

1005355

SITE DEVELOPMENT PLAN APPROVAL:

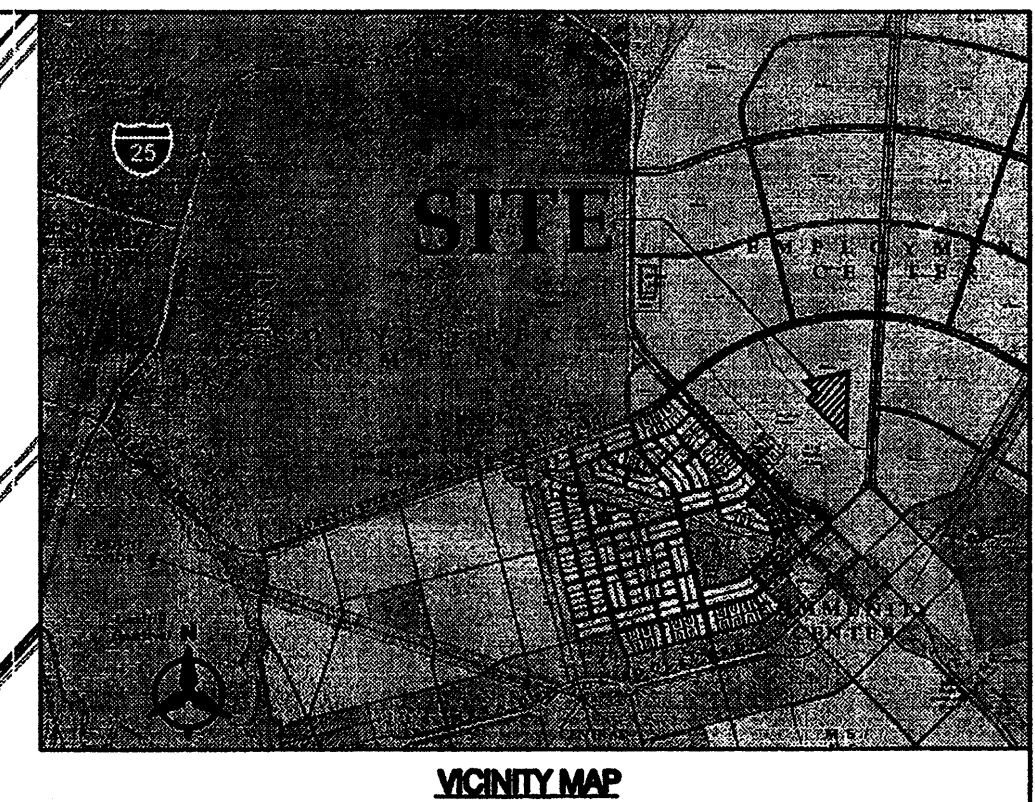
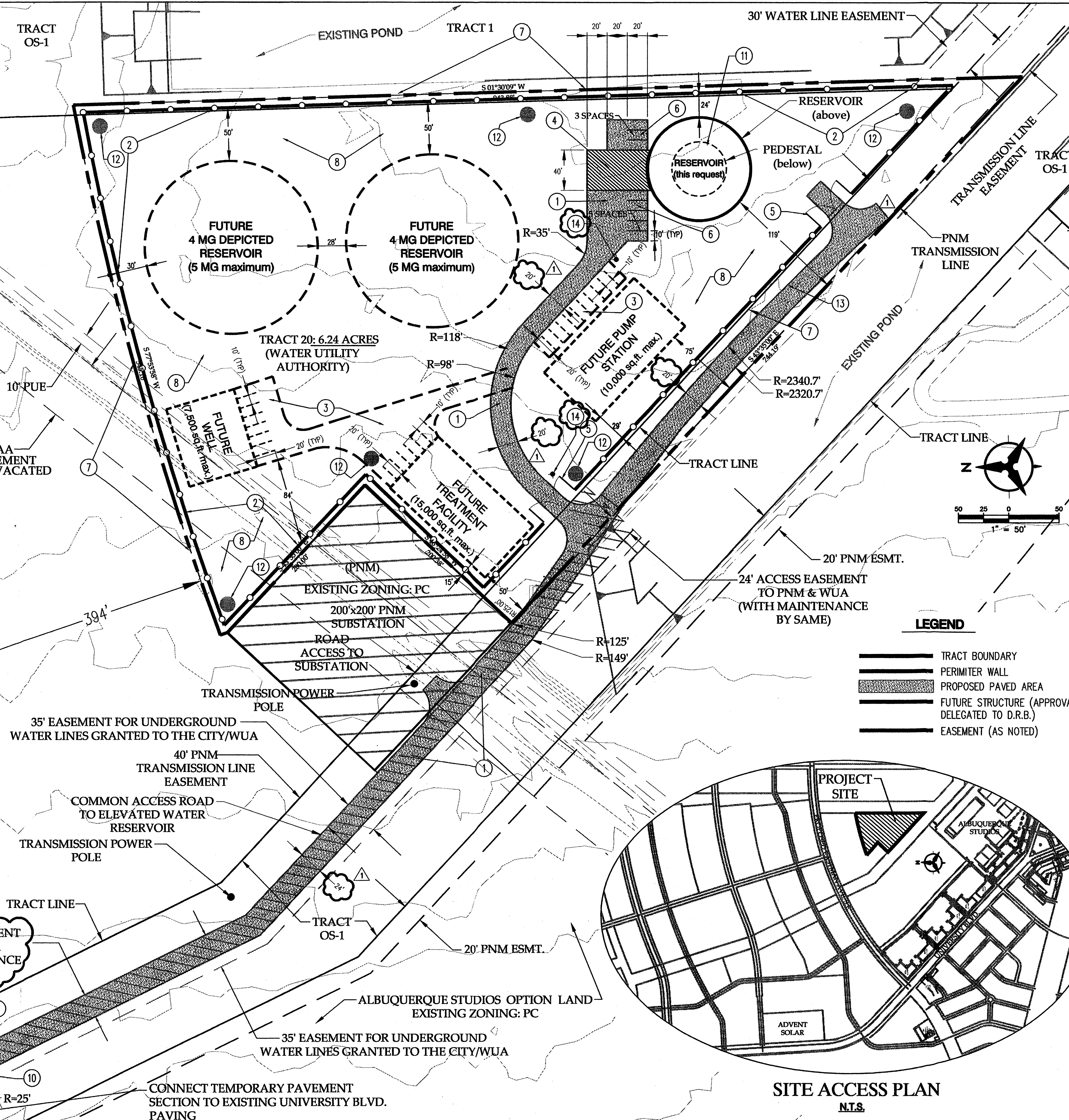
PROJECT NUMBER: 1005355
APPLICATION NUMBER: 07EPC-00110

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED MARCH 16, 2007 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

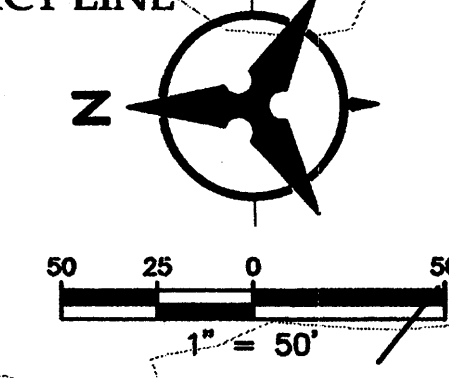
DRB SITE DEVELOPMENT PLAN SIGN OFF APPROVAL:

<i>John D. ...</i>	7-20-07
TRAFFIC ENGINEERING/TRANSPORTATION DIVISION	DATE
<i>Ryan A. ...</i>	7/18/07
WATER UTILITIES DEPARTMENT	DATE
<i>Christina Sandoval</i>	7/18/07
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley B. Bryan</i>	7/18/07
CITY ENGINEER/MAPCA	DATE
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
N/A	
SOLID WASTE MANAGEMENT	DATE
<i>SM ...</i>	9/11/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



- GENERAL NOTES:**
- EXISTING ZONING: PC
 - SITE ACREAGE: 6.24 ACRES
 - PROPOSED USE OF BUILDING: PUBLIC UTILITY STRUCTURE/ELEVATED RESERVOIR WATER UTILITY AUTHORITY (UNMANNED FACILITY).
 - PERIMETER WALL TO BE CONSTRUCTED ON TRACT BOUNDARY LINE OPENINGS FOR SECURITY/OBSERVATION TO BE LOCATED IN ACCORDANCE WITH LANDSCAPING PLAN DETAIL.
 - APPROVAL OF ALL FUTURE SITE DEVELOPMENT IS DELEGATED TO THE DEVELOPMENT REVIEW BOARD (D.R.B.).
 - SEE SHEET 4 OF 5 FOR SITE LIGHTING DESIGN STANDARDS.
 - TRACT 2 CREATED BY BULK LAND VARIANCE PLAT (SEPARATELY) SUBMITTED TO THE D.R.B.
 - SIGNAGE: SEE EXTERIOR ELEVATION SHEET FOR RESERVOIR SIGNAGE AND NOTE OTHER SIGNAGE TO INCLUDE WATER AUTHORITY REQUIRED PERIMETER WALL SIGNAGE RESTRICTED SITE ACCESS, NO TRESPASSING, ETC.
 - STRUCTURE HEIGHT EQUALS 200' MAXIMUM. APPROVAL OF THIS SITE DEVELOPMENT PLAN BY THE EPC ACKNOWLEDGES A DEVIATION FROM HEIGHT RESTRICTIONS SPECIFIED IN MESA DEL SOL "EMPLOYMENT CENTER" AND "LEVEL B" PLANS.

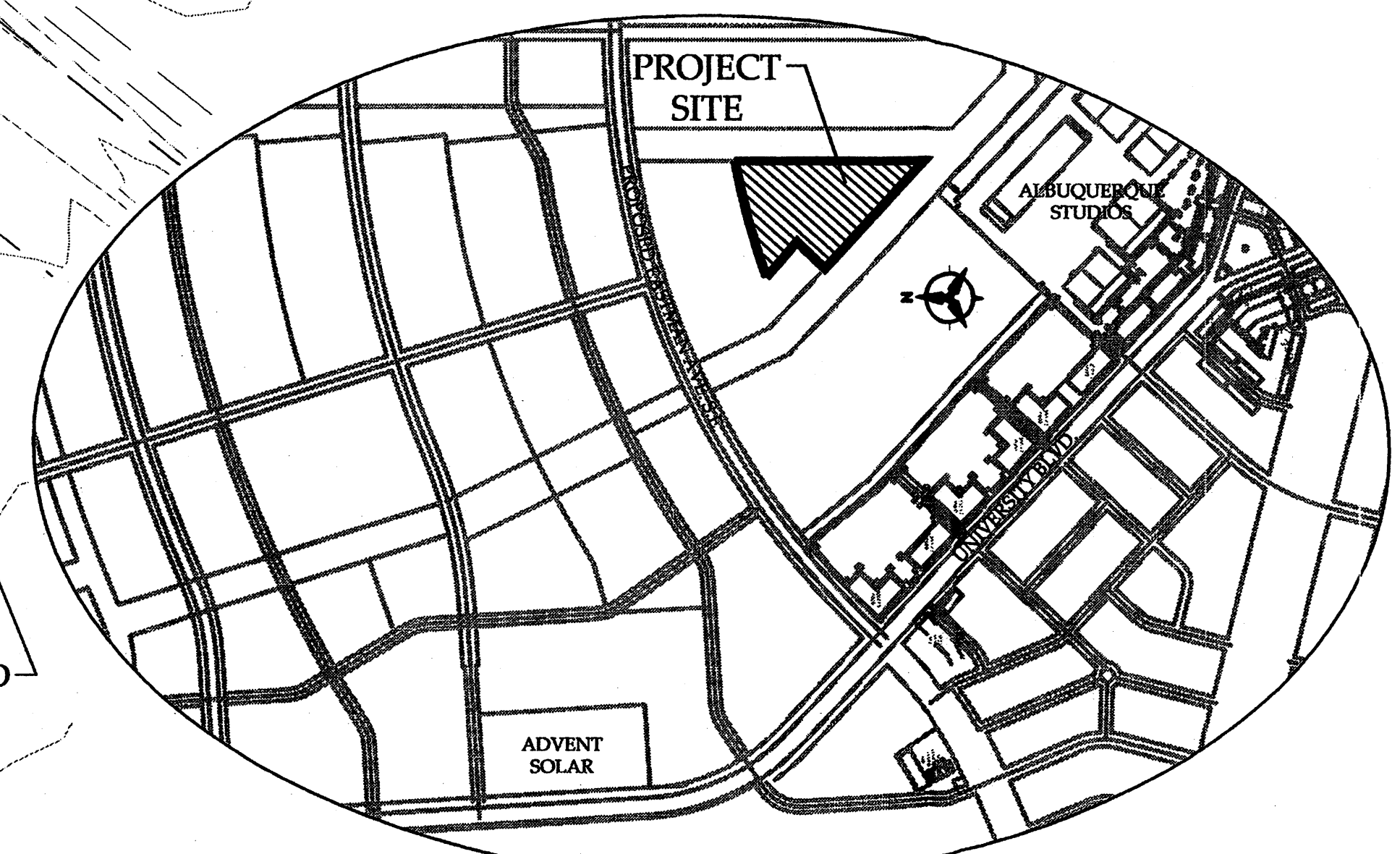
3493-06
AFD PLANS CHECKING OFFICE
824-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
R.C. ... 7-24-07
SIGNATURE & DATE



LEGEND

- TRACT BOUNDARY
- PERIMETER WALL
- PROPOSED PAVED AREA
- FUTURE STRUCTURE (APPROVAL DELEGATED TO D.R.B.)
- EASEMENT (AS NOTED)

- KEYED NOTES:**
- SHADED AREA DEPICTS PAVED ACCESS DRIVE AND SITE PARKING.
 - PERIMETER WALL SEE LANDSCAPE PLAN FOR DETAILS.
 - FUTURE ASPHALT ACCESS DRIVE AND PARKING AREAS SHALL BE CONSTRUCTED UTILIZING PERVIOUS PAVING MATERIALS.
 - 40' WIDE ACCESS AND MANEUVERING SPACE.
 - VEHICULAR ACCESS GATES.
 - PARKING SPACES/PARKING AREAS SHALL BE CONSTRUCTED UTILIZING PERVIOUS PAVING MATERIALS.
 - TRACT BOUNDARY.
 - AREA NOT UTILIZED FOR BUILDINGS, RESERVOIRS, PARKING, OR DRIVE AISLES SHALL BE SEEDED WITH A NATIVE SEED MIX. SEE LANDSCAPE PLAN.
 - TEMPORARY CONSTRUCTION SIGN.
 - STOP SIGN.
 - RESERVOIR 2MG DEPICTED, 3MG MAXIMUM.
 - FUTURE LIGHT POLE LOCATIONS.
 - NEW GRAVEL OR ASPHALT ROAD.
 - PROPOSED FIRE HYDRANT.
- REVISIONS:**
- APRIL 12, 2007
MODIFIED TO ADDRESS E.P.C. CONDITIONS.
 - JULY 5, 2007
ADDED FIRE HYDRANTS PER FIRE MARSHAL REQUIREMENTS.



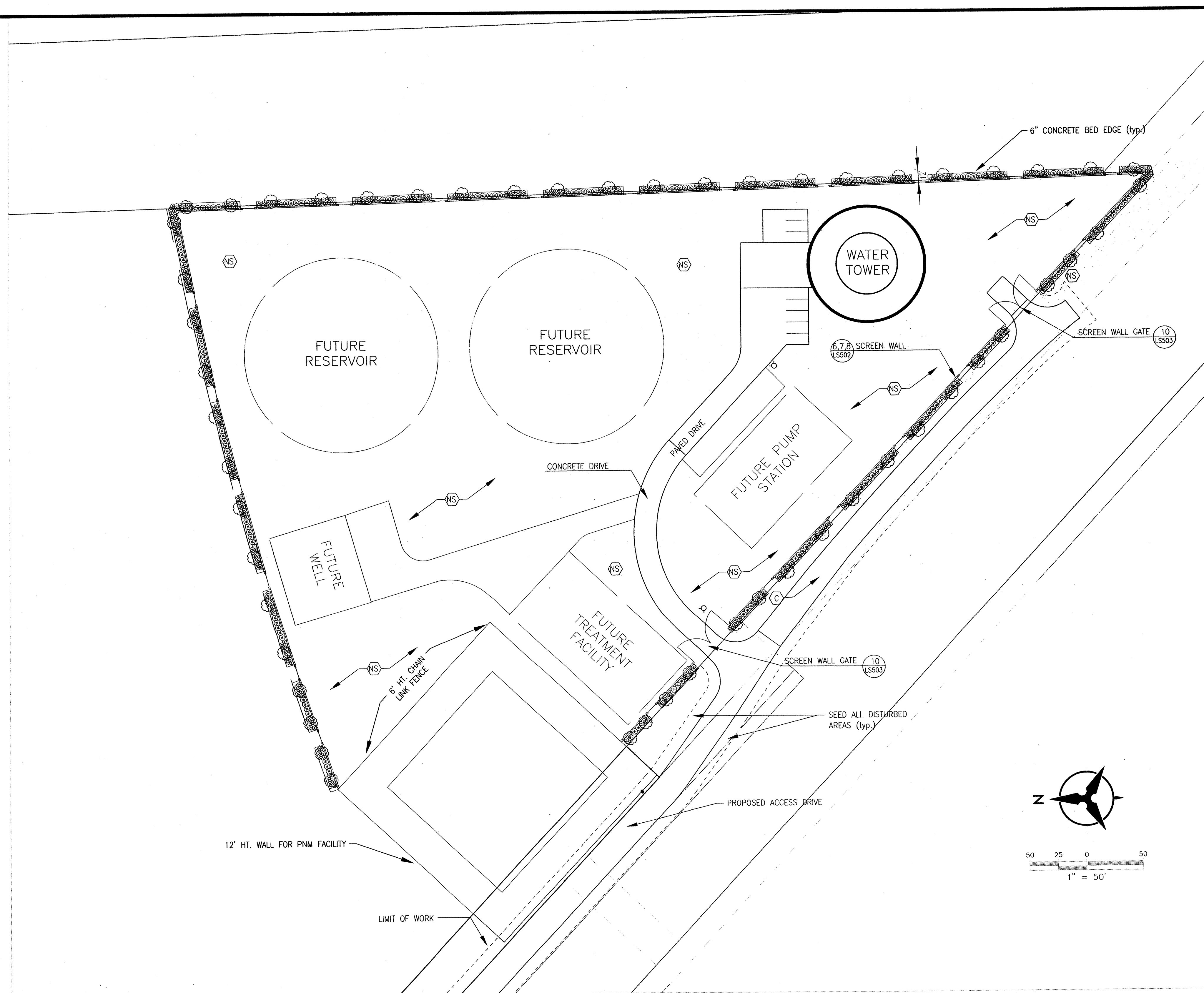
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT ELEVATED WATER RESERVOIR

February 1, 2007



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P:\070204\cdp\design\EPC-SUBMITTAL\Presentation file2-21-07\EPC base Site Plan 0_7_18-07.dwg July 24, 2007 - 3:52pm



GROUND COVER SCHEDULE		
C	6" CONCRETE REMOVE AND RE-COMPACT SUBGRADE	CONCRETE PAVEMENT
CF	4" COMPACTED CRUSHER FINES REMOVE AND RE-COMPACT SUBGRADE	CRUSHER FINE PATH - IN TRACT
NS	SEED MIX AMENDED NATIVE SOIL, TILLED TO 4-6" DEPTH SUBGRADE	NATIVE GRASS SEED MISC.
P	1" HUMUS MULCH 12" COMPACTED SUBGRADE	GROUND COVER PLANTING BEDS
G	3" GRAVEL MULCH WEED CONTROL FABRIC COMPACTED SUBGRADE	PLANTINGS AND PERIMETER BEDS

PLANT SCHEDULE

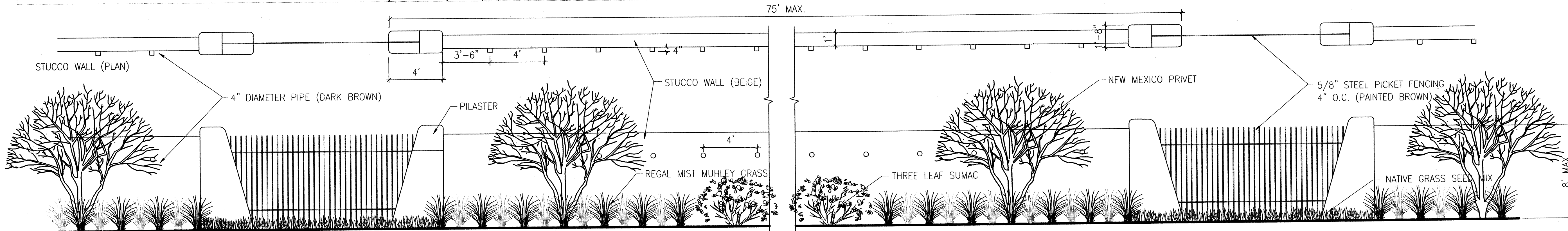
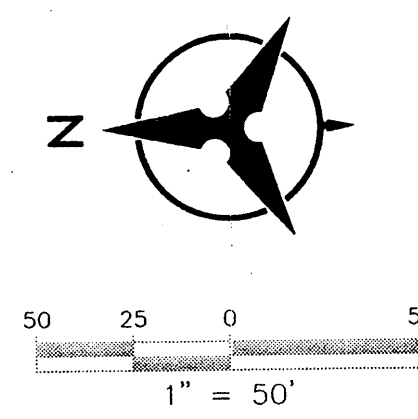
LARGE DECIDUOUS SHRUBS							
Abbr.	No.	Genus	Species	Common Name	Min. Size	Min. Spacing	Notes
FNE	53	Foresteria	neomexicana	New Mexico Olive	15 GAL.	10' O.C.	MULTI-STEM 5-6' HT.

SMALL DECIDUOUS SHRUBS							
Abbr.	No.	Genus	Species	Common Name	Min. Size	Min. Spacing	Notes
MCA	622	Muhlenbergia	capillaris	Regal Mist	1 GAL.	3' O.C.	
RAG	118	Rhus	trilobata	Three Leaf Sumac	5 GAL.	3' O.C.	2-3' HT.

NATIVE GRASS SEED MIX							
Abbr.	No.	Genus	Species	Common Name	Min. Size	Min. Spacing	P.L.S./Acre
OHY		Oryzopsis	hymenoides	Indian Rice Grass 'Paloma'			5.0
HJA		Hilaria	jamesii	Galleta Grass 'Viva'			1.0
BCU		Bouteloua	curtipendula	Side Oats Grama 'Niner'			3.0
BGR		Bouteloua	gracilis	Blue Grama 'Hatchita'			1.0
SCR		Sporobolus	cryptandrus	Sand Dropseed			1.0
ACA		Atriplex	canescens	Fourwing Saltbush			1.0
TOTAL RATE = 12.0 LBS/ACRE							

NOTE:
1. QUANTITIES IN THE SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLANS.

- NOTES:
- SEED MIX = USE THE SANDY SOIL GRASS SEED MIX AS SPECIFIED IN THE ABOVE PLANT SCHEDULE. WILDFLOWERS, IF UTILIZED, SHALL NOT BE DRILL SEEDED.
 - AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED TO ESTABLISH SEEDED NATIVE GRASSES AND SHRUBS.
 - LANDSCAPE MAINTENANCE SHALL BE PROVIDED BY PARCEL OWNER.
 - THIS LANDSCAPE PLAN COMPLIES WITH THE WATER CONSERVATION ORDINANCE AND ARTICLE 6-1-1-1.
 - LANDSCAPED AREA REQUIREMENT: N/A
 - ALL LANDSCAPE AREAS WITH IN THE UTILITY STATION PERIMETER FENCE SHALL BE SEEDED.
 - STUCCO WALL SHALL RECEIVE A GRAFFITI RESISTANT SEALANT.
 - WILDFLOWERS, IF UTILIZED, SHALL NOT BE DRILL SEEDED.



ENLARGED ELEVATION-SCREEN WALL

SCALE: 1/4" = 1'-0"

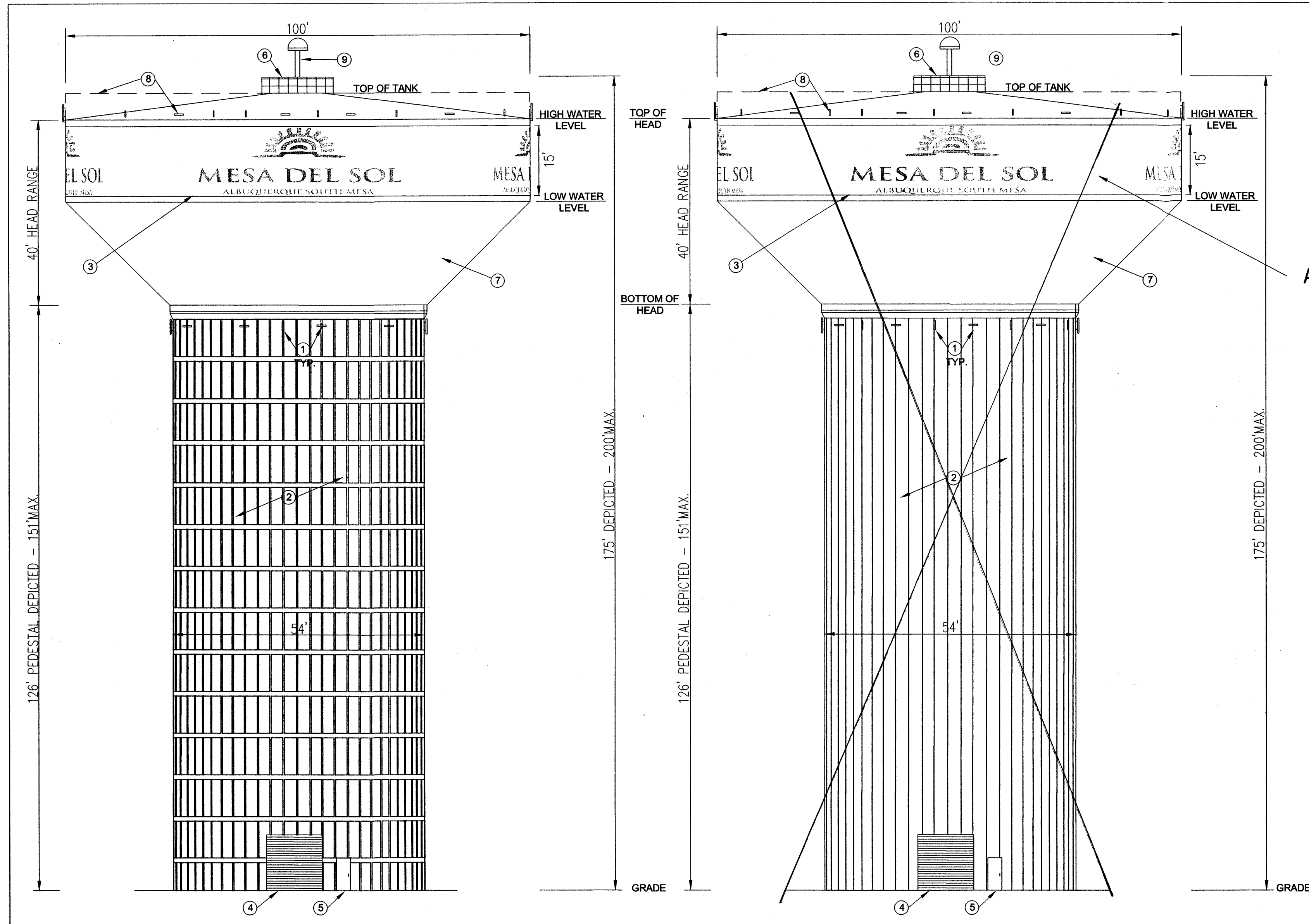
EDAW | AECOM

LANDSCAPE PLAN ELEVATED WATER RESERVOIR

June 27, 2007

Mesa del Sol

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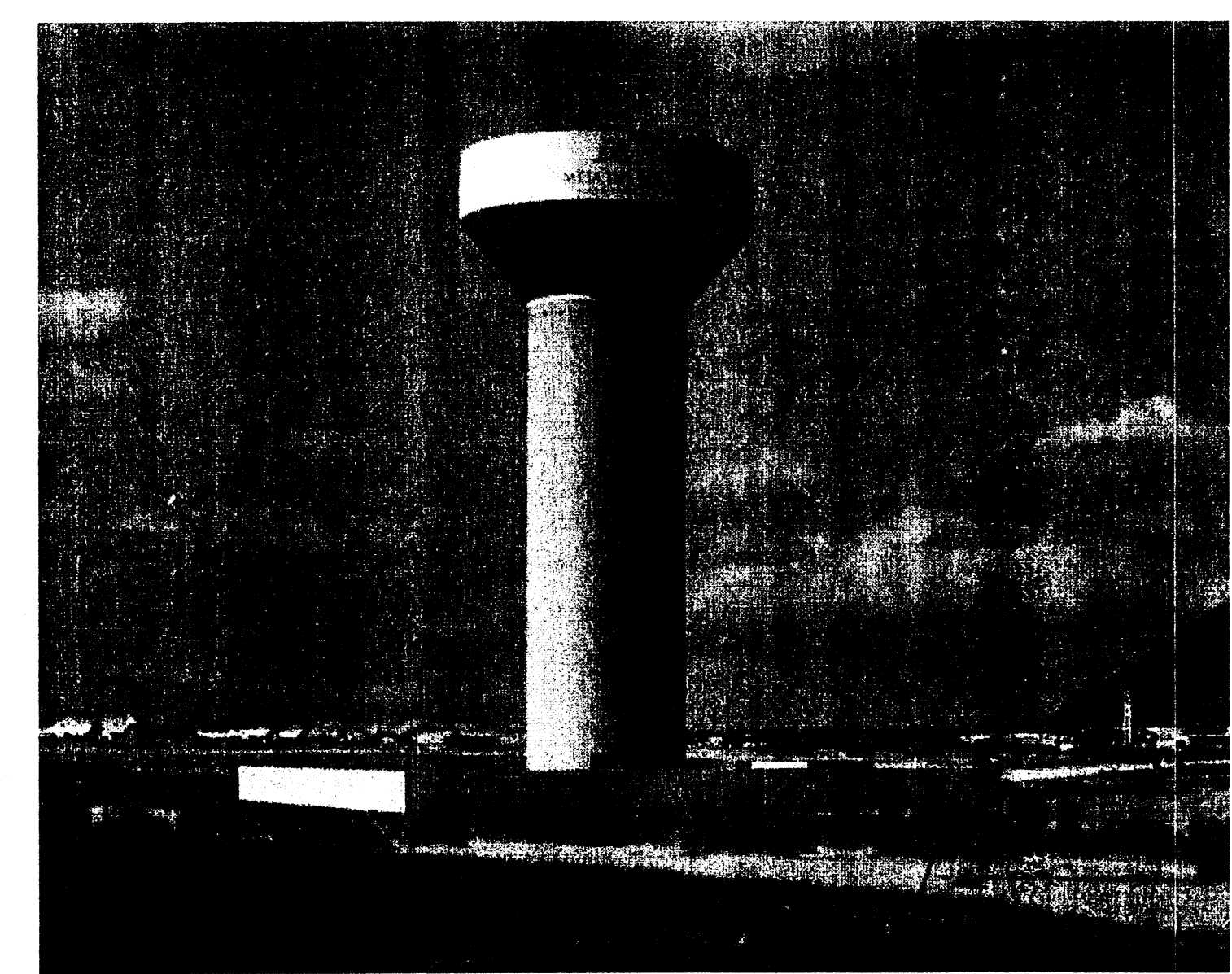


COMPOSITE CONCRETE RESERVOIR

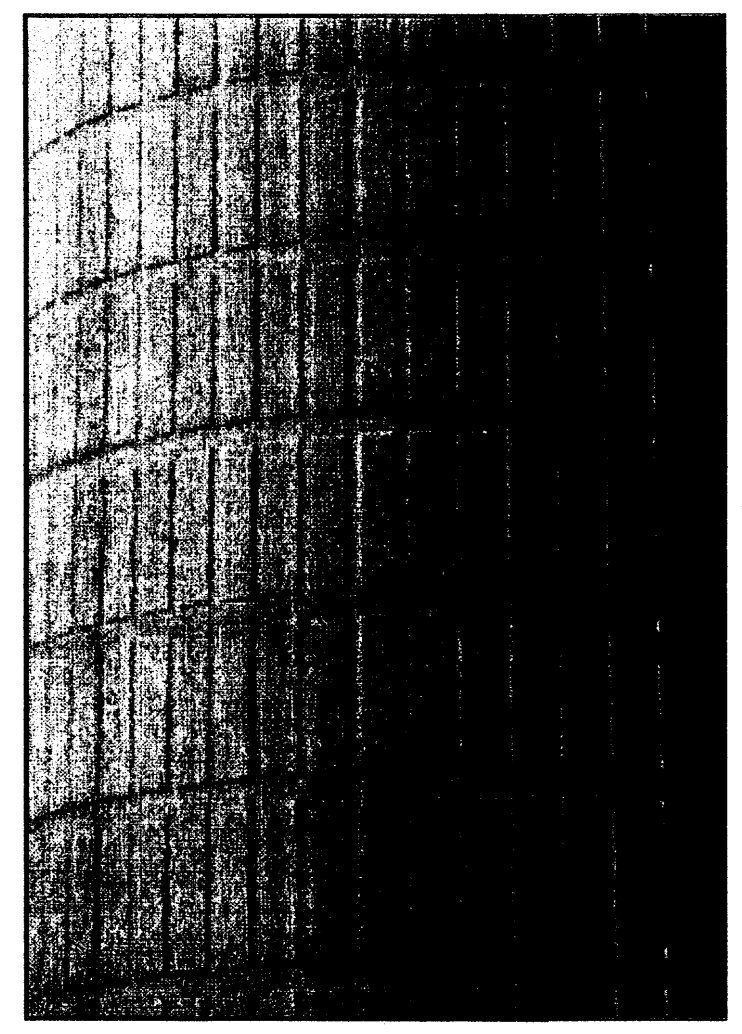
~~HYDROPILLAR STEEL RESERVOIR~~

NORTH ELEVATION
 (ALL ELEVATIONS SIMILAR)
 NOTE: ALL DIMENSIONS ARE APPROXIMATE
 SCALE: 1/16" = 1'

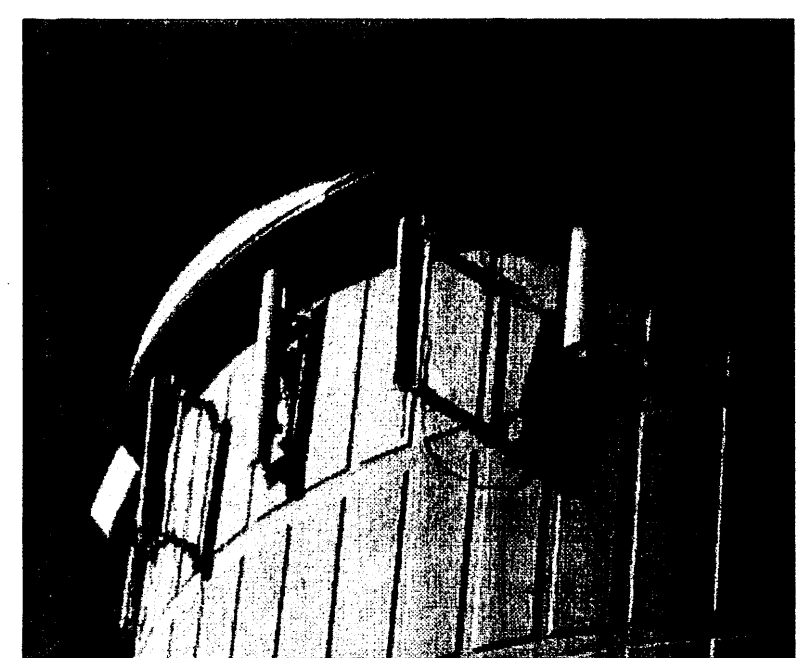
APPROX. 4712 sq.ft. TEXT AREA
 (FULL CIRCUMFERENCE)



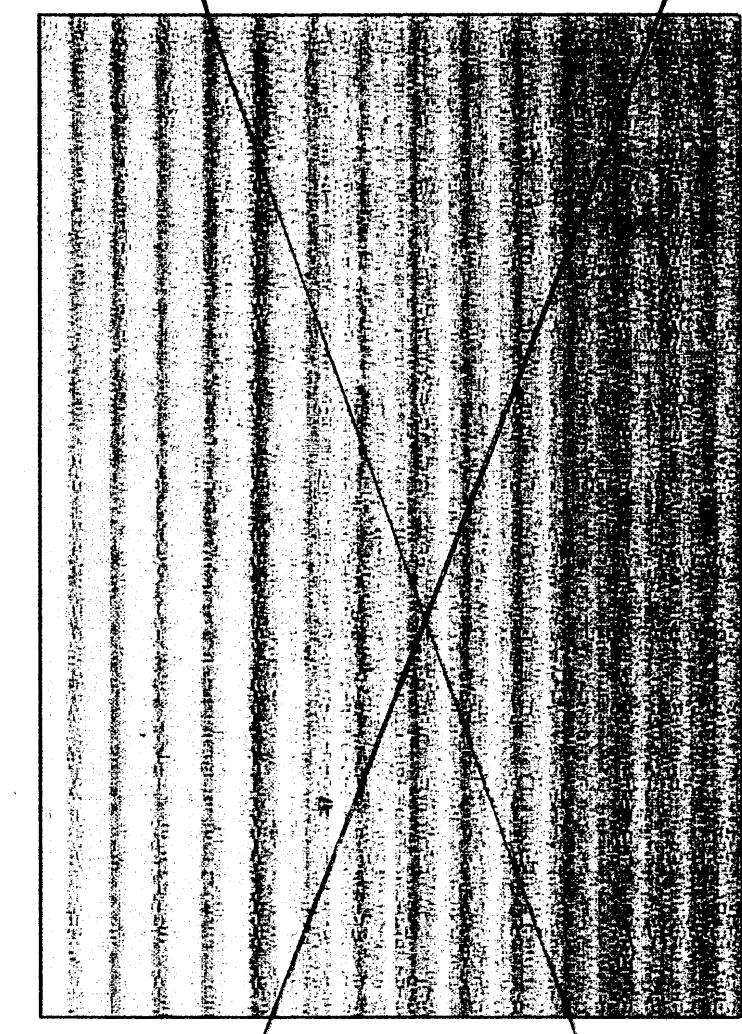
ILLUSTRATIVE RENDERING LOOKING NORTHEAST



TYPICAL DECORATIVE COMPOSITE PEDESTAL CONCRETE PATTERN
 NTS



TYPICAL WIRELESS TELECOMMUNICATIONS ANTENNAS
 (SEE GENERAL NOTE C)
 NTS



TYPICAL DECORATIVE PEDESTAL HYPOPILLAR STEEL PATTERN
 NTS

- GENERAL NOTES:**
- A. EXTERIOR MATERIAL CHOICE WILL BE BASED ON ACTUAL COST COMPARISON AND BEST MATERIAL FOR THIS USE.
 - B. SIGNAGE LIGHTING SHALL BE DOWNWARD DIRECTIONAL LIGHTING. NO BACKLIGHTING IS ALLOWED.
 - C. WIRELESS COMMUNICATION ANTENNA WILL VARY IN SIZE, LOCATION AND QUANTITY DEPENDENT ON PROVIDER(S). ANTENNAE SHALL NOT EXTEND MORE THAN 10' ABOVE THE TOP OF THE RESERVOIR HEAD, AND/OR MORE THAN 20' BELOW THE BOTTOM OF THE RESERVOIR HEAD.
 - D. STRUCTURE HEIGHT EQUALS 200' MAXIMUM. APPROVAL OF THIS SITE DEVELOPMENT PLAN BY THE EPC ACKNOWLEDGES DEVIATION FROM HEIGHT RESTRICTIONS SPECIFIED IN MESA DEL SOL "EMPLOYMENT CENTER" AND "LEVEL B" PLANS.

- KEYED NOTES:**
- ① WIRELESS TELECOMMUNICATION ANTENNAS. CO-LOCATION OF MULTIPLE PROVIDERS PERMITTED. PAINT TO MATCH STRUCTURE. SEE KEYED NOTE 8 AND DESIGN STANDARDS PARAGRAPH 9, SHEET 4 OF 5.
 - ② ~~WIRELESS TELECOMMUNICATION ANTENNAS. CO-LOCATION OF MULTIPLE PROVIDERS PERMITTED. PAINT TO MATCH STRUCTURE. SEE KEYED NOTE 8 AND DESIGN STANDARDS PARAGRAPH 9, SHEET 4 OF 5.~~
 - ③ PAINTED SIGNAGE. EXACT TEXT TO BE DETERMINED WITH FUTURE SUBMITTAL (FULL CIRCUMFERENCE).
 - ④ 12'x12' OVERHEAD VEHICLE DOOR. COLOR TO MATCH PEDESTAL.
 - ⑤ METAL MAN DOOR. COLOR TO MATCH PEDESTAL.
 - ⑥ RAILING. COLOR TO MATCH PEDESTAL.
 - ⑦ RESERVOIR 2MG DEPICTED, 3MG MAXIMUM.
 - ⑧ OPTIONAL LOCATION FOR WIRELESS TELECOMMUNICATION. ATTACH TO ADDITIONAL FACADE (DASHED LINE) ANTENNAE SHALL NOT EXTEND MORE THAN 10' ABOVE THE TOP OF THE RESERVOIR HEAD AND/OR MORE THAN 20' BELOW THE BOTTOM OF THE RESERVOIR HEAD.
 - ⑨ F.A.A. REQUIRED LIGHTED BEACON.

- ILLUSTRATIVE RENDERING NOTES:**
- 1. SIGNAGE DEPICTED IS FOR EXAMPLE ONLY. ACTUAL TEXT TO BE DETERMINED WITH FUTURE SUBMITTAL.
 - 2. SEE GENERAL NOTE B FOR LIGHTING INFORMATION.
 - 3. RENDERING IS NOT TO SCALE.
 - 4. SEE LANDSCAPE PLAN FOR ACTUAL PERIMETER FENCE APPEARANCE.

REVISIONS:
 APRIL 12, 2007
 MODIFIED TO ADDRESS E.P.C. CONDITIONS.

**ELEVATED RESERVOIR
 ELEVATION & RENDERING
 ELEVATED WATER
 RESERVOIR**

February 16, 2007



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 July 17, 2007 - 7:15am

FUTURE STRUCTURE DESIGN STANDARDS

The following design standards are in substantial accordance with the Mesa Del Sol Employment Center - Phase One Site Development Plan for Subdivision, Master Development Plan approved by the Environmental Planning Commission on September 21st, 2006. Deviations are specific to the requirements and characteristics of a Utility facility of this nature.

1. **Use: Public Utility Structure and related facilities.**
2. **Allowable coverage for all structures = .50 maximum.**
3. **Building Setbacks shall be:**
 - a. North Property Line: 10'
 - b. East Property Lines: 10'
 - c. West Property Lines: 15'
4. **Architectural Standards:**
 - a. Buildings shall incorporate one or more of the following elements:
 - i. Shifts in building massing
 - ii. Variation in height (parapet and mechanical equipment screening height acceptable)
 - iii. Variation in roof form or profile
 - b. Long expanses of wall (75' or greater in length) designed at a single height or in a single plane shall be avoided.
 - c. Recessed or projected areas of the façade appropriate for the function of the structure.
 - d. Where windows are utilized, diversify their size and shape relative to the interior function. (Glass shall be transparent)
 - e. Where large building forms are designed, break up the wall surfaces by utilizing different materials, material modules, joints, surface relief, color, or texture.
 - f. Rooftop mechanical equipment shall be screened from view of areas outside of the perimeter wall.
 - g. Building materials shall:
 - i. match the elevated reservoir in color and texture.
 - ii. be durable, economically maintained, and of a quality that will retain their appearance over time.
5. **Lighting Standards:**
 - a. All fixtures shall comply with the New Mexico Night Sky Protection Act, the City of Albuquerque Zoning Code Section 14-16-3-9, Area Lighting Regulations, and the Mesa Del Sol Level B plan, (Technical Appendix). Exceptions include lighting required by the F.A.A. and elevated reservoir signage as discussed in 5b, below.
 - b. All fixtures except those mounted to the elevated and future reservoirs shall not exceed a maximum height of 25' from top to grade. All site lighting shall be uniform in design.
 - c. Security and service area lighting designed to benefit the enclosed site shall be confined within the perimeter walls. No spillover shall occur outside of the perimeter wall from this lighting. Security or service lighting located outside of the perimeter wall shall conform to 5a and 5b above.
 - d. Lighting associated with the elevated reservoir signage shall be downward directional. Backlighting is not allowed.
6. **Landscape Standards:**
 - a. Landscaping will be installed as a part of the Elevated Reservoir project.
 - b. No landscaping shall be required inside the perimeter wall except for native seed-mix re-vegetation of disturbed future development areas. Landscape standards apply to landscaping outside of the perimeter wall.
 - c. Landscaping design shall establish an aesthetic that is considerate of the high desert grassland context.
 - d. Water conservation and a well maintained appearance shall be a part of the landscape requirements.
 - e. All landscaping shall conform to the City's water conservation landscaping and waste water ordinance, pollen ordinance, and City of Albuquerque Zoning Code Section 14-16-3-10 landscaping regulations applicable to non-residential development.
 - f. Xeriscape principles shall be applied to all landscape designs including the use of drought tolerant plant materials, native plant seed mixes, soil amendments, mulches and water harvesting areas where practical.
 - g. All plant materials shall meet minimum standards established by the American Association of Nurserymen, or in the case of native plant materials, shall meet regional standards for nursery stock as established by a consensus of local growers, La Mesilla, and Mesa Del Sol representatives.
 - h. The existing site is a high desert grassland in varying conditions of density and establishment. The site has strong visual connections to near and distant mountains as well as the valley. The landscape design shall feature native and drought tolerant grasses to reinforce the sense of place and reduce demands for soil amendment and irrigation.
 - i. All plant materials shall be maintained by the owner in a living attractive condition.
 - j. Significant plant materials existing on the site may be salvaged for use elsewhere on the site.
 - k. Plants shall be selected from the approved plant palette listed in the Mesa Del Sol level B plan.
 - l. An automatic irrigation system shall be provided as required to establish all plant materials.
7. **Signage:**
 - a. Signage shall be of a simple, clean design and constructed of durable materials which are consistent and compatible with the building architecture.
 - b. Signage installed on the elevated reservoir surface shall be maintained in an attractive condition. Changes to this signage shall be approved by the Planning Director, (or His/Her designee).
 - c. Proposed ground, building, and wall mounted signage plans, temporary and permanent, including details of design materials, lettering, location, mounting size, color and lighting, are to be submitted to the Planning Director or (His/Her designee for approval).
8. **Walls and Fences:**
 - a. A perimeter wall and access gate will be constructed as a part of the Elevated Reservoir project.
 - b. The perimeter wall design shall conform to the City of Albuquerque Zoning Code, Chapter 14-16-3-19 and to the requirements of the Mesa Del Sol Level B plan.
 - c. Permitted wall height shall not exceed 8'-0".
 - d. Chain link fencing shall not be utilized in any location.
 - e. Walls, including the perimeter wall shall be maintained in an attractive condition by the owner.
 - f. Openings in the perimeter wall shall be permitted as necessary for security and aesthetic purposes.
 - g. Design and materials of walls and fences shall be coordinated with the design and materials of buildings on the site.
9. **Wireless Telecommunication**
 - a. Wireless telecommunication antennae will be installed on this facility. It shall be (panel style and) painted to match the color of the structure resulting in concealment to the maximum degree possible. (Maximum permitted antennae length shall be 6').
 - b. Wireless telecommunication antennae shall not extend more than 10' above the top of the reservoir head, and/or more than 20' below the bottom of the reservoir head.

Revisions:

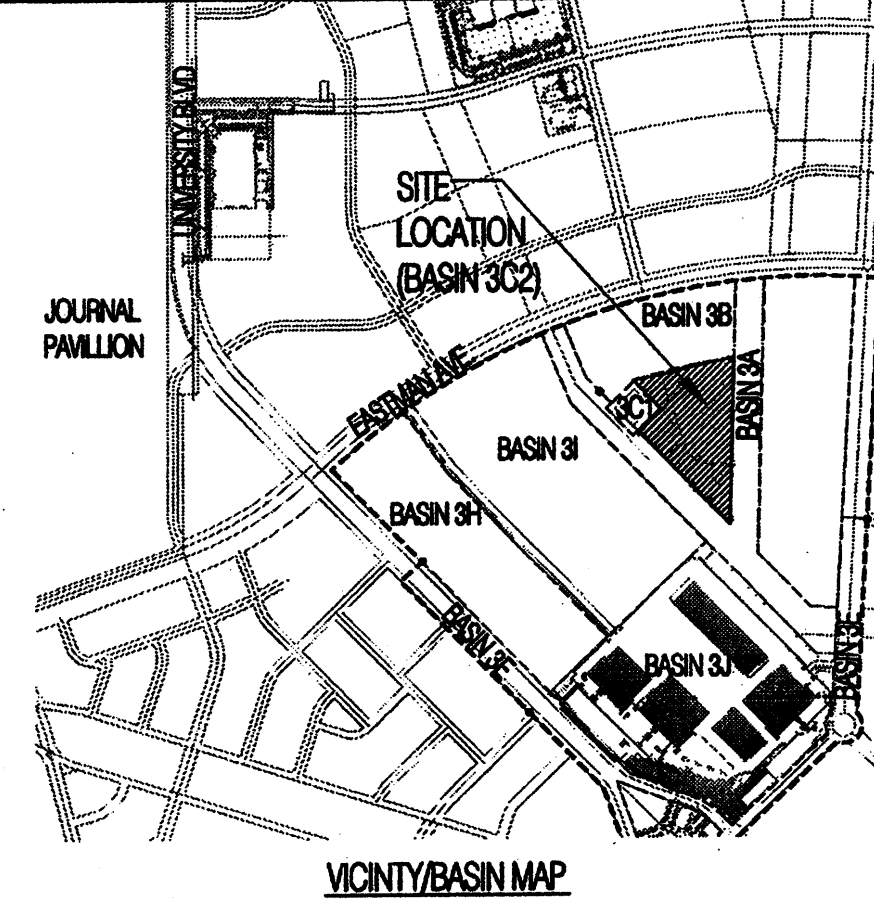
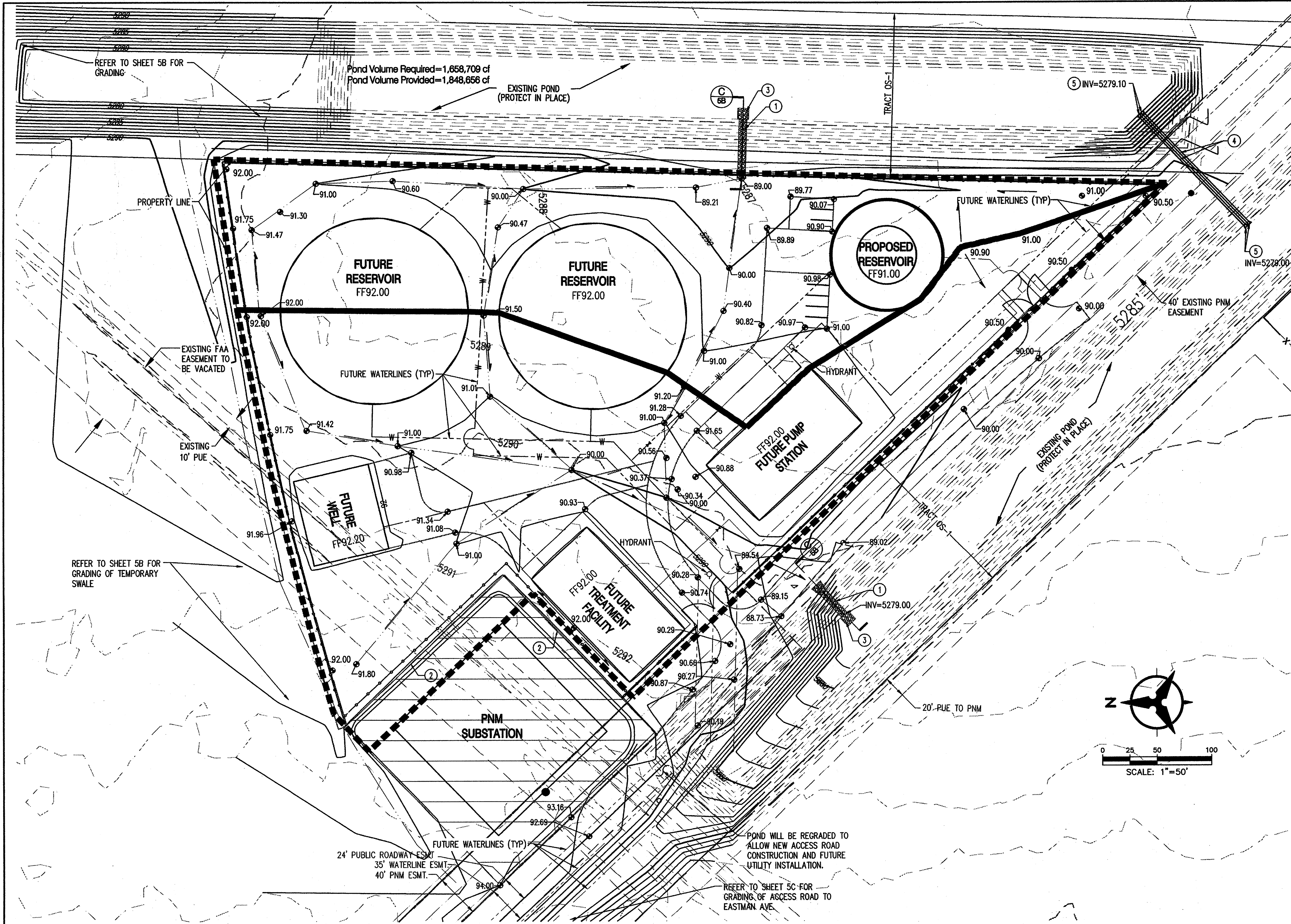
- 1 April 12, 2007
Modified to address E.P.C. conditions

FUTURE STRUCTURE DESIGN STANDARDS ELEVATED WATER RESERVOIR

February 1, 2007

Bohannon **Huston**

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Existing Conditions
 The elevated reservoir site ("The Site") is located on approximately 6.24 acre lot, which currently is undeveloped and slopes 0.5% to 1.0% from the west to east. It is located in between the two Regional Retention Ponds ("Ponds") constructed with the Albuquerque Studios Site (COA Hydro File #R16/0002A).
 In addition, a PNM substation has been constructed to the northwest of the Site. The majority of this site is self contained and will not adversely affect the elevated reservoir site (See COA Hydro File #R16/0002B).
 Once the Site is completed, it will be bound on three sides. The Ponds to the east and southwest and a future developed parcel to the north.

Offsite Drainage
 Current drainage from the undeveloped land to the west of the site drains into the existing pond constructed with the Albuquerque Studios site via storm drain and surface flow. A temporary swale west of the access road will direct flows to the existing pond. All drainage to the east of these adjacent tracts continues to outfall to the existing plays system to the east and will not affect the site. Drainage from the north will be diverted east into the existing ponds via a temporary swale. Upon development of the future parcels, drainage will be conveyed to the existing ponds in a manner suitable to each specific site plan, and each site will be subject to future submittal and approval.

Proposed Site Grading
 The slope of the site under proposed conditions will be between 0.5% to 1.0%. A portion of the site will drain to the eastern pond while the remainder of the site will drain to the southwestern pond (See drainage basin boundaries).

All drainage will be diverted into a rip-rap runoff to prevent erosion. The ponds have previously been constructed to account for developed flows from this site with the Albuquerque Studios submittal. Currently there are only a few basins contributing to the existing ponds. Under current conditions for these basins (including the developed flows from the Site), the maximum water surface elevation (MWSEL) is approximately 5294.60.

(Note: the ponds were sized to accept the 100 year, 10 day storm generated by the fully developed drainage area in accordance with the methodology outlined in the DFM section 22.2. Developed land treatments for Mesa del Sol sites are assumed to be 90% treatment D and 10% treatment B. Currently the top of the ponds extend to 5289.00).

A portion of the existing western pond constructed with the Albuquerque Studios site will be filled in order to allow room for an access road and future utilities to serve both the Elevated Reservoir site and the Mesa del Sol development. The pond to the east will be extended to the north to account for this volume. (Total pond volume provided after pond adjustments = 42.4 acre-ft, Total volume required for current contributing basins to the existing ponds = 18.9 acre-ft - see Table 1).

Floodplain
 In accordance with FEMA Community Map Panel #35001C0555E, the site is not located within a floodplain.

Conclusion
 This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan demonstrates the proposed grading and drainage design. The implementation of this design would result in the safe passage and retention of the 100 yr, 10 day storm event. With this submittal we request COA Hydrology Department approval for DRB Site Plan approval, foundation permit approval and rough grading approval.

- KEYED NOTES**
- INSTALL RIP RAP WEIR AND RUNDOWN PER DETAIL A & B, SHEET 5B. TRANSITION FROM WEIR SECTION TO RUNDOWN SECTION OVER 10'.
 - INSTALL TURN BLOCKS FOR DRAINAGE EVERY 20 FT.O.C.
 - INSTALL 10'X10' RIP RAP BLANKET.
 - INSTALL 2'-36" RCP STORM DRAIN PIPES.
 - INSTALL 36" RCP END SECTION.

ROUGH GRADING (±0.5')
 APPROVED FOR ROUGH GRADING DATE

- GENERAL NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY GEO-TEST, INC. DATED 1/07 (JOB NO. 1-61202).
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
 - BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 - ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE.

**TABLE 1
 ELEVATED RESERVOIR - DEVELOPED HYDRAULIC CALCULATIONS**

Basin Data Table

This table is based on the DFM Section 22.2, Zone 3

SUB-BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/acre)	Q(100) (cfs)	WTE (inches)	V(100) (CF)	V(100) (CF)	V(100) (Acre-FT)
			A	B	C	D						
Basin 3A (Open Space/Regional Retention Ponds)	631834	12.21	0.0%	50.0%	50.0%	0.0%	3.33	40.60	1.27	66286	66286	1.29
Basin 3B*	337468	7.75	80.0%	50.0%	0.0%	0.0%	1.92	14.87	0.66	18420	18420	0.42
Basin 3C1 (PNM Substation)	39640	0.91	0.0%	10.0%	0.0%	0.0%	4.46	4.06	1.99	6580	11317	0.26
Basin 3C2 (Elevated Reservoir)	271614	6.24	0.0%	10.0%	0.0%	90.0%	4.46	27.82	1.99	44985	77603	1.78
Basin 3E (University Blvd and Hawking Dr)	735836	16.89	0.0%	10.0%	0.0%	90.0%	4.46	75.31	1.99	121791	210081	4.82
Basin 3H*	689417	15.83	50.0%	50.0%	0.0%	0.0%	1.92	30.39	0.66	37631	37631	0.66
Basin 3I*	1111881	25.53	50.0%	50.0%	0.0%	0.0%	1.92	49.01	0.66	60690	60690	1.39
Basin 3J (Albuquerque Studios)	1231689	28.28	0.0%	10.0%	0.0%	90.0%	4.46	126.05	1.99	203944	351647	8.07
Total	4080276.80	93.67						475491.81		823675.14	18.91	

* UNDEVELOPED CONDITIONS AT THIS TIME

- LEGEND**
- 91.62 PROPOSED SPOT ELEVATIONS
 - ✕ 92.46 EXISTING SPOT ELEVATIONS
 - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - W PROPOSED TANK WATER LINE
 - DRAINAGE BASIN BOUNDARIES
 - PROPOSED WALL
 - PROPOSED SLOPE

P:\070204\cdd\general\DRB070204GPO2.dwg
 Tue, 24-Jul-2007 8:27:am, Plotted by: MBALASKOVITS

BHI JOB NO. 070204

Bohannon & Huston
 Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87110-6336
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT**

**MESA DEL SOL
 ELEVATED WATER RESERVOIR
 SITE GRADING, DRAINAGE, AND UTILITY PLAN**

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

MO./DAY/YR. MO./DAY/YR.

GITY PROJECT NO. **DRB** ZONE MAP NO. **R-16-Z** SHEET **5A** OF **5**

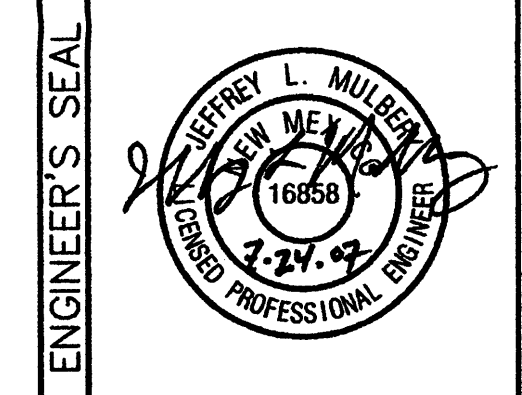
DESIGNED BY: CBP DATE: 01/2007
 DRAWN BY: MTD DATE: 01/2007
 CHECKED BY: DUG DATE: 01/2007

AS-BUILT INFORMATION

CONTRACTOR	DATE
WORKS STAMPED BY	DATE
GROUND STAMPED BY	DATE
FIELD ACCEPTANCE BY	DATE
FIELD DRAWINGS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	DATE

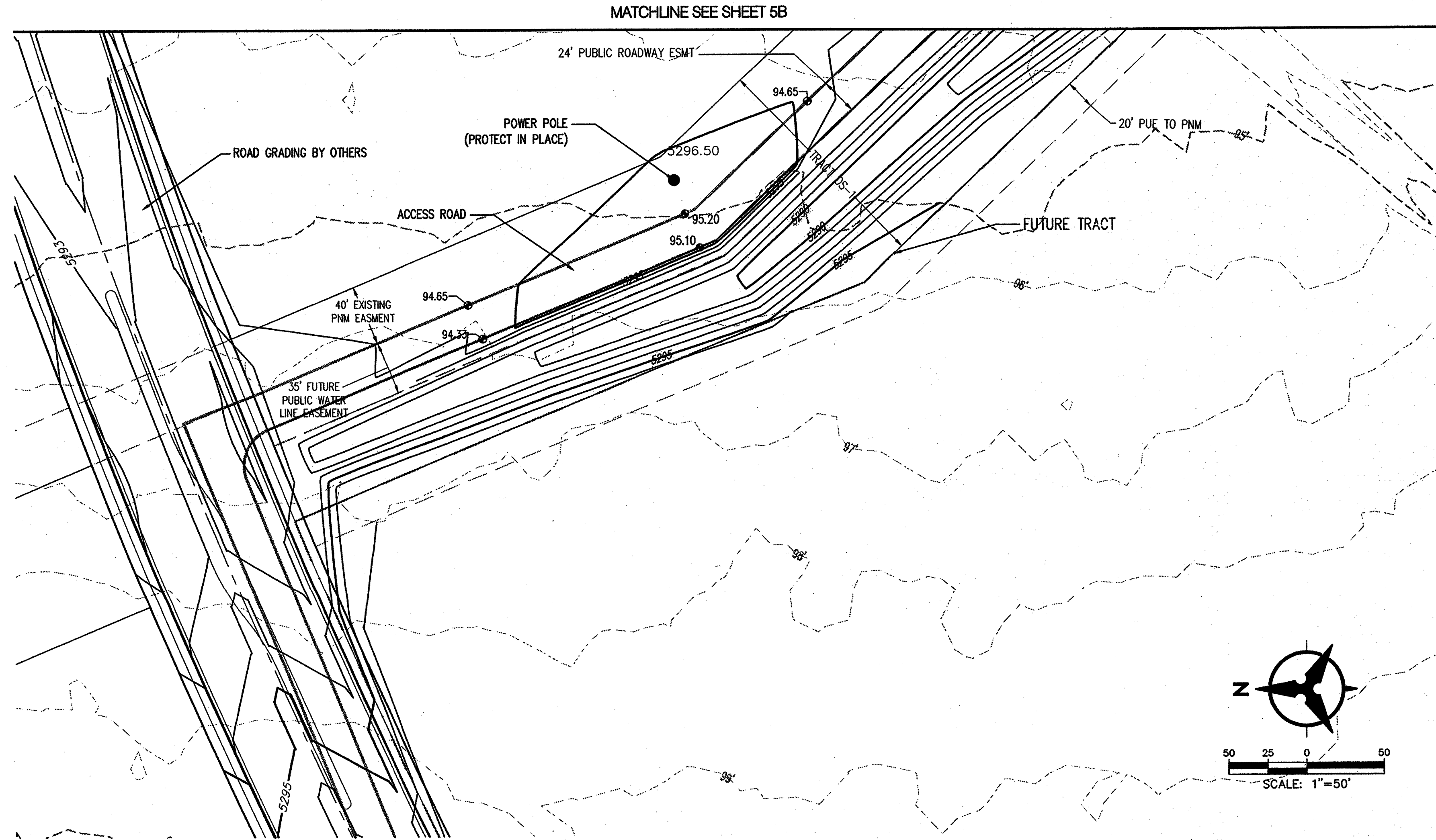
BENCH MARKS

ACS 3-1/4" ALUMINUM CAP RETIRED TO A TUBE SET IN A CONCRETE BASE IN THE GROUND STAMPED "5-Q-14, 1987"	DATE
FROM THE RIO BRAVO BLVD. AND BROADWAY INTERSECTION GO SOUTH 0.9 MILES AND PROCEED 123' WEST OF THE CENTERLINE.	DATE
STATE PLANE COORDINATES (CENTRAL ZONE, NAD83/NAD80) N=1460471.432, E=1521365.180 (GROUND) ELEV.=4891.17	DATE



ENGINEER'S SEAL

NO.	DATE
BY	REMARKS
BY	REVISIONS
BY	DESIGN



LEGEND

—	PROPERTY LINE
- - - 52.89 - - -	EXISTING CONTOUR
- - - 90 - - -	PROPOSED INDEX CONTOUR
- - - 91 - - -	PROPOSED INTERMEDIATE CONTOUR
● 92.50	PROPOSED SPOT ELEVATION
—▶—	PROPOSED SWALE FLOWLINE

Bohannon & Huston
 Courtyard I 7600 Jefferson St. NE Albuquerque, NM 87109-4396
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
MESA DEL SOL ELEVATED RESERVOIR
CONCEPTUAL OFFSITE GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO./DAY/YR	NO./DAY/YR
LAST DESIGN UPDATE			

CITY PROJECT NO. **DRB** ZONE MAP NO. **R-16-Z** SHEET **5C** OF **5**

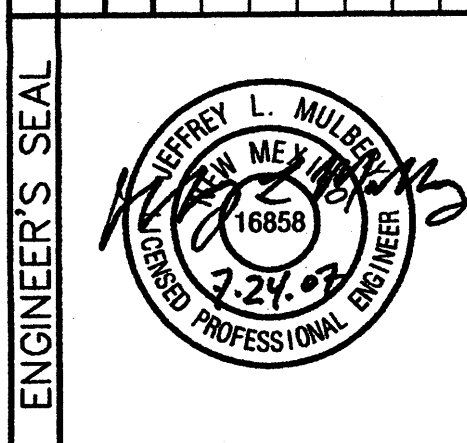
AS-BUILT INFORMATION

CONTRACTOR	DATE
INSPECTED BY	DATE
ACCEPTANCE BY	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
RECORDED BY	DATE

BENCH MARKS
 ACS 3-1/4" ALUMINUM CAP REVETED TO A TUBE SET IN A CONCRETE BASE IN THE GROUND STAMPED "5-Q-14, 1987", FROM THE RIO BRAVO BLVD. AND BROADWAY INTERSECTION GO SOUTH 0.9 MILES AND PROCEED 123' WEST OF THE CENTERLINE. STATE PLANE COORDINATES (CENTRAL ZONE, NAD83/NAVDS8) N=1460471.432, E=1921388.180 (GROUND) ELEV.=4981.17

SURVEY INFORMATION

FIELD NOTES	BY	DATE



NO.	DATE	BY	REMARKS
			DESIGN