. x 15'L., typ. Paint "Small Car Space" on pavement.
46. 6' high decorative wall
47. Sidewalk at west edge of diagonal parking curb to be constructed in Phase II
48. New location of power pole
49. Townhome driveway with apron at sidewalk to allow vehicle access
50. 26' public access easement at drive aisle starting east at Bellamah connection and south to 18th Street.
51. Proposed future recycling area.
52. 24' wide access easement at drive aisle; starts south at the 26' drive aisle easement and extends north to the north property line.



**VICINITY MAP**

ZONING ATLAS PAGE: H&J-13-Z

PROJECT NUMBER: 1005354

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 03/16/2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

- Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_
- Water Utility Department \_\_\_\_\_ Date \_\_\_\_\_
- Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_
- City Engineer \_\_\_\_\_ Date \_\_\_\_\_
- \*Environmental Health Department (conditional) \_\_\_\_\_ Date \_\_\_\_\_
- Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_
- DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

**APPROVED BY DRB**  
ON Date 7/11/07



ENGINEER

**DRB SUBMITTAL**  
7/3/07

PROJECT

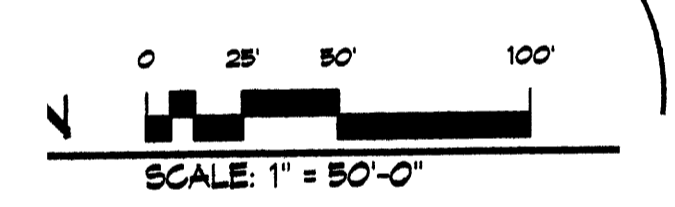
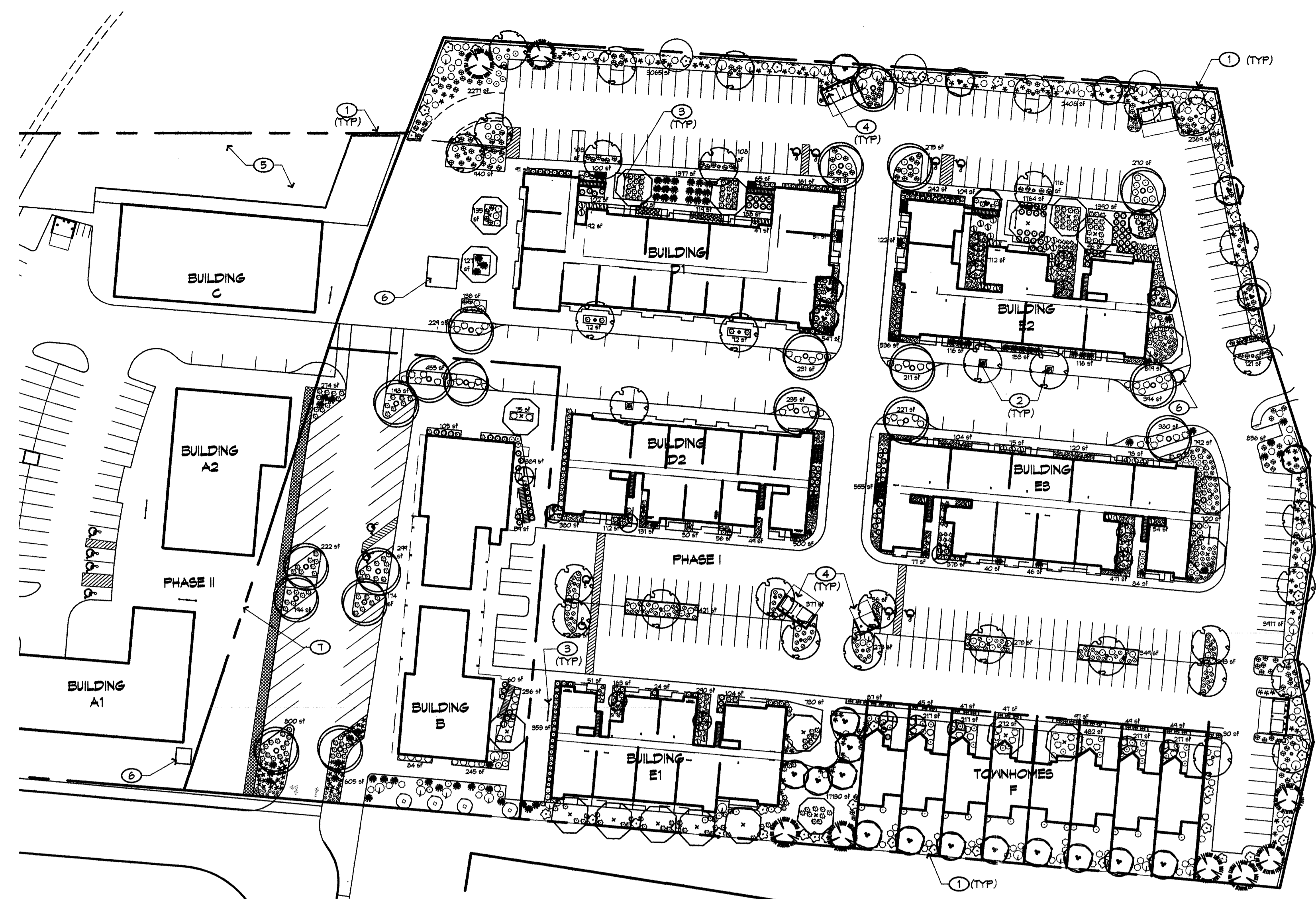
**Sawmill Village**  
**Bellamah Avenue & 18th Street**  
**Albuquerque, New Mexico**

| REVISIONS |
|-----------|
| △         |
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DRAWN BY: BB, DM, MS, CM  
REVIEWED BY: CM  
DATE: \_\_\_\_\_  
PROJECT NO: 06124  
DRAWING NAME: \_\_\_\_\_

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

SHEET NO.



### PLANTING LEGEND

| TREES    |           |                 |                    |  |        |       |                    |
|----------|-----------|-----------------|--------------------|--|--------|-------|--------------------|
| SYMBOL   | EST. QTY. | INSTALLED SIZE  | COMMON NAME        | Botanical name                           | Height | Width | Water requirements |
| (Symbol) | 27        | 24" BOX MULTI   | DESERT WILLOW      | <i>Chilopsis linearis</i>                | 20.00  | 25.00 | Low Water Use      |
| (Symbol) | 18        | 24" BOX MULTI   | DESERT OLIVE       | <i>Forestiera neomexicana</i>            | 12.00  | 12.00 | Medium Water Use   |
| (Symbol) | 20        | 2"-Gal @ 9'x4'  | CHINESE PISTACHE   | <i>Pistacia chinensis</i>                | 30.00  | 30.00 | Medium Water Use   |
| (Symbol) | 22        | 24"-Box @ 9'x4' | TEXAS RED OAK      | <i>Quercus texana</i>                    | 25.00  | 30.00 | Medium Water Use   |
| (Symbol) | 36        | 2"-Gal @ 9'x4'  | PURPLE ROBE LOCUST | <i>Robinia pseudacacia "Purple Robe"</i> | 35.00  | 25.00 | Medium Water Use   |
| (Symbol) | 8         | 24"-Box @ 9'x4' | AFGHAN PINE        | <i>Pinus eldarica</i>                    | 50.00  | 20.00 | Low Water Use      |

| Ground Cover/Grasses/Perennials |           |                |                    |   |        |       |                    |
|---------------------------------|-----------|----------------|--------------------|---|--------|-------|--------------------|
| SYMBOL                          | EST. QTY. | INSTALLED SIZE | COMMON NAME        | Botanical name                              | Height | Width | Water requirements |
| (Symbol)                        | 156       | 1-Gal @ 6'x6'  | PRAIRIE SAGE       | <i>Artemisia ludoviciana</i>                | 1.00   | 2.50  | Low Water Use      |
| (Symbol)                        | 61        | 1-Gal @ 4'x6'  | ARP ROSEMARY       | <i>Rosmarinus officinalis 'Arp'</i>         | 3.50   | 3.50  | Low Water Use      |
| (Symbol)                        | 166       | 1-Gal @ 1'x1'  | DWARF MAIDEN GRASS | <i>Miscanthus sinensis 'Morning Light'</i>  | 4.00   | 3.00  | Medium Water Use   |
| (Symbol)                        | 371       | 1-Gal @ 4'x6'  | REGAL MIST GRASS   | <i>Muhlenbergia capillaris 'Regal Mist'</i> | 3.50   | 3.00  | Medium Water Use   |
| (Symbol)                        | 48        | 1-Gal @ 1'x1'  | DEER GRASS         | <i>Muhlenbergia rigens</i>                  | 3.00   | 4.00  | Medium Water Use   |
| (Symbol)                        | 86        | 1-Gal @ 4'x6'  | MEXICAN HAT        | <i>Ratibida columnaris</i>                  | 2.50   | 2.00  | Low Water Use      |
| (Symbol)                        | 83        | 1-Gal @ 4'x6'  | CREEPING MAHONIA   | <i>Mahonia repens</i>                       | 1.00   | 2.00  | Medium Water Use   |
| (Symbol)                        | 207       | 1-Gal @ 1'x1'  | ALKALI SACATON     | <i>Sporobolus airoides</i>                  | 2.00   | 3.00  | Low Water Use      |
| (Symbol)                        | 160       | 1-Gal @ 4'x6'  | MOONSHINE YARROW   | <i>Achillea x 'Moonshine'</i>               | 2.00   | 1.50  | Low Water Use      |
| (Symbol)                        | 175       | 1-Gal @ 1'x1'  | BLUE AVENA GRASS   | <i>Helictotrichon sempervirens</i>          | 1.50   | 3.00  | Medium Water Use   |

| Shrub    |           |                |                        |                                   |        |       |                    |
|----------|-----------|----------------|------------------------|-----------------------------------|--------|-------|--------------------|
| SYMBOL   | EST. QTY. | INSTALLED SIZE | COMMON NAME            | Botanical name                    | Height | Width | Water requirements |
| (Symbol) | 45        | 1-Gal @ 1'x1'  | FERNBUSH               | <i>Chamaebatiaria millefolium</i> | 8.00   | 6.00  | Low Water Use      |
| (Symbol) | 34        | 1-Gal @ 4'x4'  | DWARF CHAMISA          | <i>Chrysothamnus depressus</i>    | 1.50   | 2.00  | Low Water Use      |
| (Symbol) | 8         | 1-Gal @ 1'x1'  | SILVERBERRY            | <i>Elaeagnus pungens</i>          | 12.00  | 15.00 | Low Water Use      |
| (Symbol) | 94        | 1-Gal @ 4'x6'  | TURPENTINE BUSH        | <i>Ericameria laricifolia</i>     | 3.00   | 4.00  | Low Water Use      |
| (Symbol) | 47        | 1-Gal @ 1'x1'  | APACHE PLUME           | <i>Fallugia paradoxa</i>          | 5.00   | 6.00  | Low Water Use      |
| (Symbol) | 48        | 1-Gal @ 1'x1'  | ISANTI REDTING DOGWOOD | <i>Cornus sericea 'Isanti'</i>    | 4.00   | 5.00  | Medium Water Use   |

| Succulent |           |                   |                     |                            |        |       |                    |
|-----------|-----------|-------------------|---------------------|----------------------------|--------|-------|--------------------|
| SYMBOL    | EST. QTY. | INSTALLED SIZE    | COMMON NAME         | Botanical name             | Height | Width | Water requirements |
| (Symbol)  | 48        | 1-Gal @ 6'x6'     | LECHUGUILLA         | <i>Agave lechuguilla</i>   | 1.00   | 3.00  | Low Water Use      |
| (Symbol)  | 75        | 1-Gal @ 4'x6'     | SOTOL               | <i>Dasylirion wheeleri</i> | 5.00   | 5.00  | Low Water Use      |
| (Symbol)  | 108       | 1-Gal @ 2 PAD MIN | DESERT PRICKLY PEAR | <i>Opuntia engelmannii</i> | 4.00   | 5.00  | Low Water Use      |
| (Symbol)  | 105       | 1-Gal @ 12'x12"   | PLAINS YUCCA        | <i>Yucca glauca</i>        | 2.00   | 3.00  | Low Water Use      |

| Vines    |           |                |                   |                              |        |       |                    |
|----------|-----------|----------------|-------------------|------------------------------|--------|-------|--------------------|
| SYMBOL   | EST. QTY. | INSTALLED SIZE | COMMON NAME       | Botanical name               | Height | Width | Water requirements |
| (Symbol) | 24        | 1-Gal @ 6'x6'  | CORAL HONEYSUCKLE | <i>Lonicera sempervirens</i> | 8.00   | 10.00 | Medium Water Use   |

### GENERAL NOTES

- CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
- REFER TO CIVIL ENGINEER'S UTILITY, EASEMENT AND GRADING PLANS FOR UTILITY LOCATION, EXISTING AND PROPOSED EASEMENTS AND GRADING.
- SEE SITE PLAN FOR DESCRIPTIONS OF HARD ELEMENTS SUCH AS PAVING TYPES, SITE FURNISHINGS AND SITE ELEMENTS.

### IRRIGATION NOTES

- IRRIGATION DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- INSTALLATION AND MAINTENANCE OF IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME SHALL BE ADJUSTED ACCORDING TO SEASON, LOCATION AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT SOD AND POSSIBLY PERENNIAL GROUNDCOVERS. THESE AREAS SHALL BE IRRIGATED WITH SPRAY EMITTERS APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.
- THE USE OF HIGH WATER USE PLANT MATERIALS SHALL BE LIMITED.
- POINT OF CONNECTION: A CONNECTION TO POTABLE WATER FOR IRRIGATION PURPOSES WILL BE MADE ON THE PROPERTY. VALVE BOXES AND EQUIPMENT SHALL BE SHIELDED FROM VIEW.

### KEYED NOTES

- PROPERTY LINE
- TREE IN 56 SF TREE GRATE PER GENERAL REG 14-16-3-10, G.1.C.
- BIKE RACK
- DUMPSTER ENCLOSURE
- PROPOSED POND SEE CIVIL ENGINEER'S DRAWINGS.
- FOCAL POINT, SEE SITE PLAN.
- PHASE DELINEATION LINE.

### LANDSCAPE CALCULATIONS

SITE AREA: 434,594 (PHASE 1: 325,084 SF, PHASE 2: 109,475 SF)  
 BUILDING FOOTPRINT: 48,147 SF  
 NET SITE AREA: 341,362 SF

REQUIRED LANDSCAPE AREA: 51,204 SF (15% OF NET LOT AREA)  
 PROVIDED LANDSCAPE AREA: 11,661 SF (23% OF NET LOT AREA)  
 PHASE 1: 60,239 SF  
 PHASE 2: 11,428 SF

REQUIRED OFF-STREET PARKING TREES: 38 TREES  
 PROVIDED OFF-STREET PARKING TREES: 46 TREES  
 PHASE 1: 36 TREES (ASSUMED)  
 PHASE 2: 10 TREES (ASSUMED)

REQUIRED MULTI-FAMILY RESIDENTIAL TREES: 83 TREES  
 PROVIDED MULTI-FAMILY RESIDENTIAL TREES: 85 TREES  
 PHASE 1: 80 TREES  
 PHASE 2: 5 TREES (ASSUMED)

PROVIDED HIGH WATER USE TURF AREA: 0 SF (0%)  
 ALLOWED HIGH WATER USE TURF AREA: 10,195 SF (20%)

### PLANTING NOTES

- LANDSCAPE DESIGN: THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLIMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO REINFORCE A SENSE OF PLACE WITH PLANTS THAT ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE AND LOCALE. GRASSES AND ACCENT PLANTS SUCH AS YUCCA AND SOTOL WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. LANDSCAPE DESIGN WILL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE AND 14-16-3-10 OF THE CITY OF ALBUQUERQUE GENERAL REGULATIONS.
- EXISTING PLANT MATERIAL: THERE IS SOME LARGE SIZE VEGETATION ON THE SITE, HOWEVER IT IS OF POOR QUALITY AND WILL BE REMOVED. THE SITE HAS BEEN DISTURBED, OTHER EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AT LOW DENSITIES.
- PLANTING INSTALLATION AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER INCLUDING AND REPLACEMENT OF NON-SURVIVING PLANTS WITHIN 90 DAYS.
- LANDSCAPE BEDS SHALL ACHIEVE A MINIMUM 80% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY.
- MULCH: ALL LANDSCAPE AREAS, EXCEPT FOR SODDED AREAS, SHALL BE COVERED WITH 2" OF ROCK MULCH IN ORDER TO MINIMIZE WEED GROWTH, ADD VISUAL INTEREST, AND PROTECT SOIL MOISTURE. COLOR TO BE DETERMINED. SEE PLAN FOR LOCATION.
- CONTRACTOR SHALL VERIFY PLANT COUNTS AND SQUARE FOOTAGES. THIS INFORMATION IS PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM PLAN INDICATIONS, PLAN QUANTITIES SHALL PREVAIL.
- EXACT LOCATION OF PLANT MATERIALS SHALL BE APPROVED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. THE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT PLACEMENT IN THE FIELD. DENSITIES AND OVERALL COUNT OF PLANTS SHALL MEET OR EXCEED THOSE SHOWN ON APPROVED PLAN.
- ORGANIC SOIL BIOLOGY AMENDMENT SHALL BE APPLIED IN ALL TREE AND PLANT PITS.
- PLANTS WITH SPINES WILL BE PLANTED 5' FROM WALKS.

interiors  
planning  
engineering

**Dekker  
Perich  
Sabatini**

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ARCHITECT

ENGINEER

**DRB  
SUBMITTAL**  
7/3/07

PROJECT

**Sawmill Village**  
Bellamah Avenue & 18th Street  
Albuquerque, New Mexico

REVISIONS

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DRAWN BY **MRC**

REVIEWED BY **MRC**

DATE

PROJECT NO. **06124**

DRAWING NAME

**LANDSCAPE PLAN**

SHEET NO.

**SDP2**  
2 OF 9

# Design Standards for Planned Residential Development (PRD)

## Overall Design Theme and Land use Concept:

The purpose of these design standards is to establish a development framework for the area shown on the site development plan for subdivision. These design standards will create an attractive and innovative development that fosters a mixed-use community for residents, artisans and other small business owners, and retailers and their clients. The new community respects the history of the site (former lumber yard), the neighborhood (historic Sawmill and Old Town), and the City. It also allows for the privacy and well-being of the residents and other users. This mix of uses is unique to the City. These standards are complementary to the existing and new design of adjacent properties.

The housing will be affordable rental, and for-sale condominiums and townhome units (an agreement between Sawmill Community Land Trust & the developer allows for up to 20% of condominiums and townhomes to be affordable units). The Active Spaces will be short-term leased to artisans and incubator companies. Service-oriented Retail spaces might be a health club, management leasing office, and other small businesses. Phase II is envisioned with a restaurant with a small brewery, other retailers, and more Active Spaces with apartments above. Green and sustainable building practices shall be incorporated: passive interception of surface water in parking lot landscape surfaces, xeric planting, directing roof water from downspouts to landscape areas when feasible, Energy Star appliances, and some materials with recycled content.

The sawdust hoppers from the site will be relocated and used as site monuments (see 14-6-3-3 in the Zoning Code). The largest hopper is approximately 75' tall, including its sawdust attachments. Site monuments shall comply with regulations applicable to signs within 40 feet of residential zones and to signs in the O-1 zone, specifically:

- the monuments shall not be on the public right-of-way;
- no part of the monument shall move, flash, or rotate;
- any illumination shall comply with the City's Dark Sky requirements;
- no illuminated portion of the monument shall have a luminance greater than 200 footcandle at night nor change its illumination more than once an hour.

Various plazas serve both residents and visitors. Semi-private spaces for the residents are shown in the inner areas of the site and residents have private patios, courtyards, balconies, decks or roof decks. Salvage of steel and metal from the site's previous life as a lumber yard will be used on site as signage, markers, and sculpture.

All units that face property zoned industrial shall have sound reducing insulation and windows.

The Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code shall approve minor amendments to this Site Plan for Subdivision. The Environmental Planning Commission shall approve major amendments to this Site Development Plan for Subdivision. Phase II site development plans for building permit are delegated to the DRB for approval.

## Off-Street Parking:

Off-street parking space shall be provided in compliance with other similar mixed-use and infill developments. The site is designed as a shared parking environment for both residential and commercial uses. Parking space design is in compliance with regulation 14-16-3-1. Each townhome has a single-car garage and driveway parking for a second car. See SDP1 for Parking Calculation.

The guidelines also apply to disabled parking, and motorcycle and bicycle parking. Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided. Bicycle racks shall be constructed of metal and finished in colors harmonious with those of the buildings on site.

## Architectural Design Guidelines:

### Landscape

The landscape design for Phase I and Phase II of the project will strive to engage the users by providing a welcoming environment for the residents and public. Through the use of xeric plants outdoor spaces will have seasonal color, texture and scale and will compliment the architecture. Trees will be used to provide shade in pedestrian areas, highlight intersections and establish hierarchy of streets. Accent plants will be used to emphasize entries and provide sculptural interest. The remainder of the plant palette will be a mixture of shrubs, ornamental grasses and groundcovers. The landscape design will comply with the intent of the city of Albuquerque Water Conservation, Landscaping and Water Waste ordinance and 14-16-3-10 of the city of Albuquerque General Regulations.

A landscape plan for Phase II shall be included with the (first) site development plan for building permit of a building on the Phase II property, reflecting the calculations, plant palette and design theme of the approved Phase I landscape plan.

### Exterior Wall Materials and Colors

Exterior wall materials reflect the vernacular in the Sawmill neighborhood, the previous lumber mill and its industrial buildings and geometric forms, and a modern blend of both.

Articulation of massing so as not to produce a long and flat building facade shall be considered and encouraged. Contemporary colonnades and portals provide shade and cover to the occupant and pedestrian and enrich the building planes with light changes. They further promote pedestrian site access and a place for people to work and socialize. The possible salvage of steel building frames could provide some of the columns and recall the former use of the site.

Stucco wall finish system (or synthetic version) reinforces the vernacular architectural expression as do metal wall panels, corrugated steel, rusted steel, and stained cement panels. Exterior wall color shall reflect a consistent overall palette of earth and sky-based tones, both pale and saturated with color, as is the palette from nature.

In Phase I the apartment buildings (D and E) will use a stucco wall finish system and metal wall panels in addition to metal shading devices. Color will be medium and deep earth tones, warm gray, and the metal will be silver with another accent color.

Building B will include red oxide painted metal shading devices. Structural steel columns that comprise the arcade along along the east and west face of the first floor retail spaces will also be red oxide color. Stucco colors of raw sienna, terracotta, indigo blue, and burnt ochre work in conjunction with the grouping of the building's different masses. Stairs and balconies have steel railings. They are in keeping with the industrial reference to the Sawmill district as are the aluminum framed windows and doors.

The townhomes will incorporate two stucco colors, light ochre and medium grey green along with terracotta stained cement board panels that will break up the facade texturally as well.

Active Spaces are shown with aluminum framed overhead sectional doors or large windows. The purpose of these is to open those spaces to the public either by an artisan that may want to open an overhead door to share his or her craft or via a large window to provide both views in and out. (Overhead doors are not provided for vehicle access.)

Exterior detail trim such as shade canopies and louvers, trellises, and open railings shall be consistently detailed for each building to complement the overall architecture.

Phase II buildings will follow the same palette of materials and colors as Phase I.

### Roof materials and colors

Rooflines shall be reminiscent of the turn of the century neighborhood roofs, including the simple pitches of the industrial ghosts, or clean line parapets. Apartment buildings will have low heat absorbing "flat" roofs hidden behind parapets. The retail-condos building will have a low slope roof and parapets all around. The roof will be a low heat absorbing single ply material in a light color that will help reduce heat gain in the building. Roofs on the townhomes will be low heat absorbing single ply roof material that will help reduce heat gain in the homes. Some townhome roofs are sloped (pitch ranges from 2:12 - 5:12). Phase II buildings will follow the same range of roof lines, materials and colors as Phase I.

### Site Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Fixtures shall comply with the City of Albuquerque's Dark Skies requirements.
- The height of street lights and parking area lights shall be kept to the minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Perimeter parking (north and northeast in Phase I, west perimeter in Phase II): 25' high maximum pole with cutoff features provided that the lighting fixture does not directly shine on any residential premises.
- Other parking: 16' high maximum pole
- Buildings and adjacent pedestrian areas: Building mounted fixtures, bollards.

### Placement of Mechanical Units

Care shall be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through free-standing dense evergreen foliage or on "green walls". Roof mounted units shall be screened from public view through the use of parapet walls or roof screens that are architecturally coordinated with the building they serve.

### Signage

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and compliments the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Signs identifying the principal use of a building may be free-standing or wall-mounted. Signs identifying the use of an active or other commercial space within the building shall be wall-mounted or banner-type sign that projects no more than half of the adjacent sidewalk width.
- The design of the interior directional signs shall be coordinated with the design of the site signage.
- No illuminated plastic panel signs are allowed.

### Screen Walls and Fences

Site fencing will be designed to comply with section 14-6-3-19 in the Zoning Code to be harmonious with the development & adjacent properties.

"Green walls" - 6' high open metal fencing with plant material growing on or adjacent - will be used in all possible locations including the East and North site perimeter. The color will be neutral so as to harmonize with the plant material. Fencing along the Railroad line will be similar to the adjacent Sawmill Lofts - 6' high open metal picket painted in a neutral color. At the extended plaza area at the pond, similar material and color will be used as guardrails.

Patio walls shall reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of metal fencing (rail or solid) to articulate semi-private patios and balconies. Patio walls shall not exceed 5'. Color shall be harmonious with the adjacent building.

Townhome yard separation walls will be a composite of cmu wall with stained cement board in a metal frame above the cmu. It will be stained and painted terracotta which is also used on the homes. Back yard walls shall not exceed 6'.

The west, south, and east sides of the detention pond will be fenced to the property line with a steel open rail fence or guardrail. These fences and guardrails will be painted a neutral color.

The decorative wall on the north side of the plaza will be constructed, in part, of industrial salvage materials from the site. Other possible materials are metal, cmu (not standard grey), and stucco. This wall will serve as the backdrop for the main gathering space and will recall the former life of the site.

The effective use of screening devices for utilitarian spaces, such as refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be placed away from public rights of way to the extent practical. Materials shall be chosen from cmu (not standard grey), stucco, and metal in colors harmonious with the adjacent buildings.

### Trails and Sidewalks

Public and private walks provide important connectivity within the project as well as in and out of the site.

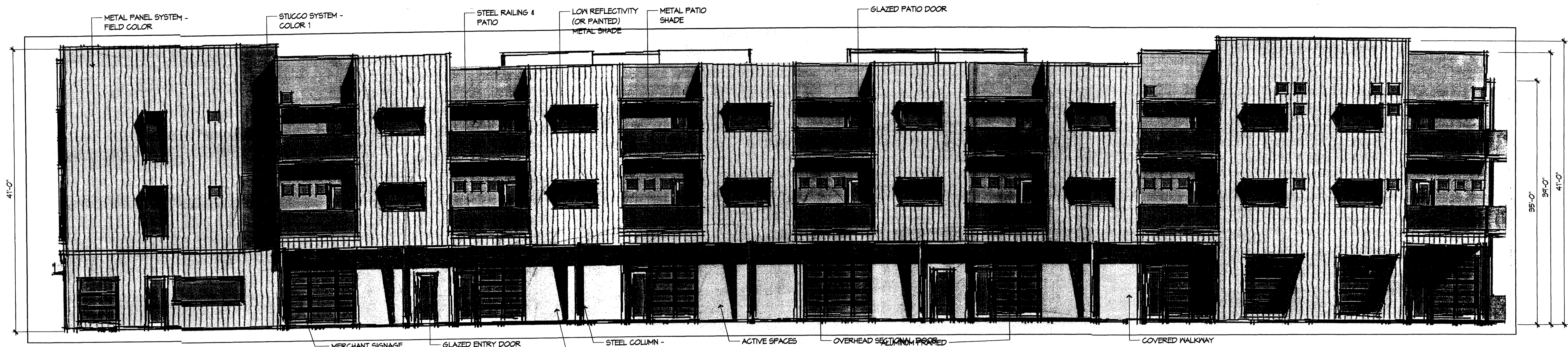
- The eastern edge of the site will join a pedestrian path providing for both off and on-site connectivity to recreation and facilities. All private trails and paths shall be soft surface, with a minimum of 5'-0" width. The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.

### Public Open Space

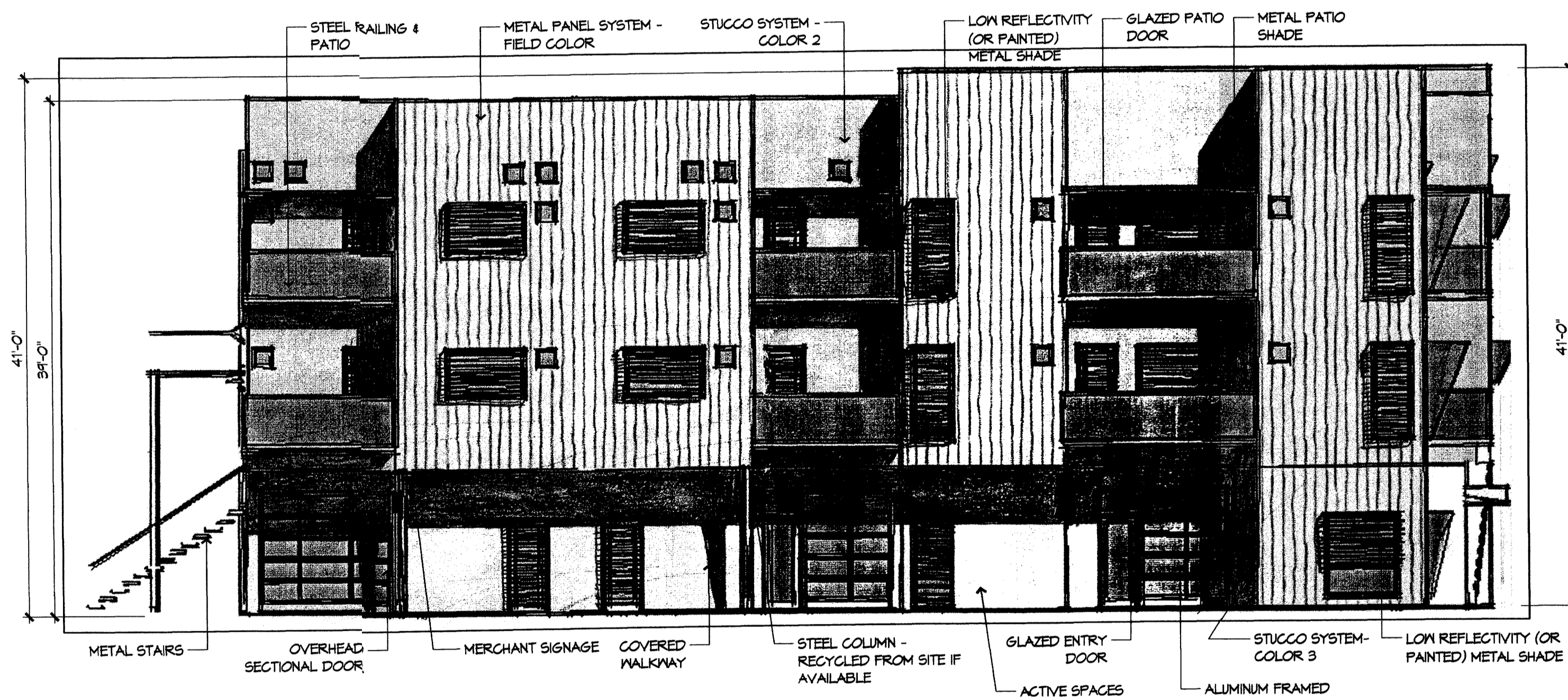
An important design of this mixed-use community is the inclusion of plazas: opportunities for residents to meet their neighbors and visitors to the site. The plazas are designed to provide quiet space in the shade for an individual, for a group listening to a local musician, and for a community-wide growers' market. The public areas are varied in size and character and will be suited to the same variety of interests. Open plazas and commercial areas shall have seating & shade covering a minimum of 25% of the area per 14-16-3-18 (c) (4) in the zoning code.



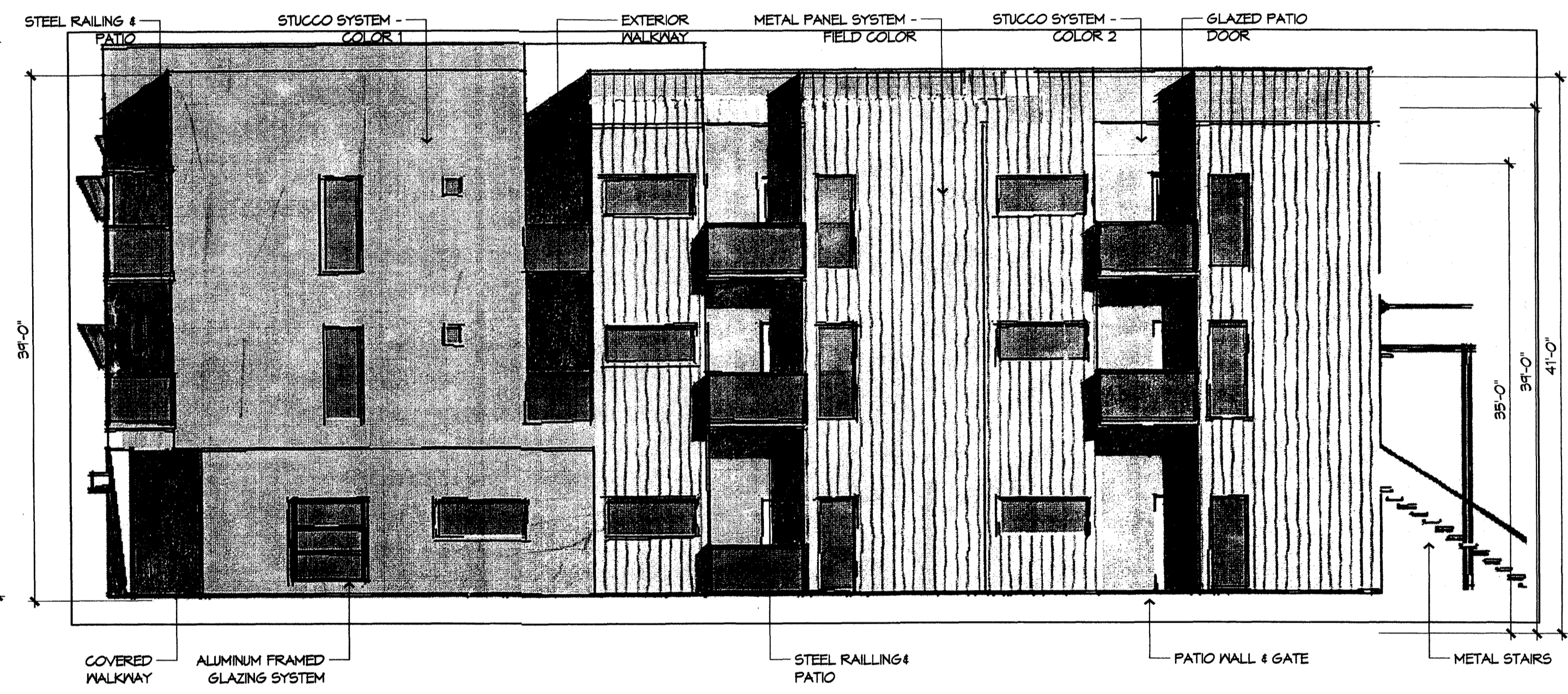
Context and Pedestrian Connections



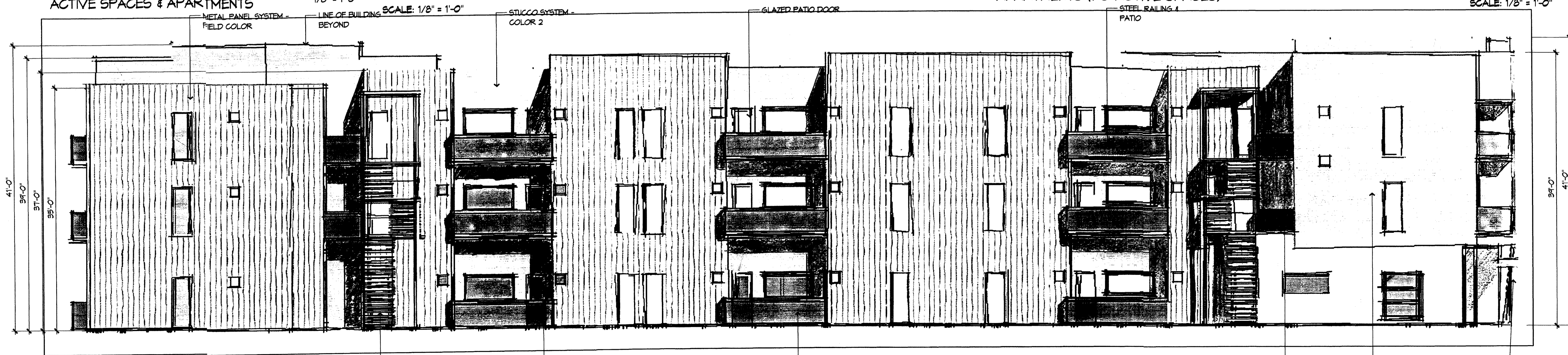
**ILLUSTRATIVE SOUTH ELEVATION D1 (N. ELEV. D2)**  
ACTIVE SPACES & APARTMENTS  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE WEST ELEVATION D1**  
ACTIVE SPACES & APARTMENTS  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE ELEVATION E1, E2, & E3 (EAST OR WEST)**  
APARTMENTS (NO ACTIVE SPACES)  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE ELEVATION E1, E2, & E3 (NORTH OR SOUTH)**  
APARTMENTS (NO ACTIVE SPACES)  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"

| COLOR LEGEND   |  |
|--|--|
| △  | COLOR 1 - MEDIUM EARTH TONE  |
| △  | COLOR 2 - DEEP EARTH TONE  |
| △  | COLOR 3 - WARM GRAY  |
| △  | FIELD COLOR METAL PANEL SYSTEM - SILVER (LIKE GALVALUME). SECOND METAL COLOR USED AS MINOR ACCENT. |
| NOTE: EACH BUILDING HAS A MAXIMUM OF FOUR WALL COLORS. |  |

| APARTMENT UNIT SIZES (APPROXIMATE) |             |
|------------------------------------|-------------|
| 1 BEDROOM, 1 BATH:                 | 650-750 SF  |
| 2 BEDROOM, 1 BATH:                 | 850-950 SF  |
| 2 BEDROOM, 2 BATH:                 | 950-1050 SF |

| ACTIVE SPACE SIZES (APPROXIMATE)     |  |
|--------------------------------------|--|
| ACTIVE SPACES RANGE FROM 550-1050 SF |  |

| REVISIONS |  |
|-----------|--|
| △         |  |
| △         |  |
| △         |  |
| △         |  |

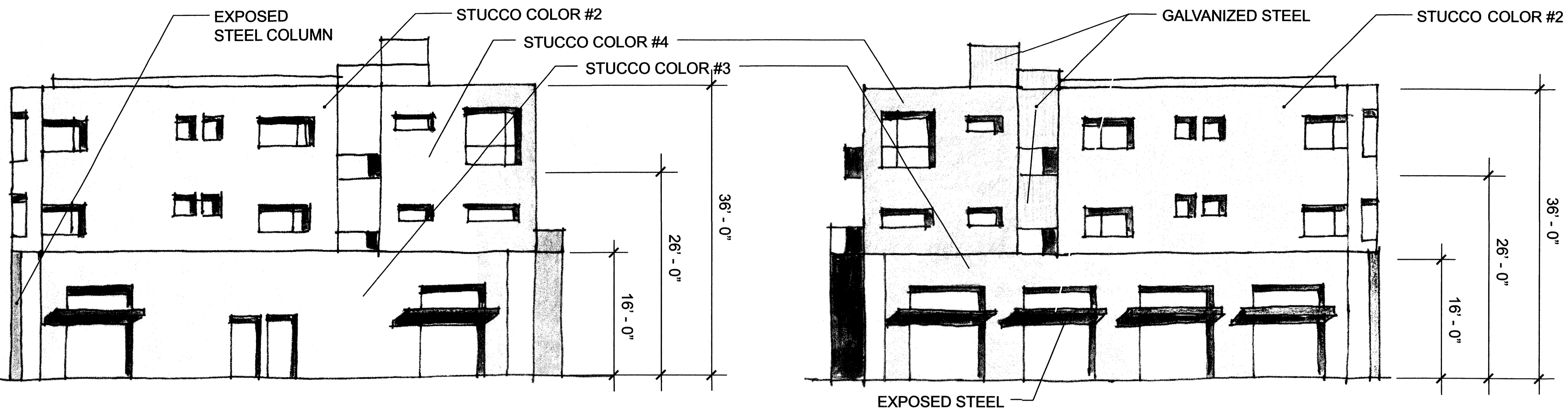
|              |                            |
|--------------|----------------------------|
| DRAWN BY     | BB, DM, CM                 |
| REVIEWED BY  | CM                         |
| DATE         |                            |
| PROJECT NO.  | 06124                      |
| DRAWING NAME | ELEVATIONS - D1E BUILDINGS |

**BUILDING B - SQUARE FOOTAGE**

|                     |                      |
|---------------------|----------------------|
| Commercial/ Retail  | +/- 8,950 SF         |
| Residential Level 2 | +/- 11,500 SF        |
| Residential Level 3 | +/- 11,500 SF        |
| <b>Total</b>        | <b>+/- 31,950 SF</b> |

**FINISHES**

|                  |                  |
|------------------|------------------|
| Stucco Color #1: | Raw Sienna       |
| Stucco Color #2: | Burnt Ochre      |
| Stucco Color #3: | Terracotta       |
| Stucco Color #4: | Indigo Blue      |
| Exposed Steel:   | Rust / Red Oxide |
| Windows:         | Aluminum Finsh   |

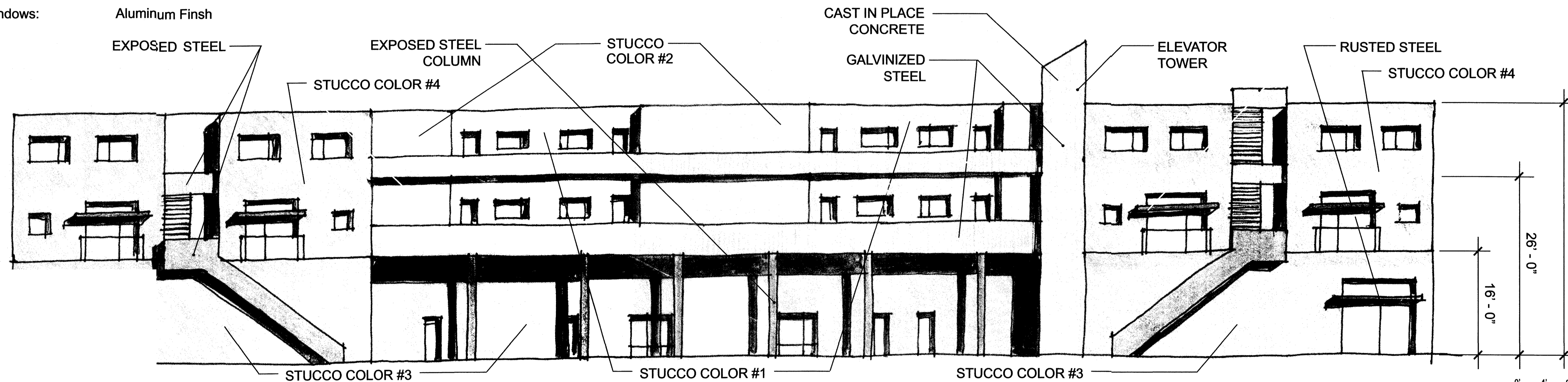


**ILLUSTRATIVE SOUTH ELEVATION**  
COMMERCIAL / RETAIL-CONDOS

SCALE: 1/8" = 1'-0"

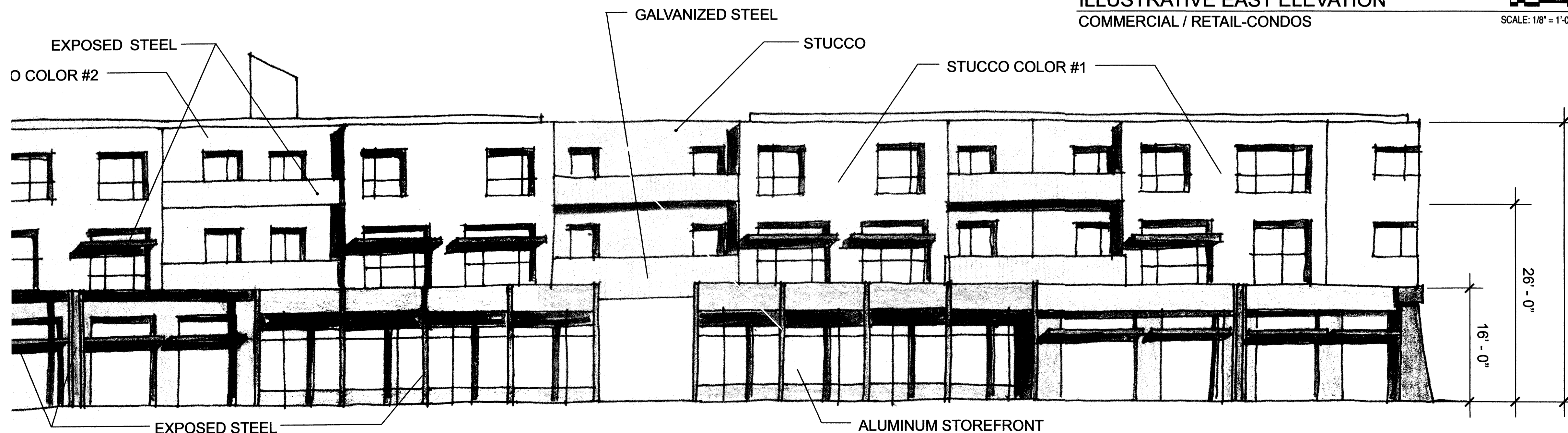
**ILLUSTRATIVE NORTH ELEVATION**  
COMMERCIAL / RETAIL-CONDOS

SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE EAST ELEVATION**  
COMMERCIAL / RETAIL-CONDOS

SCALE: 1/8" = 1'-0"



**ILLUSTRATIVE WEST ELEVATION**  
COMMERCIAL / RETAIL-CONDOS

SCALE: 1/8" = 1'-0"

**GARRETT SMITH LTD**  
DESIGN, ARCHITECTURE & DEVELOPMENT  
514 CENTRAL SW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
505/766-8988  
FAX/243-4508

ARCHITECT

ENGINEER

DRB  
SUBMITTAL  
7/03/07

PROJECT

**Sawmill Village**  
**Bellamah Avenue & 18th Street**  
Albuquerque, New Mexico

REVISIONS  
△  
△  
△  
△

DRAWN BY  
REVIEWED BY  
DATE  
PROJECT NO. 06124  
DRAWING NAME

ELEVATIONS  
BUILDING B

SHEET NO.  
SPD-5  
5 OF 9

514 CENTRAL SW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
505/766-6968  
FAX/243-4508

GARRETT SMITH LTD  
DESIGN, ARCHITECTURE & DEVELOPMENT  
ARCHITECT

**FINISHES**

- Stucco Color #1: Light Ochre
- Stucco Color #2: Medium Grey-Green
- Stained Cement Panel: Terracotta

**Backyard Fencing**

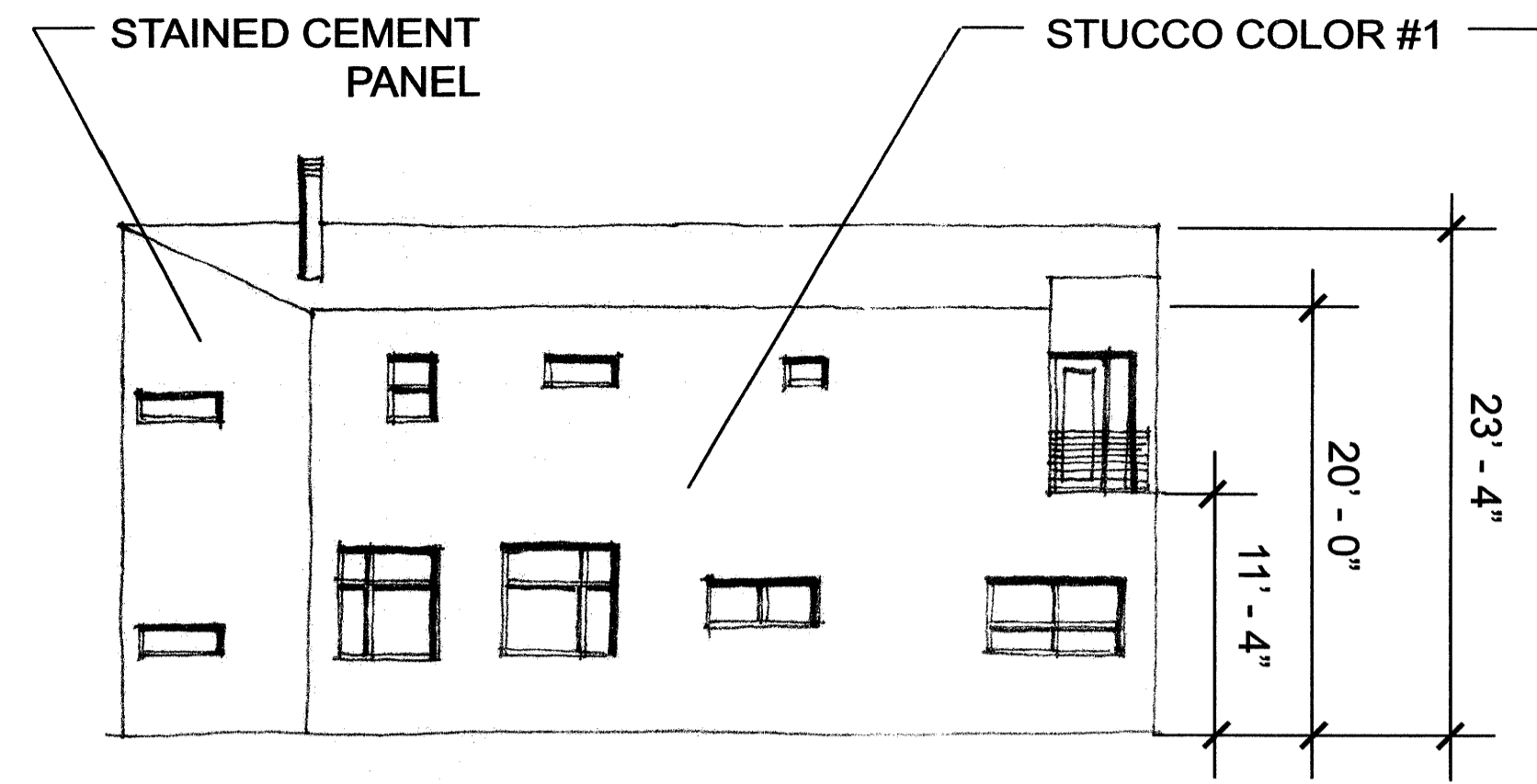
2' CMU wall with stained cement board panel in metal tubular steel frame painted terracotta

**Roof**

Sloping and flat roofs to be off white single ply membrane

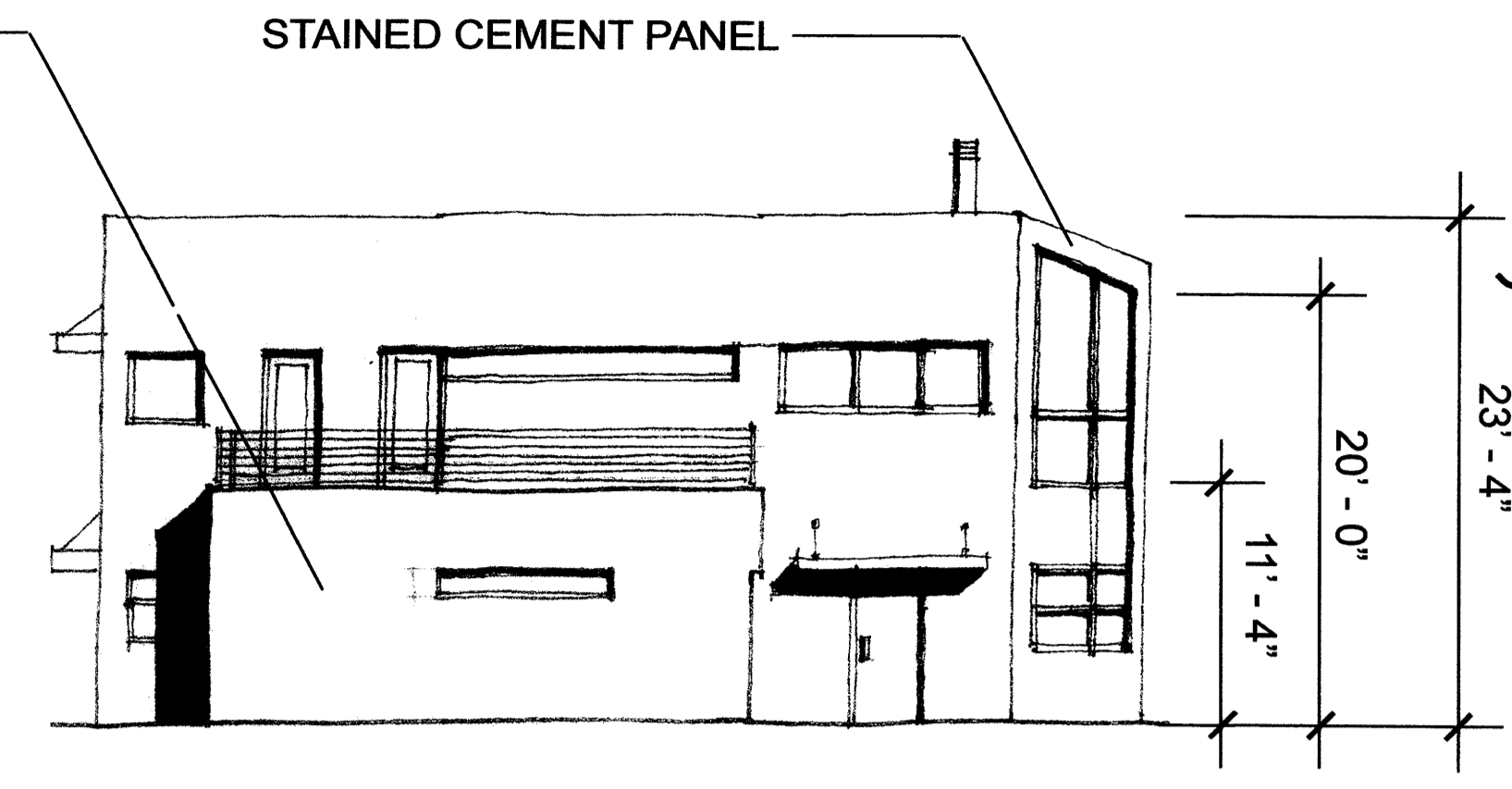
**BUILDING F - SQUARE FOOTAGE**

|                 |                      |
|-----------------|----------------------|
| Eight Townhomes | +/-1550 SF           |
| <b>Total</b>    | <b>+/- 12,400 SF</b> |



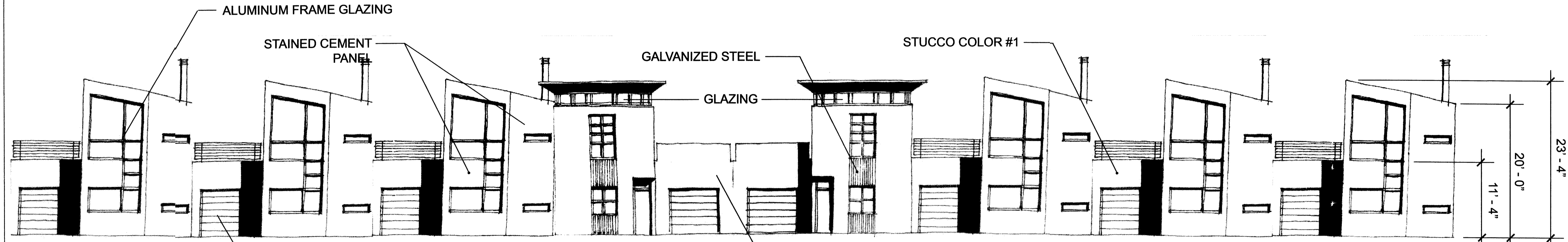
ILLUSTRATIVE WEST ELEVATION  
TOWNHOMES

SCALE: 1/8" = 1'-0"



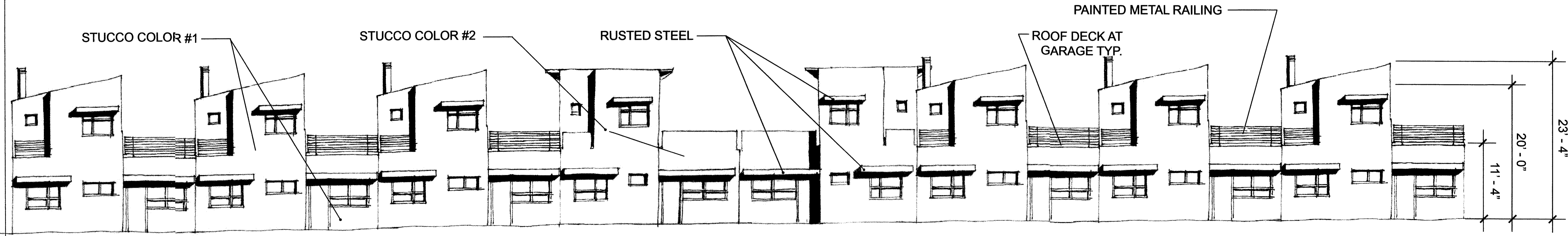
ILLUSTRATIVE EAST ELEVATION  
TOWNHOMES

SCALE: 1/8" = 1'-0"



ILLUSTRATIVE NORTH ELEVATION  
TOWNHOMES

SCALE: 1/8" = 1'-0"



ILLUSTRATIVE SOUTH ELEVATION  
TOWNHOMES

SCALE: 1/8" = 1'-0"

ENGINEER

DRB  
SUBMITTAL

6/15/07  
7/3/07

PROJECT

**Sawmill Village**  
**Bellamah Avenue & 18th Street**  
Albuquerque, New Mexico

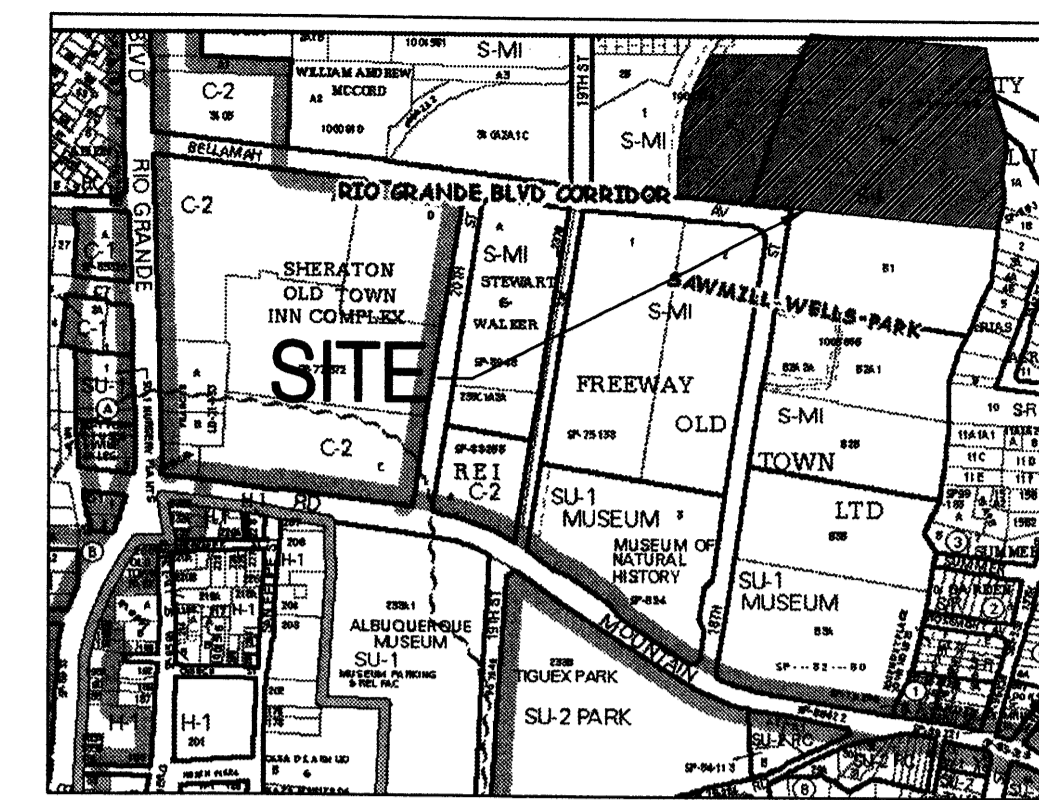
REVISIONS

- △
- △
- △
- △

DRAWN BY \_\_\_\_\_  
REVIEWED BY \_\_\_\_\_  
DATE \_\_\_\_\_  
PROJECT NO. 06124  
DRAWING NAME \_\_\_\_\_

ELEVATIONS  
BUILDING F

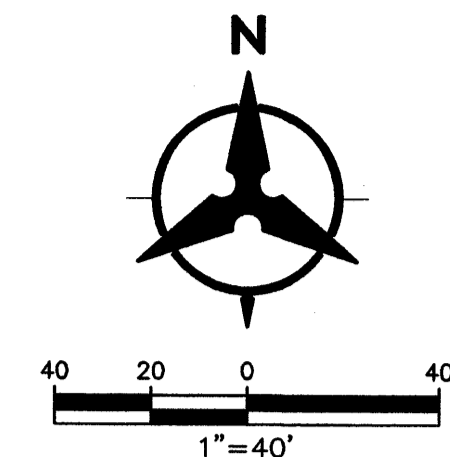
SHEET NO.  
SPD-6  
6 OF 9



VICINITY MAP  
ZONE ATLAS PAGE J-13-Z

**LEGEND**

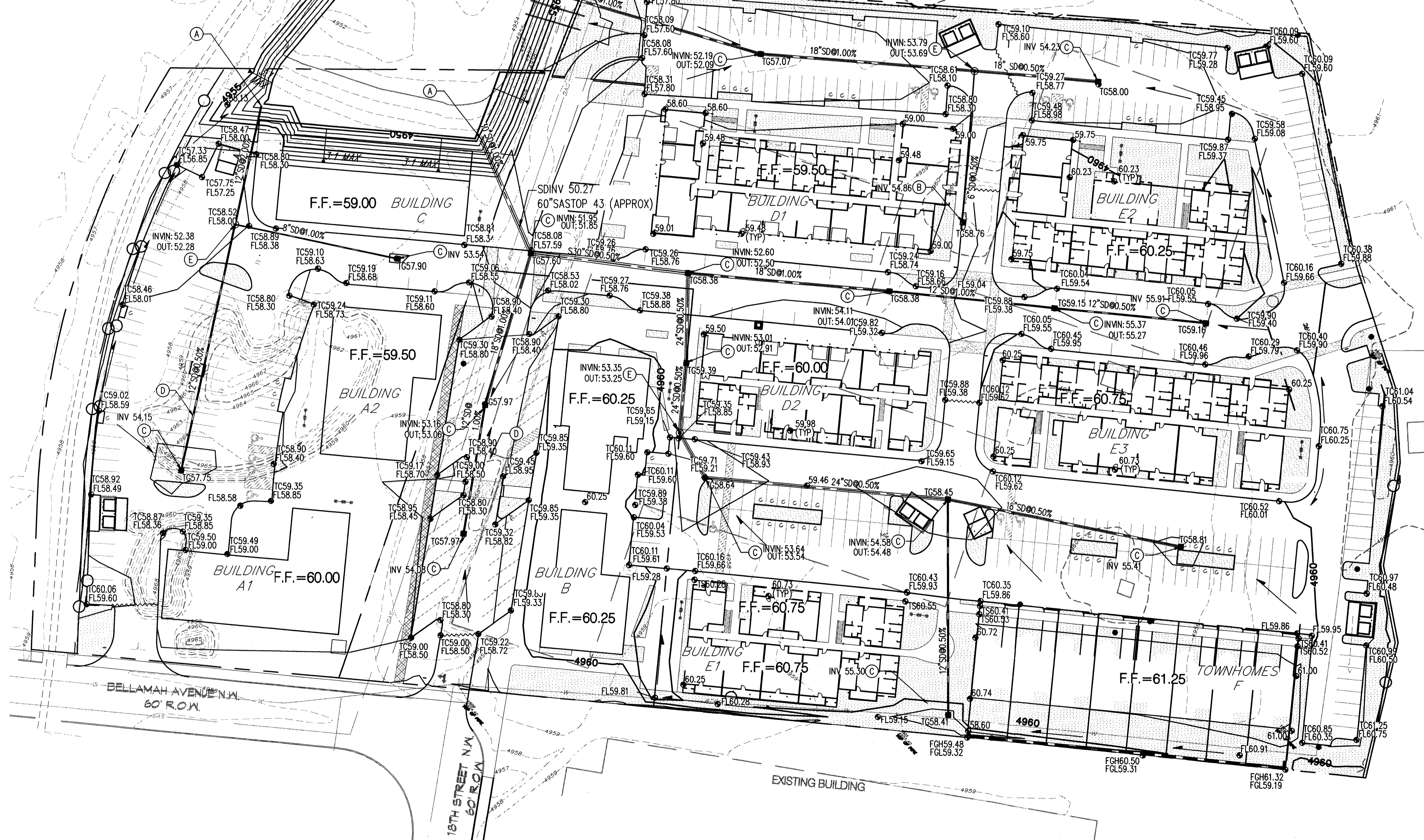
- PROPERTY LINE
- - - - - 5.301' EXISTING CONTOURS
- 5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TG=TOP OF GRADE
- FOH=FINISH GROUND HIGH SIDE
- FGL=FINISH GROUND LOW SIDE
- PROPOSED DIRECTION OF FLOW
- 5.305' PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED RETAINING WALL (MANUFACTURED KEY STONES)
- PROPOSED STORM DRAIN INLET
- PROPOSED MANHOLE
- EXISTING MONUMENT

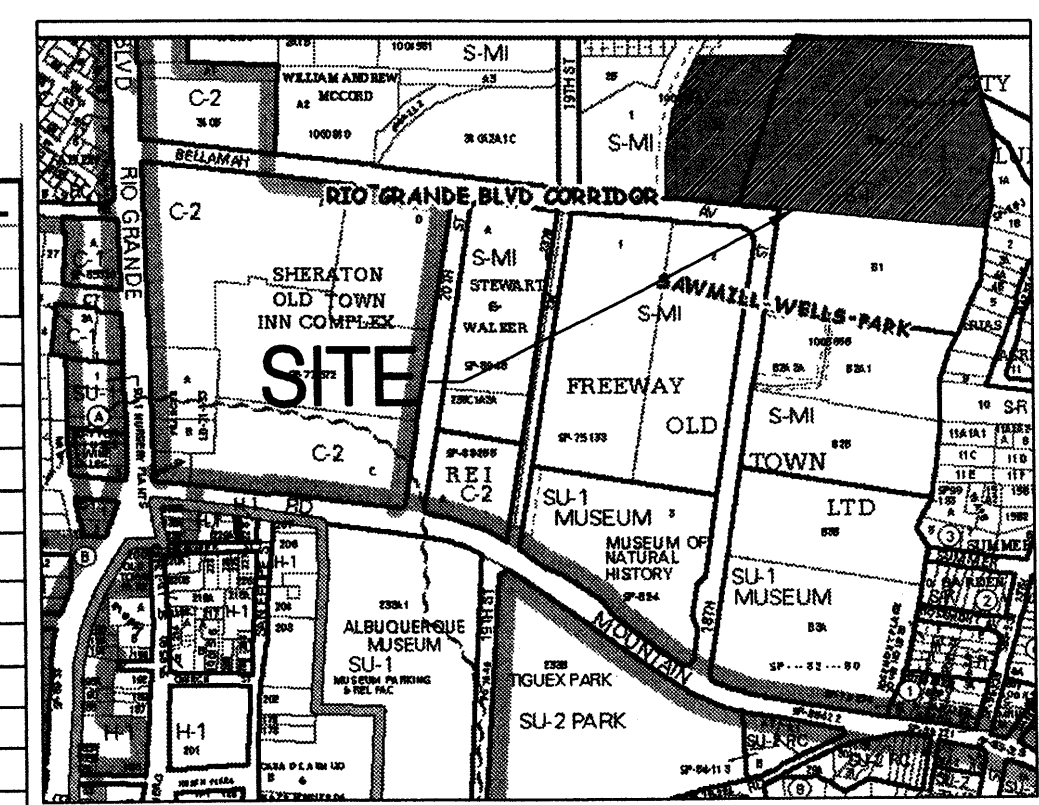


**KEYED NOTES**

- (A) DAYLIGHT PRIVATE STORM DRAIN TO POND
- (B) TYPE C INLET
- (C) TYPE D INLET
- (D) PRIVATE STORM DRAIN
- (E) PRIVATE STORM DRAIN MANHOLE
- (F) CONCRETE RUNDOWN

PONDBOT: 4949.50  
MWSE: 4955.70  
VOL: 238,560 CF  
EXPANSION: 59,137 CF





VICINITY MAP  
ZONE ATLAS PAGE J-13-Z

**SAWMILL VILLAGE SITE BASIN PROPERTIES (PHASE I & II)**

**Proposed Ultimate Development Conditions Basin Data Table**  
This table is based on the DPM Section 22.2, Zone: 2

| Basin ID    | Area (SQ. FT) | Area (AC.) | Land Treatment Percentages |       |      |       | Q(100) cfs/ac. | Q(100) (CFS) | V(100) inches | V(100)HR (CF) |
|-------------|---------------|------------|----------------------------|-------|------|-------|----------------|--------------|---------------|---------------|
|             |               |            | A                          | B     | C    | D     |                |              |               |               |
| Tract B-2-A | 226055        | 7.46       | 0.0%                       | 5.0%  | 5.0% | 90.0% | 4.50           | 33.58        | 2.00          | 37742         |
| BASIN 1     | 34415         | 0.79       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46           | 3.52         | 1.99          | 5696          |
| BASIN 2     | 34871         | 0.80       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46           | 3.57         | 1.99          | 5771          |
| BASIN 3     | 14171         | 0.33       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58           | 1.49         | 2.05          | 2424          |
| BASIN 4     | 17798         | 0.41       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58           | 1.87         | 2.05          | 3045          |
| BASIN 5     | 3260          | 0.07       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46           | 0.33         | 1.99          | 540           |
| BASIN 6     | 11415         | 0.26       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58           | 1.20         | 2.05          | 1953          |
| BASIN 7     | 20804         | 0.48       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46           | 2.13         | 1.99          | 3443          |
| BASIN 8     | 16442         | 0.38       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46           | 1.68         | 1.99          | 2721          |
| BASIN 9     | 2706          | 0.06       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58           | 0.28         | 2.05          | 463           |
| BASIN 10    | 31998         | 0.73       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58           | 3.36         | 2.05          | 5474          |
| BASIN 11    | 30743         | 0.71       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58           | 3.23         | 2.05          | 5260          |
| BASIN 12    | 42740         | 0.98       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46           | 4.37         | 1.99          | 7073          |
| BASIN 13    | 21398         | 0.49       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58           | 2.25         | 2.05          | 3661          |
| BASIN 14    | 22866         | 0.52       | 0.0%                       | 5.0%  | 0.0% | 45.0% | 3.37           | 1.75         | 1.38          | 2612          |
| BASIN 15    | 6813          | 0.16       | 0.0%                       | 15.0% | 0.0% | 85.0% | 4.34           | 0.68         | 1.92          | 1090          |
| BASIN 16    | 29822         | 0.68       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58           | 3.13         | 2.05          | 5102          |
| BASIN 17    | 14451         | 0.33       | 0.0%                       | 65.0% | 0.0% | 35.0% | 3.13           | 1.04         | 1.25          | 1504          |
| BASIN 18    | 62175         | 1.43       | 0.0%                       | 10.0% | 0.0% | 90.0% | 4.46           | 6.36         | 1.99          | 10290         |
| BASIN 19    | 7620          | 0.17       | 0.0%                       | 5.0%  | 0.0% | 95.0% | 4.58           | 0.80         | 2.05          | 1304          |

**STORM DRAIN PIPE TABLE**

| PIPE #         | Contributing Basins and Storm Drains | Size in. | Slope | ACTUAL FLOW  |          |
|----------------|--------------------------------------|----------|-------|--------------|----------|
|                |                                      |          |       | Capacity cfs | FLOW cfs |
| <b>NORTH</b>   |                                      |          |       |              |          |
| SD1            | BSN 2                                | 18       | 0.50% | 7.43         | 3.57     |
| SD2            | BSN 5                                | 6        | 0.50% | 0.40         | 0.33     |
| SD3            | BSN 2,5                              | 18       | 1.00% | 10.50        | 3.90     |
| SD4            | BSN 1,2,5                            | 18       | 1.00% | 10.50        | 7.42     |
| <b>CENTRAL</b> |                                      |          |       |              |          |
| SD5            | BSN 3,4,6,7,8,9,10,11,12,13,14,19    | 30       | 1.00% | 41.02        | 24.43    |
| SD6            | BSN 3,4,6,7,9,10,11,12,14            | 30       | 0.50% | 29.00        | 19.70    |
| SD7            | BSN 9,10,11,12,14                    | 24       | 0.50% | 16.00        | 13.01    |
| SD8            | BSN 10,11,12,14                      | 24       | 0.50% | 16.00        | 12.72    |
| SD9            | BSN 11,12,14                         | 24       | 0.50% | 16.00        | 9.36     |
| SD10           | BSN 12                               | 18       | 0.50% | 7.43         | 4.37     |
| SD11           | BSN 14                               | 12       | 0.50% | 2.52         | 1.75     |
| SD12           | BSN 4,6,7                            | 18       | 1.00% | 10.50        | 5.20     |
| SD13           | BSN 6,7                              | 12       | 1.00% | 3.56         | 3.33     |
| SD14           | BSN 7                                | 12       | 0.50% | 2.52         | 2.13     |
| SD15           | BSN 8,13                             | 18       | 1.00% | 10.50        | 3.93     |
| SD16           | BSN 13                               | 12       | 1.00% | 3.56         | 2.25     |
| <b>WEST</b>    |                                      |          |       |              |          |
| SD17           | BSN 15,16                            | 12       | 2.00% | 5.04         | 3.81     |
| SD18           | BSN 15                               | 8        | 1.00% | 1.21         | 0.68     |
| SD19           | BSN 16                               | 12       | 1.00% | 3.56         | 3.13     |

**GRADING AND DRAINAGE NARRATIVE**

**Site Location and Background Information**

The purpose of this submittal is to present a drainage and grading plan for the proposed Sawmill Village development to the North of Bellamah and 18th street. The design site proposes mixed use development. There will be some residential townhomes, and some commercial sites. The site is in rainfall zone 2 as defined by figure A-1 of the DPM section 22. The existing legal description of the site is Tract 2-D, Arbolera De Vida and Lot B-2-A, Duke City Lumber Company Addition. Please see the vicinity map on this sheet for a graphic depiction of the site location. This conceptual grading and drainage plan is submitted in support site plan approval.

The Sawmill Master Drainage Plan Area, prepared by Bohannon Huston Inc. addresses drainage off the western site and the surrounding area to the west and north (city hydrology file: H13-D25). This submittal integrates the eastern parcel 2-D into the Sawmill Master Drainage Plan and modifies the pond construction to be in compliance with the guidance and recommendations set forth in that report.

**Existing Conditions**

This entire site (Tracts 2-D & B-2-A) is approximately 10 acres and is an old industrial sawmill. The natural slope of the site is very flat. The slope across the site is less than 1% from the northeast to the southwest. There is an existing pond north of Tract 2-D that is part of the Sawmill Master Drainage Plan. It currently discharges into the storm drain in Bellamah at a maximum flow of 4 C.F.S. The site is approximately level with Bellamah and the surrounding properties.

**Proposed Conditions**

Under proposed conditions the site will slope slightly to the pond north of Tract 2-D and utilize storm drain systems to convey runoff to the pond w/ functional surface slopes. The site will be mostly impervious treatment, D and the rest landscaped treatment B and C. The Sawmill Master Drainage Plan sizes the existing pond as a retention system to be conservative. The pond is a retention pond to elevation 4954 at which it can discharge 4 C.F.S. in a detention condition. The existing pond is sized to accept runoff from the western tract 2-D. The pond expansion is to include additional runoff from Lot B-2-A. With this project, we propose to expand the volume of the existing pond by approximately 59,000 CF. This expansion can be accomplished without lowering the pond bottom. Accordingly, the depth of retained water below the invert of the outlet pipe will not be increased with this project. The proposed pond expansion volume exceeds the 100yr, 6hr storm volume generated by tract B-2-A.

**Flood plain**

In accordance with FEMA community map panel #35001C0331 E, the site is not located within a flood plain.

**Offsite Flows**

There are no significant upstream offsite flows which will impact this site.

**Conclusions**

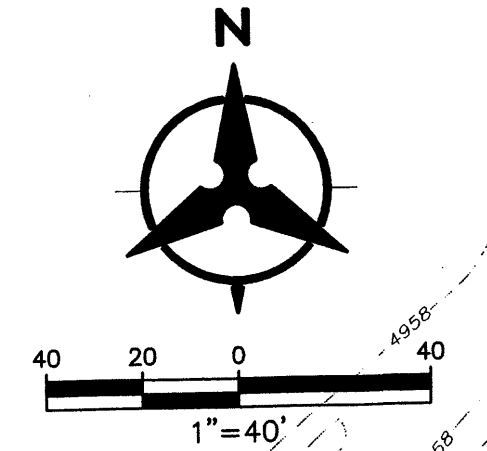
This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan clearly demonstrates the proposed grading and drainage concepts. The implementation of these concepts would result in the safe passage of the 100 year storm event. With this submittal we request hydrology department approval of this Grading and Drainage Plan for DRB site plan approval.

**INLET TABLE**

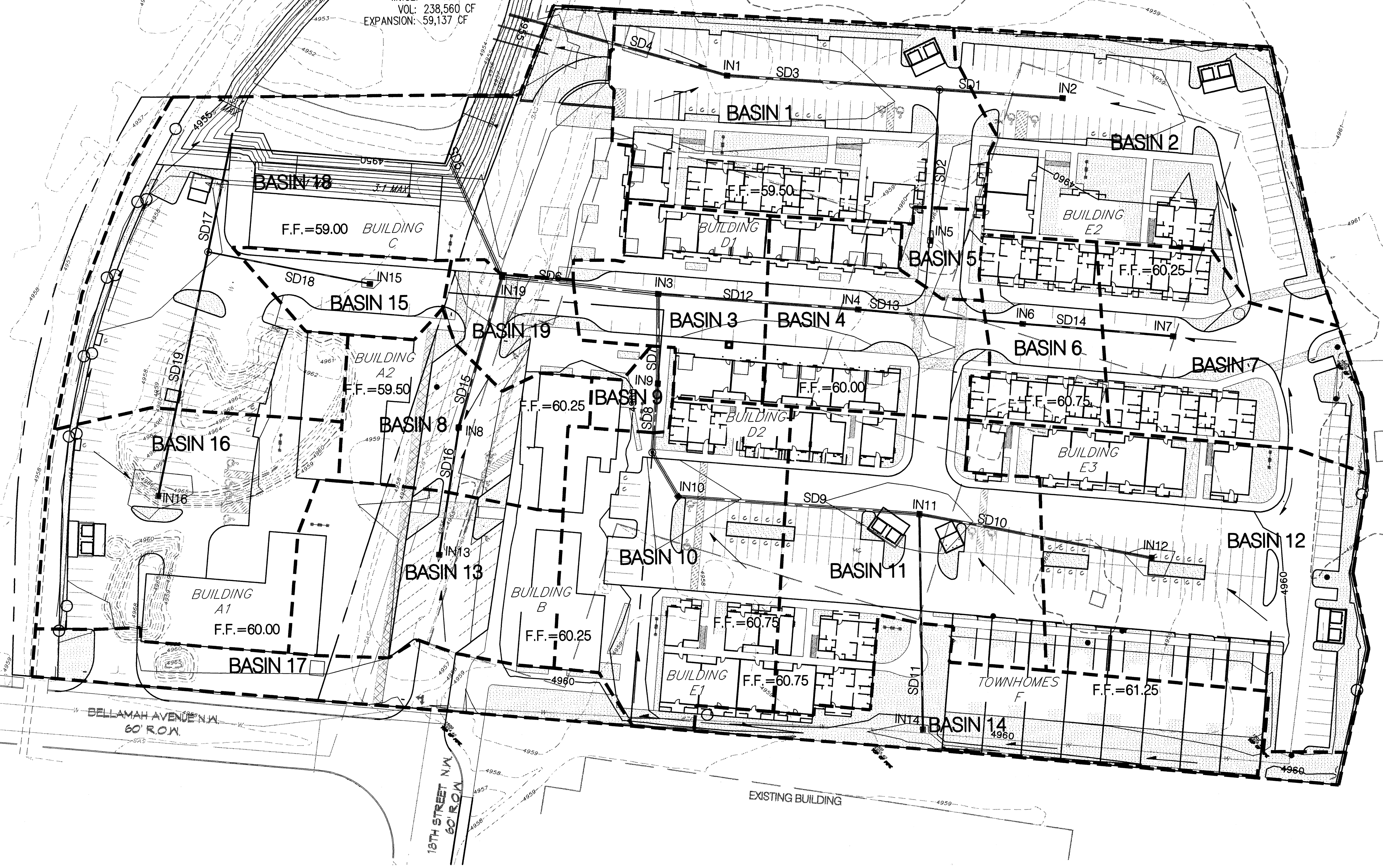
| Inlet # | Inlet Type | Top of Grate | Actual Flow | Avail Head ft | Capacity |
|---------|------------|--------------|-------------|---------------|----------|
| IN1     | 1-SGL D    | 57.07        | 3.52        | 0.5           | 5.07     |
| IN2     | 1-SGL D    | 58.00        | 3.57        | 0.5           | 5.07     |
| IN3     | 1-SGL D    | 58.38        | 1.49        | 0.5           | 5.07     |
| IN4     | 1-SGL D    | 58.38        | 1.87        | 0.5           | 5.07     |
| IN5     | 1-SGL C    | 58.76        | 0.33        | 0.5           | 5.07     |
| IN6     | 1-SGL D    | 59.15        | 1.20        | 0.5           | 5.07     |
| IN7     | 1-SGL D    | 59.16        | 2.13        | 0.5           | 5.07     |
| IN8     | 1-SGL D    | 57.97        | 1.68        | 0.5           | 5.07     |
| IN9     | 1-SGL D    | 59.39        | 0.28        | 0.5           | 5.07     |
| IN10    | 1-SGL D    | 58.64        | 3.36        | 0.5           | 5.07     |
| IN11    | 1-SGL D    | 58.45        | 3.23        | 0.5           | 5.07     |
| IN12    | 1-SGL D    | 58.81        | 4.37        | 0.5           | 5.07     |
| IN13    | 1-SGL D    | 57.97        | 2.25        | 0.5           | 5.07     |
| IN14    | 1-SGL D    | 58.80        | 1.75        | 0.5           | 5.07     |
| IN15    | 1-SGL D    | 57.90        | 0.68        | 0.5           | 5.07     |
| IN16    | 1-SGL D    | 57.75        | 3.13        | 0.5           | 5.07     |

\* The actual head available varies with each inlet, but in no case is the available head less than 0.5'.

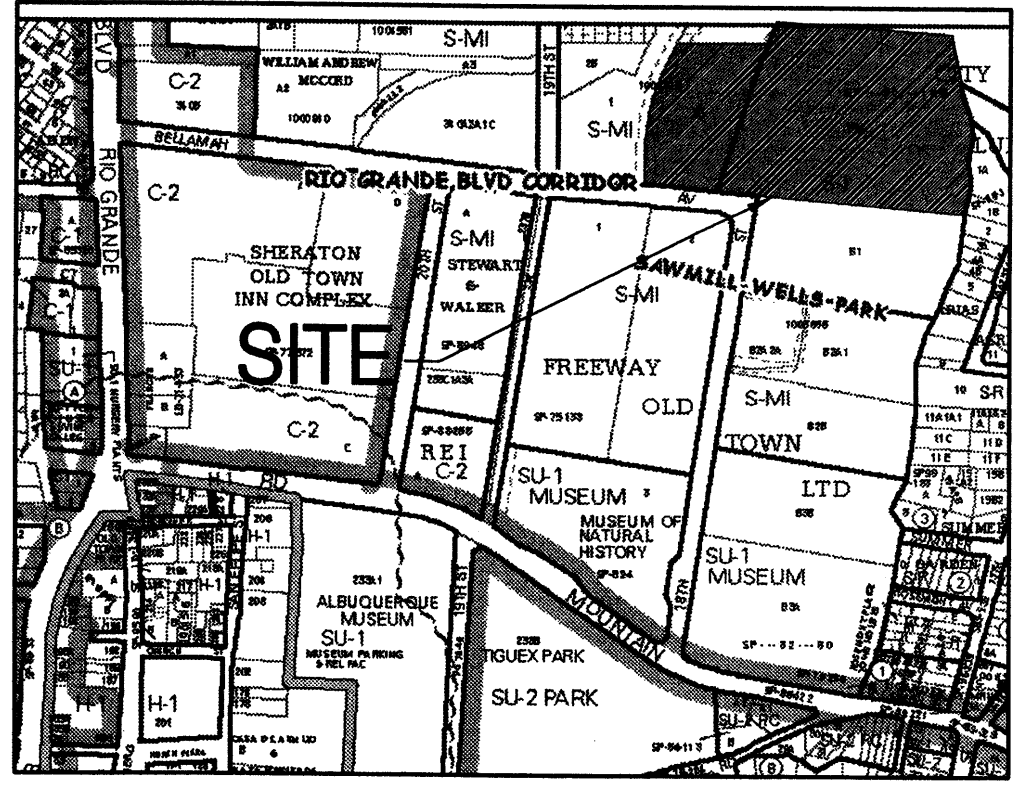
- LEGEND**
- PROPERTY LINE
  - EXISTING CONTOURS
  - BASIN BOUNDARY
  - PROPOSED DIRECTION OF FLOW
  - WATER BLOCK
  - PROPOSED INDEX CONTOURS
  - PROPOSED INTER CONTOURS
  - PROPOSED STORM DRAIN INLET



PONDBOT: 4949.50  
MWSE: 4955.70  
VOL: 238,560 CF  
EXPANSION: 59,137 CF







VICINITY MAP  
ZONE ATLAS PAGE J-13-Z

**LEGEND**

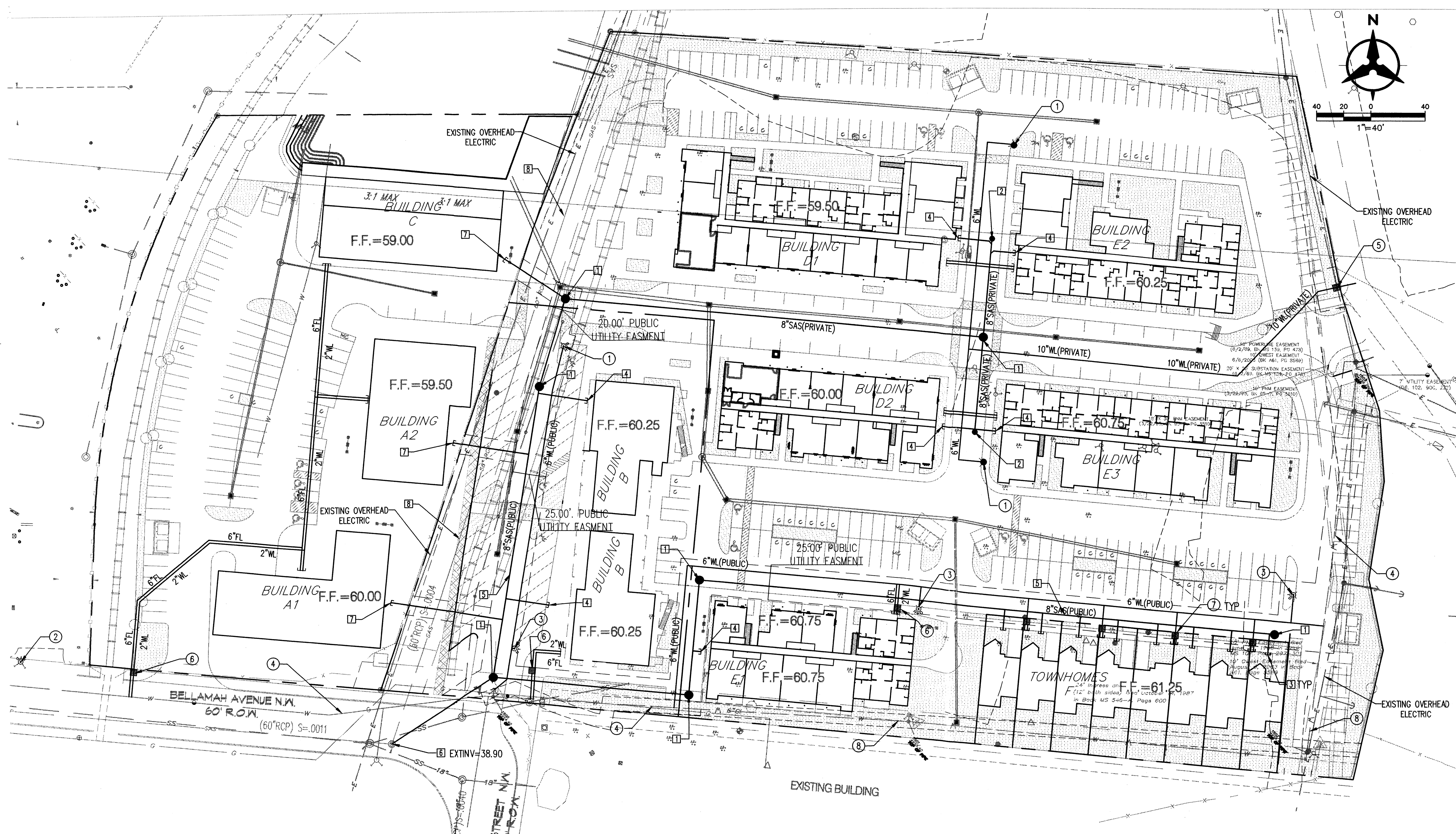
- PROPERTY LINE
- SAS EX SANITARY SEWER & MANHOLE
- EX STORM DRAIN & MANHOLE
- EX WATER LINE
- RELOCATED PUBLIC FIRE HYDRANT
- EX FIRE HYDRANT
- PRIVATE FIRE HYDRANT
- PROPOSED CLEANOUT
- PROPOSED SANITARY SEWER MAN HOLE
- 8" SAS PROPOSED SANITARY SEWER
- 2" WL PROPOSED WATERLINE
- 6" FL PROPOSED FIRELINE
- WATER METER VAULT

**WATER KEYED NOTES**

1. PRIVATE FIRE HYDRANT.
2. EXISTING PUBLIC FIRE HYDRANT TO REMAIN.
3. RELOCATE EXISTING OR INSTALL PUBLIC FIRE HYDRANT WITHIN NEW PUBLIC WATER LINE EASEMENT PER SIMULTANEOUS WORK ORDER.
4. EXISTING PUBLIC 6" CAST IRON WATER LINE TO REMAIN.
5. 2"x10" FIRE ASSEMBLY TYPE IN PUBLIC EASEMENT AS REQUIRED.
6. 2" WATER METER.
7. 3/4" SERVICE WATER METERS. (TWO PER BOX)
8. EXISTING 6" CAST IRON WATER LINE TO BE ABANDONED.

**SANITARY SEWER KEYED NOTES**

1. SAS MAN HOLE
2. SAS CLEAN OUT
3. 4" SAS SERVICE.
4. 6" SAS SERVICE.
5. 8" PUBLIC SAS W/ 25' SHARED EASMENT PER SIMULTANEOUS WORK ORDER.
6. CONNECT TO EXISTING SAS.
7. 6" SAS SERVICE LINE WITH PRIVATE SAS EASEMENT.
8. EXISTING 60" SAS INTERCEPTOR W/ 30' EASEMENT.



**UTILITY NOTES**

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 48" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MINI WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.

PUBLIC IMPROVEMENTS (PAVING, WATER, AND SANITARY SEWER) TO BE CONSTRUCTED WITH SIMULTANEOUS PUBLIC WORK ORDER PER DRG PLANS.

# PLAT OF SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

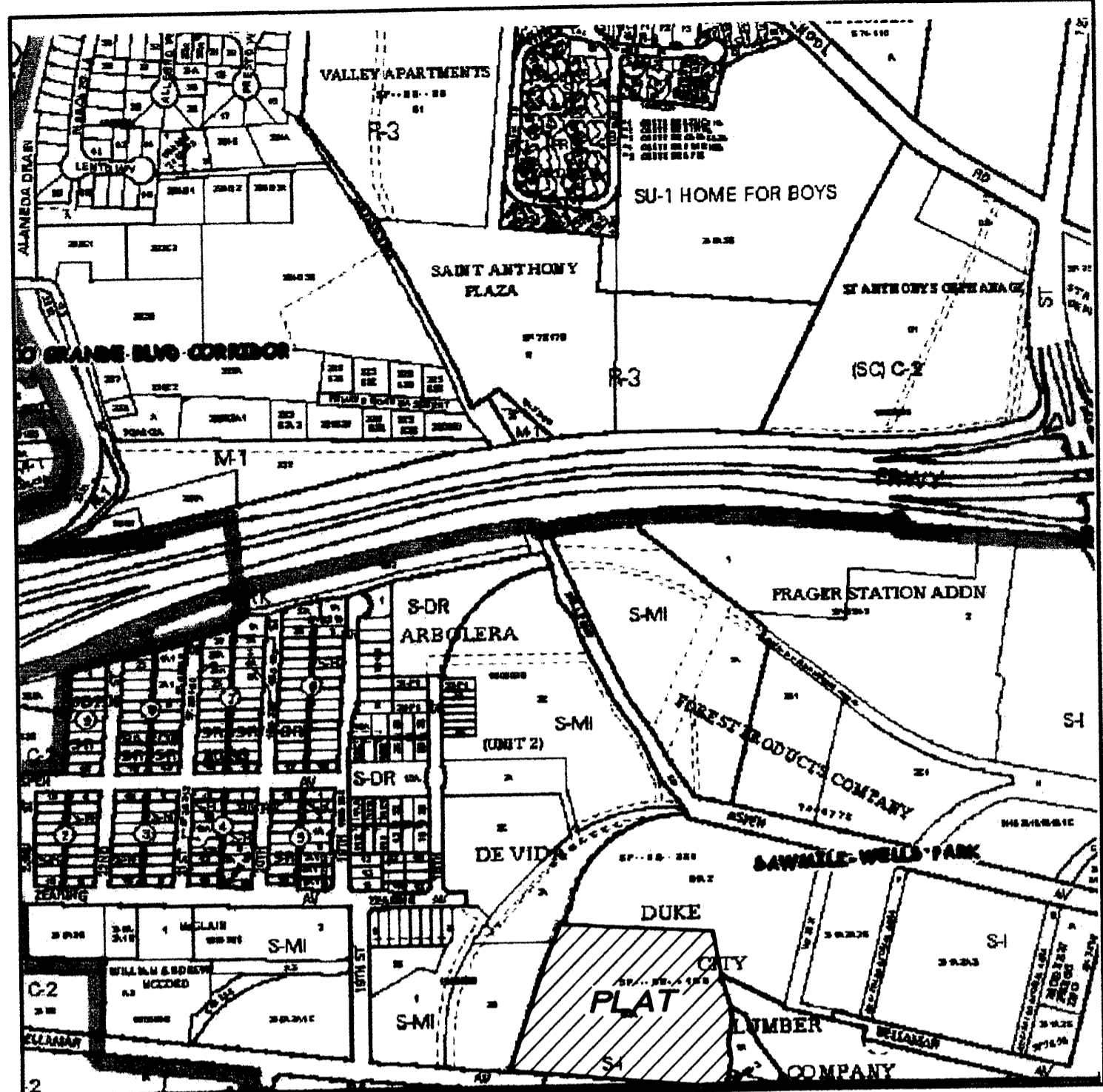
PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010



**VICINITY MAP**  
Not to Scale

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_

\_\_\_\_\_

Bernalillo County Treasurer Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**  
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

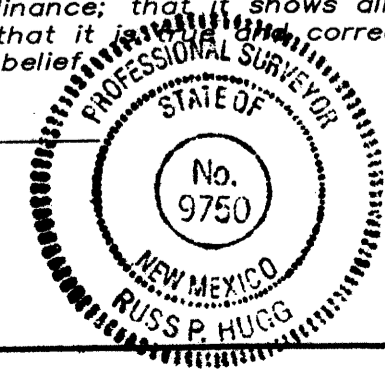
**APS AGREEMENT**

"The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded on June 19, 2007 as Document Number 2007089214."

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is correct to the best of my knowledge and belief.

*[Signature]*  
Russ P. Hugg  
NMPS No. 9750  
February 18, 2010



PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

Utility Approvals:

Public Service Company of New Mexico Date

New Mexico Gas Company Date

QWest Corporation Date

Comcast Date

City Approvals:  
*[Signature]* 2-25-10  
City Surveyor Date

Real Property Division Date

Environmental Health Department Date

Traffic Engineering, Transportation Division Date

Utilities Development Date

Parks and Recreation Department Date

AMA/FA Date

City Engineer Date

DRB Chairperson, Planning Department Date

**GENERAL NOTES**

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83) and rotated to grid at the Albuquerque Control Survey Monument "5-J13A".
2. Distances are ground.
3. Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
4. All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
5. Albuquerque City Zone Atlas page H-13.
6. U.C.L.S. Log Number 2007292230.

**PURPOSE OF PLAT**

The purpose of this plat is to

- A. Subdivide existing Lot B-2-A into 10 Lots as shown hereon.
- B. Show the Public and Private Easements Vacated by 10DRB-70051 and 10DRB-70058.
- C. Grant the new easements as shown hereon.

**SUBDIVISION DATA**

1. Total number of existing Lots : 1
2. Total number of Lots created: 10
3. Gross Subdivision acreage: 7.4628 acres.

SHEET 1 OF 4

**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Albuquerque Grant in projected Sections 7 and 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising All of Lot B-2-A, Duke City Lumber Company Addition as the same is shown and designated on the plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION IN THE CITY OF ALBUQUERQUE, NEW MEXICO, PROJECTED SECTIONS 7 AND 18, T.10 N., R.3 E., N.M.P.M.", filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990 in Volume 90C, Folio 222.

Said Parcel contains 7.4628 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF SAWMILL VILLAGE (BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION  
SAWMILL COMMUNITY LAND TRUST

By:

  
Connie Chavez, Executive Director

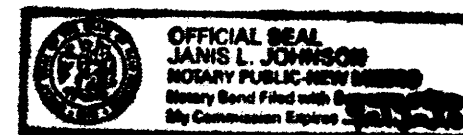
**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 12th day  
of February, 2010, by Connie Chavez as Executive  
Director of the Sawmill Community Land Trust.

  
Notary Public

09-13-10  
My Commission expires



**Documents used in the preparation of this survey are as follows:**

- Plat entitled "SECOND CORRECTION PLAT ARBOLERA DE VIDA UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2006, in Plat Book 2006C, page 192.
- Plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION, CITY OF ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990, in Volume 90C, Folio 222.
- ALTA/ASCM Land Title Survey of Lot B-2-A, Duke City Lumber Company Addition prepared by Gary E. Gritsko, New Mexico Professional Surveyor Number 8686, dated February 2004.
- Title Report prepared for this property by First American Title Company Insurance Company, Commitment for Title Insurance Numbers 973013-AL16, LMC, dated January 26, 2007 and 979513-AL16, LC, dated February 7, 2007.

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

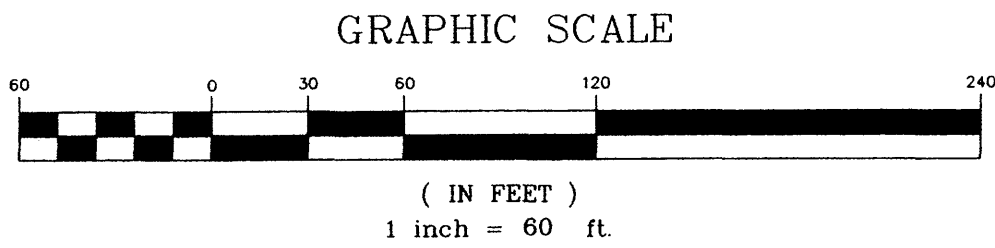
"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."



SHEET 2 OF 4

**SURV TEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377



| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 66.67' | N21°31'49"E |
| L2   | 17.92' | S86°09'28"E |
| L3   | 90.04' | S18°03'44"E |
| L4   | 52.03' | S03°42'11"E |
| L5   | 72.89' | S09°00'10"W |
| L6   | 54.04' | S11°12'29"E |

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 320.82' | 621.36' | 164.07' | 317.26' | S16°49'54"W   | 29°34'58" |

# PLAT OF SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

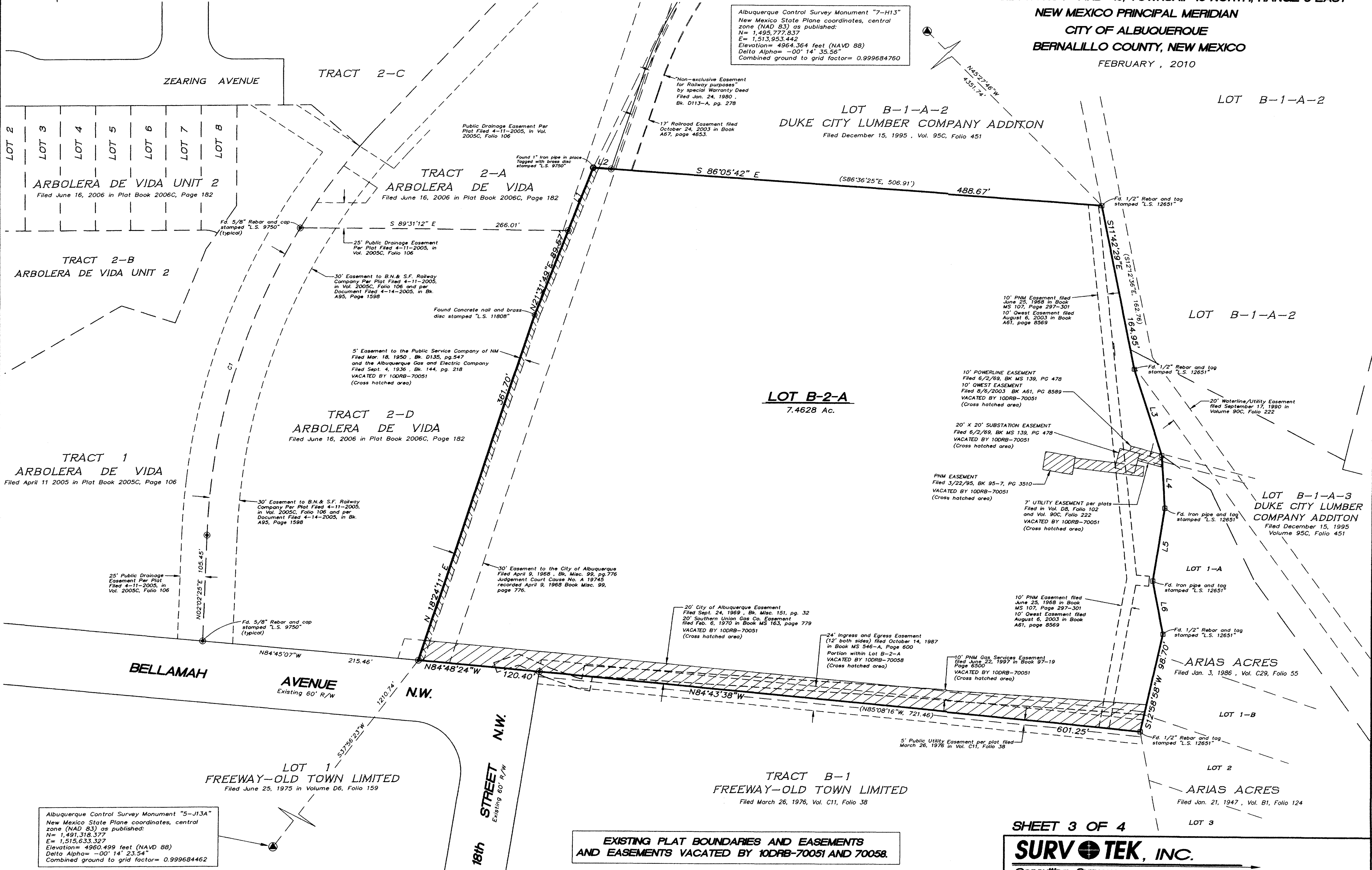
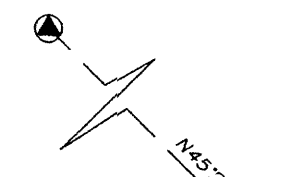
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010

Albuquerque Control Survey Monument "7-H13"  
New Mexico State Plane coordinates, central zone (NAD 83) as published:  
N = 1,495,777.837  
E = 1,513,953.442  
Elevation = 4964.364 feet (NAVD 88)  
Delta Alpha = -00° 14' 35.56"  
Combined ground to grid factor = 0.999684760



Albuquerque Control Survey Monument "5-J13A"  
New Mexico State Plane coordinates, central zone (NAD 83) as published:  
N = 1,491,318.377  
E = 1,515,633.327  
Elevation = 4960.499 feet (NAVD 88)  
Delta Alpha = -00° 14' 23.54"  
Combined ground to grid factor = 0.999684462

EXISTING PLAT BOUNDARIES AND EASEMENTS  
AND EASEMENTS VACATED BY 10DRB-70051 AND 70058.

SHEET 3 OF 4

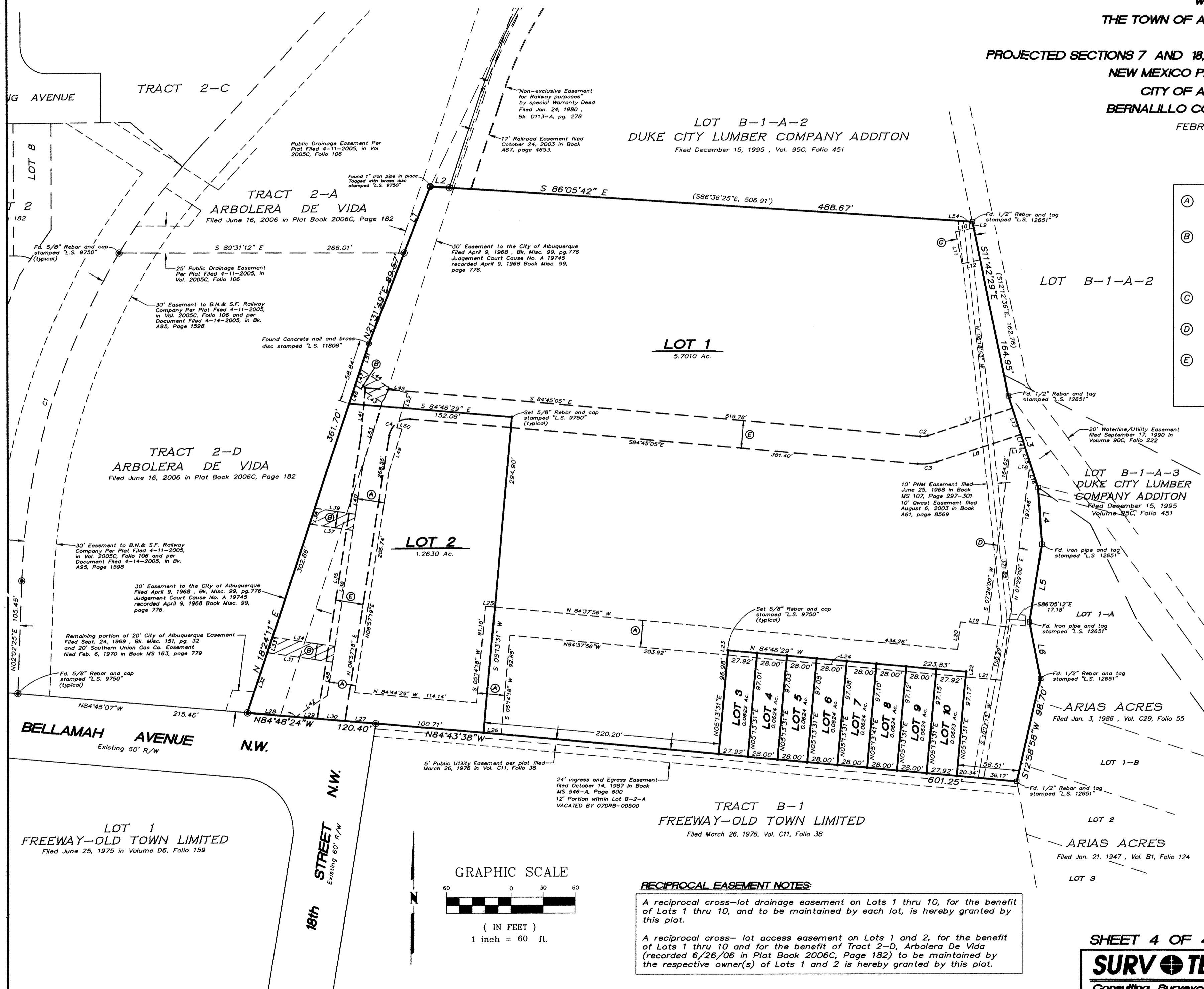
**SURV TEK, INC.**  
Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377

# PLAT OF SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)  
WITHIN  
THE TOWN OF ALBUQUERQUE GRANT  
IN  
PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2010

NEW TRACTS, LOTS AND EASEMENTS

| CURVE TABLE |        |        |         |        |               |           |
|-------------|--------|--------|---------|--------|---------------|-----------|
| CURVE       | LENGTH | RADIUS | TANGENT | CHORD  | CHORD BEARING | DELTA     |
| C2          | 7.32'  | 18.00' | 3.71'   | 7.27'  | N83°35'43"E   | 23°18'23" |
| C3          | 17.90' | 44.00' | 9.07'   | 17.77' | N83°35'43"E   | 23°18'23" |
| C4          | 27.11' | 18.00' | 16.87'  | 24.62' | S52°06'06"W   | 86°17'37" |



### NEW EASEMENT LEGEND

- (A) 25' Public Sanitary Sewer and Water Easement granted to the City of Albuquerque by this plat.
- (B) 15' Private Sanitary Sewer Easement granted by this plat for the benefit of Lot 2-D, Arbolera De Vida. Maintenance of said easement to be the responsibility of the owner(s) of said Lot 2-D.
- (C) Public Waterline Easement granted to the City of Albuquerque by this plat.
- (D) 20' Public Waterline Easement granted to the City of Albuquerque by this plat.
- (E) 26' Public Access Easement to be maintained by the respective owner(s) of Lots 1 and 2 granted to the City of Albuquerque by this plat.

### LINE TABLE

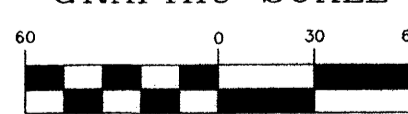
| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L7   | 82.73'  | N71°56'32"E |
| L8   | 82.73'  | N71°56'32"E |
| L9   | 18.81'  | S77°33'02"W |
| L10  | 30.00'  | N12°26'58"W |
| L11  | 18.20'  | N77°33'02"E |
| L12  | 21.02'  | S11°42'29"E |
| L13  | 26.00'  | S18°03'28"E |
| L14  | 13.49'  | S18°04'16"E |
| L15  | 21.02'  | S18°03'44"E |
| L16  | 17.35'  | S18°03'44"E |
| L17  | 14.05'  | N89°50'06"E |
| L18  | 3.02'   | N89°50'06"E |
| L19  | 25.41'  | S84°46'29"E |
| L20  | 25.97'  | N05°13'31"E |
| L21  | 33.63'  | S84°37'56"E |
| L22  | 5.02'   | N05°13'31"E |
| L23  | 4.47'   | N05°13'31"E |
| L24  | 223.83' | S84°37'56"E |
| L25  | 8.71'   | S84°37'56"E |
| L26  | 16.27'  | S84°43'38"E |
| L27  | 28.91'  | S84°48'24"E |
| L28  | 45.31'  | S84°48'24"E |
| L29  | 20.12'  | S84°48'24"E |
| L30  | 26.06'  | S84°48'24"E |
| L31  | 41.12'  | N81°04'39"W |
| L32  | 59.34'  | N18°24'11"E |
| L33  | 15.21'  | N18°24'11"E |
| L34  | 59.05'  | S81°04'39"E |
| L35  | 266.45' | N08°57'18"E |
| L36  | 108.71' | N08°57'19"E |
| L37  | 40.96'  | N81°04'39"W |
| L38  | 15.21'  | N18°24'11"E |
| L39  | 38.47'  | S81°04'39"E |
| L40  | 44.98'  | N09°04'25"E |
| L41  | 44.97'  | N05°11'41"E |
| L42  | 35.18'  | N56°47'28"E |
| L43  | 29.87'  | N56°40'12"W |
| L44  | 32.21'  | S56°40'12"E |
| L45  | 17.32'  | S73°13'40"E |
| L46  | 18.12'  | N18°24'11"E |
| L47  | 15.52'  | N18°24'11"E |
| L48  | 31.98'  | N08°58'14"E |
| L49  | 42.54'  | N16°46'20"E |
| L50  | 5.00'   | N73°13'40"W |
| L51  | 25.19'  | N18°24'11"E |
| L52  | 33.91'  | N16°46'20"E |
| L53  | 62.62'  | N16°46'20"E |

### RECIPROCAL EASEMENT NOTES:

A reciprocal cross-lot drainage easement on Lots 1 thru 10, for the benefit of Lots 1 thru 10, and to be maintained by each lot, is hereby granted by this plat.

A reciprocal cross-lot access easement on Lots 1 and 2, for the benefit of Lots 1 thru 10 and for the benefit of Tract 2-D, Arbolera De Vida (recorded 6/26/06 in Plat Book 2006C, Page 182) to be maintained by the respective owner(s) of Lots 1 and 2 is hereby granted by this plat.

### GRAPHIC SCALE



SHEET 4 OF 4

**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

D8-102

DRAWING NUMBER  
D8-102

REPLAT OF LOT "B"  
DUKE CITY LUMBER COMPANY ADDITION  
IN THE CITY OF  
ALBUQUERQUE, NEW MEXICO

ROSS HOWARD COMPANY-ALBUQUERQUE, NEW MEXICO  
SCALE = 1" = 100' DRK-MDJ-RH  
MARCH 29, 1978  
CITY ZONE ATLAS NO. H-13 and J-13

78 23711  
78 23711  
State of New Mexico } SS  
County of Bernalillo }  
This instrument was filed for record on  
24<sup>th</sup> APR 4 1978  
At 9:00 a.m. Recorded in Vol. DB  
of records of said County Folio 102  
Clerk & Recorder  
Deputy Clerk

8

LOG NUMBER 4-78-5  
SUMMARY PLAT NO. SP-78-197  
APPROVED 4-4-78  
CITY OF ALBUQUERQUE  
FOR: COUNTY CITY  
*Des Amador R. King*  
PLANNER

DESCRIPTION AND DEDICATION

The foregoing replat of that certain tract of land situate in the City of Albuquerque, New Mexico, being and comprising "Lot B of DUKE CITY LUMBER COMPANY ADDITION, IN THE CITY OF ALBUQUERQUE, NEW MEXICO," as the same is shown and designated on the plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico, on the 22nd day of December, 1971.

And now hereon shown, surveyed and subdivided, comprising "LOT B-1 and LOT B-2 of DUKE CITY LUMBER COMPANY ADDITION, IN THE CITY OF ALBUQUERQUE, NEW MEXICO," is with the free consent and in accordance with the desire of the undersigned owner and proprietor thereof.

DUKE CITY LUMBER COMPANY, INC.

By *Ira L. Liberman*  
IRA L. LIBERMAN PRESIDENT

STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } SS

On this 4<sup>th</sup> day of April, 1978, before me a Notary Public in and for said County and State, personally appeared Ira L. Liberman, President of the Duke City Lumber Company, Inc., a New Mexico Corporation, on behalf of said Corporation, to me known to be the person described and executed the foregoing instrument and acknowledged that he executed the same as his own free act and deed.

*Paul F. Zucker*  
NOTARY PUBLIC

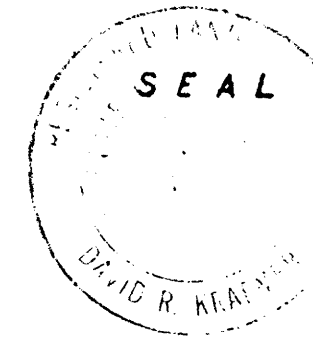
My commission expires December 11, 1981.

SEAL

SURVEYORS CERTIFICATE

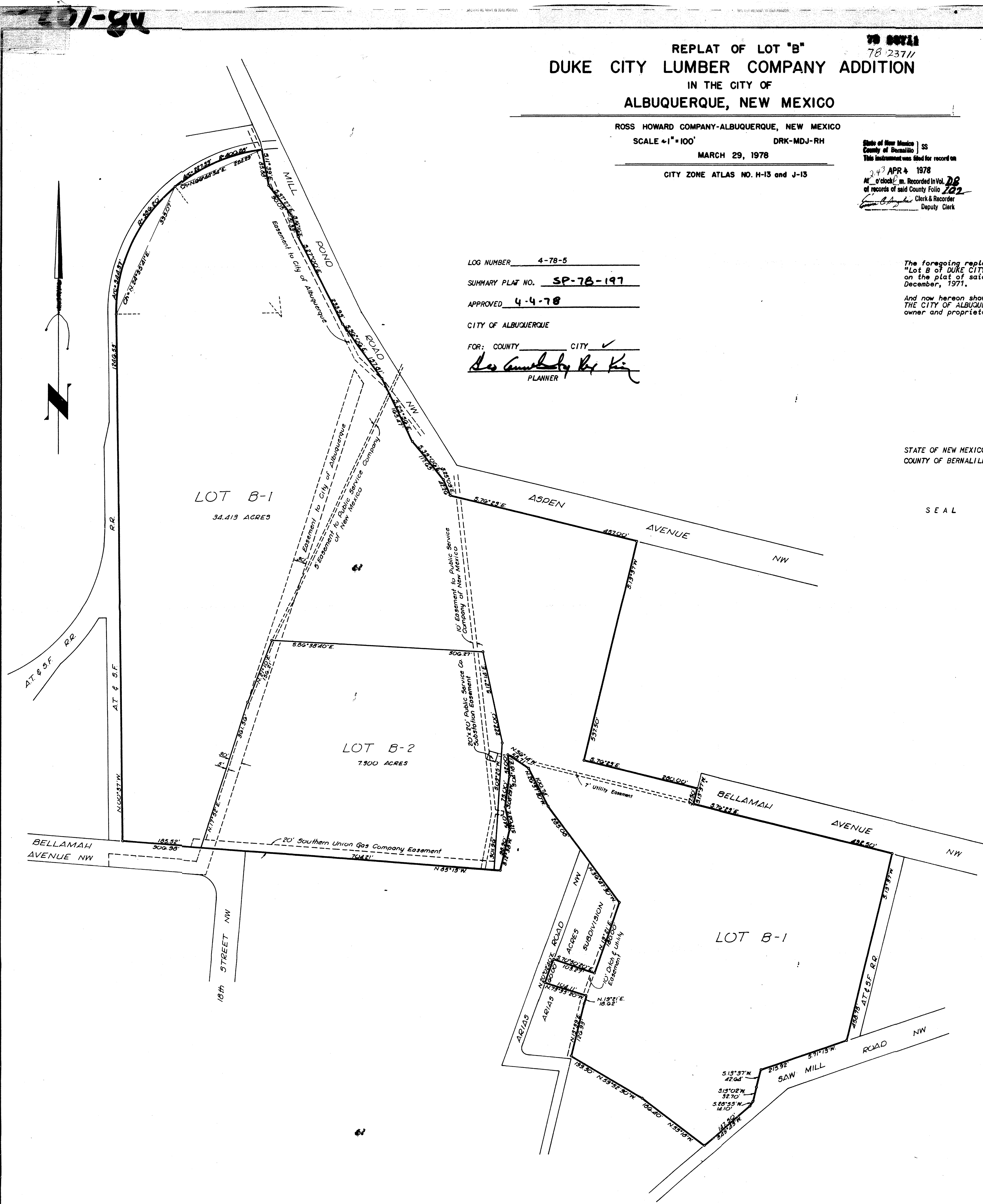
I, David R. Kraemer, a duly qualified Land Surveyor licensed to practice under the laws of the State of New Mexico, do hereby certify that the plat hereon delineated was prepared under my direction and supervision and that the representations thereon are true and correct to the best of my knowledge and belief.

By *David R. Kraemer*  
DAVID R. KRAEMER  
New Mexico Registered  
Land Surveyor No. 4577



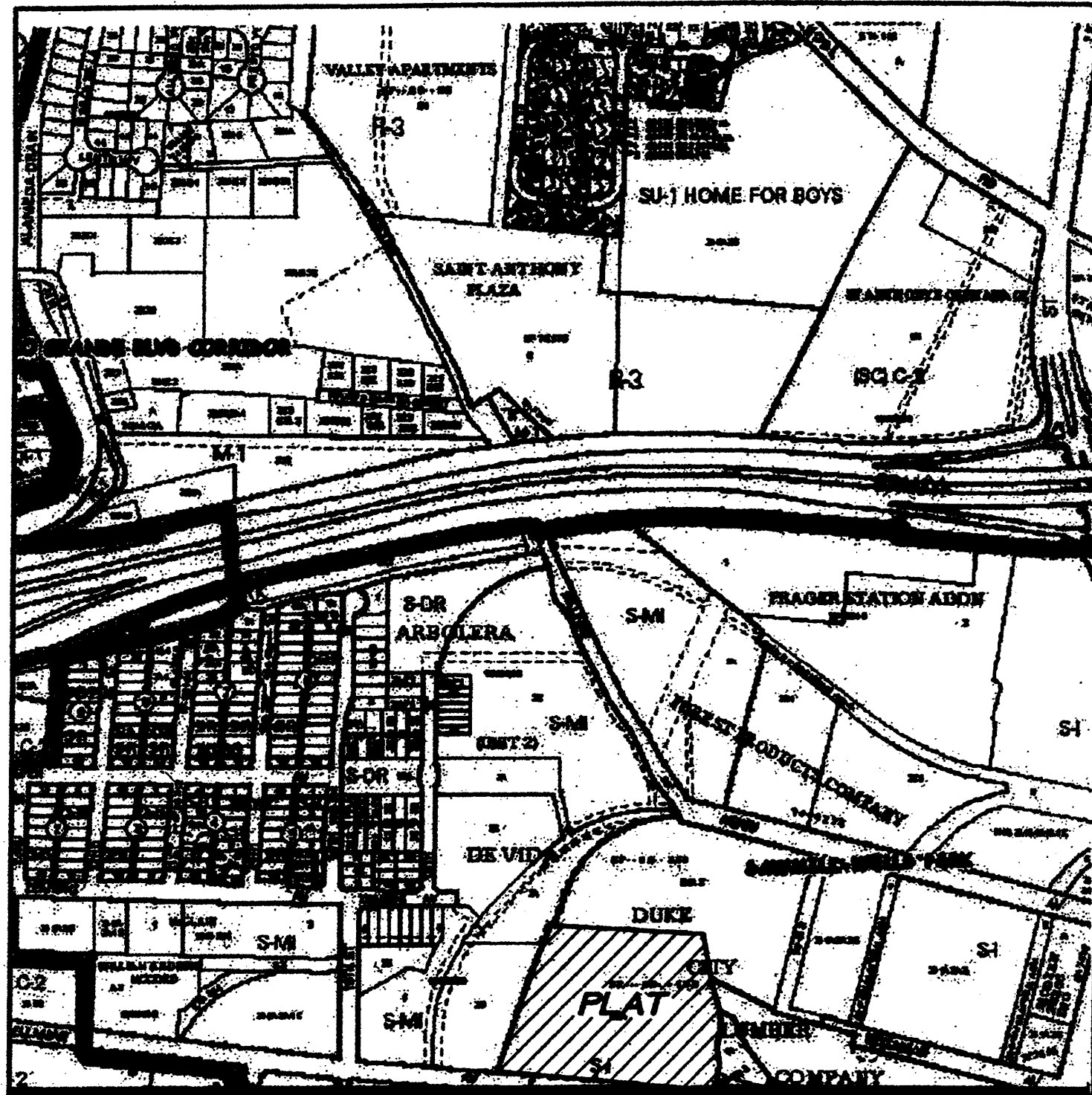
APPROVALS

By *Steve G. Smith* Date: 4-4-78  
PROPERTY MANAGEMENT  
By *Justin C. Crisler* Date: 4-4-78  
MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO.  
By *Edward W. Dolan* Date: 4-4-78  
PUBLIC SERVICE COMPANY OF NEW MEXICO  
By *John M. ...* Date: 4-4-78  
GAS COMPANY OF NEW MEXICO



D8-102

D8-102



VICINITY MAP  
Not to Scale

**GENERAL NOTES**

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83) and rotated to grid at the Albuquerque Control Survey Monument "5-J13A".
2. Distances are ground.
3. Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
4. All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
5. Albuquerque City Zone Atlas page H-13.
6. U.C.L.S. Log Number 2007292230.

**PURPOSE OF PLAT**

The purpose of this plat is to

- A. Subdivide existing Lot B-2-A into 10 Lots as shown hereon.
- B. Show the Public and Private Easements Vacated by 10DRB-70051 and 10DRB-70058.
- C. Grant the new easements as shown hereon.

**SUBMISSION DATA**

1. Total number of existing Lots : 1
2. Total number of Lots created: 10
3. Gross Subdivision acreage: 7.4628 acres.

DOCN 2010084680  
07/12/2010 09:12 AM Page 1 of 4  
PLAT R: 222.00 B: 2010C P: 0193 M. Toulous Olivere, Bernalillo Co.  
NEW MEXICO PROFESSIONAL SURVEYORS BOARD

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

101305834151512010  
Sawmill Comm. Land Trust

*[Signature]*  
Bernalillo County Treasurer Date 7/16/2010

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 101305834151512010 PROPERTY OWNER OF RECORD

Sawmill Comm Land Trust  
BERNALILLO COUNTY TREASURER'S OFFICE  
*[Signature]* 8/23/10

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**APS AGREEMENT**

"The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded on June 19, 2007 as Document Number 2007089214."

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*[Signature]*  
Russ P. Hugg  
NMPS No. 9750  
February 18, 2010



**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION) WITHIN

THE TOWN OF ALBUQUERQUE GRANT IN

PROJECTED SECTIONS 7 AND 13, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010

**PURPOSE OF CORRECTION PLAT**

The Purpose of this Correction Plat is to correct the scrivener's errors in the Line Table on Sheet 4 for lines L9, L10, L11, L12 and L54.

PROJECT NUMBER: 1005354

Application Number: 10 DRB-70180

**PLAT APPROVAL**

|  |  |                   |
|--|--|-------------------|
| Utility Approvals  |  |                   |
| <i>[Signature]</i><br>Public Service Company of New Mexico |  | 3-11-2010<br>Date |
| <i>[Signature]</i><br>New Mexico Gas Company               |  | 6-21-2010<br>Date |
| <i>[Signature]</i><br>QWest Corporation                    |  | 05-11-10<br>Date  |
| <i>[Signature]</i><br>Comcast                              |  | 6-22-10<br>Date   |
| City Approvals   |  |                   |
| <i>[Signature]</i><br>City Surveyor                        |  | 2-25-10<br>Date   |
| NIA  |  |                   |
| Real Property Division                                     |  |                   |
| NIA  |  |                   |
| Environmental Health Department                            |  |                   |
| <i>[Signature]</i>   |  | 6/30/10<br>Date   |
| Traffic Engineering/Transportation Division                |  |                   |
| <i>[Signature]</i>   |  | 07/06/10<br>Date  |
| Christina Sandoval<br>Parks and Recreation Department      |  | 6/30/10<br>Date   |
| <i>[Signature]</i><br>AMAFCA                               |  | 6/30/10<br>Date   |
| <i>[Signature]</i><br>City Engineer                        |  | 6/30/10<br>Date   |
| <i>[Signature]</i><br>DRP Chairperson, Planning Department |  | 7-12-10<br>Date   |

DOCN 2010084680  
08/23/2010 03:40 PM Page: 1 of 4  
PLAT R: 222.00 B: 2010C P: 0193 M. Toulous Olivere, Bernalillo Co.  
NEW MEXICO PROFESSIONAL SURVEYORS BOARD

SHEET 1 OF 4

**SURV TEK, INC.**

Consulting Surveyors  
6984 Valley View Drive, N.E. Albuquerque, New Mexico 87114 Phone: 505-897-3585  
Fax: 505-897-3577

# SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010

DOCH 2010084680  
09/23/2010 09:12 AM Page: 2 of 4  
PLAT R: 322.99 B: 20100 P: 0103 M. Toulous Oliver, Bernalillo Cou

### LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Albuquerque Grant in projected Sections 7 and 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising All of Lot B-2-A, Duke City Lumber Company Addition as the same is shown and designated on the plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION IN THE CITY OF ALBUQUERQUE, NEW MEXICO, PROJECTED SECTIONS 7 AND 18, T.10 N., R.3 E., N.M.P.M.", filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990 in Volume 90C, Folio 222.

Said Parcel contains 7.4628 acres, more or less.

### FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF SAWMILL VILLAGE (BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)


LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION  
SAWMILL COMMUNITY LAND TRUST

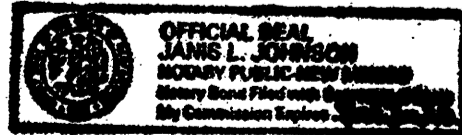
By:   
Connie Chavez, Executive Director

### ACKNOWLEDGMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 23rd day of February, 2010, by Connie Chavez as Executive Director of the Sawmill Community Land Trust.

 09-13-10  
Notary Public My Commission expires



### Documents used in the preparation of this survey are as follows:

- A. Plat entitled "SECOND CORRECTION PLAT ARBOLERA DE VIDA UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2006, in Plat Book 2006C, page 192.
- B. Plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION, CITY OF ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990, in Volume 90C, Folio 222.
- C. ALTA/ASCM Land Title Survey of Lot B-2-A, Duke City Lumber Company Addition prepared by Gary E. Gritsko, New Mexico Professional Surveyor Number 8686, dated February 2004.
- D. Title Report prepared for this property by First American Title Company Insurance Company, Commitment for Title Insurance Numbers 973013-AL16, LMC, dated January 26, 2007 and 979513-AL16, LC, dated February 7, 2007.

### SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

~~DOCH 2010084680  
07/12/2010 09:12 AM Page: 2 of 4  
PLAT R: 322.99 B: 20100 P: 0103 M. Toulous Oliver, Bernalillo Co.~~



SHEET 2 OF 4

**SURVOTEK, INC.**

Consulting Surveyors  
2084 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3966  
Fax: 505-897-3377



**CORRECTION PLAT**

**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN  
**THE TOWN OF ALBUQUERQUE GRANT**

IN  
**PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST**

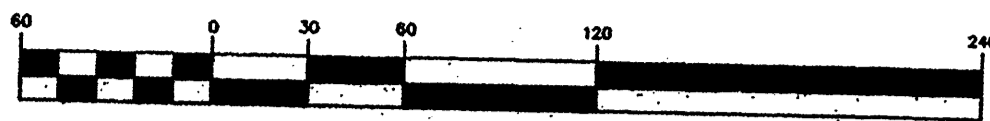
**NEW MEXICO PRINCIPAL MERIDIAN**

**CITY OF ALBUQUERQUE**

**BERNALILLO COUNTY, NEW MEXICO**

FEBRUARY, 2010

**GRAPHIC SCALE**



(IN FEET)  
1 inch = 60 ft.

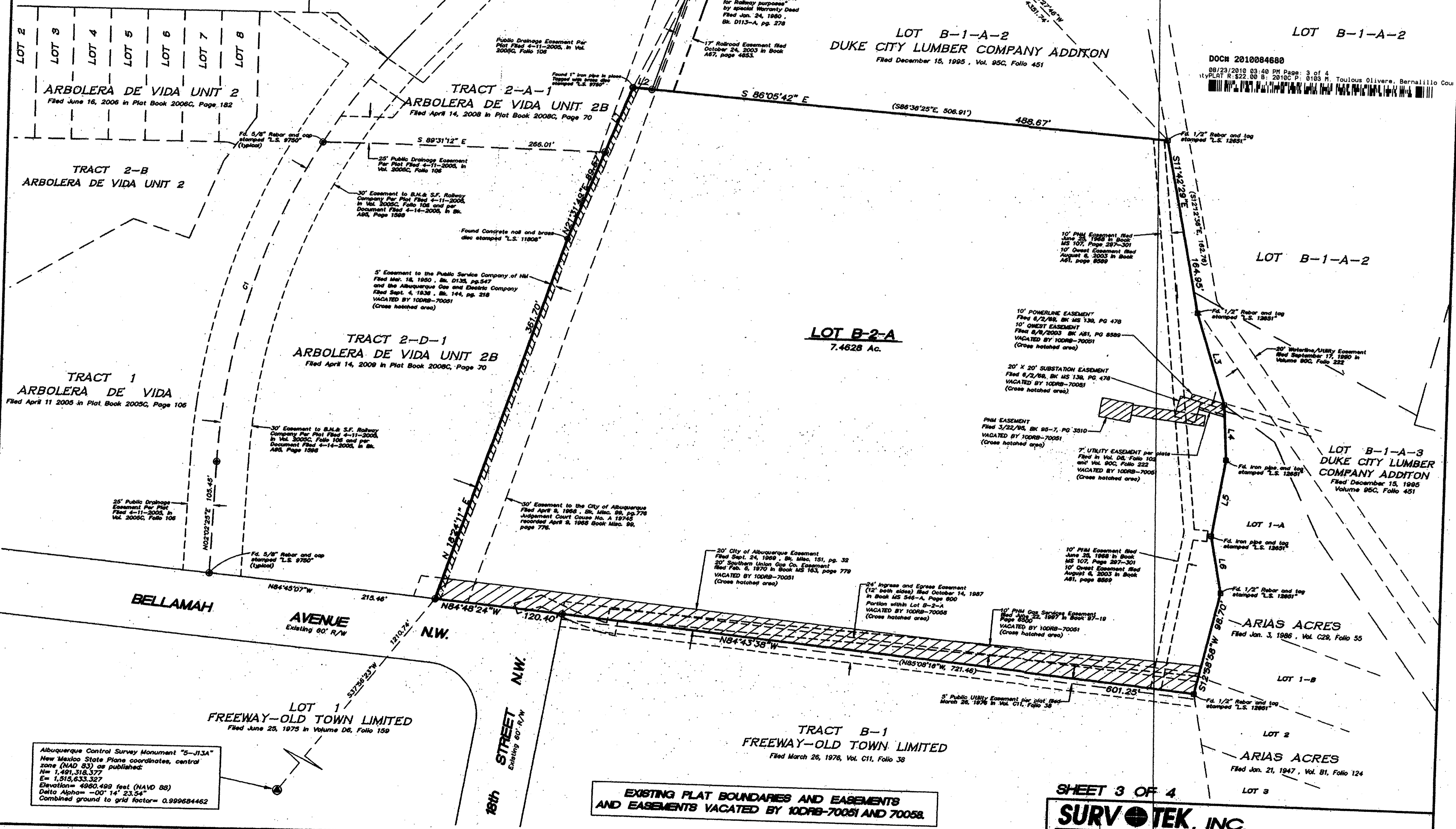
| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 66.67' | N21°31'49"E |
| L2   | 17.92' | S86°09'28"E |
| L3   | 90.04' | S18°03'44"E |
| L4   | 52.03' | S03°42'11"E |
| L5   | 72.89' | S09°00'10"W |
| L6   | 54.04' | S11°12'29"E |

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 320.82' | 621.36' | 164.07' | 317.26' | S16°49'54"W   | 28°34'58" |

DOCN 2010085561  
07/12/2010 09:12 AM  
PLAT R: 222.08 B: 2010C P: 8881 H: Toulous Olivere, Bernalillo Co.

Albuquerque Control Survey Monument "7-H13"  
New Mexico State Plane coordinates, central zone (NAD 83) as published:  
N = 1,495,777.837  
E = 1,513,953.442  
Elevation = 4964.364 feet (NAVD 88)  
Delta Alpha = -00° 14' 35.58"  
Combined ground to grid factor = 0.999684760

DOCN 2010084688  
08/29/2010 03:40 PM Page: 3 of 4  
PLAT R: 222.08 B: 2010C P: 8183 H: Toulous Olivere, Bernalillo Co.



**EXISTING PLAT BOUNDARIES AND EASEMENTS AND EASEMENTS VACATED BY 100RB-70051 AND 70058.**

**SHEET 3 OF 4**  
**SURVOTEK, INC.**  
Consulting Surveyors

9884 Valley View Drive, N.E. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3877

Albuquerque Control Survey Monument "5-J13A"  
New Mexico State Plane coordinates, central zone (NAD 83) as published:  
N = 1,491,318.377  
E = 1,515,633.327  
Elevation = 4960.499 feet (NAVD 88)  
Delta Alpha = -00° 14' 23.54"  
Combined ground to grid factor = 0.999684462

# SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)  
 WITHIN  
 THE TOWN OF ALBUQUERQUE GRANT  
 IN  
 PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010

**NEW TRACTS, LOTS AND EASEMENTS**

| CURVE | LENGTH | RADIUS | TANGENT | CHORD  | CHORD BEARING | DELTA     |
|-------|--------|--------|---------|--------|---------------|-----------|
| C2    | 7.32'  | 18.00' | 3.71'   | 7.27'  | N83°35'43"E   | 23°18'23" |
| C3    | 17.90' | 44.00' | 9.07'   | 17.77' | N83°35'43"E   | 23°18'23" |
| C4    | 27.17' | 18.00' | 16.87'  | 24.62' | S52°06'06"W   | 86°17'37" |

~~DOCH 2010089561  
 07/12/2010 09:12 AM Page: 4 of 4  
 CityPLAT R:222.00 B: 2010089561 M: Toulous Oliver, Bernalillo Cou.~~

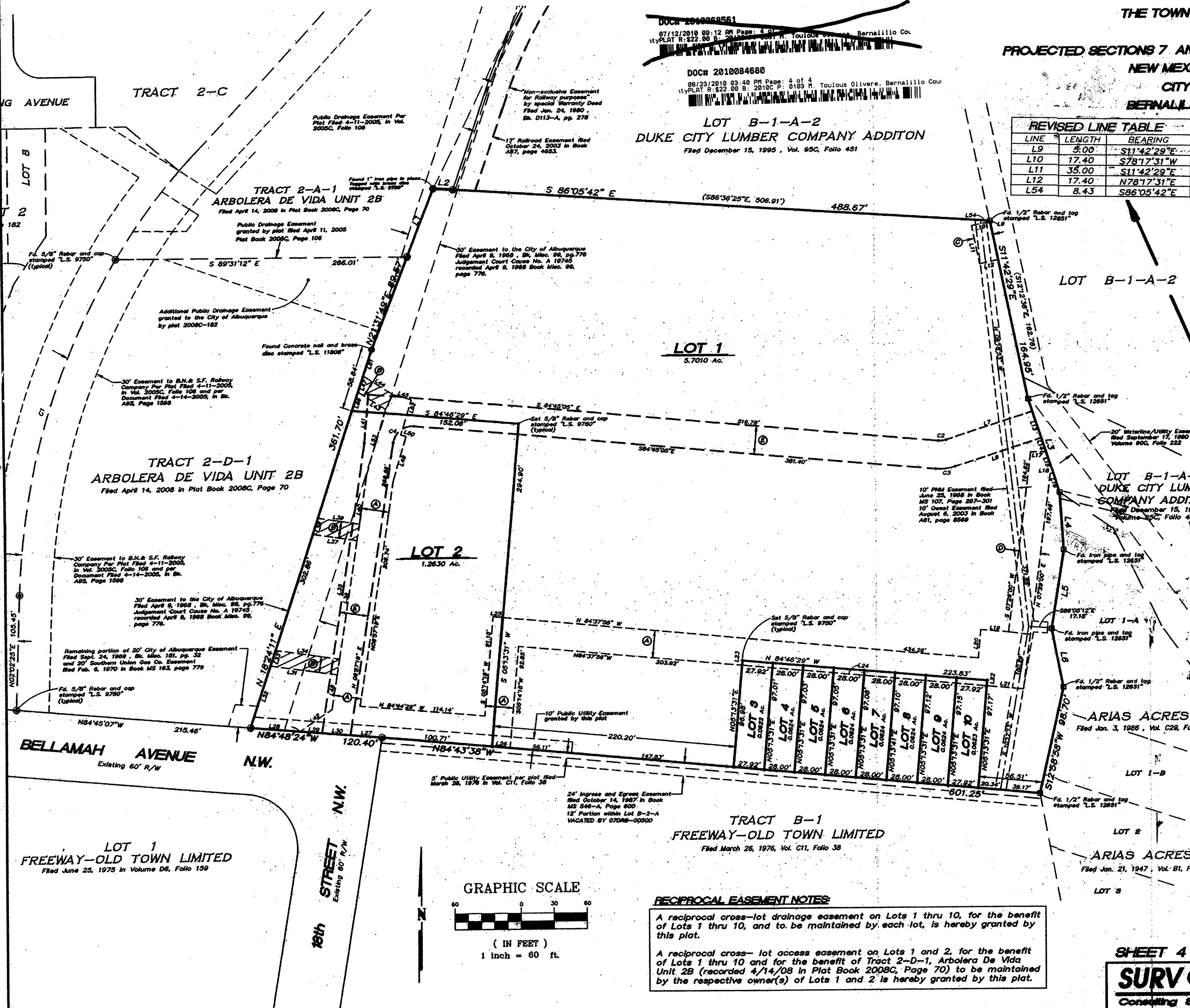
DOCH 2010084680  
 08/29/2010 03:40 PM Page: 6 of 4  
 CityPLAT R:222.00 B: 2010084680 M: Toulous Oliver, Bernalillo Cou.  
**LOT B-1-A-2**  
**DUKE CITY LUMBER COMPANY ADDITION**  
 Filed December 15, 1995, Vol. 95C, Folio 451

**REVISED LINE TABLE**

| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L9   | 5.00   | S11°42'29"E |
| L10  | 17.40  | S78°17'31"W |
| L11  | 35.00  | S11°42'29"E |
| L12  | 17.40  | N78°17'31"E |
| L54  | 8.43   | S86°05'42"E |

**NEW EASEMENT LEGEND**

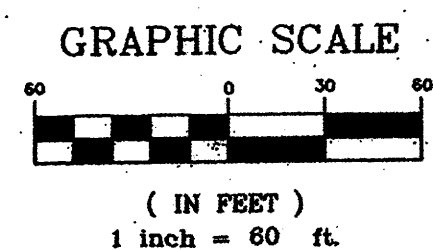
- (A) 25' Public Sanitary Sewer and Water Easement granted to the City of Albuquerque by this plat.
- (B) 15' Private Sanitary Sewer Easement granted by this plat for the benefit of Lot 2-D, Arbolera De Vida. Maintenance of said easement to be the responsibility of the owner(s) of said Lot 2-D.
- (C) Public Waterline Easement granted to the City of Albuquerque by this plat.
- (D) 20' Public Waterline Easement granted to the City of Albuquerque by this plat.
- (E) 26' Public Access Easement to be maintained by the respective owner(s) of Lots 1 and 2 granted to the City of Albuquerque by this plat.



**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L7   | 82.73'  | N71°56'32"E |
| L8   | 82.73'  | N71°56'32"E |
| L13  | 26.00'  | S18°03'28"E |
| L14  | 13.49'  | S18°04'16"E |
| L15  | 21.02'  | S18°03'44"E |
| L16  | 17.35'  | S18°03'44"E |
| L17  | 14.05'  | N89°50'06"E |
| L18  | 3.02'   | N89°50'06"E |
| L19  | 25.41'  | S84°46'29"E |
| L20  | 25.97'  | N05°13'31"E |
| L21  | 33.63'  | S84°37'56"E |
| L22  | 5.02'   | N05°13'31"E |
| L23  | 4.47'   | N05°13'31"E |
| L24  | 223.83' | S84°37'56"E |
| L25  | 8.71'   | S84°37'56"E |
| L26  | 16.27'  | S84°43'38"E |
| L27  | 28.91'  | S84°48'24"E |
| L28  | 45.31'  | S84°48'24"E |
| L29  | 20.12'  | S84°48'24"E |
| L30  | 26.06'  | S84°48'24"E |
| L31  | 41.12'  | N81°04'39"W |
| L32  | 59.34'  | N18°24'11"E |
| L33  | 15.21'  | N18°24'11"E |
| L34  | 59.05'  | S81°04'39"E |
| L35  | 266.45' | N08°57'18"E |
| L36  | 108.71' | N08°57'19"E |
| L37  | 40.96'  | N81°04'39"W |
| L38  | 15.21'  | N18°24'11"E |
| L39  | 38.47'  | S81°04'39"E |
| L40  | 44.98'  | N09°04'25"E |
| L41  | 44.97'  | N05°11'41"E |
| L42  | 35.18'  | N56°47'28"E |
| L43  | 29.87'  | N56°40'12"W |
| L44  | 32.21'  | S56°40'12"E |
| L45  | 17.32'  | S73°13'40"E |
| L46  | 18.12'  | N18°24'11"E |
| L47  | 15.52'  | N18°24'11"E |
| L48  | 31.98'  | N08°58'14"E |
| L49  | 42.54'  | N16°46'20"E |
| L50  | 5.00'   | N73°13'40"W |
| L51  | 25.19'  | N18°24'11"E |
| L52  | 33.91'  | N16°46'20"E |
| L53  | 62.62'  | N16°46'20"E |

\* L9, L10, L11, L12 and L54 revised by this Correction Plat



**RECIPROCAL EASEMENT NOTES:**

A reciprocal cross-lot drainage easement on Lots 1 thru 10, for the benefit of Lots 1 thru 10, and to be maintained by each lot, is hereby granted by this plat.

A reciprocal cross-lot access easement on Lots 1 and 2, for the benefit of Lots 1 thru 10 and for the benefit of Tract 2-D-1, Arbolera De Vida Unit 2B (recorded 4/14/08 in Plat Book 2008C, Page 70) to be maintained by the respective owner(s) of Lots 1 and 2 is hereby granted by this plat.

SHEET 4 OF 4

**SURVOTEK, INC.**  
 Consulting Surveyors  
 9884 Valley View Drive, N.E. Albuquerque, New Mexico 87114  
 Phone: 505-897-3868  
 Fax: 505-897-5877

PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)  
WITHIN  
THE TOWN OF ALBUQUERQUE GRANT  
IN  
PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2010

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

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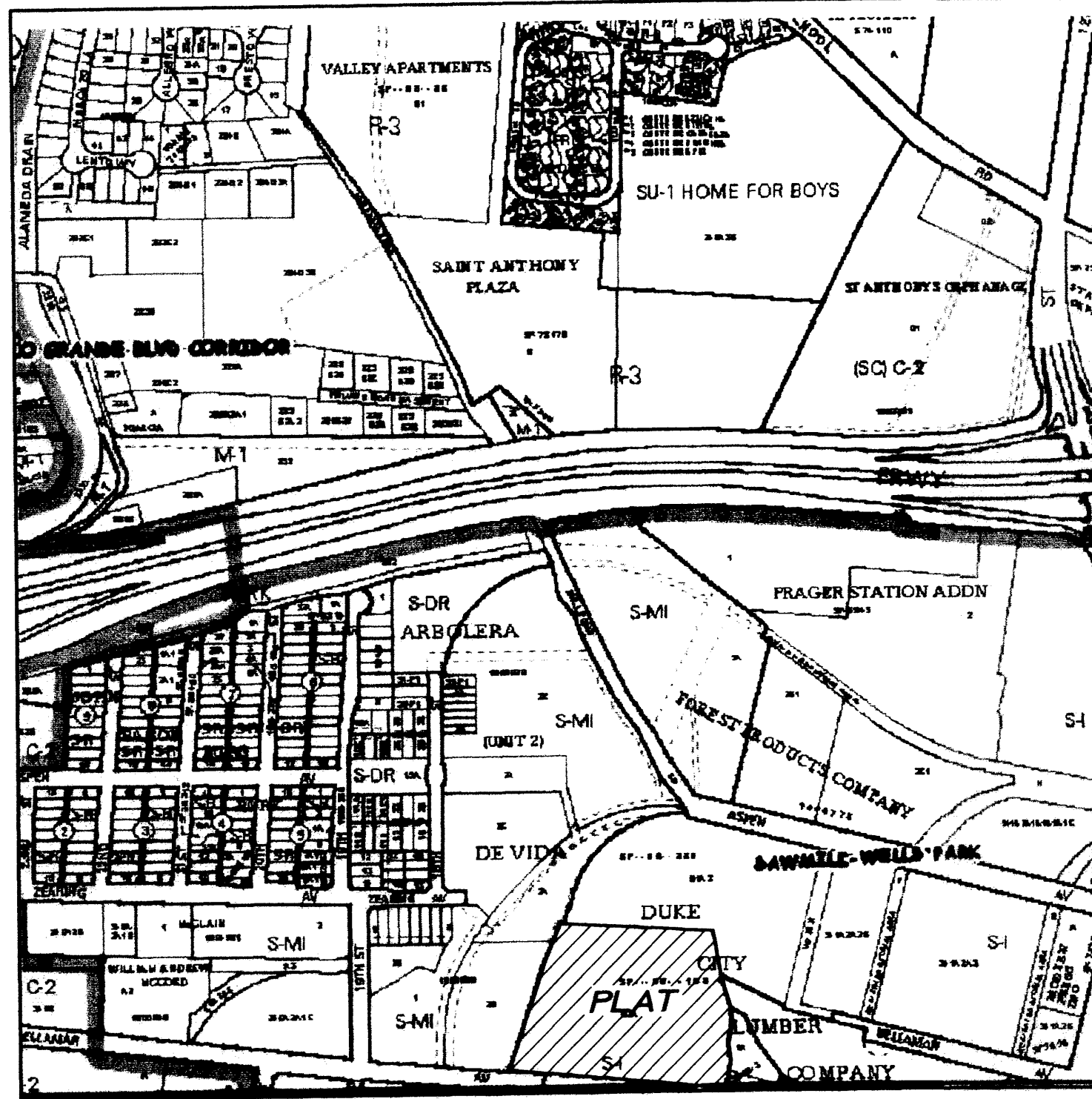
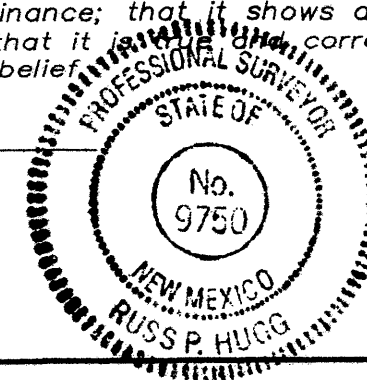
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I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is, in my opinion, correct to the best of my knowledge and belief.

*Russ P. Hugg*  
Russ P. Hugg  
NMPS No. 9750  
February 18, 2010



VICINITY MAP  
Not to Scale

**GENERAL NOTES**

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83) and rotated to grid at the Albuquerque Control Survey Monument "5-J13A".
2. Distances are ground.
3. Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
4. All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
5. Albuquerque City Zone Atlas page H-13.
6. U.C.L.S. Log Number 2007292230.

**PURPOSE OF PLAT**

The purpose of this plat is to

- A. Subdivide existing Lot B-2-A into 10 Lots as shown hereon.
- B. Show the Public and Private Easements Vacated by 10DRB-70051 and 10DRB-70058.
- C. Grant the new easements as shown hereon.

**SUBDIVISION DATA**

1. Total number of existing Lots : 1
2. Total number of Lots created: 10
3. Gross Subdivision acreage: 7.4628 acres.

PROJECT NUMBER: \_\_\_\_\_  
Application Number: \_\_\_\_\_

**PLAT APPROVAL**

Utility Approvals:  
*Fernando Vigil* \_\_\_\_\_ 3-11-2010  
Public Service Company of New Mexico Date

*M-J* \_\_\_\_\_ 6-21-2010  
New Mexico Gas Company Date

*Michael Ramirez* \_\_\_\_\_ 03-11-10  
QWest Corporation Date

Comcast \_\_\_\_\_ Date

City Approvals:  
*JK Bhat* \_\_\_\_\_ 2-25-10  
City Surveyor Date

Real Property Division \_\_\_\_\_ Date

Environmental Health Department \_\_\_\_\_ Date

Traffic Engineering, Transportation Division \_\_\_\_\_ Date

Utilities Development \_\_\_\_\_ Date

Parks and Recreation Department \_\_\_\_\_ Date

AMAFCA \_\_\_\_\_ Date

City Engineer \_\_\_\_\_ Date

DRB Chairperson, Planning Department \_\_\_\_\_ Date

SHEET 1 OF 4

**SURVOTEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366  
Fax: 505-897-3377

PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Albuquerque Grant in projected Sections 7 and 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising All of Lot B-2-A, Duke City Lumber Company Addition as the same is shown and designated on the plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION IN THE CITY OF ALBUQUERQUE, NEW MEXICO, PROJECTED SECTIONS 7 AND 18, T.10 N., R.3 E., N.M.P.M.", filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990 in Volume 90C, Folio 222.

Said Parcel contains 7.4628 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF SAWMILL VILLAGE (BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION

SAWMILL COMMUNITY LAND TRUST

By:

  
Connie Chavez, Executive Director

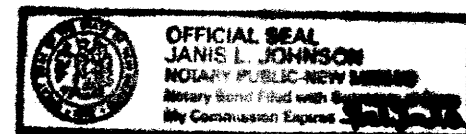
**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 22<sup>nd</sup> day  
of February, 2010, by Connie Chavez as Executive  
Director of the Sawmill Community Land Trust.

  
Notary Public

09-13-10  
My Commission expires



**Documents used in the preparation of this survey are as follows:**

- Plat entitled "SECOND CORRECTION PLAT ARBOLERA DE VIDA UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2006, in Plat Book 2006C, page 192.
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**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

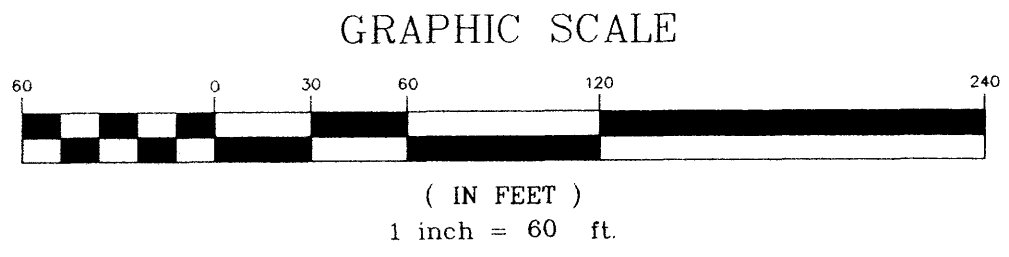
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SHEET 2 OF 4

**SURV+TEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377



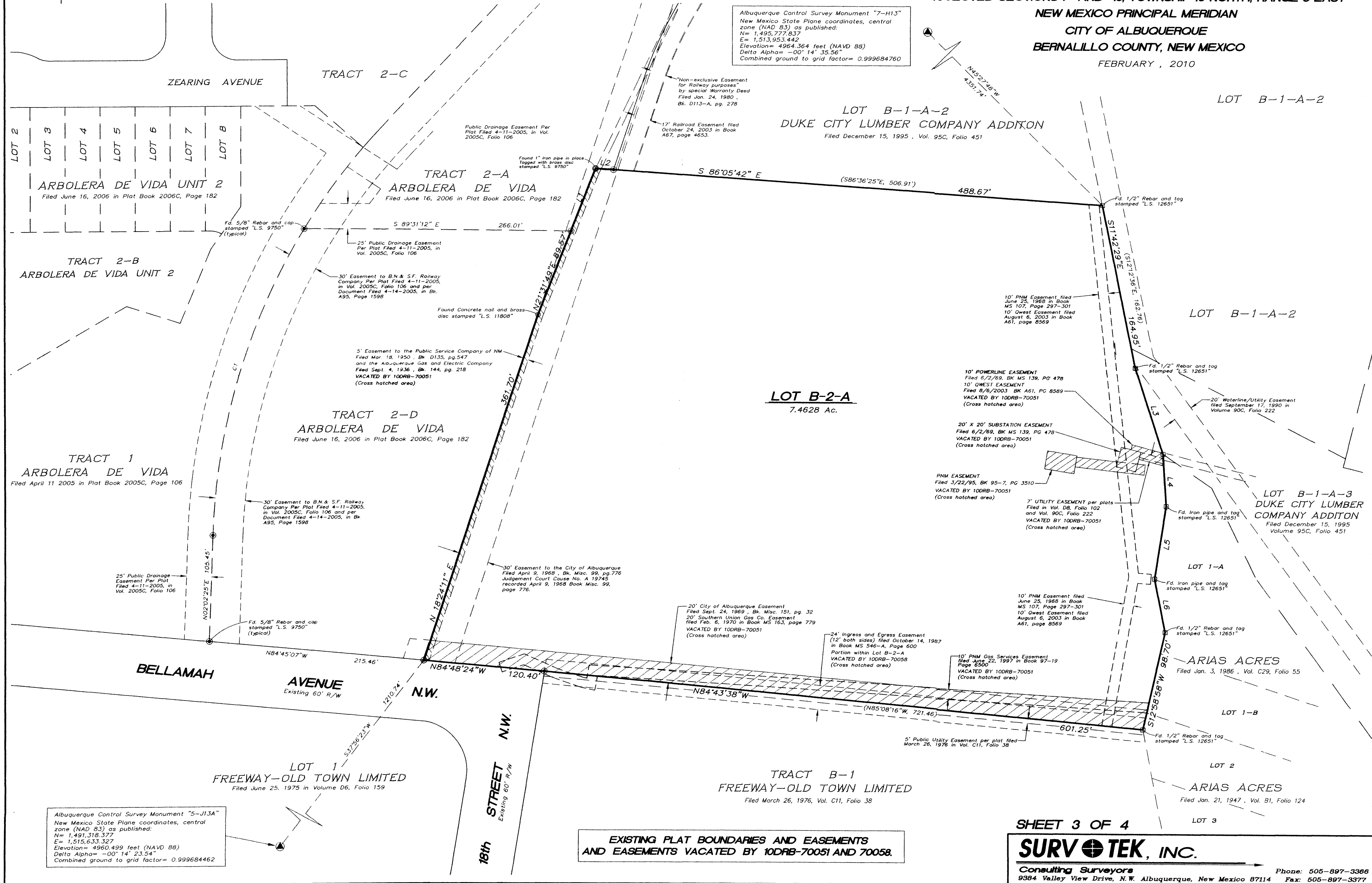
| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 66.67' | N21°31'49"E |
| L2   | 17.92' | S86°09'28"E |
| L3   | 90.04' | S18°03'44"E |
| L4   | 52.03' | S03°42'11"E |
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| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
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# PLAT OF SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)  
 WITHIN  
 THE TOWN OF ALBUQUERQUE GRANT  
 IN  
 PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2010

Albuquerque Control Survey Monument "7-H13"  
 New Mexico State Plane coordinates, central zone (NAD 83) as published:  
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 Elevation= 4964.364 feet (NAVD 88)  
 Delta Alpha= -00° 14' 35.56"  
 Combined ground to grid factor= 0.999684760



EXISTING PLAT BOUNDARIES AND EASEMENTS AND EASEMENTS VACATED BY 10DRB-70051 AND 70058.

SHEET 3 OF 4  
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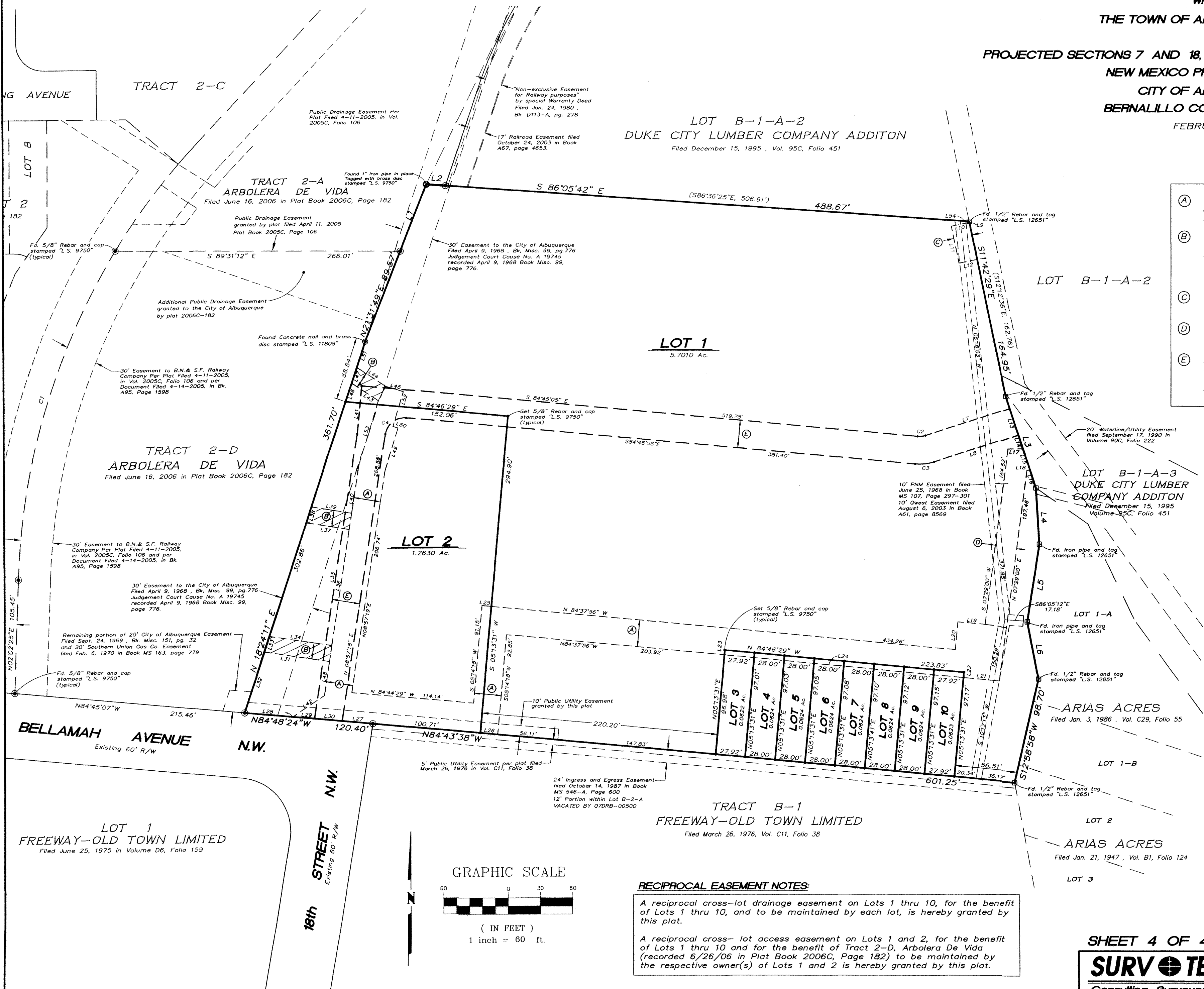
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 FEBRUARY, 2010

## NEW TRACTS, LOTS AND EASEMENTS

| CURVE | LENGTH | RADIUS | TANGENT | CHORD  | CHORD BEARING | DELTA     |
|-------|--------|--------|---------|--------|---------------|-----------|
| C2    | 7.32'  | 18.00' | 3.71'   | 7.27'  | N83°35'43"E   | 23°18'23" |
| C3    | 17.90' | 44.00' | 9.07'   | 17.77' | N83°35'43"E   | 23°18'23" |
| C4    | 27.11' | 18.00' | 16.87'  | 24.62' | S52°06'06"W   | 86°17'37" |



- ### NEW EASEMENT LEGEND
- (A) 25' Public Sanitary Sewer and Water Easement granted to the City of Albuquerque by this plat.
  - (B) 15' Private Sanitary Sewer Easement granted by this plat for the benefit of Lot 2-D, Arbolera De Vida. Maintenance of said easement to be the responsibility of the owner(s) of said Lot 2-D.
  - (C) Public Waterline Easement granted to the City of Albuquerque by this plat.
  - (D) 20' Public Waterline Easement granted to the City of Albuquerque by this plat.
  - (E) 26' Public Access Easement to be maintained by the respective owner(s) of Lots 1 and 2 granted to the City of Albuquerque by this plat.

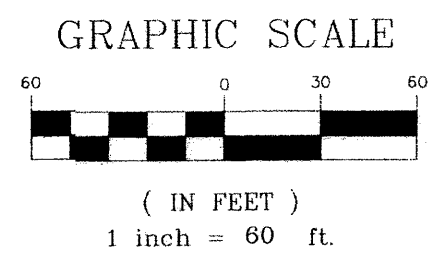
### LINE TABLE

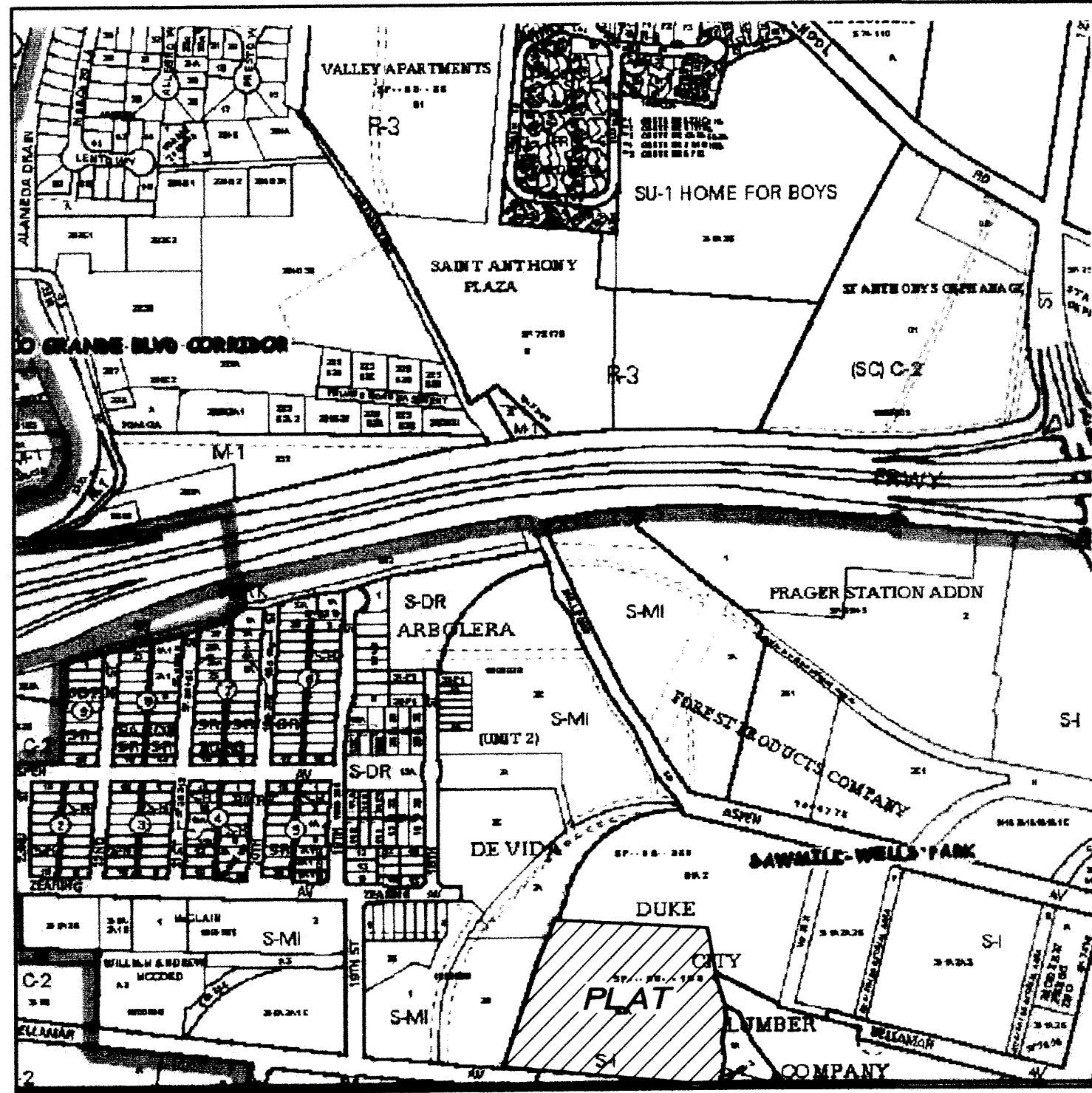
| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L7   | 82.73'  | N71°56'32"E |
| L8   | 82.73'  | N71°56'32"E |
| L9   | 18.81'  | S77°33'02"W |
| L10  | 30.00'  | N12°26'58"W |
| L11  | 18.20'  | N77°33'02"E |
| L12  | 21.02'  | S11°42'29"E |
| L13  | 26.00'  | S18°03'28"E |
| L14  | 13.49'  | S18°04'16"E |
| L15  | 21.02'  | S18°03'44"E |
| L16  | 17.35'  | S18°03'44"E |
| L17  | 14.05'  | N89°50'06"E |
| L18  | 3.02'   | N89°50'06"E |
| L19  | 25.41'  | S84°46'29"E |
| L20  | 25.97'  | N05°13'31"E |
| L21  | 33.63'  | S84°37'56"E |
| L22  | 5.02'   | N05°13'31"E |
| L23  | 4.47'   | N05°13'31"E |
| L24  | 223.83' | S84°37'56"E |
| L25  | 8.71'   | S84°37'56"E |
| L26  | 16.27'  | S84°43'38"E |
| L27  | 28.91'  | S84°48'24"E |
| L28  | 45.31'  | S84°48'24"E |
| L29  | 20.12'  | S84°48'24"E |
| L30  | 26.06'  | S84°48'24"E |
| L31  | 41.12'  | N81°04'39"W |
| L32  | 59.34'  | N18°24'11"E |
| L33  | 15.21'  | N18°24'11"E |
| L34  | 59.05'  | S81°04'39"E |
| L35  | 266.45' | N08°52'18"E |
| L36  | 108.71' | N08°52'19"E |
| L37  | 40.96'  | N81°04'39"W |
| L38  | 15.21'  | N18°24'11"E |
| L39  | 38.47'  | S81°04'39"E |
| L40  | 44.98'  | N09°04'25"E |
| L41  | 44.97'  | N05°11'41"E |
| L42  | 35.18'  | N56°42'28"E |
| L43  | 29.87'  | N56°40'12"W |
| L44  | 32.21'  | S56°40'12"E |
| L45  | 17.32'  | S73°13'40"E |
| L46  | 18.12'  | N18°24'11"E |
| L47  | 15.52'  | N18°24'11"E |
| L48  | 31.98'  | N08°58'14"E |
| L49  | 42.54'  | N16°46'20"E |
| L50  | 5.00'   | N73°13'40"W |
| L51  | 25.19'  | N18°24'11"E |
| L52  | 33.91'  | N16°46'20"E |
| L53  | 62.62'  | N16°46'20"E |

### RECIPROCAL EASEMENT NOTES:

A reciprocal cross-lot drainage easement on Lots 1 thru 10, for the benefit of Lots 1 thru 10, and to be maintained by each lot, is hereby granted by this plat.

A reciprocal cross-lot access easement on Lots 1 and 2, for the benefit of Lots 1 thru 10 and for the benefit of Tract 2-D, Arbolera De Vida (recorded 6/26/06 in Plat Book 2006C, Page 182) to be maintained by the respective owner(s) of Lots 1 and 2 is hereby granted by this plat.





VICINITY MAP  
Not to Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83) and rotated to grid at the Albuquerque Control Survey Monument "5-J13A".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page H-13.
- U.C.L.S. Log Number 2007292230.

**PURPOSE OF PLAT**

The purpose of this plat is to

- Subdivide existing Lot B-2-A into 10 Lots as shown hereon.
- Show the Public and Private Easements Vacated by 10DRB-70051 and 10DRB-70058.
- Grant the new easements as shown hereon.

**SUBDIVISION DATA**

- Total number of existing Lots : 1
- Total number of Lots created: 10
- Gross Subdivision acreage: 7.4628 acres.

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

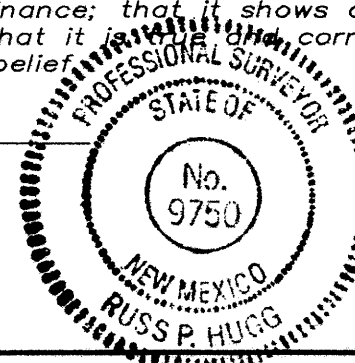
**APS AGREEMENT**

"The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded on June 19, 2007 as Document Number 2007089214."

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
February 18, 2010



PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN  
THE TOWN OF ALBUQUERQUE GRANT  
IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

Utility Approvals:

*Lorenzo Vial* \_\_\_\_\_ 3-11-2010  
Public Service Company of New Mexico Date

*M-J* \_\_\_\_\_ 6-21-2010  
New Mexico Gas Company Date

*Michael Ramirez* \_\_\_\_\_ 03-11-10  
QWest Corporation Date

Comcast \_\_\_\_\_ Date

City Approvals:  
*JL Burt* \_\_\_\_\_ 2-25-10  
City Surveyor Date

Real Property Division \_\_\_\_\_ Date

Environmental Health Department \_\_\_\_\_ Date

Traffic Engineering, Transportation Division \_\_\_\_\_ Date

Utilities Development \_\_\_\_\_ Date

Parks and Recreation Department \_\_\_\_\_ Date

AMAFA \_\_\_\_\_ Date

City Engineer \_\_\_\_\_ Date

DRB Chairperson, Planning Department \_\_\_\_\_ Date

SHEET 1 OF 4

**SURV TEK, INC.**

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PLAT OF  
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WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

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NEW MEXICO PRINCIPAL MERIDIAN

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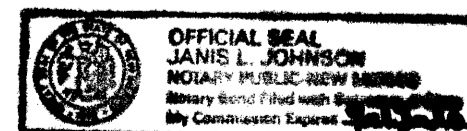
**ACKNOWLEDGMENT**

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Director of the Sawmill Community Land Trust.

*Janis L. Johnson*  
Notary Public

09-13-10  
My Commission expires



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GRAPHIC SCALE

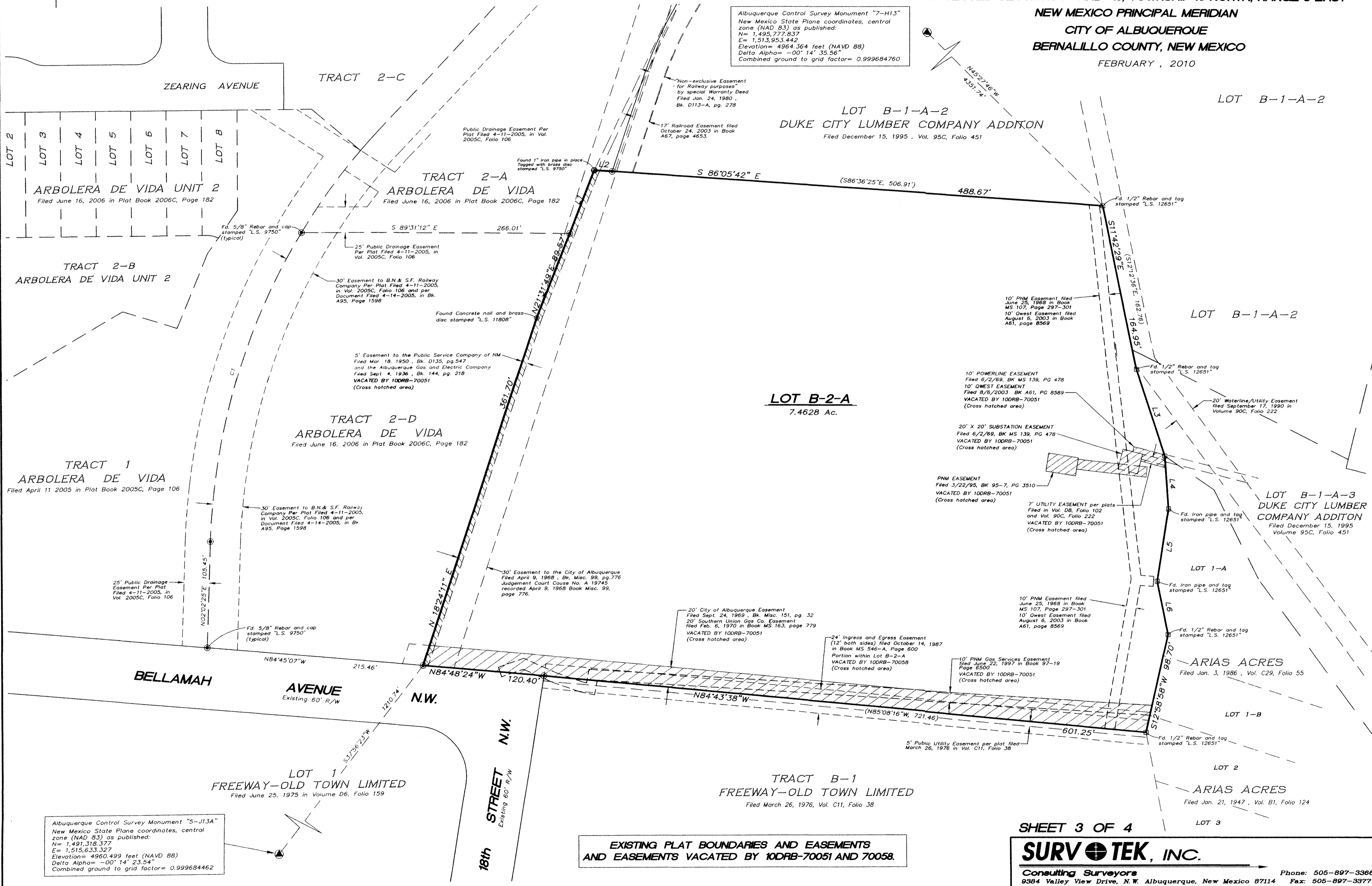
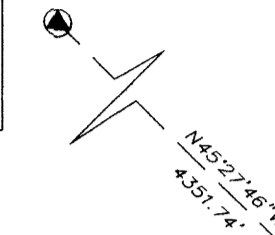


( IN FEET )  
1 inch = 60 ft.

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LOT 2  
LOT 3  
LOT 4  
LOT 5  
LOT 6  
LOT 7  
LOT 8  
ARBOLERA DE VIDA UNIT 2  
Filed June 16, 2006 in Plat Book 2006C, Page 182

TRACT 2-B  
ARBOLERA DE VIDA UNIT 2

TRACT 1  
ARBOLERA DE VIDA  
Filed April 11 2005 in Plat Book 2005C, Page 106

TRACT 2-D  
ARBOLERA DE VIDA  
Filed June 16, 2006 in Plat Book 2006C, Page 182

TRACT 2-A  
ARBOLERA DE VIDA  
Filed June 16, 2006 in Plat Book 2006C, Page 182

TRACT 2-C

LOT B-1-A-2  
DUKE CITY LUMBER COMPANY ADDITION  
Filed December 15, 1995, Vol. 95C, Folio 451

LOT B-1-A-2

LOT B-1-A-2

LOT B-2-A  
7.4628 Ac.

LOT B-1-A-3  
DUKE CITY LUMBER COMPANY ADDITION  
Filed December 15, 1995  
Volume 95C, Folio 451

LOT 1-A

LOT 1-B

LOT 2

ARIAS ACRES  
Filed Jan. 21, 1947, Vol. B1, Folio 124

LOT 3

BELLAHAH AVENUE  
Existing 60' R/W

LOT 1  
FREEWAY-OLD TOWN LIMITED  
Filed June 25, 1975 in Volume D6, Folio 159

TRACT B-1  
FREEWAY-OLD TOWN LIMITED  
Filed March 26, 1976, Vol. C11, Folio 38

18th STREET  
Existing 60' R/W

EXISTING PLAT BOUNDARIES AND EASEMENTS  
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SHEET 3 OF 4

**SURV TEK, INC.**

Consulting Surveyors  
8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

**NEW TRACTS, LOTS AND EASEMENTS**

| CURVE | LENGTH | RADIUS | TANGENT | CHORD  | CHORD BEARING | DELTA     |
|-------|--------|--------|---------|--------|---------------|-----------|
| C2    | 7.32'  | 18.00' | 3.71'   | 7.27'  | N83°35'43"E   | 23°18'23" |
| C3    | 17.90' | 44.00' | 9.07'   | 17.77' | N83°35'43"E   | 23°18'23" |
| C4    | 27.11' | 18.00' | 16.87'  | 24.62' | S52°06'06"W   | 86°17'37" |

**PLAT OF  
SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)  
 WITHIN  
 THE TOWN OF ALBUQUERQUE GRANT  
 IN  
 PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

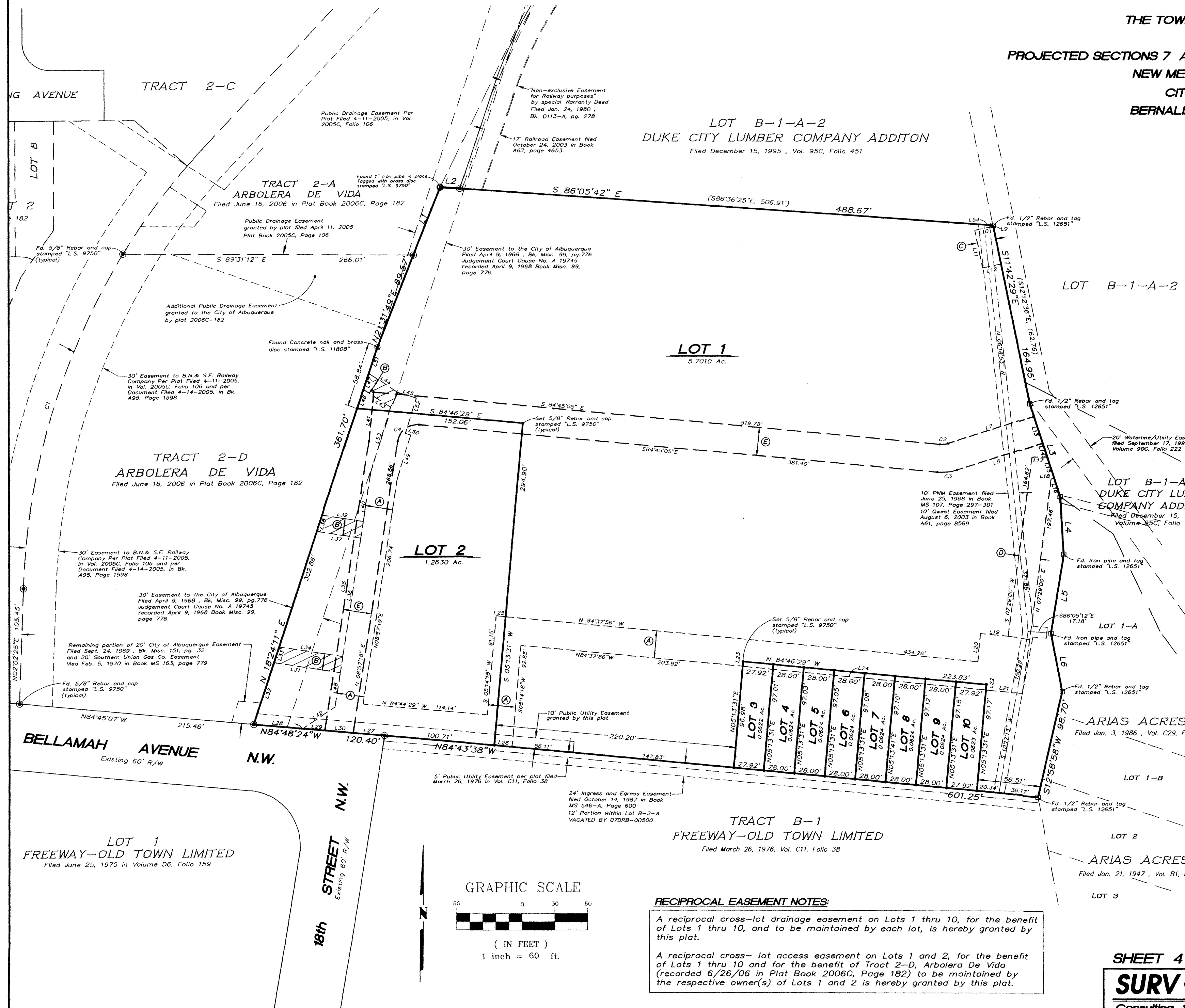
FEBRUARY, 2010

**NEW EASEMENT LEGEND**

- (A) 25' Public Sanitary Sewer and Water Easement granted to the City of Albuquerque by this plat.
- (B) 15' Private Sanitary Sewer Easement granted by this plat for the benefit of Lot 2-D, Arbolera De Vida. Maintenance of said easement to be the responsibility of the owner(s) of said Lot 2-D.
- (C) Public Waterline Easement granted to the City of Albuquerque by this plat.
- (D) 20' Public Waterline Easement granted to the City of Albuquerque by this plat.
- (E) 26' Public Access Easement to be maintained by the respective owner(s) of Lots 1 and 2 granted to the City of Albuquerque by this plat.

**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L7   | 82.73'  | N71°56'32"E |
| L8   | 82.73'  | N71°56'32"E |
| L9   | 18.81'  | S77°33'02"W |
| L10  | 30.00'  | N12°26'58"W |
| L11  | 18.20'  | N77°33'02"E |
| L12  | 21.02'  | S11°42'29"E |
| L13  | 26.00'  | S18°03'28"E |
| L14  | 13.49'  | S18°04'16"E |
| L15  | 21.02'  | S18°03'44"E |
| L16  | 17.35'  | S18°03'44"E |
| L17  | 14.05'  | N89°50'06"E |
| L18  | 3.02'   | N89°50'06"E |
| L19  | 25.41'  | S84°46'29"E |
| L20  | 25.97'  | N05°13'31"E |
| L21  | 33.63'  | S84°37'56"E |
| L22  | 5.02'   | N05°13'31"E |
| L23  | 4.47'   | N05°13'31"E |
| L24  | 223.83' | S84°37'56"E |
| L25  | 8.71'   | S84°37'56"E |
| L26  | 16.27'  | S84°43'38"E |
| L27  | 28.91'  | S84°48'24"E |
| L28  | 45.31'  | S84°48'24"E |
| L29  | 20.12'  | S84°48'24"E |
| L30  | 26.06'  | S84°48'24"E |
| L31  | 41.12'  | N81°04'39"W |
| L32  | 59.34'  | N18°24'11"E |
| L33  | 15.21'  | N18°24'11"E |
| L34  | 59.05'  | S81°04'39"E |
| L35  | 266.45' | N08°57'19"E |
| L36  | 108.71' | N08°57'19"E |
| L37  | 40.96'  | N81°04'39"W |
| L38  | 15.21'  | N18°24'11"E |
| L39  | 38.47'  | S81°04'39"E |
| L40  | 44.98'  | N09°04'25"E |
| L41  | 44.97'  | N05°11'41"E |
| L42  | 35.18'  | N56°47'28"E |
| L43  | 29.87'  | N56°40'12"W |
| L44  | 32.21'  | S56°40'12"E |
| L45  | 17.32'  | S73°13'40"E |
| L46  | 18.12'  | N18°24'11"E |
| L47  | 15.52'  | N18°24'11"E |
| L48  | 31.98'  | N08°58'14"E |
| L49  | 42.54'  | N16°46'20"E |
| L50  | 5.00'   | N73°13'40"W |
| L51  | 25.19'  | N18°24'11"E |
| L52  | 33.91'  | N16°46'20"E |
| L53  | 62.62'  | N16°46'20"E |



**LOT B-1-A-2**  
 DUKE CITY LUMBER COMPANY ADDITION  
 Filed December 15, 1995, Vol. 95C, Folio 451

**LOT 1**  
 3.7010 Ac.

**LOT 2**  
 1.2630 Ac.

**LOT B-1-A-3**  
 DUKE CITY LUMBER COMPANY ADDITION  
 Filed December 15, 1995, Volume 95C, Folio 451

**LOT 1-A**

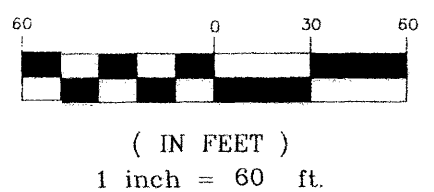
**ARIAS ACRES**  
 Filed Jan. 3, 1986, Vol. C29, Folio 55

**ARIAS ACRES**  
 Filed Jan. 21, 1947, Vol. B1, Folio 124

**LOT 1**  
 FREEWAY-OLD TOWN LIMITED  
 Filed June 25, 1975 in Volume D6, Folio 159

**TRACT B-1**  
 FREEWAY-OLD TOWN LIMITED  
 Filed March 26, 1976, Vol. C11, Folio 38

**GRAPHIC SCALE**



**RECIPROCAL EASEMENT NOTES:**

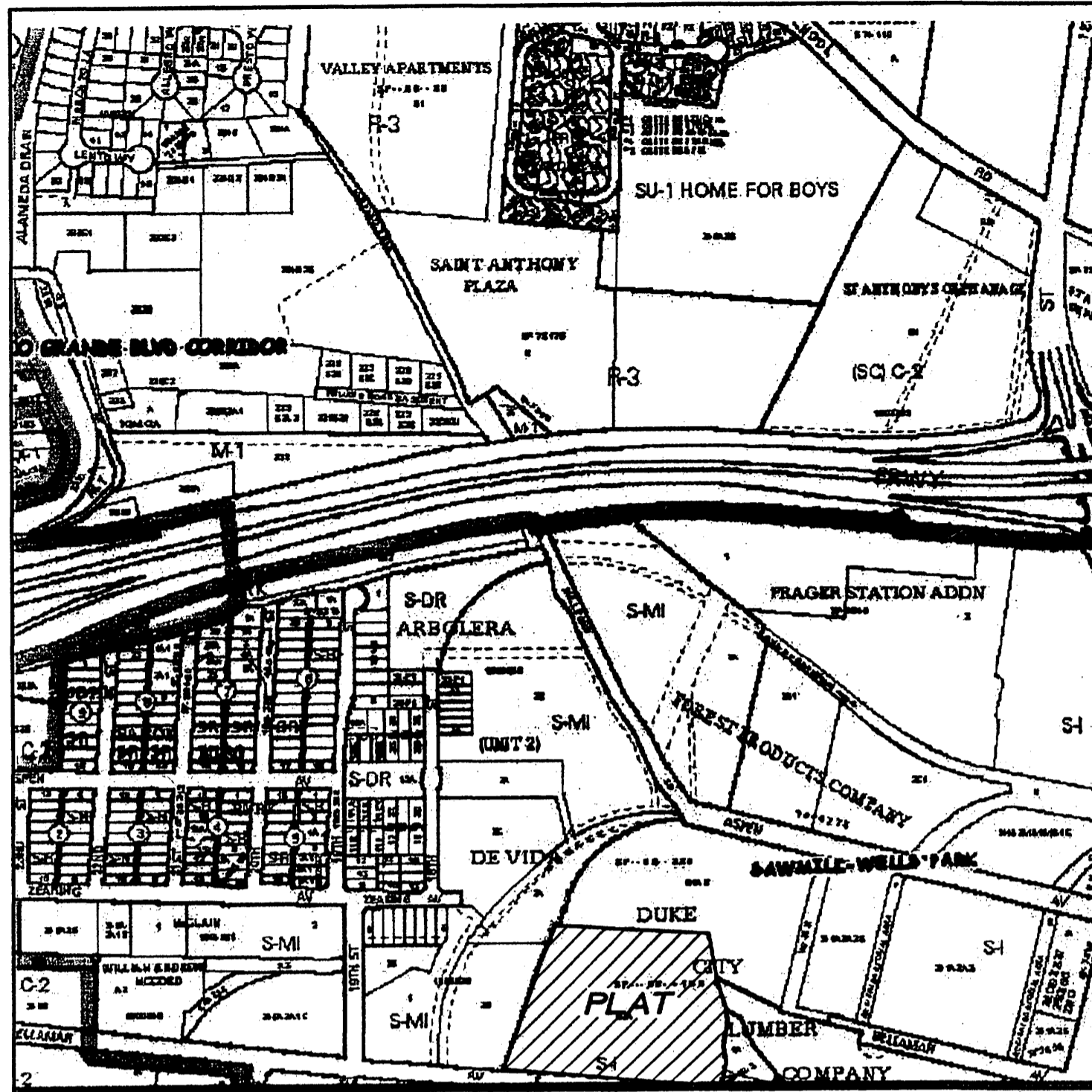
A reciprocal cross-lot drainage easement on Lots 1 thru 10, for the benefit of Lots 1 thru 10, and to be maintained by each lot, is hereby granted by this plat.

A reciprocal cross-lot access easement on Lots 1 and 2, for the benefit of Lots 1 thru 10 and for the benefit of Tract 2-D, Arbolera De Vida (recorded 6/26/06 in Plat Book 2006C, Page 182) to be maintained by the respective owner(s) of Lots 1 and 2 is hereby granted by this plat.

SHEET 4 OF 4

**SURVOTEK, INC.**

Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3386  
 Fax: 505-897-3377



VICINITY MAP  
Not to Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83) and rotated to grid at the Albuquerque Control Survey Monument "5-J13A".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page H-13.
- U.C.L.S. Log Number 2007292230.

**PURPOSE OF PLAT**

The purpose of this plat is to

- Subdivide existing Lot B-2-A into 10 Lots as shown hereon.
- Show the Public and Private Easements Vacated by 10DRB-70051 and 10DRB-70058.
- Grant the new easements as shown hereon.

**SUBDIVISION DATA**

- Total number of existing Lots : 1
- Total number of Lots created: 10
- Gross Subdivision acreage: 7.4628 acres.

DOCH 2010068561  
07/12/2010 09:12 AM Page: 1 of 4  
PLAT R. 22 38 B. 2010C P. 0081 T. Toulous Olivere, Bernalillo Co.

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

101305934151512010  
Sawmill Comm. Land Trust  
MBO  
Bernalillo County Treasurer  
7/16/2010  
Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**  
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**APS AGREEMENT**

"The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded on June 19, 2007 as Document Number 2007089214."

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is correct to the best of my knowledge and belief.

Russ P. Hugg  
NMP S No. 9750  
February 18, 2010  
Professional Surveyor  
No. 9750  
New Mexico  
Russ P. Hugg

PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010

PROJECT NUMBER: 1005354

Application Number: 10 DRB-70180

**PLAT APPROVAL**

Utility Approvals:

Josmaria Vigil  
Public Service Company of New Mexico  
3-11-2010  
Date

M-J  
New Mexico Gas Company  
6-21-2010  
Date

Michal Ramirez  
QWest Corporation  
03-11-10  
Date

Rabert Monton  
Comcast  
6-22-10  
Date

City Approvals:

Sh B Hat  
City Surveyor  
2-25-10  
Date

NIA  
Real Property Division  
Date

NIA  
Environmental Health Department  
Date

NIA  
Traffic Engineering, Transportation Division  
6/30/10  
Date

Allan Pater  
Utilities Development  
07/06/10  
Date

Christina Sandoval  
Parks and Recreation Department  
6/30/10  
Date

Bradley L. Bingham  
AMAFA  
6/30/10  
Date

Bradley L. Bingham  
City Engineer  
6/30/10  
Date

Caci Cloud  
DRB Chairperson, Planning Department  
7-12-10  
Date

SHEET 1 OF 4

**SURV TEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Albuquerque Grant in projected Sections 7 and 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising All of Lot B-2-A, Duke City Lumber Company Addition as the same is shown and designated on the plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION IN THE CITY OF ALBUQUERQUE, NEW MEXICO, PROJECTED SECTIONS 7 AND 18, T.10 N., R.3 E., N.M.P.M.", filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990 in Volume 90C, Folio 222.

Said Parcel contains 7.4628 acres, more or less.

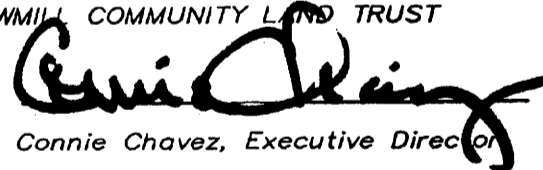
**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF SAWMILL VILLAGE (BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION  
SAWMILL COMMUNITY LAND TRUST

By:

  
Connie Chavez, Executive Director

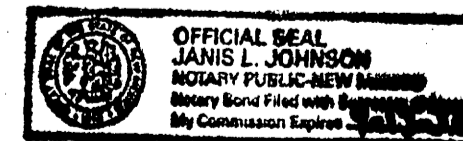
**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 22<sup>nd</sup> day  
of February, 2010, by Connie Chavez as Executive  
Director of the Sawmill Community Land Trust.

  
Notary Public

09-13-10  
My Commission expires



**Documents used in the preparation of this survey are as follows:**

- Plat entitled "SECOND CORRECTION PLAT ARBOLERA DE VIDA UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2006, in Plat Book 2006C, page 192.
- Plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION, CITY OF ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990, in Volume 90C, Folio 222.
- ALTA/ASCM Land Title Survey of Lot B-2-A, Duke City Lumber Company Addition prepared by Gary E. Gritsko, New Mexico Professional Surveyor Number 8686, dated February 2004.
- Title Report prepared for this property by First American Title Company Insurance Company, Commitment for Title Insurance Numbers 973013-AL16, LMC, dated January 26, 2007 and 979513-AL16, LC, dated February 7, 2007.

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

DOCH 2010068561

07/12/2010 09:12 AM Page: 2 of 4  
City: PLAT B-22-00 B: 2010C P: 0081 M: Toulous Olivere, Bernalillo Co.



SHEET 2 OF 4

**SURVOTEK, INC.**

Consulting Surveyors

9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366  
Fax: 505-897-3377

GRAPHIC SCALE



( IN FEET )  
1 inch = 60 ft.

| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 66.67' | N21°31'49"E |
| L2   | 17.92' | S86°09'28"E |
| L3   | 90.04' | S18°03'44"E |
| L4   | 52.03' | S03°42'11"E |
| L5   | 72.89' | S09°00'10"W |
| L6   | 54.04' | S11°22'29"E |

DOCH 2010068561

07/12/2010 09:12 AM Page: 3 of 4  
Toulouse Olivero, Bernalillo Co.  
PLAT R: 22 00 B: 2010C P: 0081 M

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 320.82' | 621.36' | 164.07' | 317.26' | S16°49'54"W   | 29°34'58" |

PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

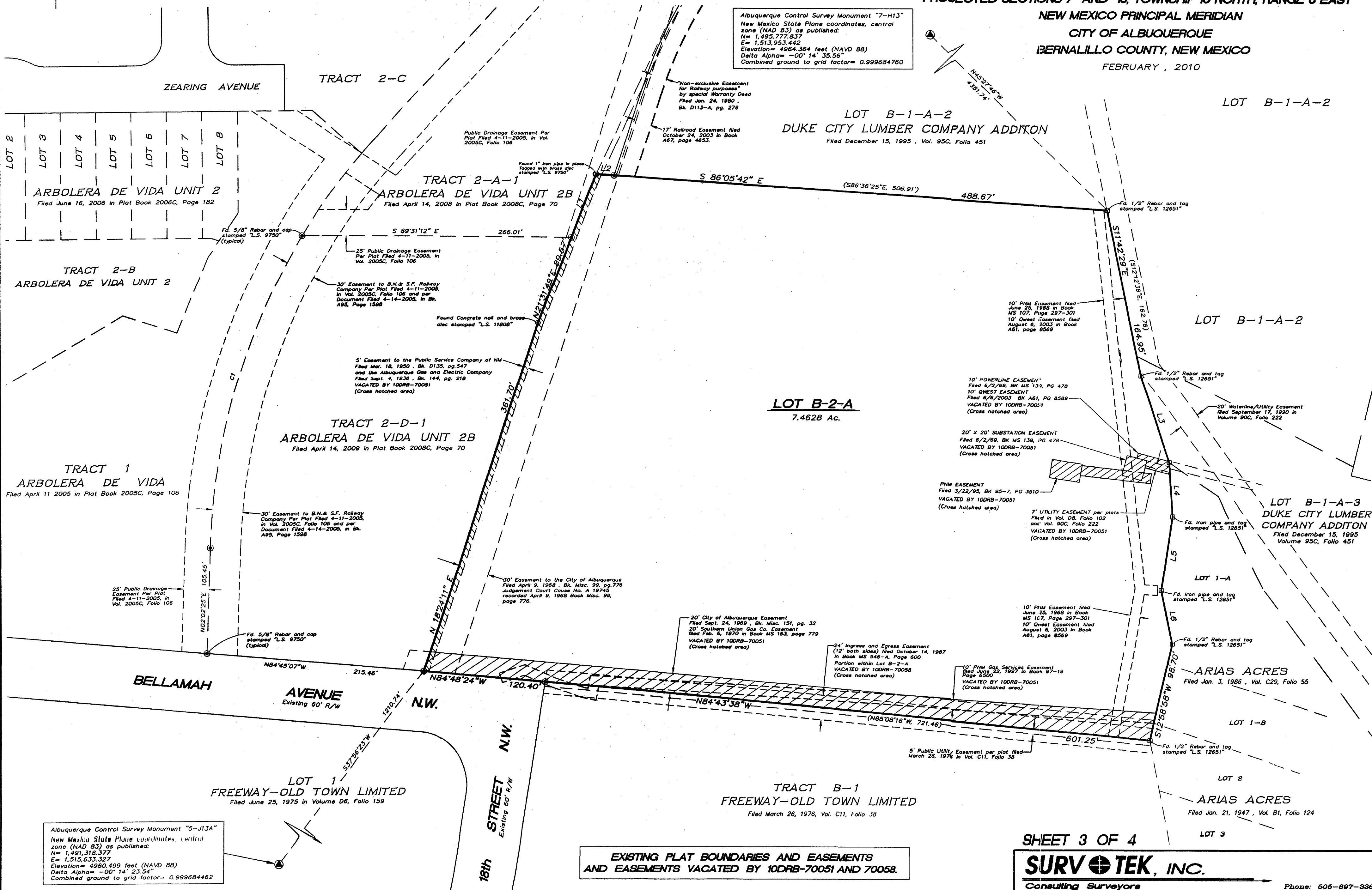
PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

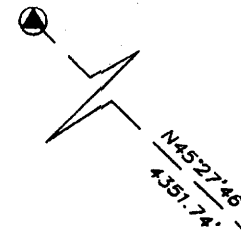
CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2010



Albuquerque Control Survey Monument "7-H13"  
New Mexico State Plane coordinates, central zone (NAD 83) as published:  
N = 1,495,777.837  
E = 1,513,953.442  
Elevation = 4964.364 feet (NAVD 88)  
Delta Alpha = -00° 14' 35.56"  
Combined ground to grid factor = 0.999684760



EXISTING PLAT BOUNDARIES AND EASEMENTS  
AND EASEMENTS VACATED BY 10DRB-70051 AND 70058.

SHEET 3 OF 4

**SURVOTEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377

# PLAT OF SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)  
WITHIN  
THE TOWN OF ALBUQUERQUE GRANT  
IN  
PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2010

NEW TRACTS, LOTS AND EASEMENTS

| CURVE TABLE |        |        |         |        |               |           |
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DOCH 2010068561  
07/12/2010 09:12 AM Page: 4 of 4  
City: PLAT R 322 00 B: 20100 P: 0081 M: Toulous Olivera, Bernalillo Co.

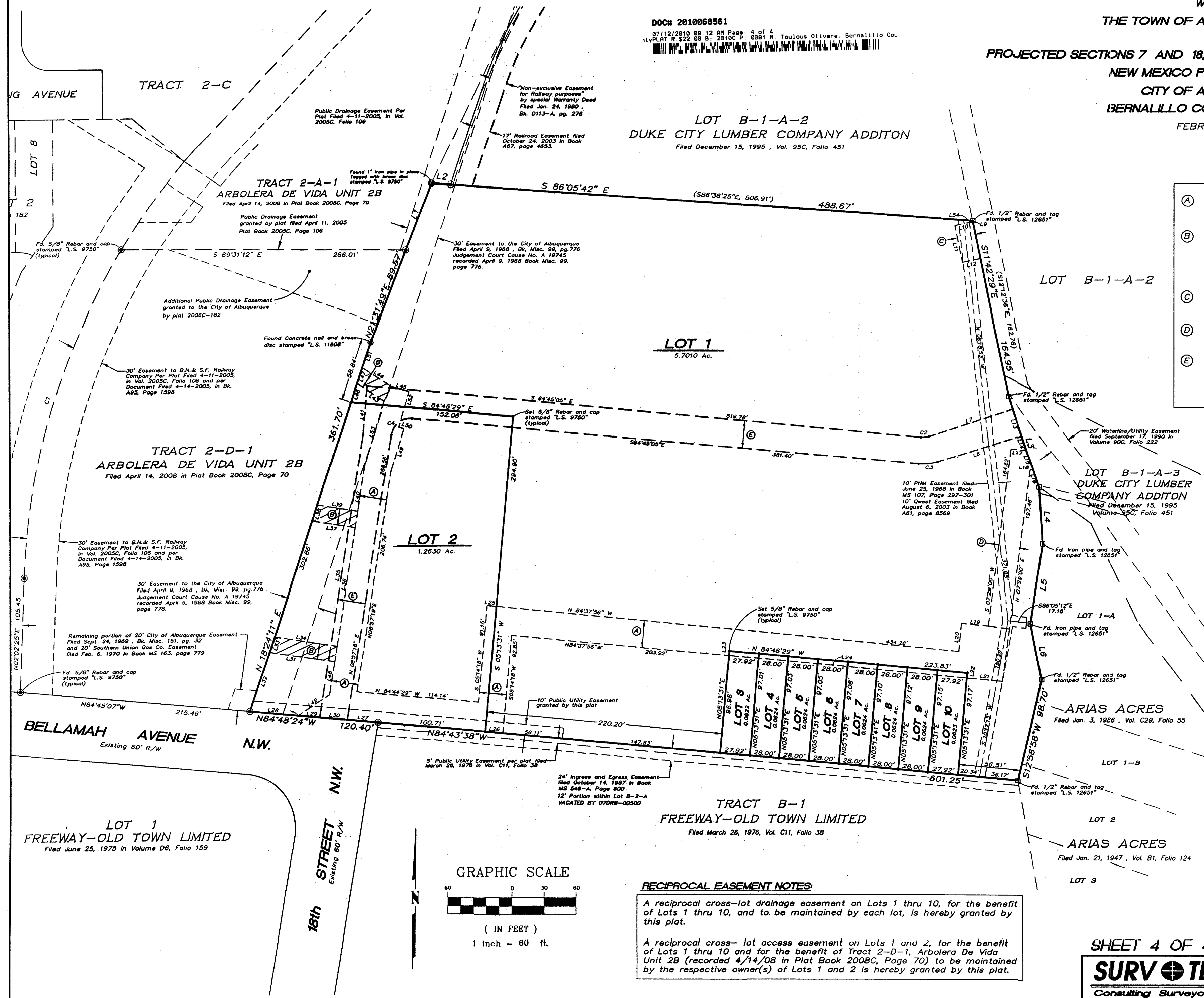
LOT B-1-A-2  
DUKE CITY LUMBER COMPANY ADDITION  
Filed December 15, 1995, Vol. 95C, Folio 451

NEW EASEMENT LEGEND

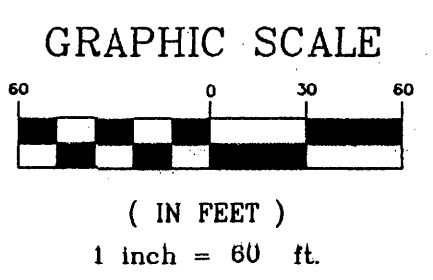
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| L15  | 21.02'  | S18°03'44"E |
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| L17  | 14.05'  | N89°50'06"E |
| L18  | 3.02'   | N89°50'06"E |
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| L20  | 25.97'  | N05°13'31"E |
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| L48  | 31.98'  | N08°58'14"E |
| L49  | 42.54'  | N16°46'20"E |
| L50  | 5.00'   | N73°13'40"W |
| L51  | 25.19'  | N18°24'11"E |
| L52  | 33.91'  | N16°46'20"E |
| L53  | 62.62'  | N16°46'20"E |

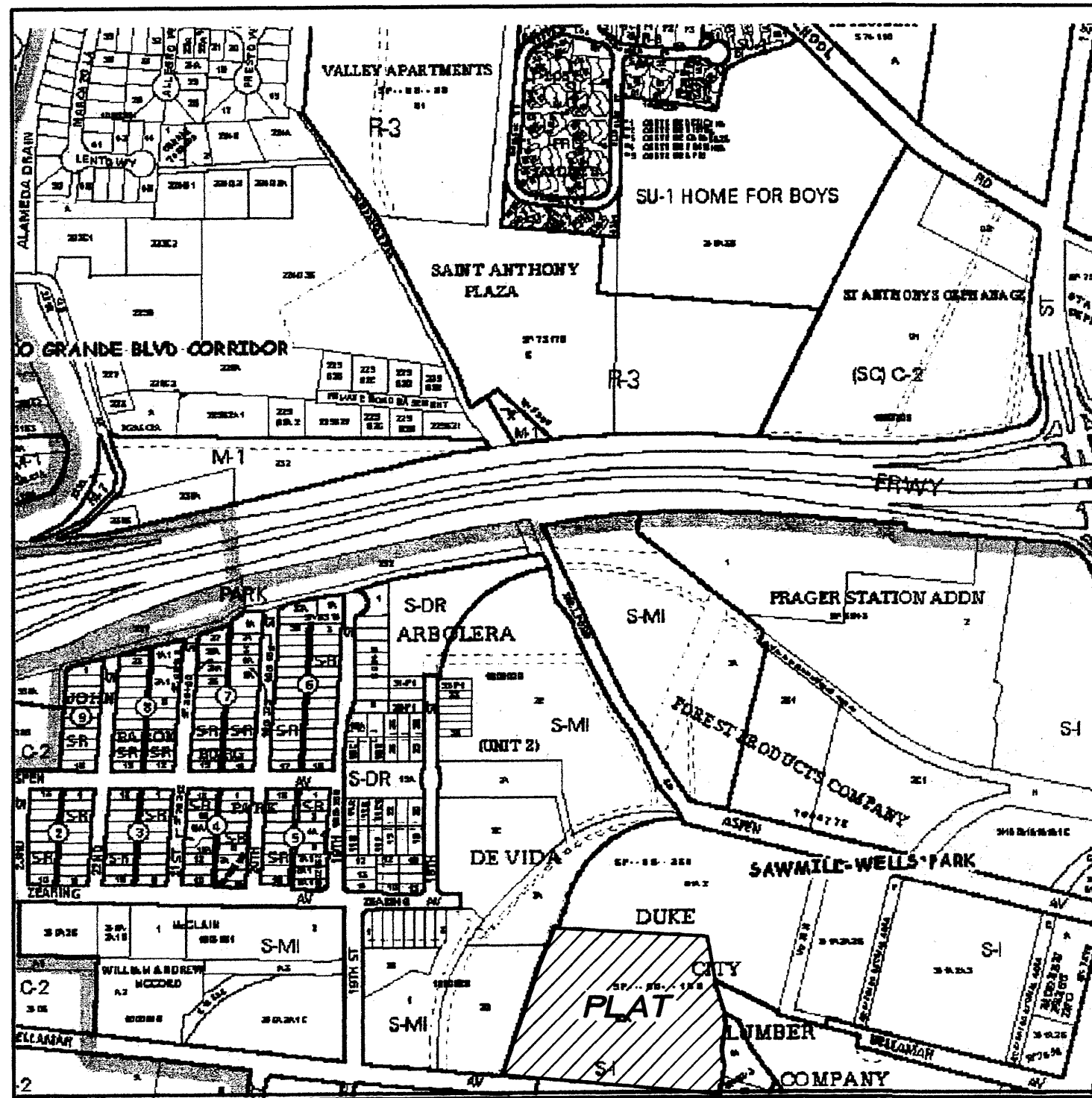


**RECIPROCAL EASEMENT NOTES:**  
A reciprocal cross-lot drainage easement on Lots 1 thru 10, for the benefit of Lots 1 thru 10, and to be maintained by each lot, is hereby granted by this plat.  
A reciprocal cross-lot access easement on Lots 1 and 2, for the benefit of Lots 1 thru 10 and for the benefit of Tract 2-D-1, Arbolera De Vida Unit 2B (recorded 4/14/08 in Plat Book 2008C, Page 70) to be maintained by the respective owner(s) of Lots 1 and 2 is hereby granted by this plat.



SHEET 4 OF 4

**SURV TEK, INC.**  
Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377



VICINITY MAP  
Not to Scale

**GENERAL NOTES**

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD27) and rotated to grid at the Albuquerque Control Survey Monument "5-J13A".
2. Distances are ground.
3. Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
4. All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
5. Albuquerque City Zone Atlas page H-13.
6. U.C.L.S. Log Number 2007292230.
7. Zoning: SU-2 / SU-1 for PRD.

**PURPOSE OF PLAT**

The purpose of this plat is to

- A. Subdivide existing Lot B-2-A into 10 Lots as shown hereon.
- B. Show the Public and Private Easements Vacated by 07DRB-00499 and 07DRB-00500.
- C. Grant the new easements as shown hereon.

**SUBDIVISION DATA**

1. Total number of existing Lots : 1
2. Total number of Lots created: 10
3. Gross Subdivision acreage: 7.4628 acres.

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Bernalillo County Treasurer Date

The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded on June 19, 2007 Document Number 2007089214.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

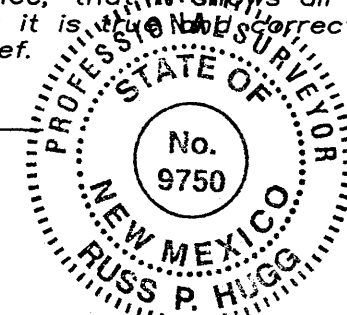
**DISCLAIMER**

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is, to the best of my knowledge and belief, correct to the best of my knowledge and belief.

*Russ P. Hugg*  
 Russ P. Hugg  
 NMPS No. 9750  
 June 7, 2007



PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

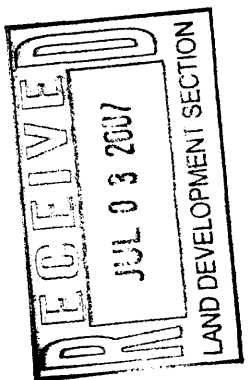
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JUNE, 2007

PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON 7/14/07



PROJECT NUMBER: ORB 1005354

Application Number: 27-70071

**PLAT APPROVAL**

Utility Approvals:

*Leah D. Mant*  
 PNM Gas and Electric Services

6-27-07  
 Date

QWest Corporation

*Yonice Baker*  
 Comcast

6-20-07  
 Date

City Approval:

*John B. Hugg*  
 City Surveyor

6-19-07  
 Date

Real Property Division

\_\_\_\_\_  
 Date

Environmental Health Department

\_\_\_\_\_  
 Date

Traffic Engineering, Transportation Division

\_\_\_\_\_  
 Date

Utilities Development

\_\_\_\_\_  
 Date

Parks and Recreation Department

\_\_\_\_\_  
 Date

AMAFCA

\_\_\_\_\_  
 Date

City Engineer

\_\_\_\_\_  
 Date

DRB Chairperson, Planning Department

\_\_\_\_\_  
 Date

SHEET 1 OF 4

**SURVOTEK, INC.**

Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366  
 Fax: 505-897-3377

PLAT OF  
**SAWMILL VILLAGE**

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JUNE , 2007

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Albuquerque Grant in projected Sections 7 and 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising All of Lot B-2-A, Duke City Lumber Company Addition as the same is shown and designated on the plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION IN THE CITY OF ALBUQUERQUE, NEW MEXICO, PROJECTED SECTIONS 7 AND 18, T.10 N., R.3 E., N.M.P.M.", filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990 in Volume 90C, Folio 222.

Said Parcel contains 7.4628 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF SAWMILL VILLAGE (BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION  
SAWMILL COMMUNITY LAND TRUST

By: Connie Chavez  
Connie Chavez, Executive Director

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

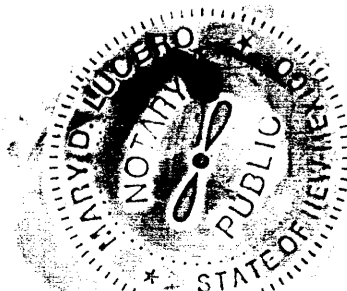
This instrument was acknowledged before me on this 15<sup>th</sup> day  
of June, 2007, by Connie Chavez as Executive  
Director of the Sawmill Community Land Trust.

M. Huggins  
Notary Public

9/30/2009  
My Commission expires

**Documents used in the preparation of this survey are as follows:**

- Plat entitled "SECOND CORRECTION PLAT ARBOLERA DE VIDA UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2006, in Plat Book 2006C, page 192.
- Plat entitled "PLAT OF LOTS B-1-A AND B-2-A, DUKE CITY LUMBER COMPANY ADDITION, CITY OF ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on September 17, 1990, in Volume 90C, Folio 222.
- ALTA/ASCM Land Title Survey of Lot B-2-A, Duke City Lumber Company Addition prepared by Gary E. Gritsko, New Mexico Professional Surveyor Number 8686, dated February 2004.
- Title Report prepared for this property by First American Title Company Insurance Company, Commitment for Title Insurance Numbers 973013-AL16, LMC, dated January 26, 2007 and 979513-AL16, LC, dated February 7, 2007.



SHEET 2 OF 4

**SURVOTEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377



# PLAT OF SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)  
WITHIN  
THE TOWN OF ALBUQUERQUE GRANT  
IN  
PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

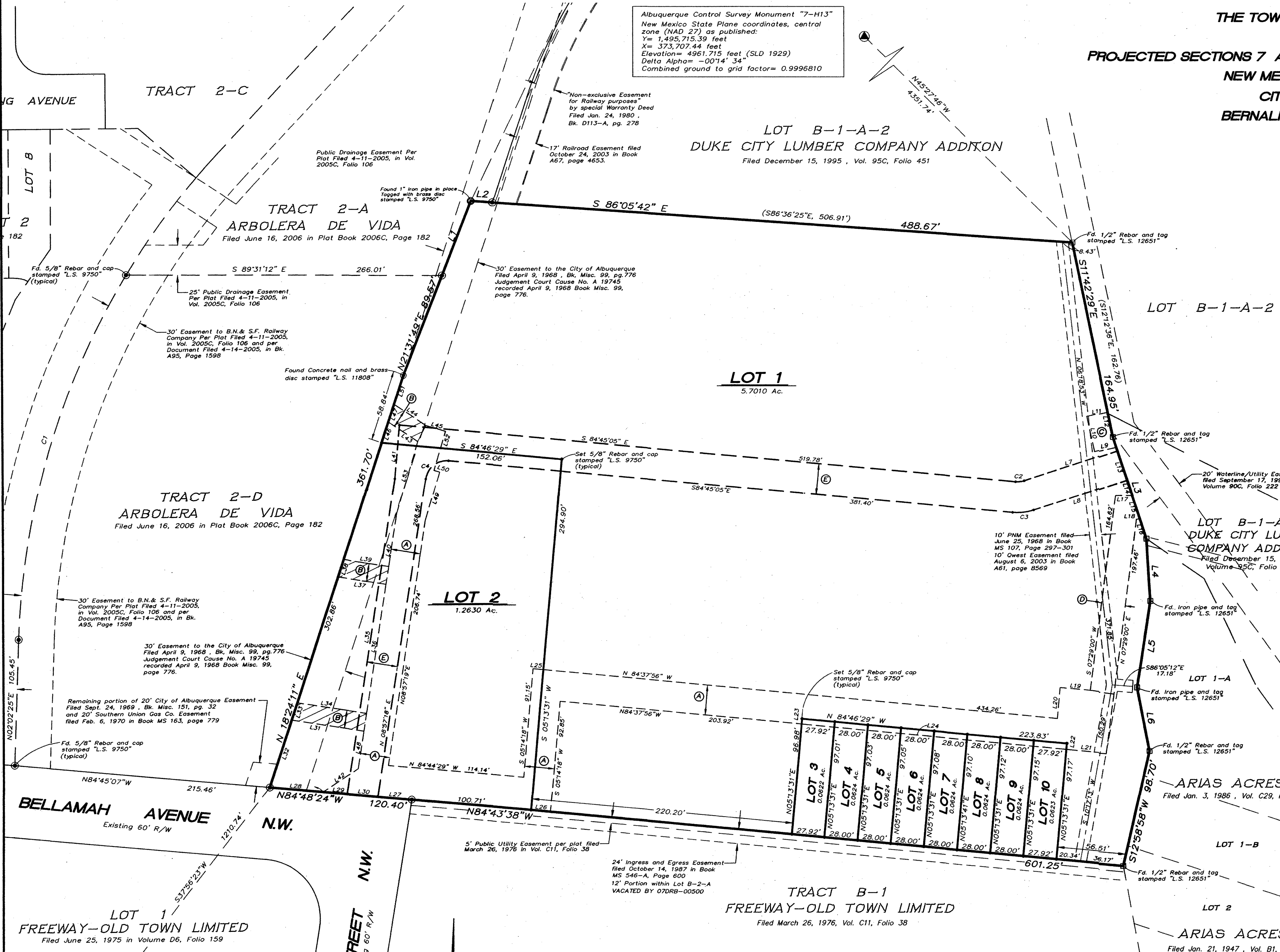
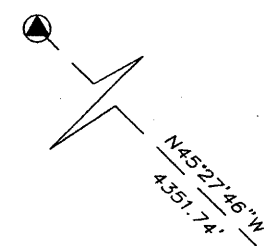
JUNE, 2007

### NEW EASEMENT LEGEND

- (A) 25' Public Sanitary Sewer and Water Easement granted to the City of Albuquerque by this plat.
- (B) 15' Private Sanitary Sewer Easement granted by this plat for the benefit of Lot 2-D, Arbolera De Vida. Maintenance of said easement to be the responsibility of the owner(s) of said Lot 2-D.
- (C) Public Waterline Easement granted to the City of Albuquerque by this plat.
- (D) 20' Public Waterline Easement granted to the City of Albuquerque by this plat.
- (E) 26' Public Access Easement to be maintained by the respective owner(s) of Lots 1 and 2 granted to the City of Albuquerque by this plat.

| CURVE TABLE |        |        |         |        |               |           |
|-------------|--------|--------|---------|--------|---------------|-----------|
| CURVE       | LENGTH | RADIUS | TANGENT | CHORD  | CHORD BEARING | DELTA     |
| C2          | 7.32'  | 18.00' | 3.71'   | 7.27'  | N83°35'43"E   | 23°18'23" |
| C3          | 17.90' | 44.00' | 9.07'   | 17.77' | N83°35'43"E   | 23°18'23" |
| C4          | 27.11' | 18.00' | 16.87'  | 24.62' | S52°06'06"W   | 86°17'37" |

Albuquerque Control Survey Monument "7-H13"  
New Mexico State Plane coordinates, central zone (NAD 27) as published:  
Y= 1,495,715.39 feet  
X= 373,707.44 feet  
Elevation= 4961.715 feet (SLD 1929)  
Delta Alpha= -00°14' 34"  
Combined ground to grid factor= 0.9996810

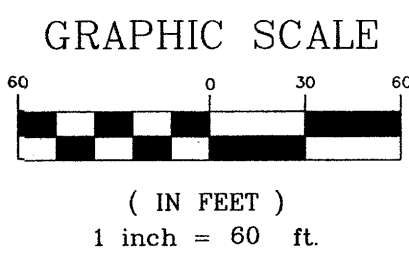


| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L7   | 82.73'  | N71°56'32"E |
| L8   | 82.73'  | N71°56'32"E |
| L9   | 18.81'  | S77°33'02"W |
| L10  | 30.00'  | N12°26'58"W |
| L11  | 18.20'  | N77°33'02"E |
| L12  | 21.02'  | S11°42'29"E |
| L13  | 26.00'  | S18°03'28"E |
| L14  | 13.49'  | S18°04'16"E |
| L15  | 21.02'  | S18°03'44"E |
| L16  | 17.35'  | S18°03'44"E |
| L17  | 14.05'  | N89°50'06"E |
| L18  | 3.02'   | N89°50'06"E |
| L19  | 25.41'  | S84°46'29"E |
| L20  | 25.92'  | N05°13'31"E |
| L21  | 33.63'  | S84°37'56"E |
| L22  | 5.02'   | N05°13'31"E |
| L23  | 4.47'   | N05°13'31"E |
| L24  | 223.83' | S84°37'56"E |
| L25  | 8.71'   | S84°37'56"E |
| L26  | 16.27'  | S84°43'38"E |
| L27  | 28.91'  | S84°48'24"E |
| L28  | 45.31'  | S84°48'24"E |
| L29  | 20.12'  | S84°48'24"E |
| L30  | 26.06'  | S84°48'24"E |
| L31  | 41.12'  | N81°04'39"W |
| L32  | 59.34'  | N18°24'11"E |
| L33  | 15.21'  | N18°24'11"E |
| L34  | 59.05'  | S81°04'39"E |
| L35  | 266.45' | N08°57'18"E |
| L36  | 108.71' | N08°57'19"E |
| L37  | 40.96'  | N81°04'39"W |
| L38  | 15.21'  | N18°24'11"E |
| L39  | 38.47'  | S81°04'39"E |
| L40  | 44.98'  | N09°04'25"E |
| L41  | 44.97'  | N05°11'41"E |
| L42  | 35.18'  | N56°47'28"E |
| L43  | 29.87'  | N56°40'12"W |
| L44  | 32.21'  | S56°40'12"E |
| L45  | 17.32'  | S73°13'40"E |
| L46  | 18.12'  | N18°24'11"E |
| L47  | 15.52'  | N18°24'11"E |
| L48  | 31.98'  | N08°58'14"E |
| L49  | 42.54'  | N16°46'20"E |
| L50  | 5.00'   | N73°13'40"W |
| L51  | 25.19'  | N18°24'11"E |
| L52  | 33.91'  | N16°46'20"E |
| L53  | 62.62'  | N16°46'20"E |

### RECIPROCAL EASEMENT NOTES:

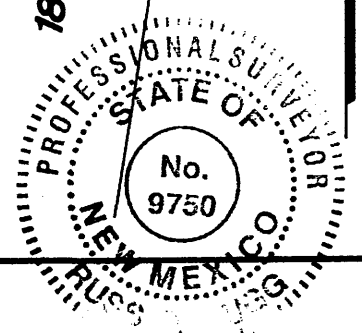
A reciprocal cross-lot drainage easement on Lots 1 thru 10, for the benefit of Lots 1 thru 10, and to be maintained by each lot, is hereby granted by this plat.

A reciprocal cross-lot access easement on Lots 1 and 2, for the benefit of Lots 1 thru 10 and for the benefit of Tract 2-D, Arbolera De Vida (recorded 6/28/06 in Plat Book 2006C, Page 182) to be maintained by the respective owner(s) of Lots 1 and 2 is hereby granted by this plat.

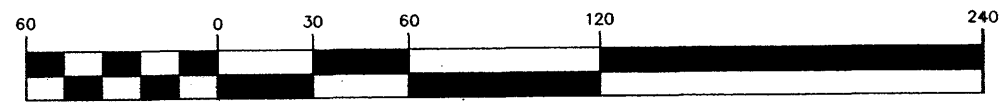


### NEW TRACTS, LOTS AND EASEMENTS

Albuquerque Control Survey Monument "5-J13A"  
New Mexico State Plane coordinates, central zone (NAD 27) as published:  
Y= 1,491,255.48  
X= 375,387.46 feet  
Elevation= 4957.87 feet (SLD 1929)  
Delta Alpha= -00°14' 22"  
Combined ground to grid factor= 0.9996807



GRAPHIC SCALE



( IN FEET )  
1 inch = 60 ft.

| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 66.67' | N21°31'49"E |
| L2   | 17.92' | S86°09'28"E |
| L3   | 90.04' | S18°03'44"E |
| L4   | 52.03' | S03°42'11"E |
| L5   | 72.89' | S09°00'10"W |
| L6   | 34.04' | S11°12'29"E |

| CURVE | LENGTH  | RADIUS  | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|---------|---------|---------|---------------|-----------|
| C1    | 320.82' | 621.36' | 164.07' | 317.26' | S16°49'54"W   | 29°34'58" |

# PLAT OF SAWMILL VILLAGE

(BEING A REPLAT OF LOT B-2-A, DUKE CITY LUMBER COMPANY ADDITION)

WITHIN

THE TOWN OF ALBUQUERQUE GRANT

IN

PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST

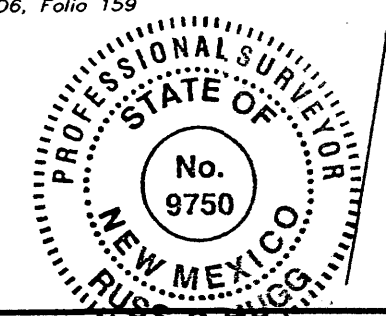
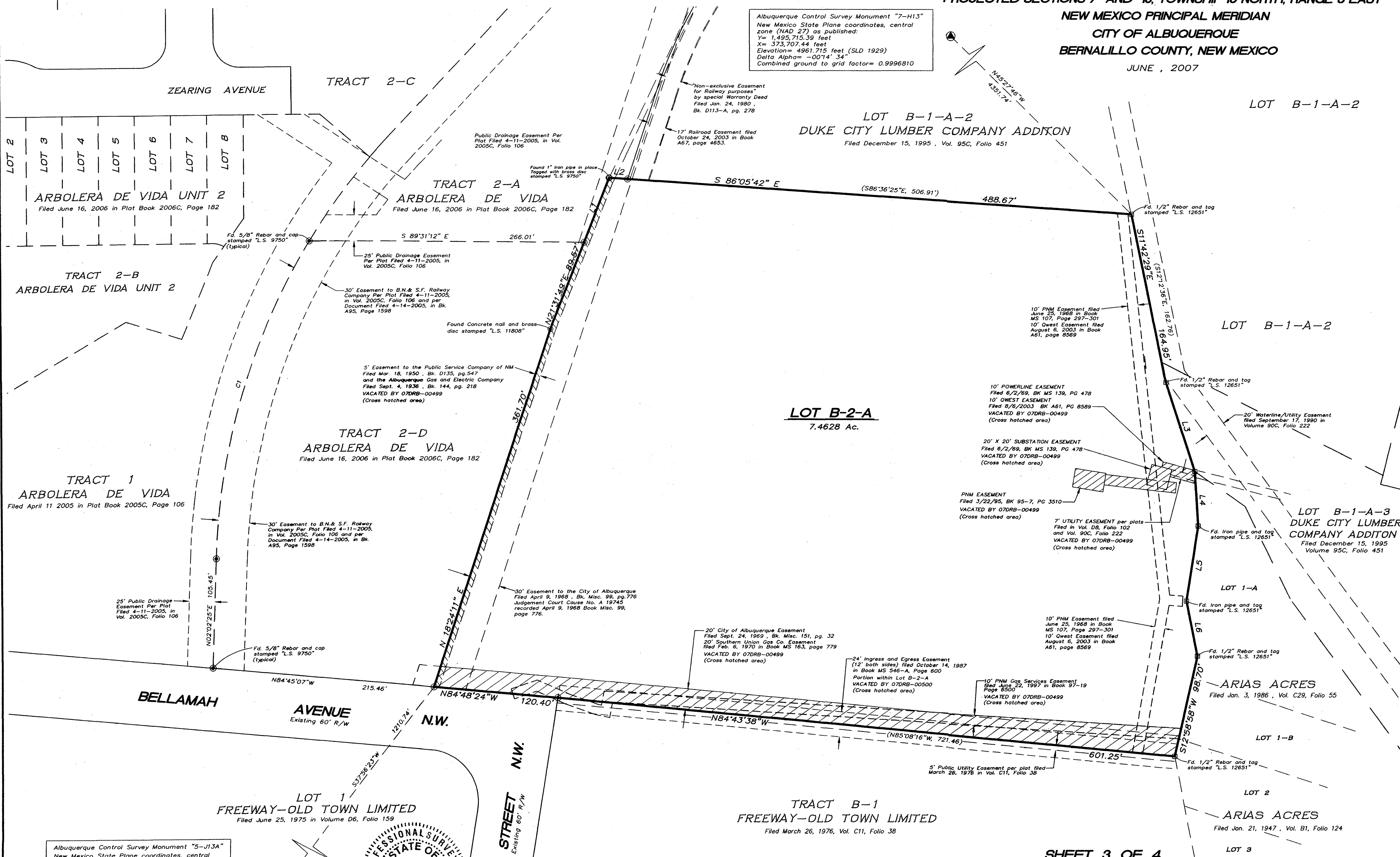
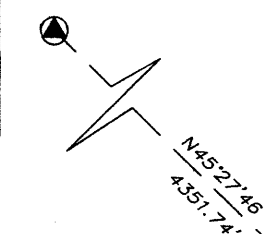
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JUNE, 2007

Albuquerque Control Survey Monument "7-H13"  
New Mexico State Plane coordinates, central zone (NAD 27) as published:  
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X= 373,707.44 feet  
Elevation= 4961.715 feet (SLD 1929)  
Delta Alpha= -00'14" 34"  
Combined ground to grid factor= 0.9996810



EXISTING PLAT BOUNDARIES AND EASEMENTS  
AND EASEMENTS VACATED BY 07DRB-00499 AND 00500.

SHEET 3 OF 4

**SURVOTEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3368 Fax: 505-897-3377