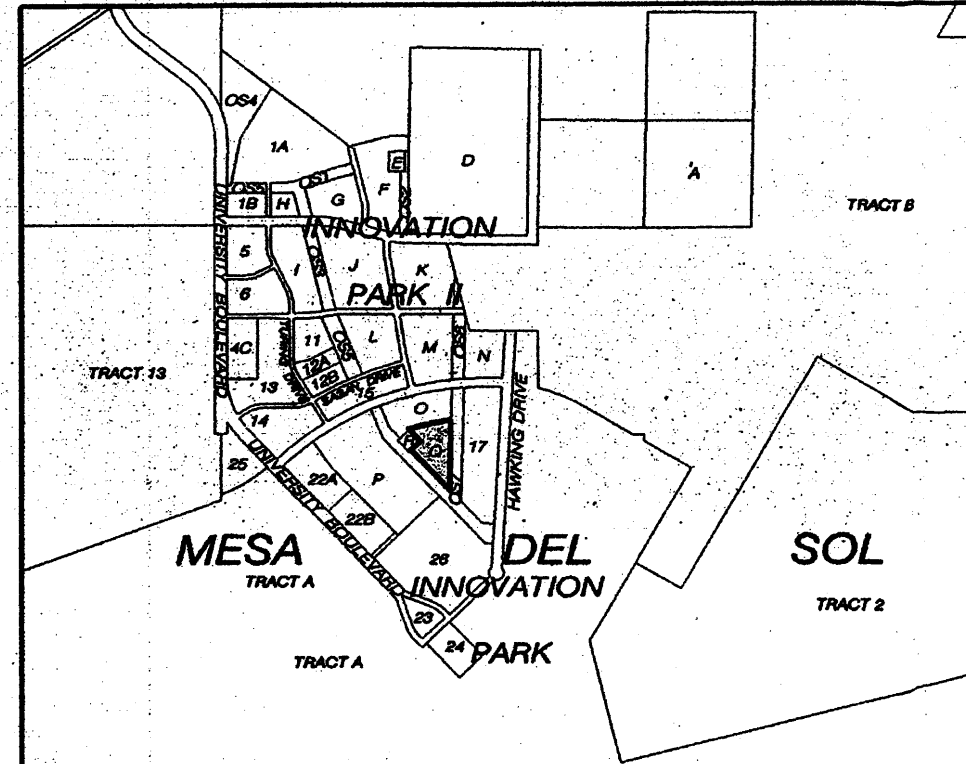


SP-2008520696



LOCATION MAP
ZONE ATLAS INDEX MAP No. R-16
NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index No. R-16.
3. Zoning: PC.
4. Gross Subdivision Acreage: 6.2353 Acres.
5. Total number of tracts created: Three (3) Tracts.
6. No public street right-of-way is created.
7. Date of Survey: August, 2008.
8. Plat is located within Section 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide Tract Q of the Plat of Mesa Del Sol Innovation Park II, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615 into three (3) tracts and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. TW Telecom, Inc. for the installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services and cable TV services including but not limited to above ground pedestals and closures.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land situated within Section 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract Q of the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615.

Tract contains 6.2353 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situated within 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract Q of the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) affirm that the property described does lie within the platting jurisdiction of the City of Albuquerque and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

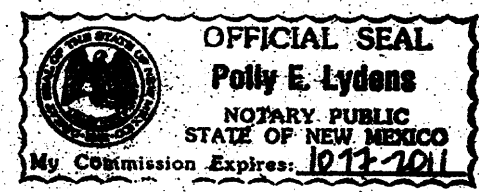
MESA DEL SOL, LLC, a New Mexico Limited Liability Company
By: FC Covington Manager, LLC, a New Mexico Limited Liability Company, Member
By: Forest City NM, LLC, a New Mexico Limited Liability Company, Member
By: Forest City Commercial Group, Inc., an Ohio Corporation, Member

By: *Henry Reikin*
Henry Reikin, Vice President
Forest City Commercial Group, Inc.

State of New Mexico)
) SS
County of Bernalillo)

This instrument was acknowledged before me on the 27 day of January, 2009, by Henry Reikin, Vice President of Forest City Commercial Group, Inc., an Ohio Corporation, as Member of Forest City NM, LLC, a New Mexico Limited Liability Company, as Member of FC Covington Manager, LLC, a New Mexico Limited Liability Company, as Member of Mesa Del Sol, LLC, a New Mexico Limited Liability Company.

My Commission Expires: 10/17/2011 *Polly E. Lydens*
Notary Public



NOTES

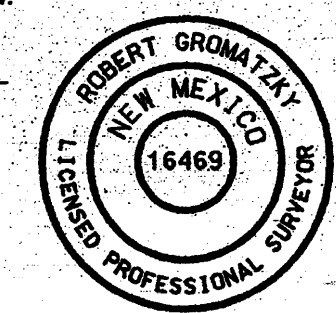
1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983 and the basis of bearings is the Bulk land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico, filed on August 7, 2008 in Book 2008C, page 175 as Document No. 2008189615.
2. Record Bearings and distances are the same as shown on this plat and the same as shown on the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico, filed on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615.
3. Basis of Bearings is between City of Albuquerque Control Stations "1-R16 and "3-Q16". Bearing = N12°15'08"E.
4. Distances are ground distances.
5. All easements are as shown on the Plat of record or made known to me by the owner, utility companies, or other interested parties.
6. All interior tract corners are monumented by a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469".
7. Pursuant to section 14-14-4-7 of the City of Albuquerque Code of Ordinances. "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirements shall be a condition to approval of this plat."

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: January 27, 2009



PLAT OF
TRACTS Q-1, Q-2 & Q-3
MESA DEL SOL
INNOVATION PARK II

(A REPLAT OF TRACT Q
MESA DEL SOL INNOVATION PARK II)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009

PROJECT NUMBER: 1005355

APPLICATION NUMBER: 08 DRB-7 0003

PLAT APPROVAL

UTILITY APPROVALS:	DATE
QWEST TELECOMMUNICATIONS	2/16/09
COMCAST CABLE	2-17-09
PNM ELECTRIC SERVICES	2-17-09
PNM GAS COMPANY	3/13/2009
TW TELECOM, INC.	2/26/2009

CITY APPROVALS:
CITY SURVEYOR: *Robert Gromatzky* 1-27-09

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION: *Robert Gromatzky* 02-04-09

ALBUQUERQUE, BERNALILLO COUNTY WATER UTILITY AUTHORITY: *Christina Sandoval* 2/4/09

PARKS & RECREATION DEPARTMENT: *Bradley D. Bigham* 2/4/09

A.M.A.F.C.A.: *Ante C. Chene* 2-4-09

CITY ENGINEER: *Paul Chad* 3-17-09

DRB CHAIRPERSON, PLANNING DEPARTMENT: N/A

REAL PROPERTY DIVISION: N/A

DOCH 2009028207
03/17/2009 03:34 PM Page: 1 of 2
PLAT R: \$12.00 B: 2008C P: 0003 Toulous Oliveira, Bernalillo Cou.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
101605125834140204

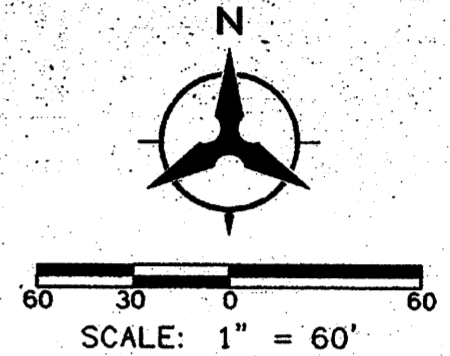
PROPERTY OWNER OF RECORD: MESA Del Sol LLC
BERNALILLO COUNTY TREASURER'S OFFICE: *Don Chawin* 3-17-09

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

PLAT OF
TRACTS Q-1, Q-2 & Q-3
MESA DEL SOL
INNOVATION PARK II

(A REPLAT OF TRACT Q
MESA DEL SOL INNOVATION PARK II)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009



NOTES

- Tracts Q-1, Q-2 and Q-3 are subject to a cross lot drainage easement for the benefit of all tracts and maintained by all tracts to be granted with the filing of this Plat.
- Access from Eastman Avenue to Tracts Q-1, Q-2 and Q-3 is granted by the existing Private Access Easement to ABCWUA and PNM filed September 13, 2007 in Book 2007C, page 259 and a Private Access Easement granted to Tract Q filed February 23, 2009 as Document # 2009018368, as shown by the hatched area on this plat.
- The purpose of this plat is to create Tract Q-1 for immediate conveyance to the Mesa Del Sol Tax Incremental Development District 1 (the "TIDD") and then to the Albuquerque Bernalillo County Water Utility Authority (the "Authority"), to create Tract Q-2 for future conveyance to the Authority, as provided herein, and to create Tract Q-3 to reconfigure Tract Q-3 with other parcels at a future date. Tract Q-1 shall be immediately conveyed upon recording of this Plat. Tract Q-2 shall be conveyed to the TIDD then to the Authority at such time as the Authority gives written notice to Mesa Del Sol, LLC, that it is needed for Authority purposes in accordance with the approved site development plan for Tract Q.

Curve Data					
ID	DELTA	TANGENT	ARC	RADIUS	CHORD BRG
C1	09° 11' 35"	268.85'	536.54'	3343.97'	535.97' N77° 48' 18"E
C2	03° 21' 48"	98.18'	196.30'	3343.97'	196.27' N74° 53' 24"E
C3	05° 49' 47"	170.27'	340.24'	3343.97'	340.10' N79° 29' 12"E

Tangent Data		
ID	BEARING	DISTANCE
T1	N16° 47' 30" W	6.76'
T2	N83° 30' 15" W	47.95'
T3	S43° 35' 00" E	23.00'
T4	S46° 25' 00" W	46.67'
T5	N45° 00' 02" W	13.96'
T6	S01° 30' 09" W	34.16'
T7	N88° 29' 51" W	16.55'
T8	S34° 25' 37" W	36.35'
T9	N43° 57' 36" W	29.00'
T10	N46° 02' 24" E	16.00'
T11	S43° 57' 36" E	27.00'
T12	N46° 02' 24" E	4.00'
T13	S43° 57' 36" E	13.29'
T14	S83° 30' 15" E	32.52'
T15	N45° 00' 00" E	8.61'
T16	S45° 00' 02" E	24.50'
T17	S45° 00' 00" W	13.00'

DOC# 2009028207

09/17/2009 09:34 PM Page: 2 of 2
PLAT R: \$12.00 B: 2009C P: 0040 R. Touliou Oliveira, Bernalillo Cou



Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 2 OF 2

ACS BRASS TABLE STAMPED "3-016"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 1,533,488.782 Y = 1,457,045.084
GROUND TO GRID FACTOR = 0.999663002
DELTA ALPHA = -00°12'17.33"
NAVD 1988 ELEVATION = 5310.390

TRACT O
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)

TRACT O IS SUBJECT TO AN
EASEMENT ENCROACHMENT
AGREEMENT WITH PNM
FILED: JANUARY 23, 2009
DOCUMENT #2009006867

ACS BRASS TABLE STAMPED "1-R16, 1980"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 1,532,715.669 Y = 1,453,438.899
GROUND TO GRID FACTOR = 0.999664099
DELTA ALPHA = -00°12'22.46"
NAVD 1988 ELEVATION = 5291.451

EXISTING 30' PUBLIC WATER &
SANITARY SEWER EASEMENT
GRANTED TO ABCWUA
FILED: MAY 22, 2008
DOCUMENT NO. 2008057385

PRIVATE DRAINAGE EASEMENT
GRANTED TO AND MAINTAINED
BY TRACT Q-1 WITH THE
FILING OF THIS PLAT

TRACT Q-1
1.1546 Acres
(SEE NOTES 1, 2 & 3 THIS SHEET)

TRACT R
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)

TRACT R IS SUBJECT TO AN
EXISTING PNM EASEMENT
FILED: JANUARY 30, 2007
(BK A131, PG 5821)

PUBLIC UTILITY
EASEMENT GRANTED TO
PNM WITH THE
FILING OF THIS PLAT

TRACT Q-2
4.7853 Acres
(SEE NOTES 1, 2 & 3 THIS SHEET)

TRACT Q

TRACT OS-7 IS SUBJECT TO AN
EASEMENT ENCROACHMENT
AGREEMENT WITH PNM
FILED: JANUARY 23, 2009
DOCUMENT #2009006867

TRACT OS-7
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)

TRACT OS-7 IS SUBJECT TO AN EXISTING
PUBLIC PEDESTRIAN ACCESS EASEMENT
AND PUBLIC DRAINAGE EASEMENT
FILED: SEPTEMBER 13, 2007 (2007C-259)

HATCHED AREA DESIGNATES EXISTING
VARIABLE WIDTH PRIVATE ACCESS EASEMENT
GRANTED TO & MAINTAINED BY PNM & ABCWUA
FILED: SEPTEMBER 13, 2007 (2007C-259)
AND
EXISTING PRIVATE ACCESS EASEMENT GRANTED
TO AND MAINTAINED BY TRACT Q
FILED: FEBRUARY 23, 2009
DOCUMENT #2009018366

PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA
& PRIVATE ACCESS EASEMENT GRANTED TO AND
MAINTAINED BY TRACTS Q-1 & Q-3 WITH THE FILING
OF THIS PLAT

EXISTING VARIABLE WIDTH PUBLIC
WATERLINE EASEMENT
FILED: SEPTEMBER 13, 2007
(2007C-259)

EXISTING 40' PNM EASEMENT
FILED: JANUARY 30, 2007
(BK A131, PG 5828)

TRACT OS-7
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)

TRACT OS-7 IS SUBJECT TO AN EXISTING
PUBLIC PEDESTRIAN ACCESS EASEMENT
AND PUBLIC DRAINAGE EASEMENT
FILED: SEPTEMBER 13, 2007 (2007C-259)

TRACT OS-7 IS SUBJECT TO AN
EASEMENT ENCROACHMENT
AGREEMENT WITH PNM
FILED: JANUARY 23, 2009
DOCUMENT #2009006867

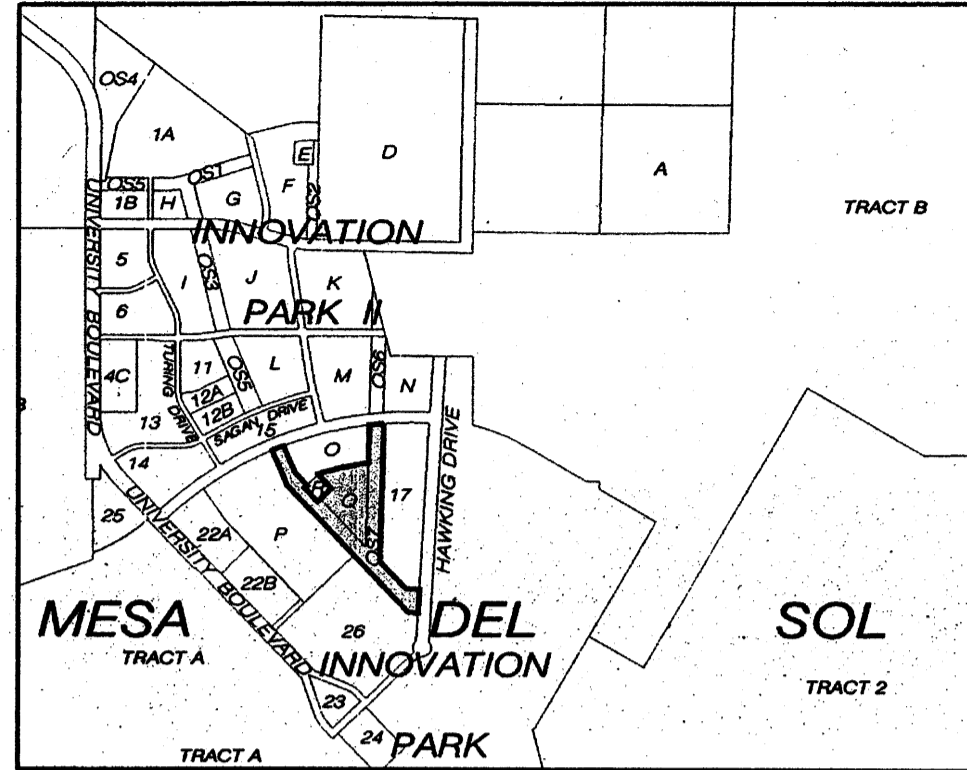
TRACT Q-3
0.2954 Acres
(SEE NOTES 1, 2
& 3, THIS SHEET)

EXISTING 30' PUBLIC
WATERLINE EASEMENT
FILED: SEPTEMBER 13, 2007
(2007C-259)

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16489"

SP-2008520696



LOCATION MAP
ZONE ATLAS INDEX MAP No. R-16
NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index No. R-16.
3. Zoning: PC
4. Gross Subdivision Acreage: 18.4444 Acres.
5. Total number of tracts Created: Three (3) Tracts.
6. No public street right-of-way is created.
7. Date of Survey: August, 2008.
8. Plat is located within Section 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide Tracts Q and OS-7 of the Plat of Mesa Del Sol Innovation Park II, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615 into three (3) tracts and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. TW Telecom, Inc. for the installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services and cable TV service including but not limited to above ground pedestals and closures.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land within Section 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract Q and Tract OS-7 of the Bulkplat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615 and being more particularly described by New Mexico State Plane Grid Bearings (NAD 83 Central Zone) and ground distances as follows:

BEGINNING at the northeast corner of the tract herein described, identical to the northeast corner of said Tract OS-7 and also being a point on the southerly right-of-way of Eastman Avenue SE; WHENCE the City of Albuquerque survey monument "1-R16", a brass disc set in a concrete post, having New Mexico State Plane Grid Coordinates NAD83 (Central Zone) X = 1,532,715.669 and Y = 1,453,436.899, bears S76°20'43"E a distance of 649.73 feet;

THENCE leaving said southerly right-of-way of Eastman Avenue SE along the easterly boundary of the tract herein described, coincident with the easterly boundary of said Tract OS-7, the following three (3) courses:

- S01°30'09"W a distance of 1436.74 feet;
- S43°57'36"E a distance of 390.99 feet;
- S86°42'58"E a distance of 141.28 feet to a point on the westerly right-of-way of Hawking Drive SE;

THENCE continuing along the easterly boundary of the tract herein described, coincident with said easterly boundary of Tract OS-7 and said westerly right-of-way of Hawking Drive SE, S03°17'02"W a distance of 242.48 feet to the southeast corner of the tract herein described, identical to the southeast corner of said Tract OS-7;

THENCE leaving said westerly right-of-way of Hawking Drive SE, along the southerly boundary of the tract herein described, coincident with the southerly boundary of said Tract OS-7, N86°42'58"W a distance of 100.00 feet to the southwest corner of the tract herein described, identical to the southwest corner of said Tract OS-7;

THENCE along the westerly boundary of the tract herein described, coincident with the westerly boundary of said Tract OS-7, the following two (2) courses:

- N43°57'36"W a distance of 1832.35 feet;
- N22°43'50"W a distance of 394.00 feet to a point on curve at the northwest corner of the tract herein described, identical to the northwest corner of said Tract OS-7, also being a point on the southerly right-of-way of said Eastman Avenue SE;

THENCE along the northerly boundary of the tract herein described, coincident with the northerly boundary of said Tract OS-7 and said southerly right-of-way of Eastman Avenue SE, 124.92 feet along the arc of a non-tangent curve to the right having a radius of 3738.32 feet, a central angle of 1°54'52" and a chord bearing N68°13'36"E a distance of 124.91 feet to a point;

THENCE leaving said southerly right-of-way of Eastman Avenue SE and continuing along the northerly boundary of the tract herein described, coincident with said northerly boundary of Tract OS-7, the following five (5) courses:

- S22°57'44"E a distance of 302.32 feet;
- S43°57'36"E a distance of 185.91 feet;
- S46°02'24"W a distance of 37.00 feet;
- S43°57'36"E a distance of 200.00 feet;
- N46°02'24"E a distance of 200.00 feet to a point on the westerly boundary of said Tract Q;

THENCE leaving said northerly boundary of Tract OS-7 and continuing along the northerly boundary of the tract herein described, coincident with said westerly boundary of Tract Q, the following two (2) courses:

- N43°57'36"W a distance of 200.00 feet;
- N16°47'30"W a distance of 6.76 feet to a point on curve at the northwest corner of said Tract Q;

THENCE continuing along the northerly boundary of the tract herein described, coincident with the northerly boundary of said Tract Q, 536.54 feet along the arc of a non-tangent curve to the right having a radius of 3343.97 feet, a central angle of 9°11'35" and a chord bearing N77°48'18"E a distance of 536.97 feet to the northeast corner of said Tract Q, also being a point on the northerly boundary of said Tract OS-7;

THENCE leaving said northerly boundary of Tract Q and continuing along the northerly boundary of the tract herein described, coincident with said northerly boundary of Tract OS-7, N01°30'09"E a distance of 398.48 feet to a point on curve on the southerly right-of-way of said Eastman Avenue SE;

THENCE continuing along the northerly boundary of the tract herein described, coincident with said northerly boundary of Tract OS-7 and said southerly right-of-way of Eastman Avenue SE, 151.13 feet along the arc of a non-tangent curve to the right having a radius of 3738.32 feet, a central angle of 2°18'59" and a chord bearing N84°31'32"E a distance of 151.12 feet to the POINT OF BEGINNING.

Tract contains 18.4444 acres, more or less.

NOTES

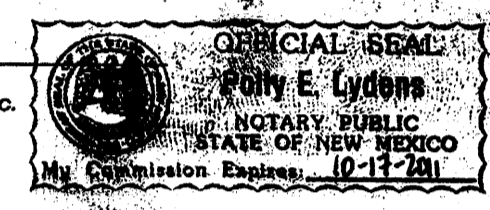
1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983 and the basis of bearings is the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico, filed on August 7, 2008 in Book 2008C, page 175 as Document No. 2008189615.
2. Record Bearings and distances are the same as shown on this plat and the same as shown on the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico, filed on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615.
3. Basis of Bearings is between City of Albuquerque Control Stations "1-R16 and "3-Q16". Bearing = N12°15'06"E.
4. Distances are ground distances.
5. All easements of record are as shown on the Plat of record or made known to me by the owner, utility companies, or other interested parties.
6. All interior tract corners to be monumented by a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469".
7. Pursuant to section 14-14-4.7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirements shall be a condition to approval of this plat."
8. Tract OS-7 is private open space, owned and maintained by Mesa Del Sol, LLC or its assignees and is subject to an existing public pedestrian access and public drainage easement filed: September 13, 2007 in Book 2007C, page 259.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situate within 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tracts Q and OS-7 of the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) affirm that th property described does lie within the platting jurisdiction of the City of Albuquerque and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

MESA DEL SOL, LLC, a New Mexico Limited Liability Company
By: FC Covington Manager, LLC, a New Mexico Limited Liability Company, Member
By: Forest City NM, LLC, a New Mexico Limited Liability Company, Member
By: Forest City Commercial Group, Inc., an Ohio Corporation, Member

BY: *[Signature]*
Harry Reikin, Vice President
Forest City Commercial Group, Inc.



State of New Mexico)
) SS
County of Bernalillo)

This instrument was acknowledged before me on 20 day of December, 2008, by Harry Reikin, Vice President of Forest City Commercial Group, Inc., an Ohio Corporation, as Member of Forest City NM, LLC, a New Mexico Limited Liability Company, as Member of FC Covington Manager, LLC, a New Mexico Limited Liability Company, as Member of Mesa Del Sol, LLC, a New Mexico Limited Liability Company.

My Commission Expires: *[Signature]* Oct. 17, 2011
Notary Public

PLAT OF
TRACTS Q-1, Q-2 & OS-7A
MESA DEL SOL
INNOVATION PARK II
(A REPLAT OF TRACT Q & TRACT OS-7
MESA DEL SOL INNOVATION PARK II)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2008

PROJECT NUMBER _____

APPLICATION NUMBER _____

PLAT APPROVAL

UTILITY APPROVALS:

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST CABLE _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

TW TELECOM, INC. _____ DATE _____

CITY APPROVALS:

CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

[Signature]
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: December 29, 2008



Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

PLAT OF
TRACTS Q-1, Q-2, & OS-7A
MESA DEL SOL
INNOVATION PARK II

(A REPLAT OF TRACT Q & TRACT OS-7
MESA DEL SOL INNOVATION PARK II)

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2008



SCALE: 1" = 100'

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- #6 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

ACS BRASS TABLET STAMPED "3-016"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 1,533,498.782 Y = 1,457,045.094
GROUND TO GRID FACTOR = 0.999663002
DELTA ALPHA = -001217.33"
NAVD 1988 ELEVATION = 5310.390

TRACT P
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)

EXISTING PRIVATE ACCESS EASEMENT GRANTED TO & MAINTAINED BY PNM & ABCWUA FILED: SEPTEMBER 13, 2007 (2007C-259) AND PRIVATE ACCESS EASEMENT GRANTED TO AND MAINTAINED BY TRACTS Q-1 AND Q-2 WITH THE FILING OF THIS PLAT

EXISTING PUBLIC WATERLINE EASEMENT FILED: SEPTEMBER 13, 2007 (2007C-259)

TRACT R
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)

TRACT R IS SUBJECT TO AN EXISTING PNM EASEMENT FILED: JANUARY 30, 2007 (BK A131, PG 5821)

EXISTING 30' PUBLIC WATER & SANITARY SEWER EASEMENT GRANTED TO ABCWUA FILED: MAY 22, 2008 DOCUMENT NO. 2008057385

EXISTING 22' PUBLIC PEDESTRIAN ACCESS EASEMENT FILED: SEPTEMBER 13, 2007 (2007C-259)

TRACT O
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)

EXISTING 10' PUBLIC UTILITY EASEMENT FILED: SEPTEMBER 13, 2007 (2007C-259)

TRACT Q-1
1.1546 Acres

TRACT Q-2
4.7853 Acres

TRACT OS-7 IS SUBJECT TO AN EXISTING PUBLIC PEDESTRIAN ACCESS EASEMENT AND PUBLIC DRAINAGE EASEMENT FILED: SEPTEMBER 13, 2007 (2007C-259)

TRACT 17
MESA DEL SOL
INNOVATION PARK
FILED: SEPTEMBER 13, 2007
(2007C-259)

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRC
C1	01° 54' 52"	62.46'	124.92'	3738.32'	124.91'	N68° 13' 36" E
C2	09° 11' 35"	268.85'	536.54'	3343.97'	535.97'	N77° 48' 18" E
C3	02° 18' 59"	75.57'	151.13'	3738.32'	151.12'	N84° 31' 32" E
C4	03° 21' 48"	98.18'	196.30'	3343.97'	196.27'	N74° 53' 24" E
C5	05° 49' 47"	170.27'	340.24'	3343.97'	340.10'	N79° 29' 12" E

ID	BEARING	DISTANCE	ID	BEARING	DISTANCE
T1	N16° 47' 30" W	6.76'	T11	N43° 57' 36" W	29.00'
T2	S46° 02' 24" W	37.00'	T12	N46° 02' 24" E	16.00'
T3	S43° 57' 36" E	25.00'	T13	S43° 57' 36" E	27.00'
T4	S43° 35' 00" E	23.00'	T14	N46° 02' 24" E	4.00'
T5	S46° 25' 00" W	46.67'	T15	S43° 57' 36" E	13.29'
T6	S01° 30' 09" W	42.09'	T16	S83° 30' 15" E	32.32'
T7	S01° 30' 09" W	34.16'	T17	N45° 00' 00" E	8.61'
T8	N88° 29' 51" W	16.55'	T18	S45° 00' 02" E	24.50'
T9	S34° 25' 37" W	36.35'	T19	S45° 00' 00" W	13.00'
T10	N43° 57' 36" W	65.68'	T20	N45° 00' 02" W	13.96'
			T21	N83° 30' 15" W	47.95'

ACS BRASS TABLET STAMPED "1-R16, 1980"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 1,532,715.669 Y = 1,453,438.899
GROUND TO GRID FACTOR = 0.999664099
DELTA ALPHA = -001222.46"
NAVD 1988 ELEVATION = 5291.451

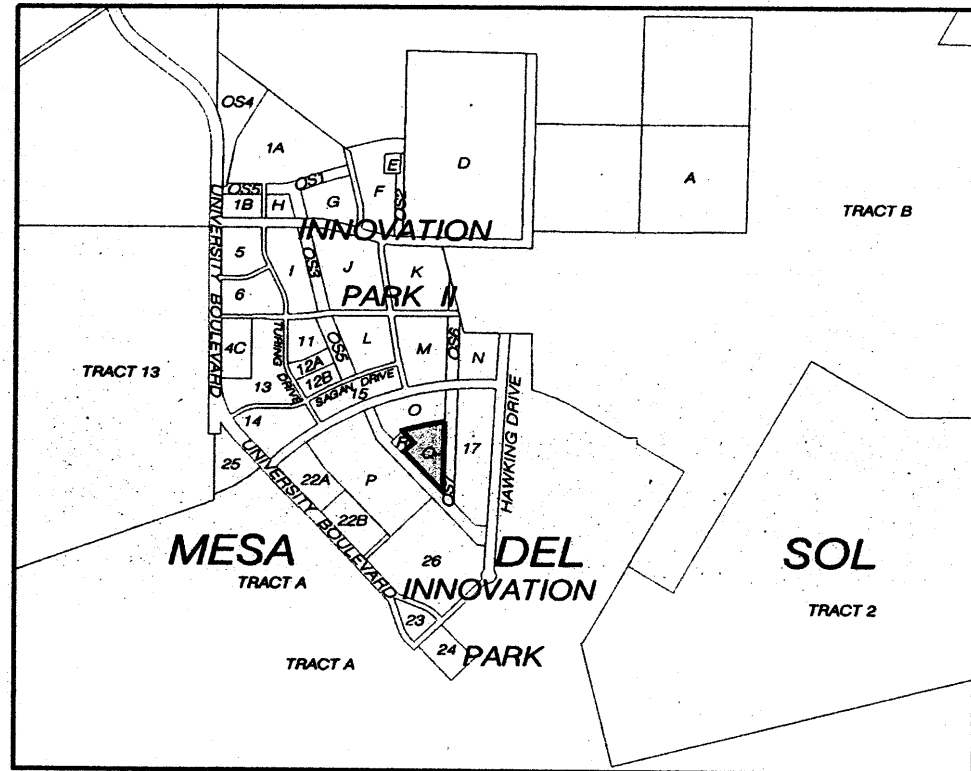


SHEET 2 OF 2

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SP-2008520696



LOCATION MAP

ZONE ATLAS INDEX MAP No. R-16
NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index No. R-16.
3. Zoning: PC.
4. Gross Subdivision Acreage: 6.2353 Acres.
5. Total number of tracts Created: Three (3) Tracts.
6. No public street right-of-way is created.
7. Date of Survey: August, 2008.
8. Plat is located within Section 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide Tract Q of the Plat of Mesa Del Sol Innovation Park II, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615 into three (3) tracts and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. TW Telecom, Inc. for the installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services and cable TV service including but not limited to above ground pedestals and closures.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10) in front of transformer/switchgear doors and five feet (5) on each side.

DESCRIPTION

A certain tract of land situate within Section 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract Q of the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615.

Tract contains 6.2353 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situate within 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract Q of the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantees Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) affirm that the property described does lie within the platting jurisdiction of the City of Albuquerque and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

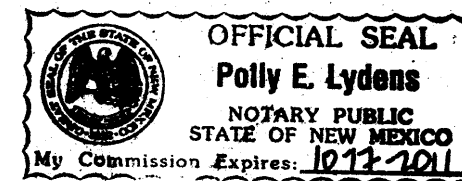
MESA DEL SOL, LLC, a New Mexico Limited Liability Company
By: FC Covington Manager, LLC, a New Mexico Limited Liability Company, Member
By: Forest City NM, LLC, a New Mexico Limited Liability Company, Member
By: Forest City Commercial Group, Inc., an Ohio Corporation, Member

BY:
Harry Reikin, Vice President
Forest City Commercial Group, Inc.

State of New Mexico)
) SS
County of Bernalillo)

This instrument was acknowledged before me on 27 day of January, 2009, by Harry Reikin, Vice President of Forest City Commercial Group, Inc., an Ohio Corporation, as Member of Forest City NM, LLC, a New Mexico Limited Liability Company, as Member of FC Covington Manager, LLC, a New Mexico Limited Liability Company, as Member of Mesa Del Sol, LLC, a New Mexico Limited Liability Company.

My Commission Expires: 10/17/2011
Notary Public



NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983 and the basis of bearings is the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico, filed on August 7, 2008 in Book 2008C, page 175 as Document No. 2008189615.
2. Record Bearings and distances are the same as shown on this plat and the same as shown on the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico, filed on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615.
3. Basis of Bearings is between City of Albuquerque Control Stations "1-R16 and "3-Q16". Bearing = N12°15'06"E.
4. Distances are ground distances.
5. All easements are as shown on the Plat of record or made known to me by the owner, utility companies, or other interested parties.
6. All interior tract corners are monumented by a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469".
7. Pursuant to section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirements shall be a condition to approval of this plat."

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: January 27, 2009



**PLAT OF
TRACTS Q-1, Q-2 & Q-3
MESA DEL SOL
INNOVATION PARK II**

(A REPLAT OF TRACT Q
MESA DEL SOL INNOVATION PARK II)

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009

PROJECT NUMBER _____

APPLICATION NUMBER _____

PLAT APPROVAL

UTILITY APPROVALS:

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST CABLE _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

TW TELECOM, INC. _____ DATE _____

CITY APPROVALS: _____

CITY SURVEYOR DATE 1-27-09

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

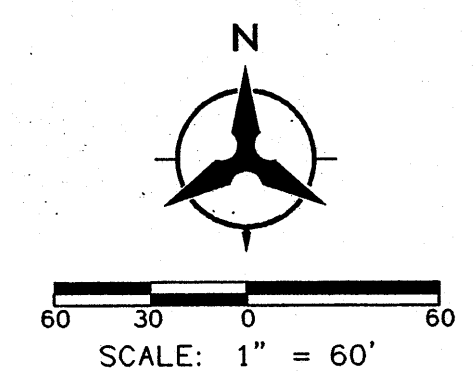
Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

PLAT OF
TRACTS Q-1, Q-2 & Q-3
MESA DEL SOL
INNOVATION PARK II

(A REPLAT OF TRACT Q
MESA DEL SOL INNOVATION PARK II)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009



NOTES

- Tracts Q-1, Q-2 and Q-3 are subject to a cross lot drainage easement for the benefit of all tracts and maintained by all tracts to be granted with the filing of this Plat.
- Access from Eastman Avenue to Tracts Q-1, Q-2 and Q-3 is granted by the existing Private Access Easement to ABCWUA and PNM filed September 13, 2007 in Book 2007C, page 259 and a Private Access Easement granted to Tract Q filed Document # _____ as shown by the hatched area on this plat.

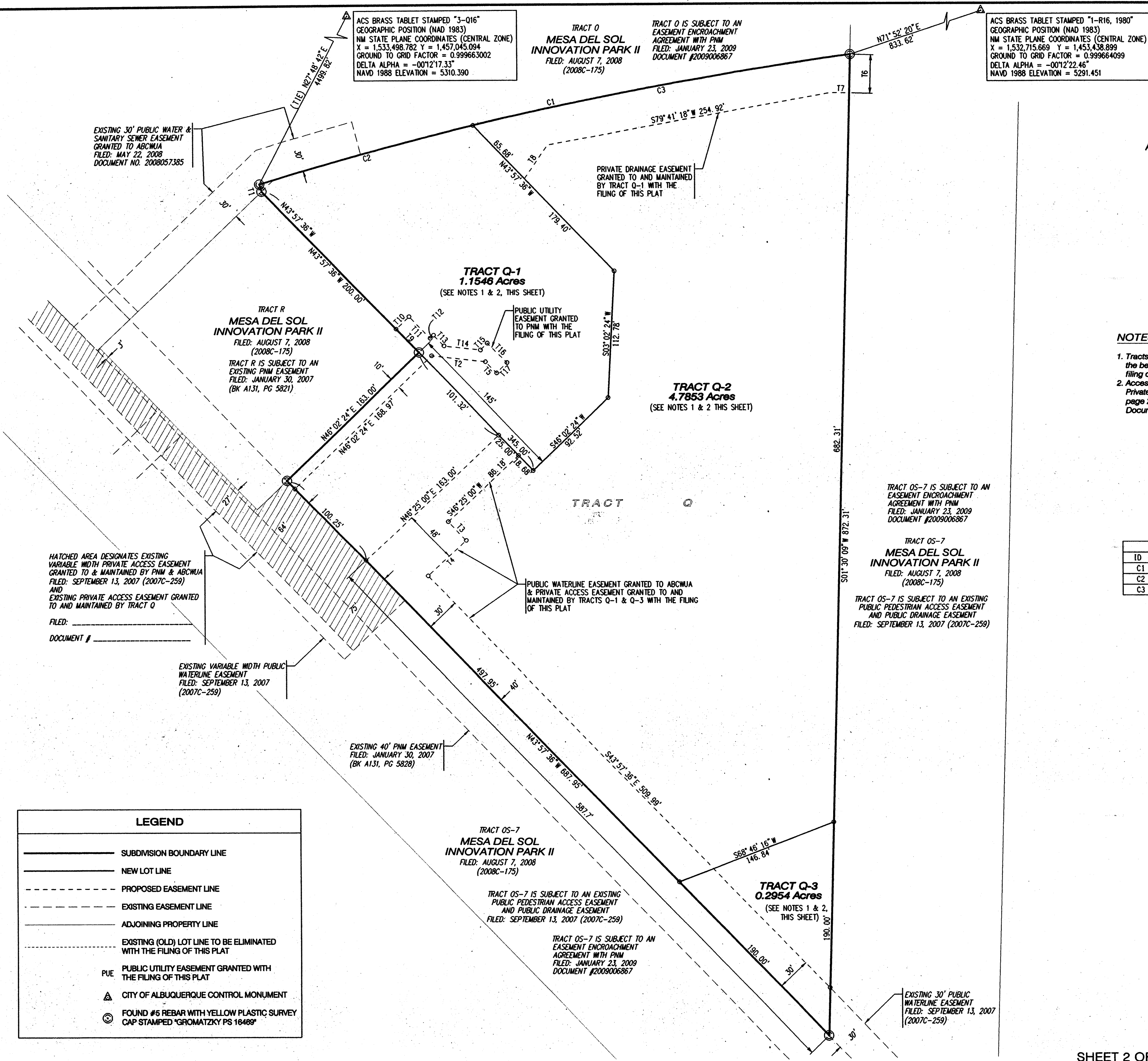
Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	09° 11' 35"	268.85'	536.54'	3343.97'	535.97'	N77° 48' 18" E
C2	03° 21' 48"	98.18'	196.30'	3343.97'	196.27'	N74° 53' 24" E
C3	05° 49' 47"	170.27'	340.24'	3343.97'	340.10'	N79° 29' 12" E

Tangent Data		
ID	BEARING	DISTANCE
T1	N16° 47' 30" W	6.76'
T2	N83° 30' 15" E	47.95'
T3	S43° 35' 00" E	23.00'
T4	S46° 25' 00" W	46.67'
T5	N45° 00' 02" W	13.96'
T6	S01° 30' 09" W	34.16'
T7	N88° 29' 51" W	16.55'
T8	S34° 25' 37" W	36.35'
T9	N43° 57' 36" W	29.00'
T10	N46° 02' 24" E	16.00'
T11	S43° 57' 36" E	27.00'
T12	N46° 02' 24" E	4.00'
T13	S43° 57' 36" E	13.29'
T14	S83° 30' 15" E	32.52'
T15	N45° 00' 00" E	8.61'
T16	S45° 00' 02" E	24.50'
T17	S45° 00' 00" W	13.00'



Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



ACS BRASS TABLET STAMPED "3-016"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 1,533,498.782 Y = 1,457,045.094
GROUND TO GRID FACTOR = 0.999663002
DELTA ALPHA = -00°12'17.33"
NAVD 1988 ELEVATION = 5310.390

ACS BRASS TABLET STAMPED "1-R16, 1980"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 1,532,715.669 Y = 1,453,438.899
GROUND TO GRID FACTOR = 0.999664099
DELTA ALPHA = -00°12'22.46"
NAVD 1988 ELEVATION = 5291.451

EXISTING 30' PUBLIC WATER &
SANITARY SEWER EASEMENT
GRANTED TO ABCWUA
FILED: MAY 22, 2008
DOCUMENT NO. 2008057385

PRIVATE DRAINAGE EASEMENT
GRANTED TO AND MAINTAINED
BY TRACT Q-1 WITH THE
FILING OF THIS PLAT

TRACT Q-1
1.1546 Acres
(SEE NOTES 1 & 2, THIS SHEET)

TRACT Q-2
4.7853 Acres
(SEE NOTES 1 & 2 THIS SHEET)

TRACT R
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)
TRACT R IS SUBJECT TO AN
EXISTING PNM EASEMENT
FILED: JANUARY 30, 2007
(BK A131, PG 3821)

PUBLIC UTILITY
EASEMENT GRANTED
TO PNM WITH THE
FILING OF THIS PLAT

TRACT OS-7 IS SUBJECT TO AN
EASEMENT ENCROACHMENT
AGREEMENT WITH PNM
FILED: JANUARY 23, 2009
DOCUMENT #2009006867

TRACT OS-7
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)

TRACT OS-7 IS SUBJECT TO AN EXISTING
PUBLIC PEDESTRIAN ACCESS EASEMENT
AND PUBLIC DRAINAGE EASEMENT
FILED: SEPTEMBER 13, 2007 (2007C-259)

HATCHED AREA DESIGNATES EXISTING
VARIABLE WIDTH PRIVATE ACCESS EASEMENT
GRANTED TO & MAINTAINED BY PNM & ABCWUA
FILED: SEPTEMBER 13, 2007 (2007C-259)
AND
EXISTING PRIVATE ACCESS EASEMENT GRANTED
TO AND MAINTAINED BY TRACT Q
FILED:
DOCUMENT # _____

PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA
& PRIVATE ACCESS EASEMENT GRANTED TO AND
MAINTAINED BY TRACTS Q-1 & Q-3 WITH THE FILING
OF THIS PLAT

EXISTING VARIABLE WIDTH PUBLIC
WATERLINE EASEMENT
FILED: SEPTEMBER 13, 2007
(2007C-259)

EXISTING 40' PNM EASEMENT
FILED: JANUARY 30, 2007
(BK A131, PG 5828)

TRACT OS-7
MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(2008C-175)

TRACT OS-7 IS SUBJECT TO AN EXISTING
PUBLIC PEDESTRIAN ACCESS EASEMENT
AND PUBLIC DRAINAGE EASEMENT
FILED: SEPTEMBER 13, 2007 (2007C-259)

TRACT Q-3
0.2954 Acres
(SEE NOTES 1 & 2,
THIS SHEET)

TRACT OS-7 IS SUBJECT TO AN
EASEMENT ENCROACHMENT
AGREEMENT WITH PNM
FILED: JANUARY 23, 2009
DOCUMENT #2009006867

EXISTING 30' PUBLIC
WATERLINE EASEMENT
FILED: SEPTEMBER 13, 2007
(2007C-259)

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	FOUND #6 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

SITE DEVELOPMENT PLAN APPROVAL:

PROJECT NUMBER: 1005355
APPLICATION NUMBER: 07EPC-00110

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED MARCH 16, 2007 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGN OFF APPROVAL:

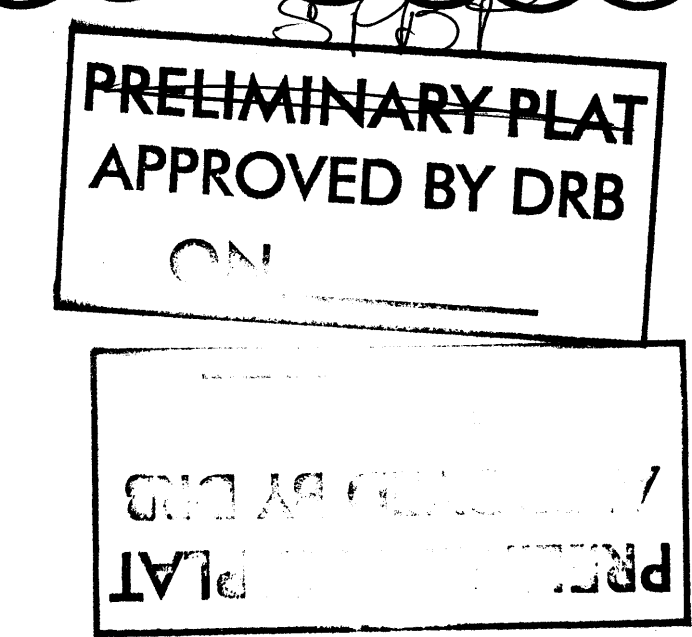
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER/AMAFCA	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

DRAWING INDEX

- SHEET T-1 : COVER SHEET
- SHEET 1 OF 5: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- SHEET 2 OF 5: LANDSCAPE PLAN AND WALL DETAILS
- SHEET 3 OF 5: ELEVATED RESERVOIR ELEVATION & RENDERING
- SHEET 4 OF 5: FUTURE STRUCTURE DESIGN STANDARDS
- SHEET 5a OF 5: SITE GRADING/DRAINAGE PLAN & UTILITY PLAN
- SHEET 5b OF 5: SITE GRADING/DRAINAGE PLAN & UTILITY PLAN
- SHEET 5c OF 5: SITE GRADING/DRAINAGE PLAN & UTILITY PLAN

2

MESA DEL SOL ELEVATED RESERVOIR Albuquerque, NM



EPC Submittal: Site development plan for building permit

February 1, 2007

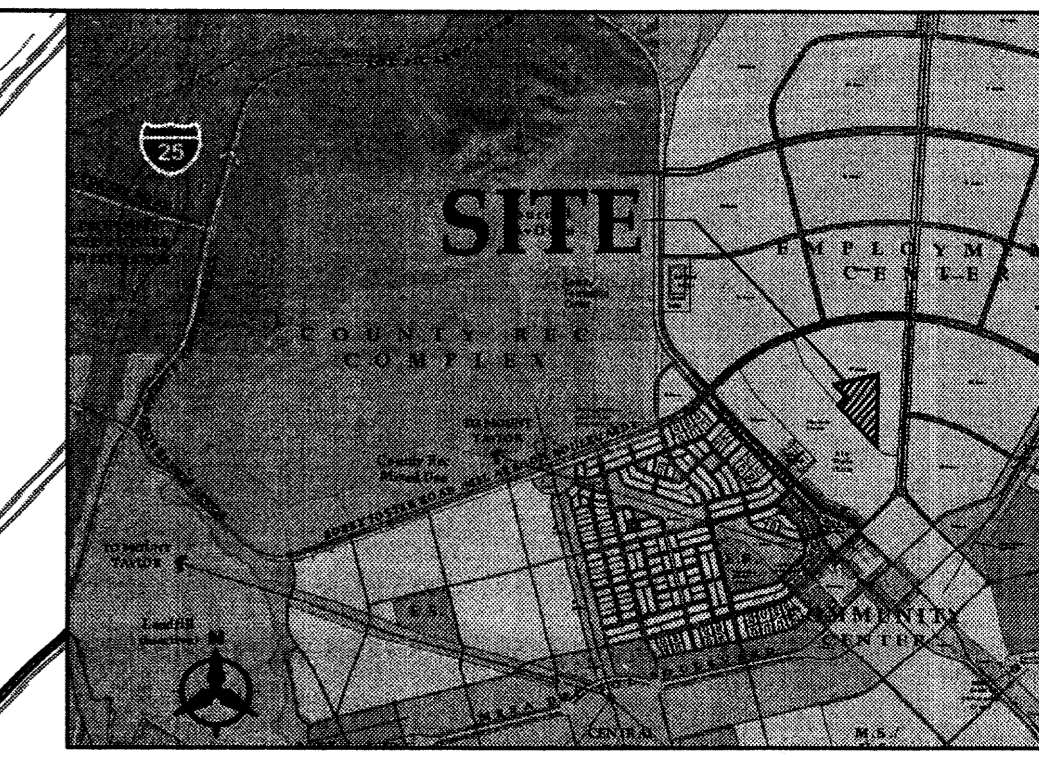
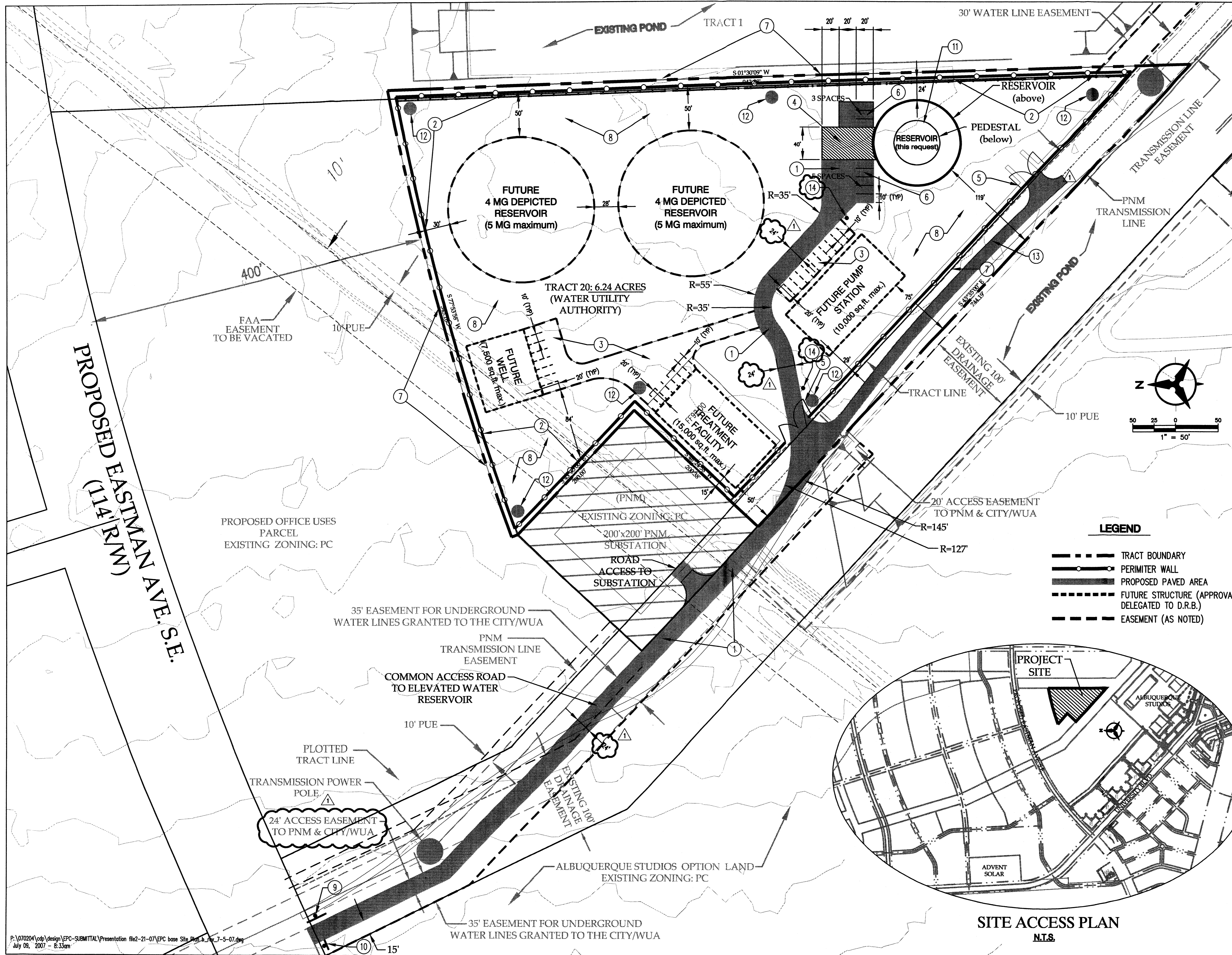


April 12, 2007
Modified to address E.P.C. conditions

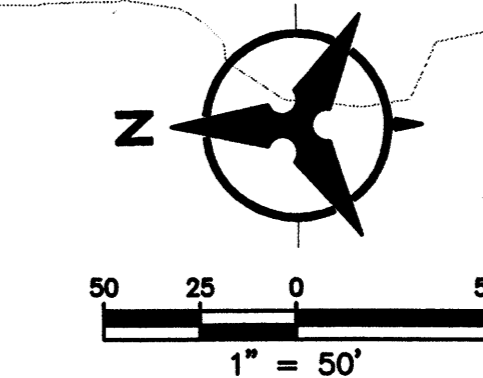
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Revisions:

- 1 April 12, 2007
Modified to address E.P.C. conditions
- 2 July 9, 2007

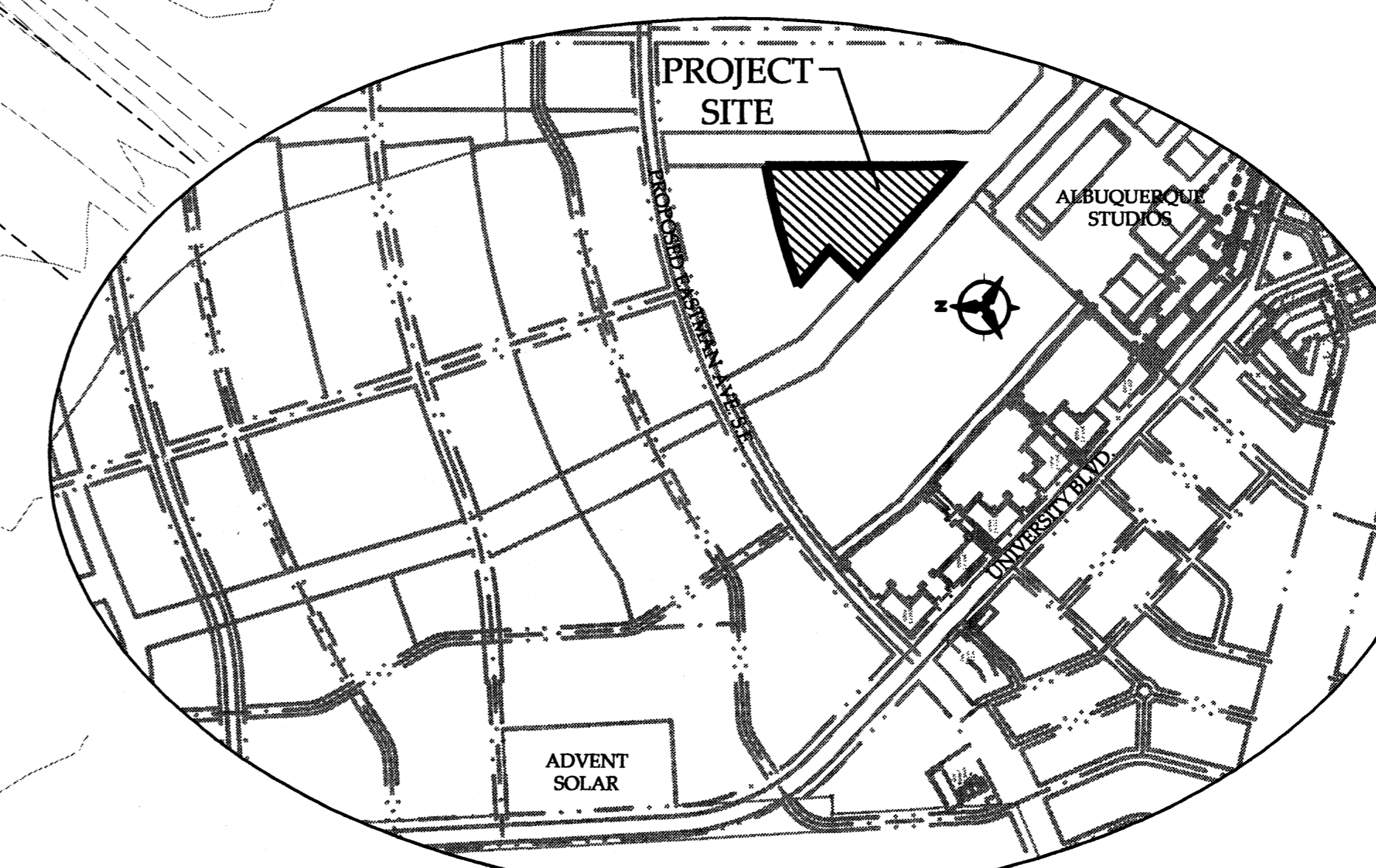


- GENERAL NOTES:**
- EXISTING ZONING: PC
 - SITE AREA: 6.24 ACRES
 - PROPOSED USE OF BUILDING: PUBLIC UTILITY STRUCTURE/ELEVATED RESERVOIR WATER UTILITY AUTHORITY (UNMANNED FACILITY)
 - PERIMETER WALL TO BE CONSTRUCTED ON TRACT BOUNDARY LINE OPENINGS FOR SECURITY/OBSERVATION TO BE LOCATED IN ACCORDANCE WITH LANDSCAPING PLAN DETAIL
 - APPROVAL OF ALL FUTURE SITE DEVELOPMENT IS DELEGATED TO THE DEVELOPMENT REVIEW BOARD (D.R.B.)
 - SEE SHEET 4 OF 5 FOR SITE LIGHTING DESIGN STANDARDS
 - TRACT 2 CREATED BY BULK LAND VARIANCE PLAT (SEPARATELY) SUBMITTED TO THE D.R.B.
 - SIGNAGE: SEE EXTERIOR ELEVATION SHEET FOR RESERVOIR SIGNAGE AND NOTE. OTHER SIGNAGE TO INCLUDE WATER AUTHORITY REQUIRED PERIMETER WALL SIGNAGE RESTRICTED SITE ACCESS, NO TRESPASSING, ETC.
 - STRUCTURE HEIGHT EQUALS 200' MAXIMUM. APPROVAL OF THIS SITE DEVELOPMENT PLAN BY THE EPC ACKNOWLEDGES A DEVIATION FROM HEIGHT RESTRICTIONS SPECIFIED IN MESA DEL SOL "EMPLOYMENT CENTER" AND "LEVEL B" PLANS.
 - CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY, AND NMDOT REQUIREMENTS:
 - THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN. THOSE IMPROVEMENTS WILL INCLUDE ANY ADDITIONAL RIGHT-OF-WAY REQUIREMENTS, PAVING, CURB AND GUTTER, SIDEWALK, AND ADA ACCESSIBLE RAMPS THAT HAVE NOT ALREADY BEEN PROVIDED FOR. ALL PUBLIC INFRASTRUCTURE, CONSTRUCTED WITHIN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS.
 - SITE PLAN SHALL COMPLY AND BE DESIGNED USING THE STANDARDS IN THE MESA DEL SOL LEVEL A AND B PLANS.



- KEYED NOTES:**
- SHADED AREA DEPICTS PAVED ACCESS DRIVE AND SITE PARKING.
 - PERIMETER WALL SEE LANDSCAPE PLAN FOR DETAILS.
 - FUTURE ASPHALT ACCESS DRIVE AND PARKING (PARKING AREAS SHALL BE CONSTRUCTED UTILIZING PERVIOUS PAVING MATERIALS).
 - 40' WIDE ACCESS AND MANEUVERING SPACE.
 - VEHICULAR ACCESS GATES.
 - PARKING SPACES (PARKING AREAS SHALL BE CONSTRUCTED UTILIZING PERVIOUS PAVING MATERIALS).
 - TRACT BOUNDARY.
 - AREA NOT UTILIZED FOR BUILDINGS, RESERVOIRS, PARKING, OR DRIVE AISLES SHALL BE SEEDDED WITH A NATIVE SEED MIX. SEE LANDSCAPE PLAN.
 - TEMPORARY CONSTRUCTION SIGN.
 - STOP SIGN.
 - RESERVOIR 2MG DEPICTED, 3MG MAXIMUM.
 - FUTURE LIGHT POLE LOCATIONS.
 - NEW GRAVEL OR ASPHALT ROAD.
 - PROPOSED FIRE HYDRANT.
- REVISIONS:
- APRIL 12, 2007 MODIFIED TO ADDRESS E.P.C. CONDITIONS.
 - JULY 5, 2007 ADDED FIRE HYDRANTS PER FIRE MARSHAL REQUIREMENTS.

- LEGEND**
- TRACT BOUNDARY
 - PERIMETER WALL
 - PROPOSED PAVED AREA
 - FUTURE STRUCTURE (APPROVAL DELEGATED TO D.R.B.)
 - EASEMENT (AS NOTED)



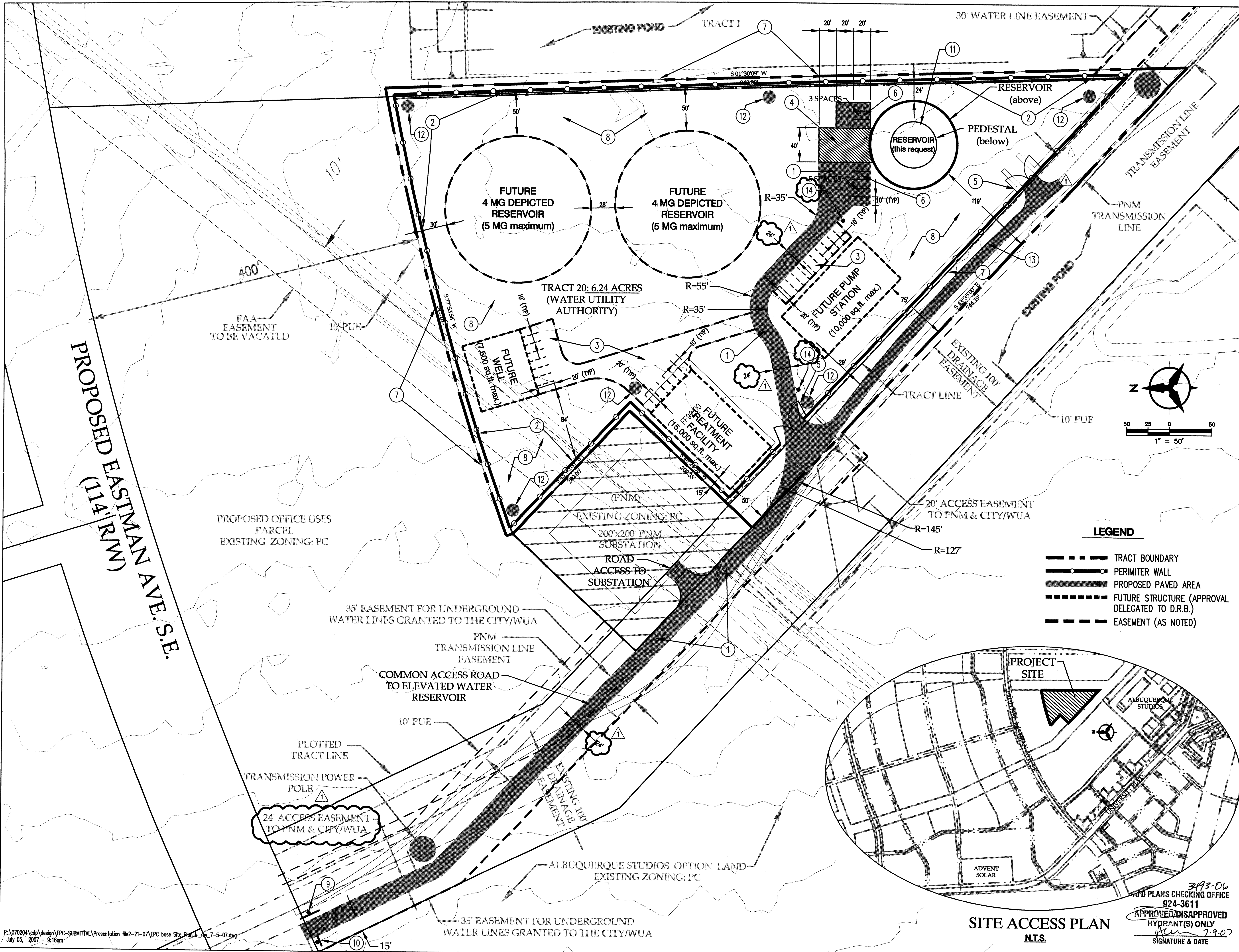
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT ELEVATED WATER RESERVOIR

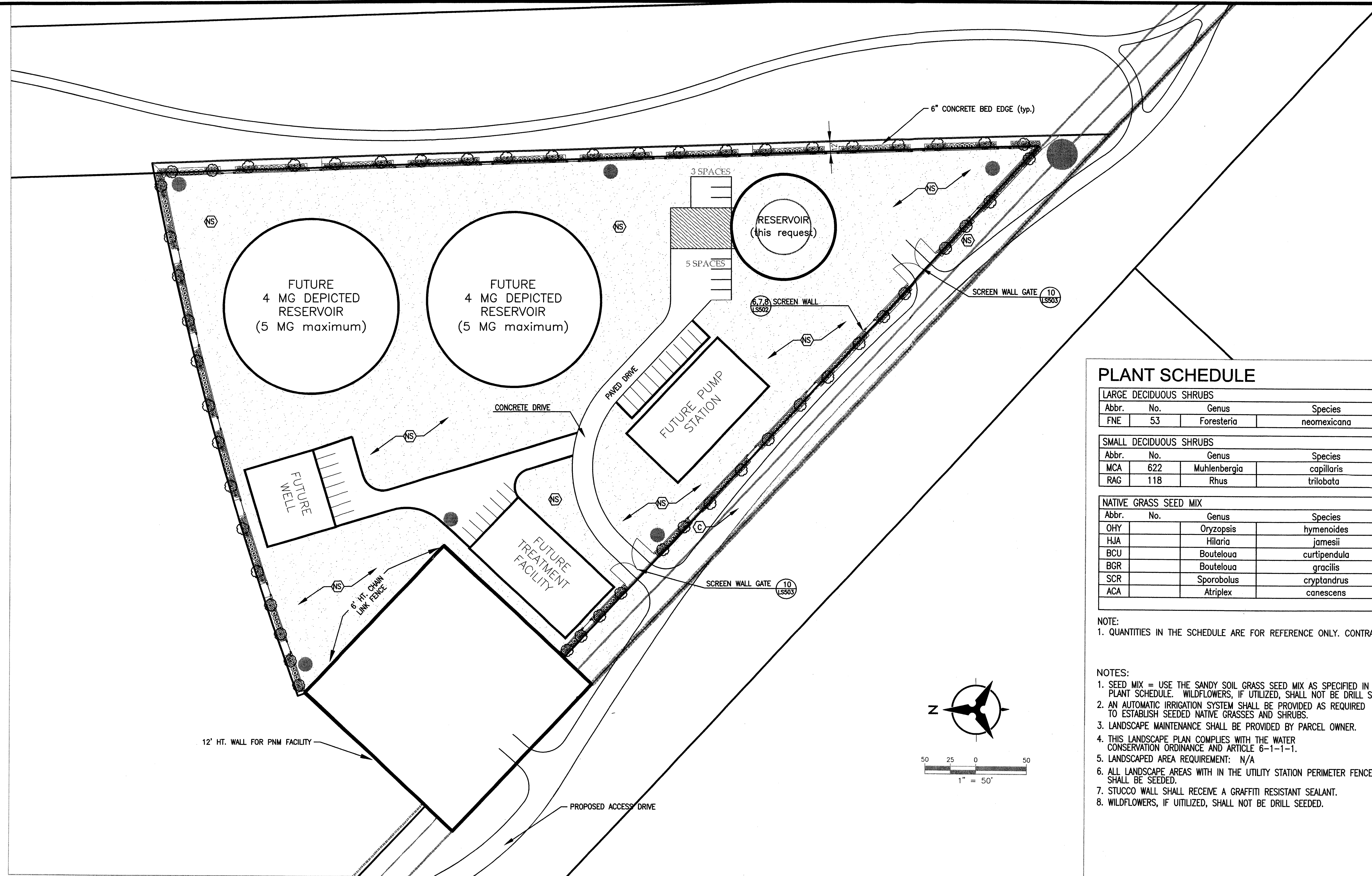
February 1, 2007



Bohannon & Huston
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P:\070204\cdp\design\EPC-SUBMITTAL\Presentation file2-21-07\EPC base Site Plan.dwg July 09, 2007 - 8:35am





GROUNDCOVER SCHEDULE		
C	6" CONCRETE REMOVE AND RE-COMPACT SUBGRADE	CONCRETE PAVEMENT
CF	4" COMPACTED CRUSHER FINES REMOVE AND RE-COMPACT SUBGRADE	CRUSHER FINE PATH - IN TRACT
NS	SEED MIX AMENDED NATIVE SOIL, TILLED TO 4-6" DEPTH SUBGRADE	NATIVE GRASS SEED MISC.
P	1" HUMUS MULCH 12" COMPACTED SUBGRADE	GROUNDCOVER PLANTING BEDS
G	3" GRAVEL MULCH WEED CONTROL FABRIC COMPACTED SUBGRADE	PLANTINGS AND PERIMETER BEDS

PLANT SCHEDULE

LARGE DECIDUOUS SHRUBS							
Abbr.	No.	Genus	Species	Common Name	Min. Size	Min. Spacing	Notes
FNE	53	Foresteria	neomexicana	New Mexico Olive	15 GAL.	10' O.C.	MULTI-STEM 5-6' HT.

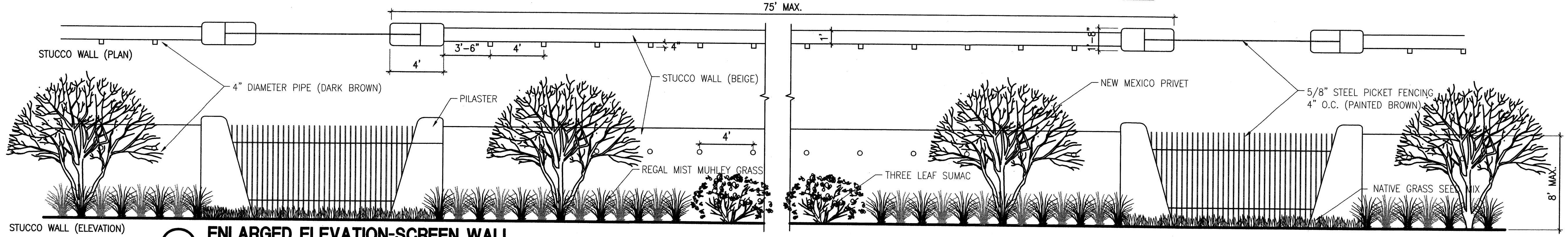
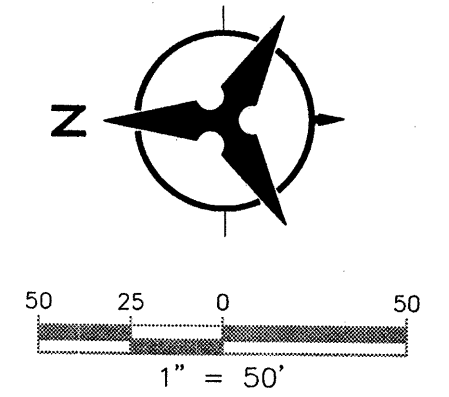
SMALL DECIDUOUS SHRUBS							
Abbr.	No.	Genus	Species	Common Name	Min. Size	Min. Spacing	Notes
MCA	622	Muhlenbergia	capillaris	Regal Mist	1 GAL.	3' O.C.	
RAG	118	Rhus	trilobata	Three Leaf Sumac	5 GAL.	3' O.C.	2-3' HT.

NATIVE GRASS SEED MIX							
Abbr.	No.	Genus	Species	Common Name	Min. Size	Min. Spacing	P.L.S./Acre
OHY		Oryzopsis	hymenoides	Indian Rice Grass 'Paloma'			5.0
HJA		Hilaria	jamesii	Galleta Grass 'Viva'			1.0
BCU		Bouteloua	curtipendula	Side Oats Grama 'Niner'			3.0
BGR		Bouteloua	gracilis	Blue Grama 'Hatchita'			1.0
SCR		Sporobolus	cryptandrus	Sand Dropseed			1.0
ACA		Atriplex	canescens	Fourwing Saltbush			1.0

TOTAL RATE = 12.0 LBS/ACRE

NOTE:
1. QUANTITIES IN THE SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLANS.

- NOTES:
1. SEED MIX = USE THE SANDY SOIL GRASS SEED MIX AS SPECIFIED IN THE ABOVE PLANT SCHEDULE. WILDFLOWERS, IF UTILIZED, SHALL NOT BE DRILL SEEDED.
2. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED TO ESTABLISH SEEDED NATIVE GRASSES AND SHRUBS.
3. LANDSCAPE MAINTENANCE SHALL BE PROVIDED BY PARCEL OWNER.
4. THIS LANDSCAPE PLAN COMPLIES WITH THE WATER CONSERVATION ORDINANCE AND ARTICLE 6-1-1-1.
5. LANDSCAPED AREA REQUIREMENT: N/A
6. ALL LANDSCAPE AREAS WITH IN THE UTILITY STATION PERIMETER FENCE SHALL BE SEEDED.
7. STUCCO WALL SHALL RECEIVE A GRAFFITI RESISTANT SEALANT.
8. WILDFLOWERS, IF UTILIZED, SHALL NOT BE DRILL SEEDED.



ENLARGED ELEVATION-SCREEN WALL
SCALE: 1/4"=1'-0"

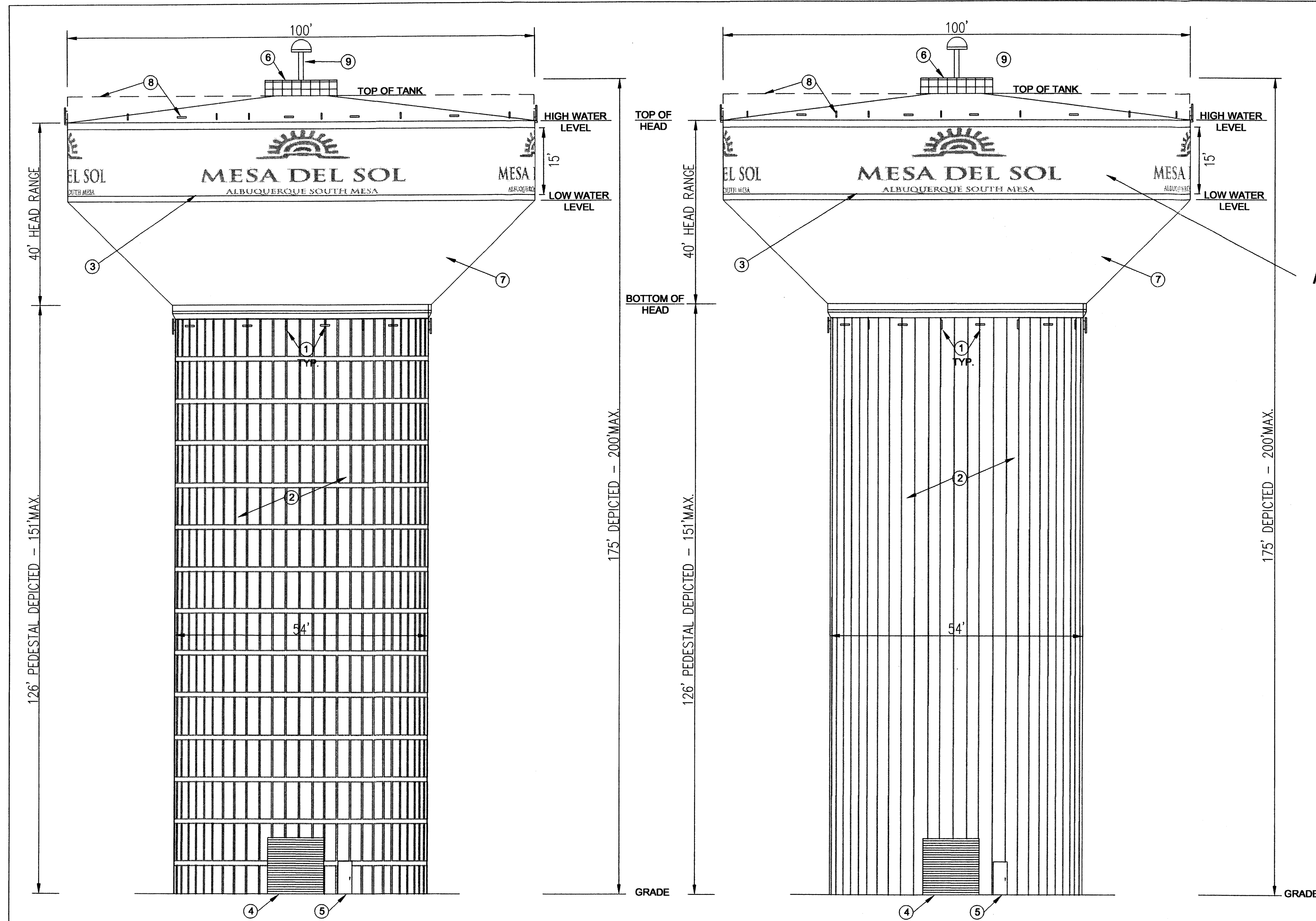
EDAW | AECOM

**LANDSCAPE PLAN
ELEVATED WATER
RESERVOIR**

June 27, 2007



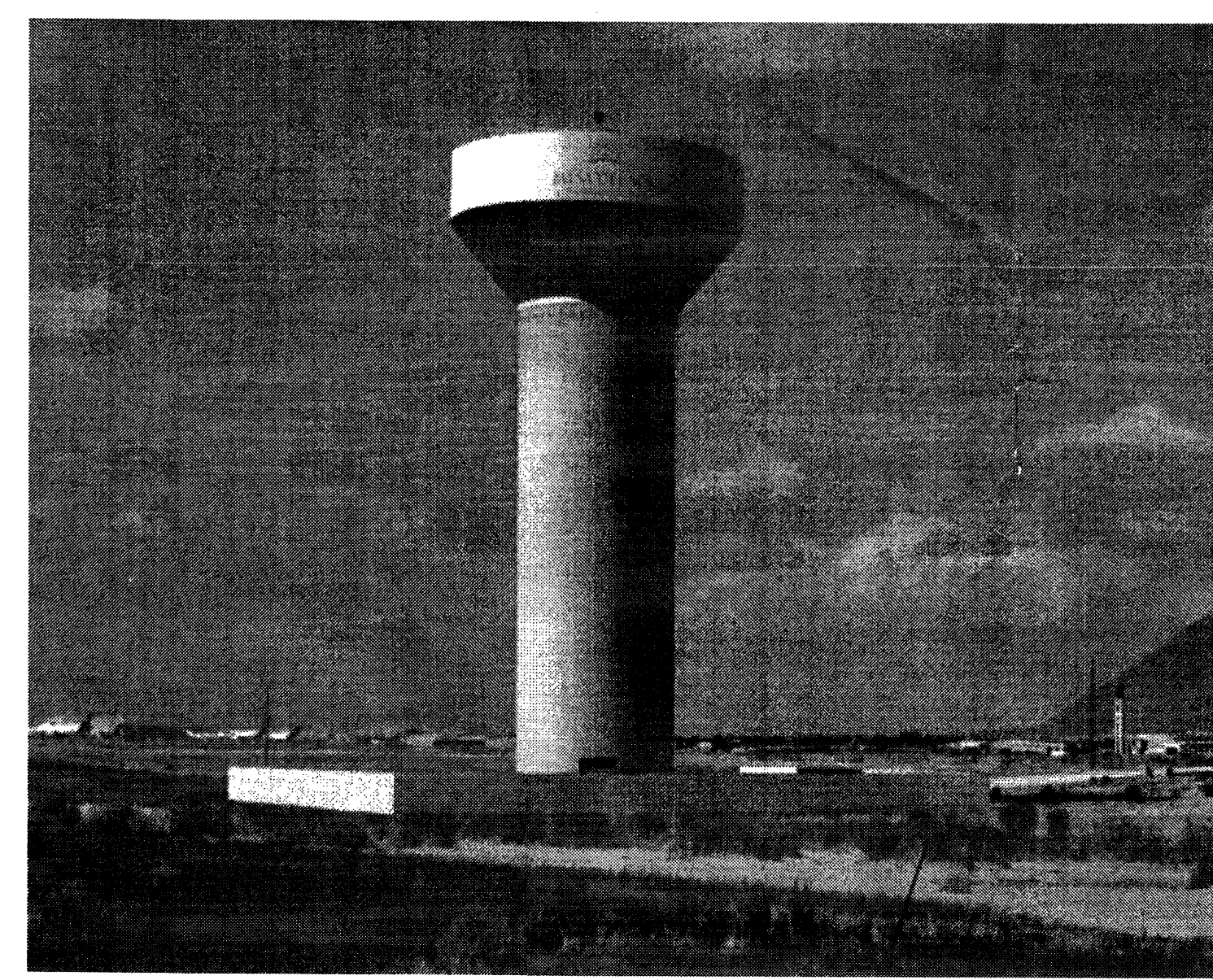
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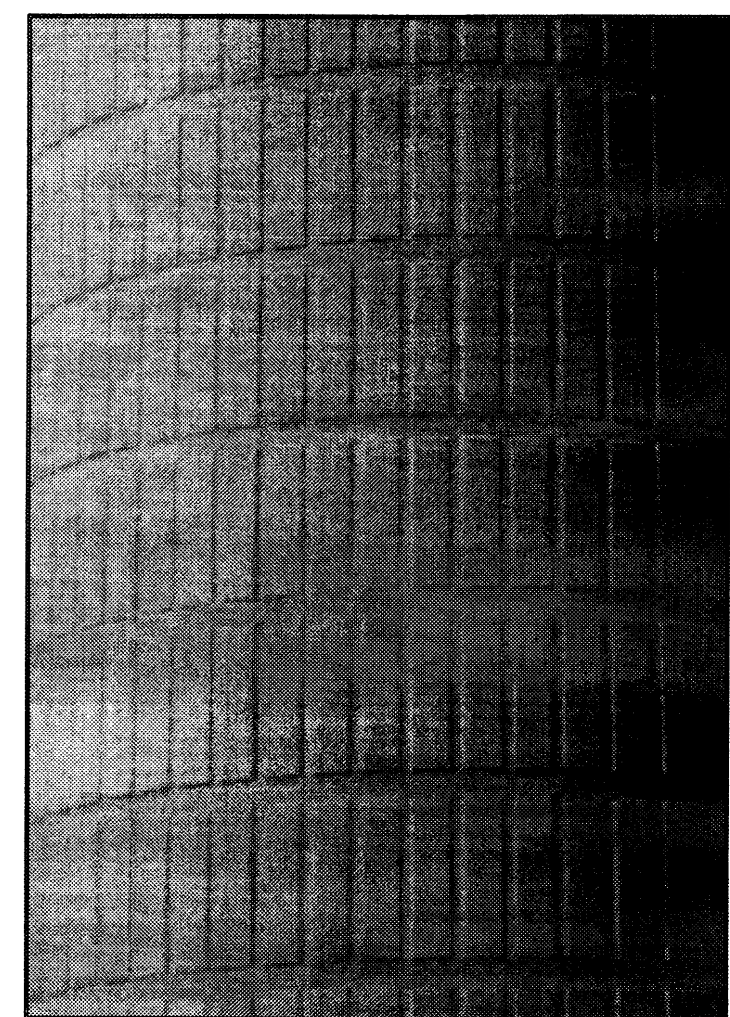
APPROX. 4712 sq.ft. TEXT AREA
(FULL CIRCUMFERENCE)

NORTH ELEVATION
(ALL ELEVATIONS SIMILAR)
NOTE: ALL DIMENSIONS ARE APPROXIMATE

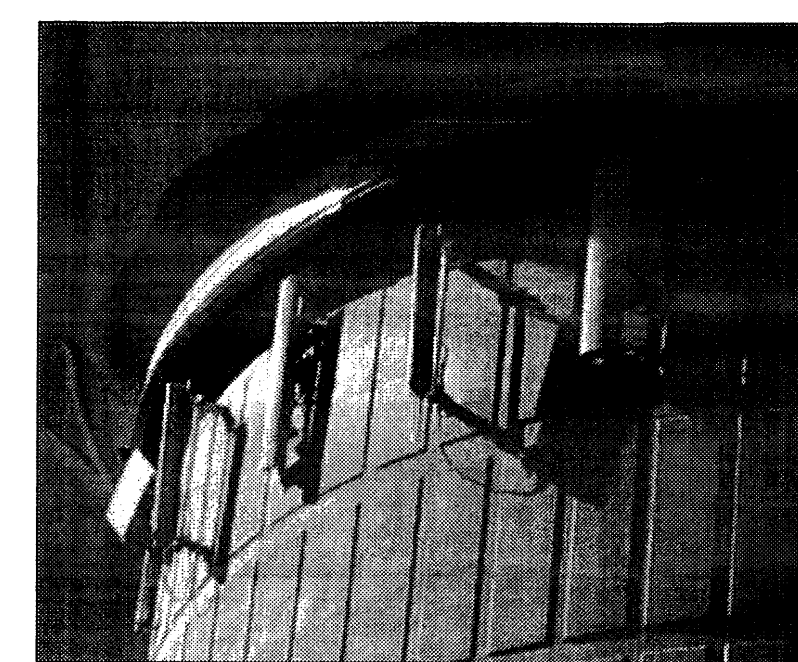
SCALE: 1/16" = 1'



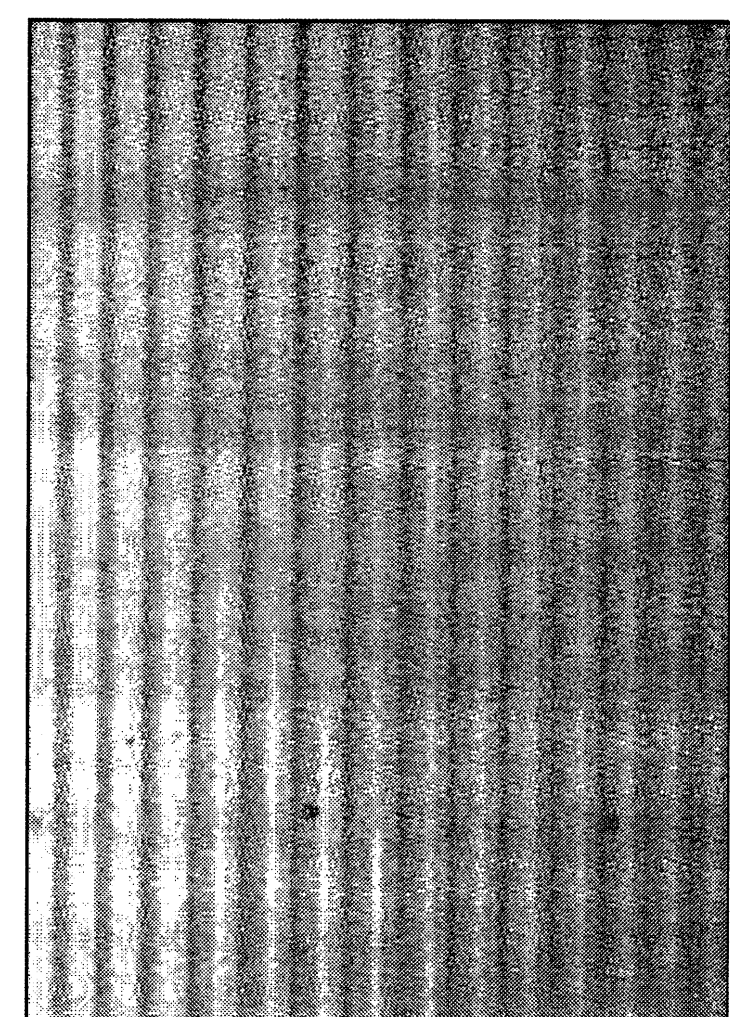
ILLUSTRATIVE RENDERING LOOKING NORTHEAST



TYPICAL DECORATIVE COMPOSITE PEDESTAL
CONCRETE PATTERN
NTS



TYPICAL WIRELESS
TELECOMMUNICATIONS ANTENNAS
(SEE GENERAL NOTE C)
NTS



TYPICAL DECORATIVE PEDESTAL
HYDROPILLAR STEEL PATTERN
NTS

- GENERAL NOTES:**
- EXTERIOR MATERIAL CHOICE WILL BE BASED ON ACTUAL COST COMPARISON AND BEST MATERIAL FOR THIS USE.
 - SIGNAGE LIGHTING SHALL BE DOWNWARD DIRECTIONAL LIGHTING. NO BACKLIGHTING IS ALLOWED.
 - WIRELESS COMMUNICATION ANTENNA WILL VARY IN SIZE, LOCATION AND QUANTITY DEPENDENT ON PROVIDER(S). ANTENNAE SHALL NOT EXTEND MORE THAN 10' ABOVE THE TOP OF THE RESERVOIR HEAD, AND/OR MORE THAN 20' BELOW THE BOTTOM OF THE RESERVOIR HEAD.
 - STRUCTURE HEIGHT EQUALS 200' MAXIMUM. APPROVAL OF THIS SITE DEVELOPMENT PLAN BY THE EPC ACKNOWLEDGES DEVIATION FROM HEIGHT RESTRICTIONS SPECIFIED IN MESA DEL SOL "EMPLOYMENT CENTER" AND "LEVEL B" PLANS.
- KEYED NOTES:**
- WIRELESS TELECOMMUNICATION ANTENNAS. CO-LOCATION OF MULTIPLE PROVIDERS PERMITTED. PAINT TO MATCH STRUCTURE. SEE KEYED NOTE 8 AND DESIGN STANDARDS PARAGRAPH 9, SHEET 4 OF 5.
 - DECORATIVE METAL OR CONCRETE STRUCTURE. COLOR GRAY IF COMPOSITE, AND TAN IF HYDROPILLAR STEEL. SEE SAMPLE MATERIAL IMAGES THIS SHEET.
 - PAINTED SIGNAGE. EXACT TEXT TO BE DETERMINED WITH FUTURE SUBMITTAL (FULL CIRCUMFERENCE).
 - 12'x12' OVERHEAD VEHICLE DOOR. COLOR TO MATCH PEDESTAL.
 - METAL MAN DOOR. COLOR TO MATCH PEDESTAL.
 - RAILING. COLOR TO MATCH PEDESTAL.
 - RESERVOIR 2MG DEPICTED, 3MG MAXIMUM.
 - OPTIONAL FACADE (DASHED LINE) ANTENNAE SHALL NOT EXTEND MORE THAN 10' ABOVE THE TOP OF THE RESERVOIR HEAD AND/OR MORE THAN 20' BELOW THE BOTTOM OF THE RESERVOIR HEAD.
 - F.A.A. REQUIRED LIGHTED BEACON.

- ILLUSTRATIVE RENDERING NOTES:**
- SIGNAGE DEPICTED IS FOR EXAMPLE ONLY. ACTUAL TEXT TO BE DETERMINED WITH FUTURE SUBMITTAL.
 - SEE GENERAL NOTE B FOR LIGHTING INFORMATION.
 - RENDERING IS NOT TO SCALE.
 - SEE LANDSCAPE PLAN FOR ACTUAL PERIMETER FENCE APPEARANCE.

REVISIONS:
 APRIL 12, 2007
 MODIFIED TO ADDRESS E.P.C. CONDITIONS.

**ELEVATED RESERVOIR
ELEVATION & RENDERING
ELEVATED WATER
RESERVOIR**

February 16, 2007



Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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FUTURE STRUCTURE DESIGN STANDARDS

The following design standards are in substantial accordance with the Mesa Del Sol Employment Center - Phase One Site Development Plan for Subdivision, Master Development Plan approved by the Environmental Planning Commission on September 21st, 2006. Deviations are specific to the requirements and characteristics of a Utility facility of this nature.

1. **Use: Public Utility Structure and related facilities.**
2. **Allowable coverage for all structures = .50 maximum.**
3. **Building Setbacks shall be:**
 - a. North Property Line: 10'
 - b. East Property Lines: 10'
 - c. West Property Lines: 15'
4. **Architectural Standards:**
 - a. Buildings shall incorporate one or more of the following elements:
 - i. Shifts in building massing
 - ii. Variation in height (parapet and mechanical equipment screening height acceptable)
 - iii. Variation in roof form or profile
 - b. Long expanses of wall (75' or greater in length) designed at a single height or in a single plane shall be avoided.
 - c. Recessed or projected areas of the façade appropriate for the function of the structure.
 - d. Where windows are utilized, diversify their size and shape relative to the interior function. (Glass shall be transparent)
 - e. Where large building forms are designed, break up the wall surfaces by utilizing different materials, material modules, joints, surface relief, color, or texture.
 - f. Rooftop mechanical equipment shall be screened from view of areas outside of the perimeter wall.
 - g. Building materials shall:
 - i. match the elevated reservoir in color and texture.
 - ii. be durable, economically maintained, and of a quality that will retain their appearance over time.
5. **Lighting Standards:**
 - a. All fixtures shall comply with the New Mexico Night Sky Protection Act, the City of Albuquerque Zoning Code Section 14-16-3-9, Area Lighting Regulations, and the Mesa Del Sol Level B plan, (Technical Appendix) Exceptions include lighting required by the F.A.A. and elevated reservoir signage as discussed in 5b, below.
 - b. All fixtures except those mounted to the elevated and future reservoirs shall not exceed a maximum height of (25'). All site lighting shall be uniform in design.
 - c. Security and service area lighting designed to benefit the enclosed site shall be confined within the perimeter walls. No spillover shall occur outside of the perimeter wall from this lighting. Security or service lighting located outside of the perimeter wall shall conform to 5a and 5b above.
 - d. Lighting associated with the elevated reservoir signage shall be downward directional. Backlighting is not allowed.
6. **Landscape Standards:**
 - a. Landscaping will be installed as a part of the Elevated Reservoir project.
 - b. No landscaping shall be required inside the perimeter wall except for native seed-mix re-vegetation of disturbed future development areas. Landscape standards apply to landscaping outside of the perimeter wall.
 - c. Landscaping design shall establish an aesthetic that is considerate of the high desert grassland context.
 - d. Water conservation and a well maintained appearance shall be a part of the landscape requirements.
 - e. All landscaping shall conform to the City's water conservation landscaping and waste water ordinance, pollen ordinance, and City of Albuquerque Zoning Code Section 14-16-3-10 landscaping regulations applicable to non-residential development.
 - f. Xeriscape principles shall be applied to all landscape designs including the use of drought tolerant plant materials, native plant seed mixes, soil amendments, mulches and water harvesting areas where practical.
 - g. All plant materials shall meet minimum standards established by the American Association of Nurserymen, or in the case of native plant materials, shall meet regional standards for nursery stock as established by a consensus of local growers, La Mesilla, and Mesa Del Sol representatives.
 - h. The existing site is a high desert grassland in varying conditions of density and establishment. The site has strong visual connections to near and distant mountains as well as the valley. The landscape design shall feature native and drought tolerant grasses to reinforce the sense of place and reduce demands for soil amendment and irrigation.
 - i. All plant materials shall be maintained by the owner in a living attractive condition.
 - j. Significant plant materials existing on the site may be salvaged for use elsewhere on the site.
 - k. Plants shall be selected from the approved plant palette listed in the Mesa Del Sol level B plan.
 - i. An automatic irrigation system shall be provided as required to establish all plant materials.
7. **Signage:**
 - a. Signage shall be of a simple, clean design and constructed of durable materials which are consistent and compatible with the building architecture.
 - b. Signage installed on the elevated reservoir surface shall be maintained in an attractive condition. Changes to this signage shall be approved by the Planning Director, (or His/Her designee)
 - c. Proposed ground, building, and wall mounted signage plans, temporary and permanent, including details of design materials, lettering, location, mounting size, color and lighting, are to be submitted to the Planning Director or (His/Her designee for approval)
8. **Walls and Fences:**
 - a. A perimeter wall and access gate will be constructed as a part of the Elevated Reservoir project.
 - b. The perimeter wall design shall conform to the City of Albuquerque Zoning Code, Chapter 14-16-3-19 and to the requirements of the Mesa Del Sol Level B plan.
 - c. Permitted wall height shall not exceed 8'-0".
 - d. Chain link fencing shall not be utilized in any location.
 - e. Walls, including the perimeter wall shall be maintained in an attractive condition by the owner.
 - f. Openings in the perimeter wall shall be permitted as necessary for security and aesthetic purposes.
 - g. Design and materials of walls and fences (internal to the perimeter wall) shall be coordinated with the design and materials of buildings on the site.
9. **Wireless Telecommunication**
 - a. Wireless telecommunication antennae will be installed on this facility. It shall be (panel style and) painted to match the color of the structure resulting in concealment to the maximum degree possible. (Maximum permitted antennae length shall be 6').
 - b. Wireless telecommunication antennae shall not extend more than 10' above the top of the reservoir head, and/or more than 20' below the bottom of the reservoir head.

Revisions:

- 1 April 12, 2007
Modified to address E.P.C. conditions

FUTURE STRUCTURE DESIGN STANDARDS ELEVATED WATER RESERVOIR

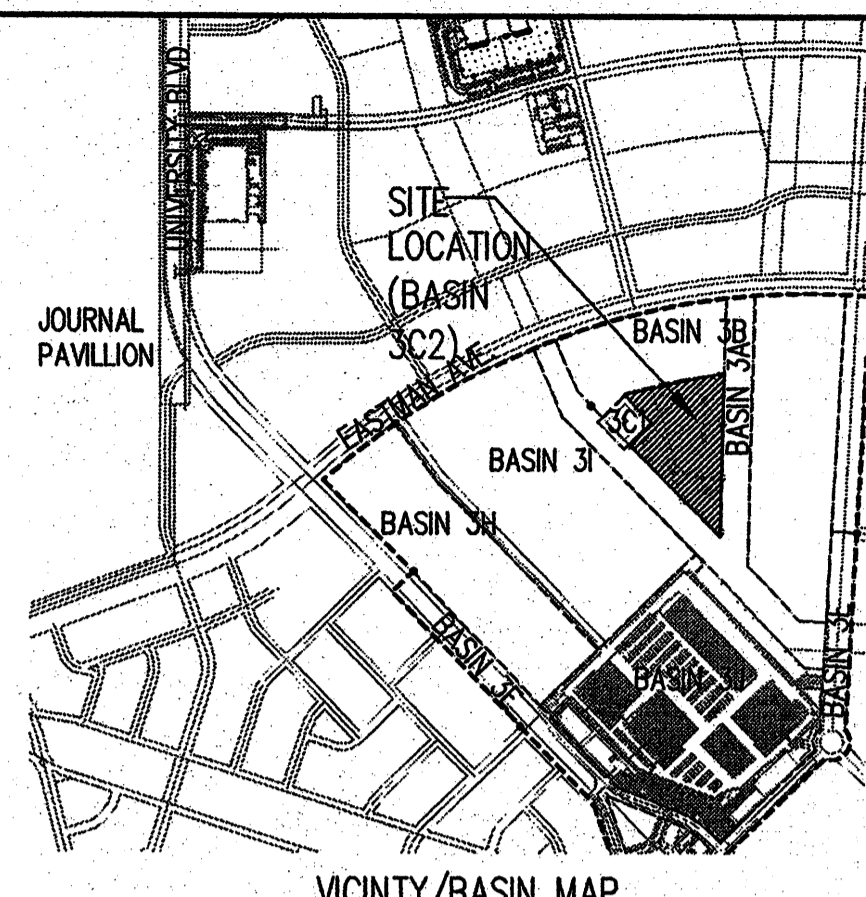
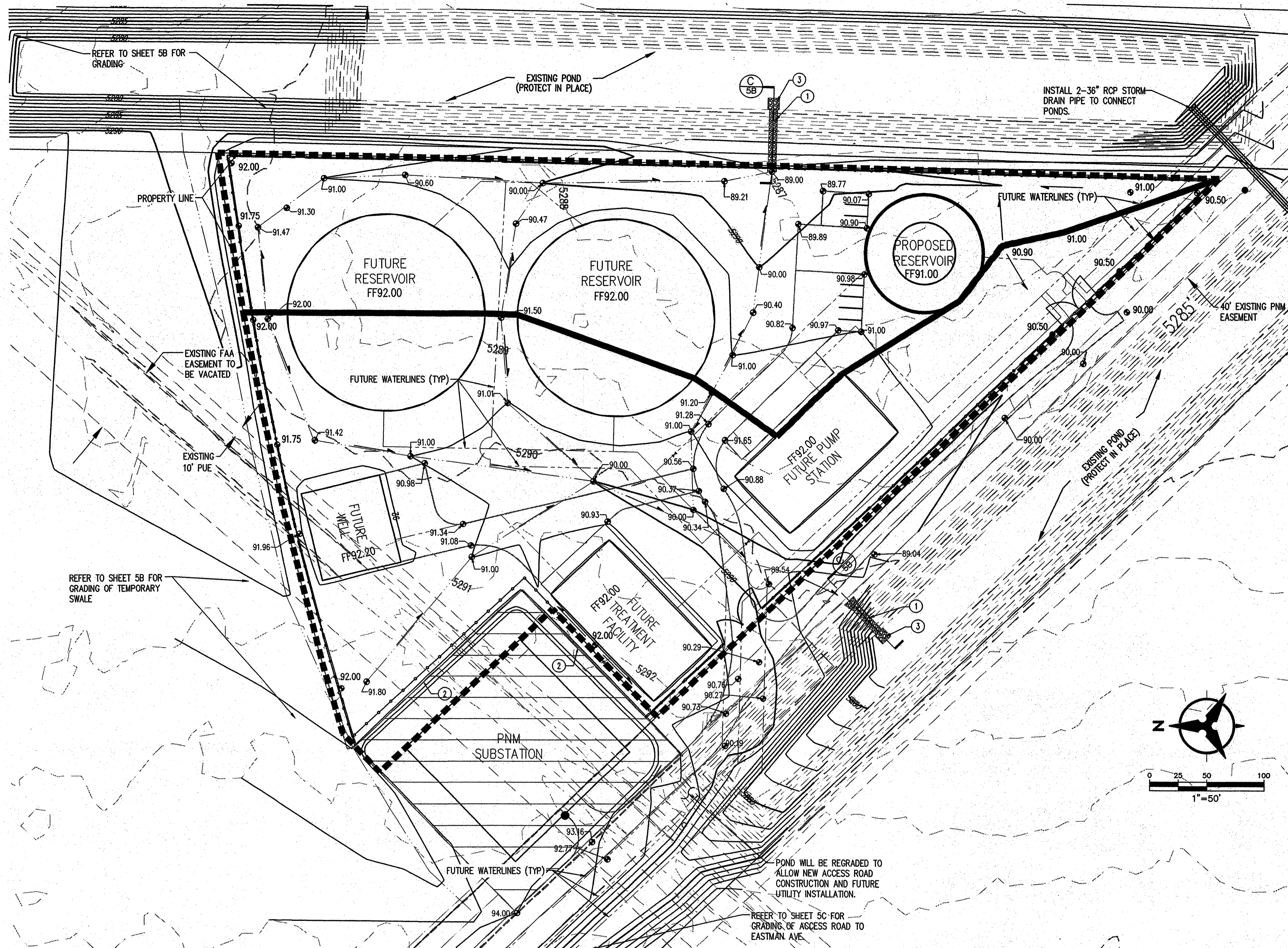
February 1, 2007



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SHEET 4 OF 5



Existing Conditions
The elevated reservoir site (The Site) is located on approximately 6.24 acre lot, which currently is undeveloped and slopes 0.5% to 1.0% from the west to east. It is located in between the two Regional Retention Ponds (Ponds) constructed with the Albuquerque Studios Site (COA Hydro File #16/D002A).

In addition, a PNM substation has been constructed to the northwest of the Site. The majority of this site is self contained and will not adversely affect the elevated reservoir site (See COA Hydro File #16/D002B).

Once the Site is completed, it will be bound on three sides. The Ponds to the east and southwest and a future developed parcel to the north.

Offsite Drainage
Current drainage from the undeveloped land to the west of the site drains into the existing pond constructed with the Albuquerque Studios site via storm drain and surface flow. A temporary swale west of the access road will direct flows to the existing pond. All drainage to the east of these adjacent tracts continues to outfall to the existing plays system to the east and will not affect the site. Drainage from the north will be diverted east into the existing ponds via a temporary swale. Upon development of the future parcels, drainage will be conveyed to the existing ponds in a manner suitable to each specific site plan, and each site will be subject to future submittal and approval.

Proposed Site Grading
The slope of the site under proposed conditions will be between 0.5% to 1.0%. A portion of the site will drain to the eastern pond while the remainder of the site will drain to the southwestern pond (See drainage basin boundaries).

All drainage will be diverted into a rip-rap runoff to prevent erosion. The ponds have previously been constructed to account for developed flows from this site with the Albuquerque Studios submittal. Currently there are only a few basins contributing to the existing Ponds. Under current conditions for these basins (including the developed flows from The Site), the maximum water surface elevation (MWSEL) is approximately 5284.60.

(Note: the ponds were sized to accept the 100 year, 10 day storm generated by the fully developed drainage area in accordance with the methodology outlined in the DPM section 22.2. Developed land treatments for Mesa del Sol sites are assumed to be 90% treatment D and 10% treatment B. Currently the top of the ponds extend to 5289.00).

A portion of the existing western pond constructed with the Albuquerque Studios site will be filled in order to allow room for an access road and future utilities to serve both the Elevated Reservoir site and the Mesa del Sol development. The pond to the east will be extended to the north to account for this volume. (Total pond volume provided after pond adjustments = 42.4 acre-ft, Total volume required for current contributing basins to the existing ponds = 18.9 acre-ft - see Table 1).

Floodplain
In accordance with FEMA Community Map Panel #35001C0555E, the site is not located within a floodplain.

Conclusion
This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan demonstrates the proposed grading and drainage design. The implementation of this design would result in the safe passage and retention of the 100 yr, 10 day storm event. With this submittal we request COA Hydrology Department approval for DRB Site Plan approval, foundation permit approval and rough grading approval.

- KEYED NOTES**
- INSTALL RIP RAP NEAR AND RUNDOWN PER DETAIL A & B, SHEET 5B. TRANSITION FROM WER SECTION TO RUNDOWN SECTION OVER 10'.
 - INSTALL TURN BLOCKS FOR DRAINAGE EVERY 20 FT, O.C.
 - INSTALL 10'X10' RIP RAP BLANKET.
- ROUGH GRADING (±0.5')
APPROVED FOR ROUGH GRADING DATE

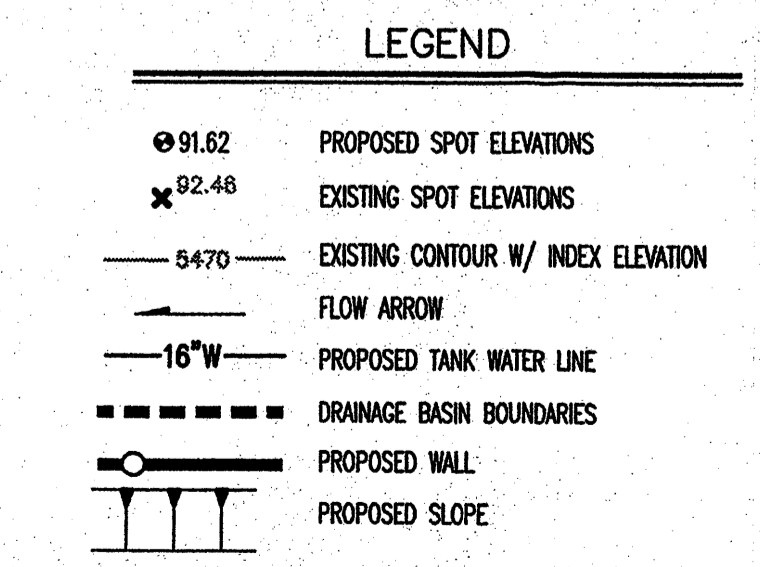
- GENERAL NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY GEO-TEST, INC. DATED 1/07 (JOB NO. 1-61202).
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 - ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE.

**TABLE 1
ELEVATED RESERVOIR - DEVELOPED HYDRAULIC CALCULATIONS**

This table is based on the DPM Section 22.2, Zone 2

SUB-BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs)	Q(100) (cfs)	WT E (inches)	V(100) (CF)	V(100) (CF)	V(100) (Acre-FT)
			A	B	C	D						
Basin 3A (Open Space/Regional Retention Ponds)	531834	12.21	0.0%	50.0%	50.0%	0.0%	3.33	40.60	1.27	66288	66288	1.29
Basin 3B*	337458	7.75	50.0%	50.0%	0.0%	0.0%	1.92	14.87	0.66	18420	18420	0.42
Basin 3C1 (PNM Substation)	38640	0.91	0.0%	10.0%	0.0%	0.0%	4.46	4.08	1.99	6560	11917	0.26
Basin 3C2 (Elevated Reservoir)	271814	6.24	0.0%	10.0%	0.0%	90.0%	4.46	27.82	1.99	44888	77903	1.78
Basin 3E (University Blvd and Harding Dr)	735836	16.89	0.0%	10.0%	0.0%	90.0%	4.46	75.31	1.99	121781	210081	4.82
Basin 3F*	689417	15.83	50.0%	50.0%	0.0%	0.0%	1.92	30.39	0.66	37631	37631	0.86
Basin 3I*	1111681	25.53	50.0%	50.0%	0.0%	0.0%	1.92	48.01	0.66	60690	60690	1.39
Basin 3J (Albuquerque Studios)	1231689	28.28	0.0%	10.0%	0.0%	90.0%	4.46	126.05	1.99	203944	391647	8.07
Total	4089276.80	93.67								476491.91	823676.14	18.91

* UNDEVELOPED CONDITIONS AT THIS TIME



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**CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT**

**MESA DEL SOL
 ELEVATED WATER RESERVOIR
 SITE GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL: MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. ZONE MAP NO. SHEET OF

R-16-Z 5A OF 5

AS-BUILT INFORMATION

CONTRACTOR	DATE
MARK SPACED BY	DATE
GROUND STAMPED "5-Q-14, 1987"	DATE
FIELD CHECKED BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	DATE

BENCH MARKS

ACCS 3-1/4" ALUMINUM CAP REVEITED TO A TUBE SET IN A CONCRETE BASE IN THE	DATE
FROM THE RIO BRAVO BLVD. AND BROADWAY INTERSECTION GO SOUTH 0.9 MILES AND PROCEED 123 WEST OF THE CENTERLINE.	DATE
STATE PLANE COORDINATES (CENTRAL ZONE, NAD83/NAVD83) N=1480471.432 E=1921388.190 (GROUND) ELEV.=4981.17	DATE

SURVEY INFORMATION

FIELD NOTES	NO.	DATE	BY

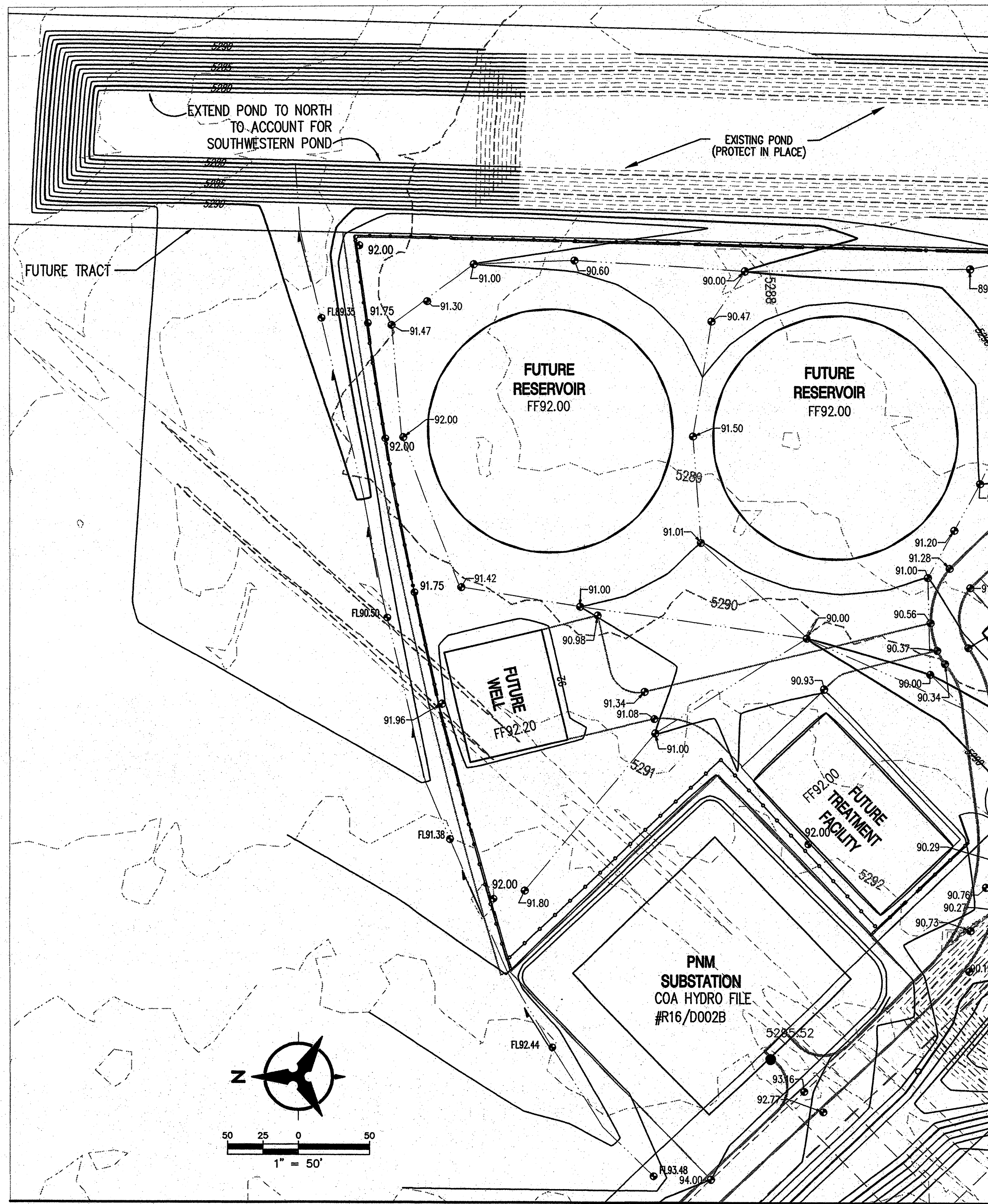
ENGINEER'S SEAL

DRB

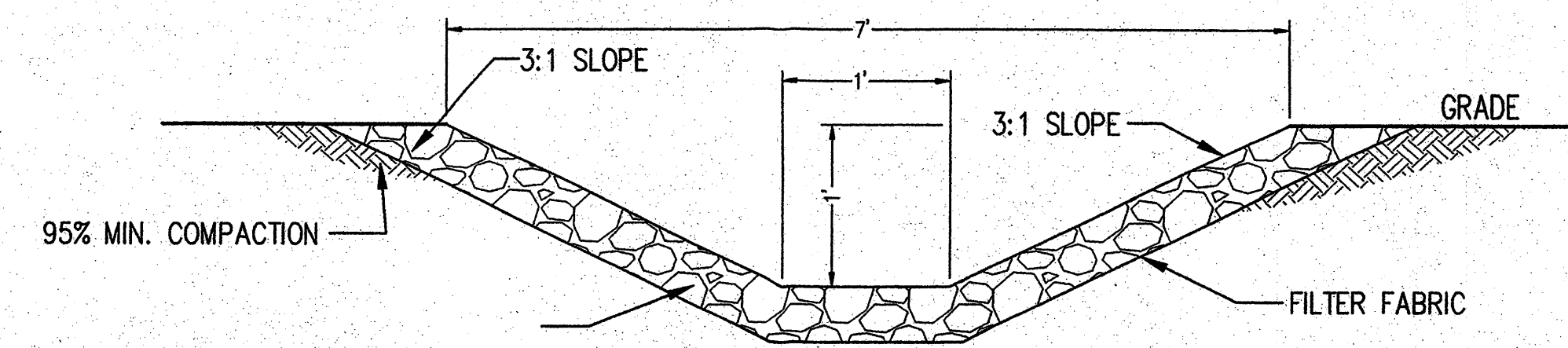
DATE 07/2007
 DATE 01/2007
 DATE 07/2007

REVISIONS

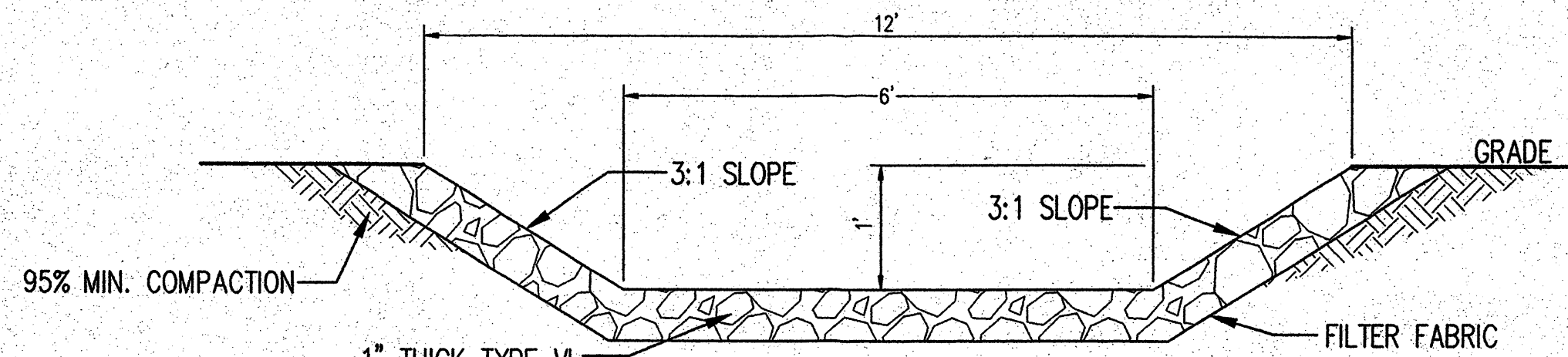
NO.	DATE	BY	REMARKS



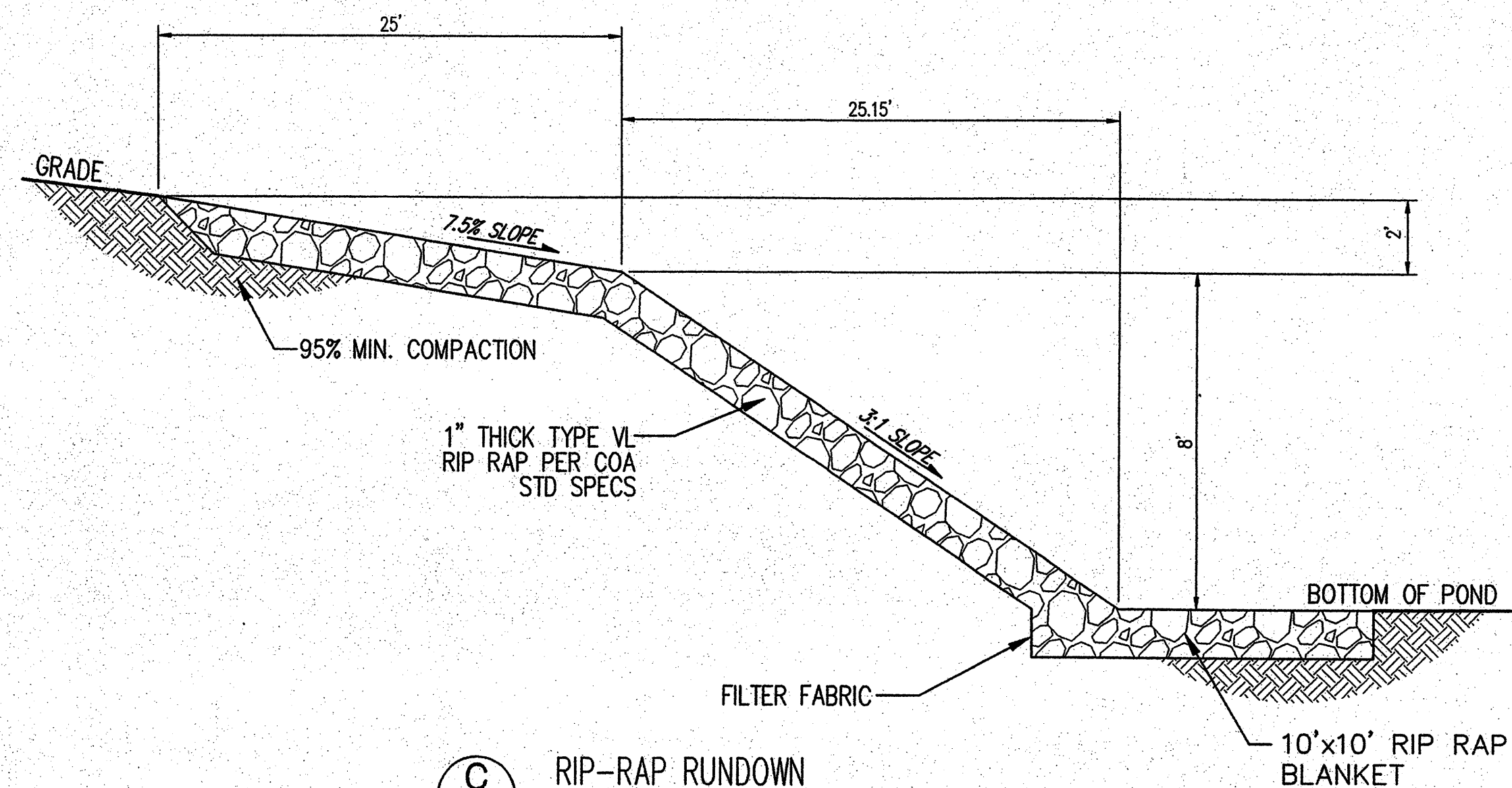
MATCHLINE SEE SHEET 5C



(A)
5B RIP-RAP RUNDOWN TYPICAL SECTION
N.T.S.



(B)
5B RIP-RAP RUNDOWN WEIR SECTION
N.T.S.



(C)
5B RIP-RAP RUNDOWN
N.T.S.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED SWALE FLOWLINE

BHI JOB NO. 070204

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACCS 3-1/4" ALUMINUM CAP REVEY TO A	TUBE SET IN A CONCRETE BASE IN THE	NO.	BY	REVISIONS	DATE
WORKS BY	DATE	GROUND STAMPED "5-Q-14, 1987"	FROM THE RIO BRAVO BLVD. AND BROADWAY	DESIGNED BY	DATE	DESIGN	DATE
SUSPECT'S ACCEPTANCE BY	DATE	INTERSECTION GO SOUTH 0.9 MILES AND	PROCEED 123 WEST OF THE CENTERLINE.	DRAWN BY	DATE		DATE
VERIFY DRAWINGS	DATE	STATE PLANE COORDINATES (CENTRAL ZONE,	MADE83 (NAVD88) N=1460471.432	CHECKED BY	DATE		DATE
RECORDED BY	DATE		E=1521388.160 (GROUND) ELEV.=4981.17				

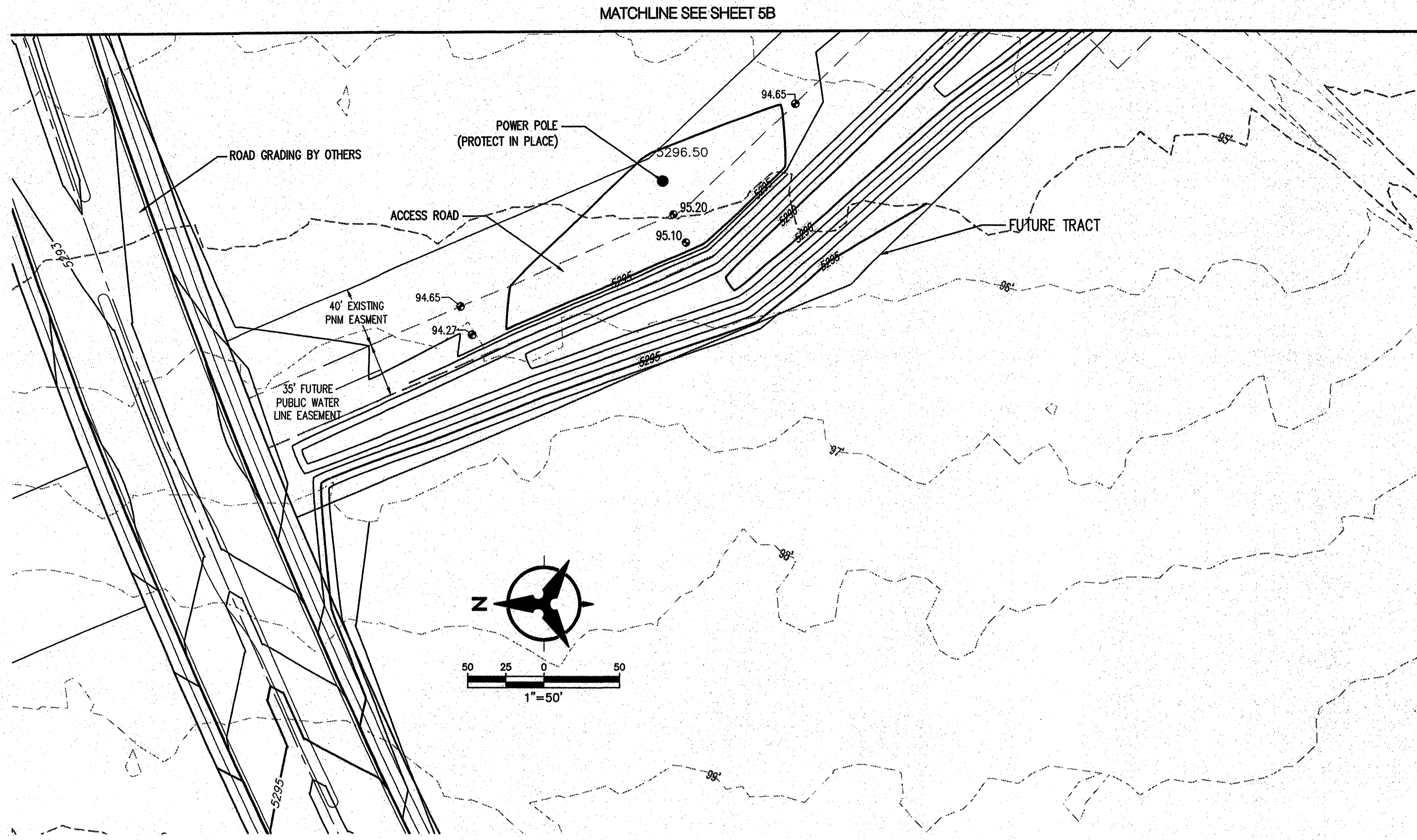
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MESA DEL SOL ELEVATED RESERVOIR OFFSITE GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/HR.	MO./DAY/HR.
		LAST DESIGN UPDATE	
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	R-16-Z	5B	5

P:\070204\cdp\general\070204gp01.dwg
 Fri, 6-Jul-2007 - 12:50:pm, Plotted by: MBALASKOWITS



LEGEND

———	PROPERTY LINE
- - - - -	EXISTING CONTOUR
— · — · —	PROPOSED INDEX CONTOUR
— · — · —	PROPOSED INTERMEDIATE CONTOUR
● 92.50	PROPOSED SPOT ELEVATION
—>—	PROPOSED SWALE FLOWLINE

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MESA DEL SOL ELEVATED RESERVOIR OFFSITE GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
		LAST DESIGN UPDATE	

CITY PROJECT NO. _____ ZONE MAP NO. **R-16-Z** SHEET **5C** OF **5**

BHI JOB NO. 070204

SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL		BENCH MARKS		AS-BUILT INFORMATION	
NO.	BY	NO.	DATE			ACS 3-1/4" ALUMINUM CAP REVEALED TO A TUBE SET IN A CONCRETE BASE IN THE GROUND STAMPED "5-0-14, 1987".	CONTRACTOR	DATE	DATE
						FROM THE RO BRAVO BLVD. AND BROADWAY INTERSECTION GO SOUTH 0.9 MILES AND PROCEED 123' WEST OF THE CENTERLINE. <td></td> <td></td> <td></td>			
						STATE PLANE COORDINATES (CENTRAL ZONE, NAD83/NAVD88) N=1460471.432, E=1521388.180 (GROUND) ELEV=4981.17			

DRB

NO.	DATE	REMARKS	BY	DATE
		REVISIONS		
		DESIGN		

DESIGNED BY _____ DATE _____
 DRAWN BY _____ DATE _____
 CHECKED BY _____ DATE _____