



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 2, 2008

Project# 1005357

07DRB-70392 MAJOR - PRELIMINARY PLAT APPROVAL
07DRB-70395 EPC APPROVED SDP FOR SUBDIVISION
07DRB-70419 EPC APPROVED SDP FOR BUILD PERMIT

SURV-TEK INC agent(s) for OXBOW TOWN CENTER, LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A2 & X-2-A UNIVERSITY OF ALBUQUERQUE URBAN, **UNIVERSITY OF ALBUQUERQUE URBAN CENTER TBK OXBOW TOWN CENTER**, zoned SU-3, located on ST JOSEPH'S DRIVE NW BETWEEN COORS BLVD NW AND ATRISCO DRIVE NW containing approximately 47.72 acre(s). (G-11) (*Deferred from 12/12/07*)

At the January 2, 2008 Development Review Board meeting, the preliminary plat was approved.

The site development plan for subdivision was approved with final sign-off delegated to planning for Carmen Marrone's initials and for 3 copies.


The site development plan for building permit was approved with final sign-off delegated to Transportation to address comments, and to the City Engineer for SIA, staff planners initials, and for 3 copies.

If you wish to appeal these decisions, you must do so by January 17, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, Acting DRB Chair

Cc: George Rainhart Architect & Associates – 2325 San Pedro NE Ste 2-B
Albuquerque, NM 87110

Cc: Sunland Development Group LLC – 4407 Lomas Blvd NE - Albuquerque, NM
87110

Cc: Surv-Tek, Inc – 9384 Valley View Dr NW – Albuquerque, NM 87114

Cc: Oxbow Town Center, LLC – 4407 Lomas Blvd. NE – Albuquerque, NM 87110

Marilyn Maldonado
File



DRB CASE ACTION LOG (SDP – SUBD)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70395

Project # 1005357

Project Name: UNIVERSITY OF ALBUQUERQUE URBAN CENTER

Agent: GEORGE RAINHART

Phone No.:

Your request was approved on 1-2-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - Staff Planning comments

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____

-Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

Created for:



DRB CASE ACTION LOG (SDP - BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70419 Project # 1005357
 Project Name: UNIVERSITY OF ALBUQUERQUE URBAN CENTER
 Agent: GEORGE RAINHART Phone No.:

Your request was approved on 1-2-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: per comments

UTILITIES: _____

CITY ENGINEER / AMAFCA: per J/A

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created for: 1-2-08

#2

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Division

INTER-OFFICE MEMO

December 12, 2007

TO: DRB Chair
FROM: Carmen Marrone, Senior Planner
RE: **Project #1005357, Oxbow Town Center**

On April 12, 2007, the EPC approved a Site Development Plan for Subdivision and a Site Development Plan for Building Permit for approximately 48 acres located on Coors Blvd NW between Western Trails and Sequoia.

I have reviewed the DRB Site Development Plans and find that the applicant has complied with most of the EPC conditions except for the following:

Condition 7i regarding public access easements which will be handled with the plat

Condition 9b regarding the City's Energy Management goal

Condition 10a regarding coordination with the Transit Department

Condition 11b and 11c – landscaping comments need to be verified

Condition 14 regarding water harvesting

If you have any questions regarding this case, please call me at 924-3814.

DRB PUBLIC HEARING SIGN IN SHEETS

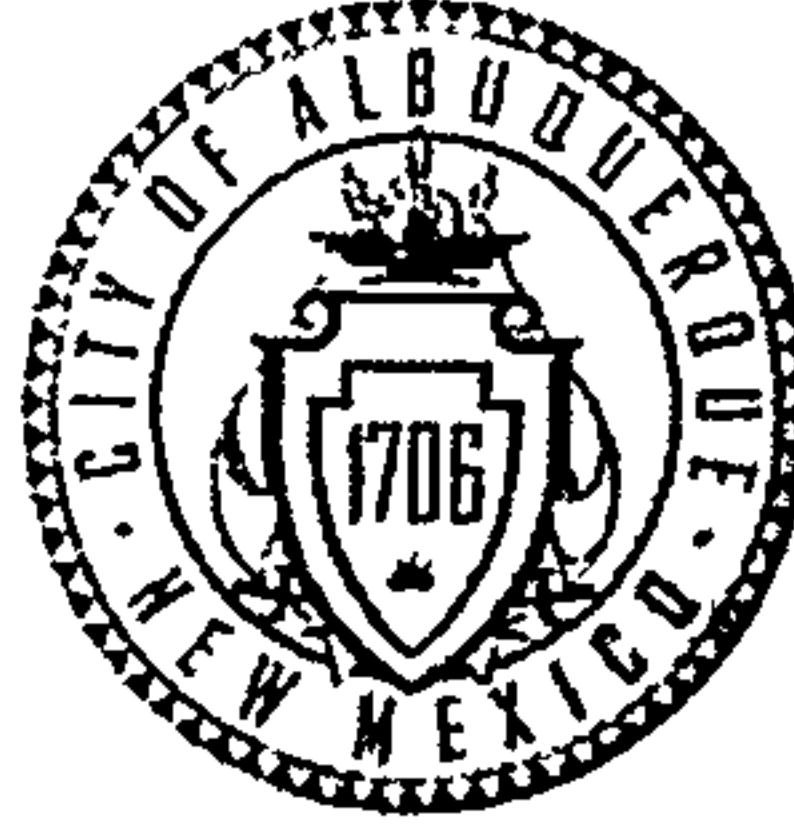
PROJECT #: 1005357 AGENDA# 2 DATE: 12/12/07

1. Name: Russ Huggs Address: 9384 VALLEY VIEW Zip: 87114
2. Name: JASON WOODRUFF Address: 5643 PARADISE Zip: 87114
3. Name: Jeff Jesionowski Address: 4407 LOMAR NE Zip: 87110
4. Name: Jim Royce Address: 4407 LOMAR NE Zip: 87110
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1005357 AGENDA# 8 DATE: 1/2/08

1. Name: _____ Address: _____ Zip: _____
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3. Name: _____ Address: _____ Zip: _____
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11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 12, 2007 9:00 AM

MEMBERS:

Andrew Garcia, Acting Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

- 1. Project# 1000060**
07DRB-70393 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

PAUL HALAJIAN - MODRALL SPERLING agent(s) for
SANDIA FOUNDATION request(s) the above action(s) for
all or a portion of Lot(s) C & D-1-B, **GATEWAY**
SUBDIVISION, zoned SU-2, C-3, located on LOMAS NE
AND WOODWARD NE INTERSECTION BETWEEN I-
25 NE AND HIGH ST NE (J-15) **THE TWO YEAR**
EXTENSION OF THE SUBDIVISION IMPROVEMENT
AGREEMENT (SIA) WAS APPROVED

2. **Project# 1005357**
07DRB-70392 MAJOR - PRELIMINARY
PLAT APPROVAL

SURV-TEK INC agent(s) for OXBOW TOWN CENTER, LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A2 & X-2-A UNIVERSITY OF ALBUQUERQUE URBAN, UNIVERSITY OF ALBUQUERQUE URBAN CENTER TBK OXBOW TOWN CENTER, zoned SU-3, located on ST JOSEPH'S DRIVE NW BETWEEN COORS BLVD NW AND ATRISCO DRIVE NW containing approximately 47.72 acre(s). (G-11) **DEFERRED TO 1/2/08 AT THE AGENT'S REQUEST.**

07DRB-70395 EPC APPROVED SDP
FOR SUBDIVISION

GEORGE RAINHART & ASSOCIATES agent(s) for SUNLAND DEVELOPMENT GROUP, LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A1, X-1-AZ, X-2-A, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, zoned SU-3 (R-2, C-2, 0-1), located on COORS BLVD NW AND ENCANTADA DEL SUR containing approximately 47.2 acre(s). (G-11) *[EPC Planner - Carmen Marrone]* **DEFERRED TO 1/2/08 AT THE AGENT'S REQUEST.**

07DRB-70419 EPC APPROVED SDP
FOR BUILD PERMIT

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for SUNLAND DEVELOPMENT GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A-1, X-1-A-2, X-2-A, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, zoned SU-3/ R-2,C-2,0-1 USES, located on ST JOSEPH'S DR NW BETWEEN COORS BLVD NW AND ATRISCO DR NW containing approximately 47.2 acre(s). (G-11) *[EPC Planner - Stephanie Shumsky]* **DEFERRED TO 1/2/08 AT THE AGENT'S REQUEST.**

3. **Project# 1000296**
07DRB-70391 VACATION OF PUBLIC
EASEMENT

BOHANNAN HUSTON INC agent(s) for SCOTT PATRICK HOMES request(s) the above action(s) for all or a portion of Lot(s) 16A-P1 & 17A-P1, OXBOW VILLAGE, zoned SU-3, located on OXBOW VILLAGE LANE NW BETWEEN OXBOW DR NW AND ST JOSEPH'S DR NW (G-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

4. **Project# 1003198**
07DRB-70394 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
07DRB-70396 EXT OF SIA FOR TEMP
DEFR SDWK CONST
- RIO GRANDE ENGINEERING agent(s) for FULLER HOMES request(s) the above action(s) for all or a portion of **AUTUMN VIEW SUBDIVISION**, zoned RD/R-1 located on TOWER RD SW BETWEEN COORS BLVD SW AND STINSON SW (L-10) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED. THE TWO YEAR EXTENSION FOR THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
5. **Project# 1006833**
07DRB-70254 MAJOR - SDP FOR
SUBDIVISION
07DRB-70255 MAJOR - SDP FOR
BUILDING PERMIT
- GEORGE RAINHART ARCHITECTS agent(s) for WEBER AND COMPANY request(s) the above action(s) for all or a portion of Tract(s) S2A2, S2A1 & S1A, **ATRISCO BUSINESS ADDITION (to be known as UNSER TOWNE CROSSING)**, zoned IP, located on LOS VOLCANES NW BETWEEN UNSER BLVD NW AND GALATIN NW containing approximately 53 acre(s). (J-9 & J-10) [*Deferred from 10/10/07 & 11/14/07*] **DEFERRED TO 1/30/08 AT THE AGENT'S REQUEST.**
6. **Project# 1006854**
07DRB-70340 VACATION OF PUBLIC
EASEMENT
07DRB-70341 VACATION OF PUBLIC
RIGHT-OF-WAY
07DRB-70342 BULK LAND VARIANCE
07DRB-70343 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of **UNPLATTED LAND SECTION 15 (to be known as THE TRAILS UNIT 4)**, zoned SU2-UR35, SU2-SRLL18, SU-1 FOR OPEN SPACE, SU2-TC65 & SU2-NMU35, located on UNIVERSE BLVD NW BETWEEN AVENIDA DE JAIMITO NW AND WOODMONT AVE NW containing approximately 34.85 acre(s). (C-10) [*Deferred from 11/21/07*]
- THE VACATION OF PUBLIC EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE VACATION FOR PUBLIC RIGHT-OF-WAY WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR NEW MEXICO UTILITIES SIGNATURE, AGIS DXF, AND TO RECORD AND TO CITY ENGINEER FOR PUBLIC DRAINAGE EASEMENTS TO BE SHOWN ON PLAT.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

7. **Project# 1000965**
07DRB-70421 AMENDED SDP FOR
SUBDIVISION
- CONSENSUS PLANNING agent(s) for ANDALUCIA DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1-164, 1-54 & 1-60, Tract(s) A, B-2 & 6A, **LANDS OF RAY A GRAHAM III, OVEN CORP & COA; ANDALUCIA AT LA LUZ**, zoned SU-1 FOR PRD & MPOS, located on COORS BLVD NW BETWEEN MONTANO RD NW AND NAMASTE RD NW containing approximately 158 acre(s). (F-11/12 & E-12) **DEFERRED TO 12/19/07 AT THE AGENT'S REQUEST.**
8. **Project# 1003714**
07DRB-70364 EPC/SDP FOR BUILDING
PERMIT
- ALEXANDER FINALE agent(s) for ASSOCIATED HOME & RV SALES, INC request(s) the above action(s) for all or a portion of Tract(s) C-3-A, **ADOBE WELLS SUBDIVISION**, zoned SU1 FOR IPC-2/R-2, located on EAGLE RANCH NW BETWEEN WESTSIDE NW AND COORS BYPASS BLVD NW containing approximately 2.29 acre(s). (B-13) *[Deferred from 11/14/07 & 11/21/07, 11/28/07 & 12/5/07]. [EPC Planner – Carol Toffaleti]* **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES AND TO TRANSPORTATION FOR PUBLIC SIDEWALK EASEMENT.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project# 1003125**
07DRB-70192 MINOR - FINAL PLAT
APPROVAL
- MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE/AVIATION & ECLIPSE AVIATION INC request(s) the above action(s) for all or a portion of Tract(s) D-1 & S-1, **LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK**, zoned SU-1/ AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW BETWEEN PASEO DEL VOLCAN NW AND SHOOTING RANGE PARK RD NW containing approximately 251 acre(s). (F-G/6). **DEFERRED TO 12/19/07 AT THE AGENT'S REQUEST.**

10. **Project# 1002459**
07DRB-70420 SIDEWALK WAIVER

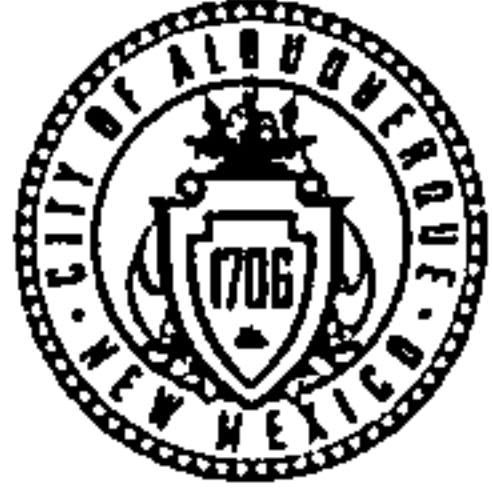
TIERRA WEST LLC agent(s) for QUAIL RIDGE LLC request(s) the above action(s) for all or a portion of Lot(s) 2A, **QUAIL RIDGE**, zoned SU-1 FOR COMMERCIAL & RELATED C-2 USES, located on COORS BLVD NW BETWEEN OURAY RD NW AND QUAIL RD NW containing approximately 3.5221 acre(s). (H-11) **THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. **Project# 1003257**
07DRB-70415 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for VANTAGE BUILDERS, INC request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) 19, HOA Tract 1, **SALTILLO Unit(s) 1**, zoned R-1, located on MARAVILLAS NW BETWEEN MCMAHON NW NUEVA ESPANA NW containing approximately 0.1818 acre(s). (A-10) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTOR LANGUAGE, AGIS DXF, HOA SIGNATURE ON PLAT AND TO RECORD.**

12. Approval of the Development Review Board Minutes for October 17, 2007.

ADJOURNED: 10:12



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 12, 2007

Project# 1005357
07DRB-70392 MAJOR - PRELIMINARY PLAT APPROVAL
07DRB-70395 EPC/ SDP FOR SUBDIVISION

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GEORGE RAINHART & ASSOC agent(s) for SUNLAND DEVELOPMENT GROUP, LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A1, X-1-AZ, X-2-A, **UNIVERSITY OF ALBUQUERQUE URBAN CENTER** zoned SU-3 (R-2, C-2, 0-1), located on COORS BLVD NW BETWEEN ENCANTADA DEL SUR SUBDIVISION containing approximately 47.2 acre(s). (G-11)[*Stephanie Shumsky – EPC Planner*]

AMAFCA

No adverse comments.

COG

MPO Project ID 616.0 "Coors Corridor Study" is included in the 2030 MTP and the TIP. This study will address transportation management strategies to implement in upcoming years.

Coors Bd is a limited-access principal arterial, with full access provided at Sequoia Rd to the south, St. Josephs Dr in the vicinity of the development, and Western Tr. to the north. In addition, right-in and right-out driveway access to Coors Bd are described in the Coors Corridor Plan. Any additional access not covered in the above description would require the consent of both NMDOT (owner of the facility) and the TCC. Atrisco Bd is functionally classified as an urban collector; St. Joseph's Dr is functionally classified as an urban minor arterial.

Transit

No comments received.

Zoning Enforcement

No adverse comments.

Neighborhood Coordination

Letter(s) sent to: Vista Grande NA (R) Villa De Paz HOA

APS

Oxbow Town Center, Tracts X-1-A2 and X-2-A, University of Albuquerque Urban Center (tbka Oxbow Town Center) is located on St Joseph's Dr NW between Coors Blvd NW and Atrisco Dr NW. The owner of the above property requests Preliminary Plat Approval for the construction of multiple retail and office developments. This will have no adverse impacts to the APS district.

University of Albuquerque Urban Center, Tracts X-1-A1, X-1-AZ, X-2-A, is located on Coors Blvd NW between Encantada Del Sur Subdivision. This is in conjunction with the above development, and will have no adverse impacts to the APS district.

Police Department

No crime prevention or CPTED comments at this time.

Fire Department

3 – FD

PNM Electric & Gas

No adverse comments.

Comcast

No comments received.

QWEST

No comments received.

Environmental Health

No comments received.

M.R.G.C.D.

No adverse comments.

Open Space Division

Open Space has no adverse comments.

City Engineer

An approved drainage report and infrastructure list is required for Preliminary Plat approval.

Transportation Development

Coordination with NMDOT required prior to infrastructure list approval

Parcels A, K, and H contain public roadway easements; explain why these easements should be public

Provide an exhibit for Coors Blvd and St Josephs Drive showing the location of sidewalk and defining the distance from face of curb to the property line

Public Pedestrian Grade Separation Crossing easement only 20 feet wide? Provide more information

Per the Development Process Manual, Table 23.3.3, the right of way at the intersection of a minor arterial and a collector roadway requires a radius of 30 feet (see curve C12)

Parks & Recreation

What is being developed, is it residential?

ABCWUA

No objections to Preliminary Plat and Site Plat approval with minor clarifications and corrections on Utility Plan and Infrastructure List.

Planning Department

Planning has no objection to the preliminary plat request

Impact Fee Administrator

Construction of new non-residential facilities within the proposed subdivision will require payment of Impact Fees. Based on the proposed site plan the total fees due will be approximately \$2,298,782. The individual fees are the following:

Drainage Fees for an estimated 42.41 impervious acres in the Northwest Mesa Service Area will be approximately \$595,945.

Public Safety Fees in the Westside Service Area will be approximately \$19,125 for 255,000 sq. ft. of office uses and approximately \$95,835 for 281,047 sq. ft. of retail uses, for an approximate total of \$114,960.

Roadways fees for the Northwest Mesa service area will be approximately \$657,518 for 255,000 sq. ft. of office uses with the jobs/housing balance reduction per Resolution R-04-159, approximately \$622,051 for 248,433 sq. ft. of general retail uses with the jobs/housing balance reduction, approximately \$243,674 for 30,600 sq. ft. of quality restaurant uses with the jobs/housing balance reduction, and approximately \$64,634 for 2008 sq. ft. of fast food restaurant with a drive-thru use, for an approximate total of \$1,587,877.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: George Rainhart Architect & Associates – 2325 San Pedro NE Ste 2B – Alb., NM 87110

Cc: Sunland Development Group LLC – 4407 Lomas Blvd NE – Albuquerque, NM 87110

Cc: Surv-Tek, Inc – 9384 Valley View Dr NW – Albuquerque, NM 87114

Cc: Oxbow Town Center LLC – 4407 Lomas Blvd NE – Albuquerque, NM 87110



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January 2, 2008

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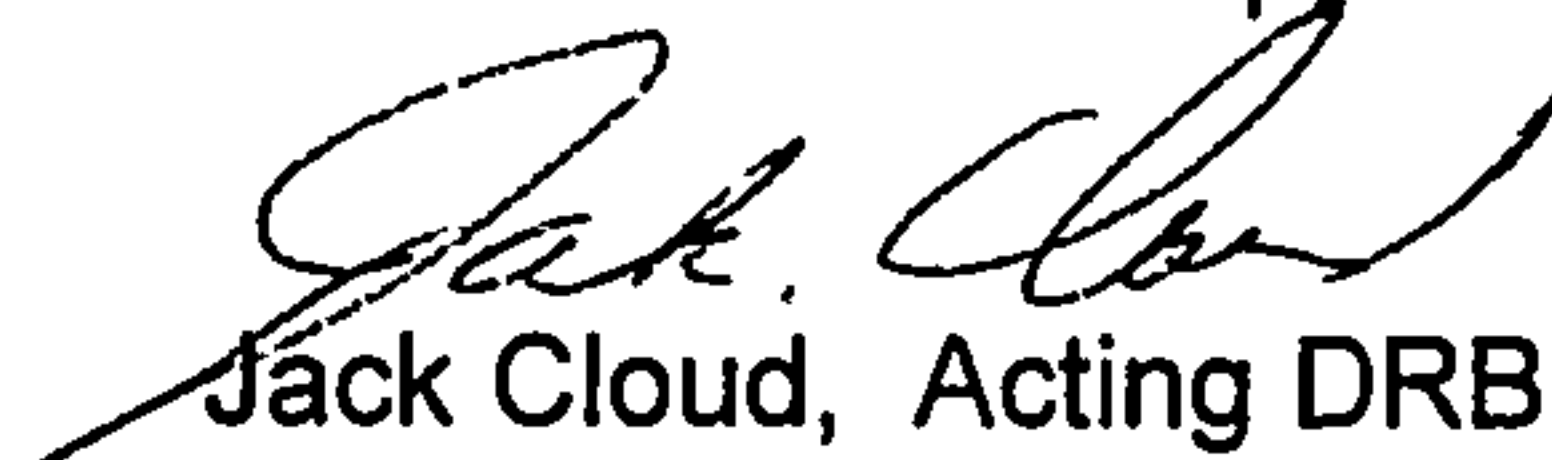
The site development plan for building permit was approved with final sign-off delegated to Transportation to address comments, and to the City Engineer for SIA, staff planners initials, and for 3 copies.

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Jack Cloud, Acting DRB Chair

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Marilyn Maldonado
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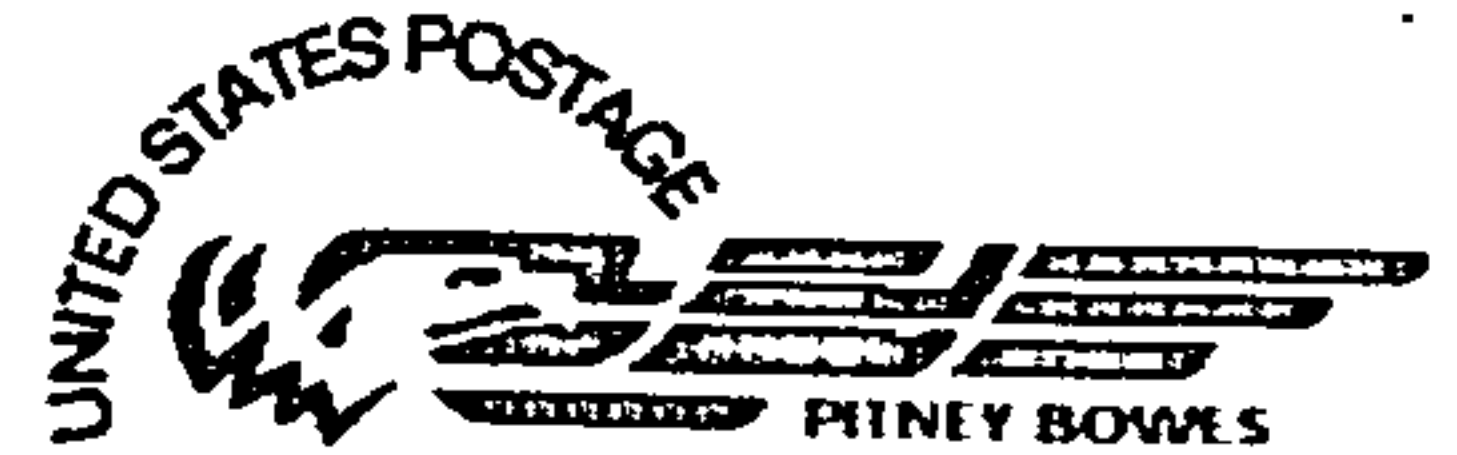
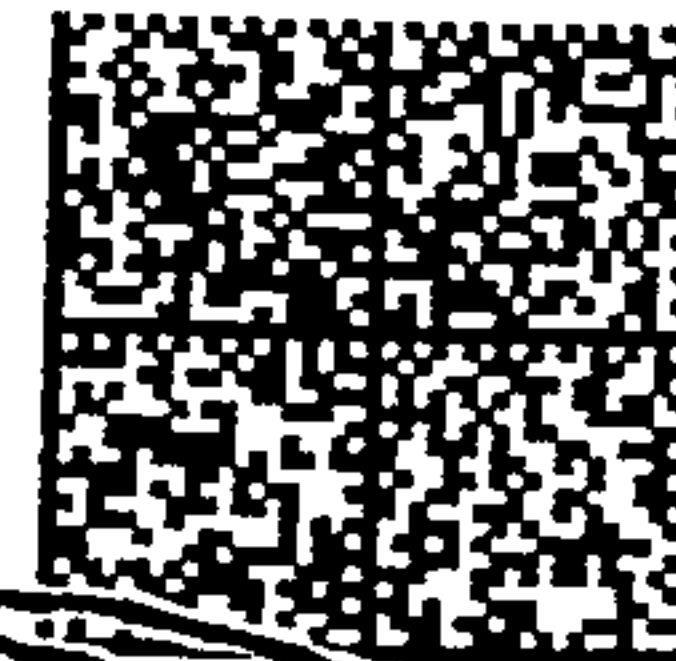
CITY OF ALBUQUERQUE



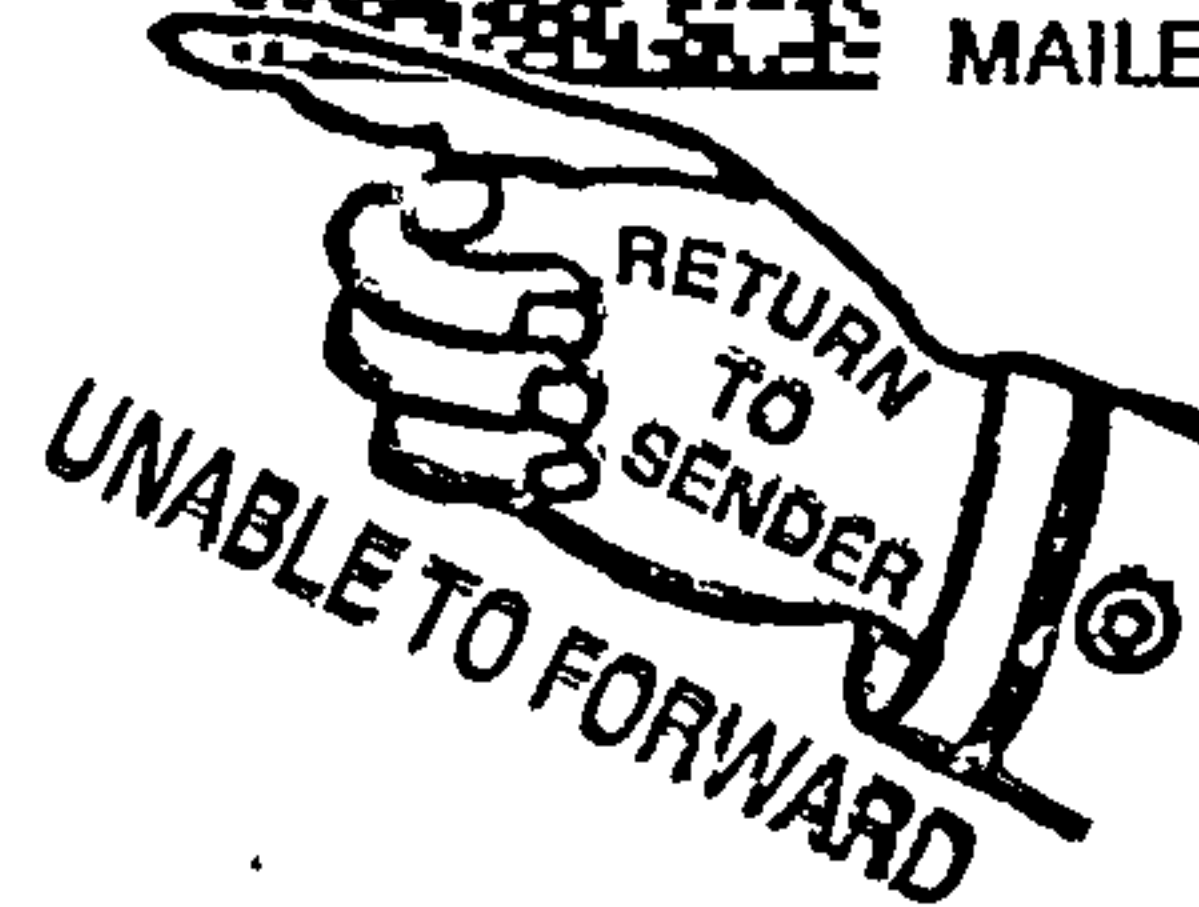
Planning Department

ANK
PLEASE PUT RETURN ADDRESS!
DRB

George Rainhart Architect & Associates
2625 San Pedro NE Ste 2-B
Albuquerque, NM 87110



02 1M \$ 00.41⁰
0004219022 JAN 07 2008
MAILED FROM ZIP CODE 87102

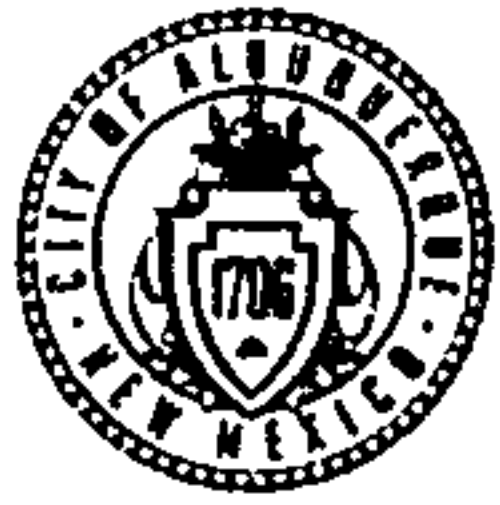


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87110+3320



P O Box 1293 Albuquerque, New Mexico 87103

ANK



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 13, 2010

Project# 1005357
10DRB-70280 EXT OF MAJOR PRELIMINARY PLAT

SURV-TEK INC agent(s) for OXBOW TOWN CENTER LLC request(s) the above action(s) for all or a portion of Lot(s) , Block(s) , Tract(s) X-1-A2 & X-2-A, **UNIVERSITY OF ALBUQUERQUE URBAN CENTER Unit(s)** , zoned SU-3, located on ST JOSEPH'S DRIVE NW BETWEEN COORS BLVD NW AND ATRISCO DR NW containing approximately 47.72 acre(s). [REF:] (G-11)

At the October 13, 2010 Development Review Board meeting, the one-year extension of the preliminary plat was approved. The conditions of final plat still apply.

If you wish to appeal this decision, you must do so by October 28, 2010, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Jack Cloud, AICP, DRB Chair

Cc: Surv-Tek, Inc. – 9384 Valley View Dr NW – Albuquerque, NM 87114
Cc: Oxbow Town Center, LLC – 4407 Lomas Blvd. NE – Albuquerque, NM 87111
Marilyn Maldonado
file

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

10/22/2012 Issued By: E08375 167800

Category Code **910**
2012 070 335

Application Number: 12DRB-70335, Ext Of Major Preliminary Plat

Address:

Location Description: ST JOSEPH'S DR NW BETWEEN COORS BLVD NW AND ATRISCO DR NW

Project Number: 1005357

Applicant

OXBOW TOWN CENTER, LLC

PO BOX 6631
ALBUQUERQUE NM 87197

Agent / Contact

SURV-TEK INC
RUSS HUGG
9384 VALLEY VIEW DR NW
ALBUQUERQUE NM 87114

RUSSHUGG@SURVTEK.COM

Application Fees

APN Fee

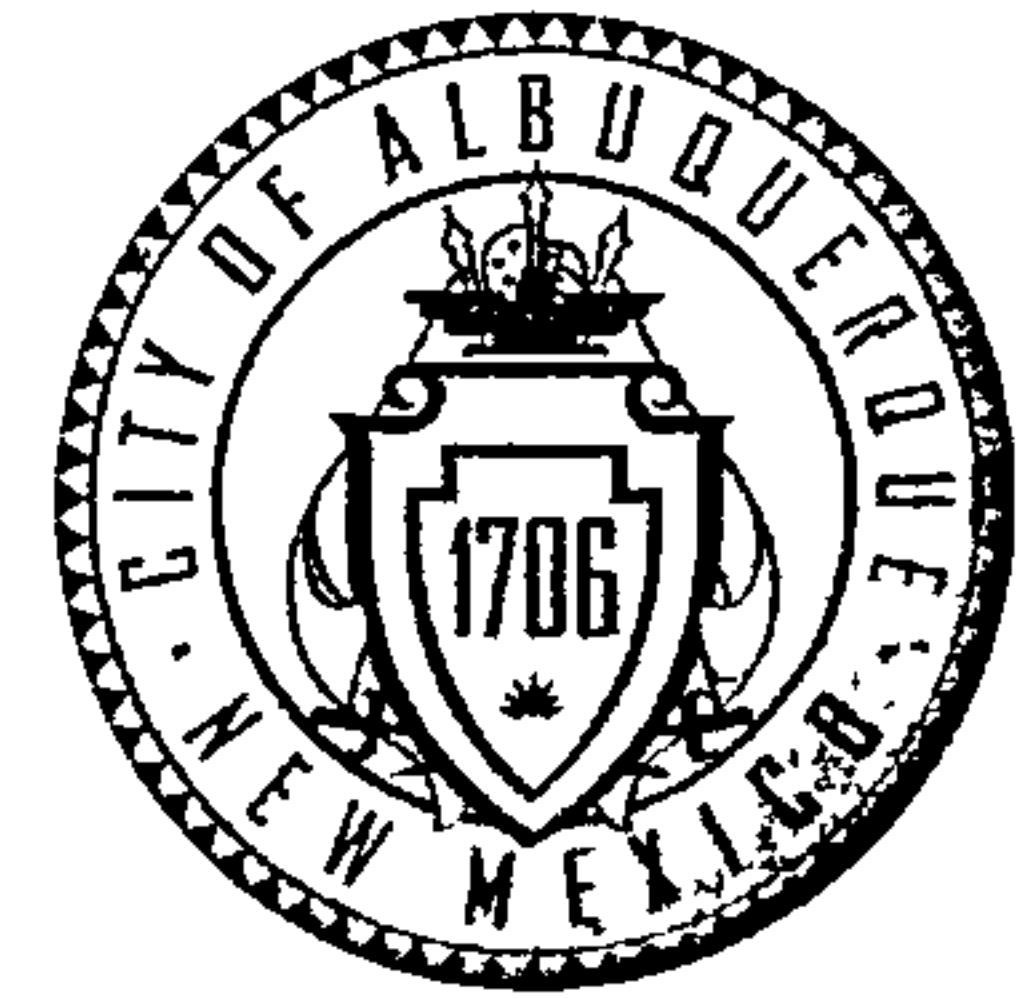
Conflict Mgmt Fee \$20.00

DRB Actions \$50.00

TOTAL: \$70.00

City of Albuquerque Treasury
Date: 10/22/2012 Office: ANNEX
Stat ID: W5000008 Cashier: TRSSIV
Batch: 914 Trans #: 31
Permit: 2012070335
Receipt Num 00064177
Payment Total: \$70.00
0901 Conflict Mgmt. Fee \$20.00
0903 DRB Actions \$50.00
Check Tendered : \$70.00

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1005357

AGENDA ITEM NO: 6

SUBJECT:

Preliminary Plat Ext

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

Albuquerque

NM 87103

RESOLUTION:

APPROVED X^{ext}; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: November 12, 2009

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

11/03/2009 Issued By: PLNSDH 60152

Permit Number: 2009 070 340 **Category Code 910**

Application Number: 09DRB-70340, Ext Of Major Preliminary Plat

Address:

Location Description: ST JOSEPH'S DRIVE NW BETWEEN COORS BLVD NW ANMD ATRISCO DR NW

Project Number: 1005357

Applicant
Oxbow Town Center Llc

4407 Lomas Blvd Ne
Albuquerque NM 87110
259-0981

Agent / Contact
Surv-Tek Inc
Russ Hugg
9384 Valley View Dr Nw
Albuquerque NM 87114

russhugg@survtek.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$70.00

City Of Albuquerque
Treasury Division

11/3, 2009 9:14AM LOC: ANNY
US# 007 TRANS# 0007
RECEIPT# 00123012-00123013
PERMIT# 2009070340 TRBLJS
Trans Amt \$70.00
Conflict manaq. Fee \$20.00
DRB Actions \$50.00
CK \$70.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

12/04/2007 Issued By: PLNABG

Permit Number: 2007 070 419

Category Code 910

Application Number: 07DRB-70419, Epc Approved Sdp For Build Permit

Address:

Location Description: ST JOSEPHS DR NW BETWEEN COORS BLVD NW AND ATRISCO DR NW

Project Number: 1005357

Applicant
Sunland Development Group Llc

4407 Lomas Blvd Ne
Albuquerque NM 87110
831-8855

Agent / Contact
George Rainhart Architects
William Johnson
2325 San Pedro Ne
Albuquerque NM 87110

bjohnson@gra-arch.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

12/4/2007 11:02AM LOC: ANHX
WSH 003 TRANS# 0025
RECEIPT# 00084771-00084771
PERMIT# 2007070419 TRSDMG
Trans Amt \$20.00
Conflict Manag. Fee \$20.00
VI \$20.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): GEORGE RAINHART ARCHITECT & ASSOCIATES PHONE: 505-884-9110
 ADDRESS: 2325 SAN PEDRO N.E. SUITE 2-B FAX: 505-837-9877
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

APPLICANT: SUNLAND DEVELOPMENT GROUP LLC PHONE: 505-831-6855
 ADDRESS: 4407 LOMAS BLVD N.E. FAX: 505-831-6899
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: _____

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. X-1-A1, X-1-A2, X-2-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: UNIVERSITY OF ALBUQUERQUE URBAN CENTER
 Existing Zoning: SU-3 (R-2, C-2, O-1) Proposed zoning: SU-3 (C-2 & O-1 ONLY) MRGCD Map No _____
 Zone Atlas page(s): G-11 UPC Code: 101106019549120846 AND 101106018038720705

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): SD-80-3-1/Z-95-94
SD-80-3-3; SD-80-3-1; SD-80-3-4/296-99; Z-97-103' SD80-3-5/2-97-93

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 47.2
 LOCATION OF PROPERTY BY STREETS: On or Near: St. Joseph's Dr. NW
 Between: COORS BLVD NW and ATRICO Dr. NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 12-4-07
 (Print) JOHN C SPITZ Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB - 70419</u>	<u>SBP</u>	<u>137</u>	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>12-12-07</u>			Total <u>\$ 20.00</u>

[Signature] 12/4/07 Project # 1005357
 Planner signature / date

Form revised 4/07

FORM 3: SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Maximum Size: 24" x 36"
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** Maximum Size: 24" x 36"
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** Maximum Size: 24" x 36"
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** Maximum Size: 24" x 36"
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** Maximum Size: 24" x 36"
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JOHN C SPITZ
Applicant name (print)
John C Spitz 12-9-07
Applicant signature / date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
07 DRB - 70419

Form revised October 2007
Andrew Jones 12/9/07
Planner signature / date
Project # 1005357












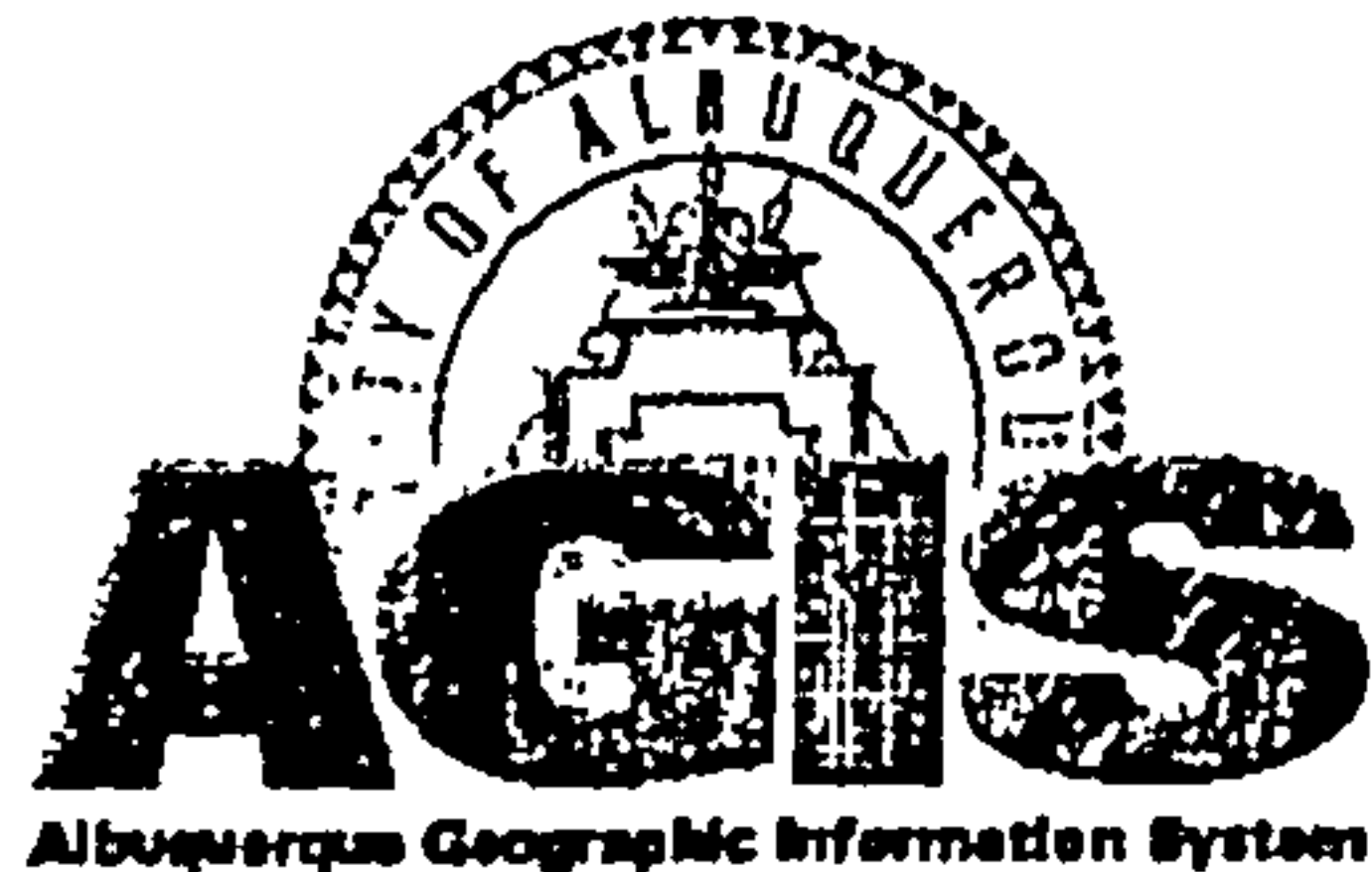
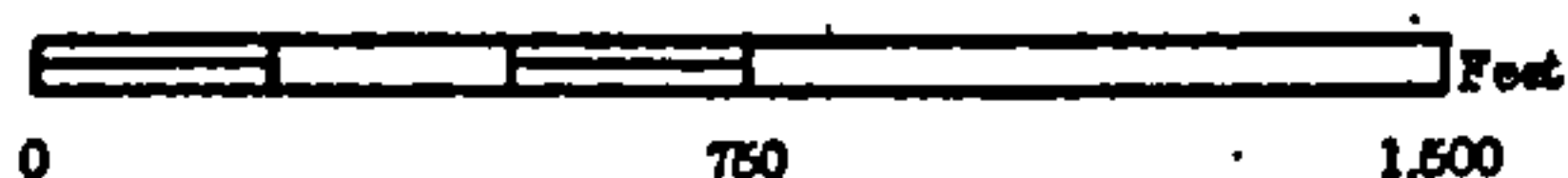
For more current information and more details visit <http://www.cabq.gov/gis>

Zone Atlas Page:

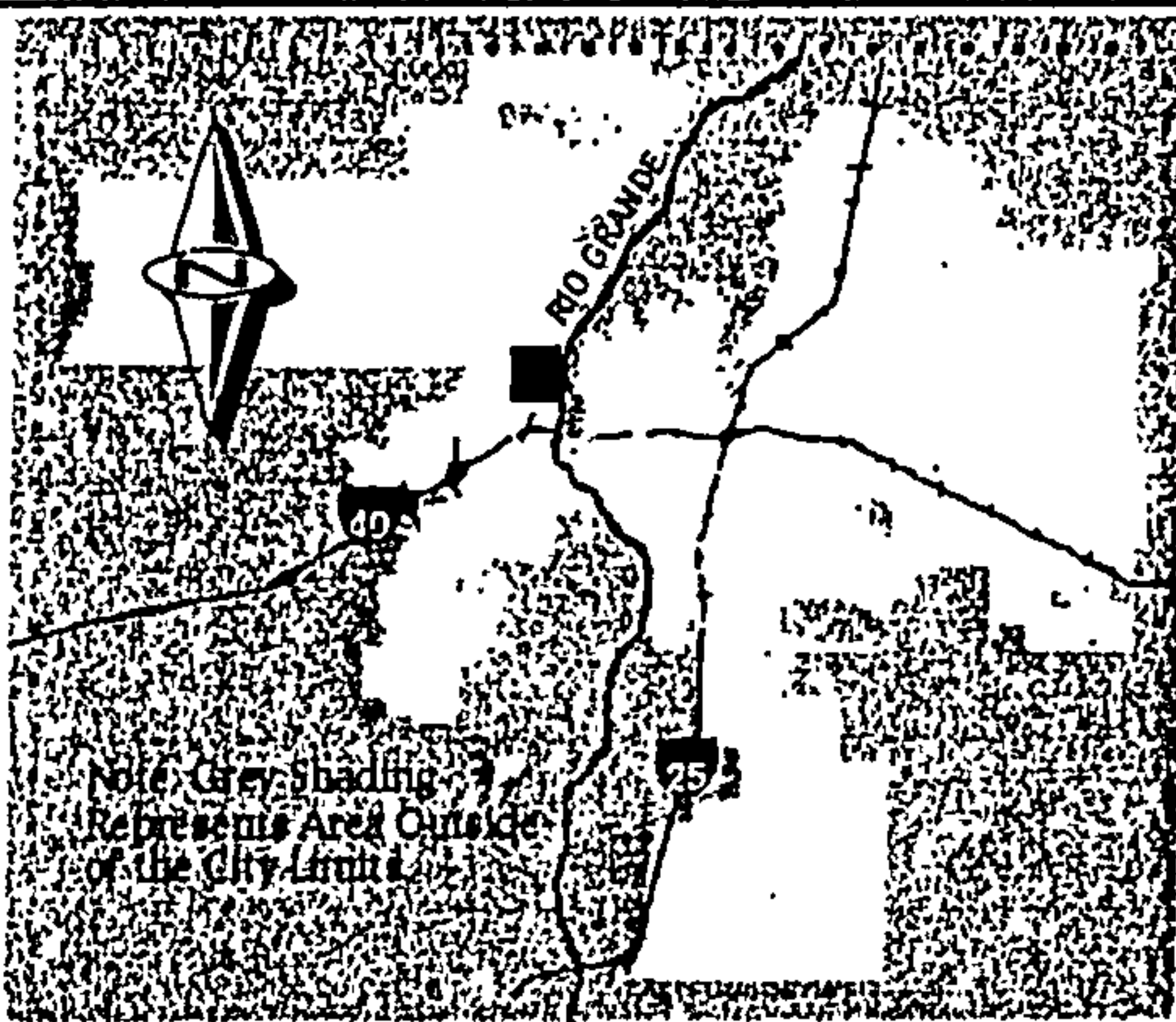
G-11-Z

Selected Symbols

-  SECTOR PLANS
-  Design Overlay Zones
-  City Historic Zones
-  H-1 Buffer Zone
-  Petroglyph Mon.
-  Escarpment
-  2 Mile Airport Zone
-  Airport Noise Contours
-  Wall Overlay Zone



Map amended through: 9/5/2008





City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

November 27, 2007

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s): 1005357 (EPC)

Case Number(s):

Agent: Sunland Development Group, LLC

Applicant:

Legal Description: Tracts X1-A2 and X2-A, University of Albuquerque Urban Center

Acreage: 50.3 acres

Zone Atlas Page: G-11

CERTIFICATE OF NO EFFECT: Yes No

SUPPORTING DOCUMENTATION:

A Cultural Resources Survey of a 50.3 Acre Parcel at Coors Road and St. Joseph's Drive in Bernalillo County, New Mexico. by Amador Minjares; NIAF form submitted by TRC Solutions, November 2, 2007 (NMCRIIS #108065). Todd Howell, P.I.

SITE VISIT: n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)— no significant sites in project area).***

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
Acting City Archaeologist

Change Letter
Project # 10005357

Changes made are on the Site Plan for Building Permit. The conditions start on page 17 of the Notice of Decision dated April 12, 2007.

- 5) The number of free standing signs has been revised to comply with the Coors Corridor Plan

- 7)
 - a. A 3'-0" screen wall has been placed around the trash compactor.
 - b. The footprint area for the office buildings is 128, 000 square feet. The 256, 000 square feet is because the office buildings are two stories in height.
 - d. All pedestrian crossing are identified with colored textured concrete.
 - e. A pedestrian crossing has been added between the bank on Parcel J and the restaurant on Parcel I.
 - f. The bank drive thru on Parcel J has been moved away from pedestrian areas.
 - g. A sidewalk has been added connecting to Quaker Heights.
 - j. The 9 parking spaces have been removed.
 - k. The area adjacent to Atrisco Drive and the drive aisle between Parcels A and D is a retention pond.

- 8)
 - a. We will coordinate with the Transit Department about any possible upgrades to the adjacent bus shelter.
 - b. We will coordinate with PNM about any easements that run across the property.

- 10)
 - i. A bicycle lane has been added to Coors Boulevard, adjacent to the property.
 - k. On street bicycle lane as been provided on each side of St. Joseph's Drive.

- 11) All landscape changes have been made.

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Sunland Development Group LLC DATE OF REQUEST: 2/1/07 ZONE ATLAS PAGE(S): G-11

CURRENT: ZONING SU-3 (R-3, C-2, O-1)
PARCEL SIZE (AC/SQ. FT.) 47.2 acres

LEGAL DESCRIPTION:
LOT OR TRACT # Y-1-A-2 BLOCK #
SUBDIVISION NAME University of Albuquerque Urban Center

REQUESTED CITY ACTION(S):
ANNEXATION [] SECTOR PLAN [X]
COMP. PLAN [] ZONE CHANGE [X]
AMENDMENT [] CONDITIONAL USE []

SITE DEVELOPMENT PLAN:
A) SUBDIVISION [X] BUILDING PERMIT []
B) BUILD'G PURPOSES [X] ACCESS PERMIT []
C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:
NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:
OF UNITS:
BUILDING SIZE: 240,000 (sq. ft.) Site plan for building purposes plus additional building for future development

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Agent DATE 2/1/07
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [X] NO [] BORDERLINE []

THRESHOLDS MET? YES [X] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes: OXBOW TOWN CENTER DEV. TIS (1-3-07)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

TRAFFIC ENGINEER Tony Zel DATE 2-1-07

Air Quality Impact Analysis (AQIA) May Be Required: John Taschek contracted to prepare AQIA

Section 14-18-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [X] NO []

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

APPLICANT Agent DATE 2/1/07

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/29/07 TRAFFIC ENGINEER Tony Zel DATE 2-1-07
-FINALIZED 1/1/07

FORM DRWS: DRAINAGE REPORT / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION
FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: OXBOW TOWN CENTER

AGIS MAP # G-11

LEGAL DESCRIPTIONS: TRACT X-1-A2 & X-2-A

___ DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd Floor Plaza del Sol) on 10-2-07 (date).

J Woodruff
Applicant/Agent

11/9/07
Date

[Signature]
Hydrology Division Representative

11/9/07
Date

___ WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor, Plaza del Sol) on 10-22-07 (date).

J Woodruff
Applicant/Agent

11/9/07
Date

William J. Balce
Utilities Division Representative

11/9/07
Date

PROJECT # _____

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 1147 provided: 1147
 Handicapped spaces required: 40 provided: 40
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 54
 provided: 54
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, Indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: April 12, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1005357

07EPC-00115 Rank III Sector Development
Plan Map Amendment

07EPC-00114 EPC Site Development Plan-
Subdivision

07EPC-00121 EPC Site Development Plan for
Building Permit

07EPC-00122 RANK II Area Plan
Amendment

Sunland Development Group, &
Oxbow Town Center LLC
4407 Lomas Blvd NE
Albuquerque, NM 87110

LEGAL DESCRIPTION: for all or a portion of
Tracts X-1-A1, X-1-A2, X-2-A, **University of
Albuq. Urban Center**, a zone map amendment
from SU-3 (R-2, C-2 & O-1 Uses) to SU-3 (C-2
& O-1 Uses), located on Coors Blvd NW,
between Western Trails NW and Sequoia NW,
containing approximately 48 acres. (G-11)
Stephanie Shumsky, Staff Planner

On April 12, 2007, the Environmental Planning Commission voted to recommend approval to the City Council of 07EPC 00122, an amendment to the West Side Strategic Plan to designate Tracts X1A1, X1A2, and X2A, University of Albuquerque Urban Center, as a Community Activity Center, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for a text amendment to the West Side Strategic Plan to designate Tracts X1A1, X1A2 and X2A, University of Albuquerque Urban Center, an approximately 57-acre site, located at the NW and SW quadrants of the Coors Boulevard/St. Joseph's Drive intersection, as a Community Activity Center.
2. This request is accompanied by an amendment to the University of Albuquerque Sector Plan (07EPC-00115), a site development plan for subdivision (07EPC-00114), and a site development plan for building permit (07EPC-00121).

3. The Comprehensive Plan's Established Urban Area goal and policies a, d, e, i, and j are furthered because the designation as a Community Activity Center will provide a complementary mix of commercial, office and employment uses in an area that can accommodate these uses and where the needed infrastructure is in place to support them.
4. The Comprehensive Plan's Activity Center:
 - A. Goal and policy a are furthered because commercial and office uses are allowed on the site and high-density and moderate-density multi-family and single-family uses surround the site. The addition of employment and service uses at this location will help contribute to a sustainable development pattern by balancing the mix of residential and commercial uses.
 - B. Policies d and e are partially furthered because the acreage of the subject site is slightly higher than what is called for in a Neighborhood Activity and the uses will serve a larger geographic area. The site's size and proposed mix of uses reflects a hybrid of Neighborhood Activity Center and Community Activity Center objectives.
 - C. Policies e and i are partially furthered because the subject site meets some of the criteria for designation as an activity center. Although high-density residential uses may not be located in the Activity Center, the site is surrounded by moderate density residential development and area schools are currently at or over capacity.
 - D. The Coors/Western Trail Neighborhood Activity Center will still be designated as the Neighborhood Activity Center for the area. It will retain the existing SU-3 zoning, which allows moderate density residential, office, neighborhood scale retail uses, in addition to residential uses.
5. An AQIA was required and was provided to the City on 3/7/07. The Comprehensive Plan's Air Quality goal and policy b are furthered because according to the AQIA analysis provided by the City's Air Quality Division, the proposed development is "not expected to cause or contribute to any air quality exceedance." Policies d and i are only partially furthered since the level of service at the Coors/St. Joseph's intersection is poor, as indicated in the TIS. These policies will be completely furthered if the TIS mitigation recommendations are implemented.
6. The Comprehensive Plan's Noise goal is partially furthered because the subject site is currently vacant and generates little if any additional noise for neighboring residents. Additional noise will be generated by the development of the site under the existing (and proposed) zoning.
7. The Comprehensive Plan's Community Identity and Urban Design policy d is furthered because the designation as a Community Activity Center will contribute to a more effective interface between the adjacent residential uses and the proposed office and commercial uses. The site is relatively open and easily accessible by various modes of transit. The Neighborhood Activity Center's existing location has limited accessibility because it has

developed primarily with residential uses, walls, and cul de sacs. The designation as a Community Activity Center and the proposed development will both contribute to a livelier neighborhood with more opportunity for on-street interaction, which is desired within activity centers.

8. The Comprehensive Plan's Transportation and Transit goal is furthered because the adjacent roadways are designated to support a mix of commercial, office, and institutional development. The proposed office and commercial uses are desired in this area of the community and may help to reduce the number of cross-river trips for west side residents seeking goods, services, and employment.
9. This request furthers West Side Strategic Plan goals, objectives, and policies:
 - A. Goal 12 and Objectives 1, 4, and 8 are furthered because the designation as a Community Activity Center will provide more area for a mix of neighborhood and community oriented uses that will more effectively interface with existing residential uses. The allowed uses will help to balance the jobs/housing ratio, which contributes to a sustainable community and may reduce the number of cross-town trips for area residents.
 - B. Policy 1.5 is furthered because pedestrian and bicycle connections through and adjacent to the site are illustrated on the accompanying site development plan for subdivision.
 - C. Policy 1.9 and 1.10 are furthered because the subject site (Coors/St. Joseph's area) will be designated as a Community Activity Center because it is approximately 57- acres in size, which is larger than a typical Neighborhood Activity Center but smaller than a typical Community Activity Center. This request is justified because the allowed uses will balance the surrounding residential development. The existing Neighborhood Activity Center at Coors/Western Trail has developed primarily with single-family residential uses, which makes the remaining vacant areas less likely to develop with a complete mix of commercial and office uses as desired.
 - D. Policies 1.13. and 1.14 are furthered because the site's zoning allows a mix of commercial, retail, service, and employment uses and will function as the hub of activity for the surrounding area. The site is approximately mid-way between two Community Activity Centers, one at Coors/Montano and the other at Coors/I-40.
 - E. Policy 3.21 is furthered because community and neighborhood-scale commercial development, which is not strip development, is proposed north (and south) of St. Joseph's Drive on Coors.
 - F. Ladera Community policies 3.23 and 3.25 are furthered because the proposed development will locate commercial services near the existing residential and public facilities that already exist in the Ladera Community. Strip commercial development is not proposed and the site is accessible to area residents via bike lanes, sidewalks, and transit.
 - G. The proposed designation as a Community Activity Center furthers the objectives of the Ladera Community because the proposed uses will contribute to the mix of commercial, retail, service, and employment uses.

10. The following Recognized Neighborhood Associations were notified of this request: Villa De Paz H.O.A., Oxbow Village H.O.A., St. Joseph Townhouse Association, Story Rock H.O.A., Vista Grande, West Bluff, La Luz Del Sol, La Luz Landowners Association, Ladera West, Quaker Heights, and Taylor Ranch. A facilitated meeting was held on Monday February 26 at 7pm at Cross of Hope Lutheran Church, 6104 Taylor Ranch Road, NW. There is general neighborhood support for this request.

CONDITIONS:

1. The text changes beginning on page 97 of the West Side Strategic Plan shall read:

“Ladera Community

The Ladera community encompasses 2,926 acres, of which 40 percent is vacant. Major existing streets are Coors Boulevard and Atrisco. Ladera and Ouray provide east/west access through the community.

Population is projected to increase substantially in the Ladera community -- from 10,730 in 1995 to 19,283 in 2020. Based on its geographic size and buildout population, the Ladera community could support two Neighborhood Centers. Its projected population in 2020 is less than the minimum population required to support a community retail center.

Employment growth from 3,458 to 9,482 is projected during the 1995 to 2020 time period. Significant growth is projected for all sectors, with over 70 percent of total employment in 2020 in the service sector.

Coors Boulevard Community Center

Substantial community scale development currently exists in a strip along Coors Boulevard -- a commercial and service oriented strip that, because of its location, serves the entire northwest mesa. Because of the substantial retail development in place along Coors, functions that would be located in a Neighborhood Center are provided in this area at a Community scale. Therefore, this community center should focus on other types of activities and minimize new retail development.

A significant portion of existing retail space in shopping centers is occupied by service businesses. This trend would be expected to continue as retail opportunities are provided in other communities and as traffic patterns change in response to transportation improvements.

Community area: 2,926 acres

2020 population served: 19,283

2020 Employment: 9,482

Center area: 91

Potential uses: Retail, service, higher density housing

[+Coors/St. Joseph's Community Center
(proposed development straddling St. Joseph's Drive on Coors)

Area of surrounding neighborhoods: 1,226 acres

2020 population served: 8,901

2020 employment: 7,407

Center area: 57 acres

Potential uses: Convenience retail, service; fringe area will contain public/ institutional (St. Pius X High School), medium and high density housing, and services.+]

1. *Encourage higher density housing on vacant parcels along Coors to provide a mix of land uses and increase the residential base of the Ladera community.*
 2. *Provide pedestrian amenities to improve the pedestrian environment along this section of Coors.+]*
2. The Activity Center maps shall be amended to show a new Community Activity Center at the subject site (Tracts X1A1, X1A2 and X2A, University of Albuquerque Urban Center).

On April 12, 2007 the Environmental Planning Commission voted to recommend approval to the City Council of 07EPC-00115, an amendment to the University of Albuquerque Sector Plan to change the zoning on Parcels A and B from "SU-3 for Mixed Uses - A minimum of approximately 30 acres within Tracts A and B shall be developed as apartments (R-3 at 24-30 du/ac; the balance of the property is to be developed as (C-2) commercial or (O-1) office (approximately 19 acres); and church and related uses; residential uses (R-3) at 24-30 du/ac and/or joint use park and ride facility (ten acres or less)" to "SU-3 for Church and related uses for approximately 10 acres; a minimum of approximately 17 acres shall be developed for office (O-1) office (approximately 30)", based on the following Findings:

FINDINGS:

1. This request is for an amendment to the University of Albuquerque Sector Plan to change the zoning on Parcels A and B (Tracts X1A1, X1A2, and X2A) from "SU-3 for Mixed Uses- A minimum of approximately 30 acres within Tracts A and B shall be developed as apartments (R-3) at 24-30 du/ac; the balance of the property is to be developed as (C-2) commercial or (O-1) office (approximately 19 acres); and church and related uses; residential uses (R-3) at 24-30 du/ac and/or joint use park and ride facility (ten acres or less)" to "SU-3 for Church and related uses for approximately 10 acres; a minimum of approximately 17 acres shall be developed for office (O-1), the balance of the property is to be developed as (C-2) commercial or (O-1) office (approximately 30 acres)".

2. This request is accompanied by an amendment to the West Side Strategic Plan (07EPC-00122), a site development plan for subdivision (07EPC-00114), and a site development plan for building permit (07EPC-00121).
3. The Comprehensive Plan's Established Urban Area goal and policies a, d, e, i, and j are furthered because the sector plan map amendment will provide a complementary mix of commercial, office, and employment uses in close proximity to moderate density residential uses. The site is located in an area that can accommodate these uses and where the needed infrastructure is in place to support them.
4. The Comprehensive Plan's Activity Center:
 - a. Goal and policy a are furthered because commercial and office uses are allowed on the site and high-density and moderate-density multi-family and single-family uses surround the site. The addition of employment and service uses at this location will help contribute to a sustainable development pattern by balancing the mix of residential and commercial uses.
 - b. Policies e and i are partially furthered because the subject site meets some of the criteria for designation as an activity center. Although high-density residential uses will not be permitted, the site is surrounded by moderate-density residential development and area schools are currently at or over capacity.
5. An AQIA was required and was provided to the City on 3/7/07. The Comprehensive Plan's Air Quality goal and policy b are furthered because according to the AQIA analysis provided by the City's Air Quality Division, the proposed development is "not expected to cause or contribute to any air quality exceedance." Policies d and i are only partially furthered since the level of service at the Coors/St. Joseph's intersection is poor, as indicated in the TIS. These policies will be completely furthered as the TIS mitigation recommendations are implemented.
6. The Comprehensive Plan's Noise goal is partially furthered because the subject site is currently vacant and generates little if any additional noise for neighboring residents. Additional noise will be generated by the development of the site under the existing (and proposed) zoning.
7. The Comprehensive Plan's Community Identity and Urban Design policy d is partially furthered by the zoning change because the proposed zoning will allow uses that can contribute to an effective interface between the adjacent residential uses and the proposed office and commercial uses. However, the elimination of residential zoning will limit the on-site mix of uses.
8. The Comprehensive Plan's Transportation and Transit goal is furthered because the adjacent roadways are designated to support a mix of commercial, office, and institutional uses at the site. The proposed office and commercial uses are desired in this area of the community and

may help to reduce the number of cross-river trips for west side residents seeking goods, services, and employment.

9. This request furthers West Side Strategic Plan goals, objectives, and policies:

- a. Goal 12 and Objectives 1, 4, and 8 are furthered because the proposed uses will provide more area for a mix of neighborhood and community oriented uses that will more effectively interface with existing residential uses. The allowed uses will help to balance the jobs/housing ratio, which contributes to a sustainable community and may reduce the number of cross-town trips for area residents.
- b. Policies 1.13. and 1.14 are furthered because the site's zoning allows a mix of commercial, retail, service, and employment uses and will function as the hub of activity for the surrounding area. The site is approximately mid-way between two Community Activity Centers, one at Coors/Montano and the other at Coors/I-40.
- c. Policy 2.5 is furthered because area schools are currently at or over capacity and the proposed zoning will eliminate the potential for 720-900 additional dwelling units (279 students).
- d. Policy 3.21 is furthered because neighborhood-scale commercial development, which is not strip development, is proposed north (and south) of St. Joseph's Drive on Coors.
- e. Ladera Community policies 3.23 is furthered because the proposed development will locate commercial services near the existing residential and public facilities that already exist in the Ladera Community.
- f. The proposed relocation of the Coors/Western Trail Neighborhood Activity Center to the subject site furthers the objectives of the Ladera Community because the proposed uses will contribute to the mix of commercial, retail, service, and employment uses. This request furthers West Side Strategic Plan goals, objectives, and policies:

10. This request furthers Coors Corridor Plan goals, objectives, and policies because office and commercial uses are called for by the Plan at the subject site.

11. This request does not conflict with the Northwest Mesa Area Plan.

12. This request does not significantly conflict with the University of Albuquerque Sector Plan, which has been amended many times since its adoption, since a mix of commercial and office uses will be allowed and moderate-density, single family residential uses surround the site.

13. This request is justified by the applicant as required by Resolution 270-1980:

- a. Policy A because the proposed zoning supports the health, safety, morals, and general welfare of the City since it will allow an expansion of already allowed uses on the subject site, will provided a needed mix of commercial and office uses, and will eliminate residential uses that would have a negative impact on Albuquerque Public School facilities.

- b. Policy B because the proposed zoning will not destabilize allowed land uses on the subject site or in the surrounding area. It will help the area to regain economic stability since the area's designated neighborhood center has developed primarily with single-family residential uses. The addition of acreage for commercial and office uses will help to provide a balance to the predominately residential uses in the area. In addition, the applicant provided a convincing letter supporting the change. The letter cited changed neighborhood and community conditions as the primary reason for the change.
- c. Policy C because the proposed change is not in conflict with City plans and policies and supports many City goals, objectives, and policies related to sustainable growth, job/housing balance, urban design, among others. The furtherance of these policies justifies the elimination of residential uses from the site. This is in conflict with the underlying University of Albuquerque Sector Plan but is justified because the surrounding area, instead of developing with the needed mix of commercial and service uses as anticipated, has developed primarily with single-family residential uses.
- d. Policy D because the applicant demonstrated that the existing zoning is inappropriate because:
 - i. Changed neighborhood or community conditions justify the change:
 1. The changed conditions cited by the applicant are:
 - a. The various changes to the sector plan which reconfigured land uses to allow the reduction of residential uses at "urban" densities.
 - b. The development of primarily single-family dwelling units in the designated Coors/Western Trail Neighborhood Activity Center thereby reducing its effectiveness at providing neighborhood scale commercial uses.
 - c. Public schools in the area are over capacity as evidenced by the letter provided by APS dated October 24, 2006 and included with the applicant's justification.
 - ii. A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply:
 1. The applicant cites several City goals, objectives, and policies that are furthered by the request (as mentioned in previous findings) thereby making the request more beneficial to the community because:
 - a. It provides greater opportunity for neighborhood and community scale commercial, office, and employment uses to develop in a coherent and clustered way in an area in need of more services and employment opportunities.
 - b. The change allows more commercial, office, and employment uses that may reduce the need for west side residents to travel across the river.
 - c. The allowed commercial and office uses will not negatively impact APS schools. The reduction of high-density residential uses will eliminate the

potential for 720-900 additional dwelling units in the area, which could generate approximately 279 more students at over-capacity APS schools.

- e. Policy E because the proposed sector plan map amendment will eliminate the currently allowed high-density residential uses on the subject site. Additional residential uses in the area would have an adverse effect on APS schools in the area since the schools are operating at or over capacity. The expansion of the already allowed commercial and office uses on the site will not have an adverse effect on the surrounding community since commercial, service, office and employment uses are needed in this area.
 - f. Policy f because the proposed sector plan map amendment does not require unprogrammed capital expenditures.
 - g. Policy G because the cost of land or other economic considerations pertaining to the applicant are not factors in this sector plan map amendment request. The request is supported by several City plans and policies that do not relate to the cost of land or other economic considerations.
 - h. Policy H because the site's location is not used as justification for the change.
 - i. Policy I because the requested sector plan map amendment will not create a spot zone.
 - j. Policy J because the requested sector plan map amendment will not create a strip zone.
14. The following Recognized Neighborhood Associations were notified of this request: Villa De Paz H.O.A., Oxbow Village H.O.A., St. Joseph Townhouse Association, Story Rock H.O.A., Vista Grande, West Bluff, La Luz Del Sol, La Luz Landowners Association, Ladera West, Quaker Heights, and Taylor Ranch. A facilitated meeting was held on Monday February 26 at 7pm at Cross of Hope Lutheran Church, 6104 Taylor Ranch Road, NW. There is general neighborhood support for this request.
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On April 12, 2007, the Environmental Planning Commission voted to recommend approval to the City Council of 07EPC 00121, a Site Development Plan for Building Permit for Tracts A, B, and C of former Tract X2A, University of Albuquerque Urban Center, located at the SW quadrant of the Coors Boulevard and St. Joseph's intersection, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for a site development plan for building permit for 3 parcels (Parcels A, B, and C) on former Tract X2A, University of Albuquerque Urban Center, located at the SW quadrant of the Coors Boulevard/St. Joseph's intersection.
2. The site is part of Parcel B in the University of Albuquerque Sector Plan and is zoned "SU-3 for Church and related uses for approximately 10 acres; a minimum of approximately 17

acres shall be developed for office (O-1), the balance of the property is to be developed as (C-2) commercial or (O-1) office (approximately 30 acres)”

3. This request is accompanied by an amendment to the West Side Strategic Plan (07EPC-00122), an amendment to the University of Albuquerque Sector Plan (07EPC-00115), and a site development plan for subdivision (07EPC-00114).
4. The Comprehensive Plan’s Developing and Established Urban Area:
 - a. Goal and policies a, d, e, and g are furthered because the proposed development will contribute to a quality built environment, the needed infrastructure is in place, and the proposed infrastructure improvements will help to complete bicycle, pedestrian, and trail facilities. The proposed mix of office and commercial uses will complement the existing mix of uses in the area.
 - b. Policies i, j, are furthered and policy k is partially furthered because the proposed development interfaces well with the adjacent residential, office, and institutional uses. The proposed architecture reflects that of surrounding development, and landscaped buffers are proposed to provide a transition from the on-site uses to the adjacent residential areas. The proposed uses will generate employment and a diversity of jobs requiring a range of skills as well as increased traffic, thereby only partially furthering policy k.
 - c. Policies l and m are furthered because high quality building materials are going to be used in construction. The building architecture will solidify the area as identified by the Spanish Mission style. The site connects to the adjacent neighborhoods and the development will not significantly block views of the Sandia Mountains or the West Mesa.
5. The Comprehensive Plan’s Activity Center:
 - a. Goal and policy a are furthered because commercial and office uses are allowed on the site and high-density and moderate-density multi-family and single-family uses surround the site. The addition of employment and service uses at this location will help contribute to a sustainable development pattern by balancing the mix of residential and commercial uses that are in close proximity to transit, bicycle facilities, and pedestrian routes.
 - b. Policies d and e are partially furthered because the subject site is larger than a typical Neighborhood Activity Center but is smaller than a typical Community Activity Center. The proposed uses are a mix of small-scale, neighborhood-oriented uses and mid-sized, community-oriented uses. The requests reflect a hybrid of Neighborhood Activity Center and Community Activity Center objectives.
 - c. Policy e is furthered because the subject site meets the criteria for designation as an activity center.
 - d. Policy f is furthered because the proposed development interfaces well with the adjacent residential neighborhoods.

- e. The Coors/Western Trail Neighborhood Activity Center will no longer be designated as such. It will retain the existing SU-3 zoning, which allows moderate density residential, office, and neighborhood scale retail. The subject site and the Western Trail/Coors site are separated by single-family residential development, which limit connectivity to some extent even though pedestrian and vehicular access connects the two areas.
6. An AQIA was required and was provided to the City on 3/7/07. The Comprehensive Plan's Air Quality goal and policy b are furthered because according to the AQIA analysis provided by the City's Air Quality Division, the proposed development is "not expected to cause or contribute to any air quality exceedance." Policies d and i are only partially furthered since the level of service at the Coors/St. Joseph's intersection is poor, as indicated in the TIS. These policies will be completely furthered as the TIS mitigation recommendations are implemented.
7. The Comprehensive Plan's Noise goal and policies a and b are partially furthered because noise will be generated at the site. However, noise mitigation measures are provided in the form of landscape buffers and walls.
8. The Comprehensive Plan's Developed Landscape goal and policy a are furthered because the proposed development will enhance the visual attractiveness of the site with low-water use landscaping. The architecture compliments existing development in the area and the signage will comply with the restrictive Coors Corridor Plan.
9. The Comprehensive Plan's Community Identity and Urban Design goal and policy d are furthered because the building architecture enhances the identity of the area as Spanish Mission style. The site is relatively open and easily accessible by various modes of transit and the proposed layout connects each building to the adjacent public sidewalk through the use of internal pedestrian walkways, plazas, and landscaped areas.
10. The Comprehensive Plan's Water Management goal and policies a and b are furthered since the proposed landscaping palette is comprised of low water use species and on-site ponding and detention is proposed as well as diverting parking lot runoff into landscaped areas.
11. It is not clear from the submittal how the Comprehensive Plan's Energy Management goal and applicable policies a, b, and c will be furthered. However, the applicant will address the energy management goal and policies in the Design Standards.
12. The Comprehensive Plan's Transportation and Transit goal and policies a, g, and o are furthered because the adjacent roadways are designed to allow for the proposed type and density of development. The proposed site layout includes a network of pedestrian walkways and the allowed uses are desired on the west side and may help to reduce the number of cross-river trips.

13. The Comprehensive Plan's Economic Development goal and policies a and g are furthered by because the proposed uses will contribute to a jobs/housing balance and may reduce the number of cross-river trips.
14. Several West Side Strategic Plan goals, policies, and objectives are furthered or partially furthered by this request:
 - a. Goal 12 and Objectives 1, 4, and 8 are furthered because the development will contribute to the mix of jobs on the west side and will help to balance the jobs/housing ratio, which will contribute to sustainable communities on the west side. The proposed uses will provide employment and shopping opportunities in close proximity to residential areas, thereby reducing the number of cross town trips for area residents.
 - b. Policy 1.3 is furthered because the proposed development is not strip commercial.
 - c. Policy 1.5 is furthered because the proposed development provides pedestrian and bicycle connections throughout the site and to the adjacent public sidewalk and bicycle lanes, which connect to the other Neighborhood Centers and Community Centers along Coors Boulevard.
 - d. Policy 1.9 and 1.10 are furthered because the site will develop with a mix of commercial and office uses, which will be balanced by the surrounding residential development, as recommended in Neighborhood Activity Centers.
 - e. Policy 1.12 is furthered because the proposed mix of mid-size and small-size buildings have architectural elements that make them human scale.
 - f. Policies 1.13. and 1.14 are furthered because the proposed development will provide a mix of commercial, retail, service, and employment uses and will function as the hub of activity for the surrounding area.
 - g. Policy 3.21 is partially furthered because neighborhood-scale commercial development is proposed. However, all drive-thrus should be oriented away from Coors Boulevard and pedestrian walkways in order to reduce vehicle/pedestrian conflicts and to visually enhance Coors Boulevard.
 - h. Policies 6.23 and 6.25 are furthered because bike lanes will be constructed, where needed, and a sidewalk/multi-purpose trail is proposed on the west side of the property along Atrisco Drive. In addition, pedestrian walkways traverse the site and connect to the public sidewalk and bus stop.
 - i. Ladera Community policies 3.23 and 3.25 are furthered because the proposed development will locate commercial services near the existing residential and public facilities that already exist in the Ladera Community. Strip commercial development is not proposed and the site is accessible to area residents via bike lanes, sidewalks, and transit. Also, the proposed development will not impact the Petroglyph National Monument or surrounding properties. Adequate buffers are proposed between the development and the adjacent residential neighborhoods.
 - j. Two Community Activity Centers are in close proximity to the site. The proposed relocation of the Ladera Neighborhood Center from Coors/Western Trail to Coors/St.

Joseph's Drive will not significantly alter the distance from the Neighborhood Activity Center to the Community Activity Centers.

- k. The proposed relocation of the Coors/Western Trail Neighborhood Activity Center to the subject site furthers the objectives of neighborhood activity centers. The proposed uses will contribute to the mix of commercial, retail, service, and employment uses. The proposed bike lanes, sidewalk/multi-purpose trail and pedestrian connections help to make the site accessible.
15. This request furthers or partially furthers Coors Corridor Plan goals, objectives, and policies:
- a. Land Use policies 1, 3, 5, and 7 are furthered because the proposed development is laid out in a cluster-like way with commercial uses in groups with pedestrian walkways connecting each of the buildings. The Plan recommends commercial and office uses for the site, which are proposed and the development intensity is compatible with adjacent roadways.
 - b. Visual Impressions policies 1, 2, and 3 are furthered because the proposed buildings do not block views from the corridor. The proposed development is high quality with abundant landscaping, which will enhance the view of the site from adjacent roadways.
 - c. Site Planning and Architecture:
 - i. Policy 2 is furthered because the height analysis provided by the applicant sufficiently demonstrates compliance with requirements of the Plan.
 - ii. Policies 3 and 4 are partially furthered because an extensive landscape palette is proposed, off-street parking areas are located to the rear of some buildings, but are and at the front of others.
 - iii. Policy 6 is partially furthered because some of the buildings are located with entrances near the street and the parking area is divided into seemingly smaller areas by landscaped islands. However, the proposed "main street" will not function effectively as a true main street because of the parking and building layout.
 - iv. Policies 7 and 8 are furthered because separate vehicular, pedestrian, and bicycle access is provided.
 - v. Policies 9 and 10 are partially furthered by the lighting design standards and the architecture standards. However, the site plan needs to show all pedestrian-scale lighting locations.
 - d. The proposed number of free-standing signs does not comply with the Plan. The Plan allows one free-standing sign per 1,500 feet of street frontage and allows one additional sign since the site is greater than 12 acres in size.
16. This request does not conflict with the University of Albuquerque Sector Plan.
17. The request does not conflict with the Northwest Mesa Area Plan.

18. The request is in compliance with the site development plan for subdivision and design standards provided as an accompanying request (07EPC-00114).
19. The request is in general compliance with applicable Zoning Code regulations. Instances of non-compliance are addressed in the conditions of approval.
20. The Landscape Plan for the entire site provides more than the minimum Zoning Code requirement for landscaping. Parcels C and E have an individual landscape deficiency of 209 square feet and 1,401 square feet, respectively. However, since the total site provides an excess of 139,734 square feet, the deficiencies on Parcels C and E are acceptable.
21. The applicant was required to complete an Air Quality Impact Analysis (AQIA) because the proposed development met the thresholds defined in the Zoning Code for such a study (Section 14-16-3-14). In a letter from the Environmental Health Department dated March 9, 2007, it states that the proposed development is not expected to cause or contribute to any air quality exceedance.
22. Findings from Transportation Development in response to the site plan:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. A draft and final Traffic Impact Study (TIS), including supplements, have been submitted and reviewed by Transportation Staff.
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. The Traffic Impact Study is available for review by any interested party, in the office of the Traffic Engineer.
 - e. Access to Coors Boulevard, north of St. Josephs, will require NMDOT approval.
 - f. Provide cross access agreements.
 - g. Site plan shall comply and be designed per DPM Standards.
23. A Traffic Impact Study (TIS) was required and provided by the applicant. The following findings from Transportation Planning and Transportation Development are in response to the site plan and TIS:
 - a. The additional analysis included in the final Traffic Impact Study dated March 12, 2007, and accompanying supplemental information, together with the mitigation measures

shown on the amended site development plan dated March 26, 2007, appear to satisfactorily respond to the site access concerns previously expressed by the Transportation Planning section of the City Department of Municipal Development.

- b. The amended site plan includes:
 - i. An extension of the main north-south access road (one lane in each direction) to connect to an existing public street thereby allowing access from the northern boundary of the development to Western Trail.
 - ii. A westerly shift of the Main Entrance/St. Joseph's Drive intersection a distance of no less than 20 feet.
 - iii. The addition of a right-turn in and right-turn out driveway on the south side of St. Joseph's Drive located west of the Main Entrance/St. Joseph's Drive intersection.
 - iv. The elimination of the left-turn out access at the north leg of the unsignalized intersection located west of the Main Entrance/St. Joseph's Drive intersection.
 - v. The elimination of the existing driveway access to St. Joseph's Drive from the adjacent Catholic Church property, and construction of a new cross access between the church property and the proposed development.
 - vi. The construction of a *secondary* Main Entrance for the southern property at the middle access to the site on Atrisco Drive (Including entrance features such as signing, landscaping, lighting and the installation of a traffic signal, if warranted) would provide an alternative route and would lessen the traffic demand/impacts at the St. Joseph's Main Entrance.
 - vii. Consideration of an additional future east-west access road extending to Atrisco Drive along the northern boundary of the site through the adjacent vacant property currently owned by the Catholic Church, to provide for additional circulation and assure there is adequate access to and from the site.
- c. Because of the limited driver experience in the state of New Mexico with a two-lane roundabout, its proximity to the intersection of Coors Boulevard and St. Joseph's Drive, concerns with its geometric layout, and the special problems traffic queues cause at roundabouts, it may be necessary in the future to convert the Main Entrance/St. Joseph's roundabout to a traditional four legged signalized intersection.
- d. The public rights at and proximate to the roundabout shall consist of dedicated right-of-way, permanent public roadway easements and construction/maintenance easements as conceptually shown on the site plan dated March 26, 2007, and more specifically detailed on the attached sketch dated March 30, 2007, and if a future replacement of the roundabout with a signalized intersection takes place, the public roadway easements and construction/maintenance easements will likely become excess and will be recommended for vacation by the City, if so requested by the adjacent property owner(s) or others with proper interest in such vacation.
- e. The decision to convert the Main Entrance/St. Joseph's roundabout to a four legged signalized intersection will be made by the Director of the Department of Municipal

Development based on the safety and/or operational performance of the roundabout and nearby systems.

- f. The applicant understands and agrees and will advise his clients, that the construction of a two lane roundabout to some extent is experimental, and that there will likely be some level of temporary reduction of access to/from the site if this intersection should have to be reconstructed in the future.
 - g. The ultimate cross-section for Coors Boulevard adjacent to the proposed site includes 4 southbound travel lanes consistent with the Coors Corridor Plan (see figure 6).
 - h. Coors Boulevard is a limited access, principal arterial with a *minimum* right-of-way of 156 feet as designated on the Long Range Roadway System map.
 - i. Coors Boulevard is proposed to contain on-street bicycle lanes as designated on the Long Range Bikeway System map.
 - j. The City Engineer may require up to six (6) additional feet of right-of-way on Coors Boulevard to accommodate the designated bicycle lane.
 - k. St. Joseph's Drive is a minor arterial with a *minimum* right-of-way width of 106 feet as designated on the Long Range Roadway System map.
 - l. St. Joseph's Drive is proposed to contain on-street bicycle lanes as designated on the Long Range Bikeway System map.
 - m. The City Engineer may require up to six (6) additional feet of right-of-way along both sides of St. Joseph's Drive to accommodate the designated bicycle lane.
 - n. Atrisco Drive is a collector street with a *minimum* right-of-way width of 68 feet as designated on the Long Range Roadway System map.
 - o. Atrisco Drive is proposed to contain on-street bicycle lanes as designated on the Long Range Bikeway System map.
 - p. The City Engineer may require up to six (6) additional feet of right-of-way on Atrisco Drive to accommodate the designated bicycle lane.
 - q. Coors Boulevard adjacent to the proposed site is intended to have a grade-separated pedestrian crossing at a location north of St. Joseph's Drive consistent with the Coors Corridor Plan (see figure 12).
24. The following Recognized Neighborhood Associations were notified of this request: Villa De Paz H.O.A., Oxbow Village H.O.A., St. Joseph Townhouse Association, Story Rock H.O.A., Vista Grande, West Bluff, La Luz Del Sol, La Luz Landowners Association, Ladera West, Quaker Heights, and Taylor Ranch. A facilitated meeting was held on Monday February 26 at 7pm at Cross of Hope Lutheran Church, 6104 Taylor Ranch Road, NW. There is general neighborhood support for this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Approval of this request is contingent upon the City Council's approval of the accompanying West Side Strategic Plan and the University of Albuquerque Sector Development Plan amendments (07EPC-00122 and 07EPC-00115).
3. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
4. The subject site shall be replatted at DRB in accordance with the accompanying site development plan for subdivision (07EPC-00114).
5. The size and number of freestanding signs shall be limited as per the Coors Corridor Plan (pg.112). 1 sign per 1,500 feet of street frontage on Coors Boulevard, St. Joseph's Drive and Atrisco Drive is allowed. One additional free-standing sign is allowed since the site is greater than 12 acres in size. Individual pad site monument signs are considered freestanding signs. The number of items of information per freestanding sign is limited to ten.
6. The first office building shall be reviewed by the EPC for compliance with the Design Standards all other non-office site development plans for building permit shall be delegated to the DRB provided they comply with the approved Design Standards.
7. The following Site Plan modifications shall be addressed by the applicant:
 - a. On Sheet AS9 the trash compactor located behind the 30,431sf Jr. Anchor is located in a landscape buffer and shall be screened.
 - b. In the landscape calculations table the Total Buildings Area for Parcel H shall be revised to read 256,000sf instead of 128,000sf.
 - c. In the landscape calculations table the Total Site Buildings area should be 537,033 instead of 409,033.
 - d. The landscape calculations shall be revised to reflect the required modifications. All drive aisle crossings shall have pedestrian crossings identified by patterned concrete or similar paving treatment.
 - e. A pedestrian crossing shall be provided between the bank on Parcel J and the restaurant on Parcel I.

- f. The bank drive thru on Parcel J shall be relocated away from pedestrian areas.
 - g. A sidewalk shall be provided adjacent to the drive aisle connecting to Quaker Heights Road.
 - h. A public sidewalk shall be provided along Coors Boulevard near the 30,025 square foot Jr. Anchor or an access easement shall be granted to the City if the sidewalk remains directly adjacent to the building.
 - i. Street Trees shall be located between the right-of-way, on public and internal streets, and the sidewalk in order to provide a safe walking environment for pedestrians.
 - j. In order to provide a true main street effect on Parcel A, the northernmost 9 spaces on the west side of the median and directly east of the sidewalk shall be deleted. They may be relocated in order to provide the required number of parking spaces.
 - k. Clarify what is planned for the space adjacent to the landscaped area at Atrisco Dr. and the drive aisle between Parcels A and D.
8. The applicant shall address the following conditions provided by reviewing agencies and departments:
- a. The applicant shall coordinate with the Transit Department in order to upgrade the adjacent transit shelter.
 - b. The applicant shall coordinate with PNM if utility easements cross the property and shall abide by any conditions or terms of those easements.
9. Conditions from Transportation Engineer in response to site plan:
- a. Access to Coors Boulevard, north of St. Josephs, will require NMDOT approval.
 - b. Provide cross access agreements.
 - c. Site plan shall comply and be designed per DPM Standards.
10. A Traffic Impact Study (TIS) was required. The following conditions from Transportation Engineering and Transportation Planning are in response to the site plan and TIS:
- a. Implementation of the site access improvements as shown on the amended site development plan dated March 26, 2007, including:
 - i. An extension of the main north-south access road (one lane in each direction) to connect to an existing public street thereby allowing access from the northern boundary of the development to Western Trail.
 - ii. A westerly shift of the Main Entrance/St. Joseph's Drive intersection a distance of no less than 20 feet.
 - iii. The addition of a right-turn in and right-turn out driveway on the south side of St. Joseph's Drive located west of the Main Entrance/St. Joseph's Drive intersection.

- iv. The elimination of the left-turn out access at the north leg of the unsignalized intersection located west of the Main Entrance/St. Joseph's Drive intersection.
- v. The elimination of the existing driveway access to St. Joseph's Drive from the adjacent Catholic Church property, and construction of a new cross access between the church and the proposed development.
- vi. The construction of a *secondary* Main Entrance for the southern property at the middle access to the site on Atrisco Drive (Including entrance features such as signing, landscaping, lighting and the installation of a traffic signal, if warranted).
- b. Future consideration will be given to constructing an east-west access road extending to Atrisco Drive along the northern boundary of the site through the adjacent vacant church property, at the time the site plan for building permit is submitted for the future phase improvements north of St. Joseph's Drive.
- c. The public rights at and proximate to the roundabout shall consist of dedicated right-of-way, permanent public roadway easements and construction/maintenance easements as conceptually shown on the site plan dated March 26, 2007, and more specifically detailed on the attached sketch dated March 30, 2007, and if a future replacement of the roundabout with a signalized intersection takes place, the public roadway easements and construction/maintenance easements will likely become excess and will be recommended for vacation by the City, if so requested by the adjacent property owner(s) or others with proper interest in such vacation.
- d. The decision to convert the Main Entrance/St. Joseph's roundabout to a four legged signalized intersection will be made by the Director of the Department of Municipal Development based on the safety and/or operational performance of the roundabout and nearby systems.
- e. The applicant understands and agrees and will advise his clients, that the construction of a two lane roundabout to some extent is experimental, and that there will likely be some level of temporary reduction of access to/from the site if this intersection should have to be reconstructed in the future.
- f. Dedication of a *minimum* 78 feet of right-of-way from the centerline of Coors Boulevard a limited access, principal arterial as designated on the Long Range Roadway System map.
- g. Dedication of additional rights-of-way, as necessary, and construction of the fourth southbound travel lane on Coors Boulevard adjacent to the subject property consistent with the Coors Corridor Plan (see figure 6).
- h. Dedication of an additional 6 feet of right-of-way along Coors Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
- i. Construction of the bicycle lane along Coors Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.

- j. Dedication of a *minimum* 53 feet of right-of-way from the centerline along both sides of St. Joseph's Drive a minor arterial as designated on the Long Range Roadway System map.
- k. Dedication of an additional 6 feet of right-of-way along both sides of St. Joseph's Drive as required by the City Engineer to provide for on-street bicycle lanes.
- l. Construction of four general purpose driving lanes (2 lanes in each direction) and associated roadway improvements along St. Joseph's Drive adjacent to the subject property, as required by the City Engineer.
- m. Construction of a bicycle lane along both sides of St. Joseph's Drive adjacent to the subject property, as designated on Long Range Bikeways System map.
- n. Dedication of a *minimum* 34 feet of right-of-way from the centerline of Atrisco Drive a collector street as designated on the Long Range Roadway System map.
- o. Dedication of an additional 6 feet of right-of-way along Atrisco Drive as required by the City Engineer to provide for on-street bicycle lanes.
- p. Construction of general purpose driving lanes and associated roadway improvements along Atrisco Drive adjacent to the subject property, as required by the City Engineer.
- q. Construction of a bicycle lane along Atrisco Drive adjacent to the subject property, as designated on Long Range Bikeways System map.
- r. At DRB sign-off of the site plan, an easement shall be located of an adequate size as determined by the City Engineer, for the touchdown location for a grade-separated pedestrian crossing of Coors Boulevard north of St. Joseph's Drive consistent with the Coors Corridor Plan (see figure 12).
- s. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- t. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- u. Access to Coors Boulevard, north of St. Josephs, will require NMDOT approval.
- v. Provide cross access agreements.
- w. Site plan shall comply and be designed per DPM Standards.
- x. Platting must be a concurrent DRB action.

11. The applicant shall make the following changes to the Landscape Plan:

- a. Replace the Kentucky Coffee Trees with Lindens.
 - b. Replace 50% of the Butterfly Bushes with a mix of shrubs such as Shrubby Cinquefoil, Banks Rose, Crepe Myrtle, and Red Osier Dogwood.
 - c. Replace 50% of the Turpentine Bushes with a mix of Cliff Rose, Trumpet Vine, Shrubby Cinquefoil, Banks Rose, Crepe Myrtle, and Red Osier Dogwood.
 - d. Replace Scotch Broom with Alanas Broom.
 - e. Replace Threadgrass with Lavender species and other non-invasive grasses.
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On April 12, 2007, the Environmental Planning Commission voted to recommend approval to the City Council of 07EPC-00114, a Site Development Plan for Subdivision for Tracts X1A2 and X2A, University of Albuquerque Urban Center, zoned SU-3 for Church and related uses for approximately 10 acres; a minimum of approximately 17 acres shall be developed for office (O-1), the balance of the property is to be developed as (C-2) commercial or (O-1) office (approximately 30 acres), based on the following Findings and subject to the following Conditions:

FINDINGS:

2. This request is for a site development plan for subdivision to subdivide Tract X1A2, University of Albuquerque Urban Center into three new tracts and to subdivide Tract X2A, University of Albuquerque Urban Center into seven new tracts. The parcels are located at the NW and SW quadrants of the Coors Boulevard/St. Joseph's intersection.
3. The site is part of Parcels A and B in the University of Albuquerque Sector Plan and are zoned "SU-3 for Church and related uses for approximately 10 acres; a minimum of approximately 17 acres shall be developed for office (O-1), the balance of the property is to be developed as (C-2) commercial or (O-1) office (approximately 30 acres)".
4. This request is accompanied by an amendment to the West Side Strategic Plan (07EPC-00122), an amendment to the University of Albuquerque Sector Plan (07EPC-00115), and a site development plan for building permit (07EPC-00121).
5. The proposed site development plan for subdivision contains all of the elements required by the Zoning Code for such a plan. The plan identifies the site, proposed uses, pedestrian and vehicular ingress and egress, internal circulation requirements, maximum building height, building setbacks, and floor area ratios.
6. Design Standards will guide future development. These standards include a description of the overall land use concept, parking, landscaping, architecture, lighting, screening, and signage

standards. Many of the standards proposed by the applicant go over and above the Zoning Code and other City regulations.

7. The Comprehensive Plan's Developing and Established Urban Area:

- a. Goal and policies a, d, e, and g are furthered because the proposed development will contribute to a quality built environment, the needed infrastructure is in place, and the proposed infrastructure improvements will help to complete bicycle, pedestrian, and trail facilities. The proposed mix of office and commercial uses will complement the existing mix of uses in the area.
- b. Policies i, j, are furthered and policy k is partially furthered because the proposed development interfaces well with the adjacent residential, office, and institutional uses. The proposed architecture reflects that of surrounding development, and landscaped buffers are proposed to provide a transition from the on-site uses to the adjacent residential areas. The proposed uses will generate employment and a diversity of jobs requiring a range of skills. However, the development will add additional traffic to an already congested area.
- c. Policies l and m are furthered because high quality building materials are going to be used in construction. The building architecture will solidify the area as identified by the Spanish Mission style. The site connects to the adjacent neighborhoods and the development will not significantly block views of the Sandia Mountains or the West Mesa.

8. The Comprehensive Plan's Activity Center:

- a. Goal and policy a are furthered because commercial and office uses are allowed on the site and high-density and moderate-density multi-family and single-family uses surround the site. The addition of employment and service uses at this location will help contribute to a sustainable development pattern by balancing the mix of residential and commercial uses that are in close proximity to transit, bicycle facilities, and pedestrian routes.
- b. Policies d and e are partially furthered because the subject site is larger than a typical Neighborhood Activity Center but is smaller than a typical Community Activity Center. The proposed uses are a mix of small-scale, neighborhood-oriented uses and mid-sized, community-oriented uses. The requests reflect a hybrid of Neighborhood Activity Center and Community Activity Center objectives.
- c. Policy e is furthered because the subject site meets the criteria for designation as an activity center.
- d. Policy f is furthered because the proposed development interfaces well with the adjacent residential neighborhoods. Policy i is not furthered because the sector plan amendment request is to eliminate the potential for high-density residential units on the site. However, the requested zone change and designation as an activity center is justified in spite of the exclusion of housing since area schools are at or over capacity and cannot support additional students at this time.

- e. The Coors/Western Trail Neighborhood Activity Center will no longer be designated as such. It will retain the existing SU-3 zoning, which allows moderate density residential, office, and neighborhood scale retail. The subject site and the Western Trail/Coors site are separated by single-family residential developments, which limit connectivity to some extent even though pedestrian and vehicular access connects the two areas.
9. An AQIA was required and was provided to the City on 3/7/07. The Comprehensive Plan's Air Quality goal and policy b are furthered because according to the AQIA analysis provided by the City's Air Quality Division, the proposed development is "not expected to cause or contribute to any air quality exceedance." Policies d and i are only partially furthered since the level of service at the Coors/St. Joseph's intersection is poor, as indicated in the TIS. These policies will be completely furthered as the TIS mitigation recommendations are implemented.
10. The Comprehensive Plan's Noise goal and policies a and b are partially furthered because noise will be generated at the site. However, noise mitigation measures are provided in the form of landscape buffers and walls.
11. The Comprehensive Plan's Developed Landscape goal and policy a are furthered because the proposed development will enhance the visual attractiveness of the site with low-water use landscaping. The architecture compliments existing development in the area and the signage will comply with the restrictive Coors Corridor Plan.
12. The Comprehensive Plan's Community Identity and Urban Design goal and policy d are furthered because the building architecture enhances the identity of the area as Spanish Mission style. The site is relatively open and easily accessible by various modes of transit and the proposed layout connects each building to the adjacent public sidewalk through the use of internal pedestrian walkways, plazas, and landscaped areas.
13. The Comprehensive Plan's Water Management goal and policies a and b are furthered since the proposed landscaping palette is comprised of low water use species and on-site ponding and detention is proposed as well as diverting parking lot runoff into landscaped areas.
14. It is not clear from the submittal how the Comprehensive Plan's Energy Management goal and applicable policies a, b, and c will be furthered. The applicant needs to address the energy management techniques in the Design Standards.
15. The Comprehensive Plan's Transportation and Transit goal and policies a, g, and o are furthered because the adjacent roadways are designed to allow for the type and density of the proposed development. The proposed site layout includes a network of pedestrian walkways and the allowed uses are desired on the west side and may help to reduce the number of cross-river trips.

16. The Comprehensive Plan's Economic Development goal and policies a and g are furthered because the proposed uses will contribute to a jobs/housing balance and may reduce the number of cross-river trips.
17. Several West Side Strategic Plan goals, policies, and objectives are furthered or partially furthered by this request:
- a. Goal 12 and Objectives 1, 4, and 8 are furthered because the development will contribute to the mix of jobs on the west side and will help to balance the jobs/housing ratio, which will contribute to sustainable communities on the west side. The proposed uses will provide employment and shopping opportunities in close proximity to residential areas, thereby reducing the number of cross town trips for area residents.
 - b. Policy 1.3 is furthered because the proposed development is not strip commercial.
 - c. Policy 1.5 is furthered because the proposed development provides pedestrian and bicycle connections throughout the site and to the adjacent public sidewalk and bicycle lanes, which connect to the other Neighborhood Centers and Community Centers along Coors Boulevard.
 - d. Policy 1.9 and 1.10 are furthered because the site will develop with a mix of commercial and office uses, which will be balanced by the surrounding residential development, as recommended in Neighborhood Center areas.
 - e. Policy 1.12 is furthered because the proposed mix of mid-size and small-size buildings have architectural elements that make them human scale.
 - f. Policies 1.13. and 1.14 are furthered because the proposed development will provide a mix of commercial, retail, service, and employment uses and will function as the hub of activity for the surrounding area.
 - g. Policy 3.21 is partially furthered because neighborhood-scale commercial development is proposed. However, all drive-thrus should be oriented away from Coors Boulevard and pedestrian walkways in order to reduce vehicle/pedestrian conflicts and to visually enhance Coors Boulevard.
 - h. Policies 6.23 and 6.25 are furthered because bike lanes will be constructed, where needed, and an 8-10' walkway/trail is proposed on the west side of the property along Atrisco Drive. In addition, pedestrian walkways traverse the site and connect to the public sidewalk and bus stop.
 - i. Ladera Community policies 3.23 and 3.25 are furthered because the proposed development will locate commercial services near the existing residential and public facilities that already exist in the Ladera Community. Strip commercial development is not proposed and the site is accessible to area residents via bike lanes, sidewalks, and transit. Also, the proposed development will not impact the Petroglyph National Monument or surrounding properties. Adequate buffers are proposed between the development and the adjacent residential neighborhoods.
 - j. Two Community Activity Centers are in close proximity to the site. The proposed relocation of the Ladera Neighborhood Center from Coors/Western Trail to Coors/St.

Joseph's Drive will not significantly alter the distance from the Neighborhood Activity Center to the Community Activity Centers.

- k. The proposed relocation of the Coors/Western Trail Neighborhood Activity Center to the subject site furthers the objectives of neighborhood activity centers. The proposed uses will contribute to the mix of commercial, retail, service, and employment uses. The proposed bike lanes, multi-purpose trail and pedestrian connections help to make the site accessible.

18. This request furthers Coors Corridor Plan goals, objectives, and policies:

- a. Land Use policies 1, 3, 5, and 7 are furthered because the proposed development is laid out in a cluster-like way with commercial uses in groups with pedestrian walkways connecting each of the buildings. The Plan recommends commercial and office uses for the site, which are proposed and the development intensity is compatible with adjacent roadways.
- b. Visual Impressions policies 1, 2, and 3 are furthered because the proposed buildings do not block views from the corridor. The proposed development is high quality with abundant landscaping, which will enhance the view of the site from adjacent roadways.
- c. Site Planning and Architecture:
 - i. Policy 2 is furthered because the height analysis provided by the applicant sufficiently demonstrates compliance with requirements of the Plan.
 - ii. Policies 3 and 4 are partially furthered because an extensive landscape palette is proposed, off-street parking areas are located to the rear of some buildings, but are and at the front of others.
 - iii. Policy 6 is partially furthered because some of the buildings are located with entrances near the street and the parking area is divided into seemingly smaller areas by landscaped islands. However, the proposed "main street" will not function effectively as a true main street because of the parking and building layout.
 - iv. Policies 7 and 8 are furthered because separate vehicular, pedestrian, and bicycle access is provided.
 - v. Policies 9 and 10 are furthered by the lighting design standards and the architecture standards. However, the site plan should show all pedestrian-scale lighting locations.
- d. The proposed individual pad site freestanding signs do not comply with the Plan. The Plan allows one freestanding sign per 1,500 feet of street frontage and allows one additional sign since the site is greater than 12 acres in size. Individual pad site monument-type signs are considered freestanding signs.

19. This request does not conflict with the University of Albuquerque Sector Plan.

20. The request does not conflict with the Northwest Mesa Area Plan.

21. The applicant completed an Air Quality Impact Analysis (AQIA) in response to the requirements set forth in Zoning Code Section 14-16-3-14. In a letter from the Environmental Health Department dated March 9, 2007, it states that the proposed development "is not expected to cause or contribute to any air quality exceedance".

22. Findings from Transportation Development in response to the site plan:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- b. A draft and final Traffic Impact Study (TIS), including supplements, have been submitted and reviewed by Transportation Staff.
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. The Traffic Impact Study is available for review by any interested party, in the office of the Traffic Engineer.
- e. Access to Coors Boulevard, north of St. Josephs, will require NMDOT approval.
- f. Provide cross access agreements.
- g. Site plan shall comply and be designed per DPM Standards.

23. A Traffic Impact Study (TIS) was required and provided by the applicant. The following findings from Transportation Planning and Transportation Development are in response to the TIS:

- a. The additional analysis included in the final Traffic Impact Study dated March 12, 2007, and accompanying supplemental information, together with the mitigation measures shown on the amended site development plan dated March 26, 2007, appear to satisfactorily respond to the site access concerns previously expressed by the Transportation Planning section of the City Department of Municipal Development.
- b. The amended site plan includes:
 - i. An extension of the main north-south access road (one lane in each direction) to connect to an existing public street thereby allowing access from the northern boundary of the development to Western Trail.
 - ii. A westerly shift of the Main Entrance/St. Joseph's Drive intersection a distance of no less than 20 feet.
 - iii. The addition of a right-turn in and right-turn out driveway on the south side of St. Joseph's Drive located west of the Main Entrance/St. Joseph's Drive intersection.

- iv. The elimination of the left-turn out access at the north leg of the unsignalized intersection located west of the Main Entrance/St. Joseph's Drive intersection.
 - v. The elimination of the existing driveway access to St. Joseph's Drive from the adjacent Catholic Church property, and construction of a new cross access between the church property and the proposed development.
 - vi. The construction of a *secondary* Main Entrance for the southern property at the middle access to the site on Atrisco Drive (Including entrance features such as signing, landscaping, lighting and the installation of a traffic signal, if warranted) would provide an alternative route and would lessen the traffic demand/impacts at the St. Joseph's Main Entrance.
 - vii. Consideration of an additional future east-west access road extending to Atrisco Drive along the northern boundary of the site through the adjacent vacant property currently owned by the Catholic Church, to provide for additional circulation and assure there is adequate access to and from the site.
- c. Because of the limited driver experience in the state of New Mexico with a two-lane roundabout, its proximity to the intersection of Coors Boulevard and St. Joseph's Drive, concerns with its geometric layout, and the special problems traffic queues cause at roundabouts, it may be necessary in the future to convert the Main Entrance/St. Joseph's roundabout to a traditional four legged signalized intersection.
 - d. The public rights at and proximate to the roundabout shall consist of dedicated right-of-way, permanent public roadway easements and construction/maintenance easements as conceptually shown on the site plan dated March 26, 2007, and more specifically detailed on the attached sketch dated March 30, 2007, and if a future replacement of the roundabout with a signalized intersection takes place, the public roadway easements and construction/maintenance easements will likely become excess and will be recommended for vacation by the City, if so requested by the adjacent property owner(s) or others with proper interest in such vacation.
 - e. The decision to convert the Main Entrance/St. Joseph's roundabout to a four legged signalized intersection will be made by the Director of the Department of Municipal Development based on the safety and/or operational performance of the roundabout and nearby systems.
 - f. The applicant understands and agrees and will advise his clients, that the construction of a two lane roundabout to some extent is experimental, and that there will likely be some level of temporary reduction of access to/from the site if this intersection should have to be reconstructed in the future.
 - g. The ultimate cross-section for Coors Boulevard adjacent to the proposed site includes 4 southbound travel lanes consistent with the Coors Corridor Plan (see figure 6).
 - h. Coors Boulevard is a limited access, principal arterial with a *minimum* right-of-way of 156 feet as designated on the Long Range Roadway System map.
 - i. Coors Boulevard is proposed to contain on-street bicycle lanes as designated on the Long Range Bikeway System map.

- j. The City Engineer may require up to six (6) additional feet of right-of-way on Coors Boulevard to accommodate the designated bicycle lane.
 - k. St. Joseph's Drive is a minor arterial with a *minimum* right-of-way width of 106 feet as designated on the Long Range Roadway System map.
 - l. St. Joseph's Drive is proposed to contain on-street bicycle lanes as designated on the Long Range Bikeway System map.
 - m. The City Engineer may require up to six (6) additional feet of right-of-way along both sides of St. Joseph's Drive to accommodate the designated bicycle lane.
 - n. Atrisco Drive is a collector street with a *minimum* right-of-way width of 68 feet as designated on the Long Range Roadway System map.
 - o. Atrisco Drive is proposed to contain on-street bicycle lanes as designated on the Long Range Bikeway System map.
 - p. The City Engineer may require up to six (6) additional feet of right-of-way on Atrisco Drive to accommodate the designated bicycle lane.
 - q. Coors Boulevard adjacent to the proposed site is intended to have a grade-separated pedestrian crossing at a location north of St. Joseph's Drive consistent with the Coors Corridor Plan (see figure 12).
23. The following Recognized Neighborhood Associations were notified of this request: Villa De Paz H.O.A., Oxbow Village H.O.A., St. Joseph Townhouse Association, Story Rock H.O.A., Vista Grande, West Bluff, La Luz Del Sol, La Luz Landowners Association, Ladera West, Quaker Heights, and Taylor Ranch. A facilitated meeting was held on Monday February 26 at 7pm at Cross of Hope Lutheran Church, 6104 Taylor Ranch Road, NW. There is general neighborhood support for this request.

CONDITIONS:

- 2. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- 3. Approval of this request is contingent upon the City Council's approval of the accompanying West Side Strategic Plan and the University of Albuquerque Sector Development Plan amendments (07EPC-00122 and 07EPC-00115).
- 4. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

5. The first office building shall be reviewed by the EPC for compliance with the Design Standards all other non-office site development plans for building permit shall be delegated to the DRB provided they comply with the approved Design Standards.
6. Future buildings that incorporate a drive thru use shall orient the drive thru away from pedestrian areas.
 - a. The number and types of drive thrus shall be limited to the number and type shown on the site development plan for subdivision (2 drive thru banks and 1 drive thru fast food). Changes to the number and type shall return to the EPC for consideration.
7. The following minor modifications shall be made to the complete site plan set in order to add clarity and consistency:
 - a. The accurate date of revision shall be placed on all sheets.
 - b. The first sheet labeled AS7 shall be labeled AS6.
 - c. Illustrative is spelled incorrectly on Sheet L2A.
 - d. On Sheet 15 of 15 retaining is spelled incorrectly.
 - e. All drive aisle crossings shall have pedestrian crossings identified by patterned concrete or similar paving treatment.
 - f. A pedestrian crossing shall be provided between the bank on Parcel J and the restaurant on Parcel I.
 - g. The bank drive thru on Parcel J shall be relocated away from pedestrian areas.
 - h. A sidewalk shall be provided adjacent to the drive aisle connecting to Quaker Heights Road.
 - i. A public sidewalk shall be provided along Coors Boulevard near the 30,025 square foot Jr. Anchor or an access easement shall be granted to the City if the sidewalk remains directly adjacent to the building.
 - j. Street Trees shall be located between the right-of-way, on public and internal streets, and the sidewalk in order to provide a safe walking environment for pedestrians.
 - k. In order to provide a true main street effect on Parcel A; the northernmost 9 spaces on the west side of the median and directly east of the sidewalk shall be deleted. They may be relocated in order to provide the required number of parking spaces.
 - l. Clarify what is planned for the space adjacent to the landscaped area at Atrisco Dr. and the drive aisle between Parcels A and D.
8. The following modifications shall be made to the Site Data Sheet:
 - a. The site's complete zoning designation shall be added.
 - b. The parking table shall be amended as follows:

- i. The required parking for parcels A, B, and C is 1,023 spaces (1,136 required spaces plus the 10% transit credit) and the provided parking is 1,023 (not 1,032).
- ii. The required parking for parcels D-J is 1,251 (not 1,897) and the provided parking is 1,008 (not 1,123).

9. The following modifications shall be made to the Design Standards:

- a. The site's complete zoning designation shall be added.
- b. The applicant shall address the City's Energy Management goal and applicable policies through the addition of Design Standards related to energy efficiency and conservation.
- c. Any proposed security measures shall be described in the Design Standards.
- d. Parking Standards:
 - i. 5 (5th bullet) shall be revised to reflect that the parking requirement for the office buildings is based on an 85% occupancy rate.
- e. Landscaping Standards:
 - i. D.4 shall be revised to read... "Landscaped areas 36 square feet or greater shall be planted with a minimum 75% live groundcover. The area and percentage is calculated based on the mature canopy size of all plant material." In order to be consistent with the Zoning Code.
 - ii. D.5 shall be revised to read... "All planting areas not covered with groundcover shall have a ground topping of river rock, shredded bark, gravel, crushed rock, mulch, or similar material which extends completely under the plant." In order to include all groundcover (not just turf).
 - iii. D.9 shall be revised to read... "An automatic underground irrigation system shall be provided to support all landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency." In order to provide enforceability.
- f. Architectural Design Standards:
 - i. The general description states that maximum building parapet height is limited to 32'. This shall be modified to reflect the proposed office building heights of 40' (for example, the commercial buildings are limited to 32' and the office buildings are limited to 40'). In order to provide clarity and consistency.
- g. Lighting Standards:
 - i. G.4 shall be revised to read... "Exposed, unshielded light fixtures are prohibited. All lamps shall be shielded shoe box-type, or similar and painted to match color of pedestrian scale fixtures." In order to allow for greater flexibility in selecting light fixtures that may be more aesthetically appealing than shoe box-type fixtures.
 - ii. G.9 shall be revised to read... "Limited use of neon within permitted sign area may be considered." In order to correct spelling errors.
 - iii. The color of all site lighting shall be identified.

- h. Screening/Buffering Standards:**

 - i. H.3 shall be revised to change from 8' to... "6' stucco faced screen wall". In order to be consistent with the Zoning Code and the Wall Design Standards.**
 - ii. H.5 shall be revised to read... "All screen walls to be CMU with stucco finish and color to match the adjacent building."**
 - i. Free-Standing Signage Standards:**

 - i. The description shall be revised to delete the following... "Each pad building shall have one 50sf small monument sign." In order to comply with the Coors Corridor Plan signage regulations.**
 - ii. The detail of the 50sf monument sign shall be deleted.**
 - j. Building Signage Standards:**

 - i. The statement "Freestanding pad building signage area shall not exceed 15' x 2' per building side." In order to provide clarity and consistency and to comply with the Coors Corridor Plan.**
 - k. The following Site Details Sheet modifications shall be made:**

 - i. Identify the color of the monument sign on detail or in design standards.**
 - ii. Identify the color of the clock tower.**
 - iii. Delete the 50sf monument sign detail.**
- 10. The applicant shall address the following conditions provided by reviewing agencies and departments:**
- a. The applicant shall coordinate with the Transit Department in order to upgrade the adjacent transit shelter.**
 - b. The applicant shall coordinate with PNM if utility easements cross the property and shall abide by any conditions or terms of those easements.**
- 11. Conditions from Transportation Development in response to site plan:**
- a. Access to Coors Boulevard, north of St. Josephs, will require NMDOT approval.**
 - b. Provide cross access agreements.**
 - c. Site plan shall comply and be designed per DPM Standards.**
- 12. A Traffic Impact Study (TIS) was required. The following conditions from Transportation development and Transportation Planning are in response to the site plan and TIS:**
- a. Implementation of the site access improvements as shown on the amended site development plan dated March 26, 2007, including:**

 - i. An extension of the main north-south access road (one lane in each direction) to connect to an existing public street thereby allowing access from the northern boundary of the development to Western Trail.**

- ii. A westerly shift of the Main Entrance/St. Joseph's Drive intersection a distance of no less than 20 feet.
 - iii. The addition of a right-turn in and right-turn out driveway on the south side of St. Joseph's Drive located west of the Main Entrance/St. Joseph's Drive intersection.
 - iv. The elimination of the left-turn out access at the north leg of the unsignalized intersection located west of the Main Entrance/St. Joseph's Drive intersection.
 - v. The elimination of the existing driveway access to St. Joseph's Drive from the adjacent Catholic Church property, and construction of a new cross access between the church and the proposed development.
 - vi. The construction of a *secondary* Main Entrance for the southern property at the middle access to the site on Atrisco Drive (Including entrance features such as signing, landscaping, lighting and the installation of a traffic signal, if warranted).
- b. Future consideration will be given to constructing an east-west access road extending to Atrisco Drive along the northern boundary of the site through the adjacent vacant church property, at the time the site plan for building permit is submitted for the future phase improvements north of St. Joseph's Drive.
 - c. The public rights at and proximate to the roundabout shall consist of dedicated right-of-way, permanent public roadway easements and construction/maintenance easements as conceptually shown on the site plan dated March 26, 2007, and more specifically detailed on the attached sketch dated March 30, 2007, and if a future replacement of the roundabout with a signalized intersection takes place, the public roadway easements and construction/maintenance easements will likely become excess and will be recommended for vacation by the City, if so requested by the adjacent property owner(s) or others with proper interest in such vacation.
 - d. The decision to convert the Main Entrance/St. Joseph's roundabout to a four legged signalized intersection will be made by the Director of the Department of Municipal Development based on the safety and/or operational performance of the roundabout and nearby systems.
 - e. The applicant understands and agrees and will advise his clients, that the construction of a two lane roundabout to some extent is experimental, and that there will likely be some level of temporary reduction of access to/from the site if this intersection should have to be reconstructed in the future.
 - f. Dedication of a *minimum* 78 feet of right-of-way from the centerline of Coors Boulevard a limited access, principal arterial as designated on the Long Range Roadway System map.
 - g. Dedication of additional rights-of-way, as necessary, and construction of the fourth southbound travel lane on Coors Boulevard adjacent to the subject property consistent with the Coors Corridor Plan (see figure 6).
 - h. Dedication of an additional 6 feet of right-of-way along Coors Boulevard as required by the City Engineer to provide for on-street bicycle lanes.

01
02
03
04

- i. Construction of the bicycle lane along Coors Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.
- j. Dedication of a *minimum* 53 feet of right-of-way from the centerline along both sides of St. Joseph's Drive a minor arterial as designated on the Long Range Roadway System map.
- k. Dedication of an additional 6 feet of right-of-way along both sides of St. Joseph's Drive as required by the City Engineer to provide for on-street bicycle lanes.
- l. Construction of four general purpose driving lanes (2 lanes in each direction) and associated roadway improvements along St. Joseph's Drive adjacent to the subject property, as required by the City Engineer.
- m. Construction of a bicycle lane along both sides of St. Joseph's Drive adjacent to the subject property, as designated on Long Range Bikeways System map.
- n. Dedication of a *minimum* 34 feet of right-of-way from the centerline of Atrisco Drive a collector street as designated on the Long Range Roadway System map.
- o. Dedication of an additional 6 feet of right-of-way along Atrisco Drive as required by the City Engineer to provide for on-street bicycle lanes.
- p. Construction of general purpose driving lanes and associated roadway improvements along Atrisco Drive adjacent to the subject property, as required by the City Engineer.
- q. Construction of a bicycle lane along Atrisco Drive adjacent to the subject property, as designated on Long Range Bikeways System map.
- r. At DRB sign-off of the site plan, an easement shall be located of an adequate size as determined by the City Engineer, for the touchdown location for a grade-separated pedestrian crossing of Coors Boulevard north of St. Joseph's Drive consistent with the Coors Corridor Plan (see figure 12).
- s. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- t. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- u. Access to Coors Boulevard, north of St. Josephs, will require NMDOT approval.
- v. Provide cross access agreements.
- w. Site plan shall comply and be designed per DPM Standards.
- x. Platting must be a concurrent DRB action.

13. The applicant shall make the following changes to the Landscape Palette and Landscape Plan:
 - a. Replace the Kentucky Coffee Trees with Lindens.
 - b. Replace 50% of the Butterfly Bushes with a mix of shrubs such as Shrubby Cinquefoil, Banks Rose, Crepe Myrtle, and Red Osier Dogwood.
 - c. Replace 50% of the Turpentine Bushes with a mix of Cliff Rose, Trumpet Vine, Shrubby Cinquefoil, Banks Rose, Crepe Myrtle, and Red Osier Dogwood.
 - d. Replace Scotch Broom with Alanas Broom.
 - e. Replace Threadgrass with Lavender species and other non-invasive grasses.
14. In order to promote water harvesting, some on-site runoff shall be allowed to flow through parking lot curbs into landscaped areas.
15. Site Planning Design Standard B.6 shall be revised to read: "Each building shall be required to provide a minimum outdoor plaza space of 300sf. This area shall have a minimum of 25% shading, provided by a trellis, trees, and umbrellas. Each developer is responsible for providing pedestrian walkways around the building(s) and connecting the plaza areas to adjacent developments following the illustrative site plan."

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 27, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,


for Richard Dineen
Planning Director

RD/SS/bjf

cc: Myers, Oliver & Price, 1401 Central Ave NW, Abq., NM 87104
Ted Schmidt, Vista Grande NA, 3626 Vista Grande NW, Abq., NM 87120
Berent Groth, Vista Grande NA, 3546 Sequoia Pl NW, Abq., NM 87120
President, Villa de Paz H.O.A., 3600 Atrisco Rd NW, #185, Abq., NM 87120
Henry Richard, 5947 Mesa Viento Rd NW, Abq., NM 87120
Wendy McClellan, 4209 Mesa Rincon Dr NW, Abq., NM 87120
Judith Kanester, Villa de Paz H.O.A., 54 Calle Monte Aplanado NW, Abq., NM 87120

Current DRC
Project Number: _____

**FIGURE 12
INFRASTRUCTURE LIST**

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

**"EXHIBIT A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Oxbow Town Center

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts X-1-A2 & X-2-A, University of Albuquerque Urban Center, Albuquerque, Bernalillo County, New Mexico

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC#	Constructed Under DRC#
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Construction Certification		
Private	City Cnst Engineer	
Inspector	P.E.	

Coors Blvd Roadway Improvements

Financially Guaranteed DRC#	Constructed Under DRC#	Size	Type of Improvement	Location	From	To	Inspector	P.E.	City Cnst Engineer
		2-Thru Lanes (Each 11' wide)	Arterial Paving (Expand to West Only)	Coors Blvd	Northern Prop. Boundary of Parcel H	Southern Prop. Boundary of Parcel A	/	/	/
		Additional SB LT Lane (12' Wide)	Arterial Paving	Coors Blvd	525' North of St. Josephs Blvd	St. Josephs Blvd	/	/	/
		SB RT Lane (12' Wide)	Art. Paving W/ C&G	Coors Blvd	Northern Prop. Boundary of Parcel H	395' South of Northern Prop. Bndry of Parcel H	/	/	/
		SB RT Lane (12' Wide)	Art. Paving W/ C&G	Coors Blvd	St. Josephs Blvd	330' North of St. Josephs Blvd	/	/	/
		Additional NB LT Lane (12' Wide)	Arterial Paving	Coors Blvd	390' South of St. Josephs Blvd	St. Josephs Blvd	/	/	/
		6' Wide	PCC Sidewalk along Western Boundary of Project	Coors Blvd	Northern Prop. Boundary of Parcel H	St. Josephs Blvd.	/	/	/
		6' Wide	PCC Sidewalk along Western Boundary of Project	Coors Blvd	St. Josephs Blvd.	Southern Prop. Boundary of Parcel A	/	/	/

Financially Guaranteed DRC#	Constructed Under DRC#

Size	Type of Improvement	Location	From	To
20' X 100'	Easement for landing of Future Pedestrian Crossing Over Coors Blvd	Coors Blvd (West Side Only)	RT-In/Rt-Out Drive North of St. Josephs	Immediately South of RT-In/Rt-Out Drive
8 Street Lights	Street Light Relocation	Coors Blvd	Northern Prop. Boundary of Parcel H	Southern Prop. Boundary of Parcel A
1 Panel Sign	Panel Sign Remove & Relocate to Median	Coors Blvd	Northern Prop. Boundary of Parcel H	St. Josephs Blvd
	Signalization Improvements	Intersection of Coors Blvd and St. Josephs Blvd		

Construction Certification		
Private	City Cnst Engineer	
Inspector	P.E.	
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St. Josephs Blvd Roadway Improvements

2-EB Thru Lanes w/Auxillary Lanes (Each 12' Wide)	Arterial Paving w/ Median	St. Josephs Blvd	Atrisco	Coors Blvd
6' Wide	EB Bike Lane	St. Josephs Blvd	Atrisco	Coors Blvd
6' Wide	WB Bike Lane	St. Josephs Blvd	Atrisco	Coors Blvd
6' Wide	PCC Sidewalk Along Northern Half of St. Josephs Blvd.	St. Josephs Blvd	Western boundary of Parcel H	Coors Blvd
6' Wide	PCC Sidewalk Along Southern Half of St. Josephs Blvd.	St. Josephs Blvd	Atrisco	Coors Blvd
2-Lane	Roundabout	St. Josephs Blvd	Atrisco	Coors Blvd
Expand to 48' F-F, (4 Lane-Divided w/ median)	Coll. Paving W/ C&G, (Expand Eastern Half ~1ft)	Atrisco	St. Josephs Blvd	Southern Prop. Boundary of Parcel A
6' Wide	PCC Sidewalk Along Eastern Half of Atrisco	Atrisco	St. Josephs Blvd	Southern Prop. Boundary of Parcel A

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Financially Guaranteed DRC#	Constructed Under DRC#
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Construction Certification	
Private	City Cnst Engineer
Inspector	P.E.

Onsite Drainage Improvements

Size	Type of Improvement	Location	From	To
0.67 acre	Surface Detention Pond (Pond 5)	Western edge of Parcel A		
40'X295'	Underground Detention Pond (Pond 6)	Eastern edge of Parcel A		
20'X525'	Underground Detention Pond (Pond 7)	Southeastern corner of Parcel A		
	Oil/Water Separator	Parcel A (Adjacent to Exist Outfall)		
18"-24" Dia.	Storm Drain W/Nec. MH's, Laterals & Inlets	Parcel A (East-West Access Isle)	Parcel B	Pond 5 (Parcel A)
18"-30" Dia.	Storm Drain W/Nec. MH's, Laterals & Inlets	Parcel A	Pond 5 (Tract A)	Oil/Water Separator West of Coors ROW
24" Dia.	Storm Drain W/Nec. MH's, Laterals & Inlets	Parcels A & B	St. Josephs Blvd	Proposed East-West SD on Parcel A
18"-24" Dia.	Storm Drain W/Nec. MH's, Laterals & Inlets	Parcel G & A	St. Josephs Blvd	Oil/Water Separator West of Coors ROW
18" Dia.	Storm Drain W/Nec. MH's, Laterals & Inlets	Parcel A	Pond 7 (Parcel A)	Oil/Water Separator West of Coors ROW

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Offsite Drainage Improvements

Type C Inlet	W/Nec. RCP SD, MH's, & Laterals	St. Josephs Blvd (East of Atrisco Intersection)		
24" Dia.	RCP Storm Drain W/Nec. MH's, Laterals & Inlets	St. Josephs Blvd	SW corner of Parcel H	Parcel B
18" Dia.	RCP Storm Drain W/Nec. MH's, Laterals & Inlets	St. Josephs Blvd	SE corner of Parcel J	Parcel G
36" Dia.	RCP Storm Drain W/Nec. MH's, Laterals & Inlets	Coors Blvd	Oil/Water Separator West of Coors ROW	Coors Blvd (Existing SD Stub)

/	/	/
/	/	/
/	/	/
/	/	/

Financially Guaranteed DRC#	Constructed Under DRC#
-----------------------------------	------------------------------

Construction Certification	
Private	City Cnst Engineer
Inspector	P.E.

Onsite Water Improvements

Size	Type of Improvement	Location	From	To
10" Dia.	Waterline W/ Nec. FH, MJ's & RJ's	Parcel A	Atrisco (Southernmost Access Drive)	St. Josephs (NE Corner of Parcel G)
10" Dia.	Waterline W/ Nec. FH, MJ's & RJ's	Parcels A, B, C, D, E, F & G	Atrisco (Northernmost Access Drive)	Intersection of Coors Blvd St. Josephs
FH	W/ Nec. Waterline, MJ's & RJ's	Parcel A (Adjacent to Atrisco)		

/	/	/
/	/	/
/	/	/

Onsite Sewer Improvements

8" Dia.	Sanitary Sewer W/ Nec. MH's and Services	Parcels A, C & G	Parcel A (Near Main Entrance off St. Josephs)	Coors Blvd (SE Corner of Parcel A)
8" Dia.	Sanitary Sewer W/ Nec. MH's and Services	Parcel A	Parcel A (Middle of Southern Boundary)	Coors Blvd (SE Corner of Parcel A)
8" Dia.	Sanitary Sewer W/ Nec. MH's and Services	St. Josephs Blvd	Western boundary of Parcel H	Northern Leg of Proposed Roundabout Parcel D
6" Dia.	Sanitary Sewer Service	Parcel D	St. Josephs Blvd (Existing SAS Main)	
6" Dia.	Sanitary Sewer Service	Parcel E	St. Josephs Blvd (Existing SAS Main)	Parcel E

/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

NOTES

If the site is located in a floodplain, then the the financial guarantee will not be released until the LOMR is approved by FEMA.
Street light per City requirements.

1 _____

2 _____

3 _____

The items listed below are on the CCIP and approved for impact Fee Credits. Signatures from the Impact Fee Administrator and the City User Department are required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC#	Constructed Under DRC#	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
							/	/	/
							/	/	/
							/	/	/

AGENT/OWNER

Jason Woodruff (Agent)

NAME(print)

GND, LLC, 5643 Paradise Blvd, Albuquerque, NM
87114

FIRM

SIGNATURE

Jason Woodruff
MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR -- date

PARKS & GENERAL SERVICES -- date

TRANSPORTATION DEVELOPMENT -- date

AMAFCA -- date

UTILITY DEVELOPMENT -- date

_____ - date

CITY ENGINEER -- date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- ___ Major Subdivision action
- ___ Minor Subdivision action
- ___ Vacation
- ___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ___ for Subdivision
- for Building Permit
- ___ Administrative Amendment (AA)
- ___ IP Master Development Plan
- ___ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ___ Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- ___ Annexation
- ___ County Submittal
- ___ EPC Submittal
- ___ Zone Map Amendment (Establish or Change Zoning)
- ___ Sector Plan (Phase I, II, III)
- ___ Amendment to Sector, Area, Facility or Comprehensive Plan
- ___ Text Amendment (Zoning Code/Sub Regs)
- ___ Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- ___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): GEORGE RAINHART ARCHITECT & ASSOCIATES PHONE: 505-884-9110
 ADDRESS: 2325 SAN PEDRO N.E. SUITE 2-B FAX: 505-837-9877
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

APPLICANT: SUNLAND DEVELOPMENT GROUP LLC PHONE: 505-831-6855
 ADDRESS: 4407 LOMAS BLVD N.E. FAX: 505-831-6899
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: _____

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. X-1-A1, X-1-A2, X-2-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: UNIVERSITY OF ALBUQUERQUE URBAN CENTER
 Existing Zoning: SU-3 (R-2, C-2, O-1) Proposed zoning: SU-3 (C-240-1 ONLY) MRGCD Map No _____
 Zone Atlas page(s): G-11 UPC Code: 101106019549120846 AND 101106018038720705

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): SD-80-3-1/2-95-94
SD-80-3-3; SD-80-3-1; SD-80-3-4/296-99; 2-97-103' SD80-3-5/2-97-93

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 47.2
 LOCATION OF PROPERTY BY STREETS: On or Near: St. Joseph's Dr. NW
 Between: COORS BLVD NW and ARRISCO Dr. NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 12-4-07
 (Print) JOHN C SPITZ Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB - 70419</u>	<u>SBP</u>	<u>(13)</u>	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>12-12-07</u>			Total <u>\$ 20.00</u>

[Signature] 12/4/07
 Planner signature / date

Project # 1005357

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

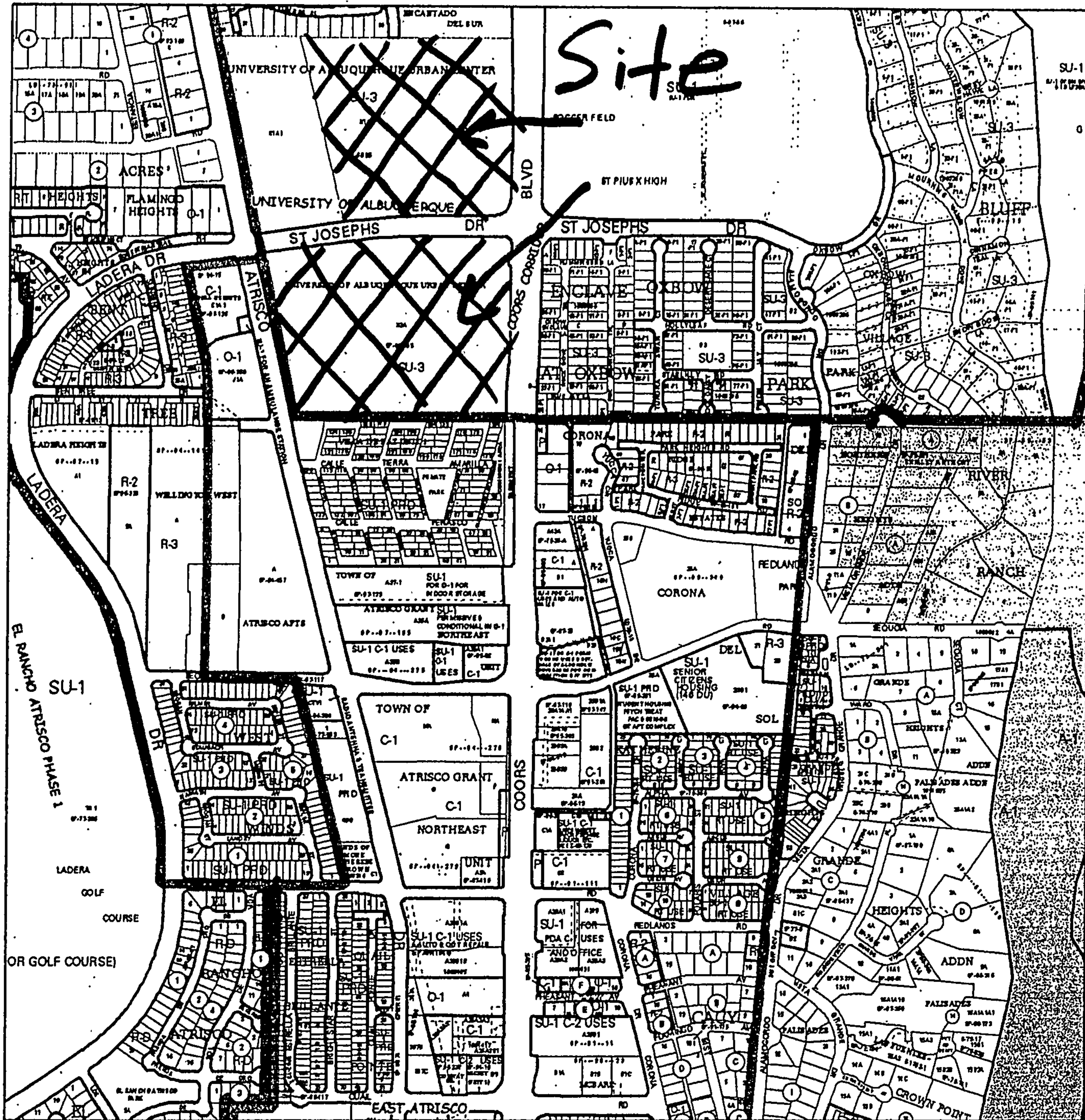
JOHN C SPITZ
Applicant name (print)
John C Spitz 12-4-07
Applicant signature / date




Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
07DRB - 70419

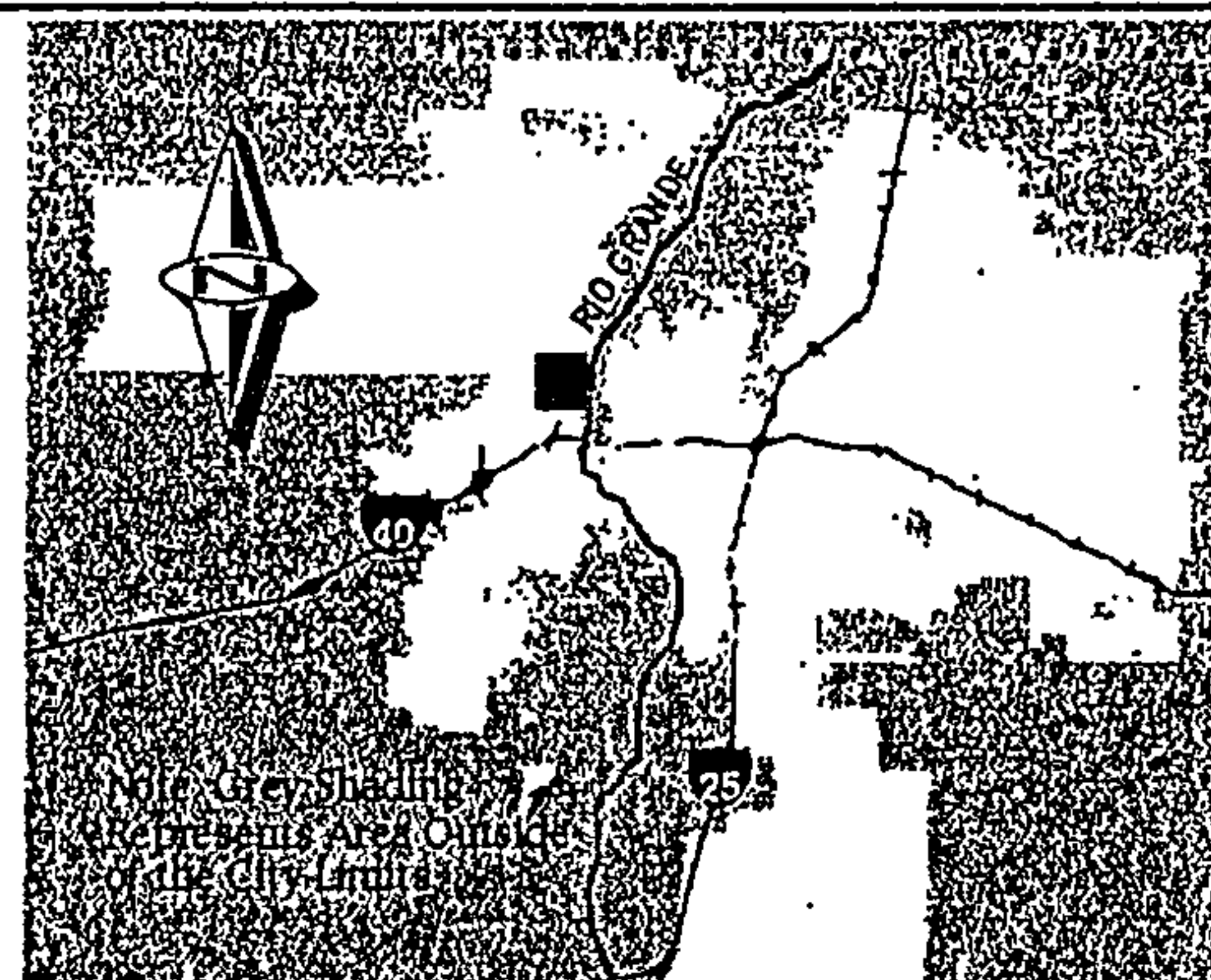
Andrew Garcia 12/4/07
Planner signature / date
Project # 1005357



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 9/5/2006

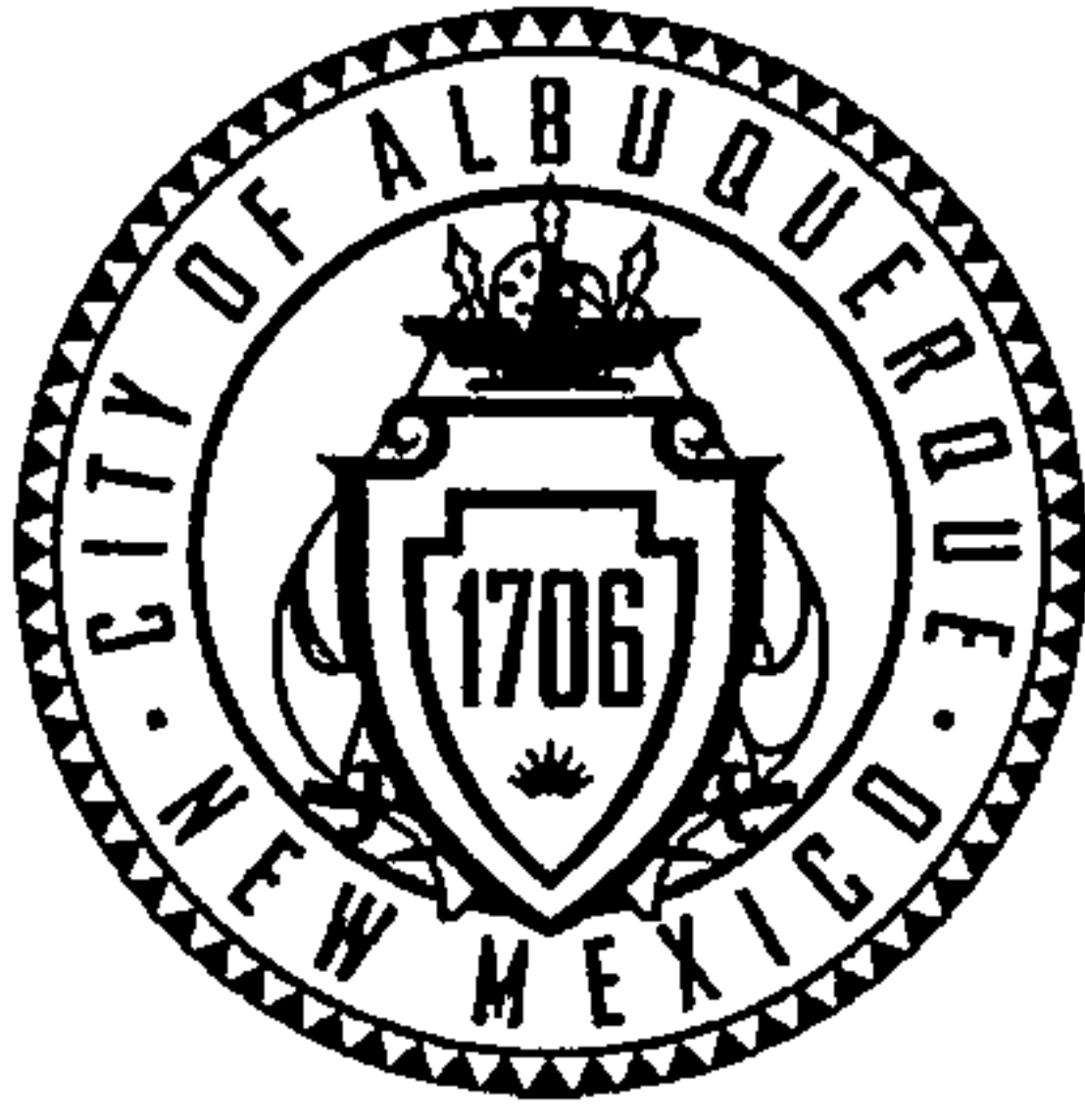


Zone Atlas Page:
G-11-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

November 27, 2007

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s): 1005357 (EPC)

Case Number(s):

Agent: Sunland Development Group, LLC

Applicant:

Legal Description: Tracts X1-A2 and X2-A, University of Albuquerque Urban Center

Acreage: 50.3 acres

Zone Atlas Page: G-11

CERTIFICATE OF NO EFFECT: Yes No

SUPPORTING DOCUMENTATION:

A Cultural Resources Survey of a 50.3 Acre Parcel at Coors Road and St. Joseph's Drive in Bernalillo County, New Mexico. by Amador Minjares; NIAF form submitted by TRC Solutions, November 2, 2007 (NMCRIIS #108065). Todd Howell, P.I.

SITE VISIT: n/a

RECOMMENDATION(S):

- *CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)— no significant sites in project area).*

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
Acting City Archaeologist

Change Letter
Project # 10005357

Changes made are on the Site Plan for Building Permit. The conditions start on page 17 of the Notice of Decision dated April 12, 2007.

- 5) The number of free standing signs has been revised to comply with the Coors Corridor Plan

- 7)
 - a. A 3'-0" screen wall has been placed around the trash compactor.
 - b. The footprint area for the office buildings is 128, 000 square feet. The 256, 000 square feet is because the office buildings are two stories in height.
 - d. All pedestrian crossing are identified with colored textured concrete.
 - e. A pedestrian crossing has been added between the bank on Parcel J and the restaurant on Parcel I.
 - f. The bank drive thru on Parcel J has been moved away from pedestrian areas.
 - g. A sidewalk has been added connecting to Quaker Heights.
 - j. The 9 parking spaces have been removed.
 - k. The area adjacent to Atrisco Drive and the drive aisle between Parcels A and D is a retention pond.

- 8)
 - a. We will coordinate with the Transit Department about any possible upgrades to the adjacent bus shelter.
 - b. We will coordinate with PNM about any easements that run across the property.

- 10)
 - i. A bicycle lane has been added to Coors Boulevard, adjacent to the property.
 - k. On street bicycle lane as been provided on each side of St. Joseph's Drive.

- 11) All landscape changes have been made.

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Sunland Development Group LLC DATE OF REQUEST: 2/1/07 ZONE ATLAS PAGE(S): G-11

CURRENT: ZONING SU-3 (R-3, C-2, O-1)
PARCEL SIZE (AC/SQ. FT.) 47.2 acres

LEGAL DESCRIPTION:
LOT OR TRACT # Y-1-A-2 BLOCK #
SUBDIVISION NAME University of Albuquerque Urban Center

REQUESTED CITY ACTION(S):

- ANNEXATION []
- COMP. PLAN []
- AMENDMENT []
- SECTOR PLAN
- ZONE CHANGE
- CONDITIONAL USE []

SITE DEVELOPMENT PLAN:

- A) SUBDIVISION BUILDING PERMIT []
- B) BUILD'G PURPOSES ACCESS PERMIT []
- C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
- NEW CONSTRUCTION []
- EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS:
BUILDING SIZE: 240,000 (sq. ft.) Site plan for building purposes plus additional building for future development

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Agent DATE 2/1/07
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section - 2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES NO [] BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

Notes: OXBOW TOWN CENTER DEV. TIS (1-3-07)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony Zel
TRAFFIC ENGINEER DATE 2-1-07

Air Quality Impact Analysis (AQIA) May Be Required: John TascheK contracted to prepare AQIA

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES NO []

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

APPLICANT Agent DATE 2/1/07

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/29/07 -FINALIZED 1/1/07
Tony Zel
TRAFFIC ENGINEER DATE 2-1-07

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

11
11
11
11

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 1147 provided: 1147
Handicapped spaces required: 40 provided: 40
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 54
provided: 54
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST:

Revised: 4/18/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

FORM DRWS: DRAINAGE REPORT / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION
FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: OXBOW TOWN CENTER

AGIS MAP # G-11

LEGAL DESCRIPTIONS: TRACT X-1-42 & X-2-A

DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd Floor Plaza del Sol) on 10-2-07 (date).

J Woodruff
Applicant/Agent

11/9/07
Date

[Signature]
Hydrology Division Representative

11/9/07
Date

WATER AND SEWER AVAILABILITY STATEMENT

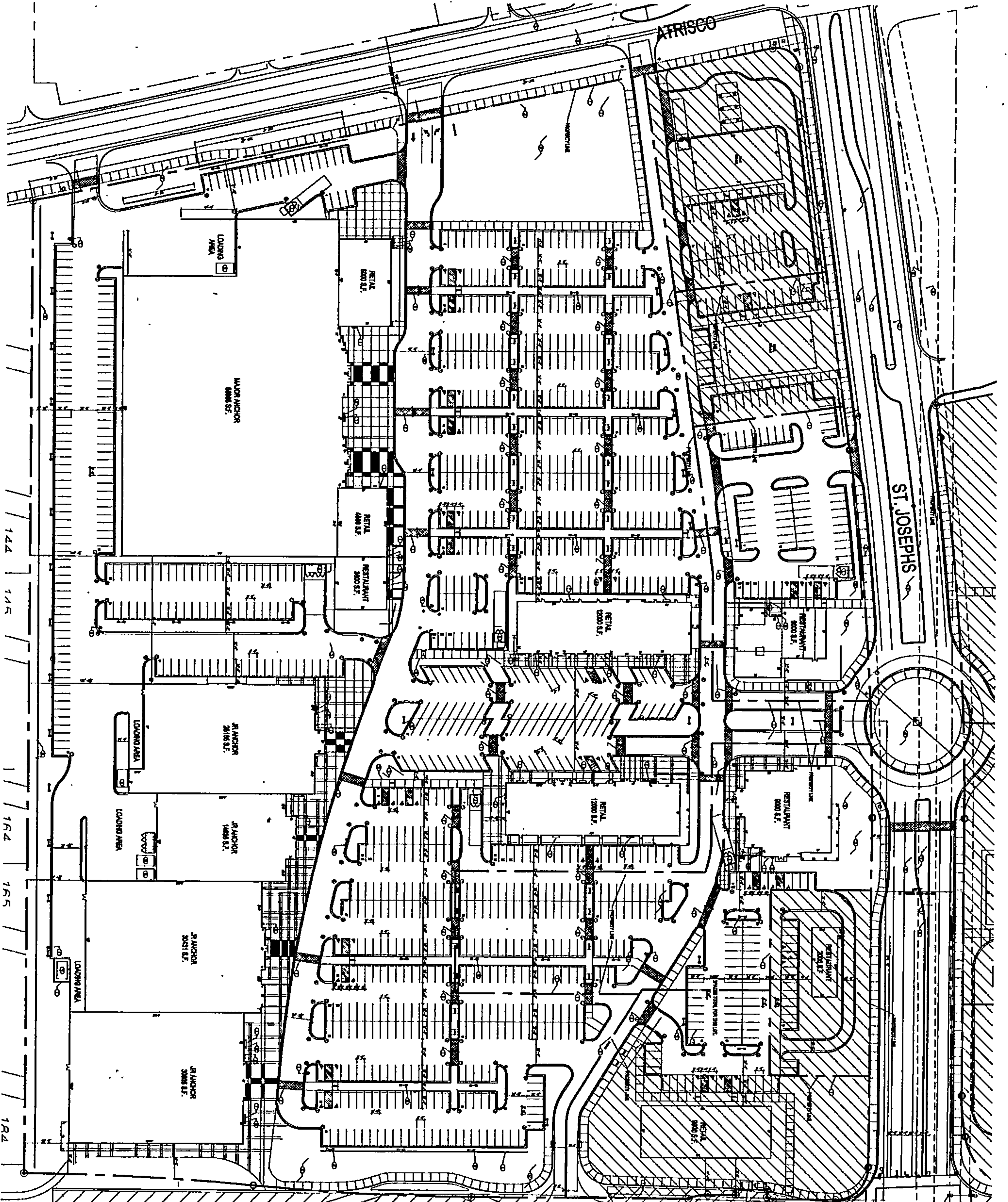
A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor, Plaza del Sol) on 10-22-07 (date).

J Woodruff
Applicant/Agent
William J. Baloe
Utilities Division Representative

11/9/07
Date

11/9/07
Date

PROJECT # _____



NOTED NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL FINISHES ARE TO BE AS NOTED.

3. ALL UTILITIES ARE TO BE AS NOTED.

4. ALL CONCRETE AREAS ARE TO BE FINISHED WITH POLISHED CONCRETE.

5. ALL METAL AREAS ARE TO BE FINISHED WITH POLISHED METAL.

6. ALL GLASS AREAS ARE TO BE FINISHED WITH LOW-E GLASS.

7. ALL ROOF AREAS ARE TO BE FINISHED WITH BURR SYSTEM.

8. ALL EXTERIOR WALLS ARE TO BE FINISHED WITH STUCCO.

9. ALL EXTERIOR FLOORS ARE TO BE FINISHED WITH POLISHED CONCRETE.

10. ALL EXTERIOR STAIRS ARE TO BE FINISHED WITH POLISHED CONCRETE.

11. ALL EXTERIOR RAMP AREAS ARE TO BE FINISHED WITH POLISHED CONCRETE.

12. ALL EXTERIOR LIGHT FIXTURES ARE TO BE AS NOTED.

13. ALL EXTERIOR SIGNAGE AREAS ARE TO BE AS NOTED.

14. ALL EXTERIOR FURNITURE AREAS ARE TO BE AS NOTED.

15. ALL EXTERIOR PLANTING AREAS ARE TO BE AS NOTED.

16. ALL EXTERIOR PAVING AREAS ARE TO BE AS NOTED.

17. ALL EXTERIOR CURBS ARE TO BE AS NOTED.

18. ALL EXTERIOR DRIVEWAYS ARE TO BE AS NOTED.

19. ALL EXTERIOR UTILITY AREAS ARE TO BE AS NOTED.

20. ALL EXTERIOR ELECTRICAL AREAS ARE TO BE AS NOTED.

21. ALL EXTERIOR MECHANICAL AREAS ARE TO BE AS NOTED.

22. ALL EXTERIOR WATER AREAS ARE TO BE AS NOTED.

23. ALL EXTERIOR SEWER AREAS ARE TO BE AS NOTED.

24. ALL EXTERIOR GAS AREAS ARE TO BE AS NOTED.

25. ALL EXTERIOR TELEPHONE AREAS ARE TO BE AS NOTED.

26. ALL EXTERIOR CABLE AREAS ARE TO BE AS NOTED.

27. ALL EXTERIOR ANTENNA AREAS ARE TO BE AS NOTED.

28. ALL EXTERIOR SECURITY AREAS ARE TO BE AS NOTED.

29. ALL EXTERIOR ACCESS AREAS ARE TO BE AS NOTED.

30. ALL EXTERIOR EGRESS AREAS ARE TO BE AS NOTED.

31. ALL EXTERIOR FIRE AREAS ARE TO BE AS NOTED.

32. ALL EXTERIOR HAZARD AREAS ARE TO BE AS NOTED.

33. ALL EXTERIOR EMERGENCY AREAS ARE TO BE AS NOTED.

34. ALL EXTERIOR FIRST AID AREAS ARE TO BE AS NOTED.

35. ALL EXTERIOR RESTROOM AREAS ARE TO BE AS NOTED.

36. ALL EXTERIOR DRINKING WATER AREAS ARE TO BE AS NOTED.

37. ALL EXTERIOR SEATING AREAS ARE TO BE AS NOTED.

38. ALL EXTERIOR STANDING AREAS ARE TO BE AS NOTED.

39. ALL EXTERIOR WAITING AREAS ARE TO BE AS NOTED.

40. ALL EXTERIOR LOADING AREAS ARE TO BE AS NOTED.

41. ALL EXTERIOR UNLOADING AREAS ARE TO BE AS NOTED.

42. ALL EXTERIOR STORAGE AREAS ARE TO BE AS NOTED.

43. ALL EXTERIOR OFFICE AREAS ARE TO BE AS NOTED.

44. ALL EXTERIOR LABOR AREAS ARE TO BE AS NOTED.

45. ALL EXTERIOR MEETING AREAS ARE TO BE AS NOTED.

46. ALL EXTERIOR CONFERENCE AREAS ARE TO BE AS NOTED.

47. ALL EXTERIOR TRAINING AREAS ARE TO BE AS NOTED.

48. ALL EXTERIOR EDUCATION AREAS ARE TO BE AS NOTED.

49. ALL EXTERIOR RESEARCH AREAS ARE TO BE AS NOTED.

50. ALL EXTERIOR DEVELOPMENT AREAS ARE TO BE AS NOTED.

PROJECT INFORMATION

PROJECT TITLE: OXBOW TOWN CENTER
OWNER: OXBOW AND ST. JOSEPHS
ADDRESS: ALBUQUERQUE, NM

PROJECT MANAGER: [Blank] **JOB NO.:** [Blank] **DRAWING NO.:** 03

ARCHITECT: GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
ADDRESS: 2325 SAN PEDRO NE, SUITE 2-B
CITY: ALBUQUERQUE, NM **PHONE:** (505) 884-9110 **FAX:** (505) 837-9877

DATE: 12/18/06 **SCALE:** AS SHOWN **AS NOTED:** ASS9

REVISIONS

REV	DATE	BY	REVISION
1	12-18-06	JCR	IPC CONDITIONS
2	12-22-06	JCR	PLANNING COMMENTS

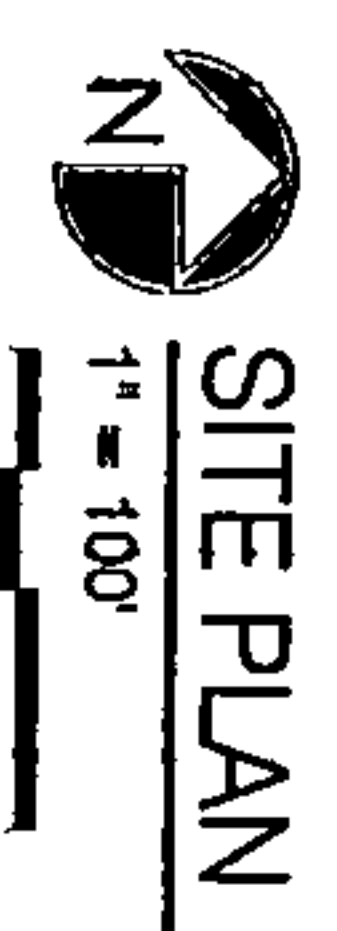
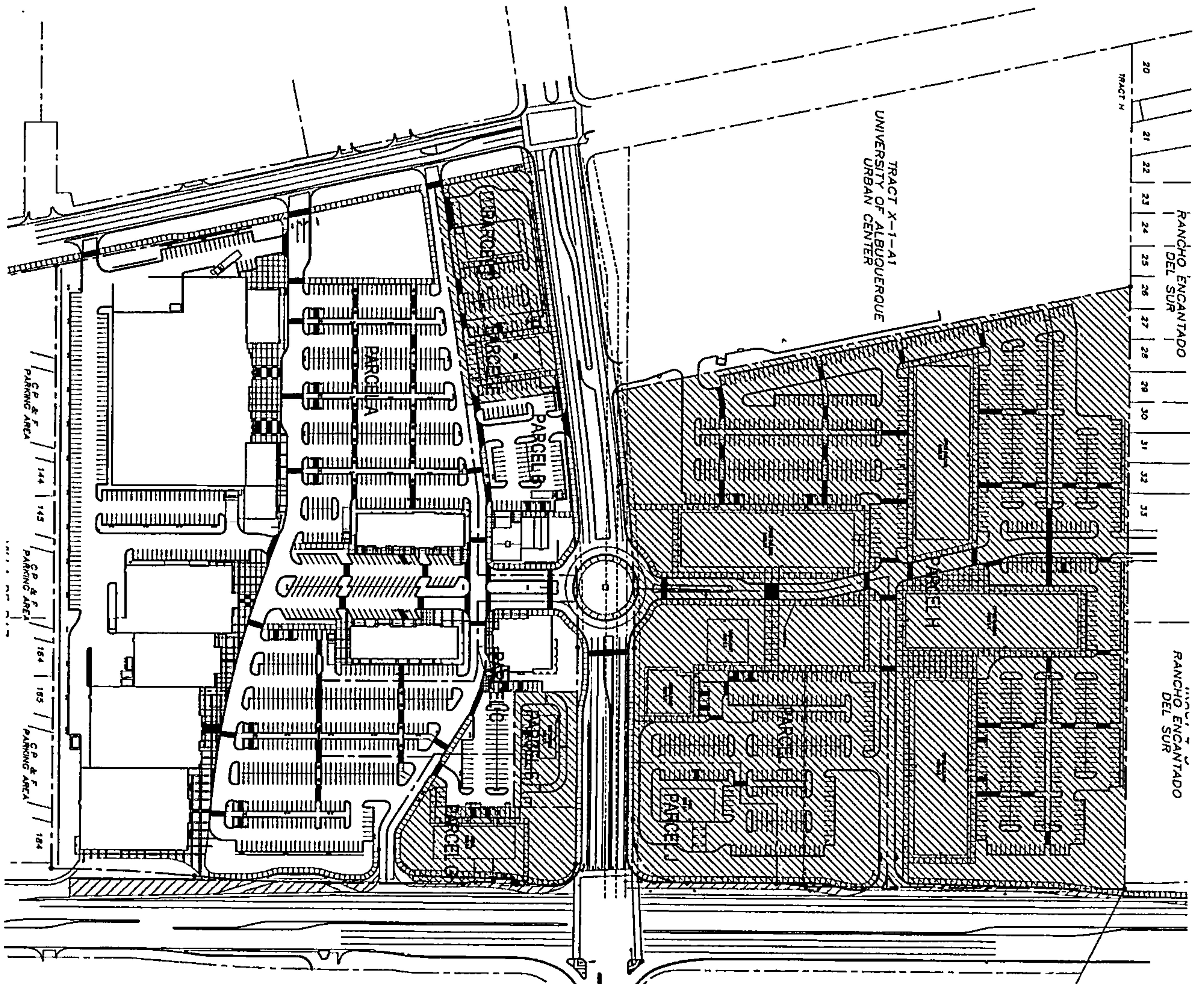
LEGEND

AREA NOT INCLUDED IN SITE PLAN (Hatched pattern)

ROOM SCHEDULE

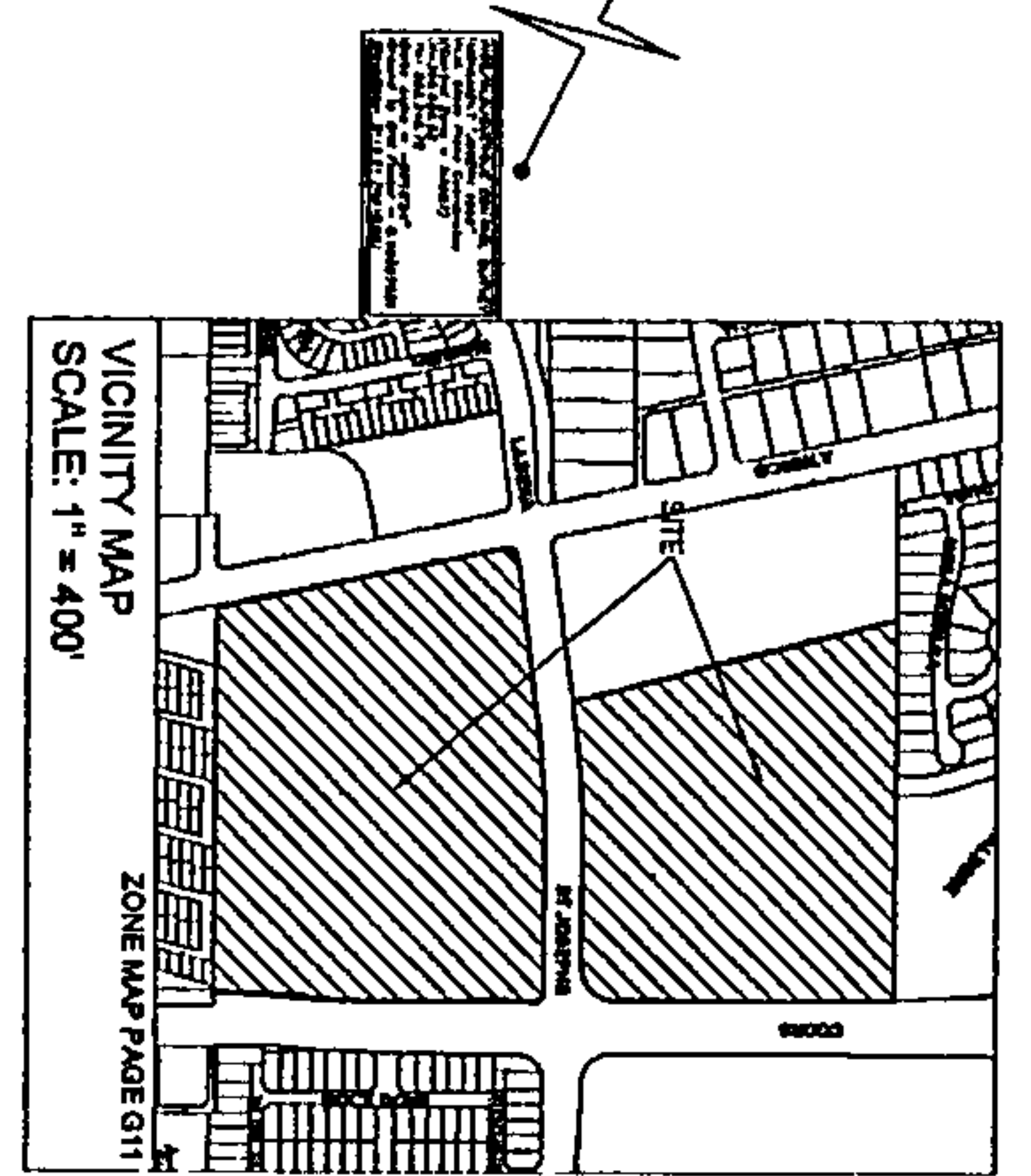
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 2. House - 3br
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 4. House - 4br
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 9. House - 4br
 10. House - 4br
 11. House - 4br
 12. House - 4br
 13. House - 4br
 14. House - 4br
 15. House - 4br
 16. House - 4br
 17. House - 4br
 18. House - 4br
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 20. House - 4br
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 38. House - 4br
 39. House - 4br
 40. House - 4br
 41. House - 4br
 42. House - 4br
 43. House - 4br
 44. House - 4br
 45. House - 4br
 46. House - 4br
 47. House - 4br
 48. House - 4br
 49. House - 4br
 50. House - 4br

DISCLAIMER: THIS SITE PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.



SITE PLAN

- AREA NOT INCLUDED IN SITE PLAN FOR BUILDING PERMIT.
- NOTE: ATRISCO AND COORS BOTH HAVE EXISTING BUS LANES.
- NOTE: THERE IS AN EXISTING BIKE LANE ON COORS BLVD. NORTH OF ST. JOSEPHS.
- NOTE: SEE SHEET AS3 FOR NOTES AND RAJDI.



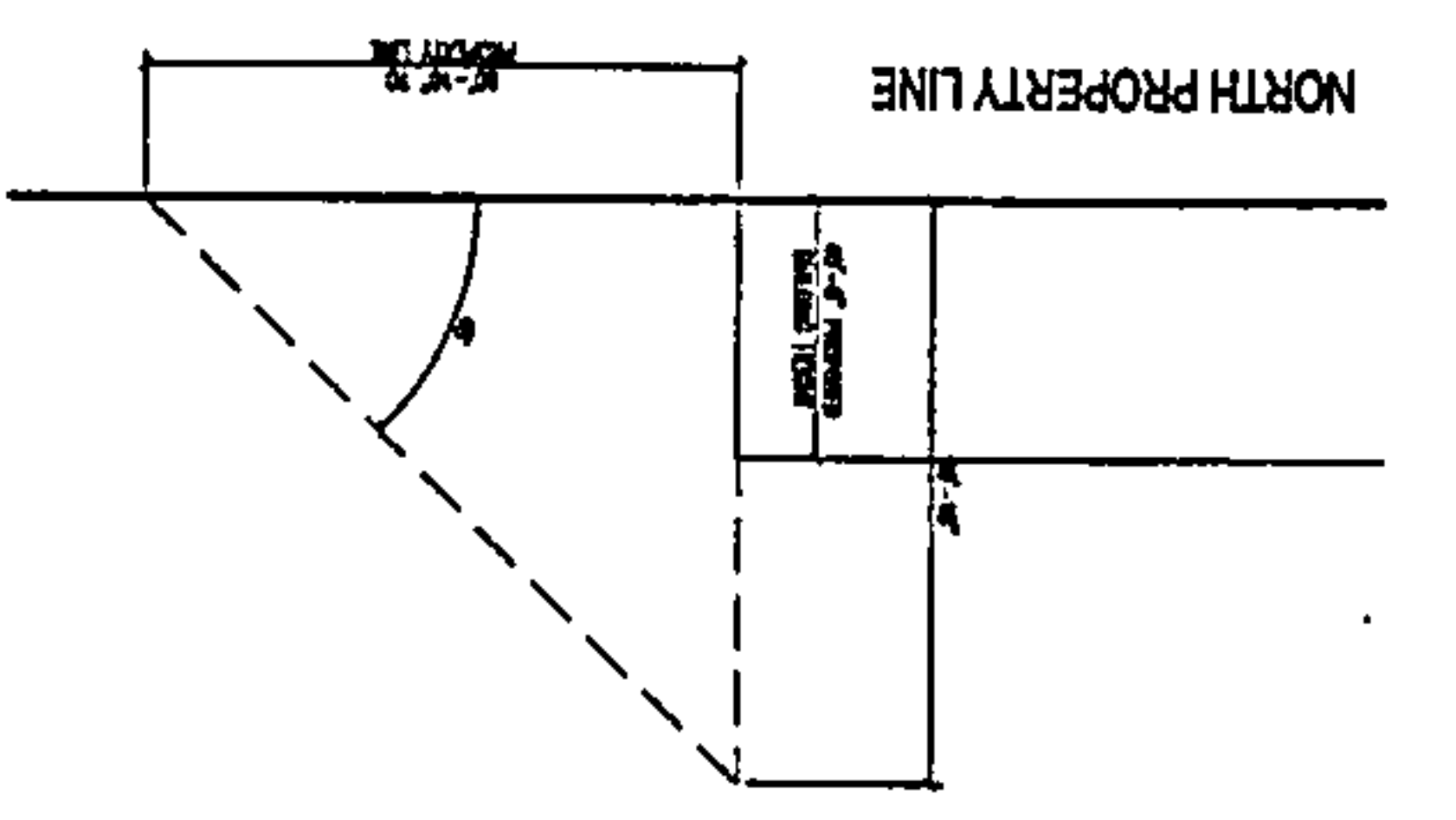
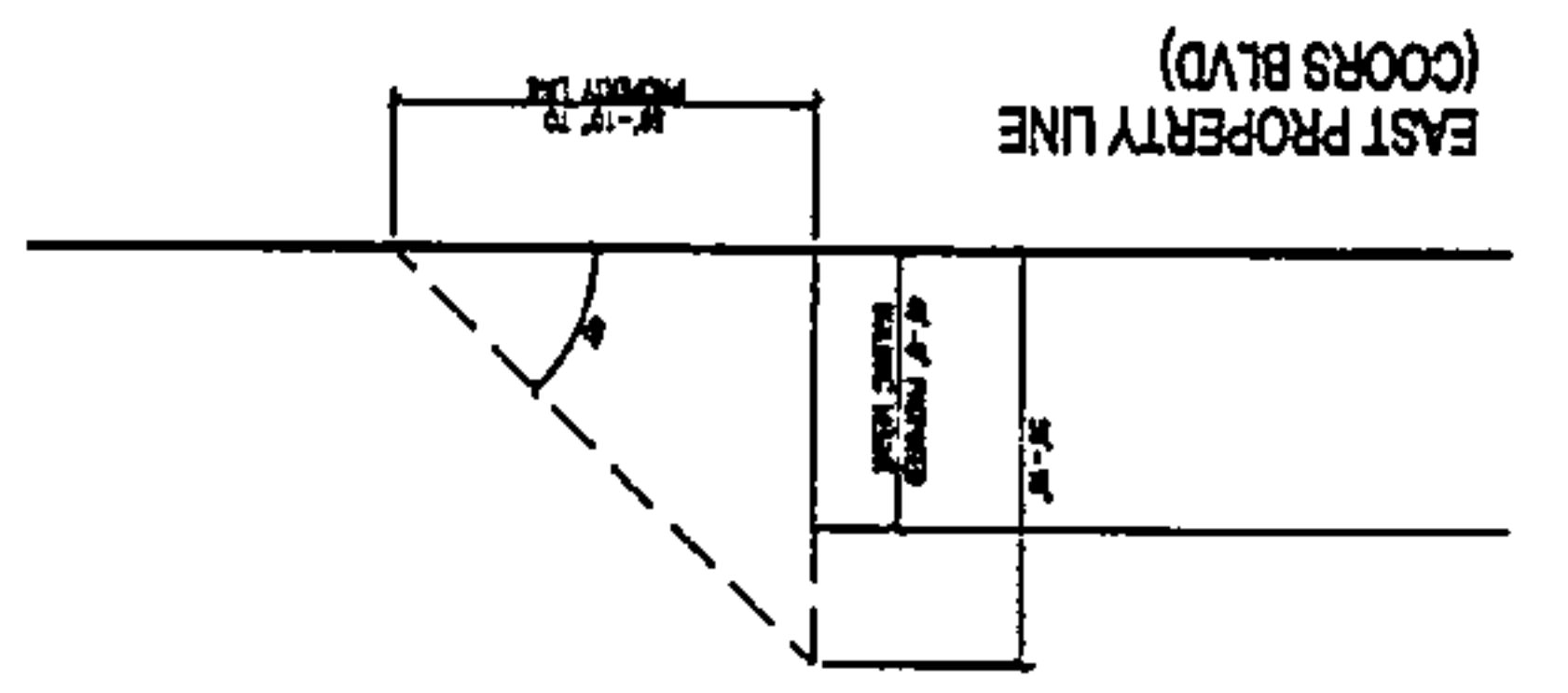
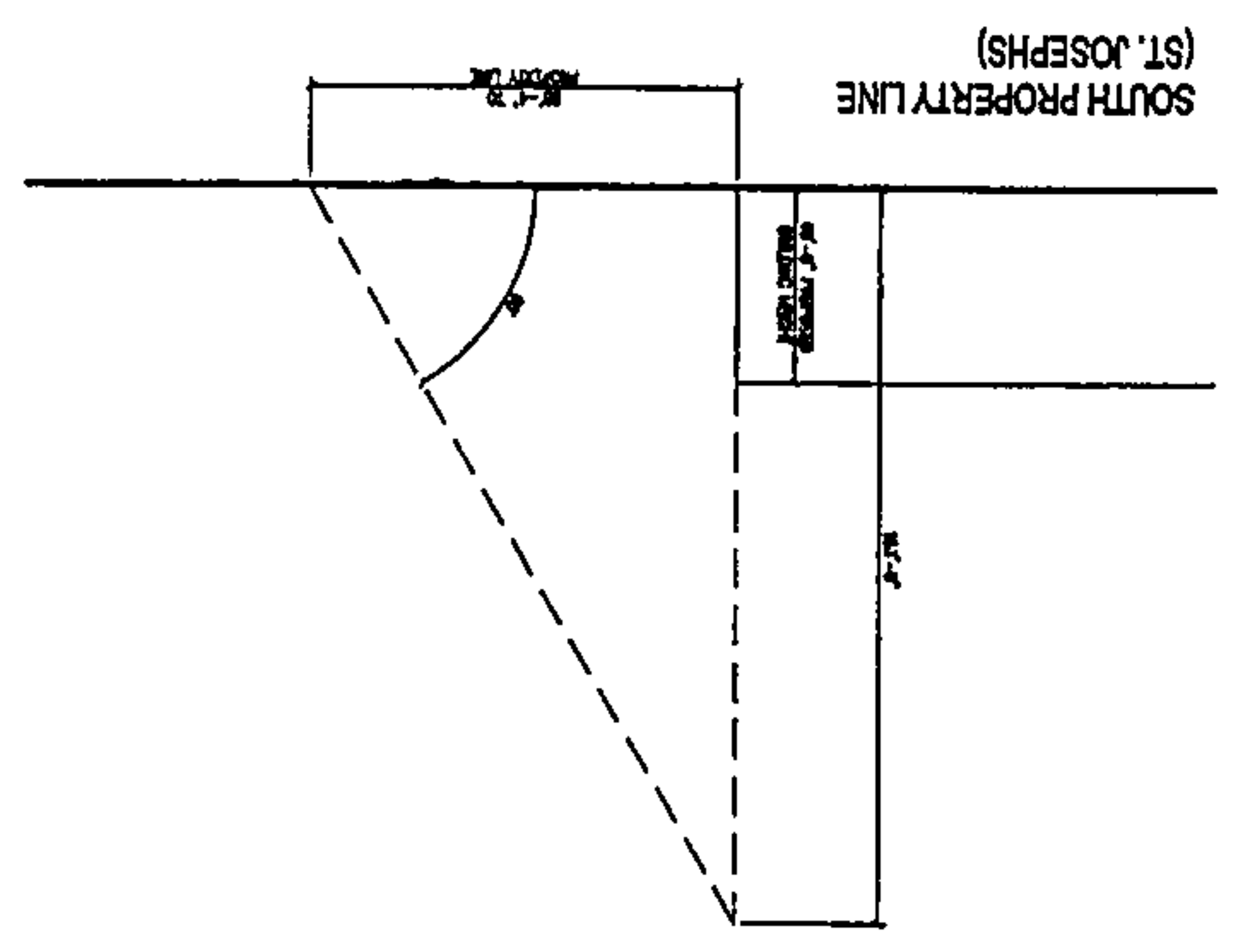
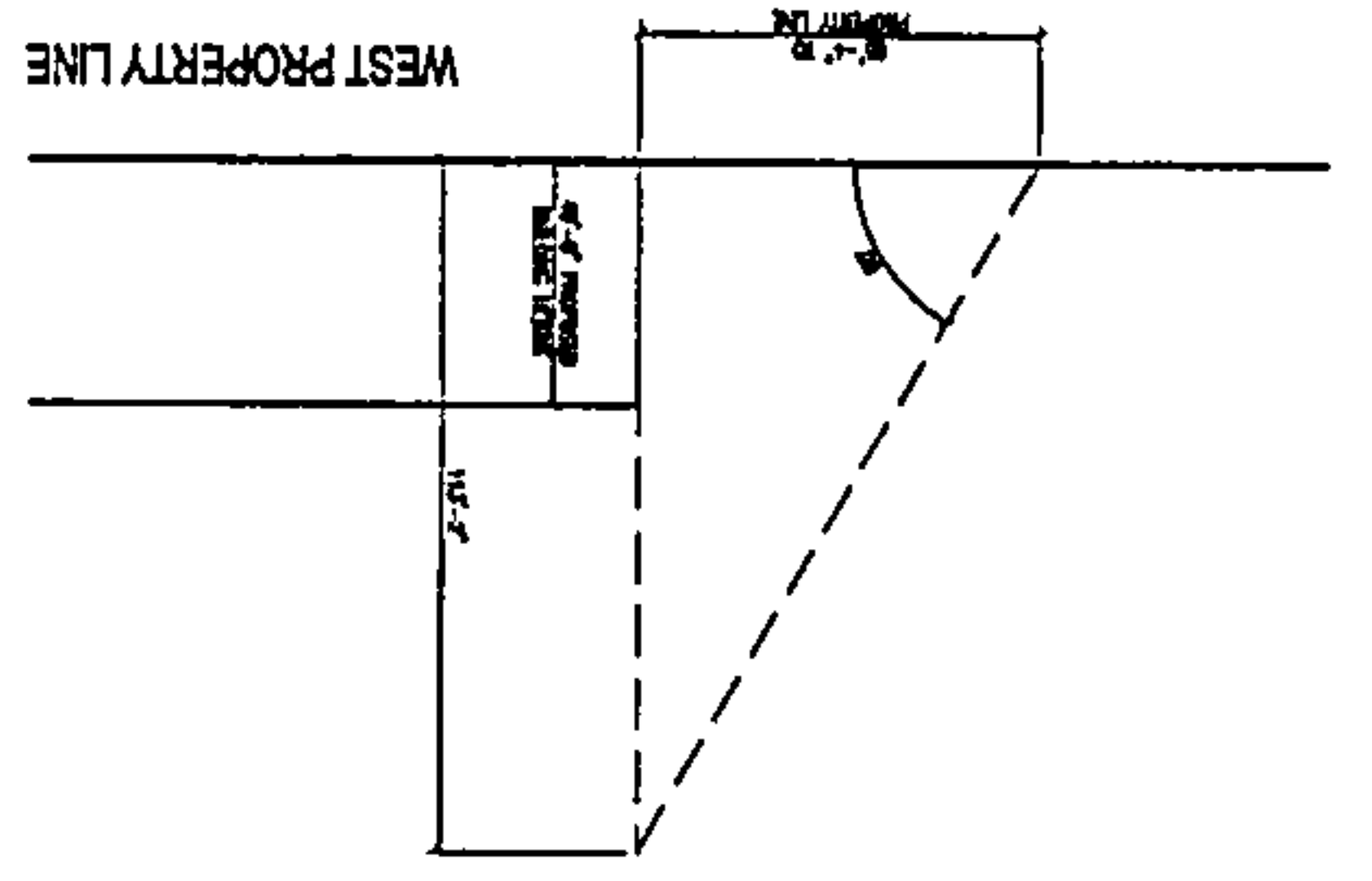
DATE	12/20/06	PROJECT TITLE	OXBOW TOWN CENTER
SCALE	AS NOTED	COORS AND ST. JOSEPHS	ALBUQUERQUE, NM
PROJECT MANAGER		JOB NO.	ISSUED BY
SHEET TITLE		SITE PLAN FOR BUILDING PERMIT	
AS8			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
△			
△			
△			
△	12-3-07	JCS	IPC COMMENTS
△	3-28-07	JCS	PLANNING COMMENTS

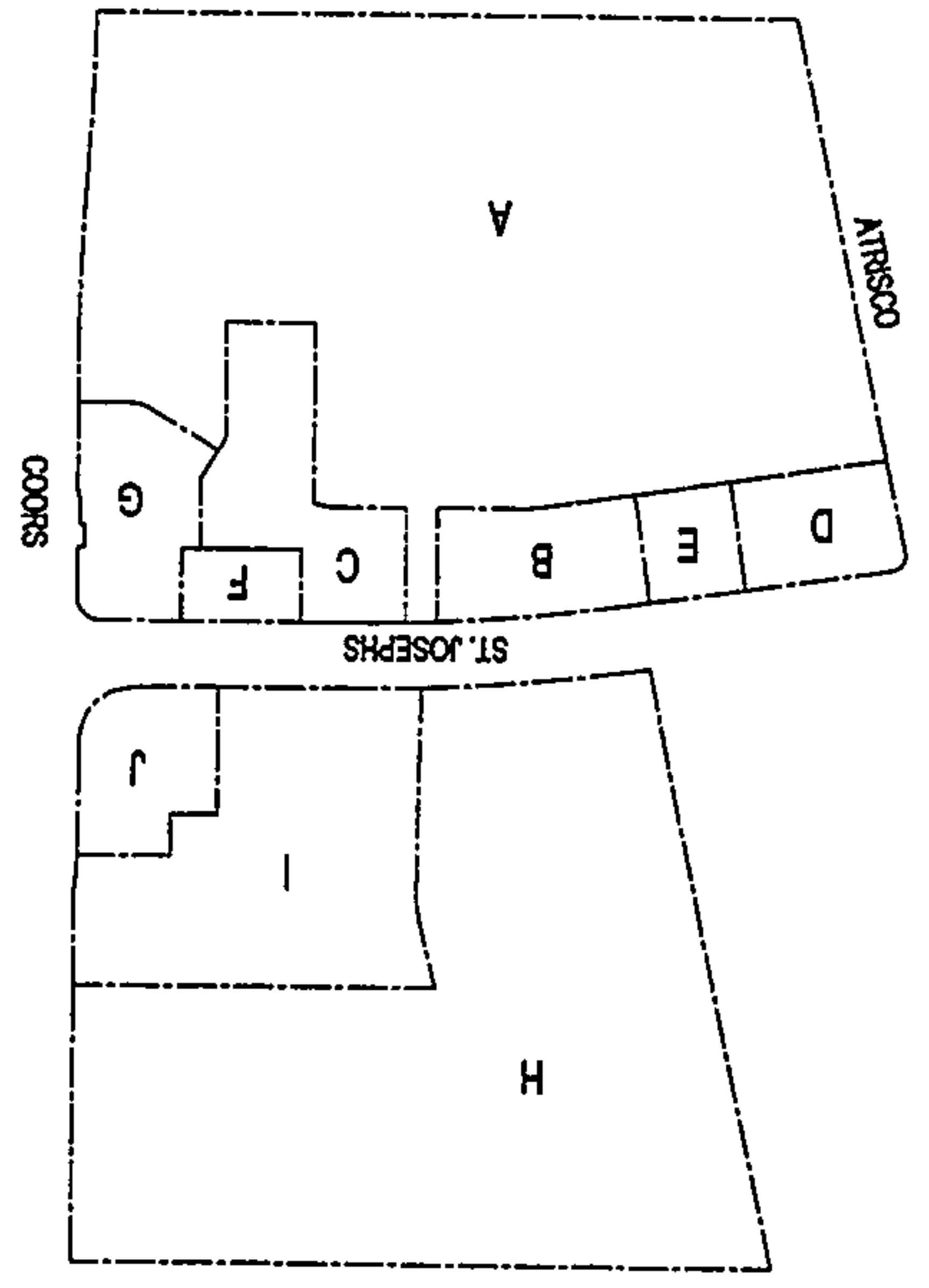
HEIGHT ANALYSIS

1/32" = 1'-0"



PARCEL PLAN

N.T.S.



DATA FOR SITE PLAN FOR REVISION

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	12/20/08	JCS
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

DATA FOR SITE PLAN FOR BUILDING PERMIT

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	12/20/08	JCS
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

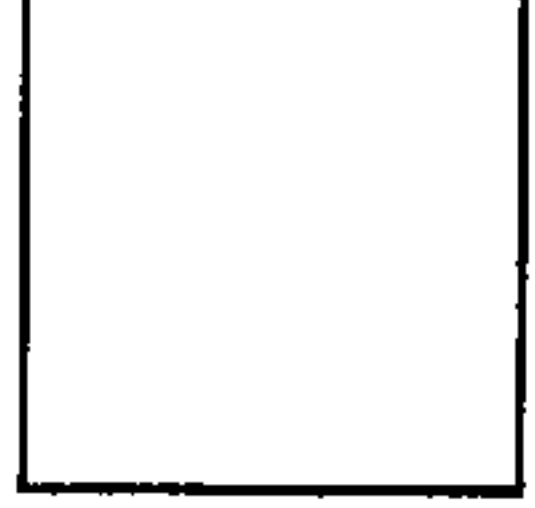
PROJECT TITLE: OXBOW TOWN CENTER
 COORNS AND ST. JOSEPHS
 ALBUQUERQUE, NM

DATE: 12/20/08
 SCALE: AS1

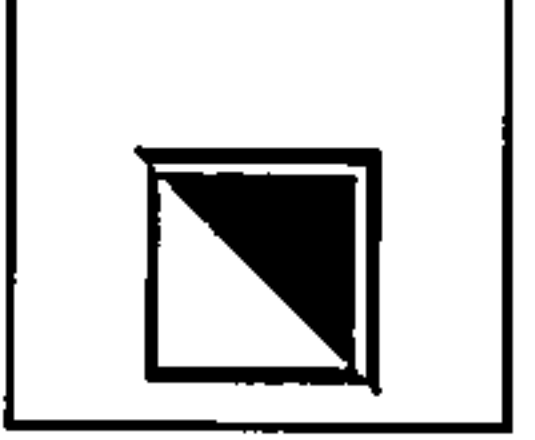
PROJECT NUMBER: []
 JOB NO.: []
 DRAWING NO.: JCS

REVISIONS:

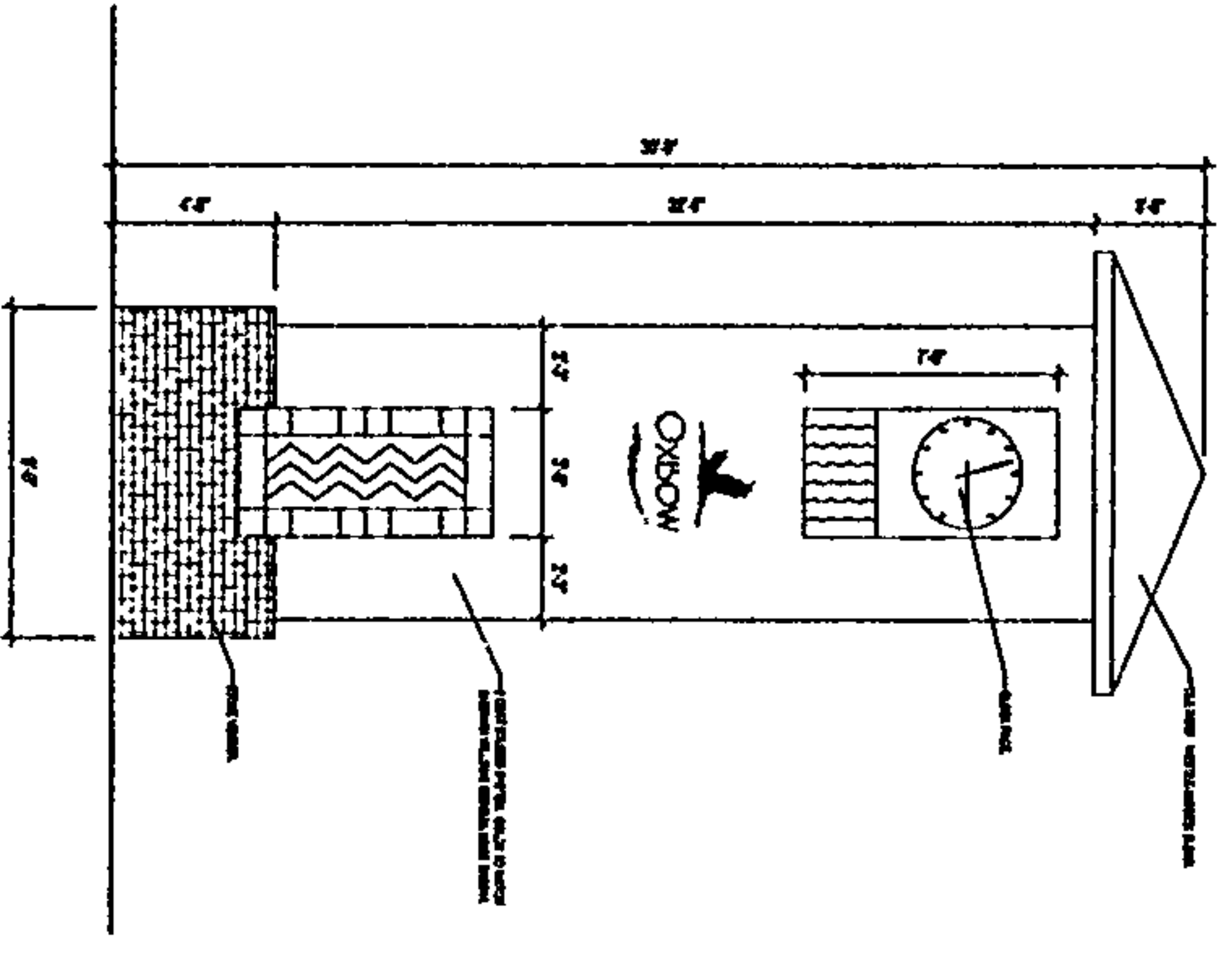
NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	12/20/08	JCS



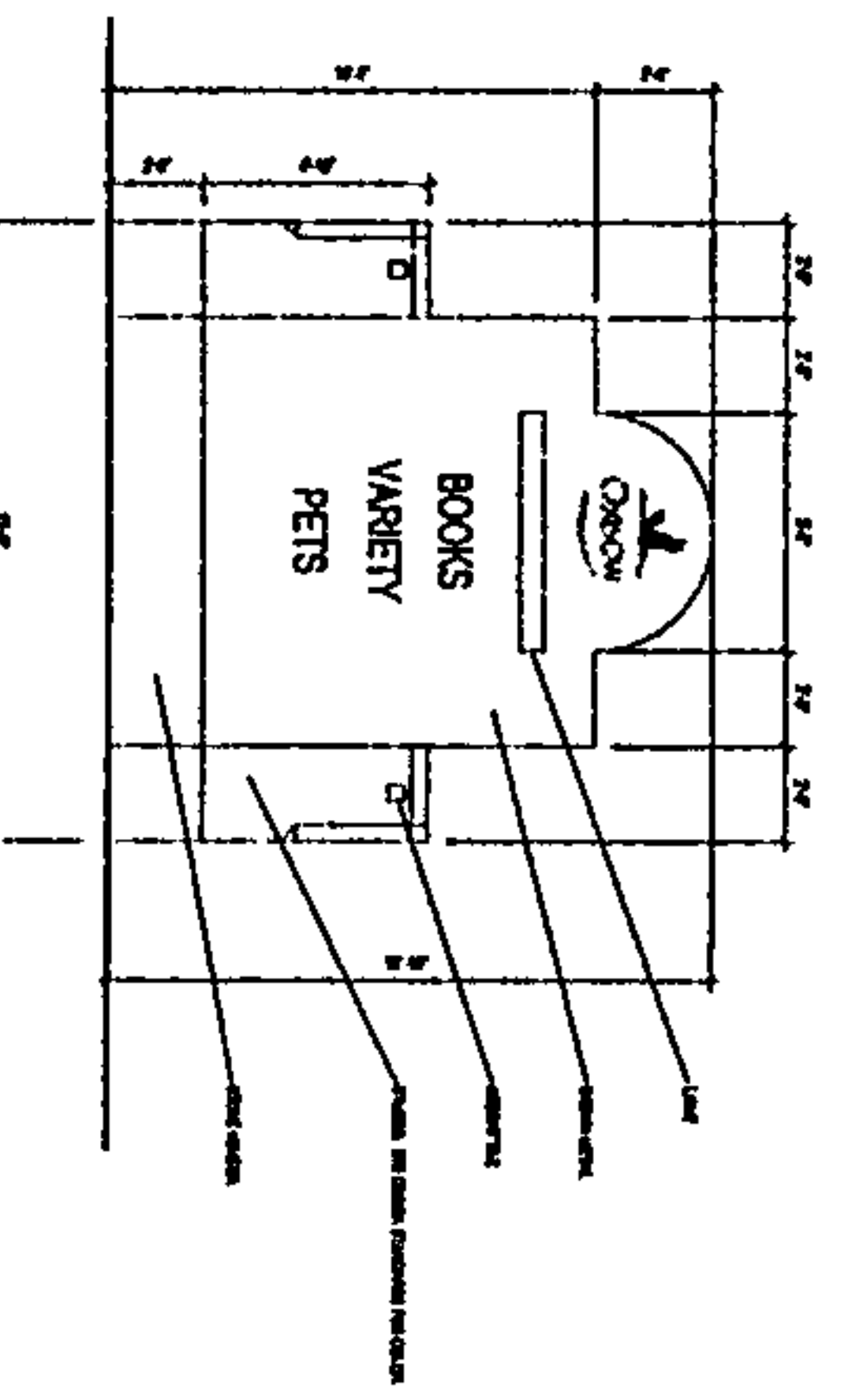
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



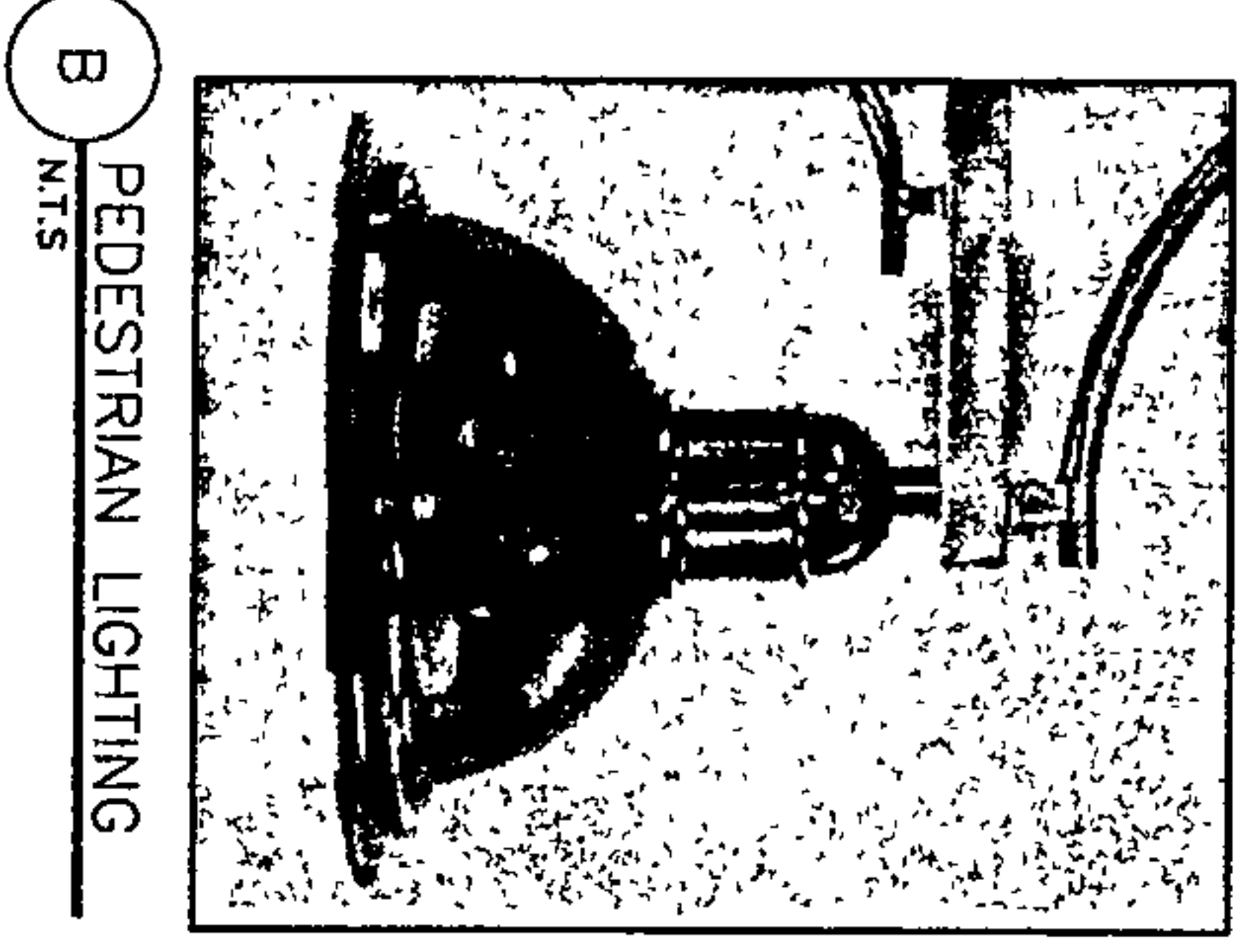
REV.	DATE	BY	REVISION
1	12/20/08	JCS	PLANNING CONSULTING



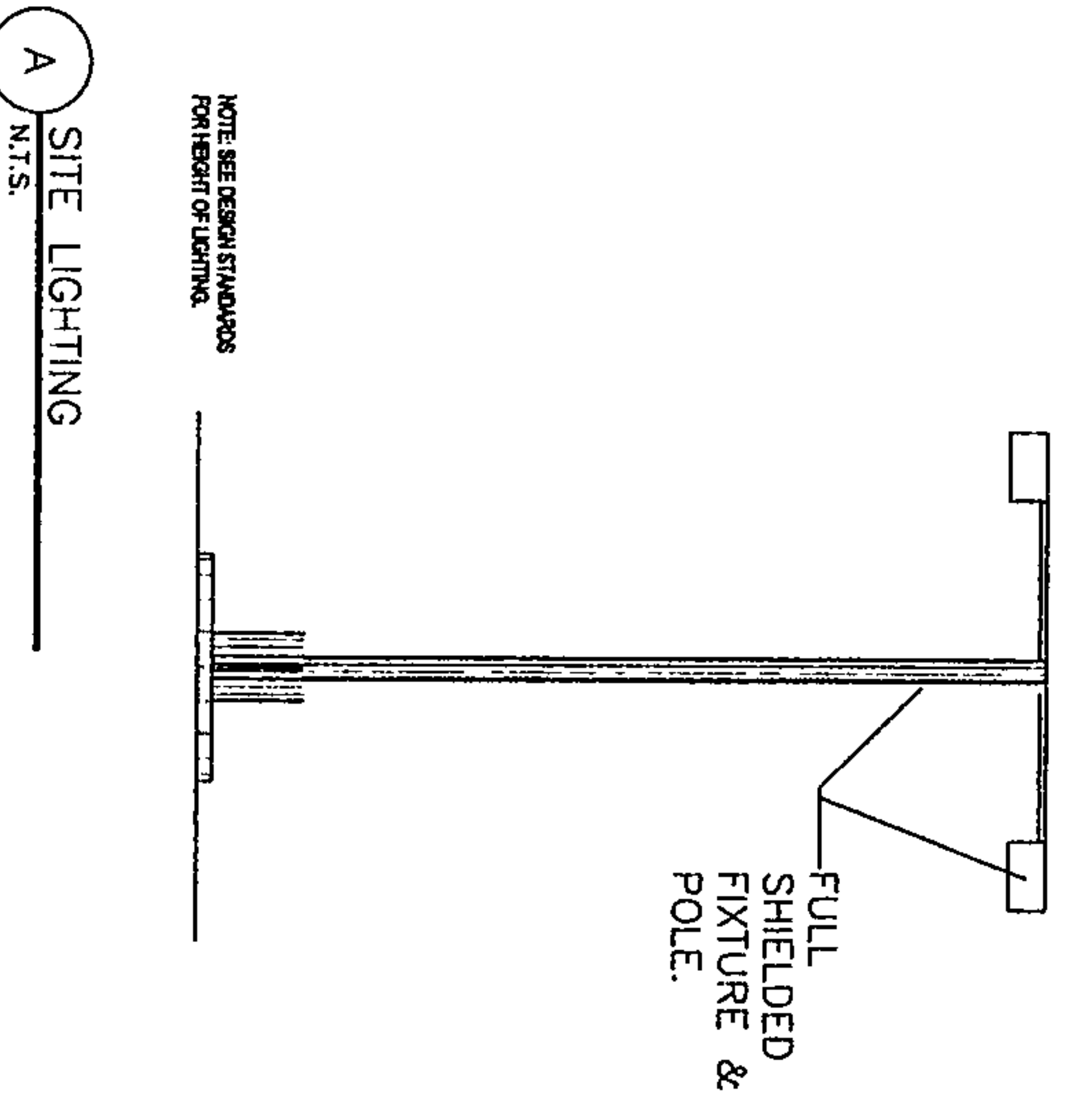
D CLOCK TOWER (TYP. ALL SIDES)
1/4" = 1'-0"



C MONUMENT SIGN - 75 S.F.
1/4" = 1'-0"

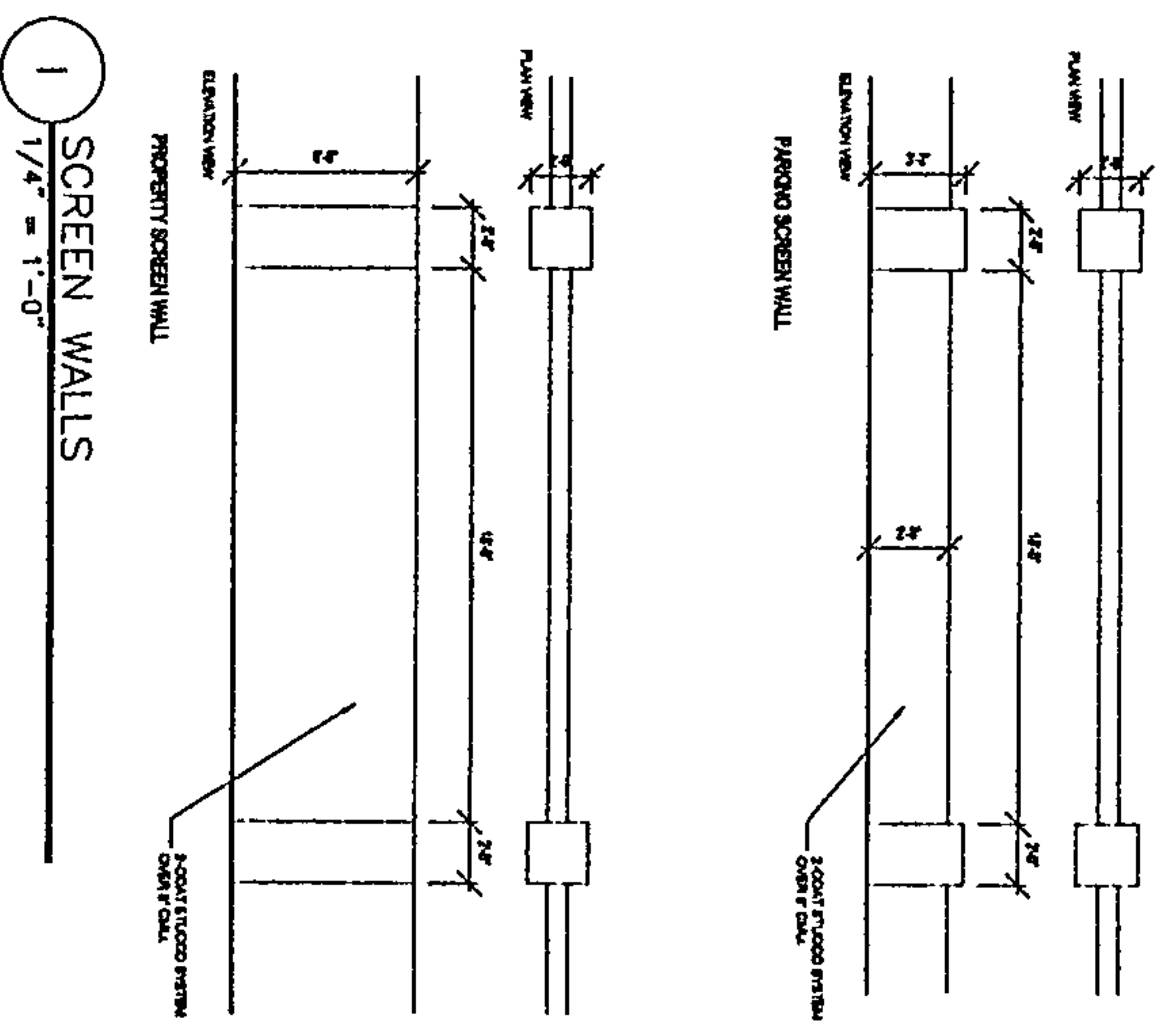


B PEDESTRIAN LIGHTING
N.T.S.

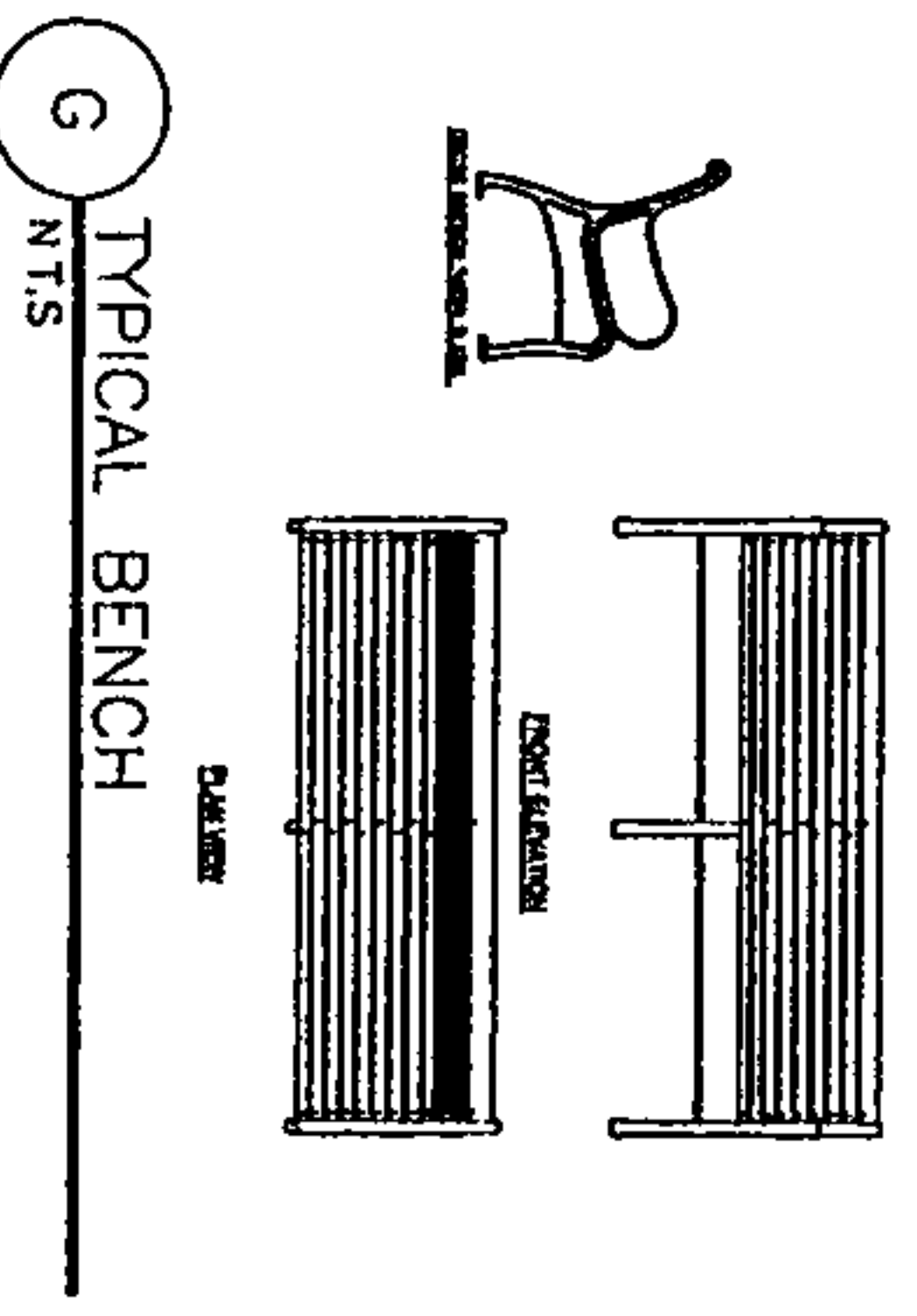


A SITE LIGHTING
N.T.S.

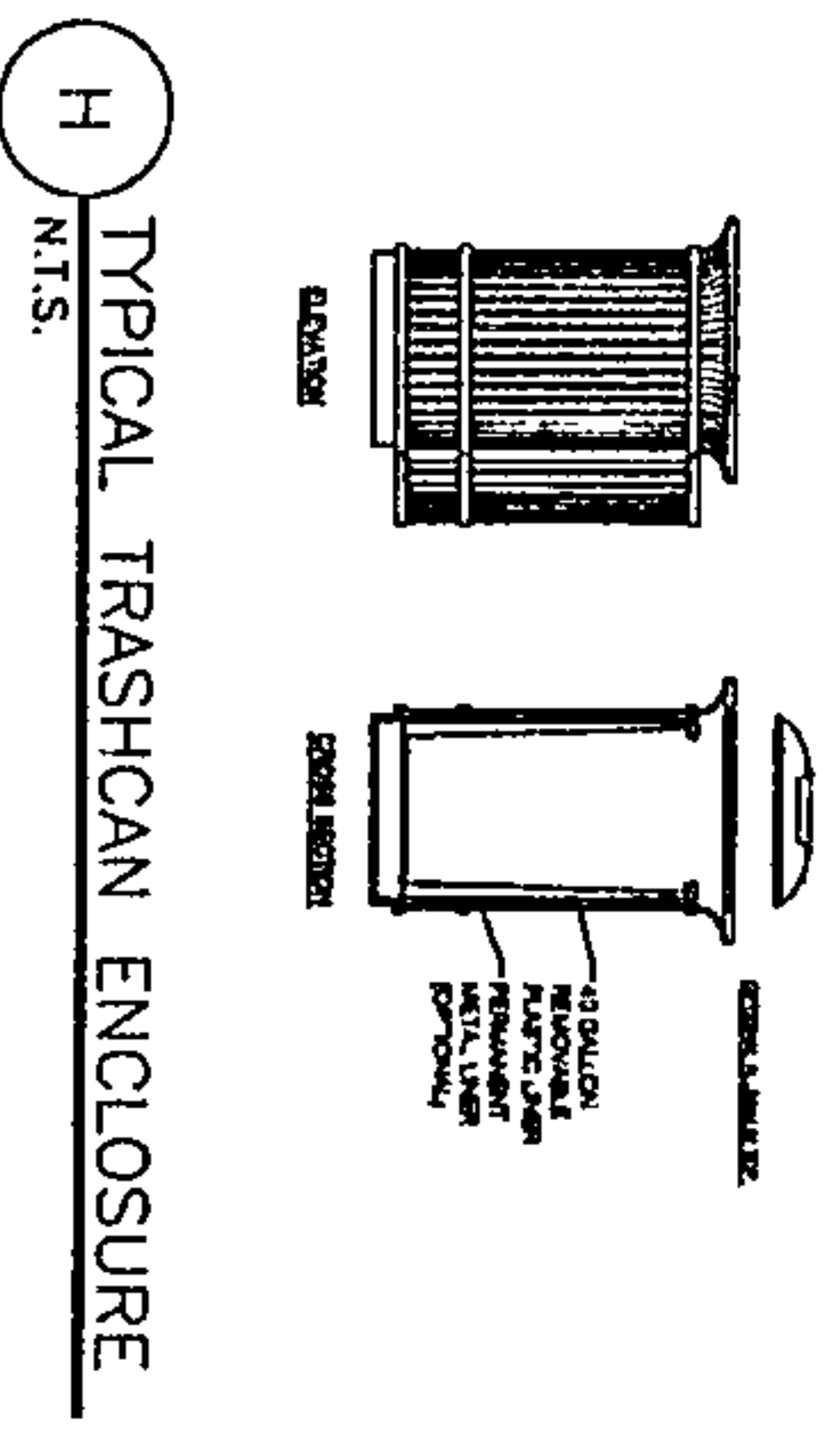
NOTE: SEE DESIGN STANDARDS FOR HEIGHT OF LIGHTING.



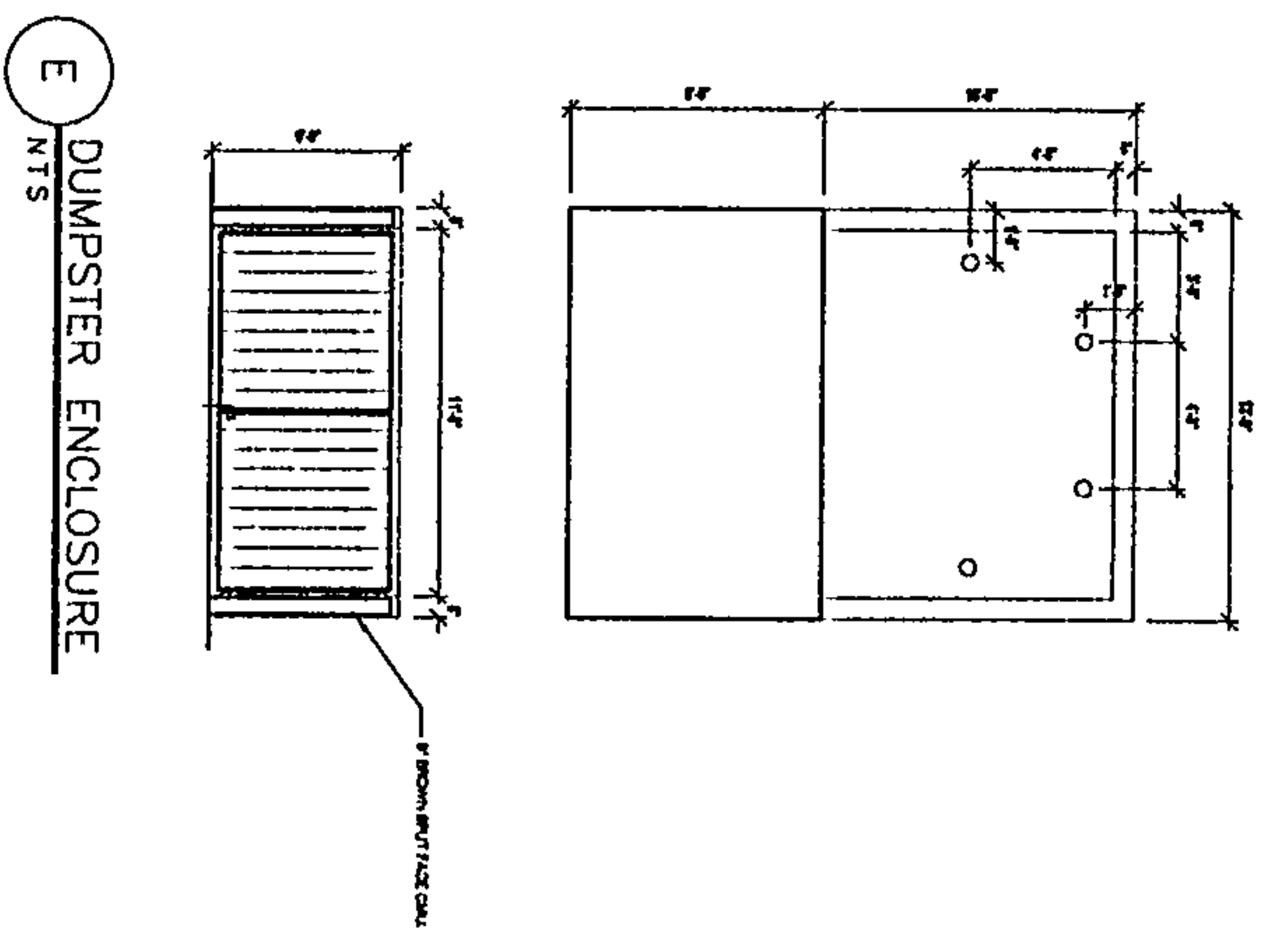
I SCREEN WALLS
1/4" = 1'-0"



G TYPICAL BENCH
N.T.S.



H TYPICAL TRASHCAN ENCLOSURE
N.T.S.



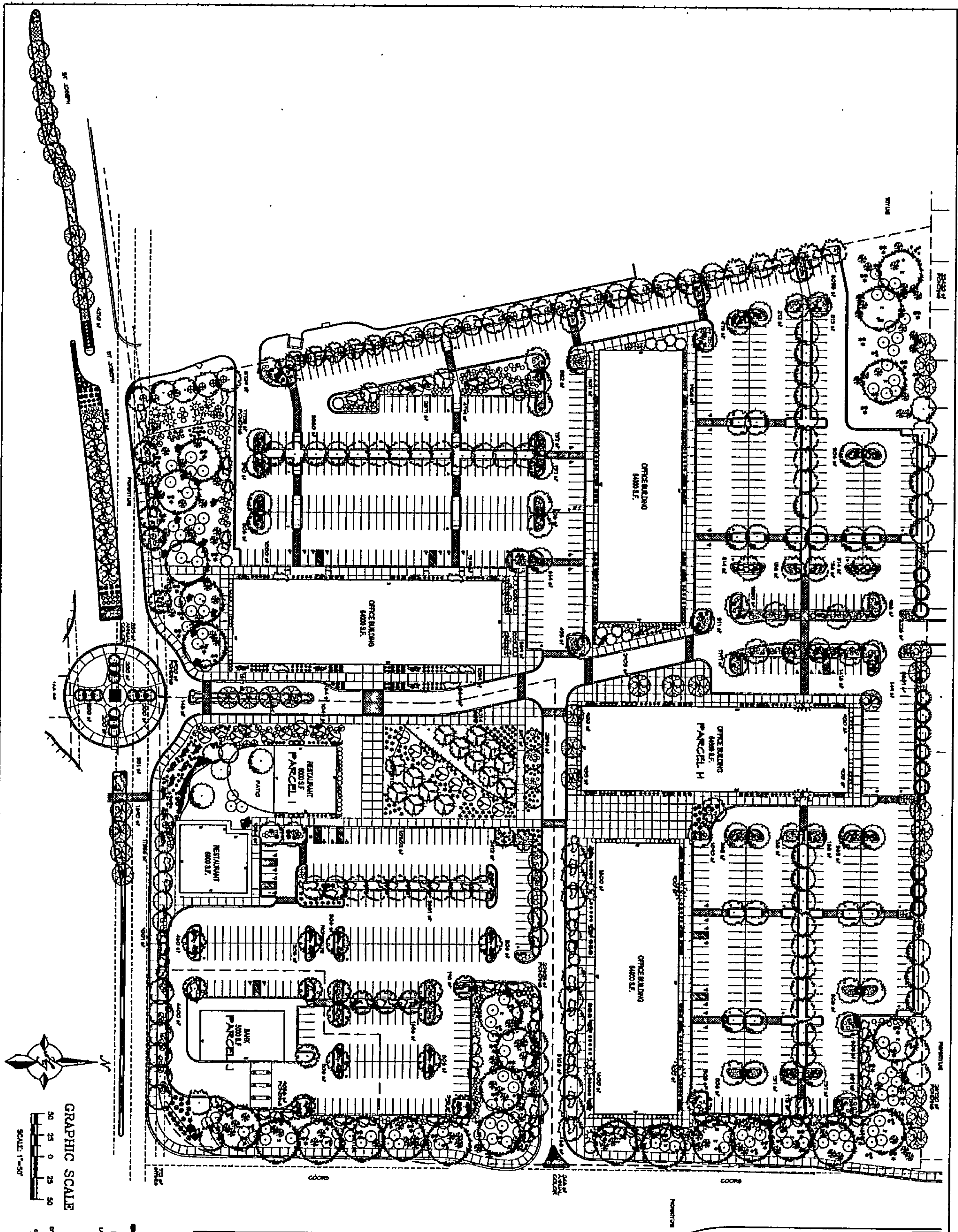
E DUMPSTER ENCLOSURE
N.T.S.

PROJECT TITLE OXBOW TOWN CENTER DOORS AND ST JOSEPH'S ALBUQUERQUE, NM	JOB NO.	DRAWN BY JCS
PROJECT MANAGER		
SHEET TITLE SITE DETAILS		

DATE 12/20/08	SCALE AS NOTED
SHEET NO. AS7	

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



GRAPHIC SCALE
 50 25 0 25 50
 SCALE: 1"=50'

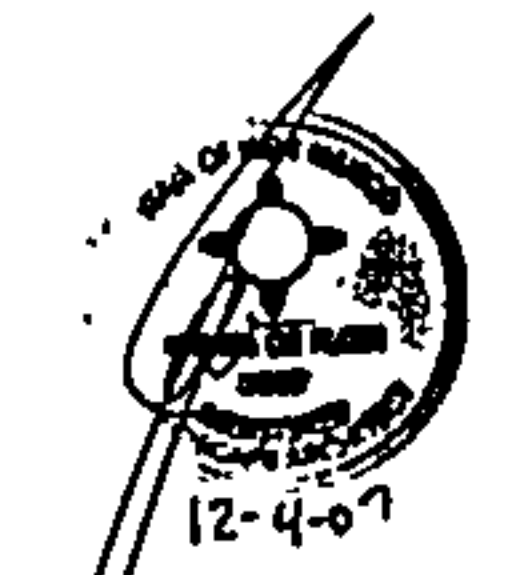
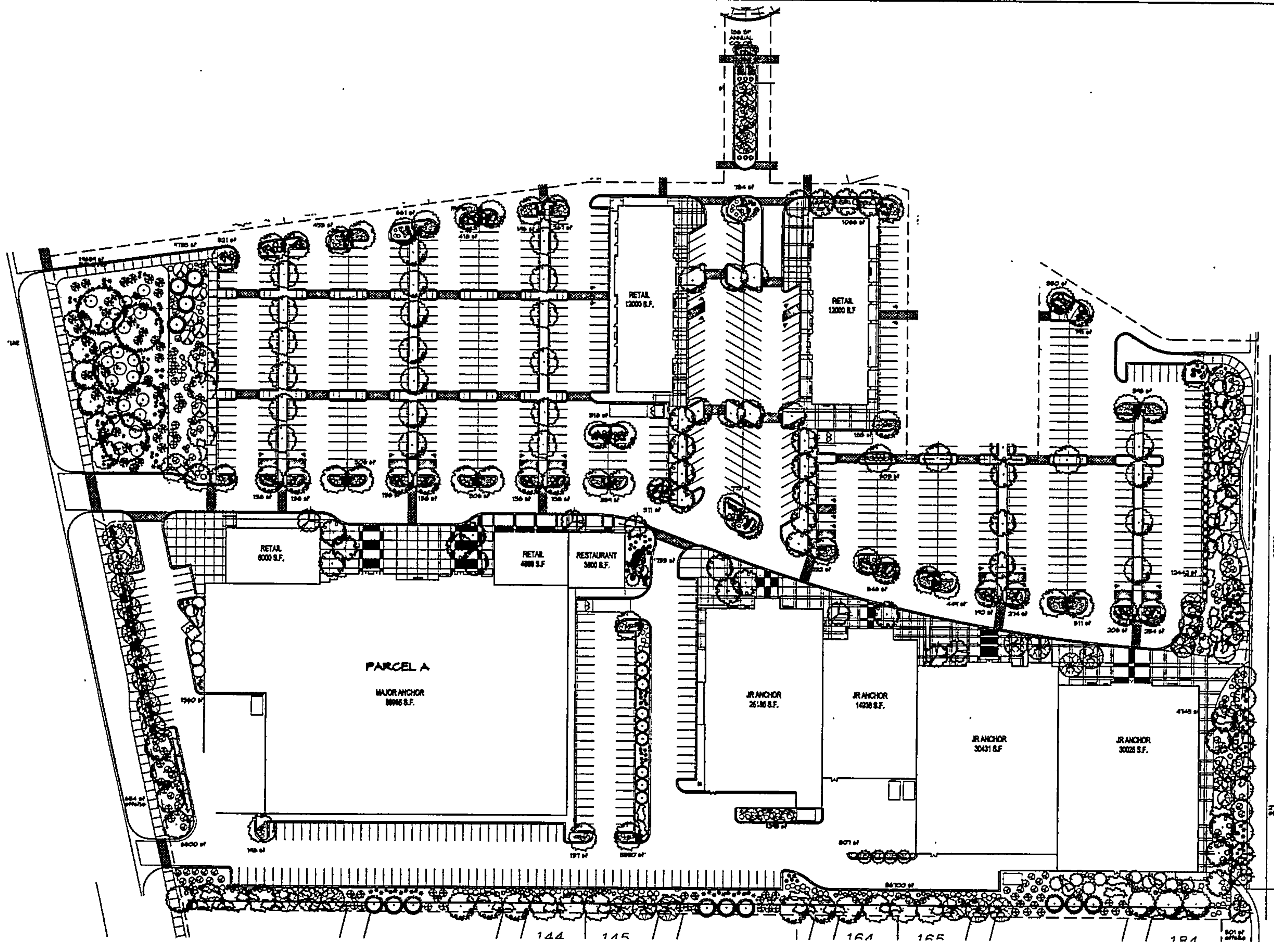
The Hilltop
 ARCHITECTS & LANDSCAPERS
 7809 EDIN N.E.
 ALBUQUERQUE, NM 87134
 PH. (505) 888-9850
 FAX (505) 888-7737
 WWW.HILLTOPARCHITECTS.COM

PROJECT TITLE	OXBOW	
OWNER	COORS AND ST. JOSEPH'S	
PROJECT MANAGER	JOB NO.	DRAWN BY
		JCS
SHEET TITLE	ILLUSTRATIVE LANDSCAPE NORTH	

PRELIMINARY
 NOT FOR CONSTRUCTION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
1	10/07	RAM	SITE REVISION & EPIC COMMENTS
2	02/07	RAM	SITE PLAN REVISION
3	03/07	RAM	SITE PLAN REVISION
4	5-15-07	RAM	SITE PLAN REVISION
5	02/07	ADF	SITE PLAN REVISION
6	01/07	ADF	SITE PLAN REVISION



The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7906 Edith N.E.
 Albuquerque, NM 87154
 Ph. (505) 898-9590
 Fax (505) 898-7737
 c/o hilltoplan@decping.com
 All projects are subject to the terms of the
 standard contract documents published by the
 American Society of Landscape Architects. These
 documents are available for purchase from ASLA
 or the local ASLA chapter. A fee for plan review
 is not included in the fee for the plan.

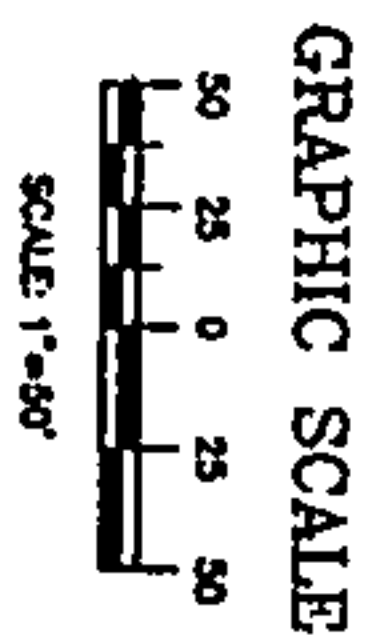
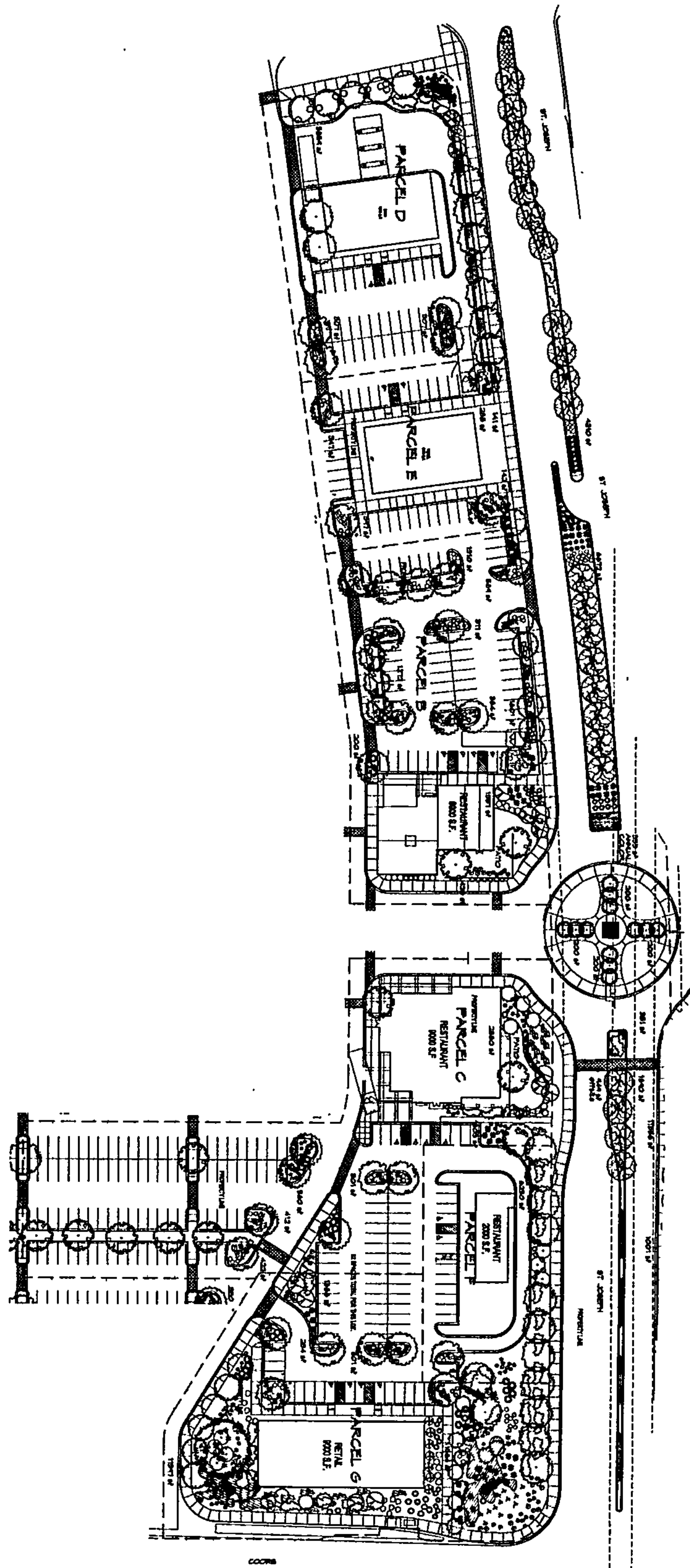
GRAPHIC SCALE
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 SCALE: 1"=50'

REV	DATE	BY	REVISION
1	12/28/06	JKS	FINAL
2		JKS	REVISION
3		JKS	REVISION
4		JKS	REVISION
5		JKS	REVISION
6		JKS	REVISION
7		JKS	REVISION
8		JKS	REVISION
9		JKS	REVISION
10		JKS	REVISION

**PRELIMINARY
 NOT FOR CONSTRUCTION**

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE OXBOW CORNER AND ST. JOSEPH'S ALBUQUERQUE, NM	DATE 12.28.06
PROJECT NUMBER 144	SCALE AS NOTED
LANDSCAPE PLAN FOR BUILDING PERMIT	DATE 12.28.06
SCALE AS NOTED	SCALE 1"=50'



Consulting, Architecture & Construction
 Co., L.L.C. #28458
 7808 Edith N.E.
 Albuquerque, NM 87114
 Tel. (505) 888-9880
 Fax (505) 888-9725
 email: info@thehilltop.com



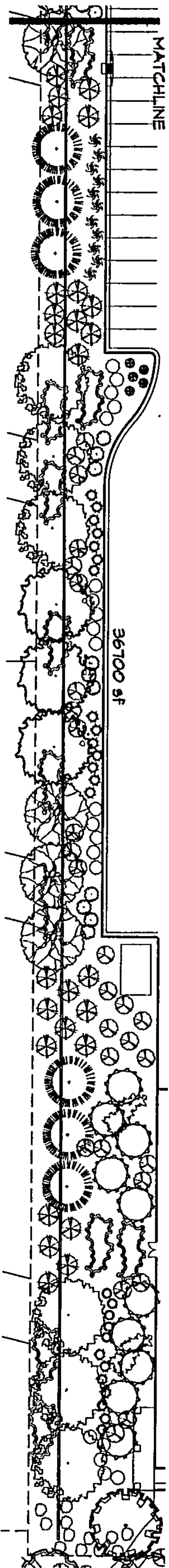
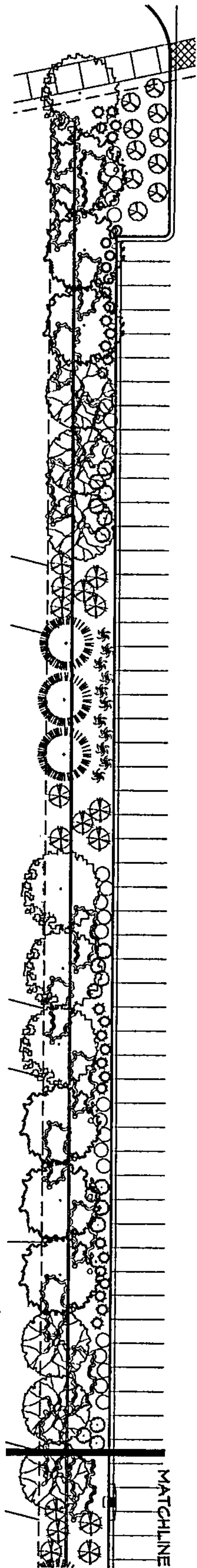
PROJECT TITLE	OXBOW COORS AND ST. JOSEPH'S ALBUQUERQUE, NM		
PROJECT MANAGER	JOB NO.	DRAWN BY:	
SHEET TITLE	ALLUSTRATIVE LANDSCAPE SOUTH		
DATE	12/28/07	SCALE	AS NOTED
SHEET NO.	L2A		

PRELIMINARY
 NOT FOR CONSTRUCTION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



REV	DATE	BY	REVISION
1	12/28/07	FRM	SITE REVISION & EPC COMMENTS
2	3/20/07	FRM	SITE PLAN REVISION
3	5/4/07	FRM	SITE REVISION AND COMMENTS
4	1/29/07	ADF	SITE PLAN REVISION
5	1/17/07	ADF	SITE PLAN REVISION



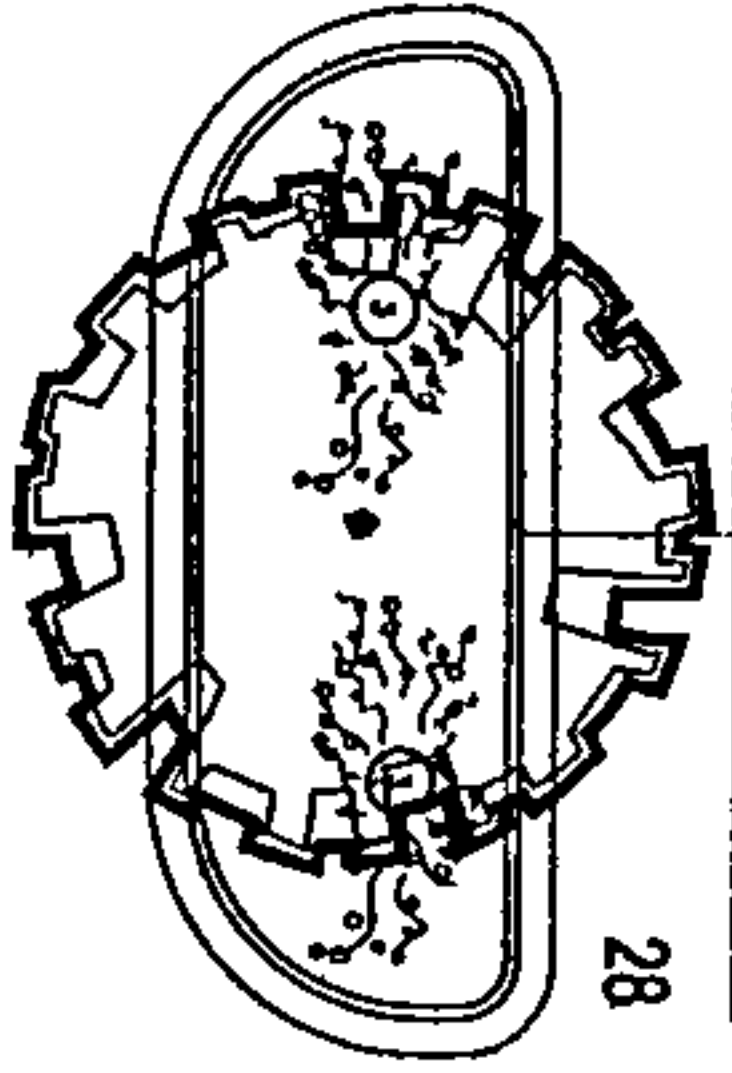
The Hilltop
LANDSCAPE ARCHITECTS & PLANNERS
CANT. LIC. #28448
7908 EDITH N.E.
ALBUQUERQUE, NM 87114
PH. (505) 888-8880
FAX (505) 888-7737
OFFICE: 1124 1/2 N. 11TH ST. ALBUQUERQUE, NM 87102
WWW.HILLTOPDESIGN.COM

PROJECT TITLE	OXBOW	
PROJECT SPONSOR	JOB NO.	DRAWN BY:
PROJECT TITLE	VILLA DE PAZ BUFFER	
DATE	SCALE	REVISION
12.24.07	L3	
AS NOTED		

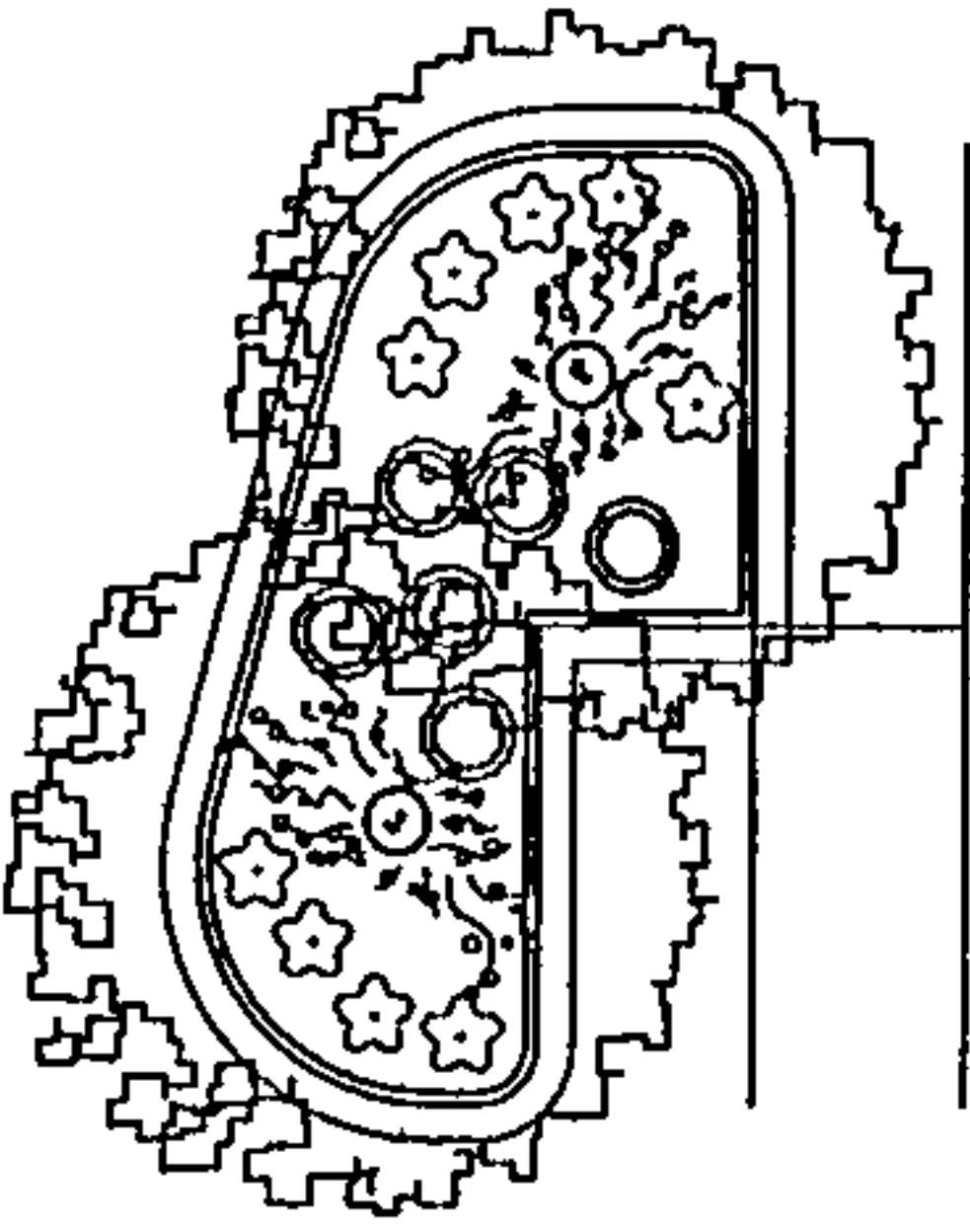
PRELIMINARY
NOT FOR CONSTRUCTION

GEORGE RAINIART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

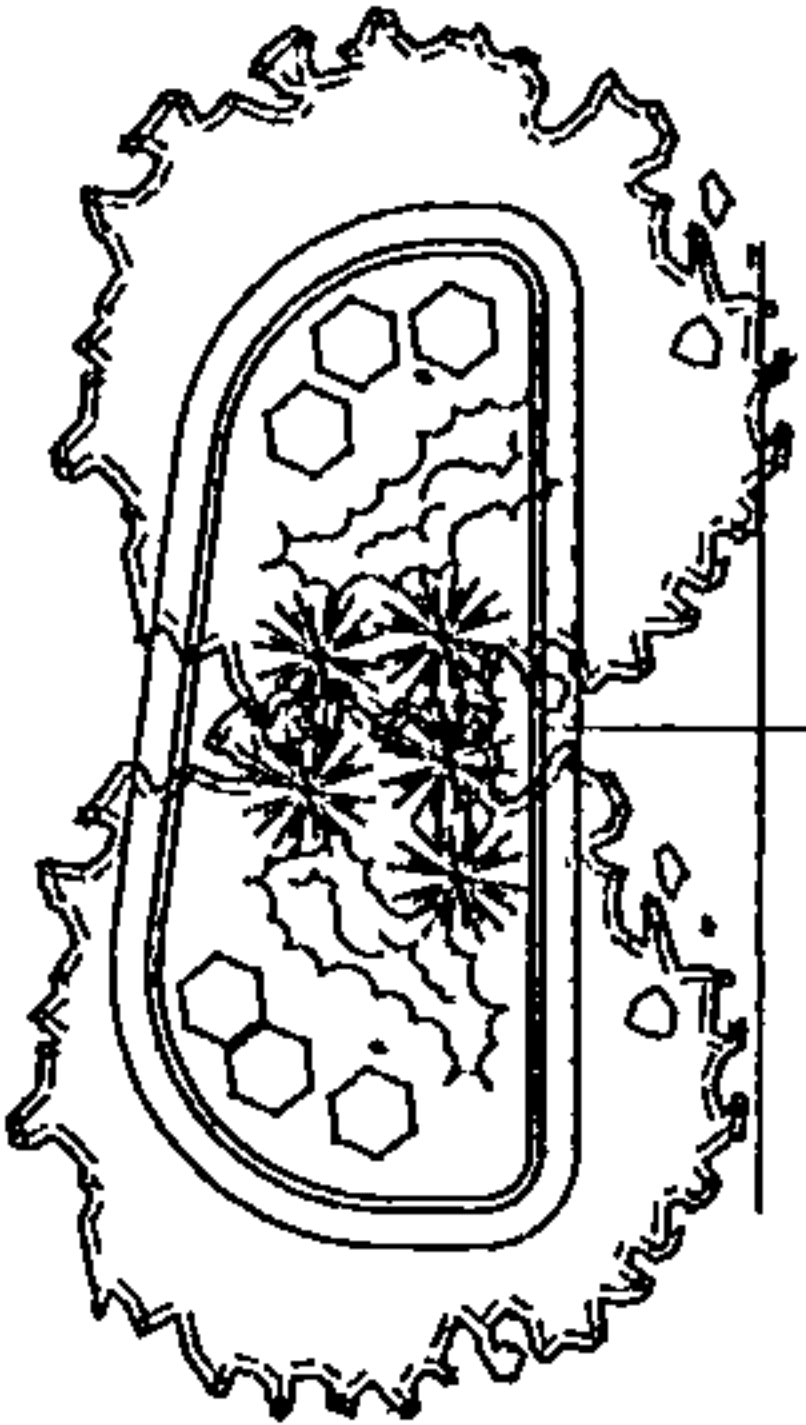
REV	DATE	BY	REVISION
1	12/03/07	PMMA	SITE REVISION & EPC COMMENTS
2	3/20/07	PMMA	SITE PLAN REVISION
3	1/28/07	ADP	SITE PLAN REVISION
4	1/17/07	ADP	SITE PLAN REVISION



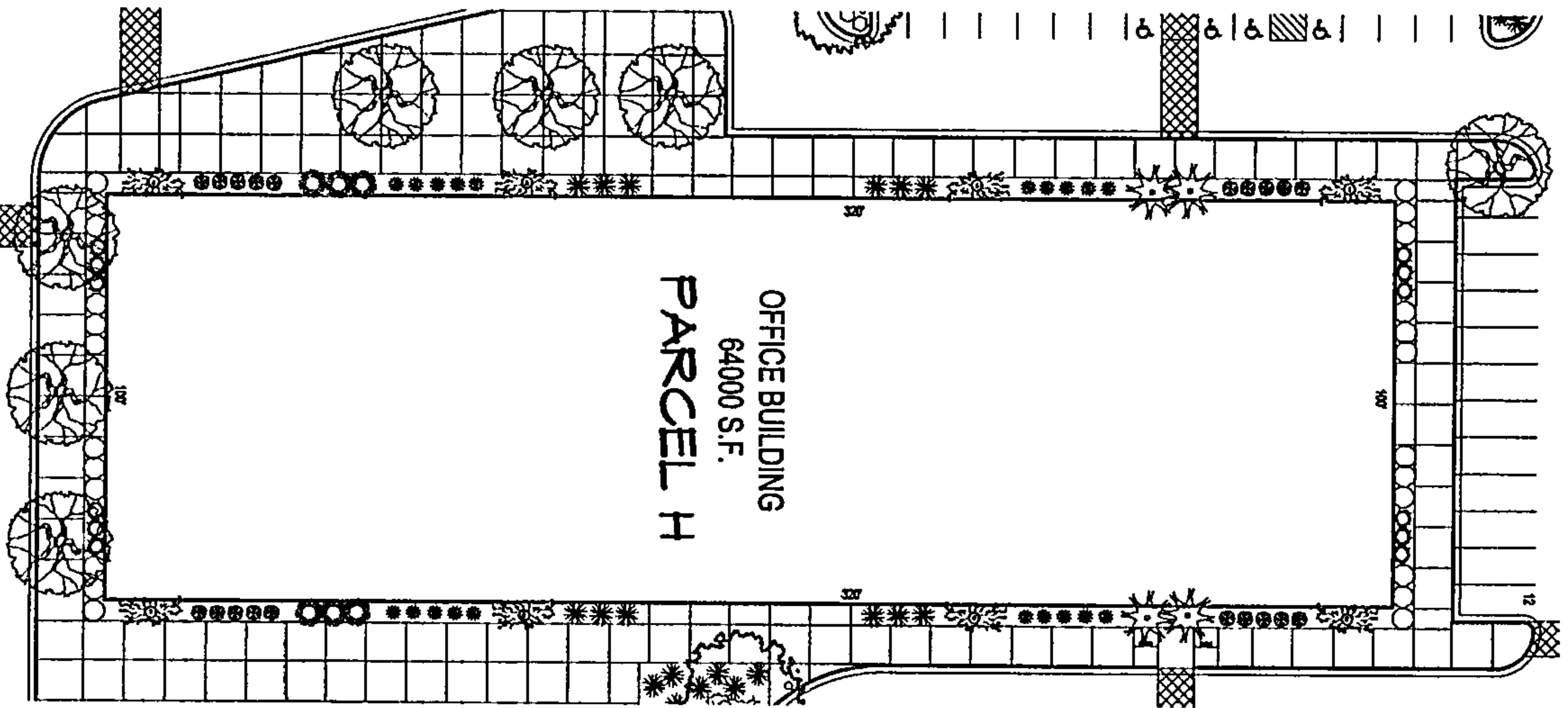
28



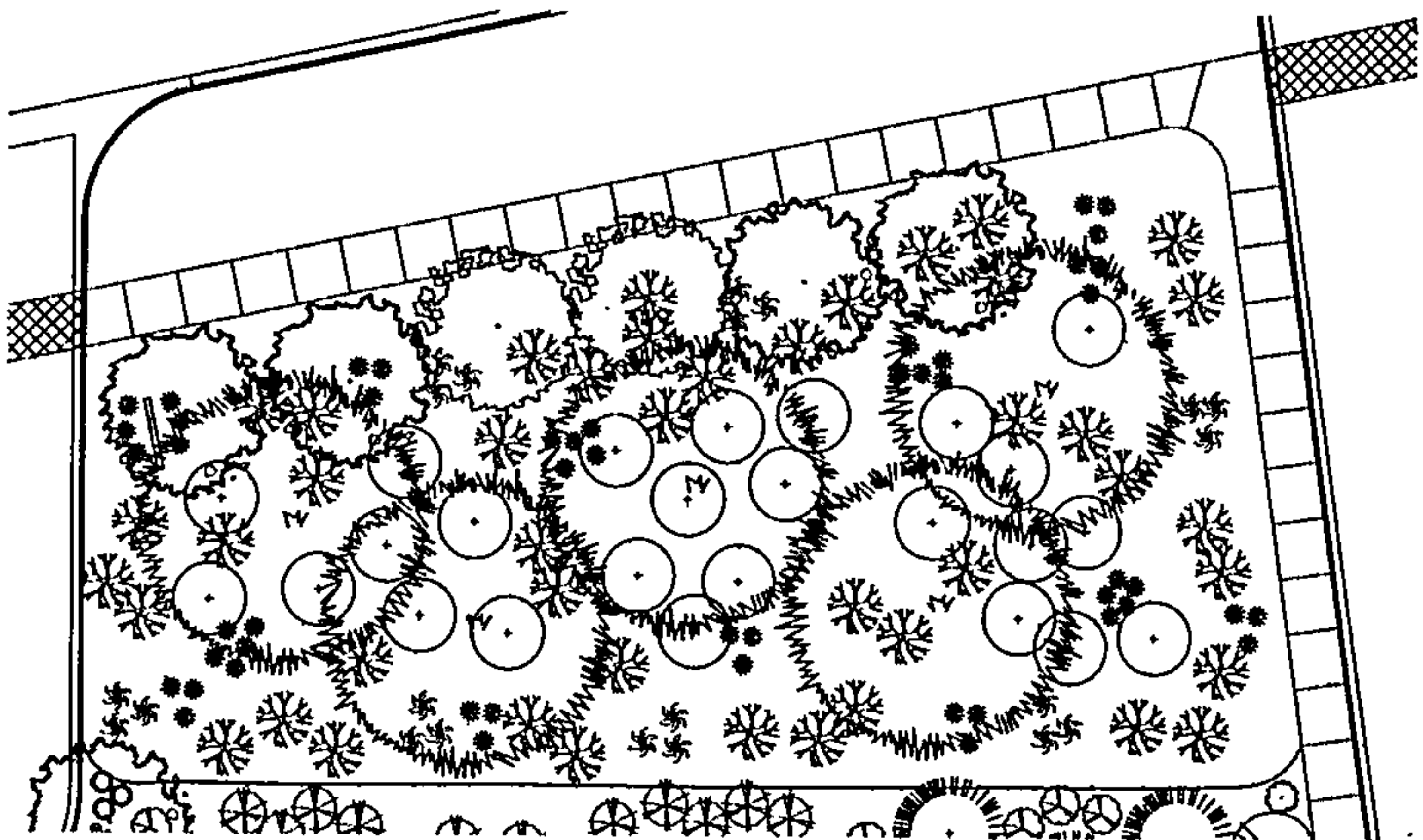
TYPICAL ISLANDS
SCALE 1/8" = 1'-0"



TYPICAL BUILDING LANDSCAPE
SCALE 1/8" = 1'-0"



OFFICE BUILDING
64000 S.F.
PARCEL H



TYPICAL PONDING AREA
SCALE 1/8" = 1'-0"



The Hilltop
Landscape Architects & Constructors
Cont. Lic. #25458
7809 Erith N.E.
Albuquerque, NM 87114
Ph: (505) 886-2737
cm: (505) 886-2737
cm: (505) 886-2737
www.hilltoplandscaping.com

DATE: 12/28/04	PROJECT TITLE: OXBOW
SCALE: L4	CLIENT: COORS AND ST. JOSEPH'S ALBUQUERQUE, NM
PROJECT MANAGER:	ARCHITECT: GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
DRAWING BY: 03	2325 SAN PEDRO NE., SUITE 2-B
	ALBUQUERQUE, NEW MEXICO 87110
	PHONE (505) 884-9110 FAX (505) 837-9877
TYPICAL AREAS	

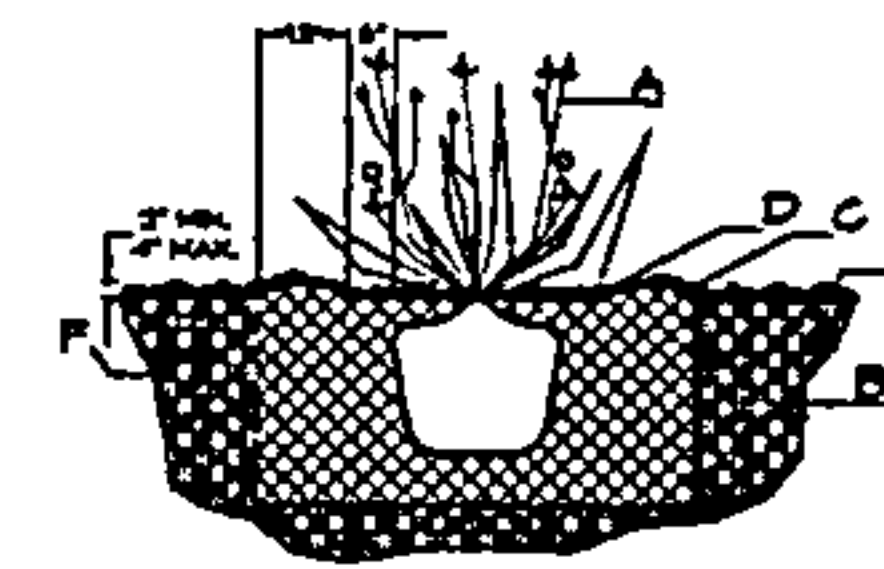
PRELIMINARY
NOT FOR CONSTRUCTION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
1		PRM	SITE REVISION & EPC COMMENTS
2	3/20/07	PRM	SITE PLAN REVISION
3	3/28/07	PRM	SITE REVISION AND COMMENTS
4	10/26/07	ADP	SITE PLAN REVISION
5	11/17/07	ADP	SITE PLAN REVISION

PLANT LEGEND updated Individual parcel plant counts not updated as of 12-3-07

TOTALS	A	B	C	D	E	F	G	H	I	J	MEDIANS
VALLEY COTTONWOOD (H)	30	3					1	14	6	4	
LEONIA (H)	146	64	5	5	4	2	4	5	16	4	
CRABAPPLE (H)	48	18	3					5	16		
CHRISTE PRITCHARD (H)	164	30	5	4	5	2	3	7	65	6	6
GOLDEN HANTREE (H)	51						10	28	5	5	
NORTHERN HAZELBERRY (H)	39	12	6		5	1	6	5	16		
DESERT YELLOWS (H)	194	38		4	1		14	35	14	4	
AUSTRIAN PINE (H)	25	13							12		
ANTALFA (H)	65	21	2	5				5	14	5	
HAMBURGER HANTHORN (H)	21	1									12
SEAGRAPH LIVE OAK (H)	73	20						15	4		24
VITEX (L)	41	10	4	6	7			5	5	11	
NEW MEXICO OLIVE (L)	158	21					5	75	30	14	
PALM YUCCA (L)	10	2		2			4			2	
LEMO PINE (H)	10	2		1	1		2		5		1
SILVERBERRY (H)	128	58		5			7	65	5		
PAMPAS GRASS (H)	161	44					6	74	24	11	
HACKENGRASS (H)	361	124					16	123	114	30	
BUTTERFLY BUSH (H)	114	122			7		10	65	44		
GRASS HYDRILE (H)	86										
RED OAK DOGWOOD (H)	61										
CLIFF ROSE (L)	16										
RED YUCCA (L)	888	75	27	15	5		21	158	19	1	40
ROMA VERT (H)	161	81	5					71	15		36
APACHE PLUME (L)	160	45	10				6	40	4		
ALABAMA BROOM (H)	134	54	30				6	13	42	6	15
TURPENTINE BUSH (L)	204	161	24	14	6		23	216	10		
HONEYLOCUST (H)	268	166						48	70	20	
BURBURY CHAMPOL (H)	65						20				56
PILOFLOWER (H)	75	12	5	10							
LAVENDER (H)	156				11			15		101	44
MEXICAN DIVING PRISMOCOME (L)	278	75	21	10	5		54	107	41		
WHITE DIVING PRISMOCOME (L)	344	82	26	12	6		24	131	47		27
BLUE ABERNATHY GRASS (H)	214	106		14	7		17	114	64	13	
POPE CASTLE SAGE (L)	41	37						21			
CHAMISA (L)	51	21						11			
BLUE FERGIE (H)	57			7				4		56	
OCOTILLO (L)	-			5				2	4	2	
AGAVE (L)	12							5		1	
PRICKLY PEAR (L)	21							20			
BANKS ROSE (H)	88	13		1			6	20	11	5	16
TRUMPET VINE (H)	88	15	1	5	15						
PORTER JARDON (L)	148	41	10	15	10		15	47	2		
GREYLEAF COTONWOOD (H)	266	105		5	5			111	73	21	
YUCCA (H)	480	40	30	4	6	6		15	207	57	12



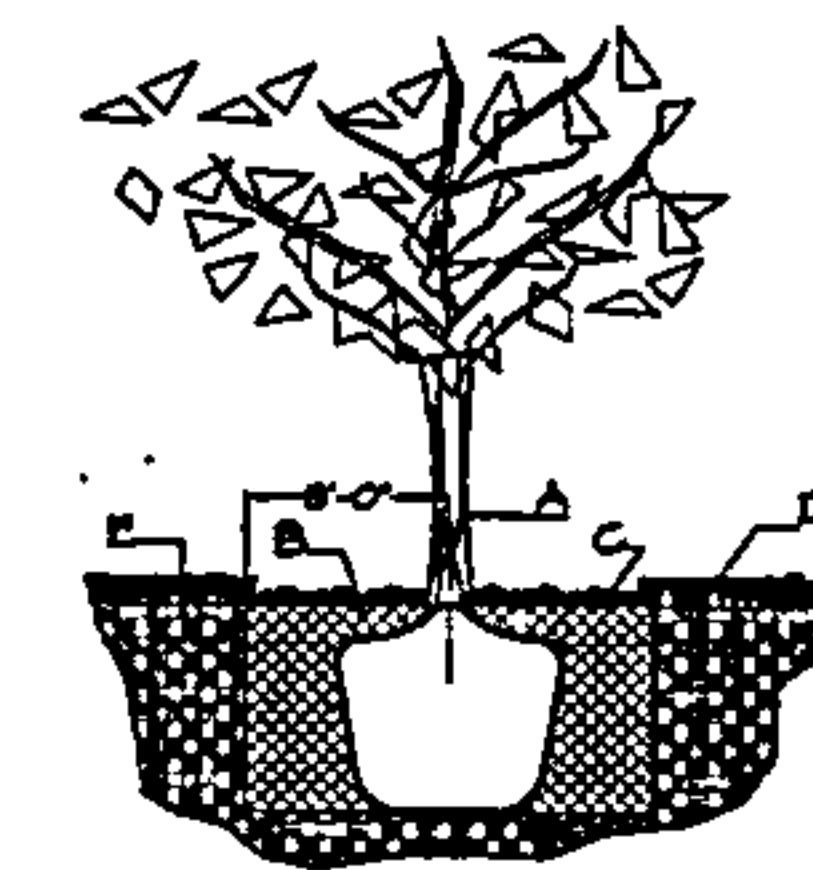
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASK SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH DOSTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASK.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

SHRUB PLANTING DETAIL NTS



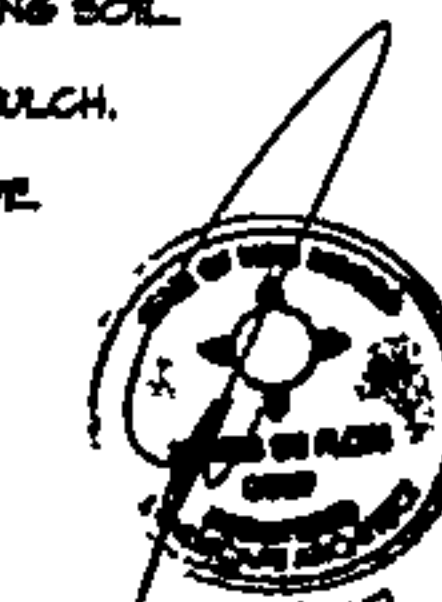
GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH DOSTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS



The Hilltop

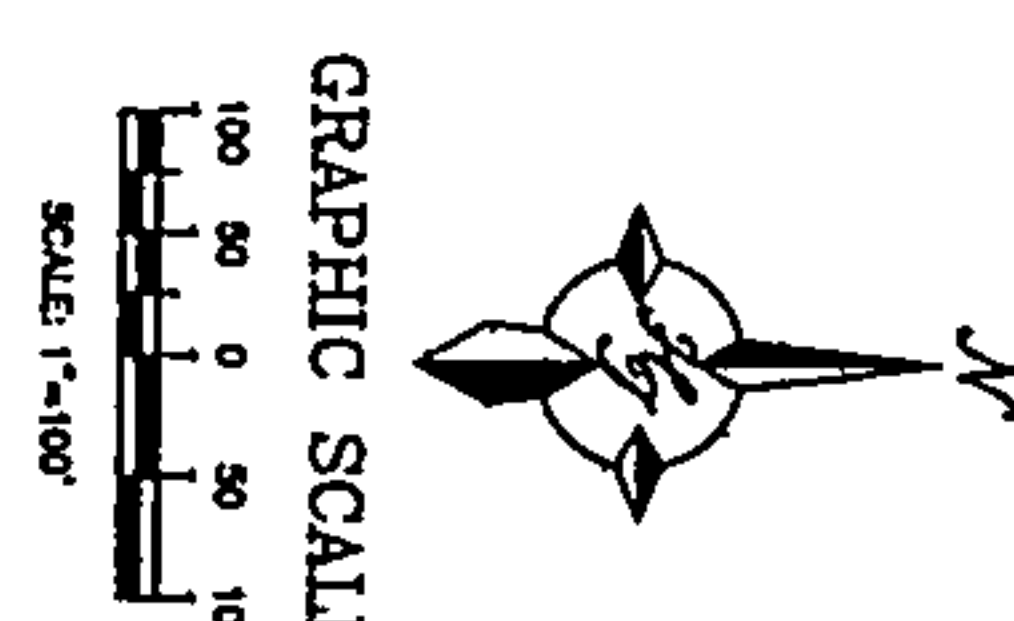
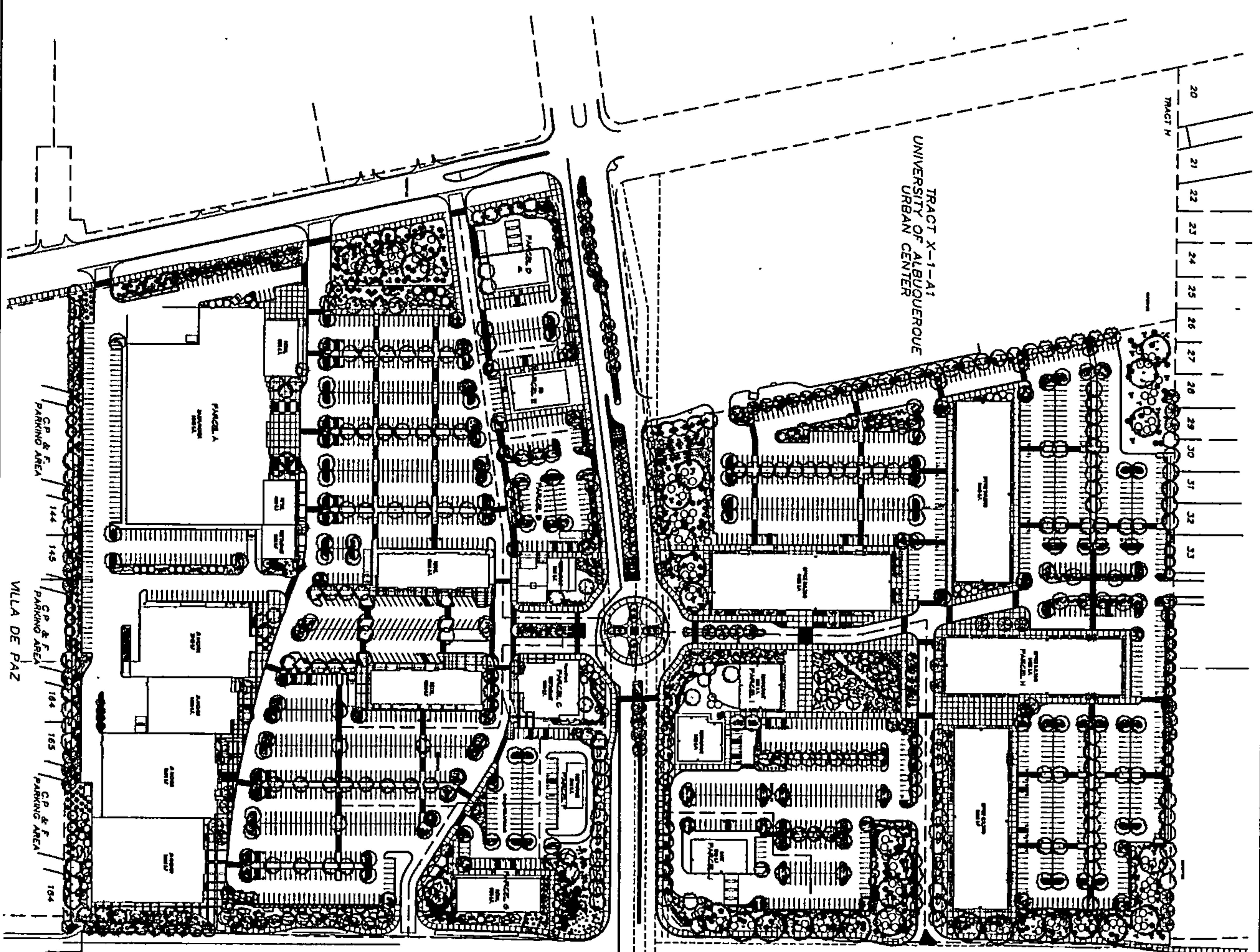
LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9890
 Fax (505) 898-7737
 cm@hilltopinc.com
 All services shown represent those shown on
 property of The Hilltop Landscape Architecture and
 Contractors and are provided for informational purposes. This is
 an original design and shall not be reduced or copied
 without written approval from Hilltop Inc. or its owner.

REV	DATE	BY	REVISION
1	12/4/07	JCS	FINAL PLAN REVISION
2	12/4/07	JCS	FINAL PLAN REVISION
3	12/4/07	JCS	FINAL PLAN REVISION
4	12/4/07	JCS	FINAL PLAN REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT TITLE	DATE	SCALE	AS NOTED
OXBOW COURSE AND ST. JOSEPHS ALBUQUERQUE, NM	12.20.06	1/8" = 1'-0"	L5



The Hilltop
 LANDSCAPE ARCHITECTS & CONSTRUCTORS
 2011, L.L.C. 238458
 7100 EDITH AVE. #3784
 ALBUQUERQUE, NM 87109
 PH: (505) 888-6600
 FAX: (505) 888-7237
 www.hilltoplandscape.com

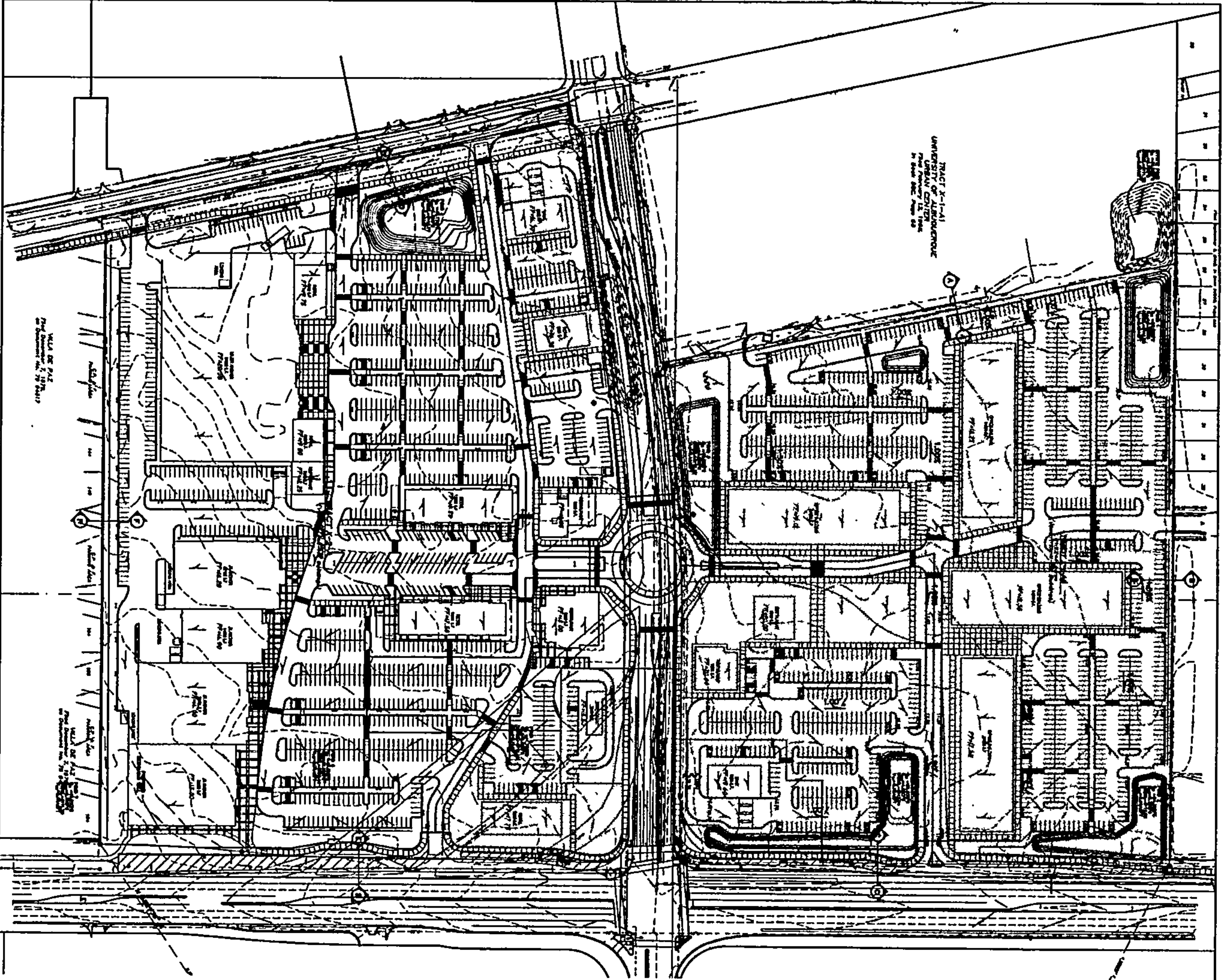
12-4-07

PROJECT TITLE	OXBOW	
OWNER	COORS AND ST JOSEPHS ALBUQUERQUE, NM	
PROJECT MANAGER	JCB	OWNER BY: CS
SHEET TITLE	ENTIRE SITE LANDSCAPING	
DATE	12/28/06	SCALE: 1"=100'
SCALE	L7	
BY	JA WOTED	

PRELIMINARY
 NOT FOR CONSTRUCTION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
1	10/26/07	EMK	8/17/07 PLAN REVISION - REPAIRS
2	10/27/07	FRM	SITE PLAN REVISION
3	10/28/07	FRM	SITE PLAN REVISION
4	10/29/07	ACF	SITE PLAN REVISION
5	11/17/07	ACF	SITE PLAN REVISION



TRACT X-1-1-1
UNIVERSITY OF ALBUQUERQUE
The University of Albuquerque
is located on the corner of
1st Street and 1st Avenue SW

WALL OF FOOT
Foundation of 24" Dia.

WALL OF FOOT
Foundation of 24" Dia.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

EXISTING CONDITIONS

THE EXISTING SITE IS PREDOMINANTLY UNDEVELOPED SALT SAND AND CLAYEY SAND TOP SOILS ACCIDENTALLY VEGETATED WITH VARIOUS GRASSES AND SHRUBS. SOME SALT FLATS ARE VERY WILD AND BRAVE IN VARIOUS DIRECTIONS. THE GRAINS TO THE SW CORNER OF THE TRACT ARE NOT OWNED BY THE UNIVERSITY OF ALBUQUERQUE. THE REMAINDER OF THE NORTHERN PORTION DRAINS TO A DEPRESSION ADJACENT TO CORNS BLVD. THE PORTION OF THE PROJECT SOUTH OF ST. ANDREW'S DRIVE IN TWO DIRECTIONS. APPROXIMATELY BOX DRAINS INTO CORNS BLVD. AND INTO THE EXISTING DETENTION POND WITHIN THE SITE. THE REMAINDER OF THE EASTERN PORTION DRAINS INTO THE EXISTING DETENTION POND WITHIN THE EXISTING 60' LAGUNA STORM DRAIN SYSTEM.

PROPOSED CONDITIONS

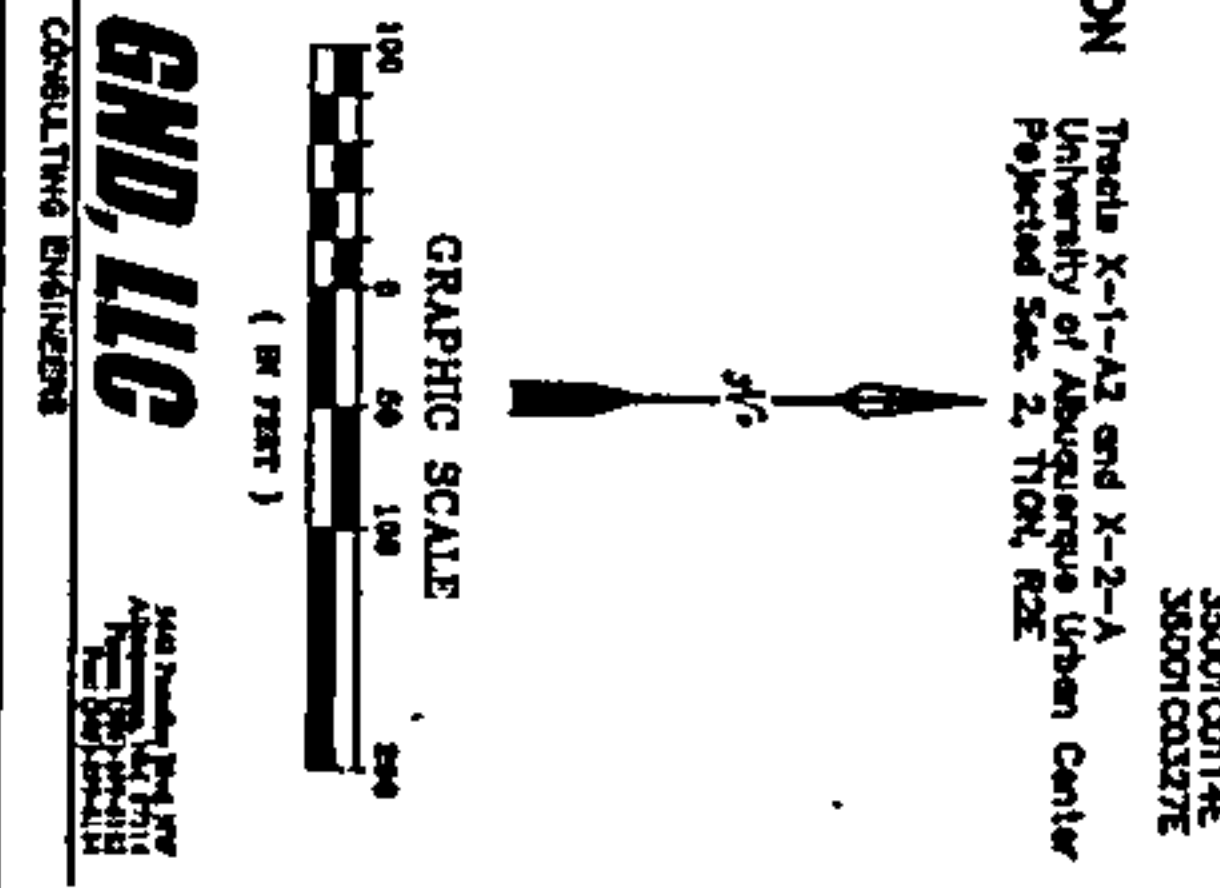
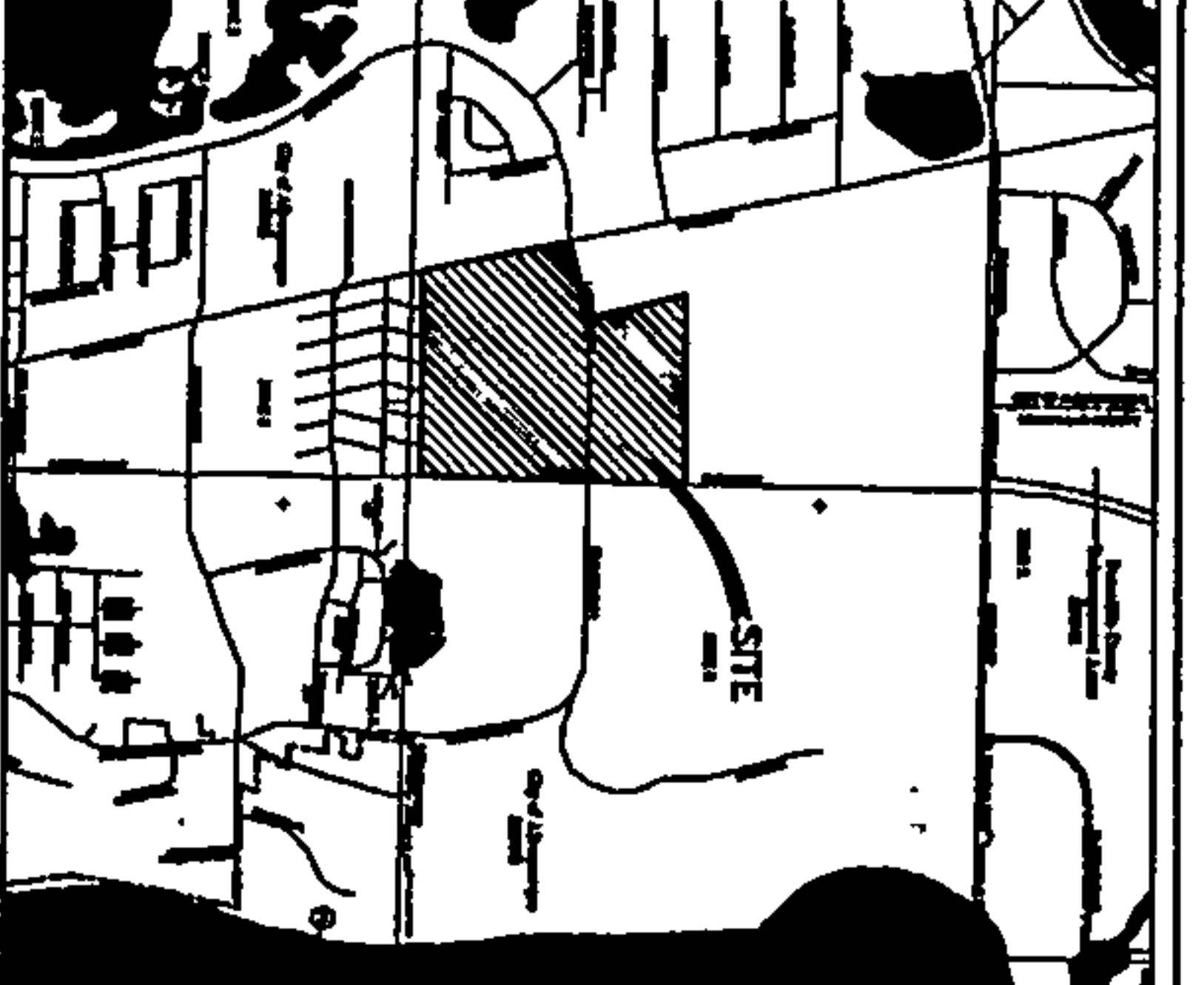
THE SITE NEEDS SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF A 12" DRAINAGE SYSTEM THROUGHOUT THE SITE. THE SYSTEM WILL INCLUDE CHUTE DRAINAGE WILL BE ROUTED THROUGH A SERIES OF NOTCH AND SCOURING OUTFALL WITHIN CORNS BLVD. THE EXISTING OUTFALL DIRECTS RUNOFF THROUGH THE ENCLAVE AT OSBORN AND ULTIMATELY TO THE RIO GRANDE RIVER.

NOTES

- SEE SHEET 16 OF 18 FOR GRADING TYPICAL SECTIONS
- SEE SHEET 15 OF 18 FOR RETAINING WALL DETAILS
- SEE SHEETS 7-10 OF 15 FOR STORM DRAIN PLANS

LEGEND

- DIRECTION OF FLOW
- HIGH POINT
- FUTURE PHASE



DATE	NOV 2007	DESIGNED BY	JRW
DATE	NOV 2007	DRAWN BY	JRW PMT
DATE	NOV 2007	CHECKED BY	SEG

CONCEPTUAL GRADING & DRAINAGE PLAN

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
OSBORN TOWN CENTER

CONSULTING ENGINEER
GND, LLC
3500100114E
3500100127E

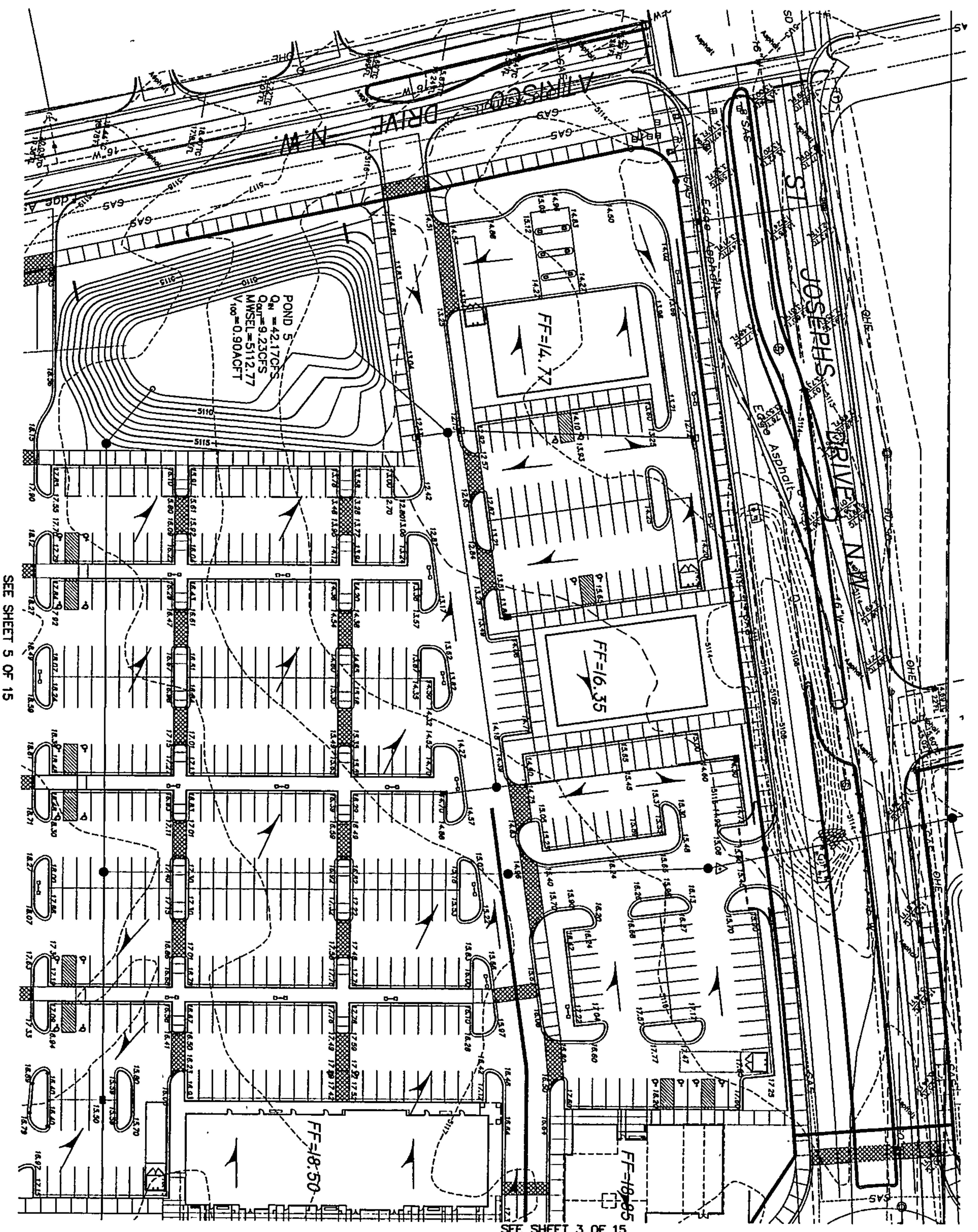
LATEST DESIGN UPDATE

CITY PROJECT No. G-11

ZONE MAP No. G-11

SHEET 1 OF 15

ENGINEER'S SEAL	SURVEY INFORMATION	BENCH MARKS	AS BUILT INFORMATION
	FIELD NOTES	NGS/Albuquerque Control Survey Monument	CONTRACTOR
	NO. BY DATE	"JOSEPH 1969"	DATE
		NM State Plane Coordinates (Central Zone -NAD27)	DATE
		X=266,886.62 Y=1,502,246.75	DATE
	Delta Alpha=00°15'24"	Ground to Grid Factor=0.99967551	CONTROLLED BY
	Elevation=5118.61 (NAVD88)		DATE
			MICRO-FILM INFORMATION
			RECORDED BY
			DATE



SEE SHEET 5 OF 15

SEE SHEET 3 OF 15

NOTES
 1. SEE SHEETS 7 THRU 10 OF 15 FOR STORM DRAIN PLAN.

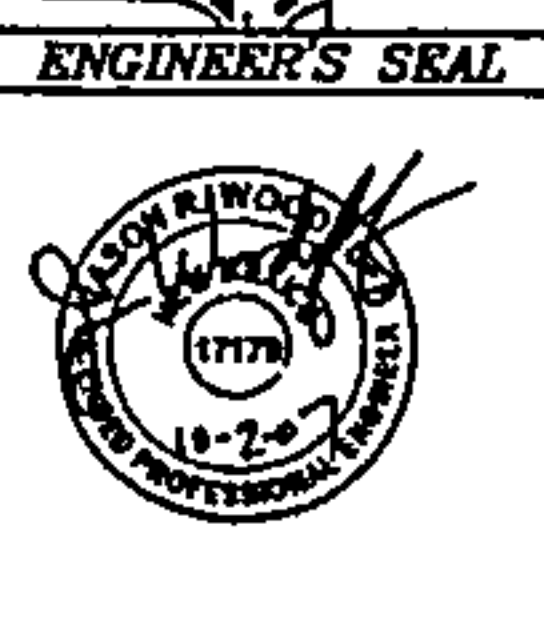
CITY PROJECT NO.	ZONE MAP NO.	SHEET
	G-11	2 OF 15

GND, LLC
 CONSULTING ENGINEER

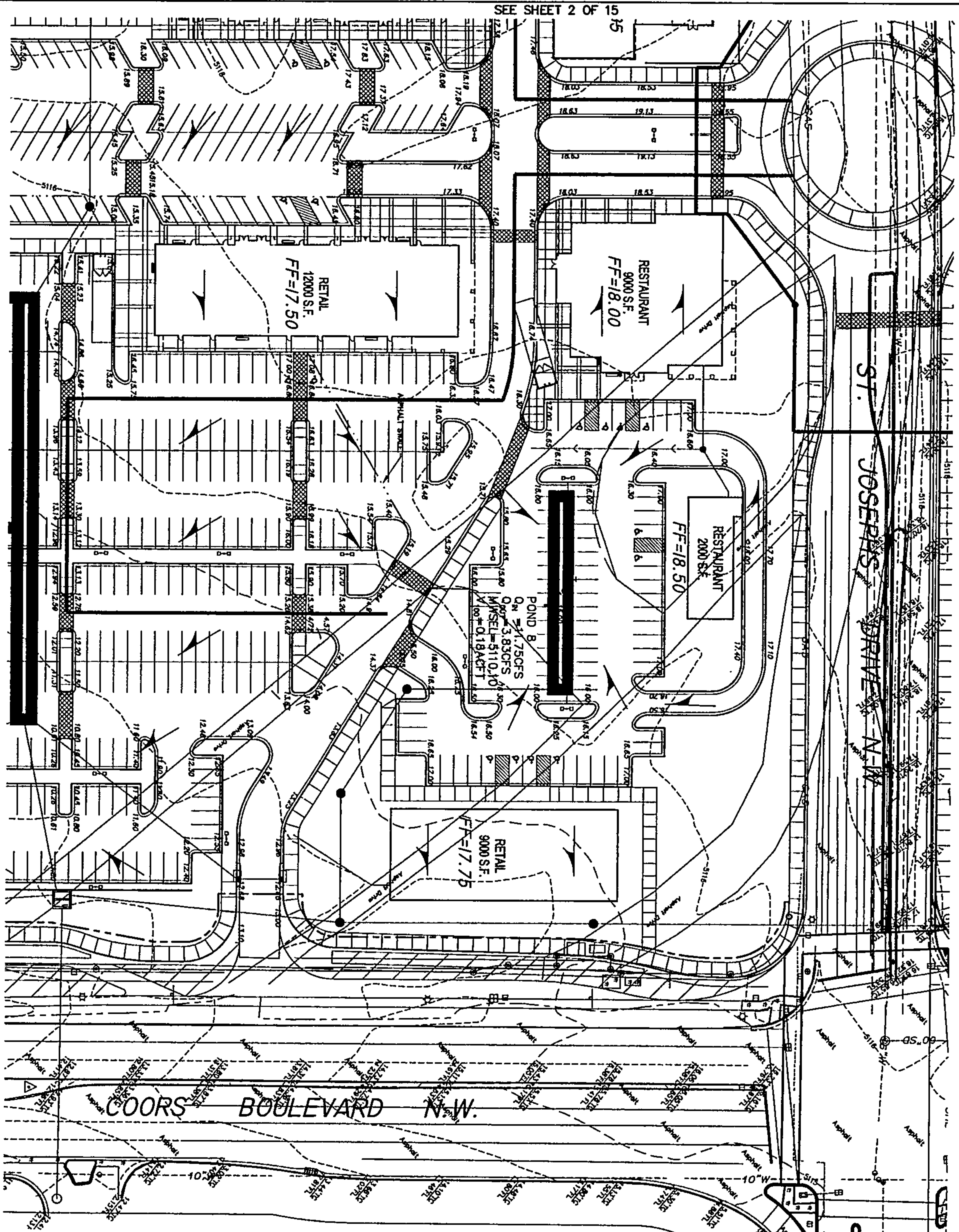
CITY OF ALBUQUERQUE
 MUNICIPAL DEVELOPMENT DEPARTMENT
 ENGINEERING DIVISION
 OSBORN TOWN CENTER

GRADING AND DRAINAGE PLAN

DESIGNED BY: JRW DATE: NOV 2007
 DRAWN BY: JRW DATE: NOV 2007
 CHECKED BY: JRW DATE: NOV 2007



SURVEY INFORMATION		BENCH MARKS	AS BUILT INFORMATION
FIELD NOTES			
NO.	BY	DATE	
		NGS/Albuquerque Central Survey Monument	CONTRACTOR
		"JOSEPH 1969"	DATE
		NM State Plane Coordinates (Central Zone -NAD27)	BY
		X=366,696.62 Y=1,502,246.73	DATE
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		Ground to Grid Factor=0.99967551	DATE
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			DATE
			BY
			DATE
			BY
			DATE

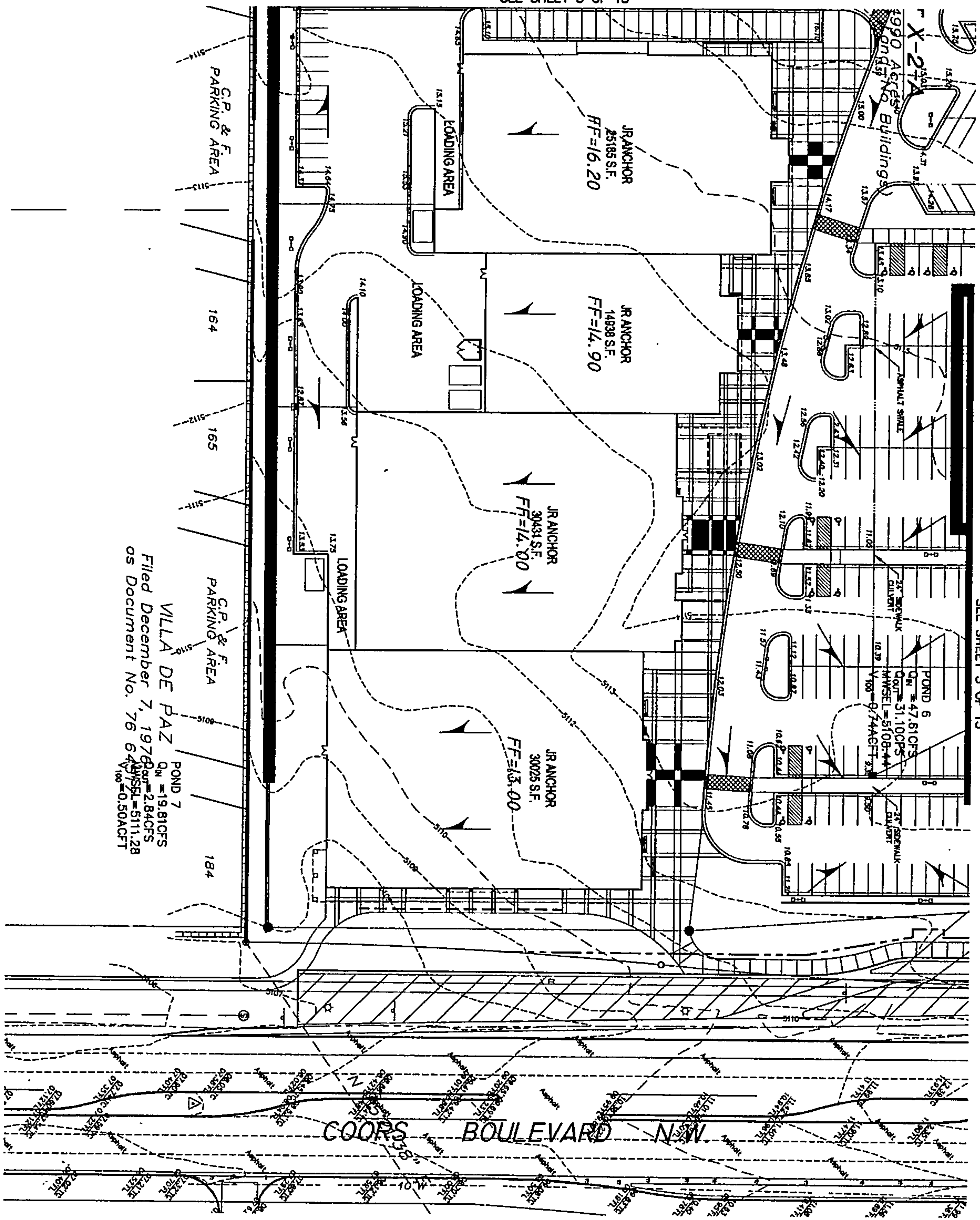


SEE SHEET 4 OF 15

SEE SHEET 2 OF 15

<p>QTY PROJECT NO. _____</p> <p>ZONE MAP NO. G-11</p> <p>SHEET 3 OF 15</p>	<p>LATEST DESIGN UPDATE</p> <p>DATE: _____</p>	<p>GND, LLC</p> <p>CONSULTING ENGINEER</p> <p>CITY OF ALBUQUERQUE</p> <p>MUNICIPAL DEVELOPMENT DEPARTMENT</p> <p>ENGINEERING DIVISION</p> <p>OSBORN TOWN CENTER</p> <p>GRADING AND DRAINAGE PLAN</p> <p>USER DEPARTMENT</p>				<p>NOTES</p> <p>1. SEE SHEETS 7 THRU 10 OF 15 FOR STORM DRAIN PLANS.</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">SURVEY INFORMATION</th> <th colspan="2">BENCH MARKS</th> <th colspan="2">AS BUILT INFORMATION</th> </tr> </thead> <tbody> <tr> <td>NO.</td> <td>DATE</td> <td>NO.</td> <td>DATE</td> <td>NO.</td> <td>DATE</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td colspan="2">FIELD NOTES BY _____</td> <td colspan="2">NGS/Albuquerque Central Survey Monument</td> <td colspan="2">CONTRACTOR _____</td> </tr> <tr> <td colspan="2"> </td> <td colspan="2">"JOSEPH 1999"</td> <td colspan="2">STARTED BY _____</td> </tr> <tr> <td colspan="2"> </td> <td colspan="2">NM State Plane Coordinates (Central Zone -NAD27)</td> <td colspan="2">CHECKED BY _____</td> </tr> <tr> <td colspan="2"> </td> <td colspan="2">X=386,696.82 Y=1,502,246.75</td> <td colspan="2">DRAWN BY _____</td> </tr> <tr> <td colspan="2"> </td> <td colspan="2">Delta Alpha=00°15'24"</td> <td colspan="2">REVISIONS</td> </tr> <tr> <td colspan="2"> </td> <td colspan="2">Ground to Grid Factor=0.99967551</td> <td colspan="2"> </td> </tr> <tr> <td colspan="2"> </td> <td colspan="2">Elevation=5118.61 (NAVD88)</td> <td colspan="2"> </td> </tr> <tr> <td colspan="2"> </td> <td colspan="2"> </td> <td colspan="2">MICRO-FILM INFORMATION</td> </tr> <tr> <td colspan="2"> </td> <td colspan="2"> </td> <td colspan="2">RECORDED BY _____</td> </tr> <tr> <td colspan="2"> </td> <td colspan="2"> </td> <td colspan="2">DATE _____</td> </tr> </tbody> </table>	SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION		NO.	DATE	NO.	DATE	NO.	DATE							FIELD NOTES BY _____		NGS/Albuquerque Central Survey Monument		CONTRACTOR _____				"JOSEPH 1999"		STARTED BY _____				NM State Plane Coordinates (Central Zone -NAD27)		CHECKED BY _____				X=386,696.82 Y=1,502,246.75		DRAWN BY _____				Delta Alpha=00°15'24"		REVISIONS				Ground to Grid Factor=0.99967551						Elevation=5118.61 (NAVD88)								MICRO-FILM INFORMATION						RECORDED BY _____						DATE _____	
SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION																																																																																	
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				DATE _____																																																																																	

SEE SHEET 5 OF 15



SEE SHEET 3 OF 15

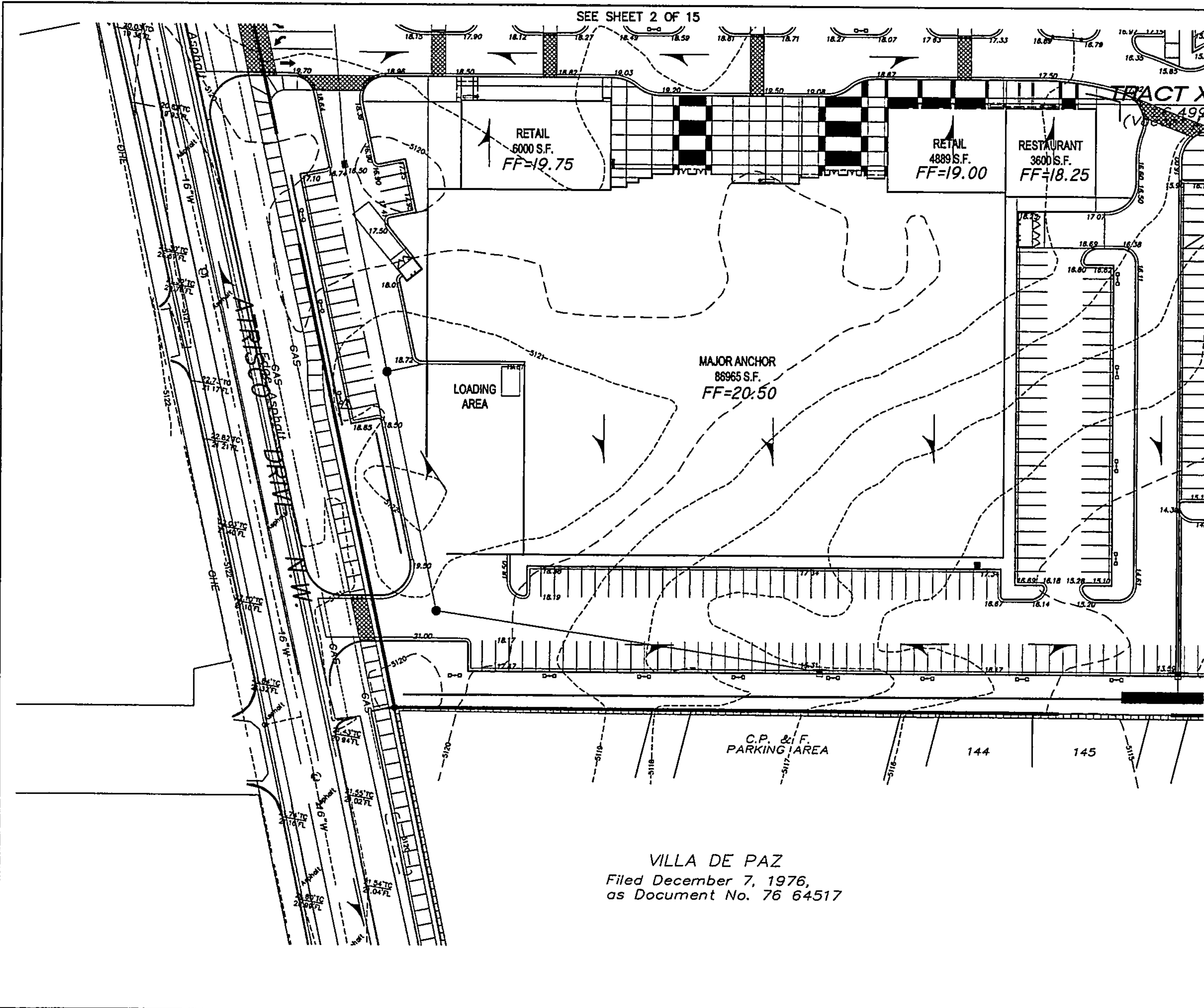
VILLA DE PAZ
 Filed December 7, 1976
 as Document No. 76 64
 Q_N = 19.810FS
 Q_{OUT} = 2.840FS
 MWSL = 511.28
 V₁₀₀ = 0.50ACFT

COORS BOULEVARD N.W.

CITY PROJECT NO. ZONE MAP NO. SHEET 4 OF 15	LATEST DESIGN UPDATE GRADING AND DRAINAGE PLAN USER DEPARTMENT	GND, LLC CONSULTING ENGINEERS CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION OXBOW TOWN CENTER	GRAPHIC SCALE (1" = 100') 0 10 20 30 40 50	ENGINEER'S SEAL 	SURVEY INFORMATION FIELD NOTES NO. BY DATE	BENCH MARKS NGS/Abuquerque Control Survey Monument "JOSEPH 1969" NM State Plane Coordinates (Central Zone -NAD27) X=366,686.82 Y=1,502,248.75 Delta Alpha=-0015'24" Ground to Grid Factor=0.99967551 Elevation=5116.61 (NAVD88)	AS BUILT INFORMATION CONTRACTOR STARTED BY STOPPED BY REVISION BY CHECKED BY RECORDED BY DATE
					NO. DATE REMARKS REVISIONS DESIGN	DESIGNED BY: JRW DATE: NOV 2007 DRAWN BY: JRW DATE: NOV 2007 CHECKED BY: JRW DATE: NOV 2007	

NOTES
 1. SEE SHEETS 7 THRU 10 OF 15
 FOR STORM DRAIN PLAN.

I:\Projects\6010\GND\6010 ED_04_30.dwg 1/29/2007 3:28:13 PM JST



VILLA DE PAZ
Filed December 7, 1976,
as Document No. 76 64517

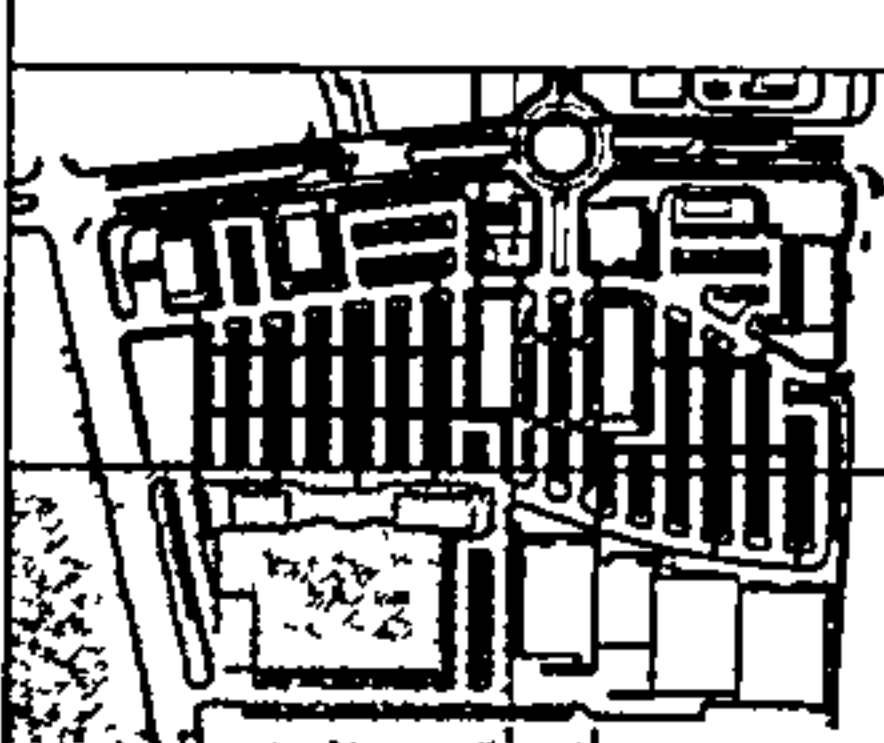
SEE SHEET 2 OF 15

FRACT X

CONCRETE SWALE PER DETAIL ON SHEET 15 OF 15

SEE SHEET 4 OF 15

NOTES
1. SEE SHEETS 7 THRU 10 OF 15 FOR STORM DRAIN PLANS.

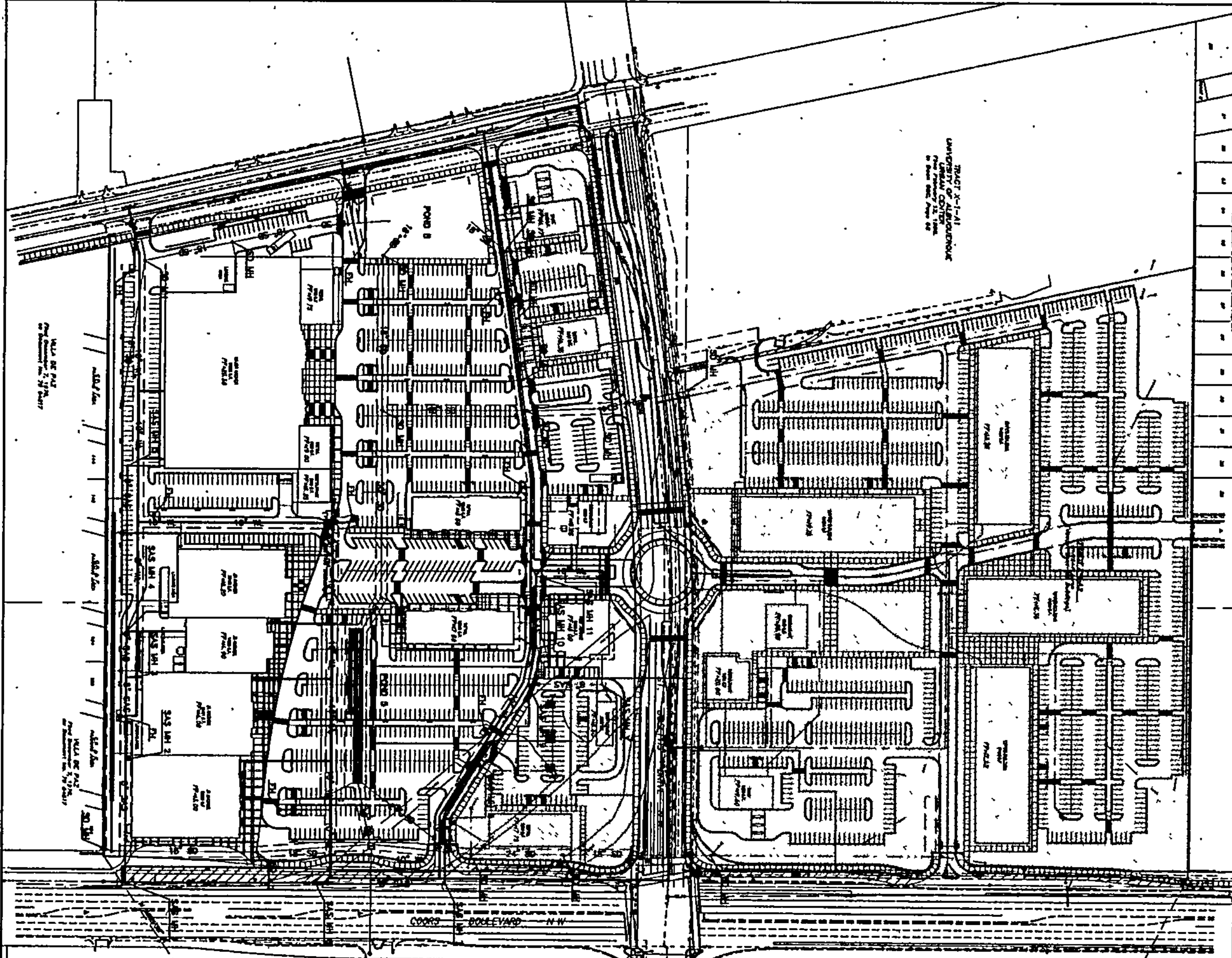


GRAPHIC SCALE
1" = 20'

GND, LLC
CONSULTING ENGINEERS

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
OXBOW TOWN CENTER
GRADING AND DRAINAGE PLAN

AS BUILT INFORMATION	
DATE	
BY	
SURVEY INFORMATION	
NO.	DATE
FIELD NOTES	
BY	
ENGINEER'S SEAL	
NCS/Albuquerque Central Survey Monument JOSEPH 1988 NM State Plane Coordinates (Central Zone - NAD27) X=364,686.82 Y=1,502,246.75 Delta Alpha=-071524" Ground to Grid Factor=0.99987551 Elevation=5116.61 (NAVD83)	
NO.	DATE
REVISIONS	
BY	DATE
DESIGN	
DESIGNED BY: JRW	DATE: MAR 2007
DRAWN BY: JRW	DATE: MAR 2007
CHECKED BY: JRW	DATE: MAR 2007
CITY PROJECT No.	
ZONE MAP No.	SHEET
G-11	5 OF 15

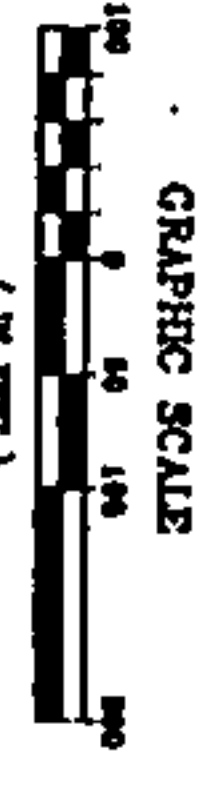
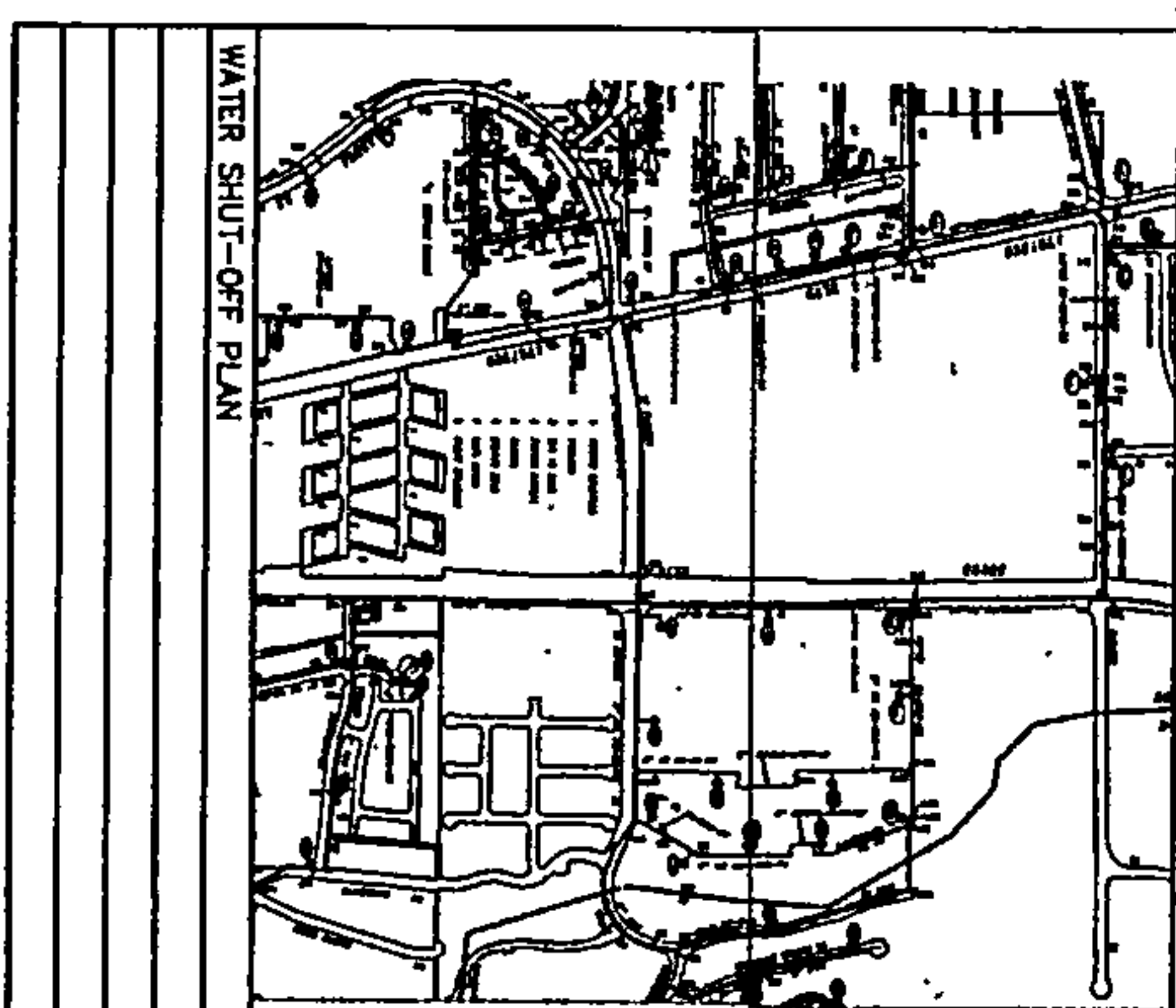


TRACT 30-1-41
UNIVERSITY OF ALABAMA
The University of Alabama
is hereby acknowledged as the owner of the above described tract of land.

LEGEND

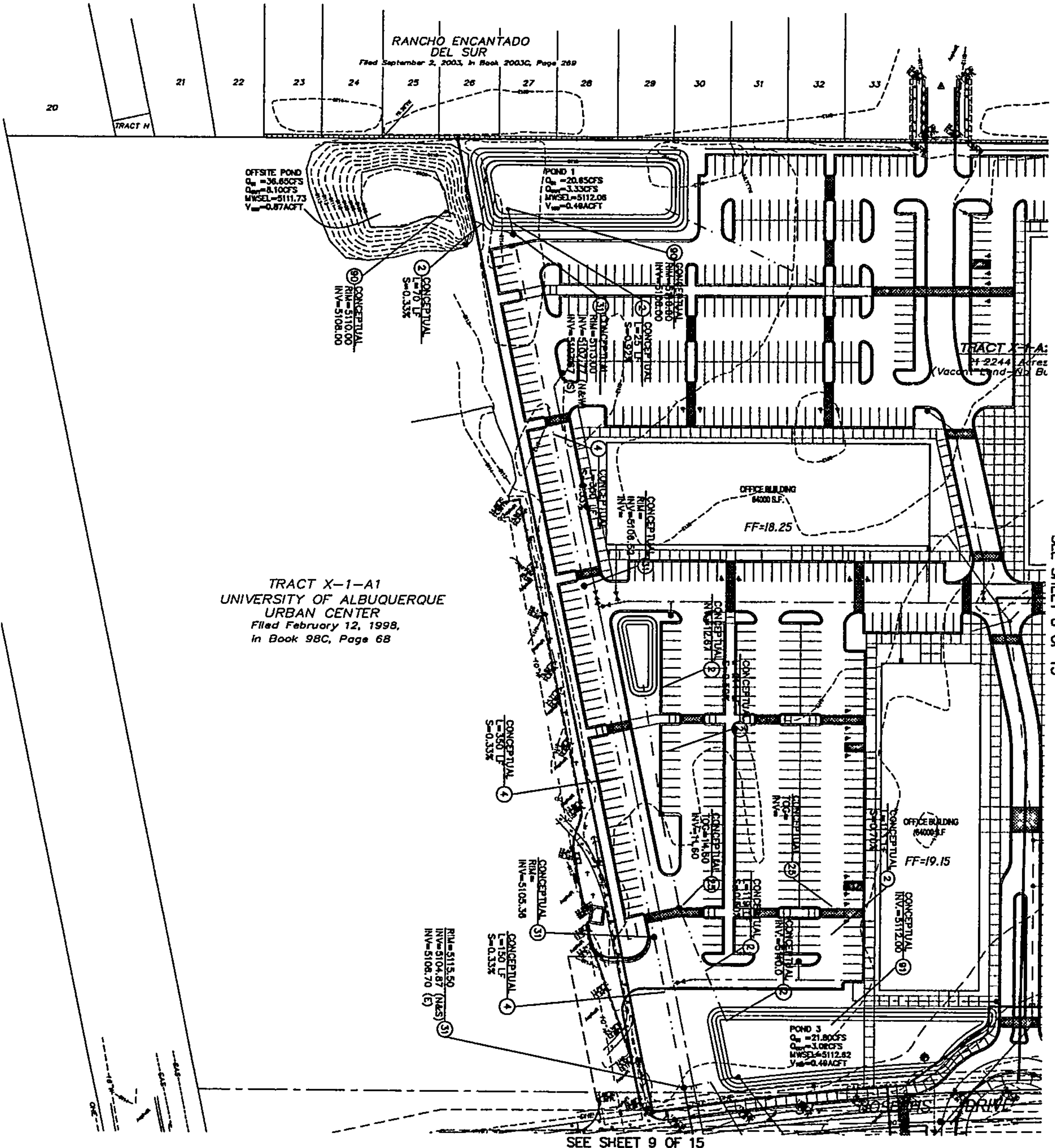
SYMBOL	DESCRIPTION
(Symbol)	12" DIA. WATER MAIN
(Symbol)	18" DIA. WATER MAIN
(Symbol)	24" DIA. WATER MAIN
(Symbol)	36" DIA. WATER MAIN
(Symbol)	48" DIA. WATER MAIN
(Symbol)	60" DIA. WATER MAIN
(Symbol)	36" DIA. SANITARY SEWER
(Symbol)	48" DIA. SANITARY SEWER
(Symbol)	60" DIA. SANITARY SEWER
(Symbol)	72" DIA. SANITARY SEWER
(Symbol)	90" DIA. SANITARY SEWER
(Symbol)	12" DIA. GAS
(Symbol)	18" DIA. GAS
(Symbol)	24" DIA. GAS
(Symbol)	36" DIA. GAS
(Symbol)	48" DIA. GAS
(Symbol)	60" DIA. GAS
(Symbol)	72" DIA. GAS
(Symbol)	90" DIA. GAS
(Symbol)	12" DIA. TELEPHONE
(Symbol)	18" DIA. TELEPHONE
(Symbol)	24" DIA. TELEPHONE
(Symbol)	36" DIA. TELEPHONE
(Symbol)	48" DIA. TELEPHONE
(Symbol)	60" DIA. TELEPHONE
(Symbol)	72" DIA. TELEPHONE
(Symbol)	90" DIA. TELEPHONE
(Symbol)	12" DIA. CABLE TV
(Symbol)	18" DIA. CABLE TV
(Symbol)	24" DIA. CABLE TV
(Symbol)	36" DIA. CABLE TV
(Symbol)	48" DIA. CABLE TV
(Symbol)	60" DIA. CABLE TV
(Symbol)	72" DIA. CABLE TV
(Symbol)	90" DIA. CABLE TV
(Symbol)	12" DIA. FIBER OPTIC
(Symbol)	18" DIA. FIBER OPTIC
(Symbol)	24" DIA. FIBER OPTIC
(Symbol)	36" DIA. FIBER OPTIC
(Symbol)	48" DIA. FIBER OPTIC
(Symbol)	60" DIA. FIBER OPTIC
(Symbol)	72" DIA. FIBER OPTIC
(Symbol)	90" DIA. FIBER OPTIC
(Symbol)	12" DIA. POWER
(Symbol)	18" DIA. POWER
(Symbol)	24" DIA. POWER
(Symbol)	36" DIA. POWER
(Symbol)	48" DIA. POWER
(Symbol)	60" DIA. POWER
(Symbol)	72" DIA. POWER
(Symbol)	90" DIA. POWER
(Symbol)	12" DIA. LIGHT
(Symbol)	18" DIA. LIGHT
(Symbol)	24" DIA. LIGHT
(Symbol)	36" DIA. LIGHT
(Symbol)	48" DIA. LIGHT
(Symbol)	60" DIA. LIGHT
(Symbol)	72" DIA. LIGHT
(Symbol)	90" DIA. LIGHT

- NOTES**
- SEE SHEET 15 OF 15 FOR GRADING TYPICAL SECTIONS
 - SEE SHEET 16 OF 15 FOR RETAINING WALL DETAILS
 - SEE SHEETS 7-10 OF 15 FOR STORM DRAIN PLANS



CITY PROJECT NO.	6-11
ZONE MAP NO.	6 OF 15
GND, LLC	
CONSULTING ENGINEERS	
CITY OF ALABAMA	
MUNICIPAL DEVELOPMENT DEPARTMENT	
ENGINEERING DIVISION	
OSBORN TOWN CENTER	
COMPOSITE STORM DRAIN & UTILITY PLAN	
DESIGNED BY	JRW
DRAWN BY	JRW
CHECKED BY	SEG
DATE	NOV 2007

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		NCS/Abusurgus Control Survey Monument		CONTRACTOR	
		NO.	BY	DATE	"JOSEPH 1969"	DATE	DATE
				NM State Plane Coordinates (Central Zone -NAD27)		INSTALLER BY	
				K=365,686.82 Y=1,502,248.75		DATE	
				Delta Alpha = 0°15'24"		CHECKED BY	
				Ground to Grid Factor=0.99967551		DATE	
				Elevation=5118.61 (NAVD85)		MICRO-FILM INFORMATION	
						RECORDED BY	
						DATE	

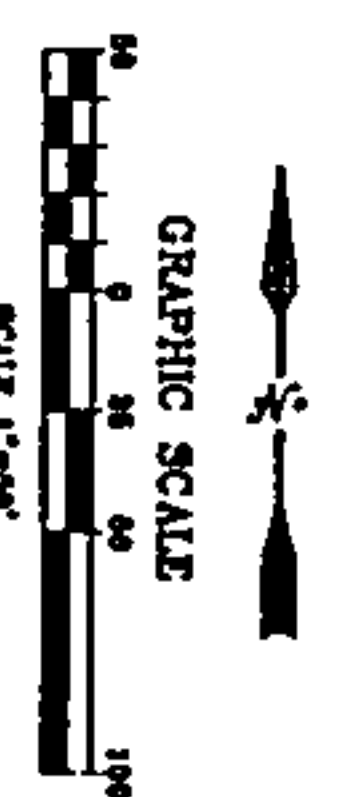


TRACT X-1-A1
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER
Filed February 12, 1998,
in Book 98C, Page 68

SEE SHEET 8 OF 15

SEE SHEET 9 OF 15

- GENERAL NOTES.**
1. ALL STORM DRAIN PIPE TO BE HOPE OR ENGINEER APPROVED EQUAL.
 2. SEE SHEET 6 OF 15 FOR LEGEND.



GND LLC
CONSULTING ENGINEERS

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
OSBORN TOWN CENTER
MASTER UTILITY PLAN
STORM DRAIN

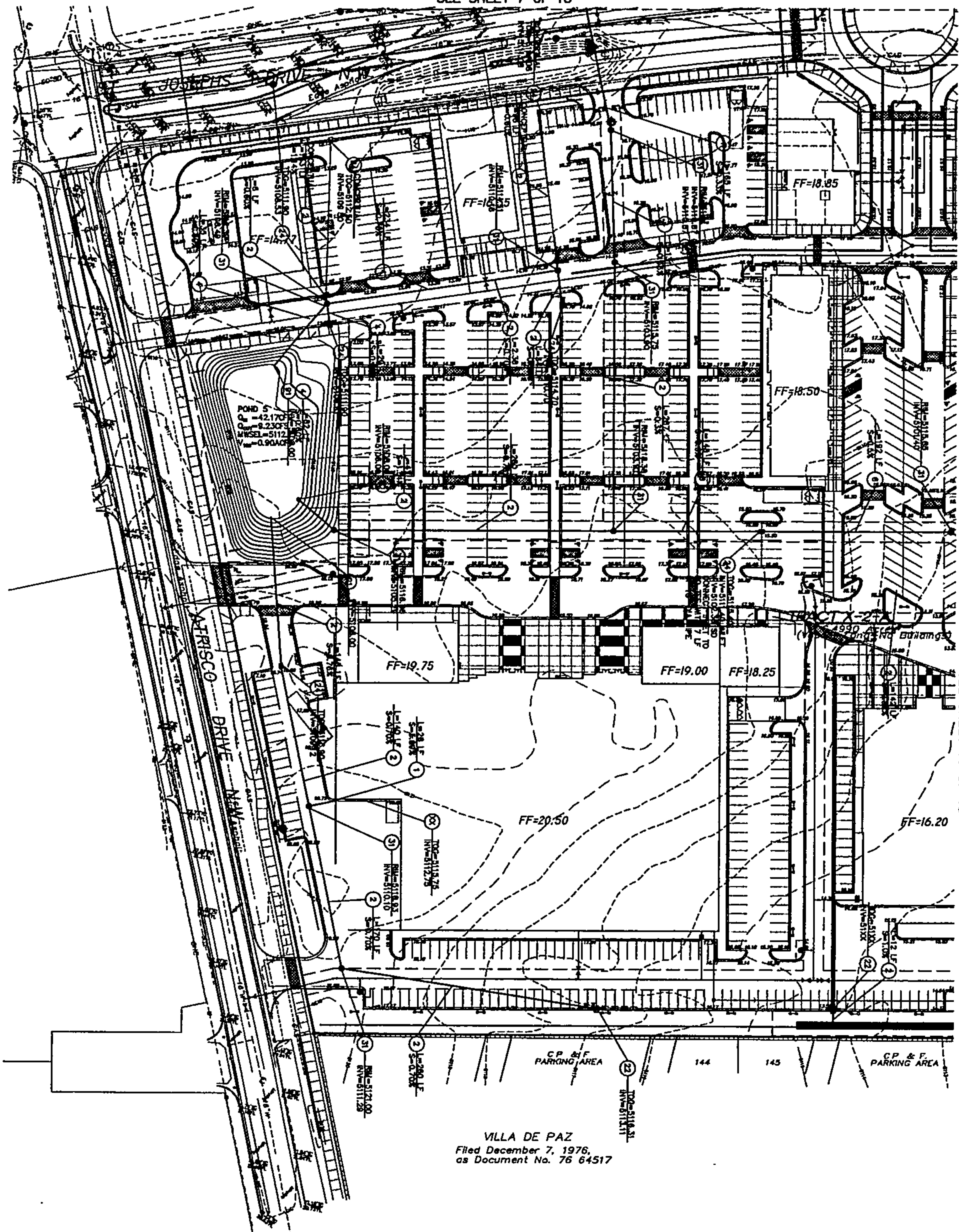
CITY PROJECT NO.	ZONE MAP NO.	SHEET
	G-11	7 OF 15

STORM DRAIN CONSTRUCTION NOTES

1	INSTALL 18" STORM DRAIN PIPE
2	INSTALL 24" STORM DRAIN PIPE
3	INSTALL 30" STORM DRAIN PIPE
4	INSTALL 36" STORM DRAIN PIPE
5	INSTALL 42" STORM DRAIN PIPE
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8	INSTALL 60" STORM DRAIN PIPE
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27	INSTALL 174" STORM DRAIN PIPE
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65	INSTALL 402" STORM DRAIN PIPE
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87	INSTALL 534" STORM DRAIN PIPE
88	INSTALL 540" STORM DRAIN PIPE
89	INSTALL 546" STORM DRAIN PIPE
90	INSTALL 552" STORM DRAIN PIPE
91	INSTALL 558" STORM DRAIN PIPE
92	INSTALL 564" STORM DRAIN PIPE
93	INSTALL 570" STORM DRAIN PIPE
94	INSTALL 576" STORM DRAIN PIPE
95	INSTALL 582" STORM DRAIN PIPE
96	INSTALL 588" STORM DRAIN PIPE
97	INSTALL 594" STORM DRAIN PIPE
98	INSTALL 600" STORM DRAIN PIPE
99	INSTALL 606" STORM DRAIN PIPE
100	INSTALL 612" STORM DRAIN PIPE

ENGINEER'S SEAL	SURVEY INFORMATION	BENCH MARKS	AS BUILT INFORMATION
	FIELD NOTES	NMS/Albuquerque Control Survey Monument	CONTRACTOR
	NO. BY DATE	"JOSEPH 1969"	STARTED BY DATE
DESIGNED BY: JRW		NM State Plane Coordinates (Central Zone -NAD27)	INSPECTORS
DRAWN BY: JRW		X=366,686.82 Y=1,502,246.75	FIELD
CHECKED BY: JRW		Delta Alpha=0°15'24"	CONSTRUCTION BY DATE
		Ground to Grid Factor=0.99967531	CONNECTION BY DATE
		Elevation=5118.61 (NAVD88)	MICRO-FILM INFORMATION
			RECORDED BY DATE

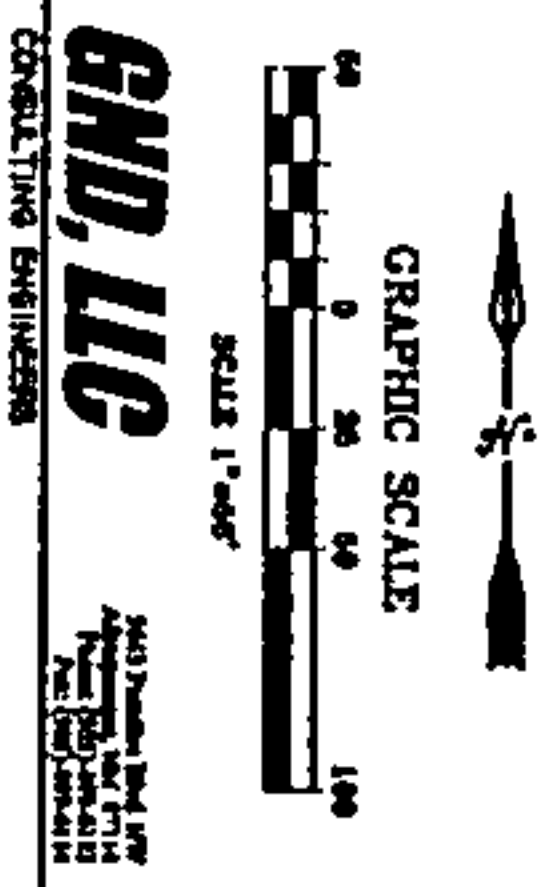
SEE SHEET 7 OF 15



SEE SHEET 10 OF 15

VILLA DE PAZ
Filed December 7, 1976,
as Document No. 76 64517

- GENERAL NOTES**
1. ALL STORM DRAIN PIPE TO BE HOPE OR ENGINEER APPROVED EQUAL.
 2. SEE SHEET 8 OF 15 FOR LEGEND.



GND, LLC
CONSULTING ENGINEERS
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
OSBORN TOWN CENTER
MASTER UTILITY PLAN
STORM DRAIN

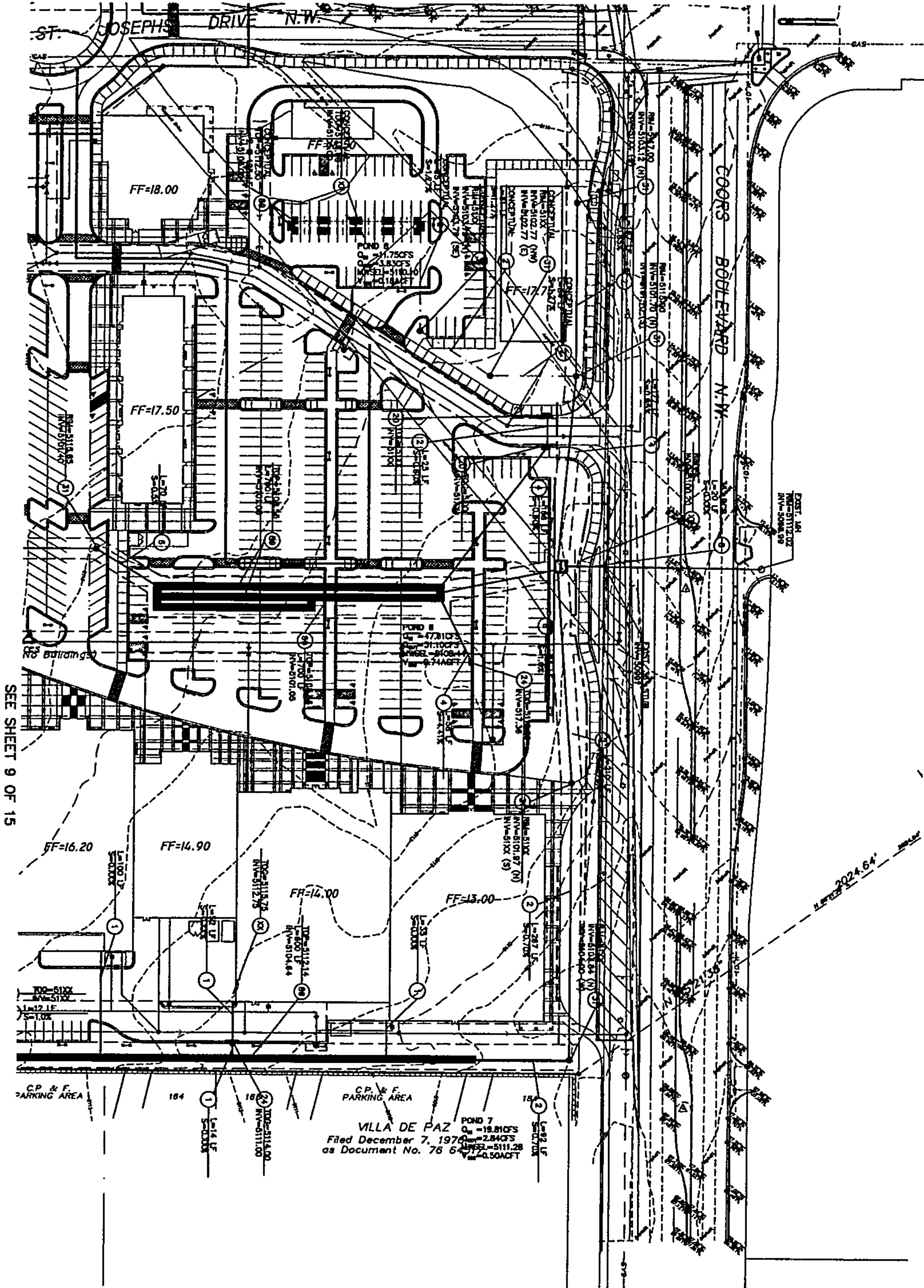
STORM DRAIN CONSTRUCTION NOTES

1	INSTALL 12" STORM DRAIN PIPE
2	INSTALL 12" STORM DRAIN PIPE
3	INSTALL 12" STORM DRAIN PIPE
4	INSTALL 12" STORM DRAIN PIPE
5	INSTALL 12" STORM DRAIN PIPE
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11	INSTALL 12" STORM DRAIN PIPE
12	INSTALL 12" STORM DRAIN PIPE
13	INSTALL 12" STORM DRAIN PIPE
14	INSTALL 12" STORM DRAIN PIPE
15	INSTALL 12" STORM DRAIN PIPE

CITY PROJECT No.	DATE	DESIGNED BY	DATE
		JRW	NOV 2007
		JRW	NOV 2007
		JRW	NOV 2007

ENGINEER'S SEAL	SURVEY INFORMATION	BENCH MARKS	AS BUILT INFORMATION
	FIELD NOTES	NGS/Abuquerque Control Survey Monument	CONTRACTOR
	NO. BY DATE	"JOSEPH 1969"	STARTED BY DATE
		NM State Plane Coordinates (Central Zone -NAD27)	ACCEPTED BY DATE
		X=366,686.82 Y=1,502,246.75	DESIGNED BY DATE
		Delta Alpha=001524°	CONTRACTED BY DATE
		Ground to Grid Factor=0.99987551	RECORDED BY DATE
		Elevation=5116.61 (NAVD88)	

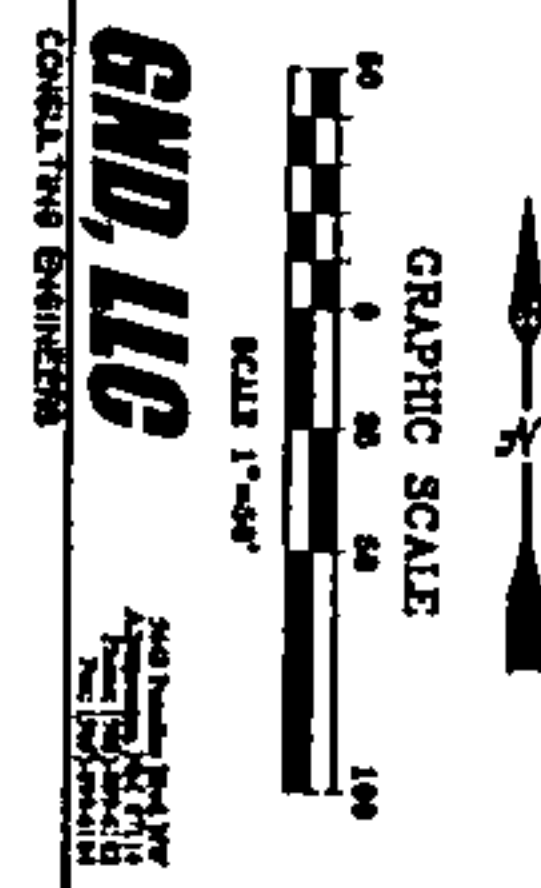
SEE SHEET 8 OF 15



SEE SHEET 9 OF 15

VILLA DE PAZ
 Filed December 7, 1976
 as Document No. 76 64

CITY PROJECT No.	ZONE MAP No.	SHEET
	G-11	10 OF 15



GND, LLC
 CONSULTING ENGINEERS
 CITY OF ALBUQUERQUE
 MUNICIPAL DEVELOPMENT DEPARTMENT
 ENGINEERING DIVISION
 OSBORN TOWN CENTER
 MASTER UTILITY PLAN
 STORM DRAIN
 URBAN DEPARTMENT

GENERAL NOTES:
 1. ALL STORM DRAIN PIPE TO BE HOPE OR EQUIVALENT APPROVED EQUAL.
 2. SEE SHEET 8 OF 15 FOR LEGEND.



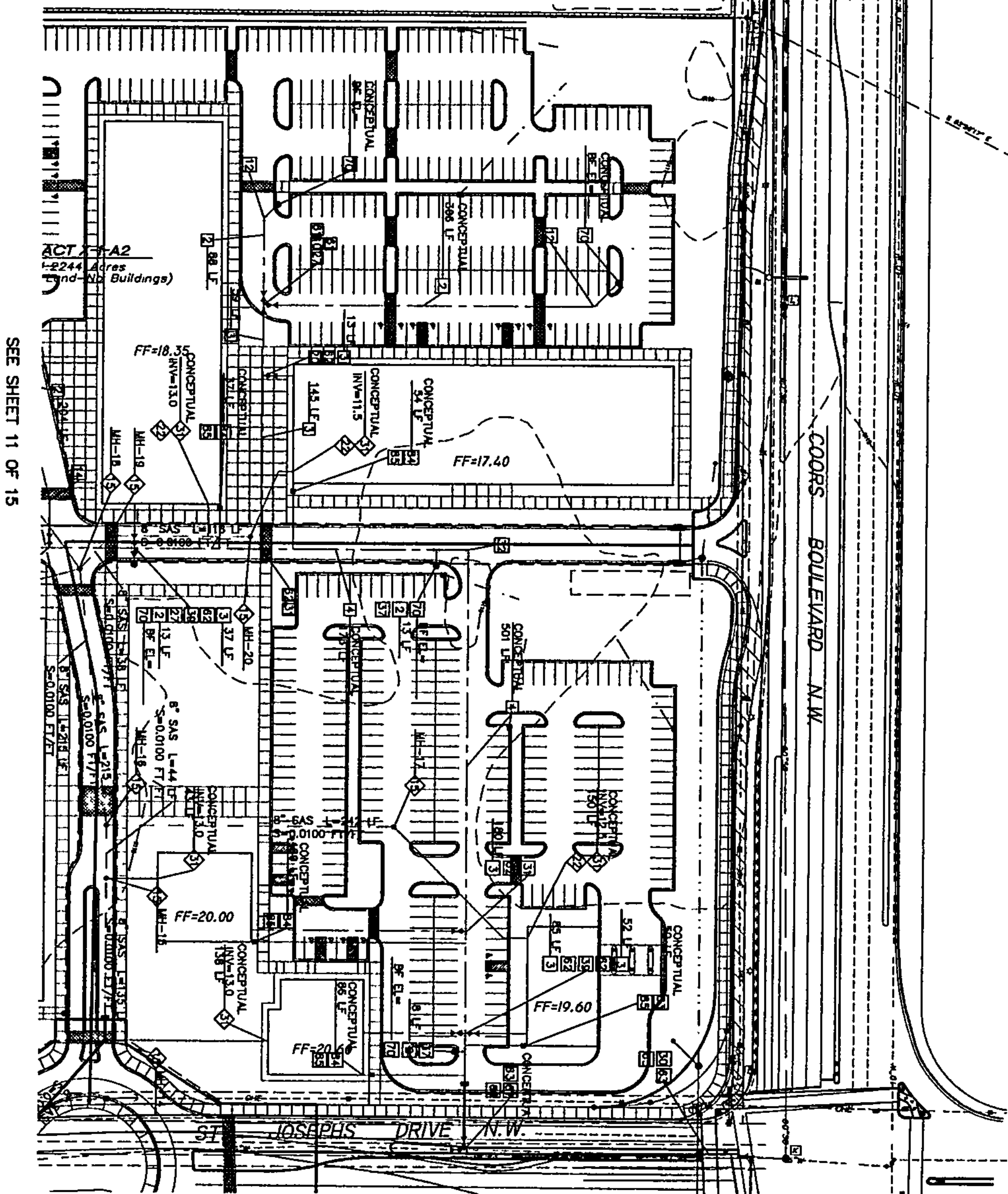
REVISIONS		BY
NO.	DATE	REMARKS

DESIGN		DATE
DESIGNED BY: JRW	DATE: NOV 2007	
DRAWN BY: JRW	DATE: NOV 2007	
CHECKED BY: JRW	DATE: NOV 2007	

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
FIELD NOTES		NCS/Abuquerque Control Survey Monument		CONTRACTOR	
NO.	BY	DATE	"JOSEPH 1969"	STARTED BY	DATE
			NM State Plane Coordinates (Central Zone -NAD27)	COMPLETED BY	DATE
			X=386,686.82 Y=1,502,246.75	INSPECTED BY	DATE
			Delta Alpha=0015'24"	CHECKED BY	DATE
			Ground to Grid Factor=0.99967551	RECORDED BY	DATE
			Elevation=5116.61 (NAVD88)		

STORM DRAIN CONSTRUCTION NOTES	
1	INSTALL 12" STORM DRAIN PIPE
2	INSTALL 18" STORM DRAIN PIPE
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90	INSTALL 546" STORM DRAIN PIPE
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93	INSTALL 564" STORM DRAIN PIPE
94	INSTALL 570" STORM DRAIN PIPE
95	INSTALL 576" STORM DRAIN PIPE
96	INSTALL 582" STORM DRAIN PIPE
97	INSTALL 588" STORM DRAIN PIPE
98	INSTALL 594" STORM DRAIN PIPE
99	INSTALL 600" STORM DRAIN PIPE
100	INSTALL 606" STORM DRAIN PIPE
101	INSTALL 612" STORM DRAIN PIPE
102	INSTALL 618" STORM DRAIN PIPE
103	INSTALL 624" STORM DRAIN PIPE
104	INSTALL 630" STORM DRAIN PIPE
105	INSTALL 636" STORM DRAIN PIPE
106	INSTALL 642" STORM DRAIN PIPE
107	INSTALL 648" STORM DRAIN PIPE
108	INSTALL 654" STORM DRAIN PIPE
109	INSTALL 660" STORM DRAIN PIPE
110	INSTALL 666" STORM DRAIN PIPE
111	INSTALL 672" STORM DRAIN PIPE
112	INSTALL 678" STORM DRAIN PIPE
113	INSTALL 684" STORM DRAIN PIPE
114	INSTALL 690" STORM DRAIN PIPE
115	INSTALL 696" STORM DRAIN PIPE
116	INSTALL 702" STORM DRAIN PIPE
117	INSTALL 708" STORM DRAIN PIPE
118	INSTALL 714" STORM DRAIN PIPE
119	INSTALL 720" STORM DRAIN PIPE
120	INSTALL 726" STORM DRAIN PIPE
121	INSTALL 732" STORM DRAIN PIPE
122	INSTALL 738" STORM DRAIN PIPE
123	INSTALL 744" STORM DRAIN PIPE
124	INSTALL 750" STORM DRAIN PIPE
125	INSTALL 756" STORM DRAIN PIPE
126	INSTALL 762" STORM DRAIN PIPE
127	INSTALL 768" STORM DRAIN PIPE
128	INSTALL 774" STORM DRAIN PIPE
129	INSTALL 780" STORM DRAIN PIPE
130	INSTALL 786" STORM DRAIN PIPE
131	INSTALL 792" STORM DRAIN PIPE
132	INSTALL 798" STORM DRAIN PIPE
133	INSTALL 804" STORM DRAIN PIPE
134	INSTALL 810" STORM DRAIN PIPE
135	INSTALL 816" STORM DRAIN PIPE
136	INSTALL 822" STORM DRAIN PIPE
137	INSTALL 828" STORM DRAIN PIPE
138	INSTALL 834" STORM DRAIN PIPE
139	INSTALL 840" STORM DRAIN PIPE
140	INSTALL 846" STORM DRAIN PIPE
141	INSTALL 852" STORM DRAIN PIPE
142	INSTALL 858" STORM DRAIN PIPE
143	INSTALL 864" STORM DRAIN PIPE
144	INSTALL 870" STORM DRAIN PIPE
145	INSTALL 876" STORM DRAIN PIPE
146	INSTALL 882" STORM DRAIN PIPE
147	INSTALL 888" STORM DRAIN PIPE
148	INSTALL 894" STORM DRAIN PIPE
149	INSTALL 900" STORM DRAIN PIPE
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153	INSTALL 924" STORM DRAIN PIPE
154	INSTALL 930" STORM DRAIN PIPE
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164	INSTALL 990" STORM DRAIN PIPE
165	INSTALL 996" STORM DRAIN PIPE
166	INSTALL 1002" STORM DRAIN PIPE
167	INSTALL 1008" STORM DRAIN PIPE
168	INSTALL 1014" STORM DRAIN PIPE
169	INSTALL 1020" STORM DRAIN PIPE
170	INSTALL 1026" STORM DRAIN PIPE
171	INSTALL 1032" STORM DRAIN PIPE
172	INSTALL 1038" STORM DRAIN PIPE
173	INSTALL 1044" STORM DRAIN PIPE
174	INSTALL 1050" STORM DRAIN PIPE
175	INSTALL 1056" STORM DRAIN PIPE
176	INSTALL 1062" STORM DRAIN PIPE
177	INSTALL 1068" STORM DRAIN PIPE
178	INSTALL 1074" STORM DRAIN PIPE
179	INSTALL 1080" STORM DRAIN PIPE
180	INSTALL 1086" STORM DRAIN PIPE
181	INSTALL 1092" STORM DRAIN PIPE
182	INSTALL 1098" STORM DRAIN PIPE
183	INSTALL 1104" STORM DRAIN PIPE
184	INSTALL 1110" STORM DRAIN PIPE
185	INSTALL 1116" STORM DRAIN PIPE
186	INSTALL 1122" STORM DRAIN PIPE
187	INSTALL 1128" STORM DRAIN PIPE
188	INSTALL 1134" STORM DRAIN PIPE
189	INSTALL 1140" STORM DRAIN PIPE
190	INSTALL 1146" STORM DRAIN PIPE
191	INSTALL 1152" STORM DRAIN PIPE
192	INSTALL 1158" STORM DRAIN PIPE
193	INSTALL 1164" STORM DRAIN PIPE
194	INSTALL 1170" STORM DRAIN PIPE
195	INSTALL 1176" STORM DRAIN PIPE
196	INSTALL 1182" STORM DRAIN PIPE
197	INSTALL 1188" STORM DRAIN PIPE
198	INSTALL 1194" STORM DRAIN PIPE
199	INSTALL 1200" STORM DRAIN PIPE
200	INSTALL 1206" STORM DRAIN PIPE
201	INSTALL 1212" STORM DRAIN PIPE
202	INSTALL 1218" STORM DRAIN PIPE
203	INSTALL 1224" STORM DRAIN PIPE
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207	INSTALL 1248" STORM DRAIN PIPE
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209	INSTALL 1260" STORM DRAIN PIPE
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213	INSTALL 1284" STORM DRAIN PIPE
214	INSTALL 1290" STORM DRAIN PIPE
215	INSTALL 1296" STORM DRAIN PIPE
216	INSTALL 1302" STORM DRAIN PIPE
217	INSTALL 1308" STORM DRAIN PIPE
218	INSTALL 1314" STORM DRAIN PIPE
219	INSTALL 1320" STORM DRAIN PIPE
220	INSTALL 1326" STORM DRAIN PIPE
221	INSTALL 1332" STORM DRAIN PIPE
222	INSTALL 1338" STORM DRAIN PIPE
223	INSTALL 1344" STORM DRAIN PIPE
224	INSTALL 1350" STORM DRAIN PIPE
225	INSTALL 1356" STORM DRAIN PIPE
226	INSTALL 1362" STORM DRAIN PIPE
227	INSTALL 1368" STORM DRAIN PIPE
228	INSTALL 1374" STORM DRAIN PIPE
229	INSTALL 1380" STORM DRAIN PIPE
230	INSTALL 1386" STORM DRAIN PIPE
231	INSTALL 1392" STORM DRAIN PIPE
232	INSTALL 1398" STORM DRAIN PIPE
233	INSTALL 1404" STORM DRAIN PIPE
234	INSTALL 1410" STORM DRAIN PIPE
235	INSTALL 1416" STORM DRAIN PIPE
236	INSTALL 1422" STORM DRAIN PIPE
237	INSTALL 1428" STORM DRAIN PIPE
238	INSTALL 1434" STORM DRAIN PIPE
239	INSTALL 1440" STORM DRAIN PIPE
240	INSTALL 1446" STORM DRAIN PIPE
241	INSTALL 1452" STORM DRAIN PIPE
242	INSTALL 1458" STORM DRAIN PIPE
243	INSTALL 1464" STORM DRAIN PIPE
244	INSTALL 1470" STORM DRAIN PIPE
245	INSTALL 1476" STORM DRAIN PIPE
246	INSTALL 1482" STORM DRAIN PIPE
247	INSTALL 1488" STORM DRAIN PIPE
248	INSTALL 1494" STORM DRAIN PIPE
249	INSTALL 1500" STORM DRAIN PIPE
250	INSTALL 1506" STORM DRAIN PIPE
251	INSTALL 1512" STORM DRAIN PIPE
252	INSTALL 1518" STORM DRAIN PIPE
253	INSTALL 1524" STORM DRAIN PIPE
254	INSTALL 1530" STORM DRAIN PIPE
255	INSTALL 1536" STORM DRAIN PIPE
256	INSTALL 1542" STORM DRAIN PIPE
257	INSTALL 1548" STORM DRAIN PIPE
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266	INSTALL 1602" STORM DRAIN PIPE
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268	INSTALL 1614" STORM DRAIN PIPE
269	INSTALL 1620" STORM DRAIN PIPE
270	INSTALL 1626" STORM DRAIN PIPE
271	INSTALL 1632" STORM DRAIN PIPE
272	INSTALL 1638" STORM DRAIN PIPE
273	INSTALL 1644" STORM DRAIN PIPE
274	INSTALL 1650" STORM DRAIN PIPE
275	INSTALL 1656" STORM DRAIN PIPE
276	INSTALL 1662" STORM DRAIN PIPE
277	INSTALL 1668" STORM DRAIN PIPE
278	INSTALL 1674" STORM DRAIN PIPE
279	INSTALL 1680" STORM DRAIN PIPE
280	INSTALL 1686" STORM DRAIN PIPE
281	INSTALL 1692" STORM DRAIN PIPE
282	INSTALL 1698" STORM DRAIN PIPE
283	INSTALL 1704" STORM DRAIN PIPE
284	INSTALL 1710" STORM DRAIN PIPE
285	INSTALL 1716" STORM DRAIN PIPE
286	INSTALL 1722" STORM DRAIN PIPE
287	INSTALL 1728" STORM DRAIN PIPE
288	INSTALL 1734" STORM DRAIN PIPE
289	INSTALL 1740" STORM DRAIN PIPE
290	INSTALL 1746" STORM DRAIN PIPE
291	INSTALL 1752" STORM DRAIN PIPE
292	INSTALL 1758" STORM DRAIN PIPE
293	INSTALL 1764" STORM DRAIN PIPE
294	INSTALL 1770" STORM DRAIN PIPE
295	INSTALL 1776" STORM DRAIN PIPE
296	INSTALL 1782" STORM DRAIN PIPE
297	INSTALL 1788" STORM DRAIN PIPE
298	INSTALL 1794" STORM DRAIN PIPE
299	INSTALL 1800" STORM DRAIN PIPE
300	INSTALL 1806" STORM DRAIN PIPE
301	INSTALL 1812" STORM DRAIN PIPE
302	INSTALL 1818" STORM DRAIN PIPE
303	INSTALL 1824" STORM DRAIN PIPE
304	INSTALL 1830" STORM DRAIN PIPE
305	INSTALL 1836" STORM DRAIN PIPE
306	INSTALL 1842" STORM DRAIN PIPE
307	INSTALL 1848" STORM DRAIN PIPE
308	INSTALL 1854" STORM DRAIN PIPE
309	INSTALL 1860" STORM DRAIN PIPE
310	INSTALL 1866" STORM DRAIN PIPE
311	INSTALL 1872" STORM DRAIN PIPE
312	INSTALL 1878" STORM DRAIN PIPE
313	INSTALL 1884" STORM DRAIN PIPE
314	INSTALL 1890" STORM DRAIN PIPE
315	INSTALL 1896" STORM DRAIN PIPE
316	INSTALL 1902" STORM DRAIN PIPE
317	INSTALL 1908" STORM DRAIN PIPE
318	INSTALL 1914" STORM DRAIN PIPE

TRACT 4-B
RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269



SEE SHEET 11 OF 15

SEE SHEET 14 OF 15

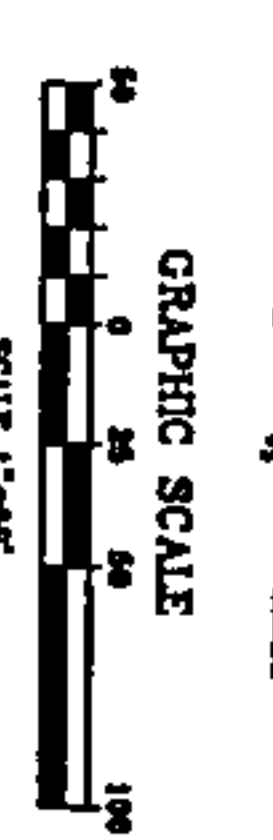
WATER CONSTRUCTION NOTES

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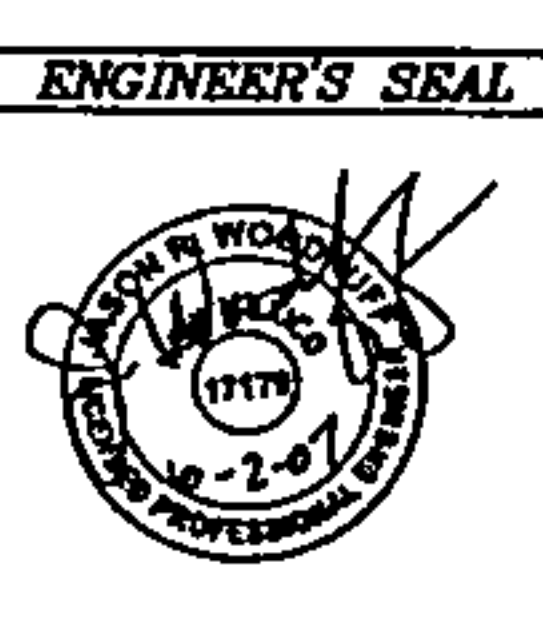
SEWER CONSTRUCTION NOTES

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GENERAL NOTES:
1. SEE SHEET 8 OF 15 FOR LEGEND.
2. SEE SHEET 13 FOR SANITARY SEWER MANHOLE TABLE.



GND, LLC
CONSULTING ENGINEERS
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
OSBOW TOWN CENTER
MASTER UTILITY PLAN
SANITARY SEWER AND WATER
LARS DEPARTMENT

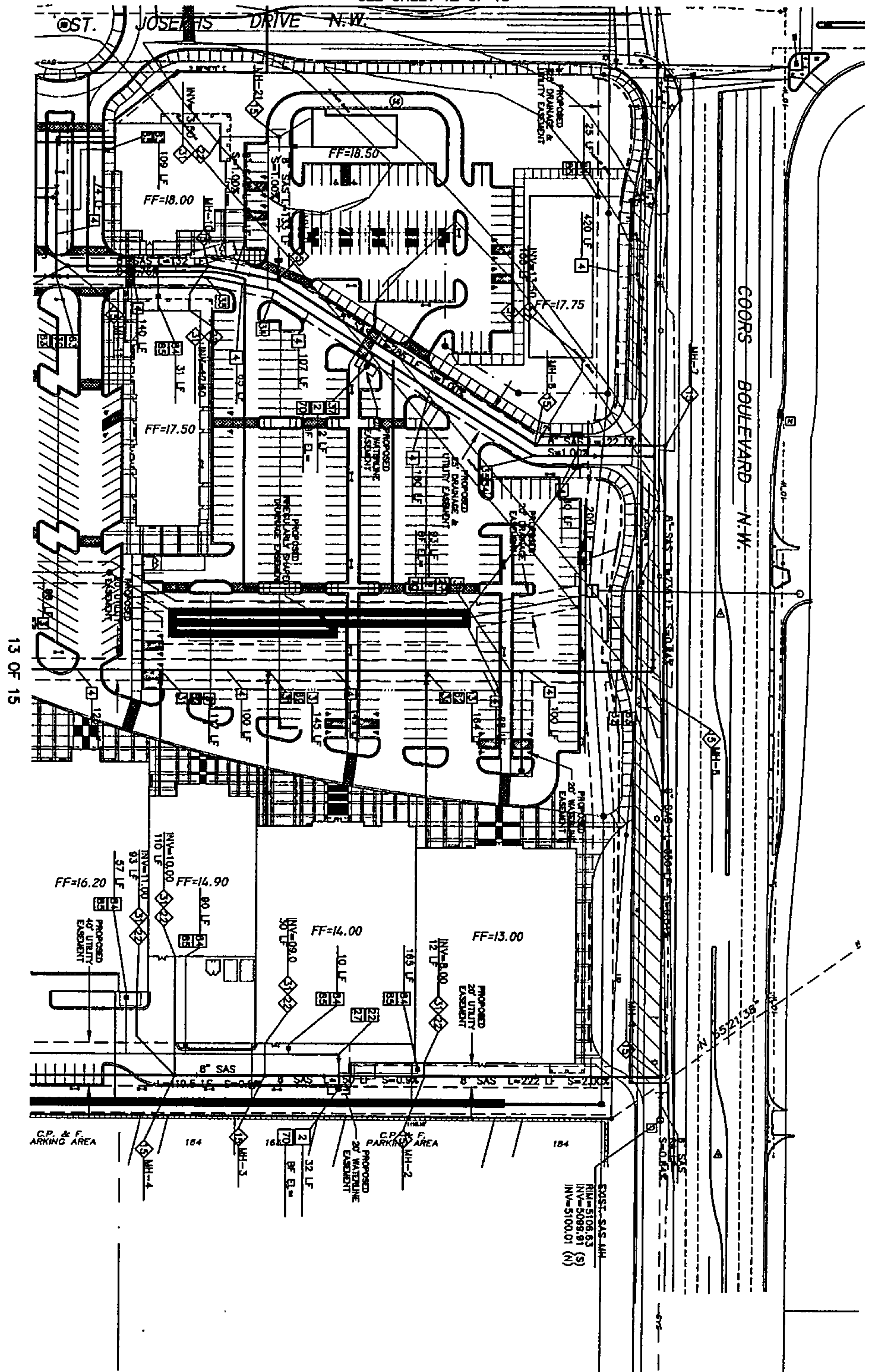


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NO.	BY	DATE	DESCRIPTION	CONTRACTOR	DATE
1	JRW	NOV 2007	NGS/Albuquerque Central Survey Monument		
2	JRW	NOV 2007	"JOSEPH 1969"		
3	JRW	NOV 2007	NM State Plane Coordinates (Central Zone -NAD27)		
4	JRW	NOV 2007	X=366,686.82 Y=1,502,246.75		
5	JRW	NOV 2007	Delta Alpha=-0015'24"		
6	JRW	NOV 2007	Ground to Grid Factor=-0.99967551		
7	JRW	NOV 2007	Elevation=5116.81 (NAVD89)		

NO.	DATE	REMARKS	BY
1	NOV 2007	DESIGN	JRW
2	NOV 2007	DESIGN	JRW
3	NOV 2007	DESIGN	JRW

CITY PROJECT No. ZONE MAP No. SHEET 12 OF 15

SEE SHEET 12 OF 15

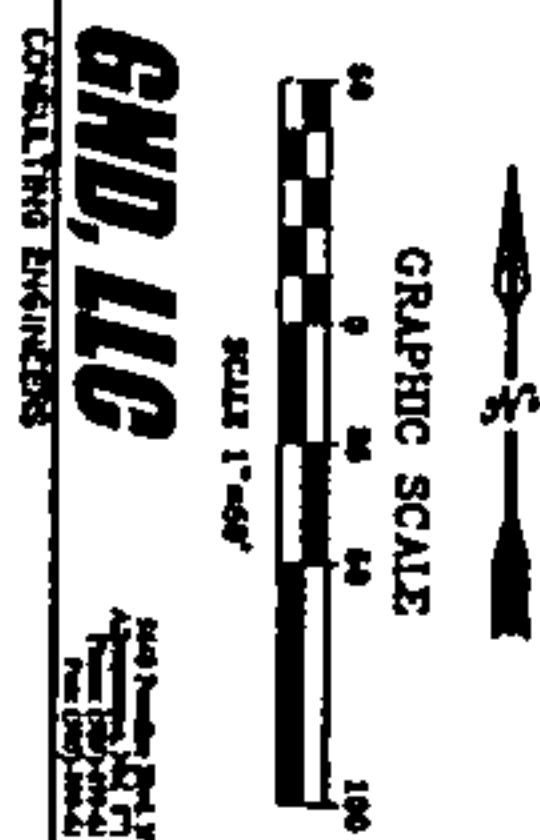


13 OF 15

- GENERAL NOTES**
- SEE SHEET 8 OF 15 FOR LEGEND.
 - SEE SHEET 13 OF 15 FOR SANITARY SEWER MANHOLE TABLE.

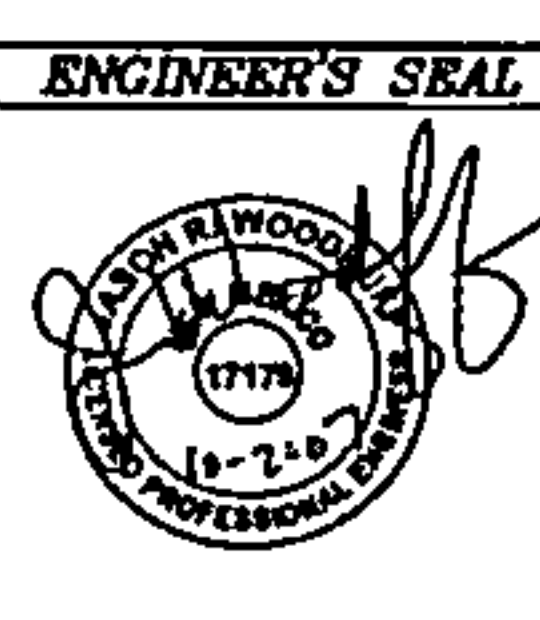
- SEWER CONSTRUCTION NOTES**
- INSTALL 2\"/>

- WATER CONSTRUCTION NOTES**
- INSTALL 8\"/>

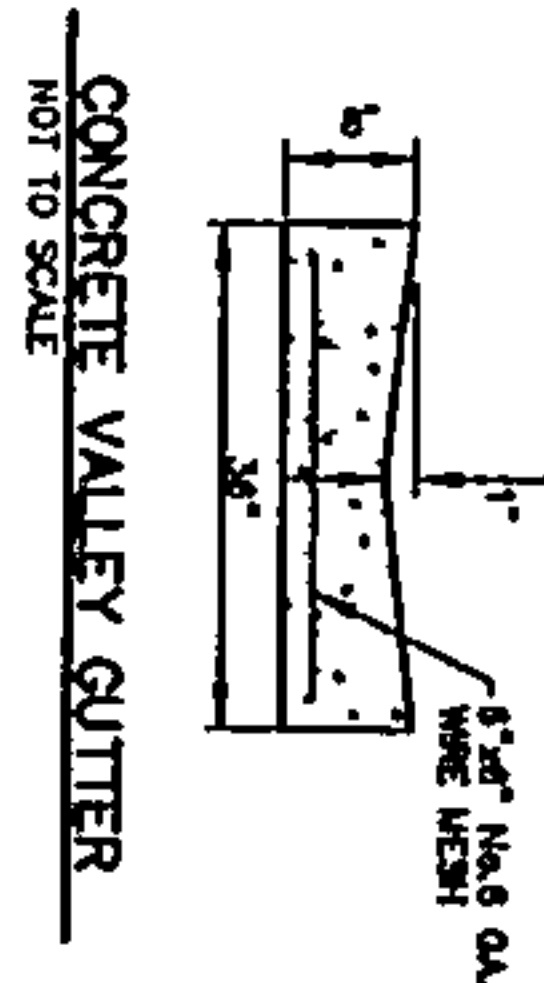
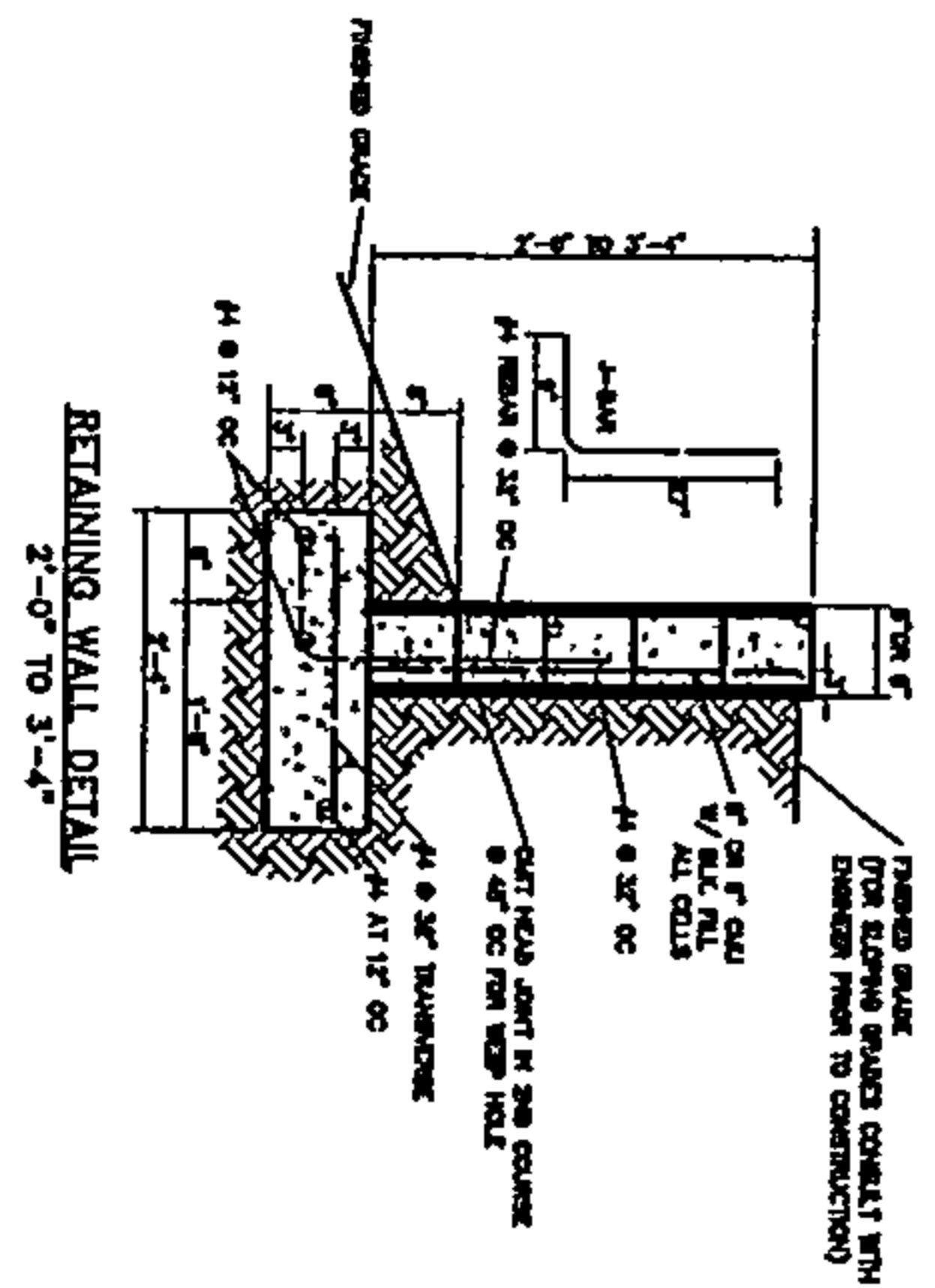
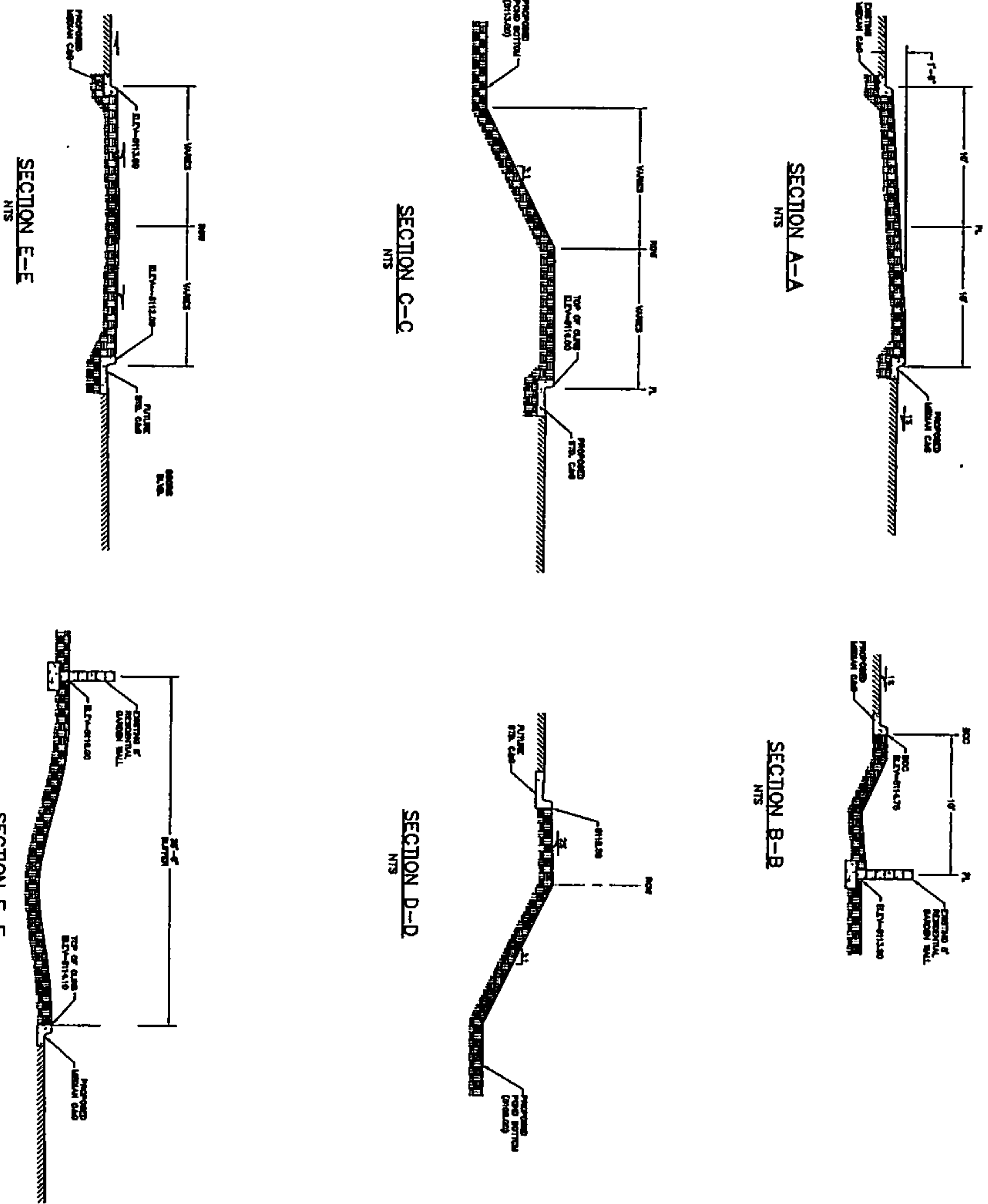


GND, LLC
CONSULTING ENGINEERS

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OSBORN TOWN CENTER MASTER UTILITY PLAN SANITARY SEWER AND WATER	
DATE	NOV 2007
DESIGNED BY:	JRW
DRAWN BY:	JRW
CHECKED BY:	JRW
CITY PROJECT No.	ZONE MAP No. G-11
SHEET 14 OF 15	

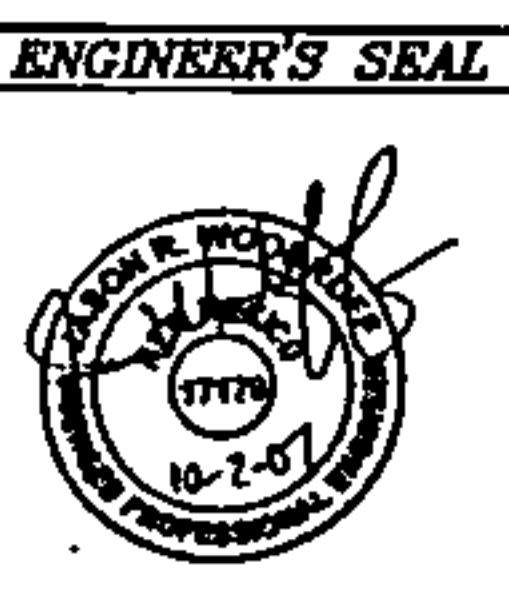


ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	BY	DATE	DESCRIPTION	DATE	DESCRIPTION	DATE
				NCS/Albuquerque Central Survey Monument			
				"JOSEPH 1969"			
				NM State Plane Coordinates (Central Zone -NAD27)			
				X=366,696.82 Y=1,502,246.75			
				Delta Alpha = 00°15'24"			
				Ground to Grid Factor=0.99967551			
				Elevation=5118.61 (NAVD88)			



GND, LLC CONSULTING ENGINEERS 1000 UNIVERSITY BLVD, N.W. SUITE 1000 ALBUQUERQUE, NM 87102-3110 TEL: 505-263-1111 FAX: 505-263-1112 WWW.GNDLLC.COM	
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION OSBORN TOWN CENTER RETAINING WALL DETAIL AND TYPICAL GRADING SECTIONS USER DEPARTMENT	
CITY PROJECT NO.	ZONE MAP NO.
SHEET	15 OF 15

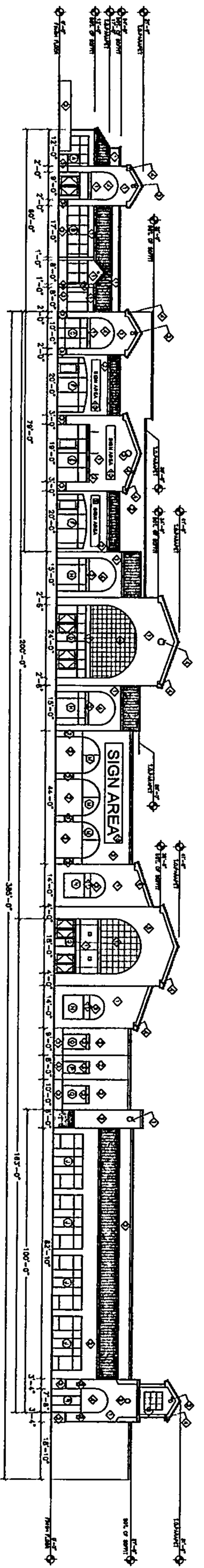
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		DESIGN	
		REVISIONS	
		DESIGN	
		DESIGNED BY: JRW	DATE: NOV 2007
		DRAWN BY: JCC	DATE: NOV 2007
		CHECKED BY: JRW	DATE: NOV 2007



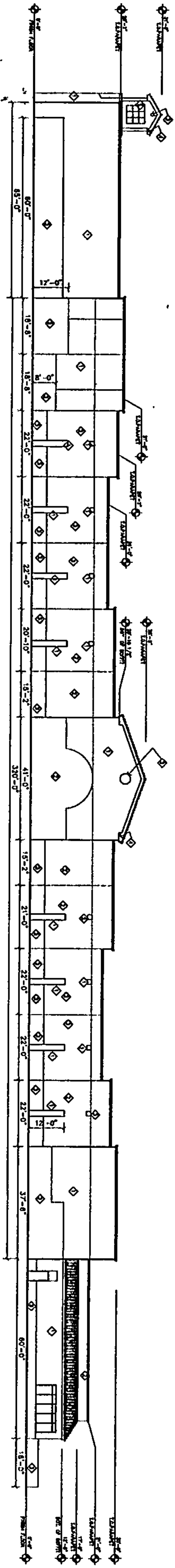
SURVEY INFORMATION	
NO.	DATE

BENCH MARKS	
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	"JOSEPH 1969"
	NM State Plane Coordinates (Central Zone -NAD27)
	X=366,686.62 Y=1,502,246.75
	Delta Alpha=0015'24"
	Ground to Grid Factor=0.99967551
	Elevation=5116.81 (NAVD88)

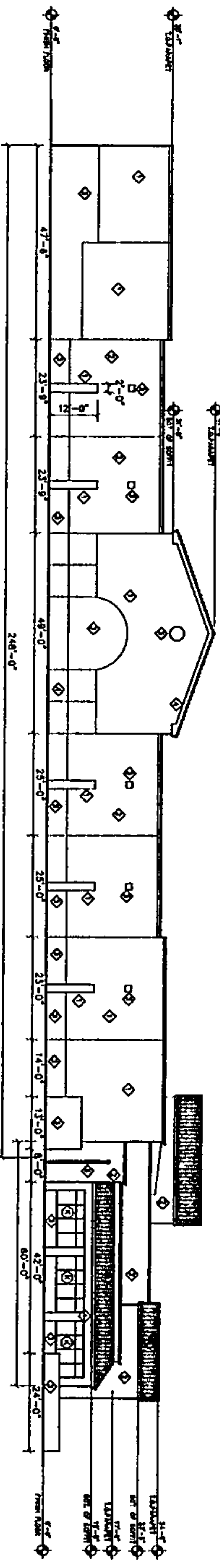
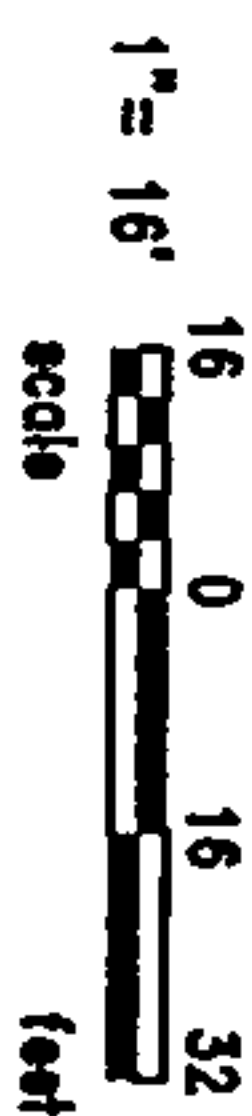
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	STARTED BY
	DATE
	INSPECTED BY
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	RECORDED BY
	DATE
	MICRO-FILM INFORMATION
	RECORDED BY
	DATE



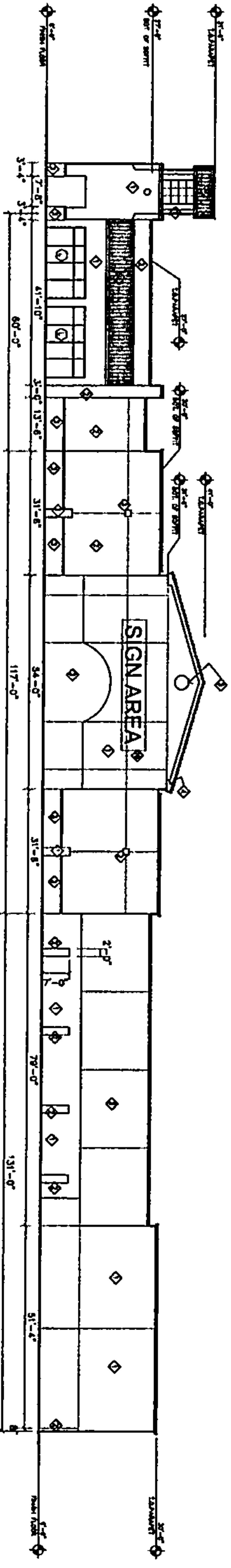
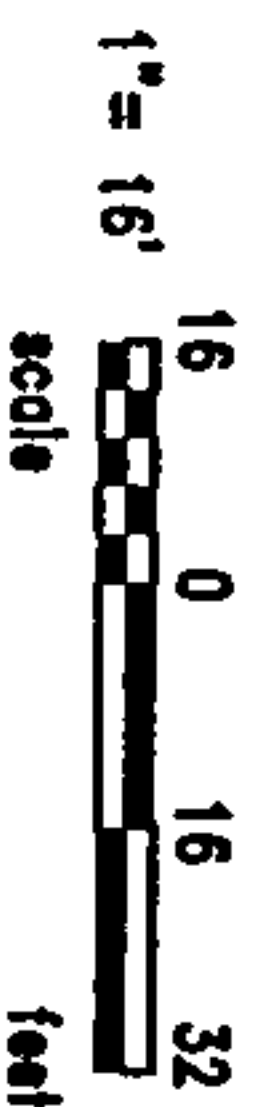
1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



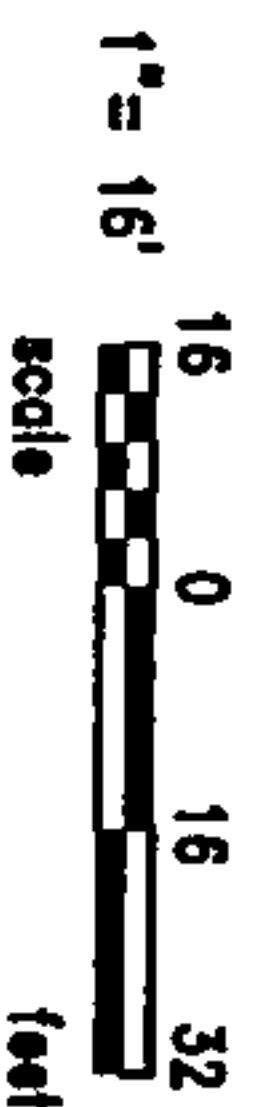
2 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



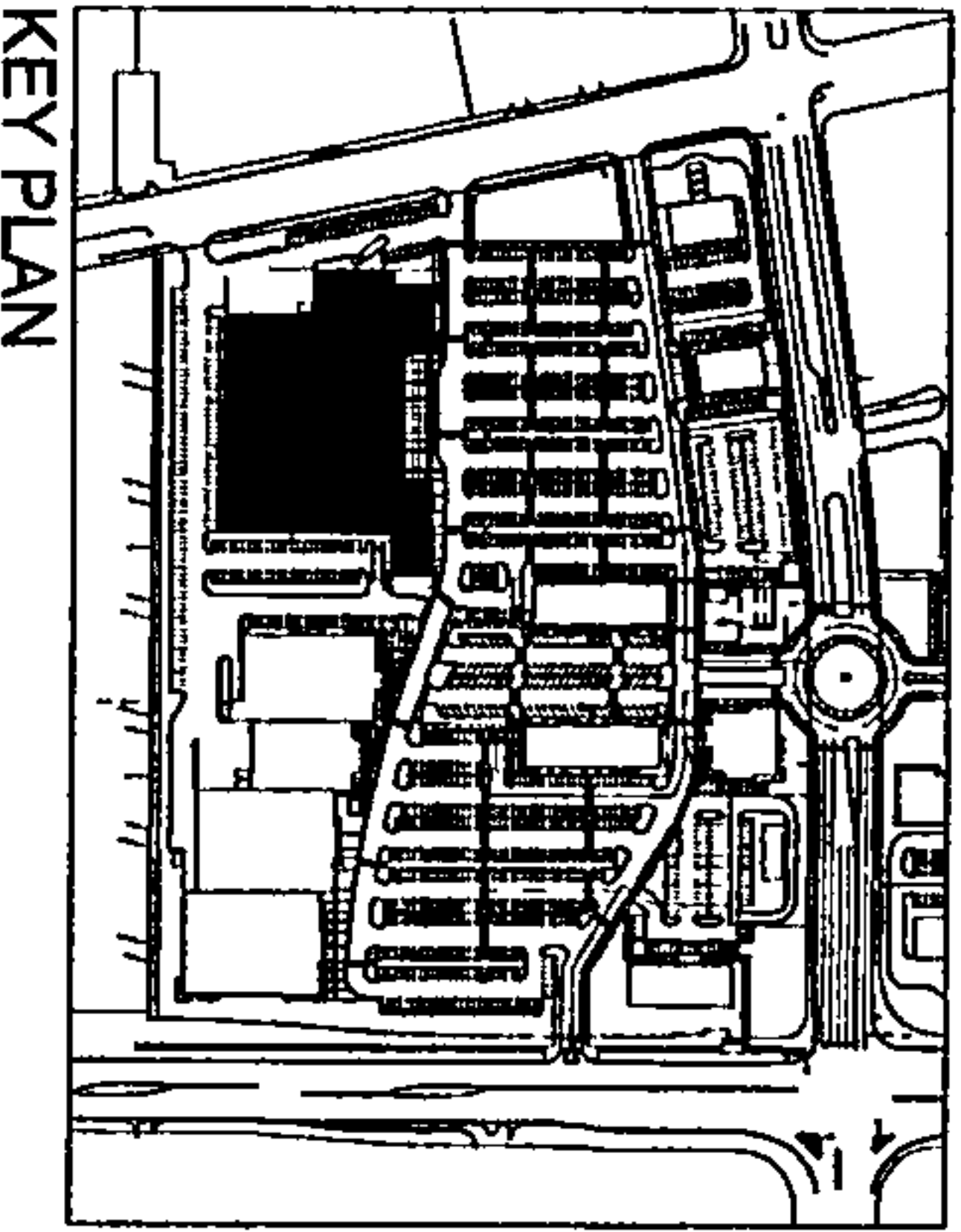
3 EAST ELEVATION
SCALE 1/8" = 1'-0"



4 WEST ELEVATION
SCALE 1/8" = 1'-0"



Keyed Color / Material Schedule	Common Name
◇ STUCCO	COAST POINT SW 2983
◇ STUCCO	BEADON BEIGE SW 2984
◇ STUCCO	PINK TABLE SW 2987
◇ STUCCO	MULBERRY BLK SW 0001
◇ STUCCO	COLLECTORS WHITE SW 1907 LAV 8716
◇ TUBE STEEL	BY NEPHROD
◇ CHIMNEY	PAINT TO MATCH ADJACENT FINISH
◇ LIGHT FIXTURE	VARIABLE, HARBOR BLEND
◇ DOWNPOUT	FLASHED
◇ TILE ROOF	SEE DESIGN STANDARD SECTION-J
◇ SIGNAGE	SEE DESIGN STANDARD
◇ STUCCO	HANVEST GOLD SW 2988
	ORANGE/YELLOW



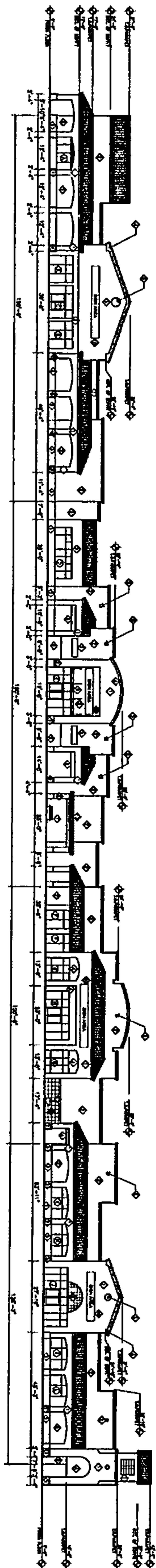
KEY PLAN

PROJECT: OXBOW TOWN CENTER			
LOCATION: JOSEPH AND COORS BLVD FRONT, ALBUQUERQUE, NM			
DATE: 10/07	DRAWN BY: JWH	CHECKED BY: JWH	PROJECT MANAGER: GEORGE RAINHART
SHEET TITLE: ELEVATIONS MAJOR JUNIOR ANCHORS			
SCALE: 1/8" = 1'-0"			
SHEET NO: A3.1			

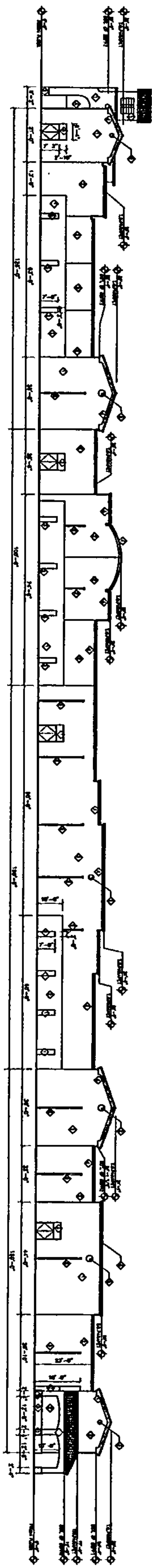
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



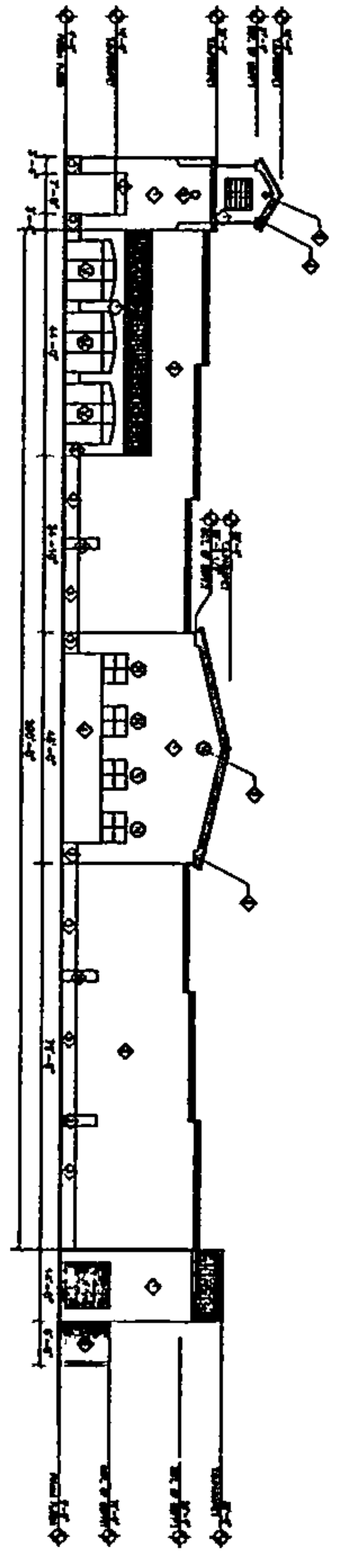
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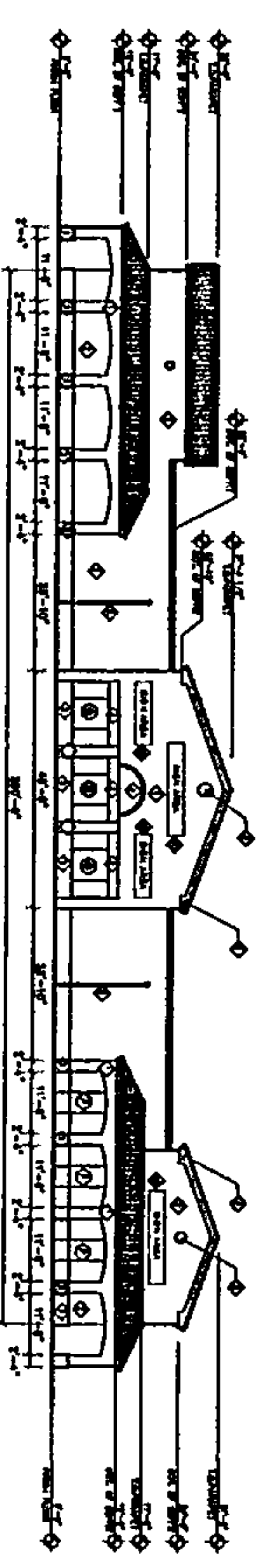
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 SCALE: 1" = 18'
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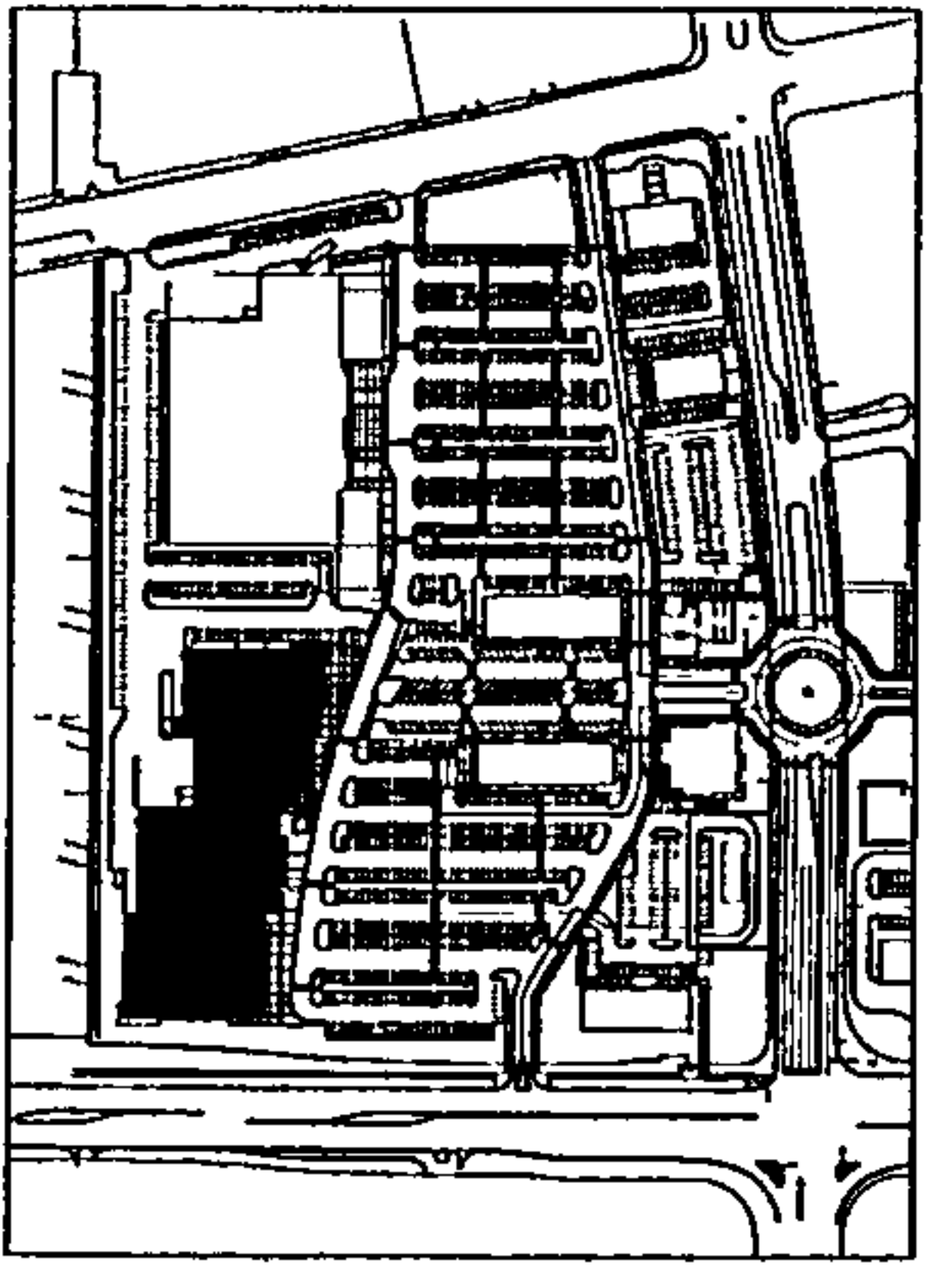
② SOUTH ELEVATION
 SCALE: 1" = 18'
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 Feet



④ WEST ELEVATION
 SCALE: 1" = 18'
 0 18 32
 Feet



③ EAST ELEVATION
 SCALE: 1" = 18'
 0 18 32
 Feet



KEY PLAN

Keyed Color / Material Schedule	Common Name
◇ STUCCO	COAST POINT SW 2003
◇ STUCCO	BEDOUIN BEIGE SW 2044
◇ STUCCO	PENIC TABLE SW 2047
◇ STUCCO	MILBERRY SILK SW 0001
◇ STUCCO	COLLECTOR'S WHITE SW 1907 (BY FIN. OF REDWOOD)
◇ TUNE STEEL	
◇ CANOPY	
◇ DOWNPOUT	
◇ TILE ROOF	
◇ SNOWDGE	
◇ WATER FOUNTAIN	
◇ TRELLIS	
	LIGHT BEIGE
	MEDIUM BEIGE
	MEDIUM DARK BEIGE
	BROWN-RED
	WHITE
	RED
	BLACK

PROJECT TITLE
OXBOW TOWN CENTER
 JOSEPH AND COORS BLVD FRONT
 ALBUQUERQUE, NM

PROJECT NUMBER
 0000000000

JOB NO.
 000

ISSUE NO.
 001

DATE
 04/07

SCALE
 1/8"=1'-0"

DATE
 04/07

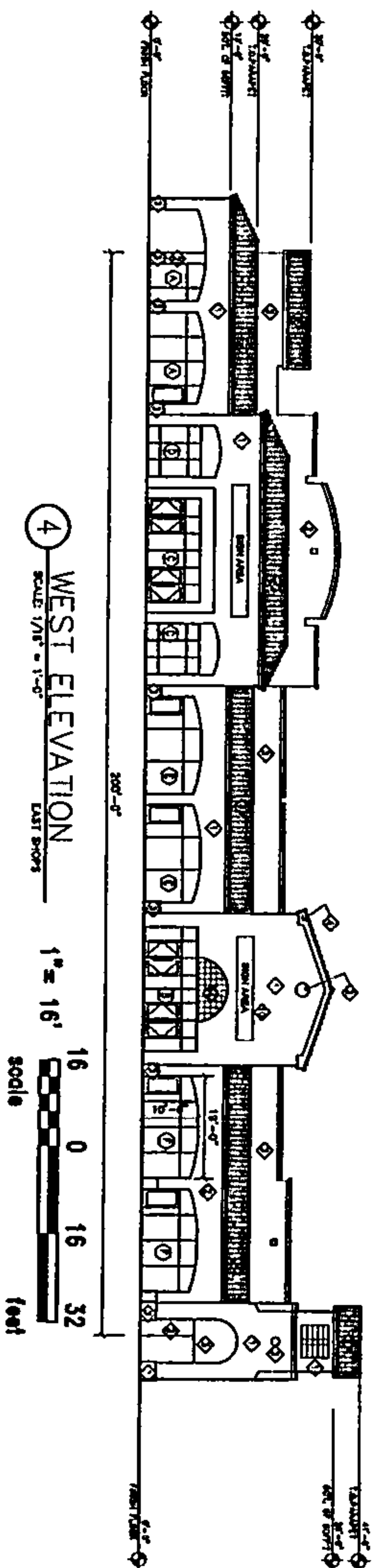
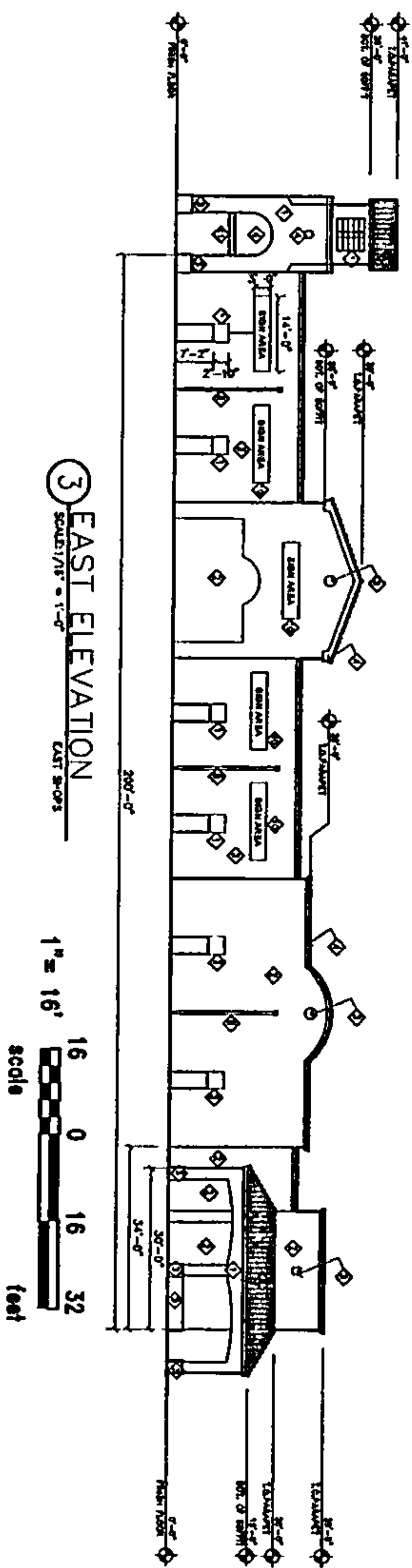
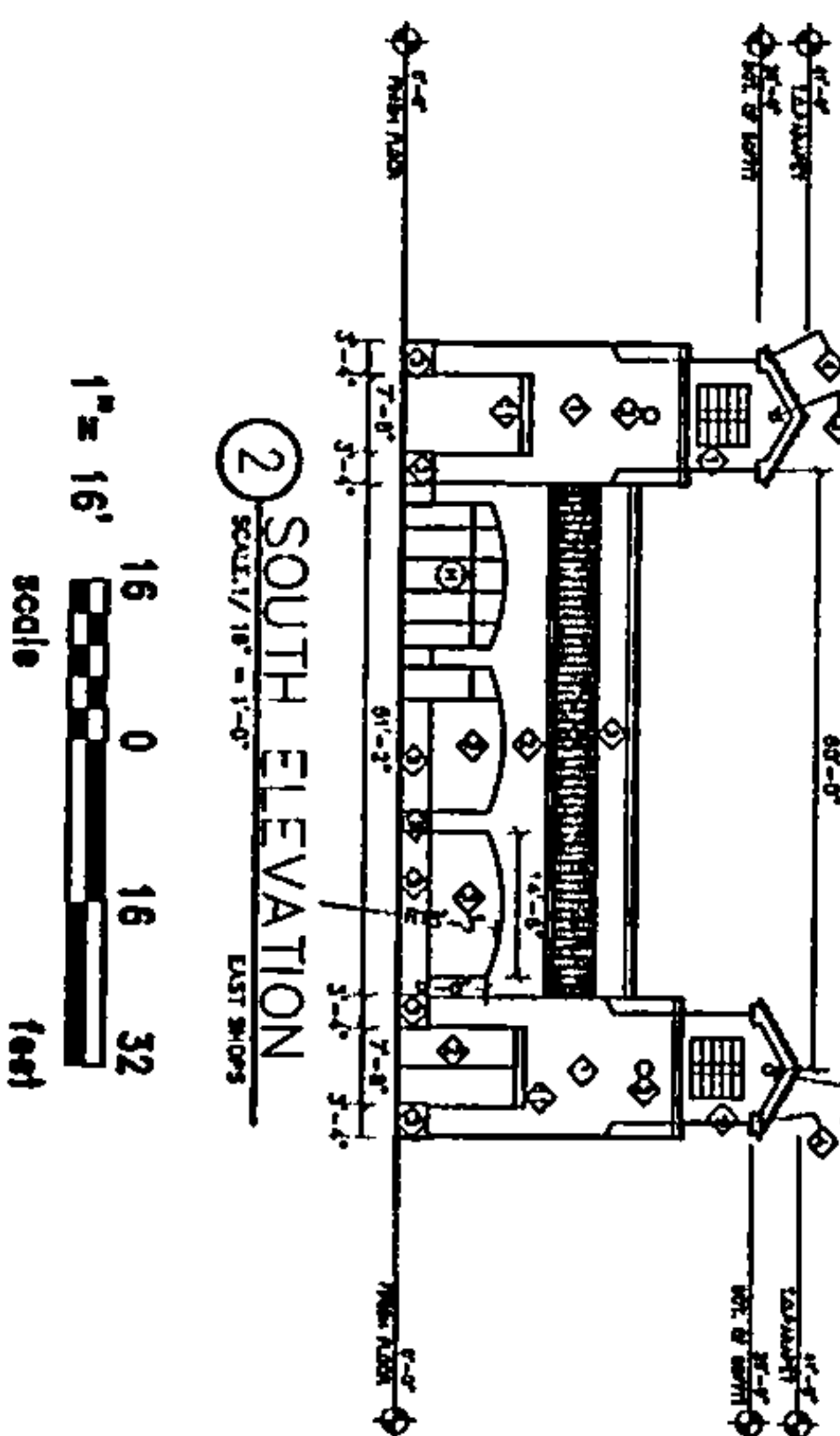
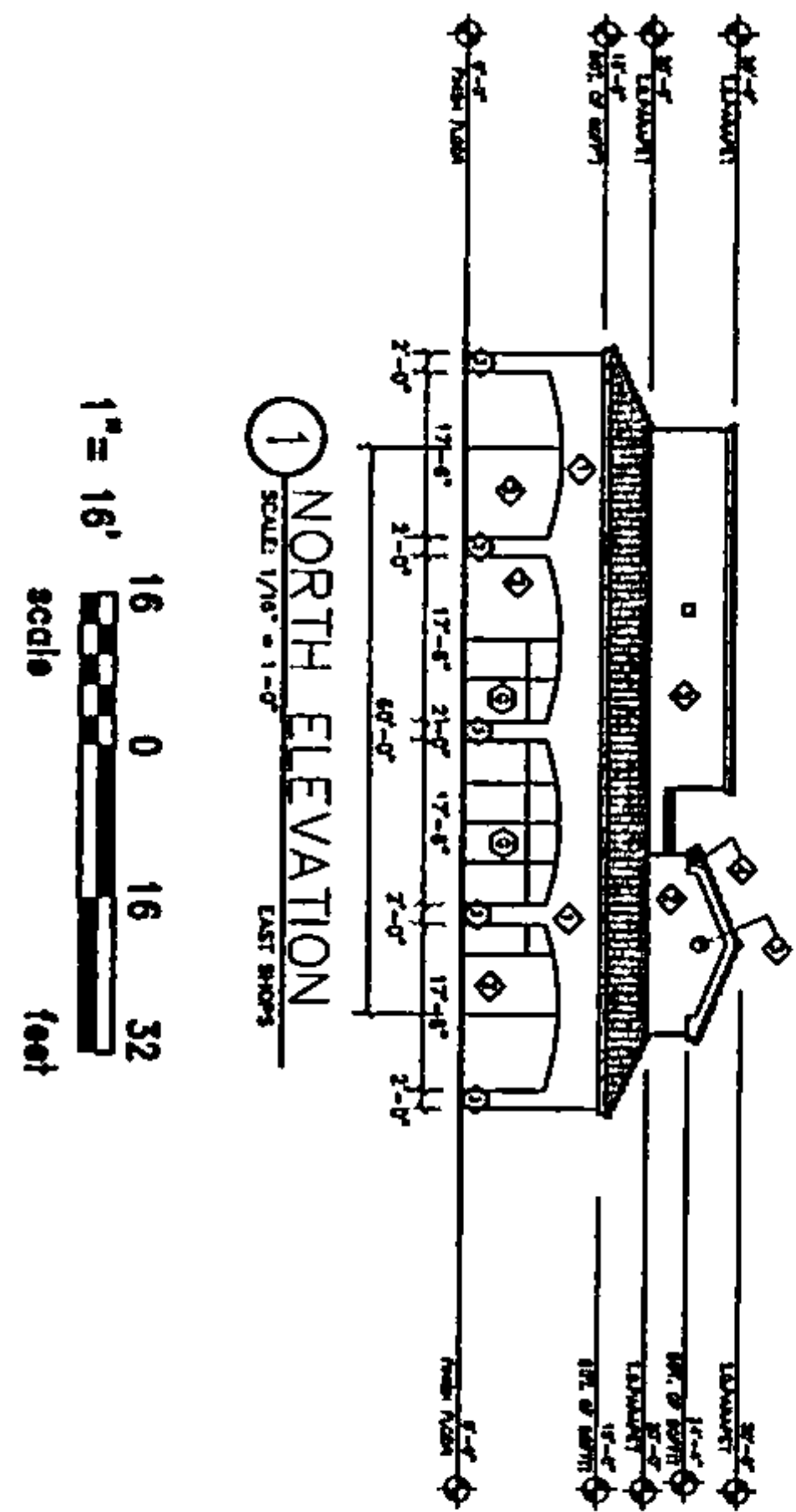
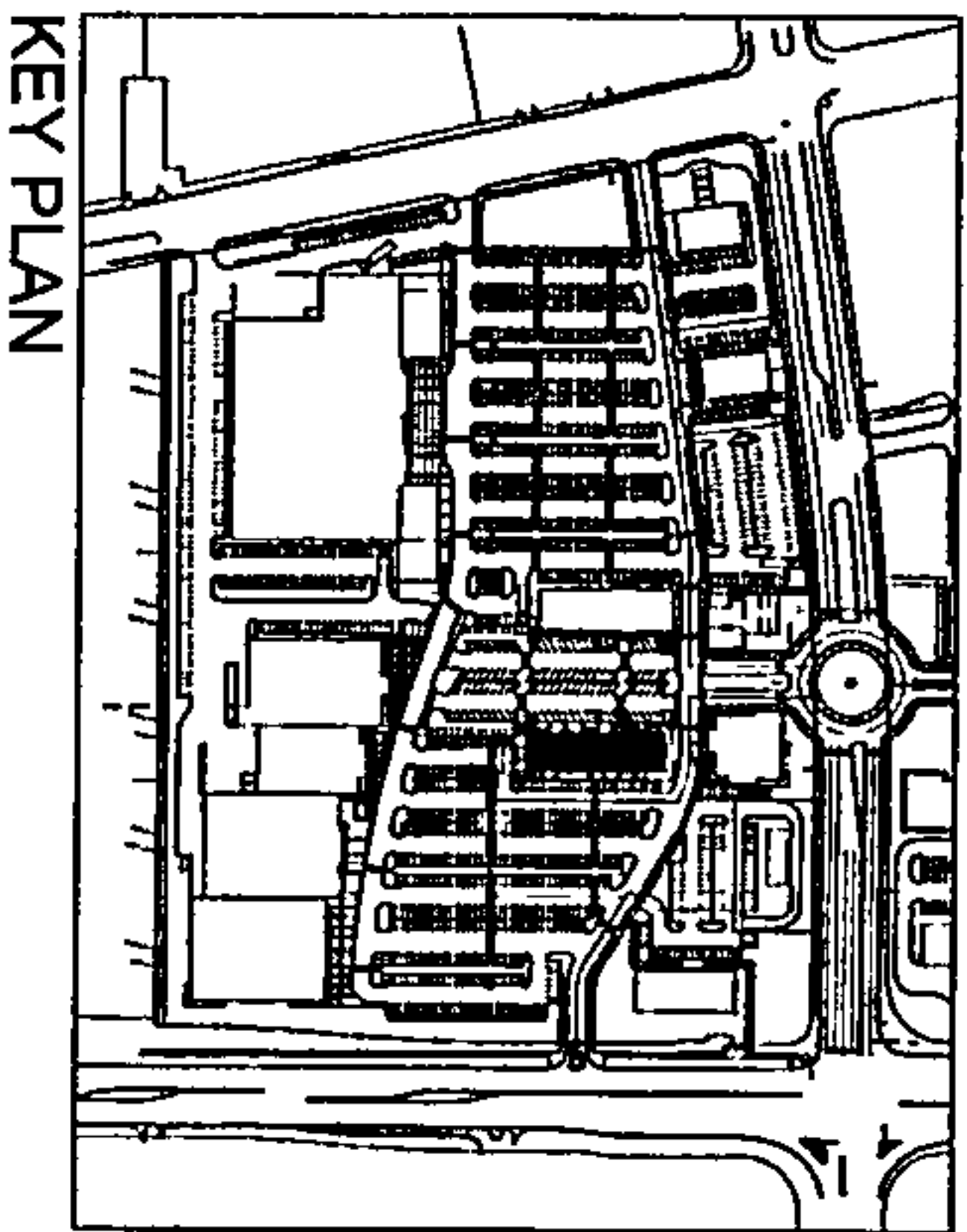
SCALE
 1/8"=1'-0"

PROJECT TITLE
ELEVATIONS JUNIOR ANCHORS

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

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Keyed Color / Material Schedule	Common Name
◆ STUCCO	COART POINT SW 2003
◆ STUCCO	MEDOLINI BEIGE SW 2044
◆ STUCCO	PINKISH TAUPE SW 2047
◆ STUCCO	MILSBERRY BLK SW 0001
◆ STUCCO	COLLECTOR'S WHITE SW 1001
◆ TUBE STEEL	1801 LRV 87N
◆ CANOPY	07 REDWOOD
◆ LIGHT FIXTURE	BLACK
◆ DOWNPOUT	PAINT TO MATCH ADJACENT FINISH
◆ TILE ROOF	WESTLE JARNSON BLEND FLUSHED
◆ SKYLOPE	BEE DESIGN STRAIDALO SECTION J
◆ STUCCO	HARVEST GOLD SW 2008
	ORANGE/YELLOW



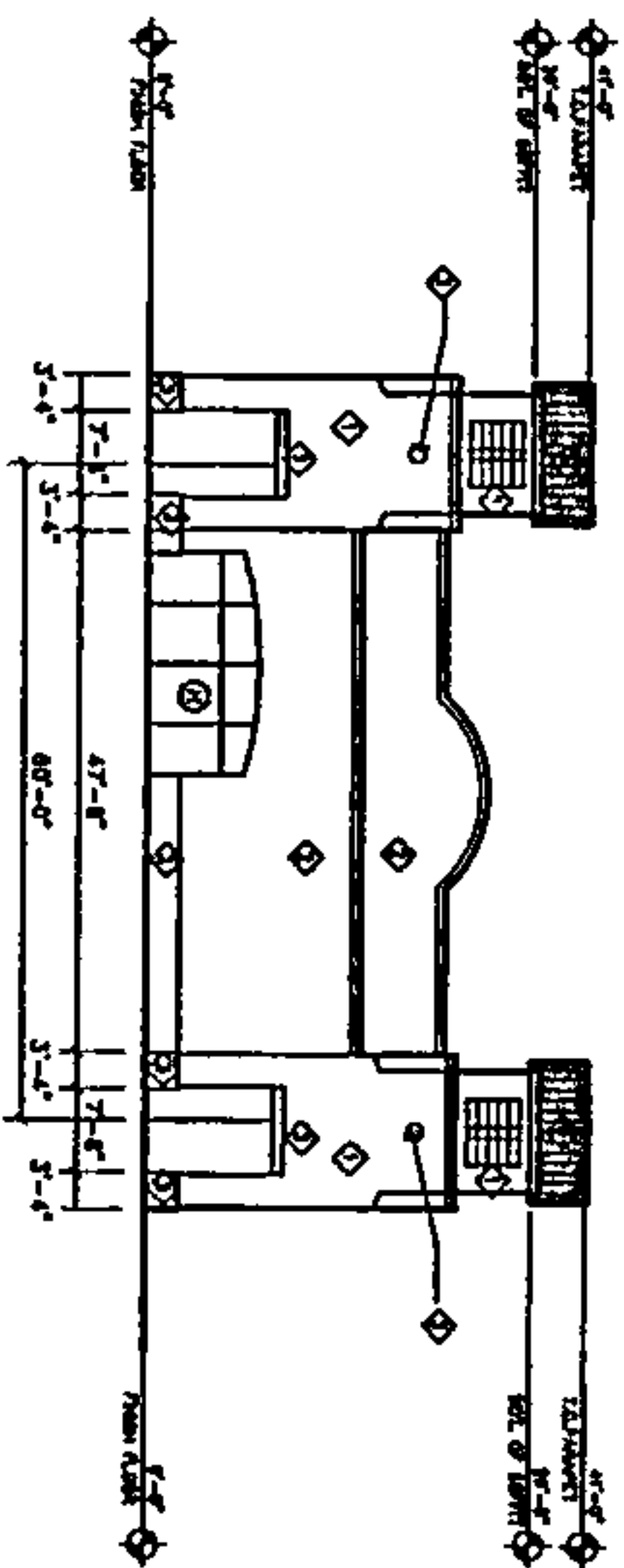
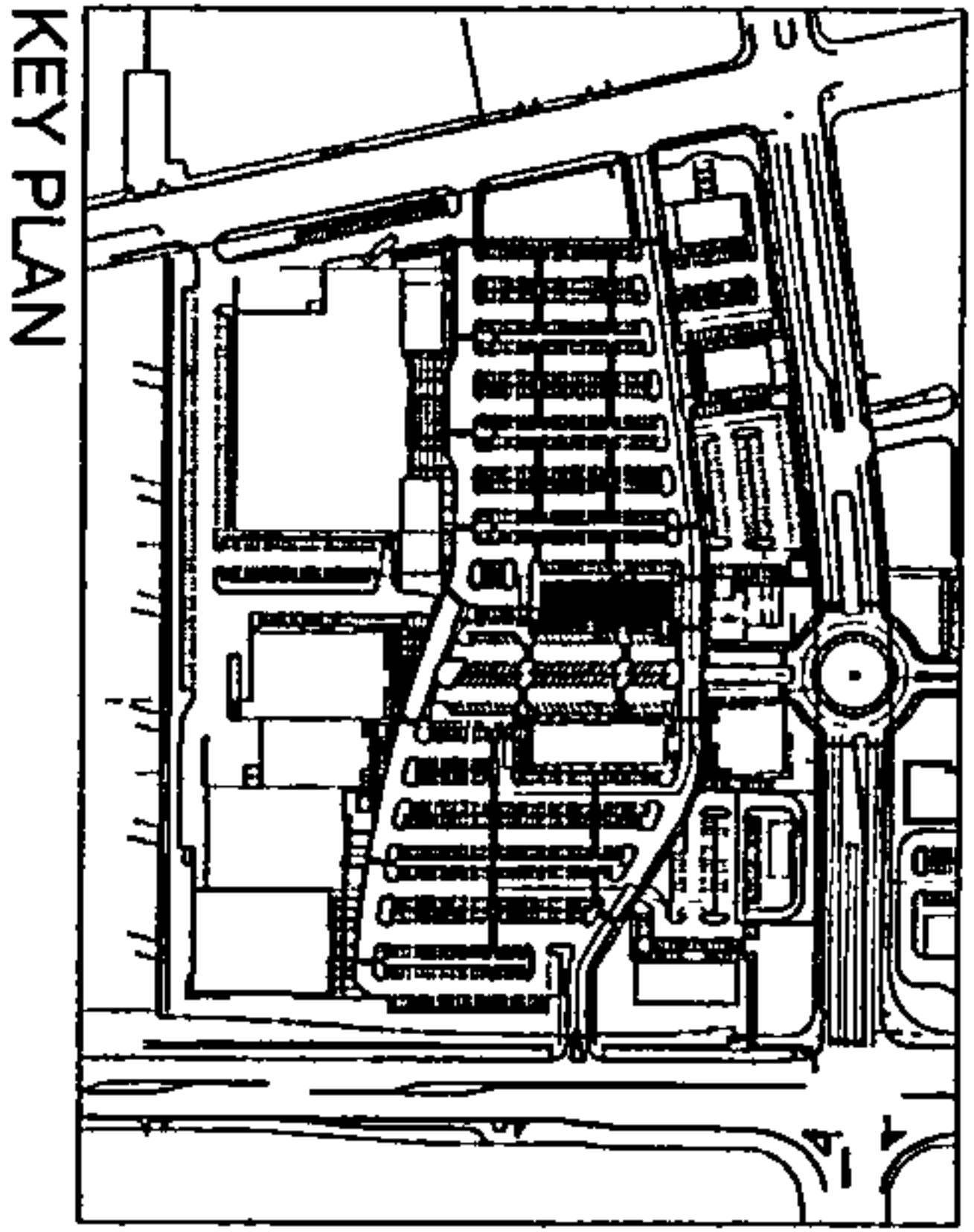
DATE 10/10/07	PROJECT TITLE OXBOW EAST SHOPS JOSEPH AND COORS BLVD FRONT ALBUQUERQUE, NEW MEXICO
SCALE 1/8" = 1'-0"	PROJECT NUMBER GEORGE RAINHART
SHEET TITLE A3.3	JOB NO. 000
	DRAWN BY: NAH
ELEVATIONS EAST SHOPS	

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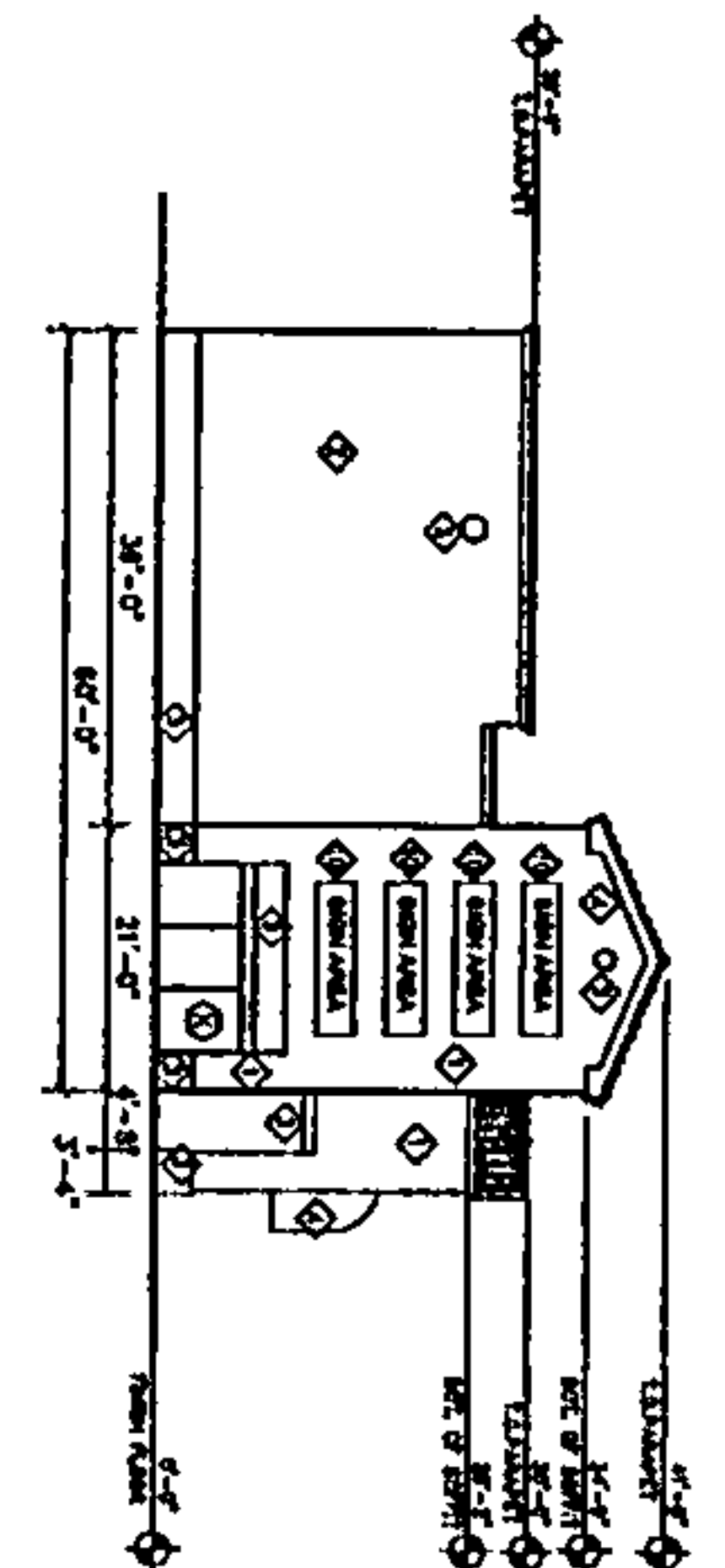


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34-07	JCS	PLANNER COMMENTS	

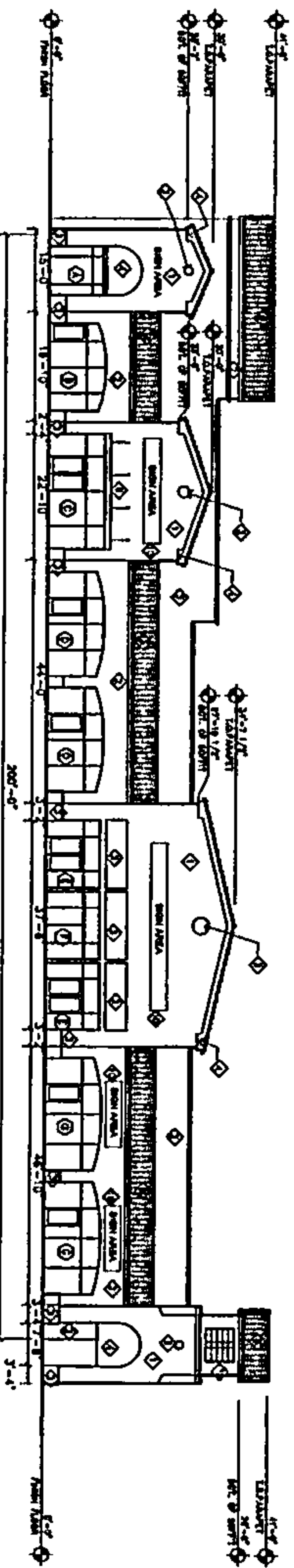
Keyed Color / Material Schedule	Common Name
◆ STUCCO	COAST POINT SW 2003
◆ STUCCO	BEADOWN BEIGE SW 2044
◆ STUCCO	PICNIC TABLE SW 2047
◆ STUCCO	MILBERRY BLK SW 1001
◆ STUCCO	COLLECTOR'S WHITE SW 1001 UN/STN
◆ TUNE STEEL	1001 UN/STN
◆ CANOPY	07 REDWOOD
◆ LIGHT FIXTURE	BLACK
◆ DOWNPOUT	PAINTED MATCH ADJACENT FINISH
◆ TILE ROOF	VENTILE MISSION BLEND FLASHED
◆ SIGNAGE	SEE DESIGN STANDARD SECTION J
	LIGHT BEIGE
	MEDIUM BEIGE
	MEDIUM DARK BEIGE
	BROWN-RED
	WHITE
	RED
	BLACK



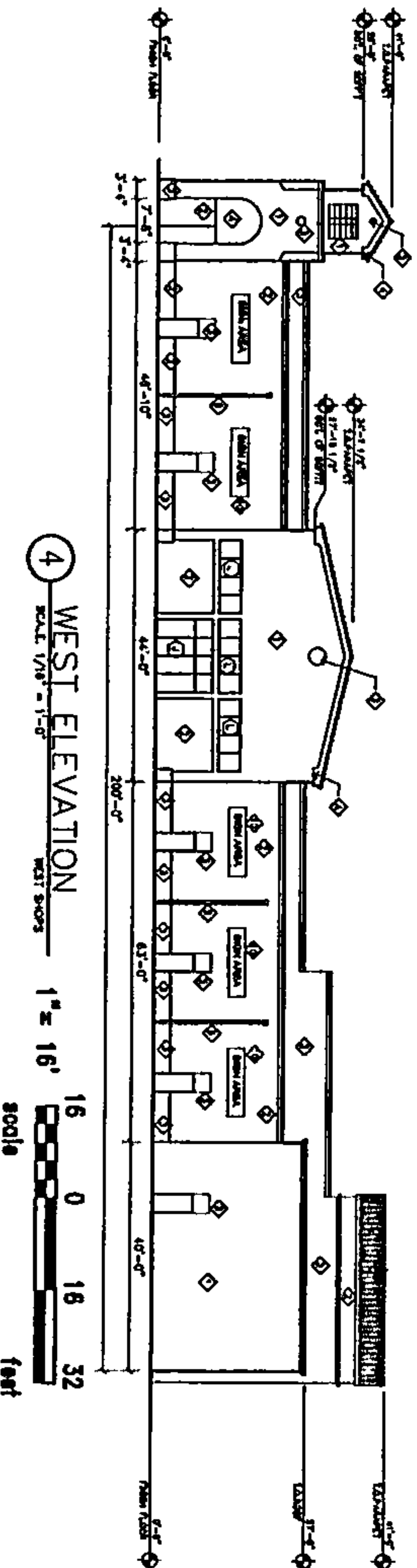
1" = 16'
scale
feet



1" = 16'
scale
feet



1" = 16'
scale
feet



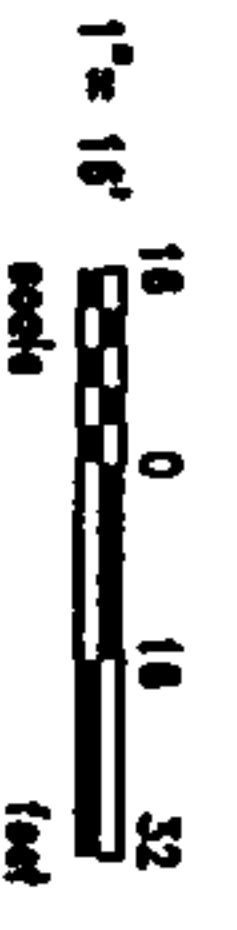
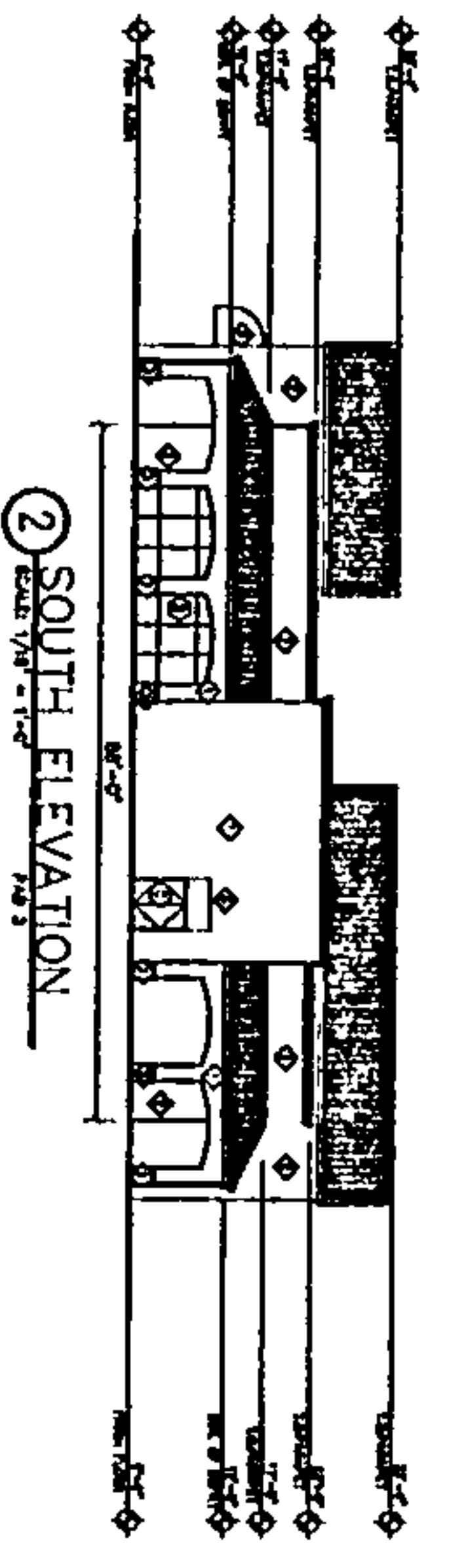
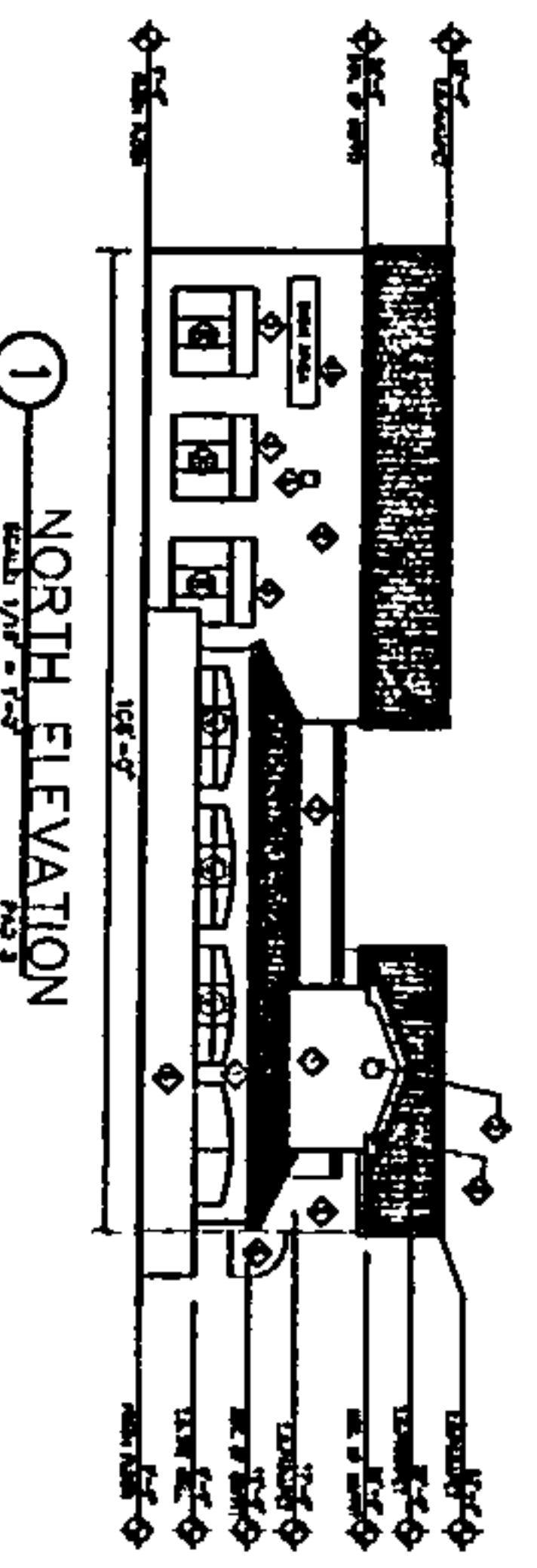
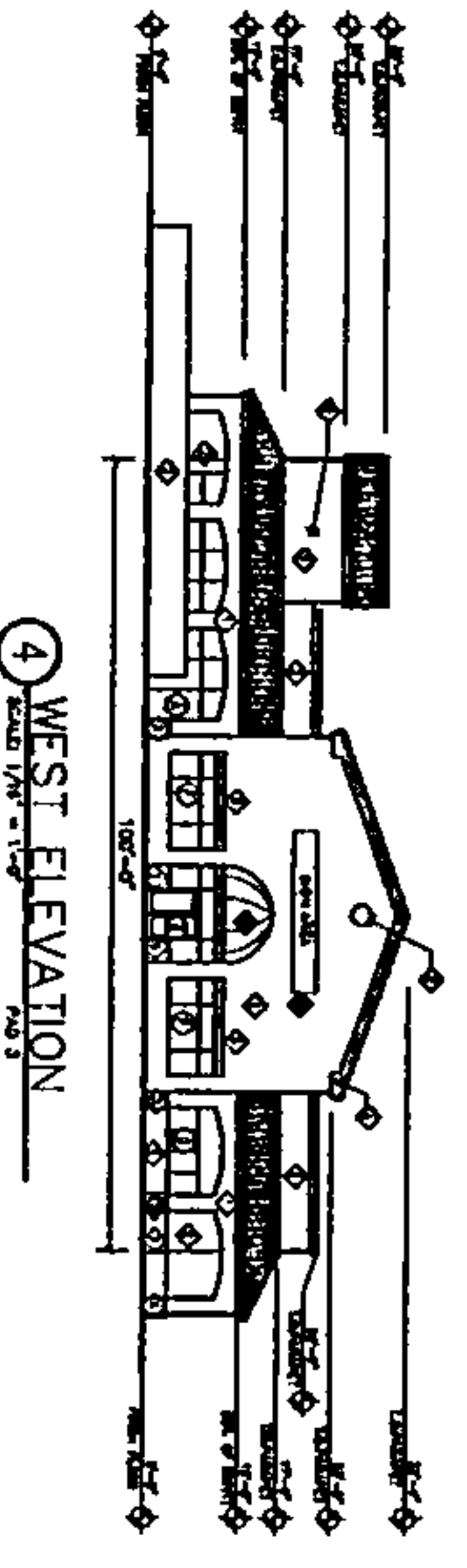
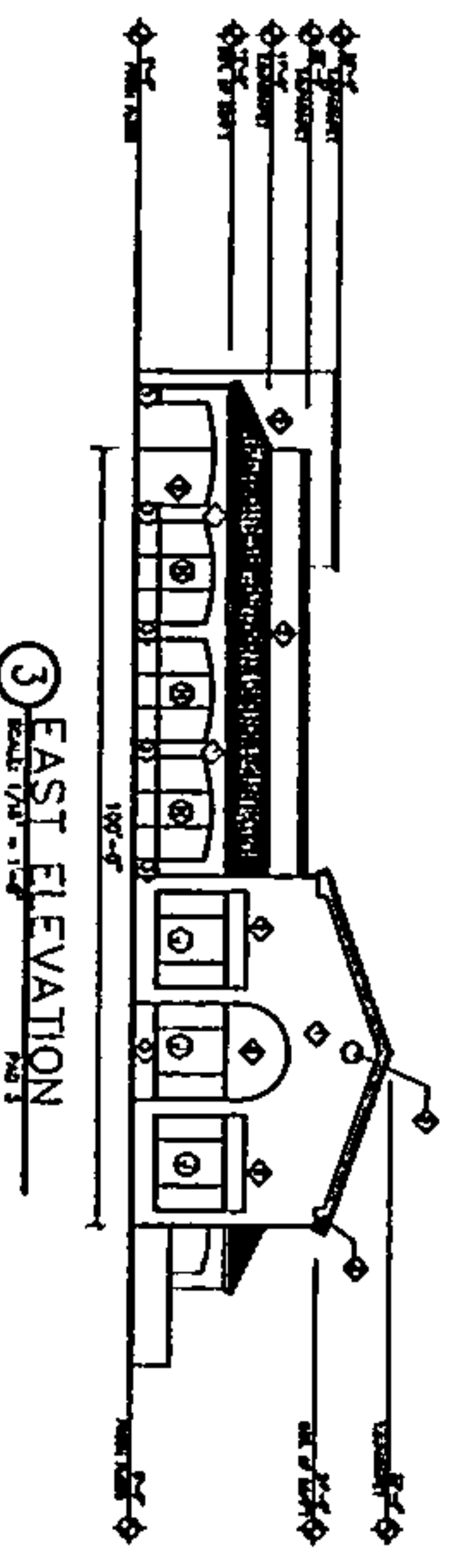
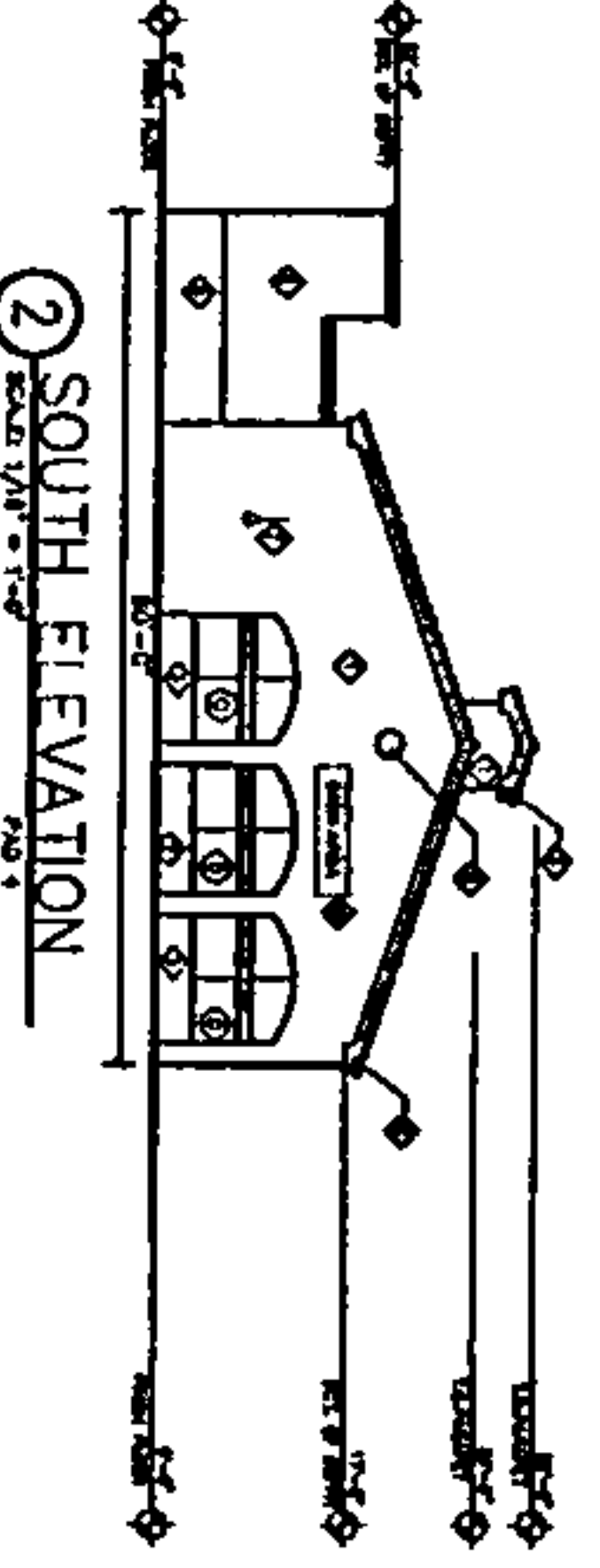
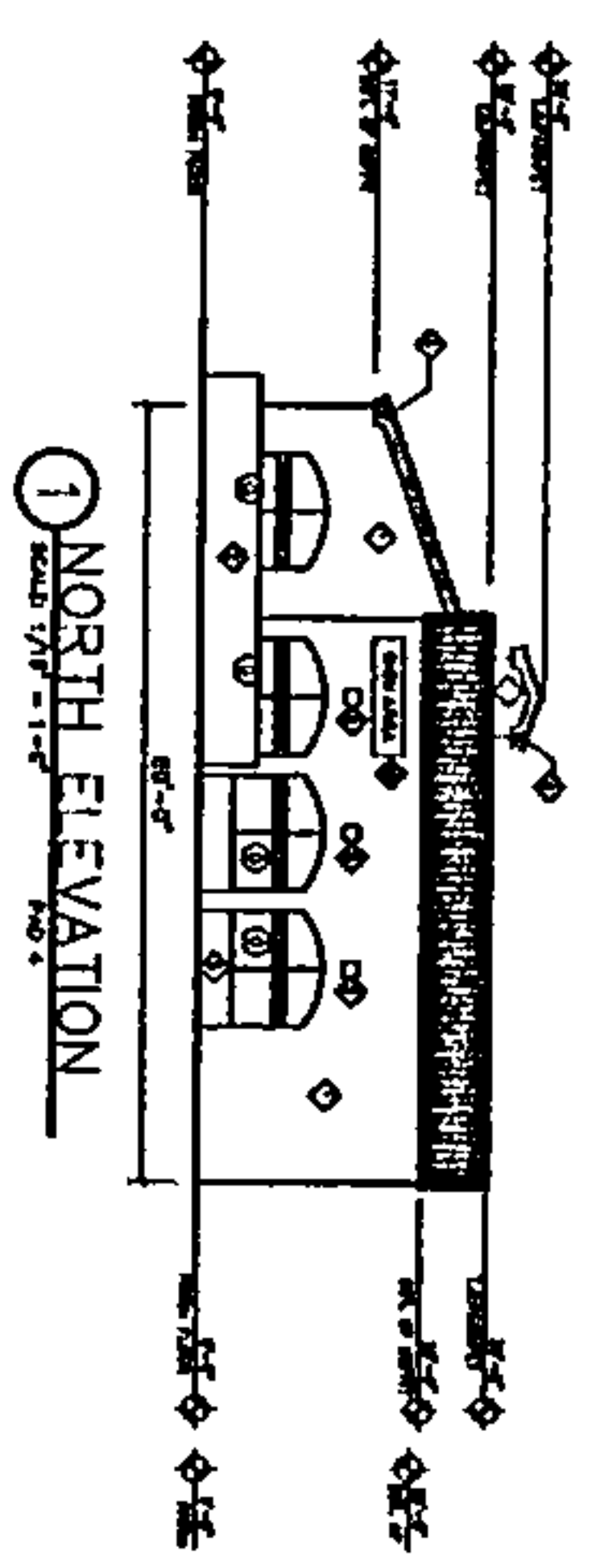
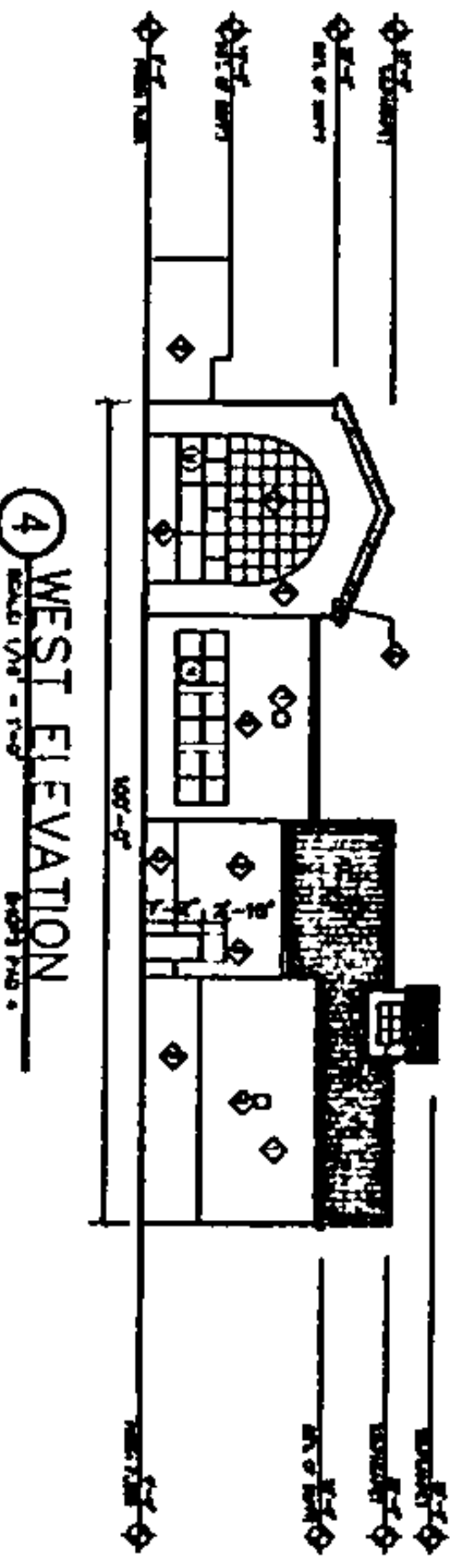
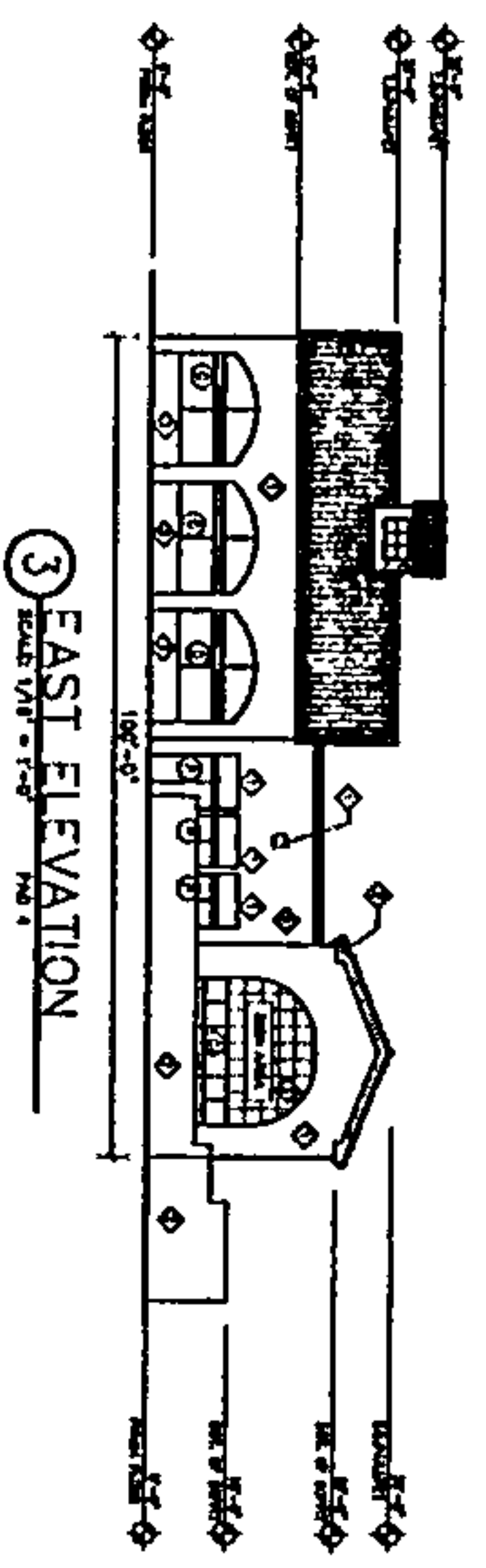
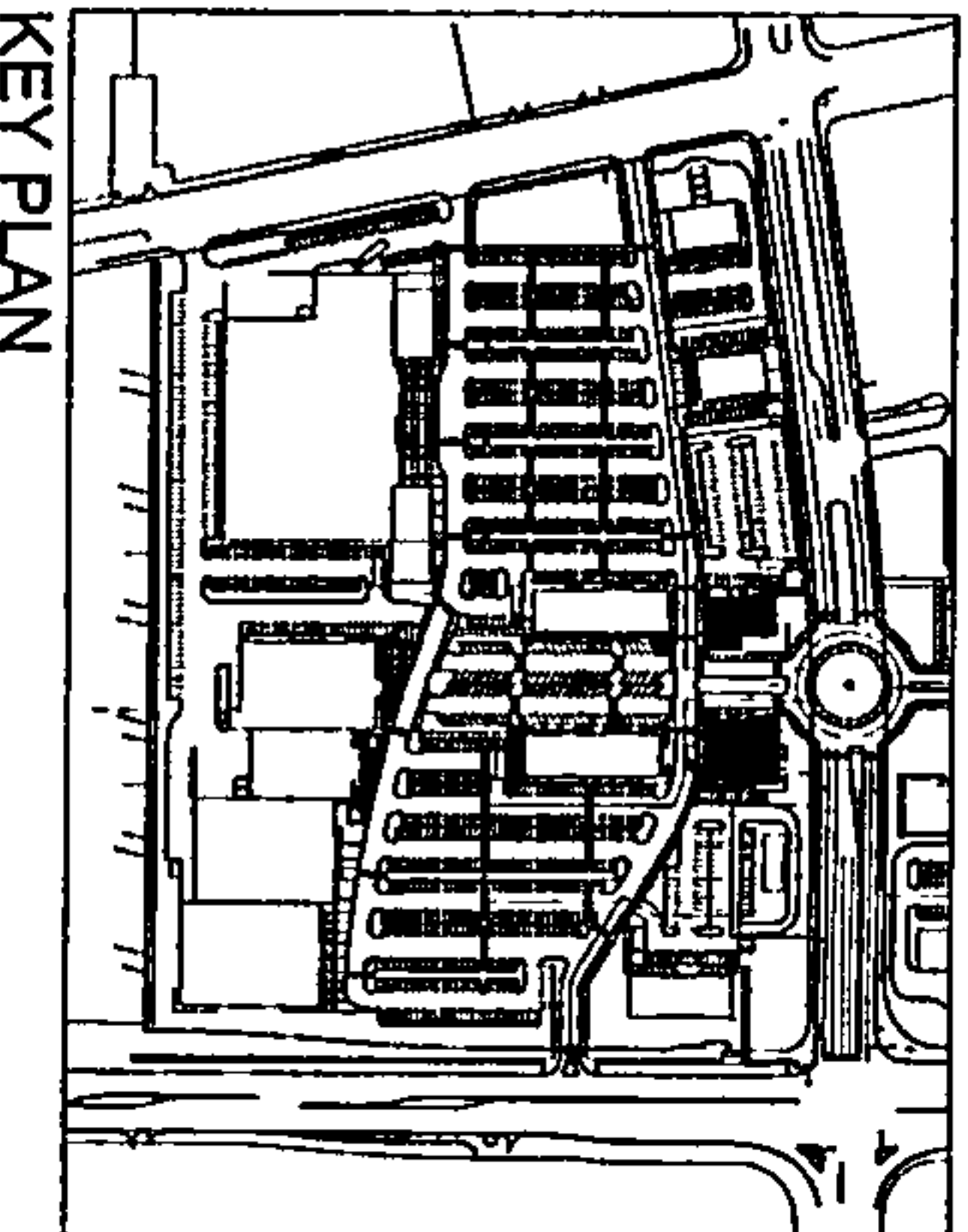
1" = 16'
scale
feet

DATE 12/18/07	PROJECT TITLE OXBOW TOWN CENTER JOSEPH AND COORS BLVD FRONT ALBUQUERQUE, NM		
SCALE 1/8" = 1'-0"	JOB NO. 001	DESIGNED BY MAH	
SHEET TITLE ELEVATIONS WEST SHOPS			
PROJECT MANAGER GEORGE RAINHART			
DRAWN BY MAH			
SHEET NO. A3.4			

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Keyed Color / Material Schedule	Common Name
◆ STUCCO	LIGHT BEIGE
◆ STUCCO	MEDIUM BEIGE
◆ STUCCO	MEDIUM DARK BEIGE
◆ STUCCO	BROWN-RED
◆ STUCCO	WHITE
◆ TUBE STEEL CANOPY	RED
◆ LIGHT PICTURE DOWNHPOUT	BLACK
◆ TILE ROOF	
◆ SIGNAGE	
COAST POINT SW 2544 BEDOUIN BEIGE SW 2544 PICNIC TABLE SW 2547 MULLBERRY SILK SW 6001 HARVEST GOLD SW 2548 07 REDWOOD BLACK PAINT TO MATCH ADJACENT FINISH VENTILE - INSIGN BLEND FLASHED SEE DESIGN STANDARAD SECTION-J	

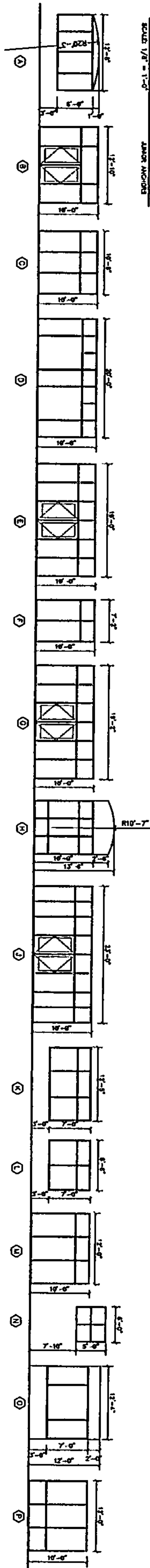


PROJECT TITLE OXBOW TOWN CENTER JOSEPH AND COORS BLVD FRONT ALBUQUERQUE, NM	JOB NO. 088	DRAWN BY NKH
PROJECT MANAGER GEORGE RAINHART		
SHEET TITLE ELEVATIONS PAD 3 & PAD 4		
DATE 10/10/07	SCALE 1/8" = 1'-0"	NO. A3.5

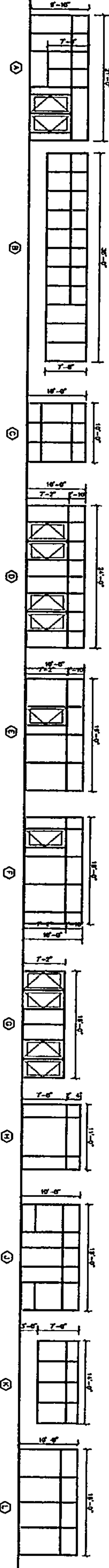
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

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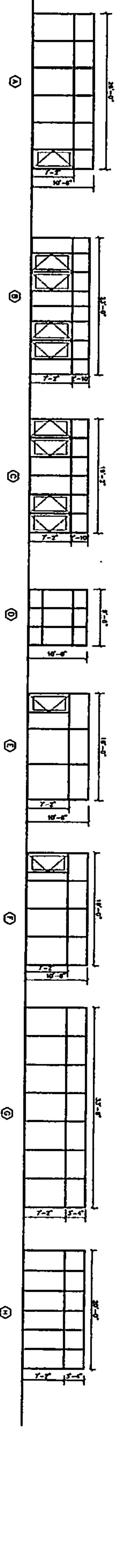
WINDOW TYPE
SCALE 1/8" = 1'-0"
JANOR WINDOWS



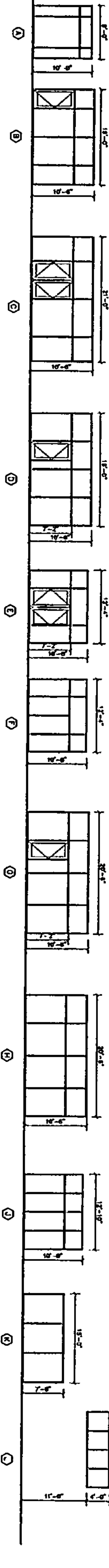
WINDOW TYPE
SCALE 1/8" = 1'-0"
MASON JANOR WINDOWS



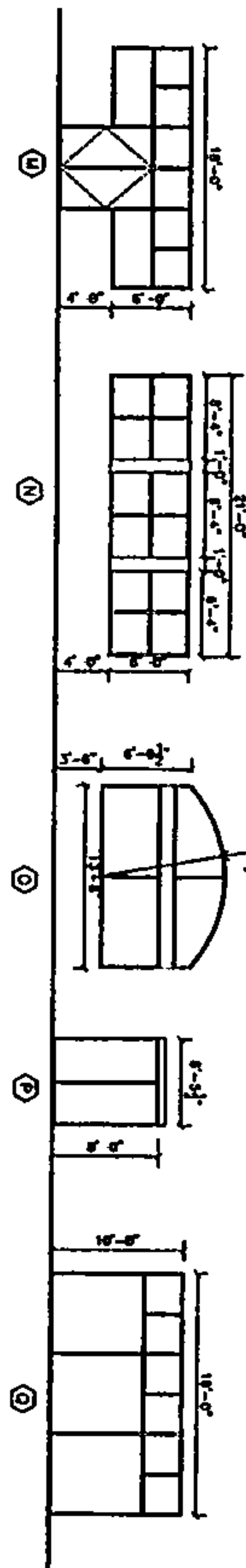
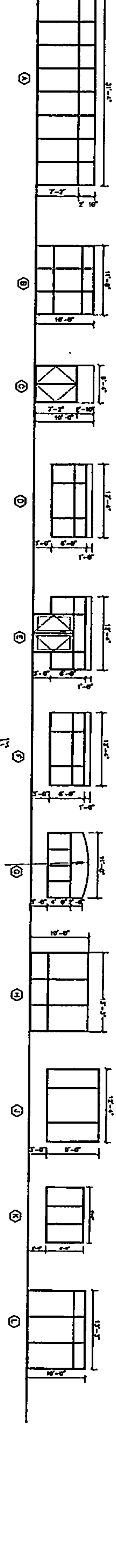
WINDOW TYPE
SCALE 1/8" = 1'-0"
EAST SHAW



WINDOW TYPE
SCALE 1/8" = 1'-0"
WEST SHAW



WINDOW TYPE
SCALE 1/8" = 1'-0"
SHORT FINISH PAPA



PROJECT TITLE OXBOW TOWN CENTER JOSEPH AND COORS BLVD FRONT ALBUQUERQUE, NM	DATE 10/18/87
PROJECT ARCHITECT GEORGE RAINHART	SCALE 1/8" = 1'-0"
ARCH NO. 887	SHEET NO. A3.6
DRAWN BY NAH	
SHEET TITLE WINDOW ELEVATIONS	

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REV	DATE	BY	REVISION