

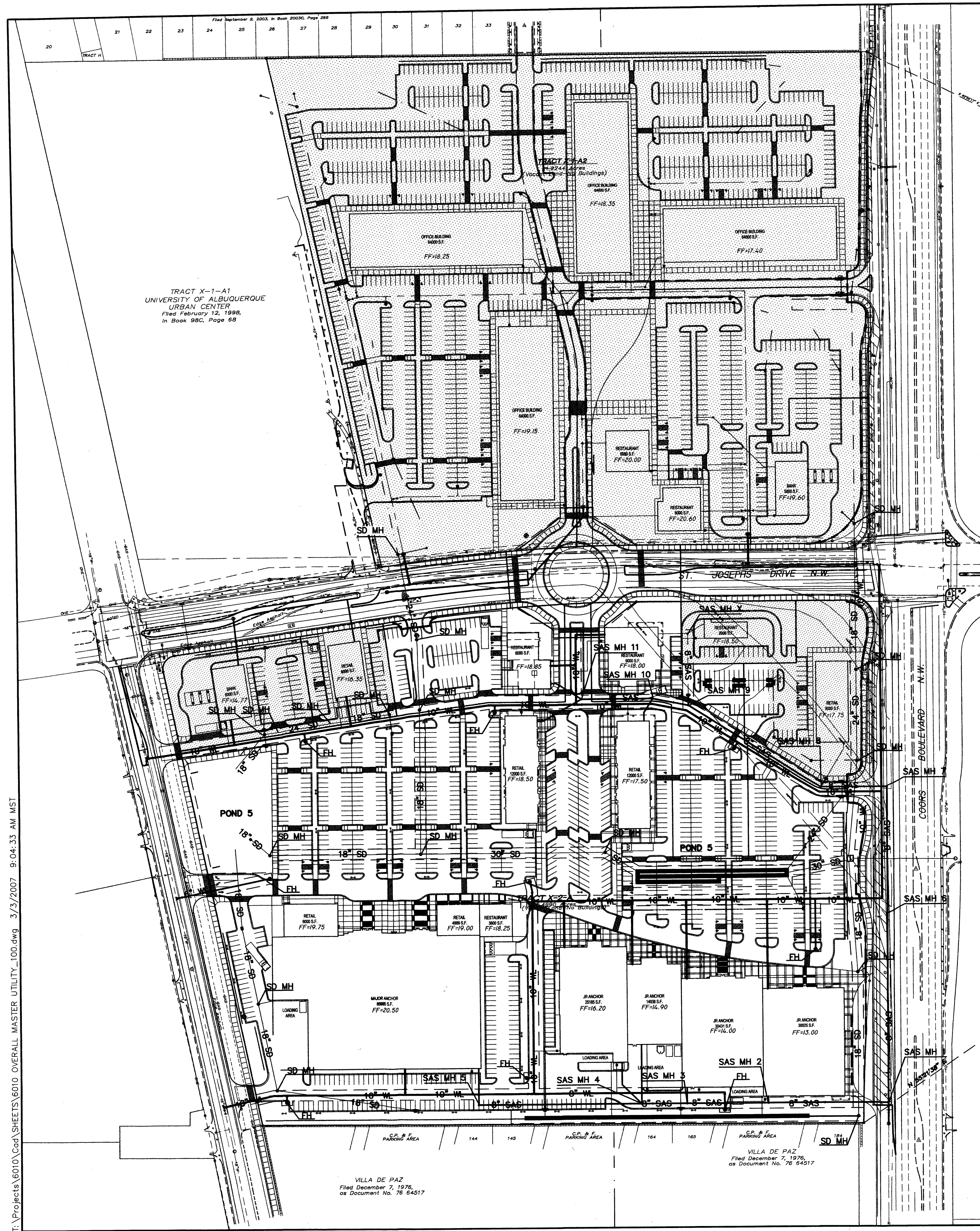








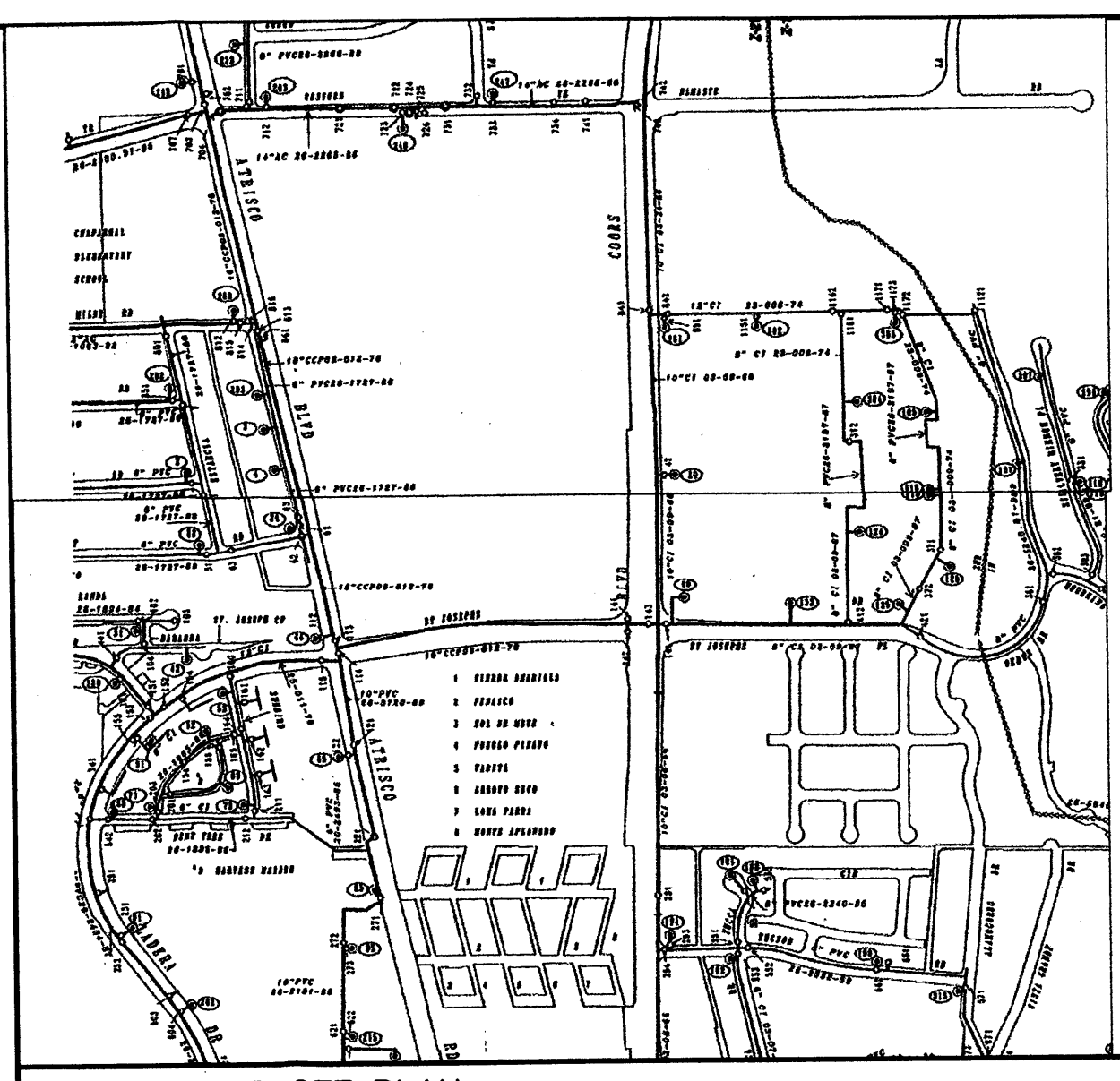
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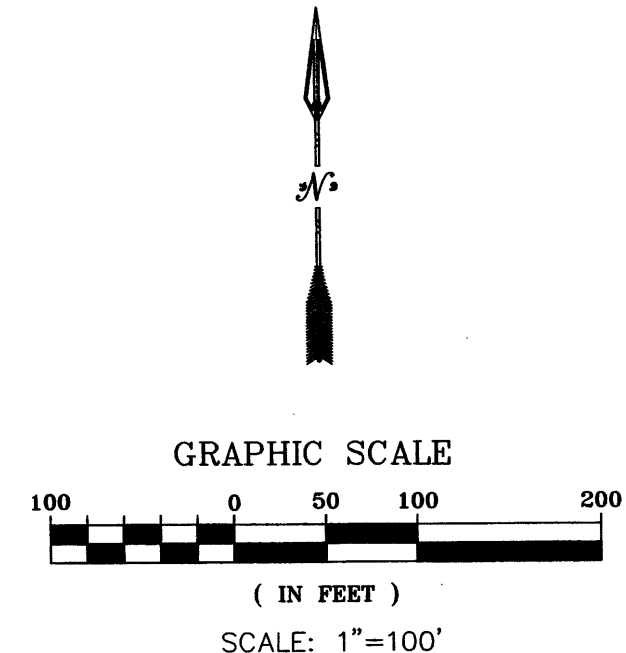
**LEGEND**

- |  |          |          |        |
|--|----------|----------|--------|
|  | EXISTING | PROPOSED | FUTURE |
| SET 5/8" REBAR & CAP STAMPED "LS 0750"   | ⊙        |          |        |
| FOUND 5/8" REBAR & CAP STAMPED "LS 407B" | ○        |          |        |
| STORM DRAIN DROP INLET                   | ⊞        | ⊞        | ⊞      |
| STORM DRAIN MANHOLE                      | ⊙        | ⊙        | ⊙      |
| SANITARY SEWER MANHOLE                   | ⊙        | ⊙        | ⊙      |
| BOLLARD                                  | •        | •        | •      |
| WATER VALVE                              | ⊕        | ⊕        | ⊕      |
| WATER METER                              | ⊕        | ⊕        | ⊕      |
| HYDRANT                                  | ⊕        | ⊕        | ⊕      |
| POWER POLE                               | ⊕        | ⊕        | ⊕      |
| TELEPHONE PEDESTAL                       | ⊕        | ⊕        | ⊕      |
| CABLE PEDESTAL                           | ⊕        | ⊕        | ⊕      |
| CONCRETE AREA                            | ⊕        | ⊕        | ⊕      |
| IRRIGATION CONTROL BOX                   | ⊕        | ⊕        | ⊕      |
| TRAFFIC CONTROL PANEL                    | ⊕        | ⊕        | ⊕      |
| AIR QUALITY TEST STATION                 | ⊕        | ⊕        | ⊕      |
| TRANSFORMER                              | ⊕        | ⊕        | ⊕      |
| ELECTRIC PANEL BOX                       | ⊕        | ⊕        | ⊕      |
| LIGHT POLE                               | ⊕        | ⊕        | ⊕      |
| ELECTRIC MANHOLE                         | ⊕        | ⊕        | ⊕      |
| TELEPHONE MANHOLE                        | ⊕        | ⊕        | ⊕      |
| COMMUNICATIONS MANHOLE                   | ⊕        | ⊕        | ⊕      |
| CROSS                                    | ⊕        | ⊕        | ⊕      |
| CENTERLINE MONUMENT                      | ⊕        | ⊕        | ⊕      |
| SIGN                                     | ⊕        | ⊕        | ⊕      |
| TRAFFIC SIGNAL                           | ⊕        | ⊕        | ⊕      |
| BROKEN ASPHALT EDGE                      | ⊕        | ⊕        | ⊕      |
| GUARD RAIL                               | ⊕        | ⊕        | ⊕      |
| BLOCK WALL                               | ⊕        | ⊕        | ⊕      |
| STORM DRAIN LINE                         | —SD—     | —SD—     | —SD—   |
| SANITARY SEWER LINE                      | —SS—     | —SS—     | —SS—   |
| OVERHEAD UTILITY LINE                    | —OHU—    | —OHU—    | —OHU—  |
| UNDERGROUND ELECTRIC LINE                | —UG—     | —UG—     | —UG—   |
| TELEPHONE LINE                           | —TEL—    | —TEL—    | —TEL—  |
| WATER LINE                               | —W—      | —W—      | —W—    |
| GAS LINE                                 | —G—      | —G—      | —G—    |
| EASEMENT LINE                            | —E—      | —E—      | —E—    |
| ROW LINE                                 | —R—      | —R—      | —R—    |
| FUTURE PHASE                             |          |          | ⊕      |

- NOTES**
- SEE SHEET 15 OF 15 FOR GRADING TYPICAL SECTIONS
  - SEE SHEET 15 OF 15 FOR RETAINING WALL DETAILS
  - SEE SHEETS 7-10 OF 15 FOR STORM DRAIN PLANS



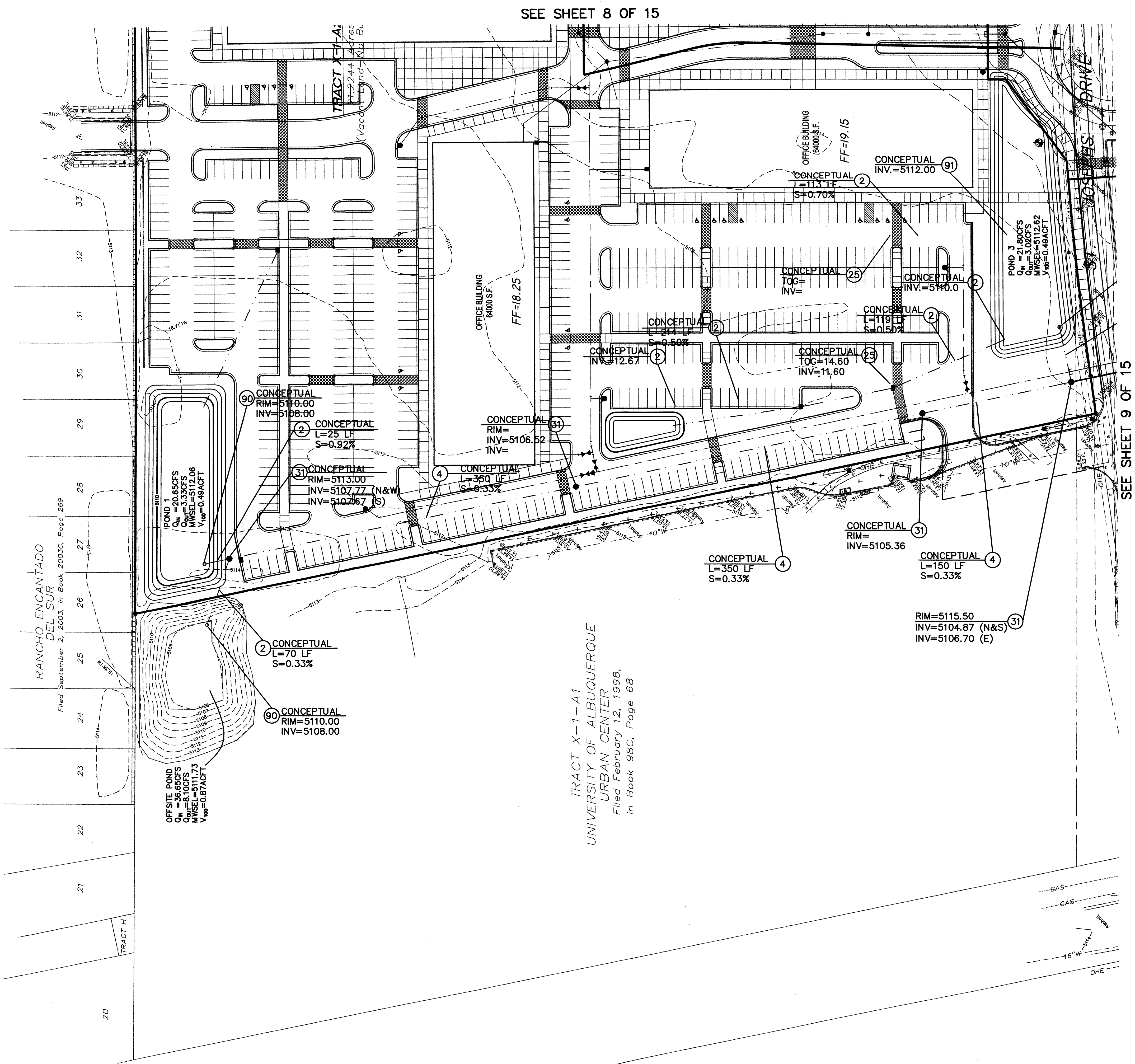
WATER SHUT-OFF PLAN



**GND, LLC**  
 CONSULTING ENGINEERS  
 5643 Paradise Blvd. NW  
 Albuquerque, NM 87114  
 Phone: (505) 899-6182  
 Fax: (505) 899-6184

<b>AS BUILT INFORMATION</b>	
CONTRACTOR	NO.
START DATE	DATE
FIELD ACCEPTANCE BY	DATE
DESIGNATION BY	DATE
CHECKED BY	DATE
<b>MICRO-FILM INFORMATION</b>	RECORDED BY
	NO.
<b>BENCH MARKS</b>	
NGS/Albuquerque Control Survey Monument	
"JOSEPH 1969"	
NM State Plane Coordinates (Central Zone -NAD27)	
X=369,686.82	Y=1,502,246.75
Delta Alpha=001524	Ground to Grid Factor=0.99967551
Elevation=5116.61 (NAVD88)	
<b>SURVEY INFORMATION</b>	
FIELD NOTES	DATE
NO.	BY
<b>ENGINEER'S SEAL</b>	
REMARKS	BY
DESIGN	JRW
DATE: NOV 2007	DATE: NOV 2007
REVISIONS	DATE: NOV 2007
NO. DATE	CHECKED BY: SEG
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION <b>OXBOW TOWN CENTER</b> <b>COMPOSITE STORM DRAIN &amp; UTILITY PLAN</b>	
MONTH/DAY/YEAR	USER DEPARTMENT
LATEST DESIGN UPDATE	
CITY PROJECT No.	SHEET 6 OF 15
ZONE MAP No. G-11	





SEE SHEET 8 OF 15

SEE SHEET 9 OF 15

**STORM DRAIN CONSTRUCTION NOTES**

I.D.#	DESCRIPTION
2	INSTALL 18" STORM DRAIN PIPE
4	INSTALL 24" STORM DRAIN PIPE
6	INSTALL 30" STORM DRAIN PIPE
8	INSTALL 36" STORM DRAIN PIPE
20	INSTALL TYPE A CATCH BASIN SINGLE GRATE PER COA STD. DETAIL 2201
24	INSTALL TYPE C CATCH BASIN - DOUBLE, WING PER COA STD. DETAIL 2205
25	INSTALL TYPE C CATCH BASIN - SINGLE, DBL WING PER NM APWA STD. DETAIL 2205
26	INSTALL SIDEWALK CULVERT W/ STEEL PLATE PER COA STD. DETAIL 2236
31	INSTALL 6" DIA. MANHOLE PER COA STD. DETAIL 2101
90	INSTALL 36" DIA. CMP RISER, PER DETAIL
91	INSTALL 10' x 10' RIPRAP BLANKET, PER DETAIL

**AS BUILT INFORMATION**

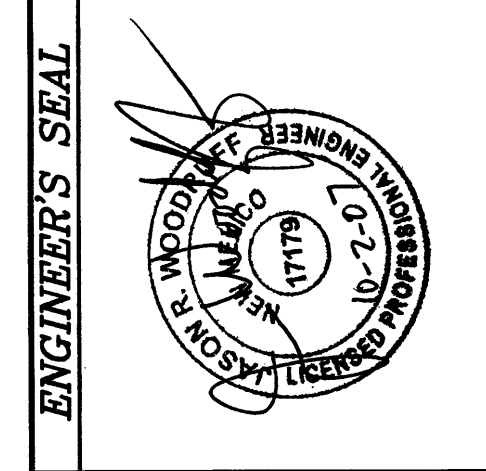
CONTRACTOR	DATE
NGS/Abuquerque Central Survey Monument	
SUBMITTED BY	DATE
ACCEPTED BY	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE

**BENCH MARKS**

NO.	FIELD NOTES	DATE
	NGS/Abuquerque Central Survey Monument	
	"JOSEPH 1969"	
	NM State Plane Coordinates (Central Zone -NAD27)	
	X=366,686.82 Y=1,502,246.75	
	Delta Alpha=-0015'24"	
	Ground to Grid Factor=0.9996751	
	Elevation=5116.61 (NAVD88)	

**ENGINEER'S SEAL**

NO.	BY	DATE



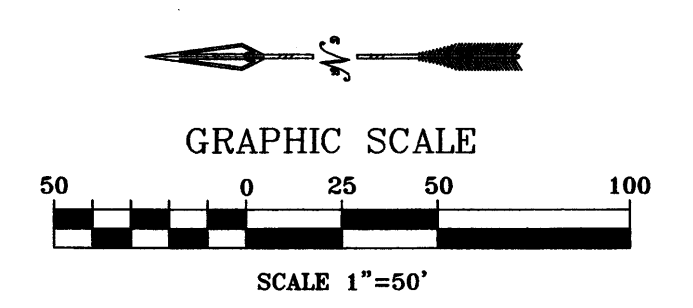
**REVISIONS**

NO.	DATE	REMARKS	BY

DESIGNED BY: JRW DATE: NOV 2007  
 DRAWN BY: JRW DATE: NOV 2007  
 CHECKED BY: JRW DATE: NOV 2007

**GENERAL NOTES**

- ALL STORM DRAIN PIPE TO BE HDPE OR ENGINEER APPROVED EQUAL.
- SEE SHEET 6 OF 15 FOR LEGEND.



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**CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION**

**OXBOW TOWN CENTER MASTER UTILITY PLAN STORM DRAIN**

MONTH/DAY/YEAR	USER DEPARTMENT

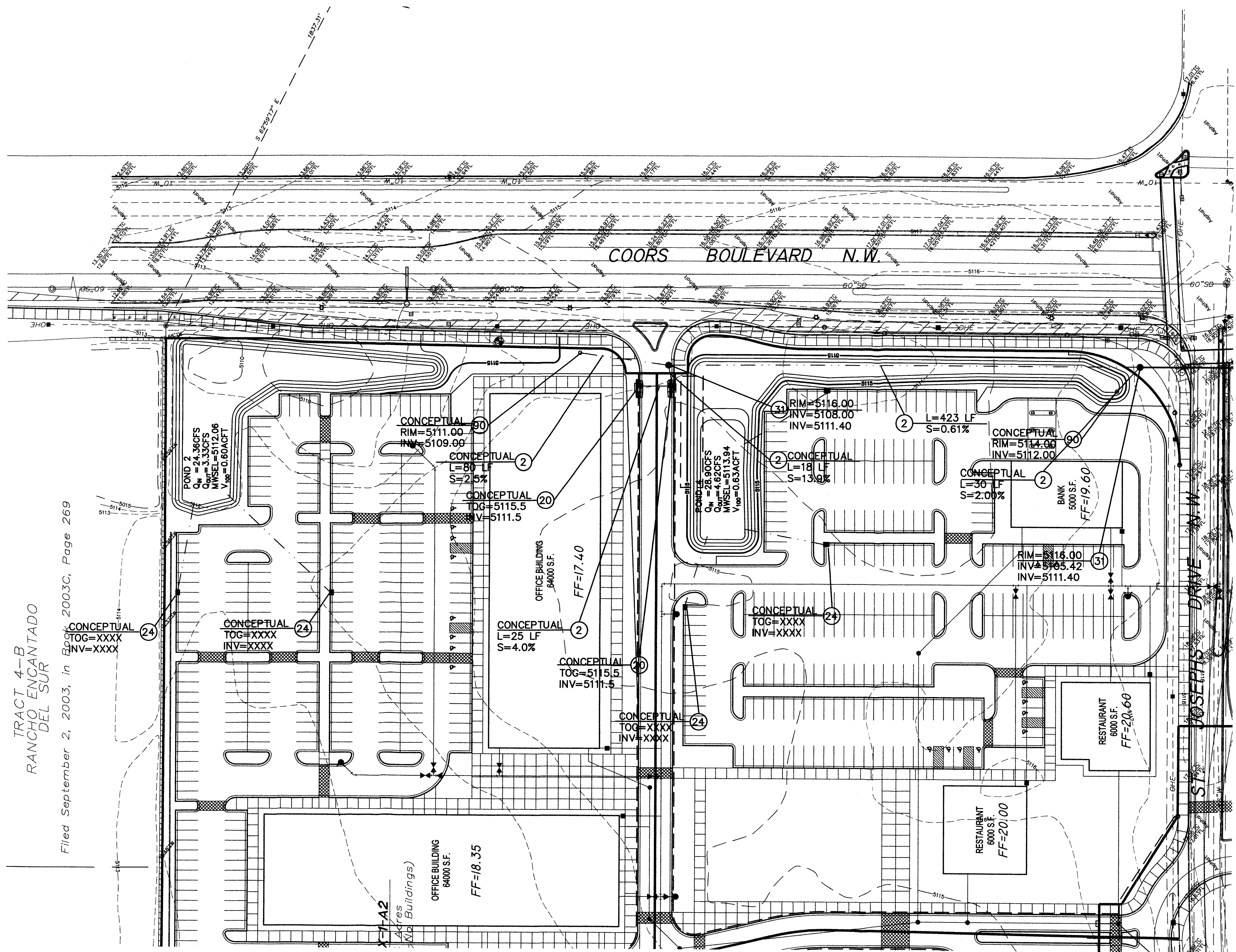
CITY PROJECT No. \_\_\_\_\_ ZONE MAP No. G-11 SHEET 7 OF 15



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TRACT 4-B  
RANCHO ENCANTADO  
DEL SUR

Filed September 2, 2003, in Book 2003C, Page 269



SEE SHEET 7 OF 15

SEE SHEET 10 OF 15

**STORM DRAIN CONSTRUCTION NOTES**

I.D.#	DESCRIPTION
2	INSTALL 18" STORM DRAIN PIPE
4	INSTALL 24" STORM DRAIN PIPE
6	INSTALL 30" STORM DRAIN PIPE
8	INSTALL 36" STORM DRAIN PIPE
20	INSTALL TYPE A CATCH BASIN SINGLE GRATE PER COA STD. DETAIL 2201
24	INSTALL TYPE C CATCH BASIN - DOUBLE, WING PER COA STD. DETAIL 2205
26	INSTALL TYPE C CATCH BASIN - SINGLE, DBL WING PER NM APWA STD. DETL. 2205
28	INSTALL SIDEWALK CULVERT W/ STEEL PLATE PER COA STD. DETAIL 2236
31	INSTALL 6" DIA. MANHOLE PER COA STD. DETL. 2101
34	INSTALL 36" DIA. CMP RISER, PER DETAIL
90	INSTALL 10' x 10' RIPRAP BLANKET, PER DETAIL

**AS BUILT INFORMATION**

CONTRACTOR	WORKSHEET NO.	DATE
NGS/Albuquerque Control Survey Monument	1	

**REVISIONS**

NO.	DATE	REMARKS	BY

**DESIGNER**  
DESIGNED BY: JRW  
DRAWN BY: JRW  
CHECKED BY: JRW

**BENCH MARKS**

NO.	DATE	FIELD NOTES

**SURVEY INFORMATION**

NO.	DATE	FIELD NOTES

**ENGINEER'S SEAL**

Professional Engineer Seal for Joseph R. Woodruff, License No. 11719, State of New Mexico.

**AS BUILT INFORMATION**

CONTRACTOR	WORKSHEET NO.	DATE
NGS/Albuquerque Control Survey Monument	1	

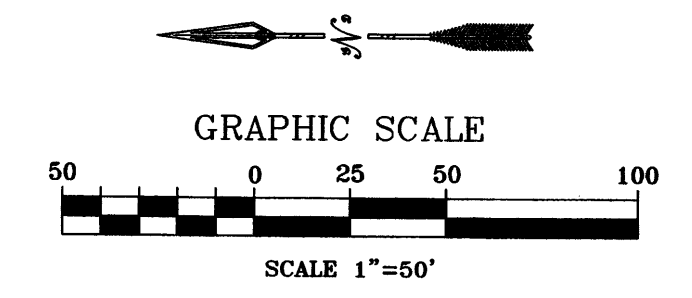
**REVISIONS**

NO.	DATE	REMARKS	BY

**DESIGNER**  
DESIGNED BY: JRW  
DRAWN BY: JRW  
CHECKED BY: JRW

**GENERAL NOTES**

- ALL STORM DRAIN PIPE TO BE HDPE OR ENGINEER APPROVED EQUAL.
- SEE SHEET 6 OF 15 FOR LEGEND.



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**CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION**

**OXBOW TOWN CENTER  
MASTER UTILITY PLAN  
STORM DRAIN**

LATEST DESIGN UPDATE	MONTH/DAY/YEAR	USER DEPARTMENT

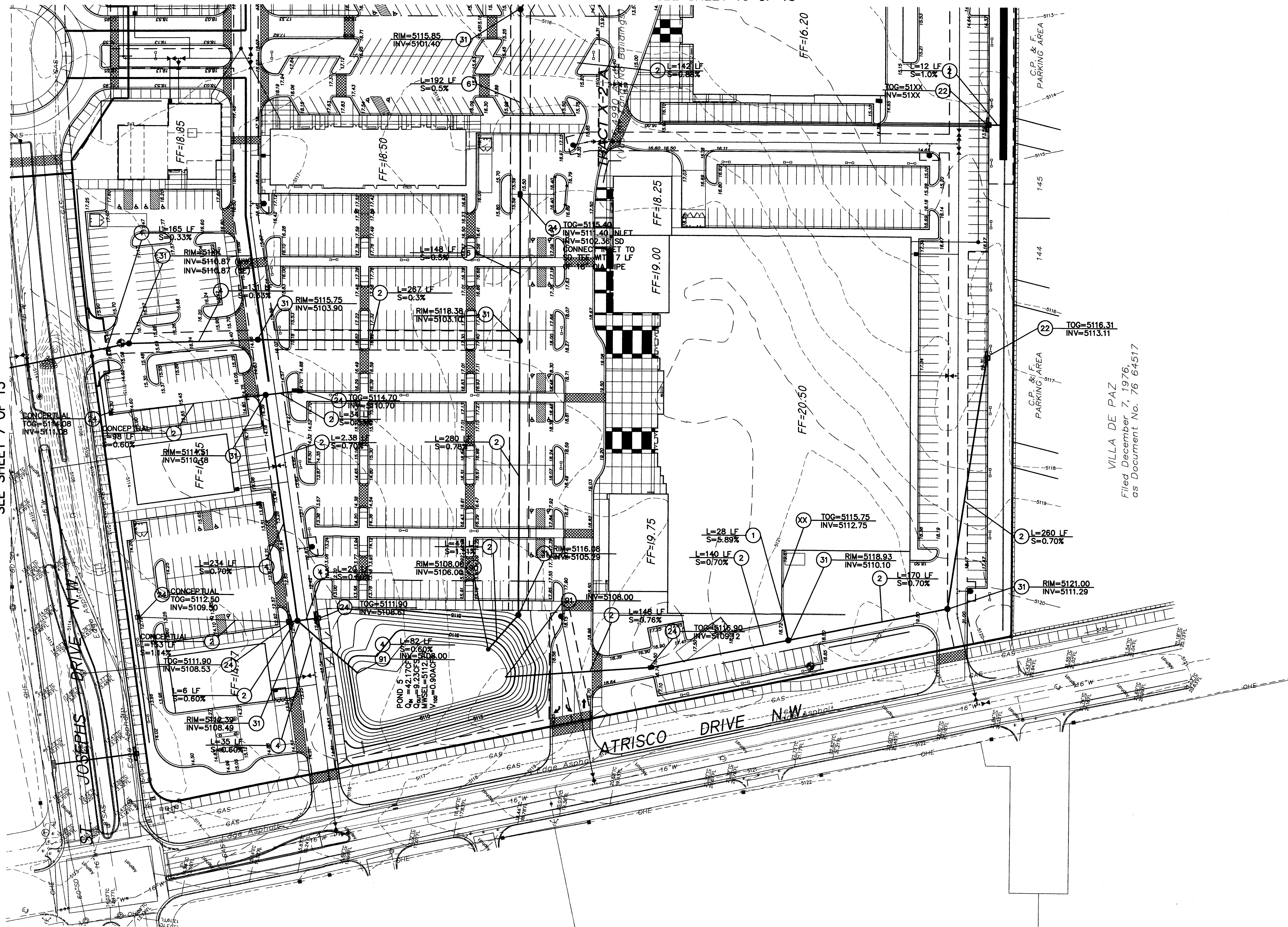
CITY PROJECT No. \_\_\_\_\_ ZONE MAP No. **G-11** SHEET **8 OF 15**



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SEE SHEET 7 OF 15

SEE SHEET 10 OF 15



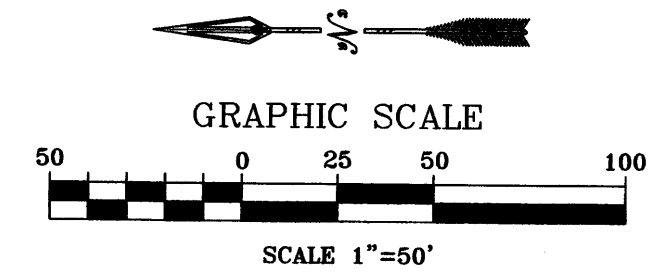
VILLA DE PAZ  
Filed December 7, 1976  
as Document No. 76 64517

**STORM DRAIN CONSTRUCTION NOTES**

I.D.#	DESCRIPTION
1	INSTALL 12" STORM DRAIN PIPE
2	INSTALL 18" STORM DRAIN PIPE
4	INSTALL 24" STORM DRAIN PIPE
6	INSTALL 30" STORM DRAIN PIPE
8	INSTALL 36" STORM DRAIN PIPE
20	INSTALL TYPE A CATCH BASIN SINGLE GRATE PER COA STD. DTL. 2201
24	INSTALL TYPE C CATCH BASIN - DOUBLE WING PER COA STD. DETAIL 2205
26	INSTALL SIDEWALK CULVERT W/ STEEL PLATE PER COA STD. DETAIL 2236
31	INSTALL 6" DIA. MANHOLE PER COA STD. DTL. 2101
89	INSTALL 90" DIA. ALUMINIZED CMP
90	INSTALL 36" DIA. CMP RISER, PER DETAIL
91	INSTALL 10' x 10' RIPRAP BLANKET, PER DETAIL

**GENERAL NOTES**

- ALL STORM DRAIN PIPE TO BE HDPE OR ENGINEER APPROVED EQUAL.
- SEE SHEET 6 OF 15 FOR LEGEND.



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AS BUILT INFORMATION	
CONTRACTOR	WORK
INSPECTOR	DATE
ACCEPTANCE BY	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS	
NGS/Albuquerque Control Survey Monument	DATE
"JOSEPH 1969"	BY
NM State Plane Coordinates (Central Zone -NAD27)	
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Delta Alpha=-0015'24"	
Ground to Grid Factor=0.99967551	
Elevation=5116.61 (NAD83)	

SURVEY INFORMATION	
FIELD NOTES	NO.
BY	DATE

ENGINEER'S SEAL	
NO.	DATE
REMARKS	BY
DESIGN	DATE: NOV 2007
	DATE: NOV 2007
	DATE: NOV 2007

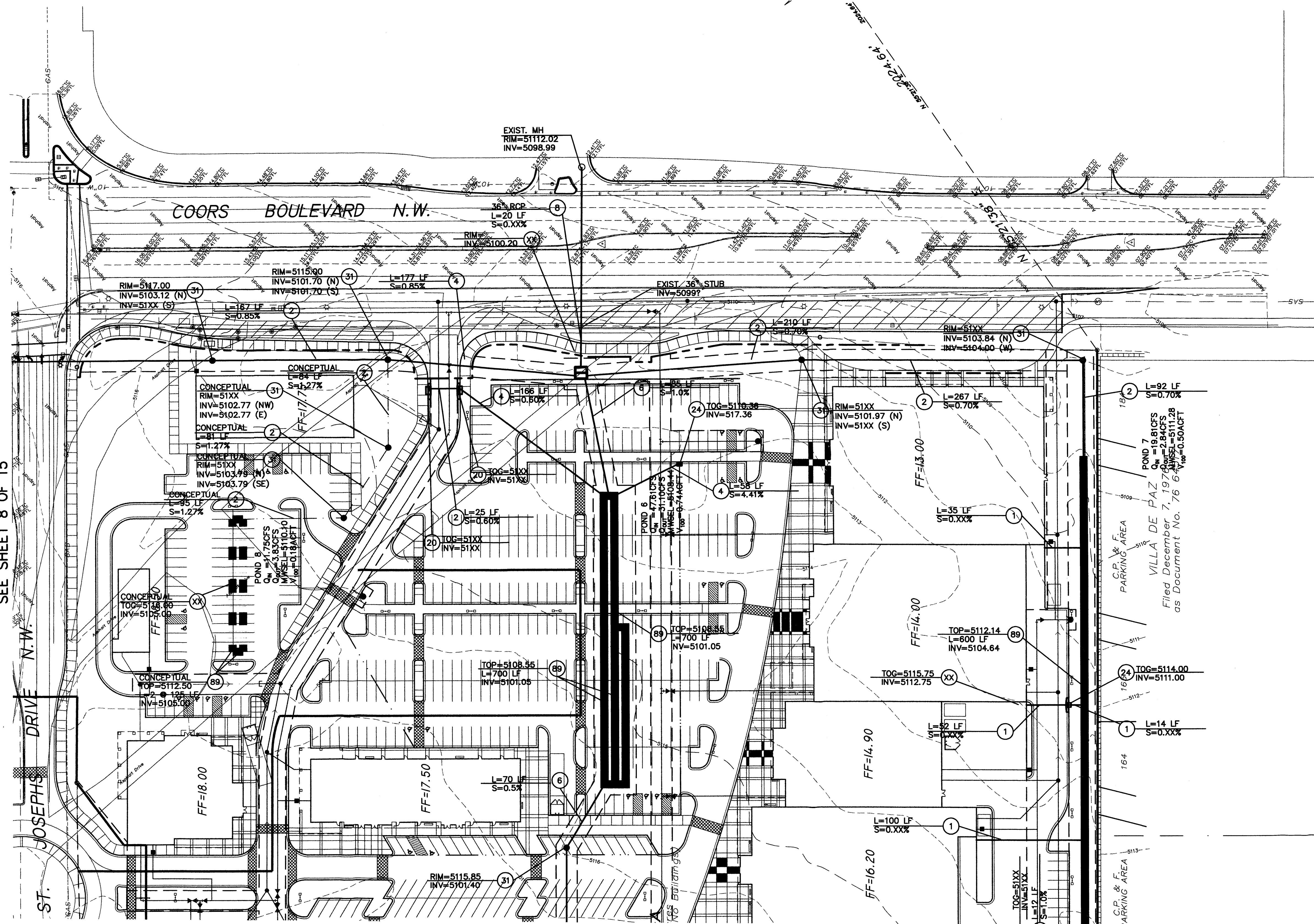
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER MASTER UTILITY PLAN STORM DRAIN	
LATEST DESIGN UPDATE	MONTH/DAY/YEAR
	USER DEPARTMENT
CITY PROJECT No.	ZONE MAP No. SHEET
	G-11 9 OF 15



T:\Projects\6010\Cad\SHEETS\6010 MASTER UTILITY PLAN\_SD02A\_60.dwg 3/2/2007 2:59:59 PM MTD

SEE SHEET 8 OF 15

SEE SHEET 9 OF 15



**STORM DRAIN CONSTRUCTION NOTES**

I.D.#	DESCRIPTION
1	INSTALL 12" STORM DRAIN PIPE
2	INSTALL 18" STORM DRAIN PIPE
4	INSTALL 24" STORM DRAIN PIPE
6	INSTALL 30" STORM DRAIN PIPE
8	INSTALL 36" STORM DRAIN PIPE
20	INSTALL TYPE A CATCH BASIN SINGLE GRATE PER COA STD. DTL. 2201
24	INSTALL TYPE C CATCH BASIN - DOUBLE WING PER COA STD. DETAIL 2205
26	INSTALL SIDEWALK CULVERT W/ STEEL PLATE PER COA STD. DETAIL 2236
31	INSTALL 6" DIA. MANHOLE PER COA STD. DTL. 2101
89	INSTALL 90" DIA. ALUMINIZED CMP
90	INSTALL 36" DIA. CMP RISER, PER DETAIL
91	INSTALL 10' x 10' RIPRAP BLANKET, PER DETAIL

**AS BUILT INFORMATION**

CONTRACTOR	DATE
NGS/Albuquerque Central Survey Monument	

**BENCH MARKS**

MARK	DATE
"JOSEPH 1969"	

**SURVEY INFORMATION**

NO.	BY	DATE

**FIELD NOTES**

NO. \_\_\_\_\_ BY \_\_\_\_\_ DATE \_\_\_\_\_

**ENGINEER'S SEAL**

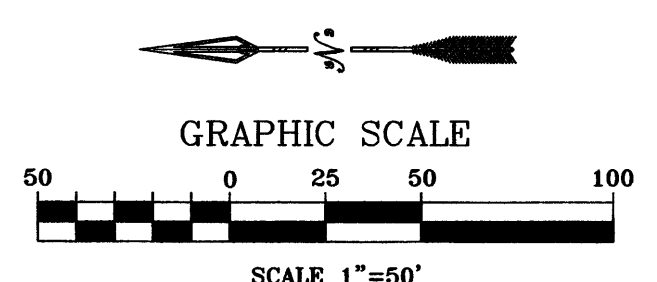
NO. \_\_\_\_\_ BY \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS

NO.	DATE	REMARKS	BY

DESIGNED BY: JRW DATE: NOV 2007  
 DRAWN BY: JRW DATE: NOV 2007  
 CHECKED BY: JRW DATE: NOV 2007

- GENERAL NOTES**
- ALL STORM DRAIN PIPE TO BE HDPE OR ENGINEER APPROVED EQUAL.
  - SEE SHEET 6 OF 15 FOR LEGEND.



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 Albuquerque, NM 87114  
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CITY OF ALBUQUERQUE  
 MUNICIPAL DEVELOPMENT DEPARTMENT  
 ENGINEERING DIVISION

**OXBOW TOWN CENTER  
 MASTER UTILITY PLAN  
 STORM DRAIN**

MONTH/DAY/YEAR	USER DEPARTMENT

LATEST DESIGN UPDATE

MONTH/DAY/YEAR	USER DEPARTMENT

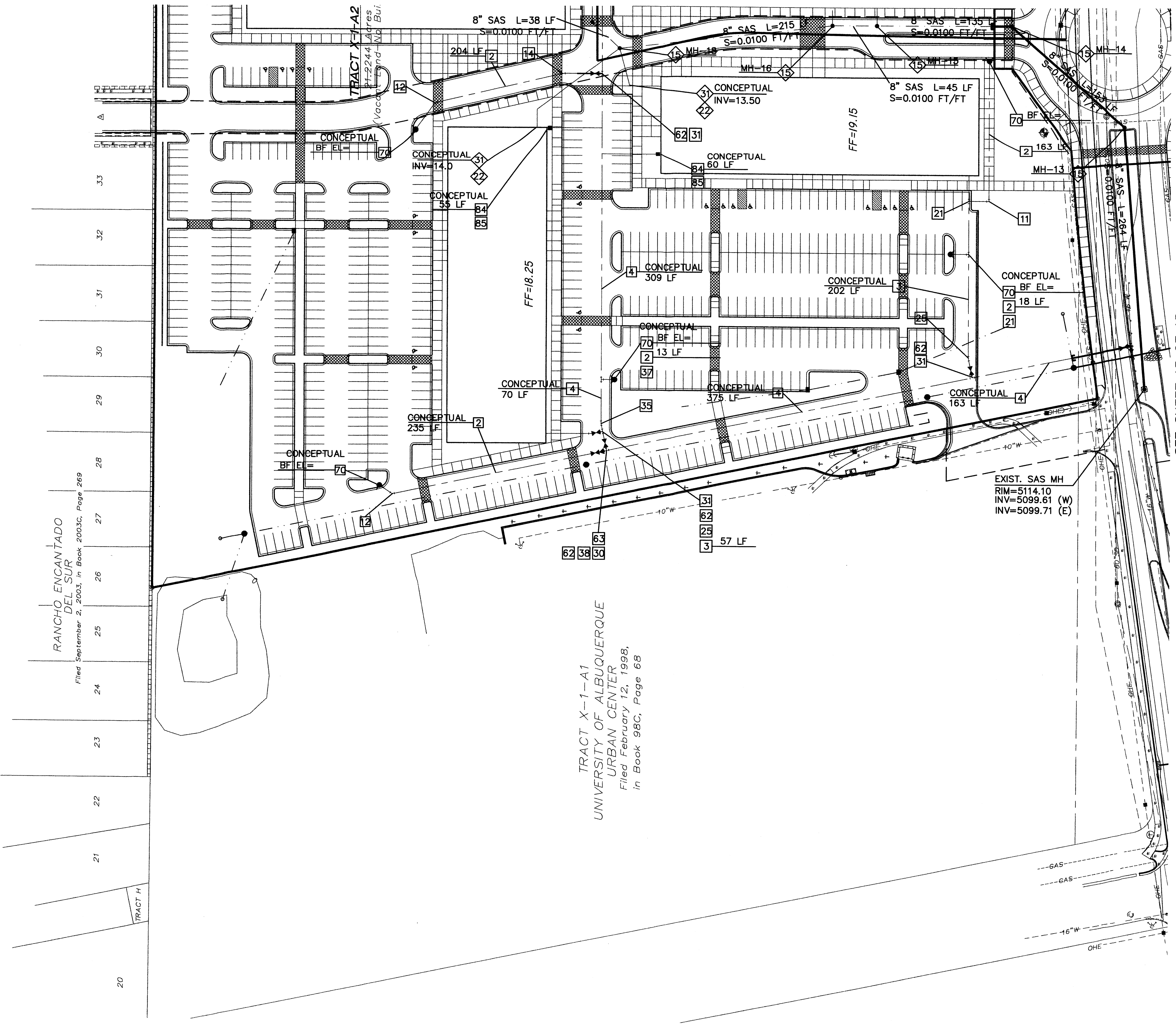
CITY PROJECT No. \_\_\_\_\_ ZONE MAP No. G-11 SHEET 10 OF 15



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RANCHO ENCANTADO DEL SUR  
Filed September 2, 2003, in Book 2003C, Page 269

SEE SHEET 12 OF 15



TRACT X-1-A1  
UNIVERSITY OF ALBUQUERQUE  
URBAN CENTER  
Filed February 12, 1998,  
in Book 98C, Page 68

SEE SHEET 13 OF 15

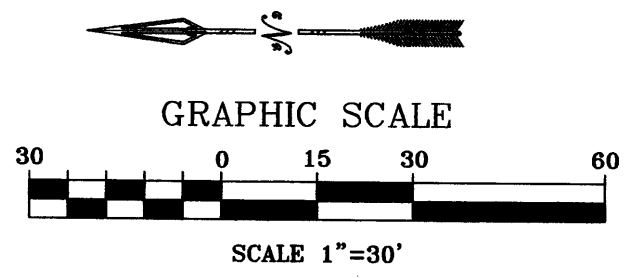
**WATER CONSTRUCTION NOTES**

I.D.#	DESCRIPTION
2	INSTALL 6" D.I. WATERLINE PER STD. SPEC. SEC. 801
3	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
4	INSTALL 10" WATERLINE PER STD. SPEC. SEC. 801
11	INSTALL 6" 90° BEND
12	INSTALL 6" 45° BEND
14	INSTALL 6" 11 1/2" BEND
20	INSTALL 8" TEE
21	INSTALL 8" x 6" TEE
22	INSTALL 8" 11 1/4" BEND
28	INSTALL 8" CROSS
29	INSTALL 10' x 6" REDUCER
30	INSTALL 10" TEE
32	INSTALL 10" 90° BEND
34	INSTALL 10" 22 1/2" BEND
35	INSTALL 10" 11 1/4" BEND
37	INSTALL 10" x 6" TEE
38	INSTALL 10" x 8" REDUCER
39	INSTALL 10" x 8" CROSS
63	INSTALL 10" GATE VALVE AND VALVE BOX PER COA STD. DETAIL 2326, 2328
66	INSTALL 16" BUTTERFLY VALVE AND VALVE BOX PER COA STD. DETAIL 2333, 2352
67	INSTALL 16" x 10" TEE
70	INSTALL FIRE HYDRANT PER V.O.L.L. STD. DETAIL
83	INSTALL 1 1/2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
84	INSTALL 2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
88	INSTALL METER BOX, COVER, & LID PER COA STD. DETAIL 2367

**SEWER CONSTRUCTION NOTES**

I.D.#	DESCRIPTION
15	INSTALL 4" DIA. MANHOLE PER COA STD DETAIL 2101
16	INSTALL 6" DIA. DOUBLE PRESSURE CLEAN OUT W/CROSS PER DETAIL
31	INSTALL 6" SEWER SERVICE PER COA STD. DETAIL

- GENERAL NOTES**
- SEE SHEET 6 OF 15 FOR LEGEND.
  - SEE SHEET 13 FOR SANITARY SEWER MANHOLE TABLE.



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK BY							
SURVEYORS							
ACCEPTANCE BY							
DATE							
DRAWINGS BY							
DATE							
CHECKED BY							
DATE							
<b>MICRO-FILM INFORMATION</b>							
RECORDED BY							
DATE							

CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION

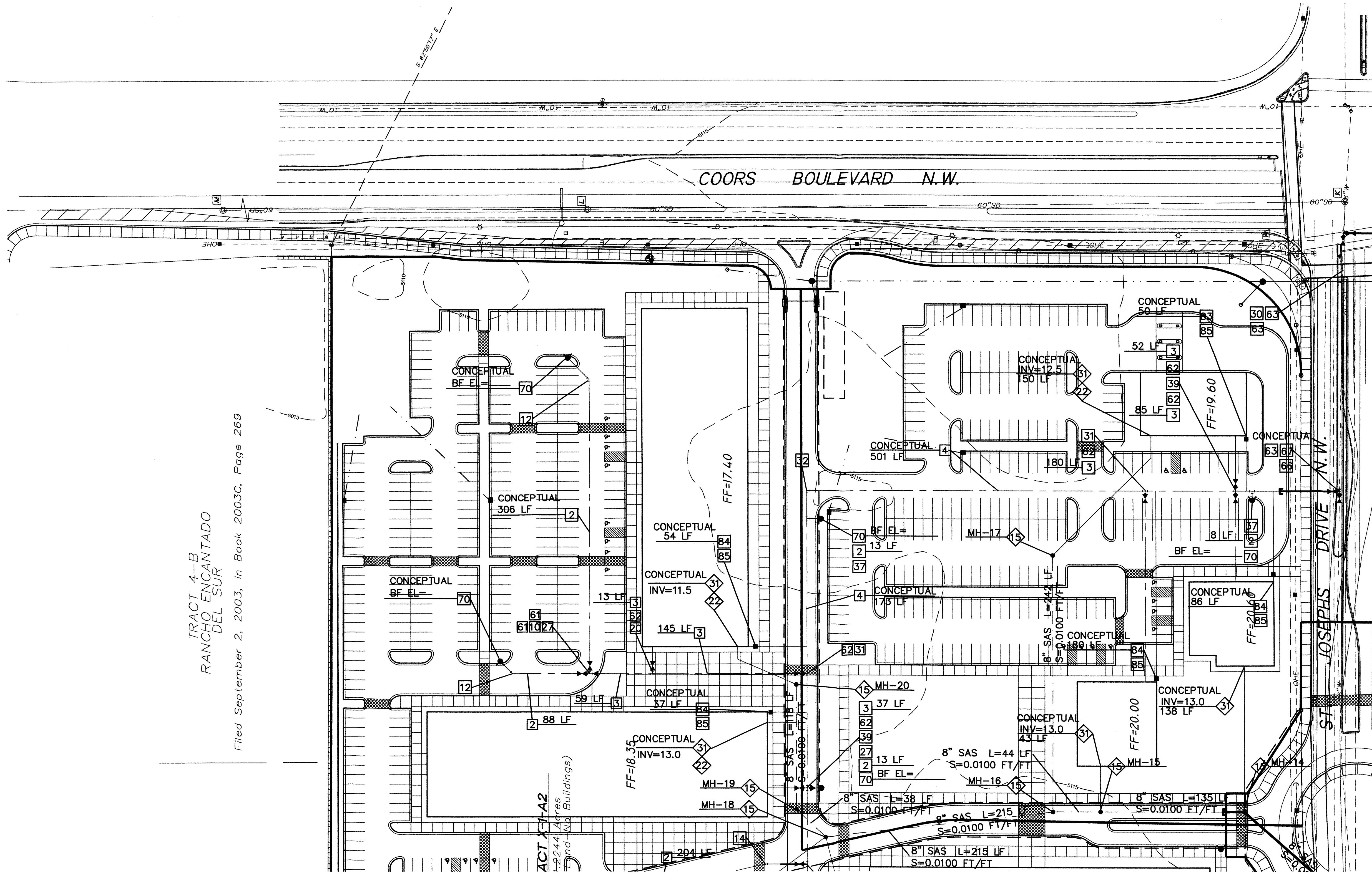
**OXBOW TOWN CENTER  
MASTER UTILITY PLAN  
SANITARY SEWER AND WATER**

MONTH/DAY/YEAR	USER DEPARTMENT
LATEST DESIGN UPDATE	

CITY PROJECT No. \_\_\_\_\_ ZONE MAP No. **G-11** SHEET **11 OF 15**



TRACT 4--B  
RANCHO ENCANTADO  
DEL SUR  
Filed September 2, 2003, in Book 2003C, Page 269



SEE SHEET 11 OF 15

**WATER CONSTRUCTION NOTES**

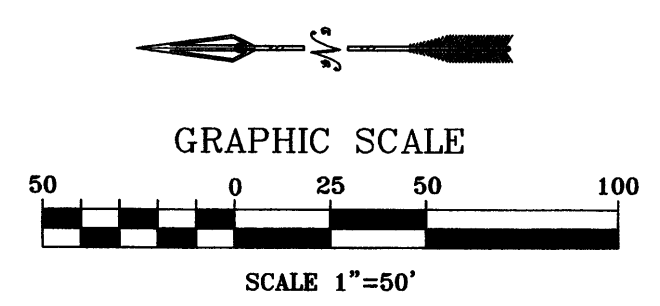
I.D.#	DESCRIPTION
2	INSTALL 6" D.I. WATERLINE PER STD. SPEC. SEC. 801
3	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
4	INSTALL 10" WATERLINE PER STD. SPEC. SEC. 801
10	INSTALL 6" TEE
12	INSTALL 6" 45° BEND
20	INSTALL 8" TEE
27	INSTALL 8" X 6" REDUCER
28	INSTALL 8" CROSS
29	INSTALL 10" X 6" REDUCER
30	INSTALL 10" TEE
31	INSTALL 10" X 8" TEE
32	INSTALL 10" 90° BEND
34	INSTALL 10" 22 1/2° BEND
35	INSTALL 10" 11 1/4° BEND
37	INSTALL 10" X 6" TEE
38	INSTALL 10" X 8" REDUCER
39	INSTALL 10" X 8" CROSS
61	INSTALL 6" GATE VALVE AND VALVE BOX PER V.O.L.L. STD. DETAIL
62	INSTALL 8" GATE VALVE AND VALVE BOX PER V.O.L.L. STD. DETAIL
63	INSTALL 10" GATE VALVE AND VALVE BOX PER COA STD. DETAIL 2326, 2328
66	INSTALL 16" BUTTERFLY VALVE AND VALVE BOX PER COA STD. DETAIL 2333, 2352
67	INSTALL 16" X 10" TEE
70	INSTALL FIRE HYDRANT PER V.O.L.L. STD. DETAIL
83	INSTALL 1 1/2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
84	INSTALL 2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
85	INSTALL METER BOX, COVER, & LID PER COA STD. DETAIL 2367

**SEWER CONSTRUCTION NOTES**

I.D.#	DESCRIPTION
1	INSTALL 4" DIA. MANHOLE PER COA STD DETAIL 2101
2	INSTALL 6" DIA. DOUBLE PRESSURE CLEAN OUT W/CROSS PER DETAIL
3	INSTALL 6" SEWER SERVICE PER COA STD. DETAIL

**GENERAL NOTES**

- SEE SHEET 6 OF 15 FOR LEGEND.
- SEE SHEET 13 FOR SANITARY SEWER MANHOLE TABLE.



**GND, LLC**  
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Fax: (505) 899-6184

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR'S	DATE	NO.	BY	NO.	BY
JOSEPH 1969		NGS/Albuquerque Control Survey Monument					
ACCEPTANCE BY	DATE	FIELD NOTES	DATE	REVISIONS	DATE	DESIGNED BY: JRW	DATE: NOV 2007
VERIFICATION BY	DATE			DESIGN		DRAWN BY: JRW	DATE: NOV 2007
DRAWINGS	DATE					CHECKED BY: JRW	DATE: NOV 2007
<b>MICRO-FILM INFORMATION</b>							
RECORDED BY	DATE						
No.							

CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION

**OXBOW TOWN CENTER  
MASTER UTILITY PLAN  
SANITARY SEWER AND WATER**

MONTH/DAY/YEAR	USER DEPARTMENT

CITY PROJECT No. \_\_\_\_\_ ZONE MAP No. G-11 SHEET 12 OF 15



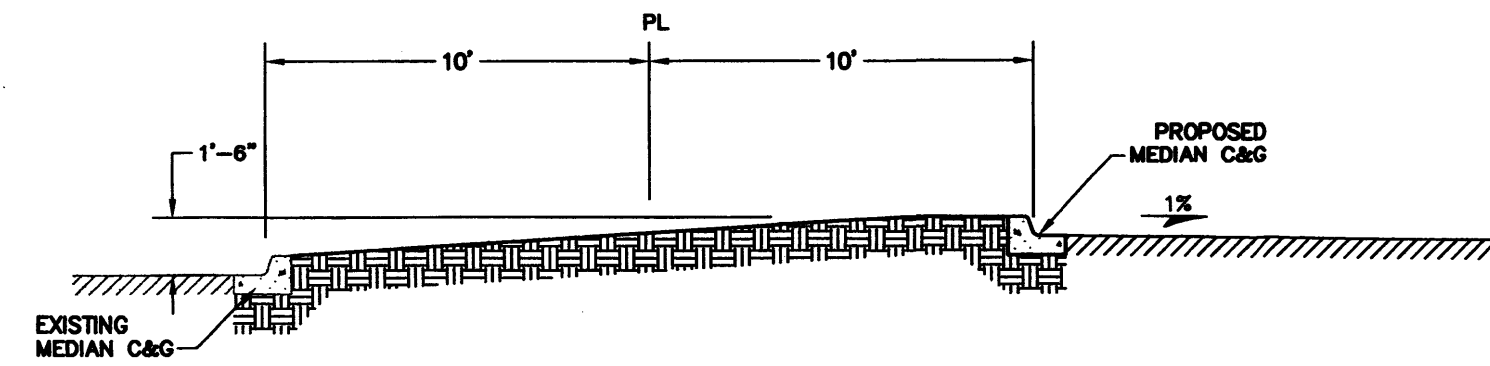




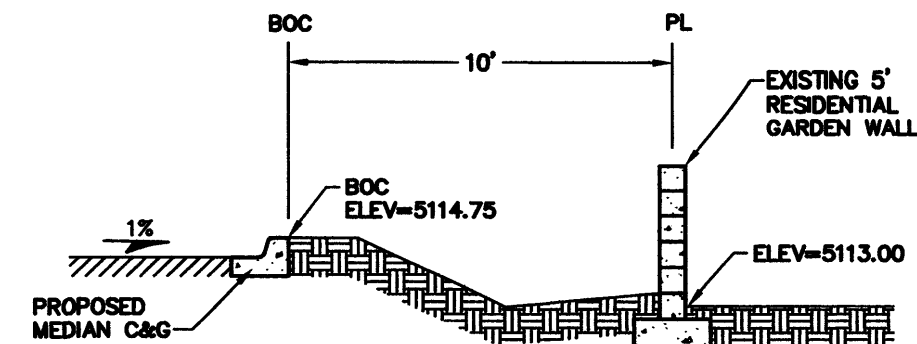




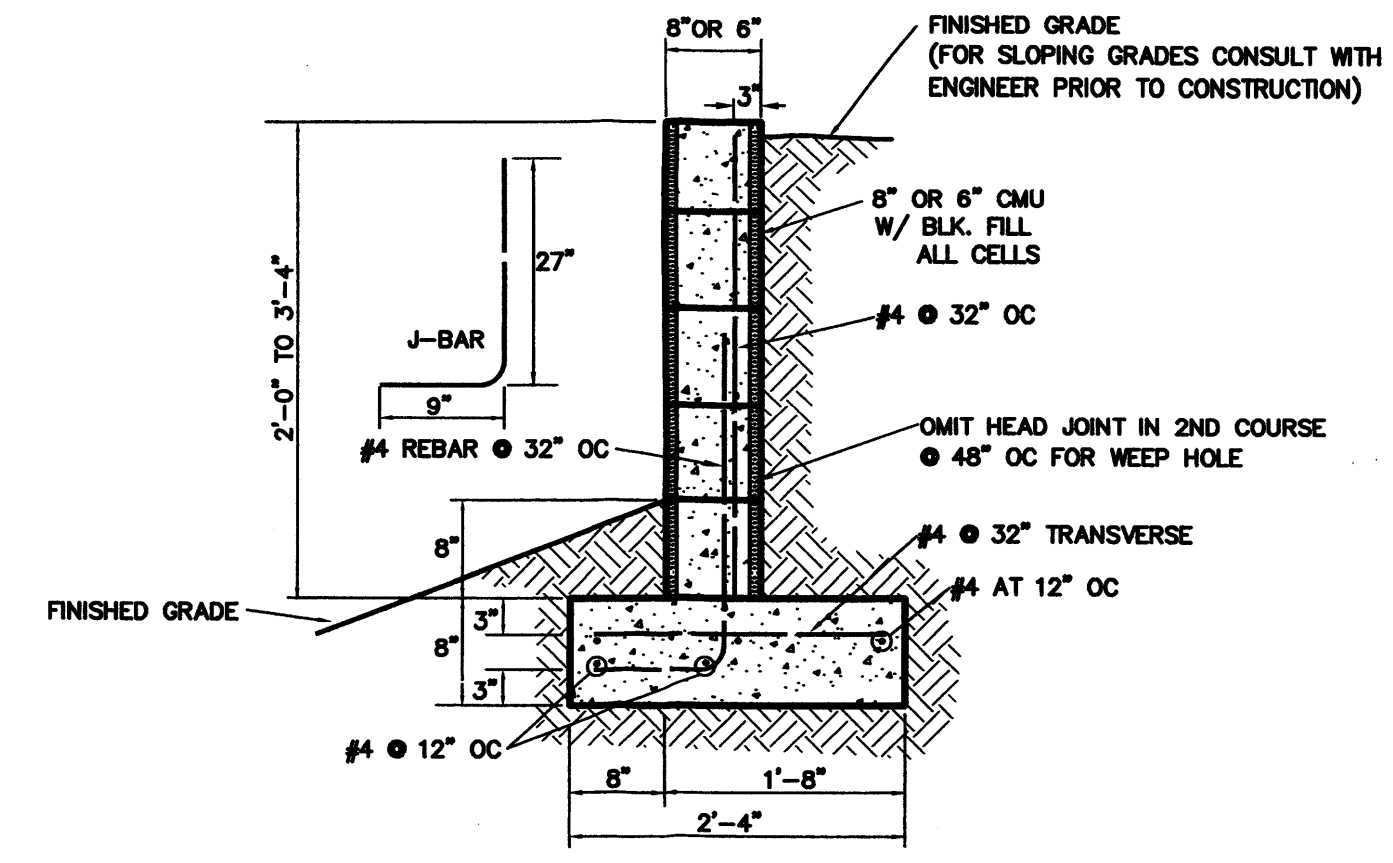
T:\Projects\6010\Cad\Sheets\6010 TYPICAL SECTION.dwg 3/2/2007 2:49:21 PM MST



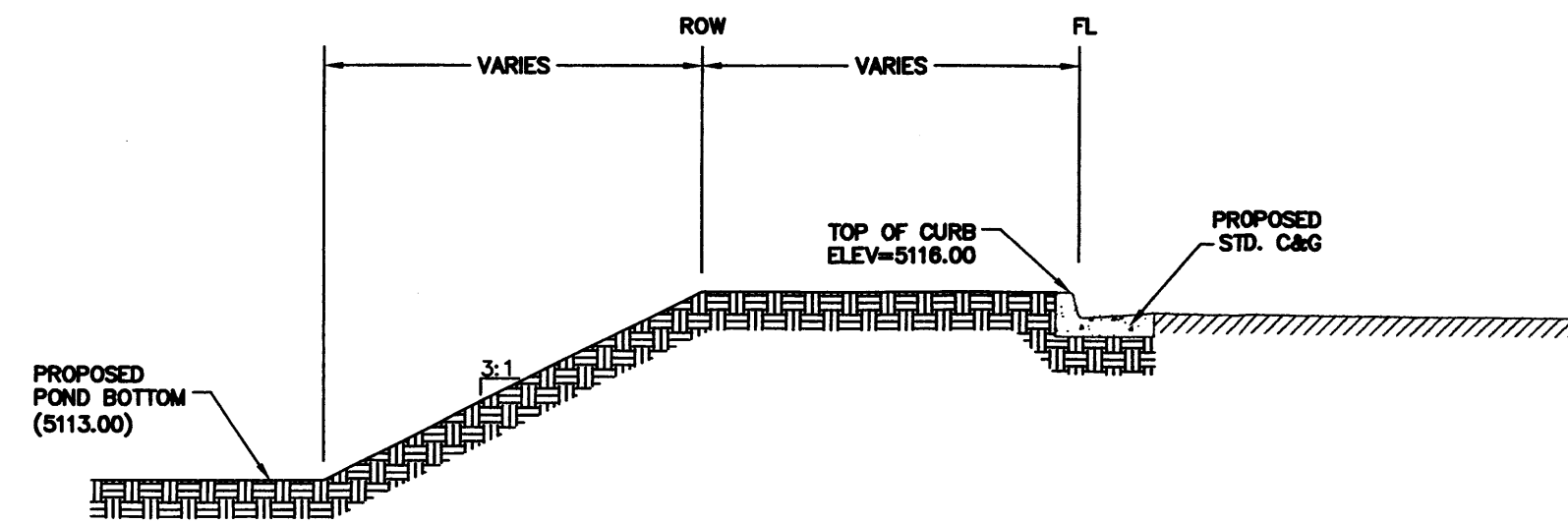
SECTION A-A  
NTS



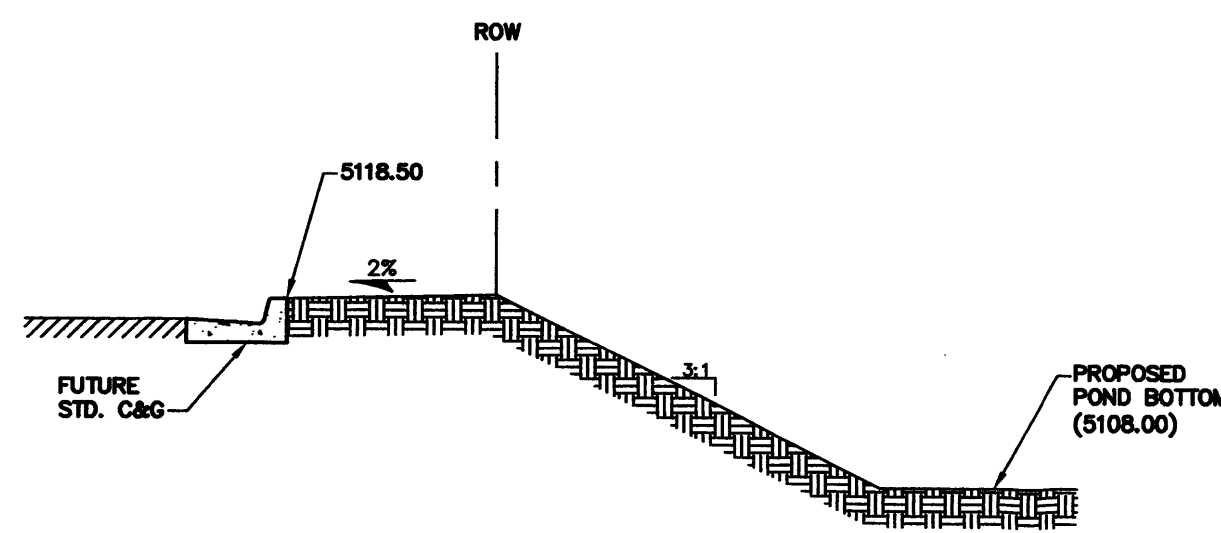
SECTION B-B  
NTS



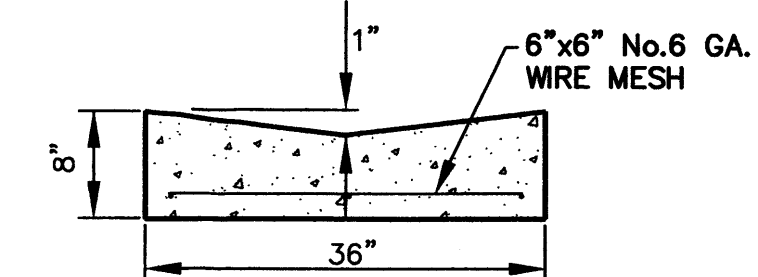
RETAINING WALL DETAIL  
2'-0" TO 3'-4"



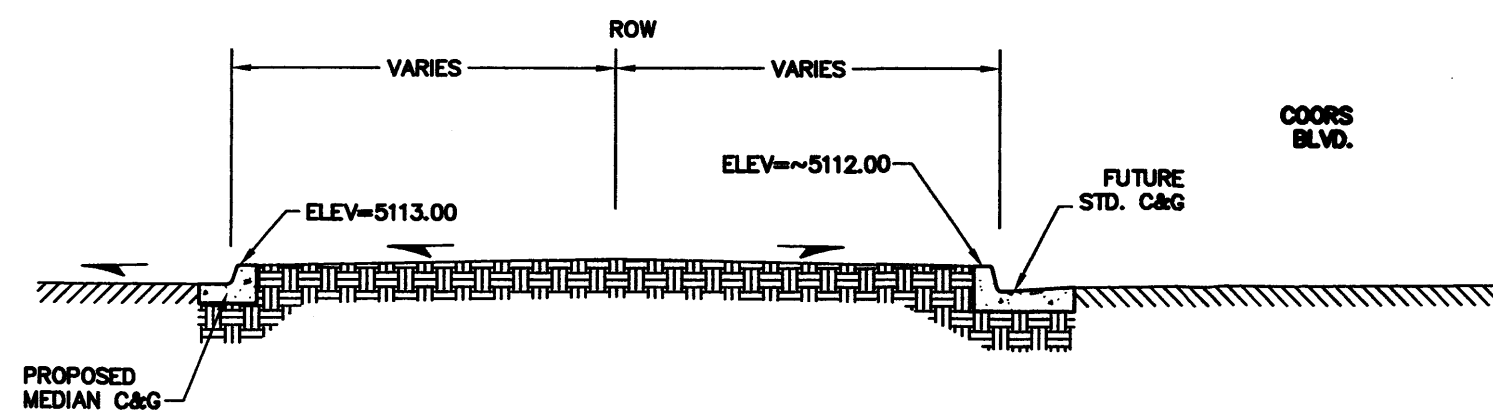
SECTION C-C  
NTS



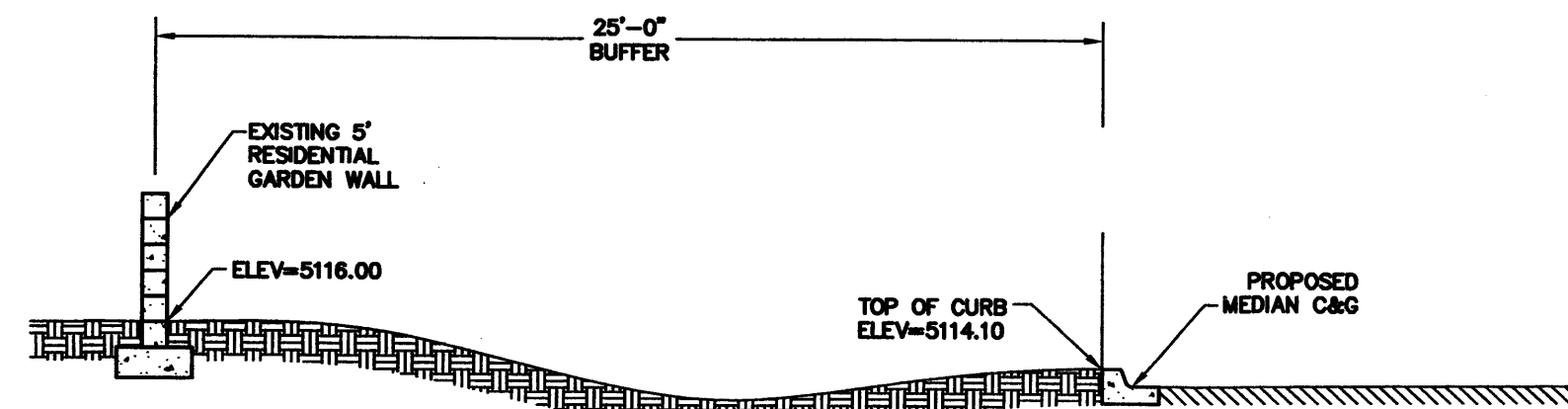
SECTION D-D  
NTS



CONCRETE VALLEY GUTTER  
NOT TO SCALE



SECTION E-E  
NTS

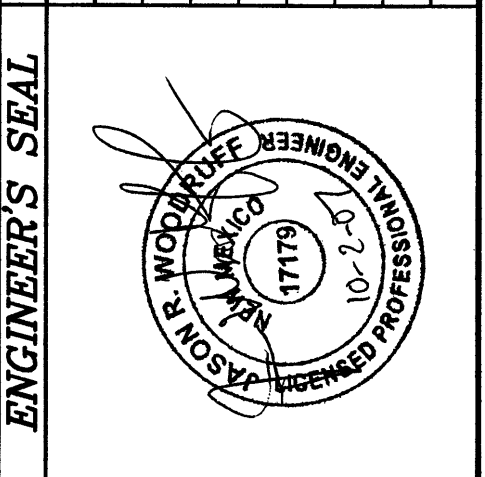


SECTION F-F  
NTS

AS BUILT INFORMATION	
CONTRACTOR	WORK
DATE	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
DESIGNATION BY	DATE
DATE	DATE
RECORDED BY	DATE
NO.	DATE

BENCH MARKS	
CONTRACTOR	Control Survey Monument
NGS/Albuquerque	JOSEPH 1969
DATE	1969
INSPECTOR'S ACCEPTANCE BY	Central Zone - NAD27
DATE	11/15/2007
INSPECTOR'S ACCEPTANCE BY	Delta Alpha = -0015'24"
DATE	Ground to Grid Factor = 0.99967551
INSPECTOR'S ACCEPTANCE BY	Elevation = 5116.61 (NAVD88)
DATE	

SURVEY INFORMATION	
NO.	DATE
BY	DATE
BY	DATE
BY	DATE
BY	DATE

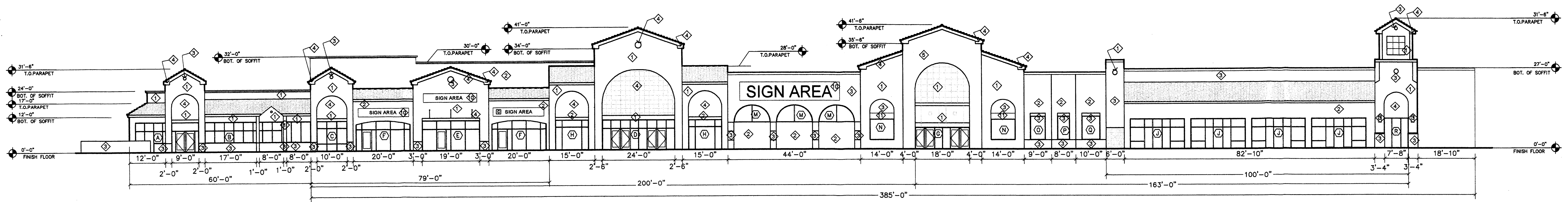


REVISIONS	
NO.	DATE
BY	DATE
REMARKS	DATE
DESIGN	NOV 2007
JCC	NOV 2007
JRW	NOV 2007

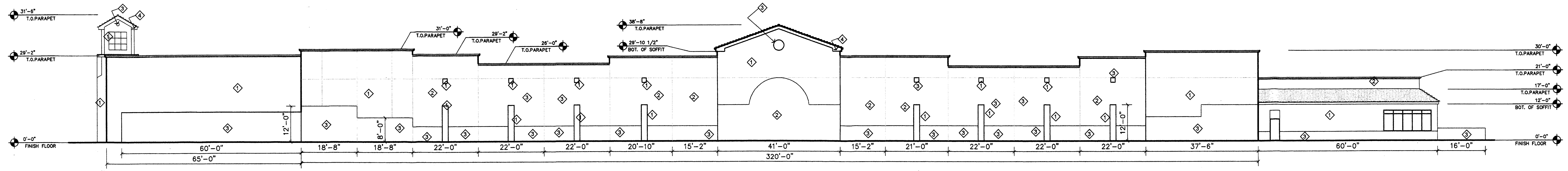
**GND, LLC**  
CONSULTING ENGINEERS  
5643 Paradise Blvd. NW  
Albuquerque, NM 87114  
Phone: (505) 899-6182  
Fax: (505) 899-6184

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER RETAINING WALL DETAIL AND TYPICAL GRADING SECTIONS	
MONTH/DAY/YEAR	USER DEPARTMENT
LATEST DESIGN UPDATE	
CITY PROJECT No.	ZONE MAP No. SHEET
G-11	15 OF 15



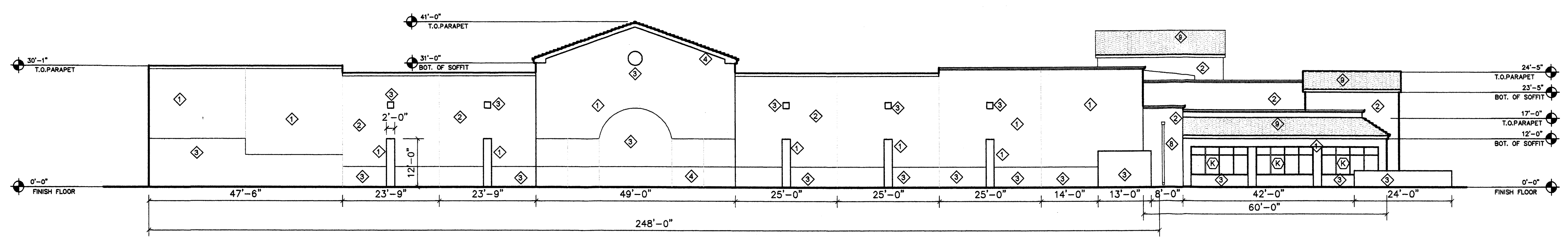


1 NORTH ELEVATION  
 SCALE: 1/16" = 1'-0" MAJOR JUNIOR ANCHORS  
 1" = 16'  
 scale feet

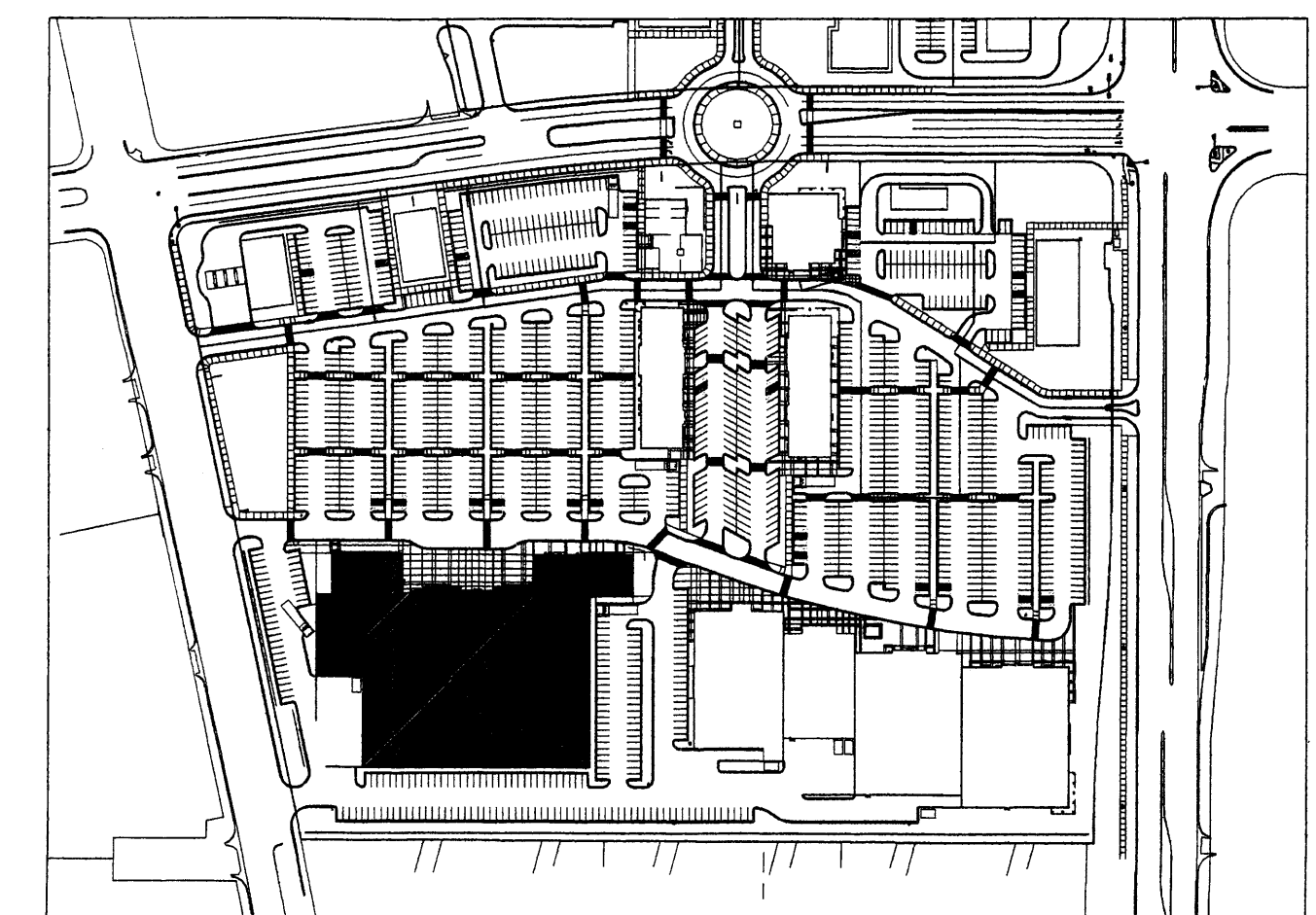


2 SOUTH ELEVATION  
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 1" = 16'  
 scale feet

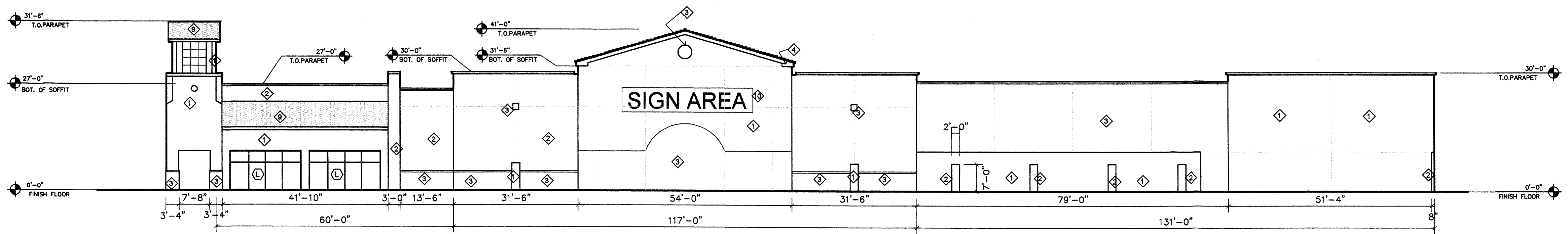
Keyed Color / Material Schedule	Common Name
◇ STUCCO COAST POINT SW 2053	LIGHT BEIGE
◇ STUCCO BEDOUIN BEIGE SW 2044	MEDIUM BEIGE
◇ STUCCO PICNIC TABLE SW 2047	MEDIUM DARK BEIGE
◇ STUCCO MULBERRY SILK SW 0001	BROWN-RED
◇ STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
◇ TUBE STEEL CANOPY 07 REDWOOD	RED
◇ LIGHT FIXTURE BLACK	BLACK
◇ DOWNSPOUT PAINT TO MATCH ADJACENT FINISH	
◇ TILE ROOF WESTILE- MISSION BLEND FLASHED	
◇ SIGNAGE SEE DESIGN STANDARD SECTION- J	
◇ STUCCO HARVEST GOLD SW 2888	ORANGE-YELLOW



3 EAST ELEVATION  
 SCALE: 1/16" = 1'-0" MAJOR JUNIOR ANCHORS  
 1" = 16'  
 scale feet



KEY PLAN



4 WEST ELEVATION  
 SCALE: 1/16" = 1'-0" MAJOR JUNIOR ANCHORS  
 1" = 16'  
 scale feet

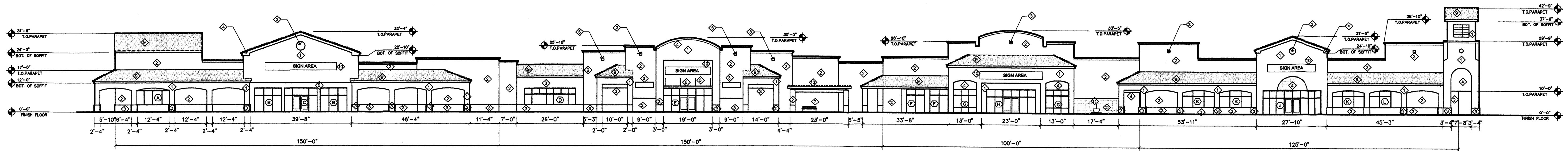
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

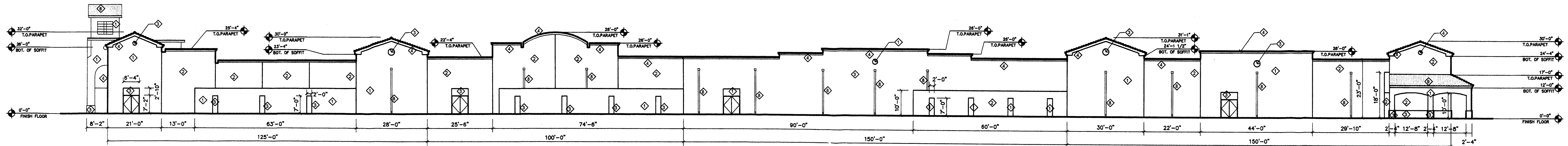
PROJECT TITLE: OSBORN TOWN CENTER  
 JOSEPH AND COORS BLVD FRONT  
 ALBUQUERQUE, NM  
 PROJECT MANAGER: GEORGE RAINHART  
 JOB NO.: 084  
 DRAWN BY: NAH  
 SHEET TITLE: ELEVATIONS MAJOR JUNIOR ANCHORS

DATE: 1/31/07  
 SCALE: 1/16"=1'-0"  
 sheet: A3.1  
 of:

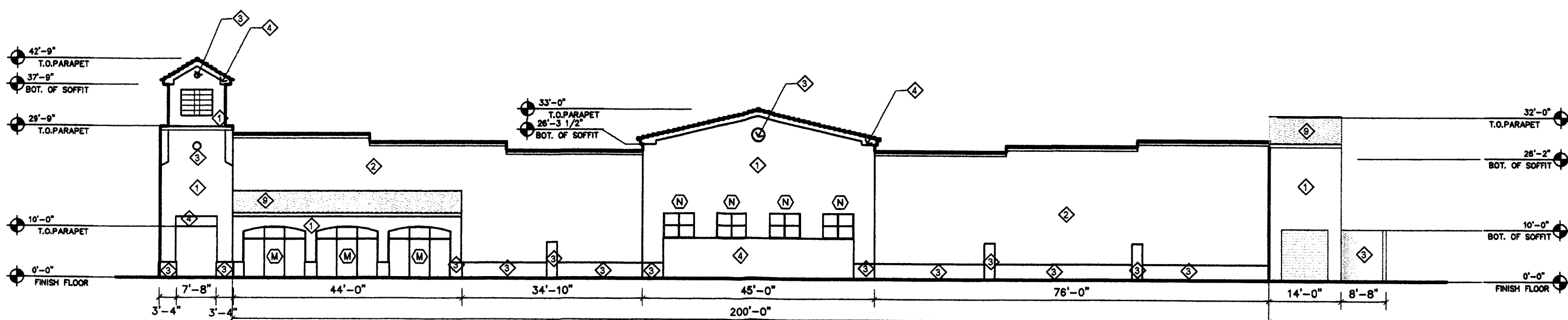




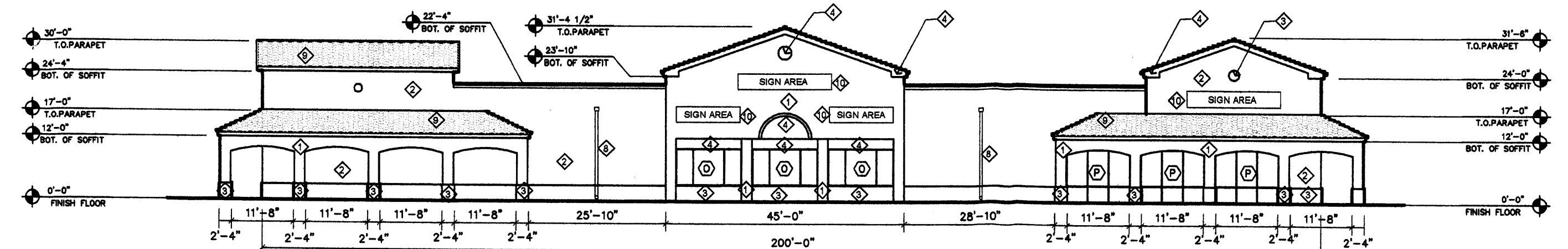
1 NORTH ELEVATION  
 SCALE: 1/16" = 1'-0"  
 JUNIOR ANCHORS  
 1" = 16'  
 16 0 16 32  
 scale feet



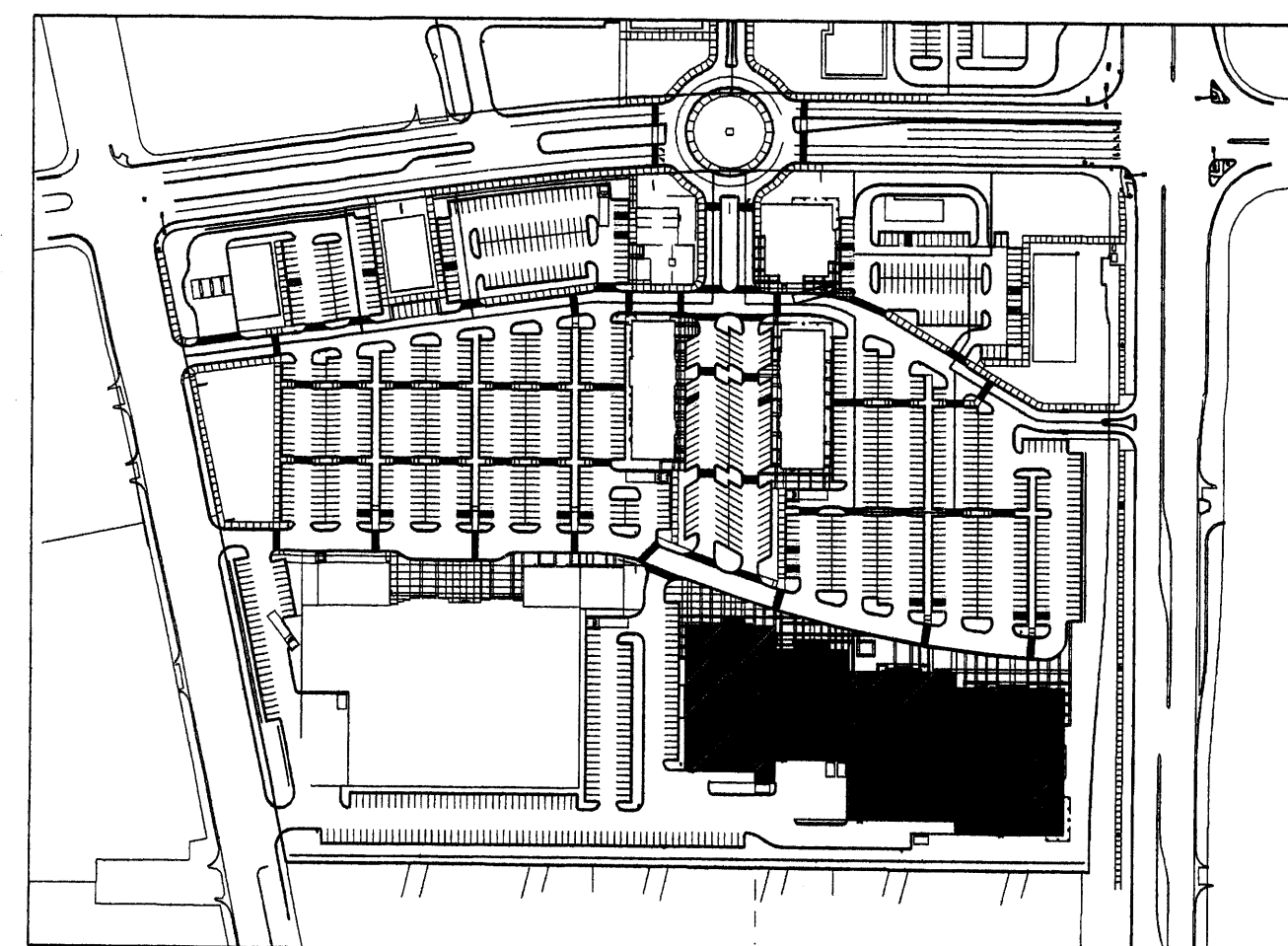
2 SOUTH ELEVATION  
 SCALE: 1/16" = 1'-0"  
 JUNIOR ANCHORS  
 1" = 16'  
 16 0 16 32  
 scale feet



4 WEST ELEVATION  
 SCALE: 20" = 1'-0"  
 JUNIOR ANCHORS  
 1" = 16'  
 16 0 16 32  
 scale feet



3 EAST ELEVATION  
 SCALE: 1/16" = 1'-0"  
 JUNIOR ANCHORS  
 1" = 16'  
 16 0 16 32  
 scale feet



KEY PLAN

Keyed Color / Material Schedule	Common Name
1 STUCCO COAST POINT SW 2053	LIGHT BEIGE
2 STUCCO BEDOUIN BEIGE SW 2044	MEDIUM BEIGE
3 STUCCO PICNIC TABLE SW 2047	MEDIUM DARK BEIGE
4 STUCCO MULBERRY SILK SW 0001	BROWN-RED
5 STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
6 TUBE STEEL CANOPY 07 REDWOOD	RED
7 BEANCH	BLACK
8 DOWNSPOUT PAINT TO MATCH ADJACENT FINISH	BLACK
9 TILE ROOF WESTILE - MISSION BLEND FLASHED	
10 SIGNAGE SEE DESIGN STANDARD SECTION-J	
11 WATER FOUNTAIN	
12 TRELLIS	

REVISION

BY

DATE

REV



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**OSBOW TOWN CENTER**  
 JOSEPH AND COORS BLVD FRONT  
 ALBUQUERQUE, NM

DATE:

1/31/07

SCALE:

1/16"=1'-0"

DRAWN BY:  
 MAH

JOB NO.:

088

SHEET TITLE

ELEVATIONS JUNIOR ANCHORS

PLANNER COMMENTS

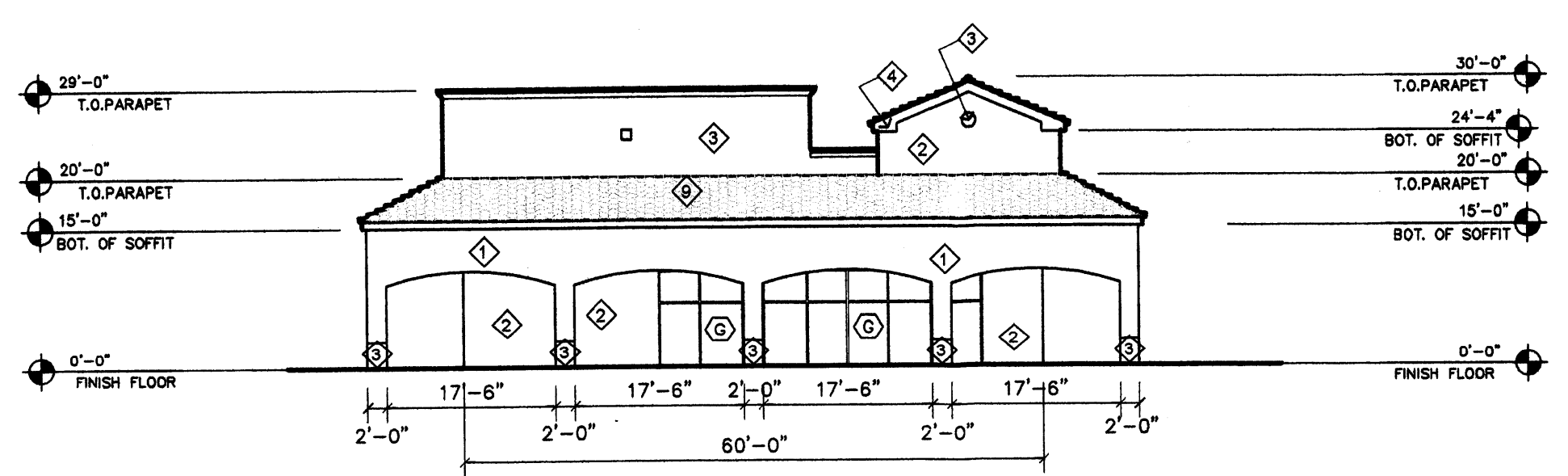
JCS 3-5-07

of

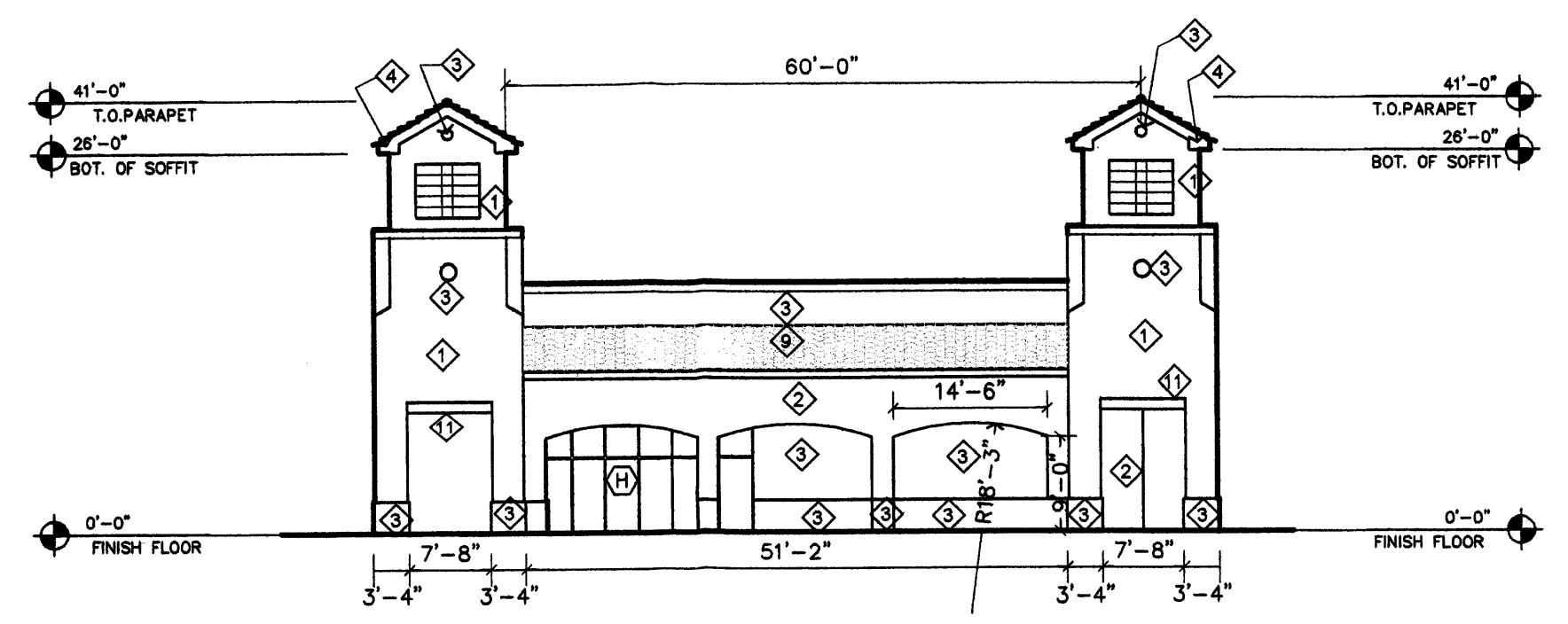
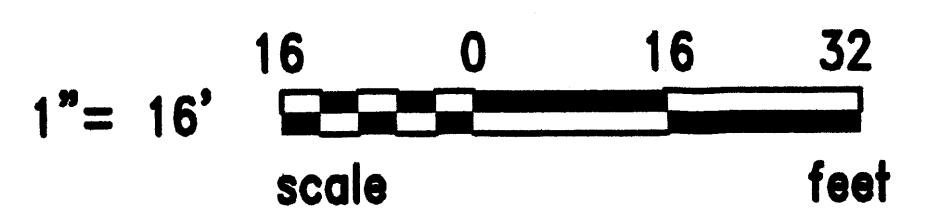
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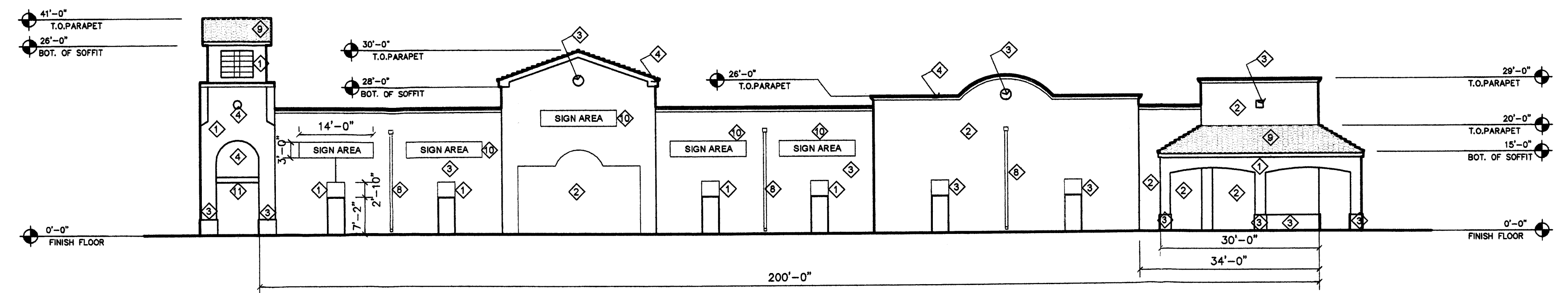
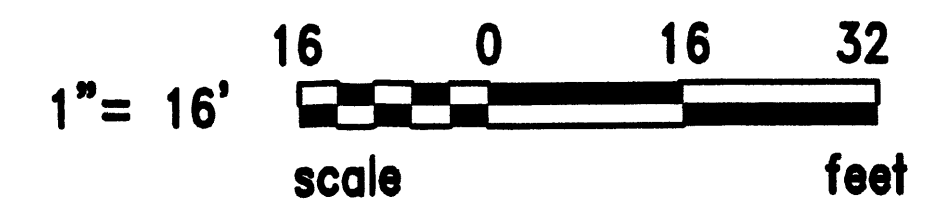
Keyed Color / Material Schedule		Common Name
①	STUCCO COAST POINT SW 2053	LIGHT BEIGE
②	STUCCO BEDOUIN BEIGE SW 2044	MEDIUM BEIGE
③	STUCCO PICNIC TABLE SW 2047	MEDIUM DARK BEIGE
④	STUCCO MULBERRY SILK SW 0001	BROWN-RED
⑤	STUCCO COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
⑥	TUBE STEEL CANOPY 07 REDWOOD	RED
⑦	LIGHT FIXTURE BLACK	BLACK
⑧	DOWNSPOUT PAINT TO MATCH ADJACENT FINISH	-
⑨	TILE ROOF WESTILE- MISSION BLEND FLASHED	-
⑩	SIGNAGE SEE DESIGN STANDARD SECTION-J	ORANGE-YELLOW
⑪	STUCCO HARVEST GOLD SW 2868	-



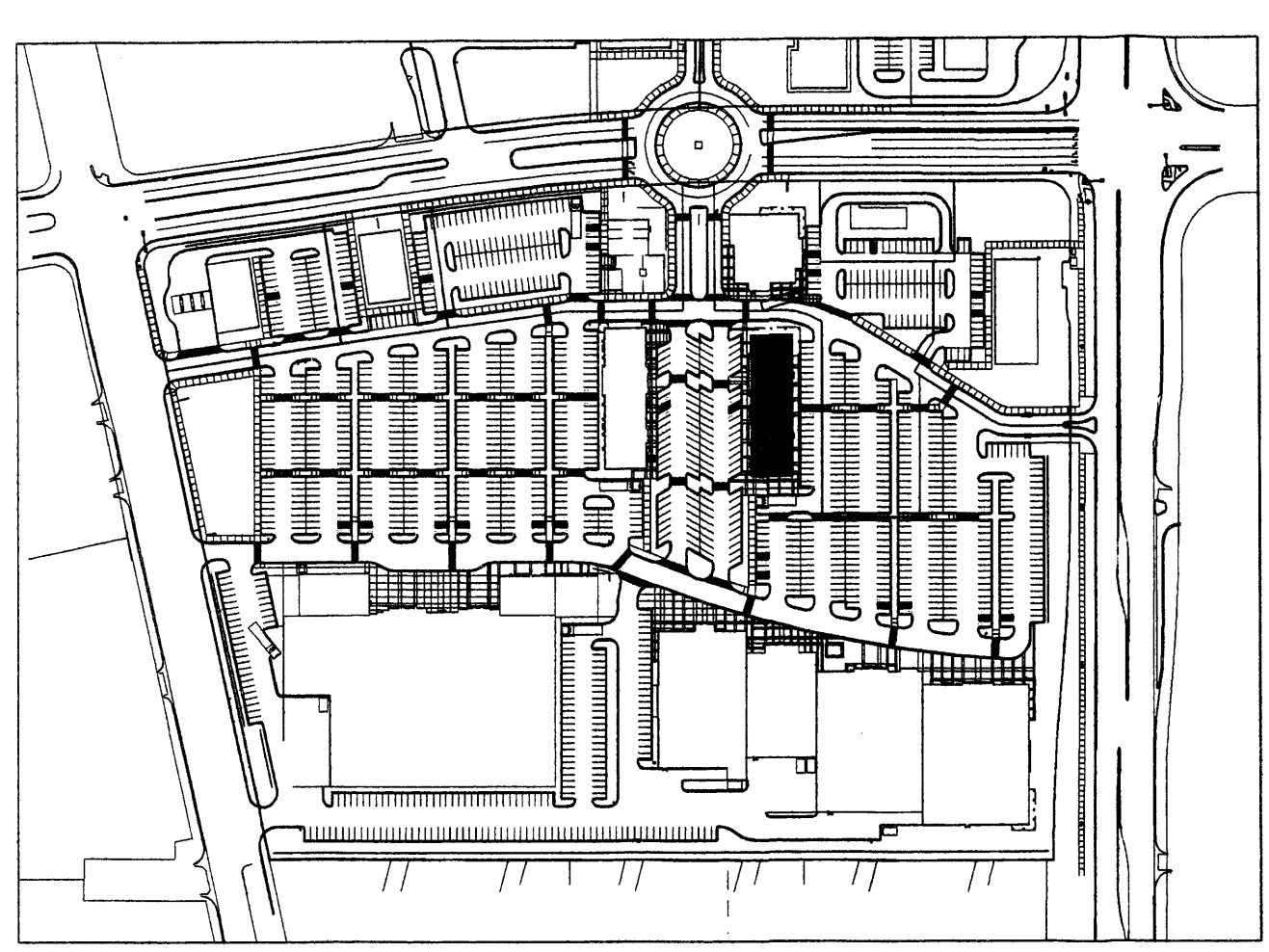
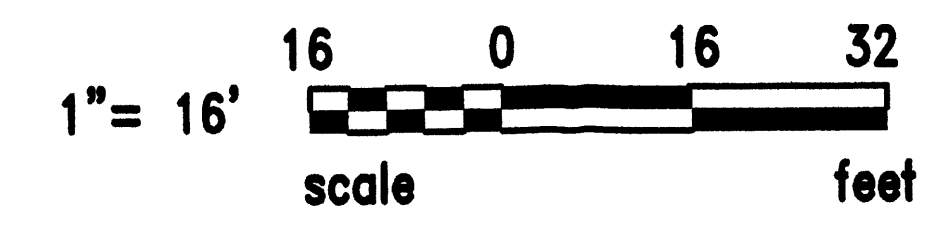
① NORTH ELEVATION  
SCALE: 1/16" = 1'-0" EAST SHOPS



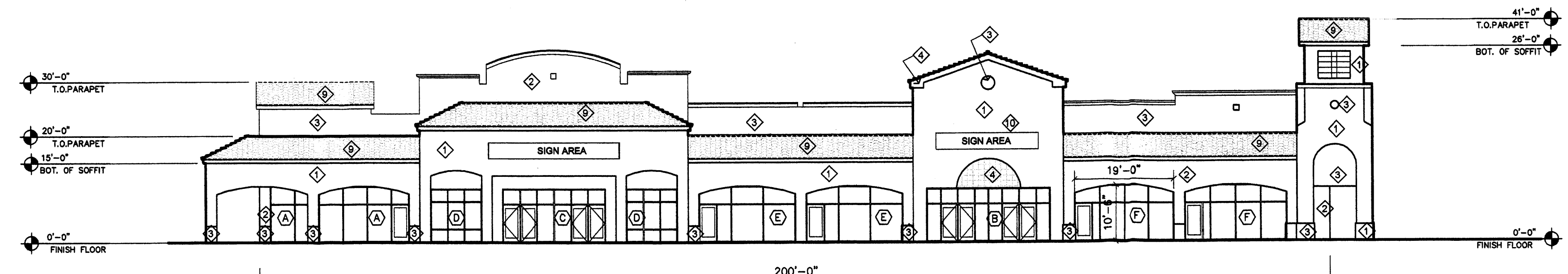
② SOUTH ELEVATION  
SCALE: 1/16" = 1'-0" EAST SHOPS



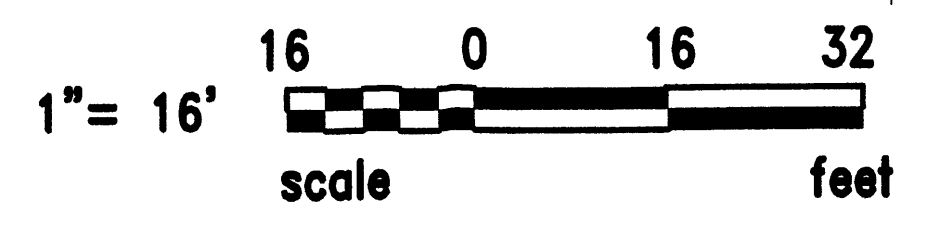
③ EAST ELEVATION  
SCALE: 1/16" = 1'-0" EAST SHOPS



KEY PLAN



④ WEST ELEVATION  
SCALE: 1/16" = 1'-0" EAST SHOPS



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

PLANNER COMMENTS  
JCS  
3-5-07

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**OXBOW EAST SHOPS**  
JOSEPH AND COURS BLVD FRONT  
ALBUQUERQUE, NEW MEXICO

JOB NO. 0684

PROJECT MANAGER  
GEORGE RAINHART

DRAWN BY:  
NAH

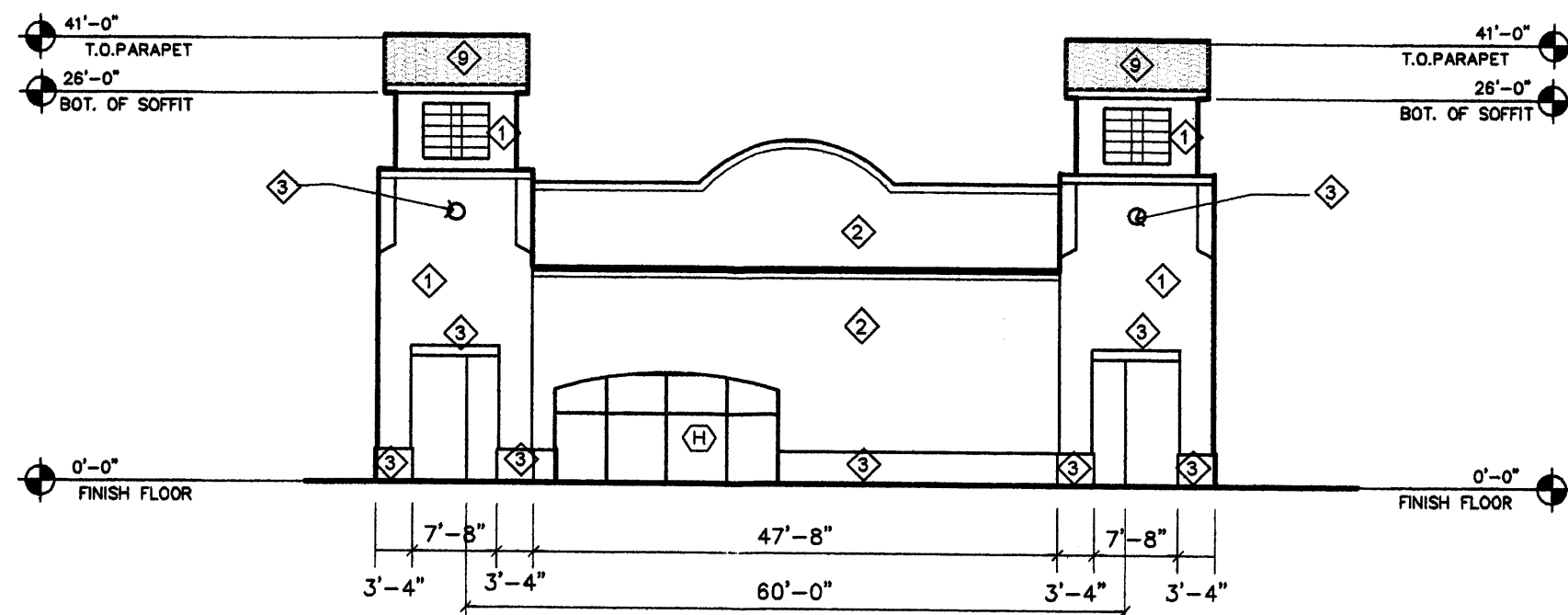
SHEET TITLE  
**ELEVATIONS EAST SHOPS**

DATE: 1/31/07  
SCALE: 1/16"=1'-0"

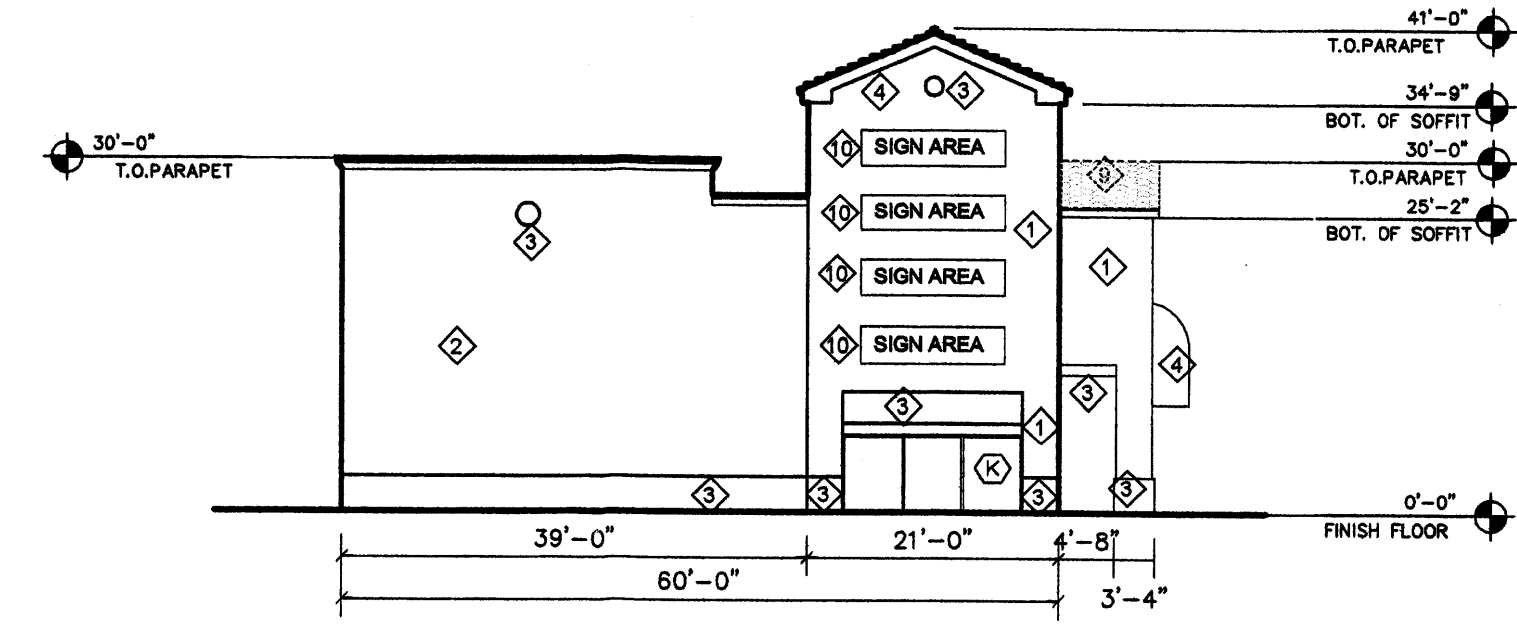
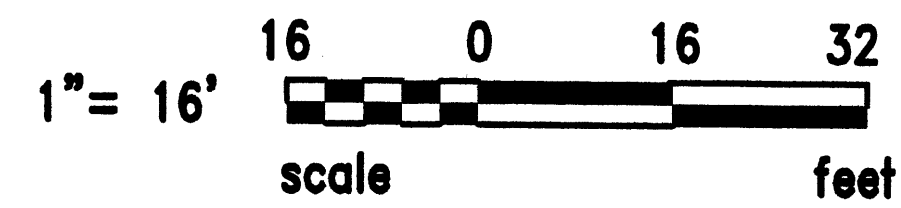
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**A3.3**  
of



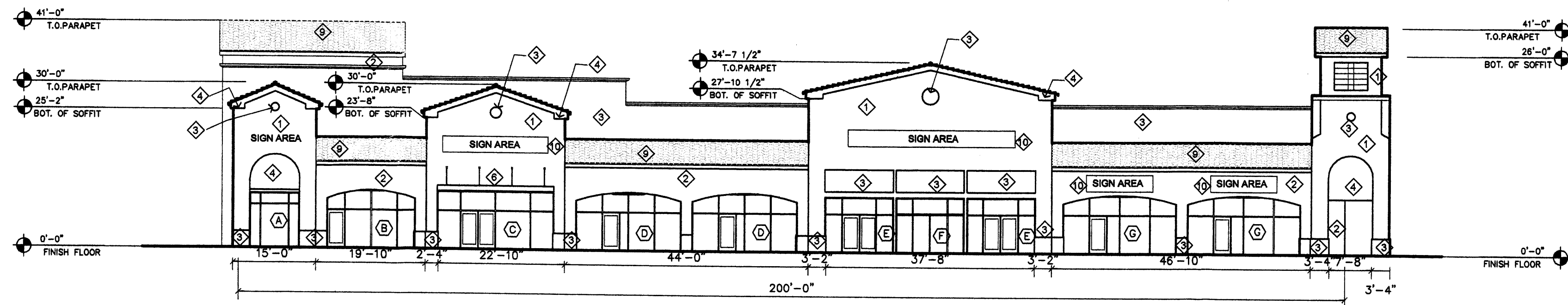
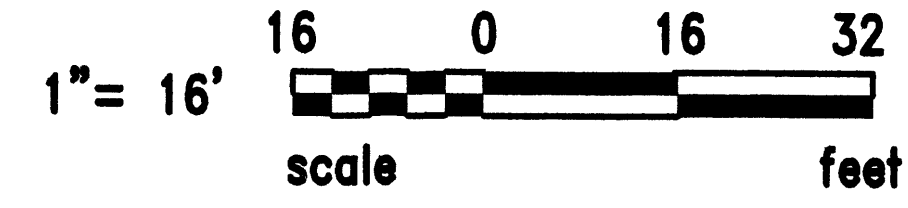
Keyed Color / Material Schedule	Common Name	
① STUCCO	COAST POINT SW 2053	LIGHT BEIGE
② STUCCO	BEDOIN BEIGE SW 2044	MEDIUM BEIGE
③ STUCCO	PICNIC TABLE SW 2047	MEDIUM DARK BEIGE
④ STUCCO	MULBERRY SILK SW 0001	BROWN-RED
⑤ STUCCO	COLLECTOR'S WHITE SW 1907 LRV 87%	WHITE
⑥ TUBE STEEL CANOPY	07 REDWOOD	RED
⑦ LIGHT FIXTURE	BLACK	BLACK
⑧ DOWNSPOUT	PAINT TO MATCH ADJACENT FINISH	
⑨ TILE ROOF	WESTILE- MISSION BLEND FLASHED	
⑩ SIGNAGE	SEE DESIGN STANDARD SECTION-J	



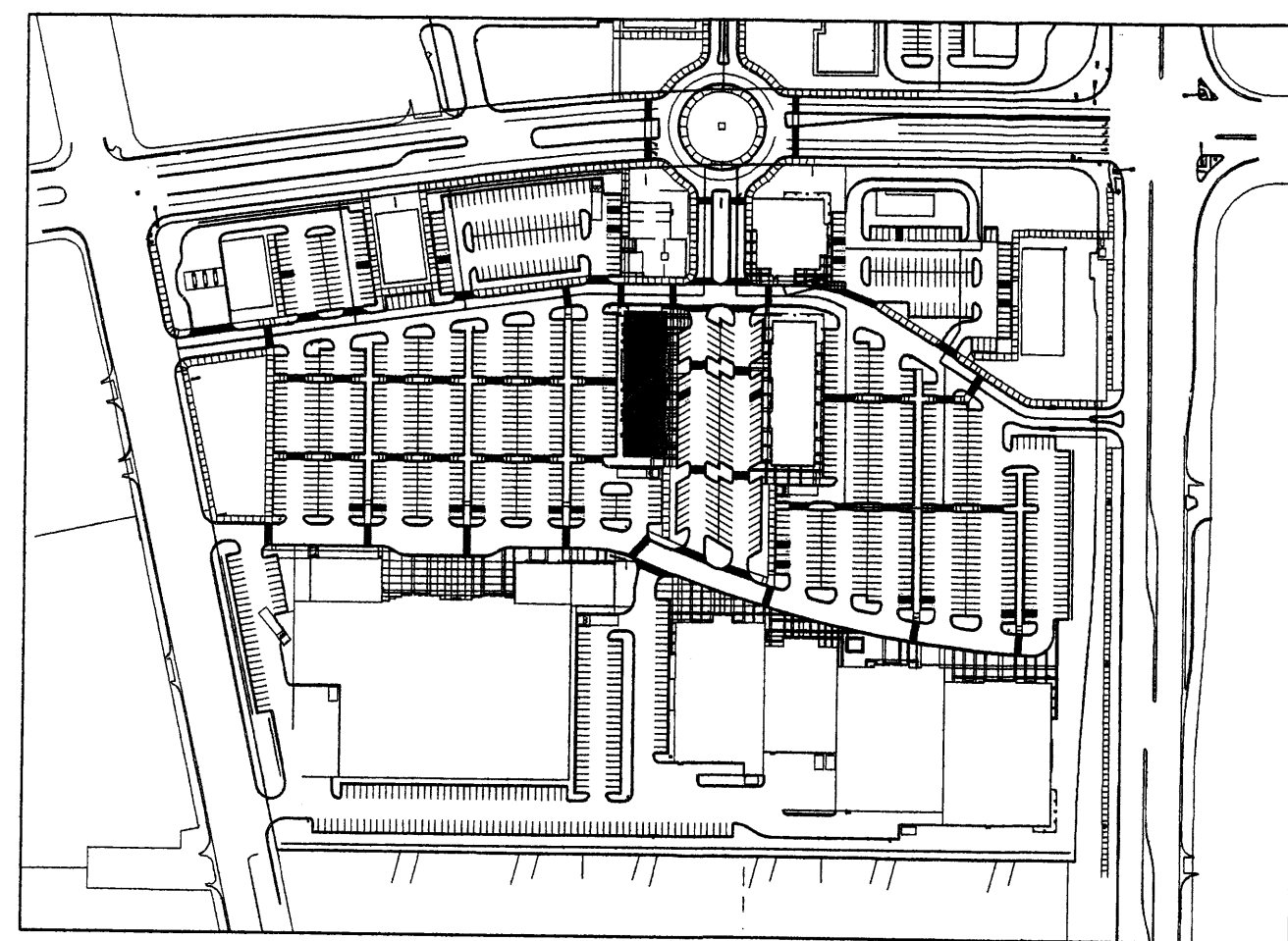
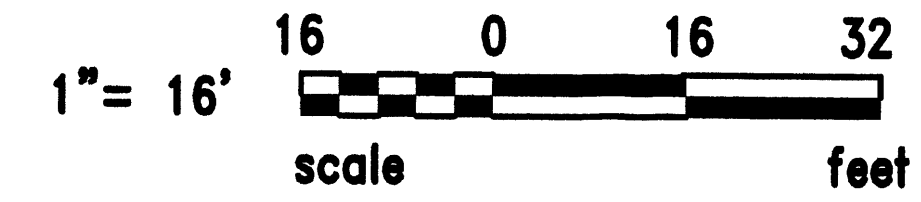
1 NORTH ELEVATION  
SCALE: 1/16" = 1'-0"



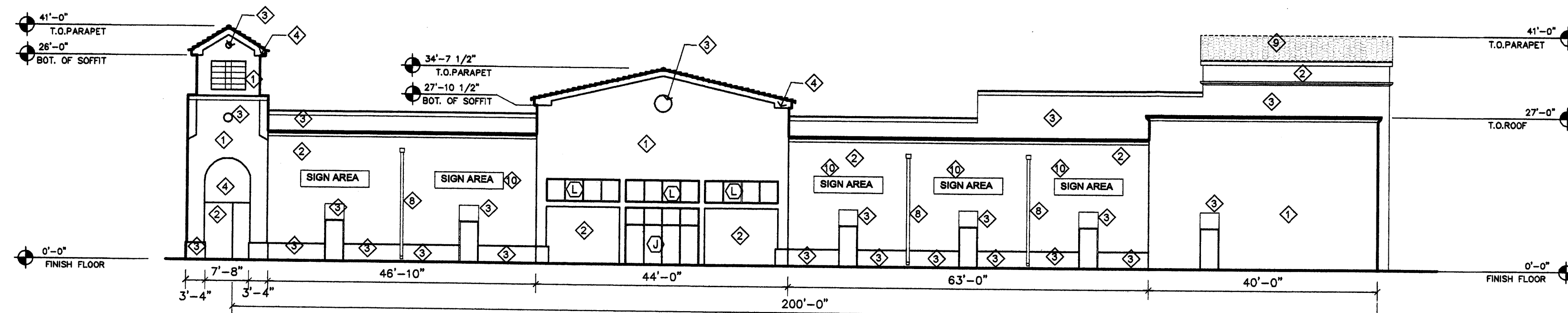
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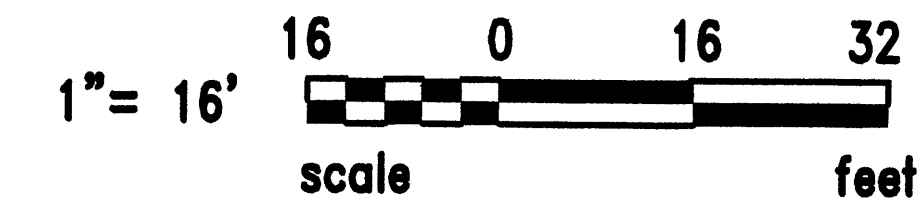
3 EAST ELEVATION  
SCALE: 1/16" = 1'-0"



KEY PLAN



4 WEST ELEVATION  
SCALE: 1/16" = 1'-0"



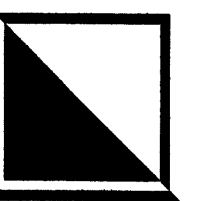
REVISION

BY

DATE

REV

DATE



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
OXBOW TOWN CENTER  
JOSEPH AND COORS BLVD FRONT  
ALBUQUERQUE, NH

DRAWN BY:  
NAH

JOB NO.  
0884

PROJECT MANAGER  
GEORGE RAINHART

SHEET TITLE  
ELEVATIONS WEST SHOPS

DATE

sheet

1/31/07

A3.4

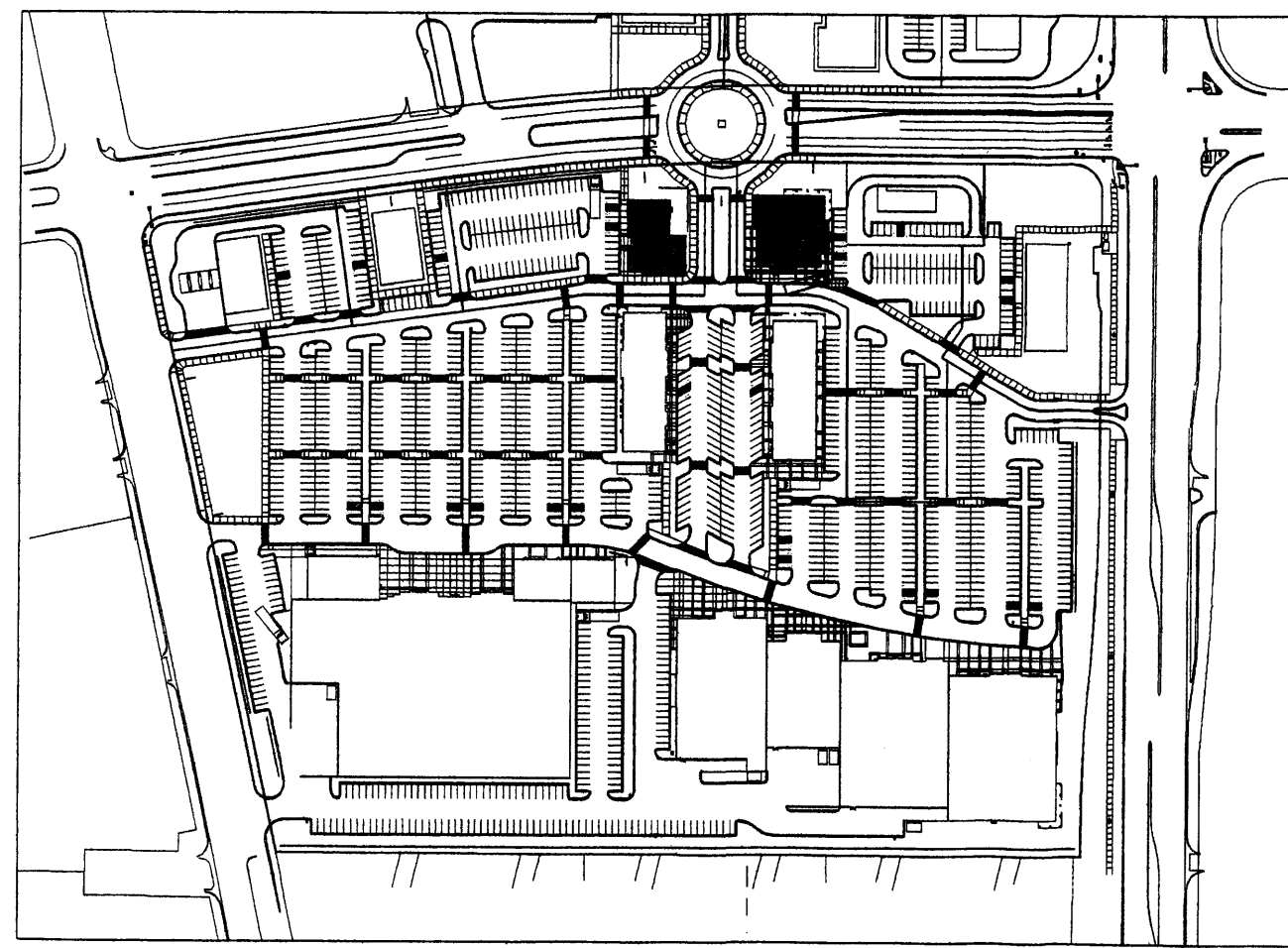
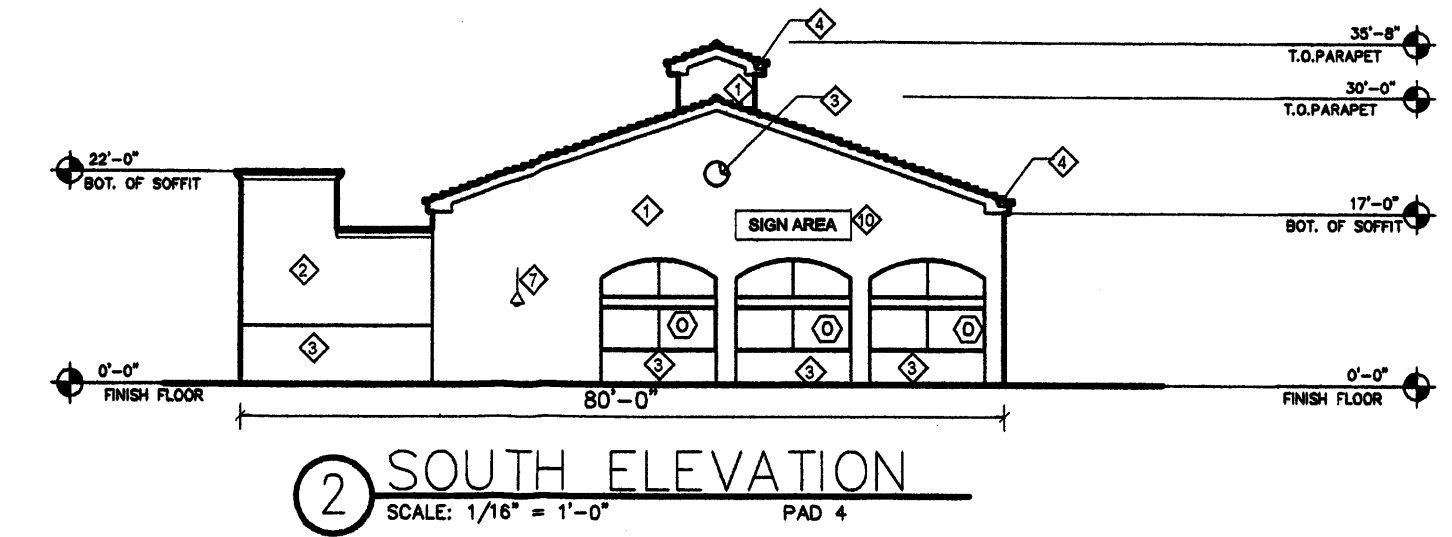
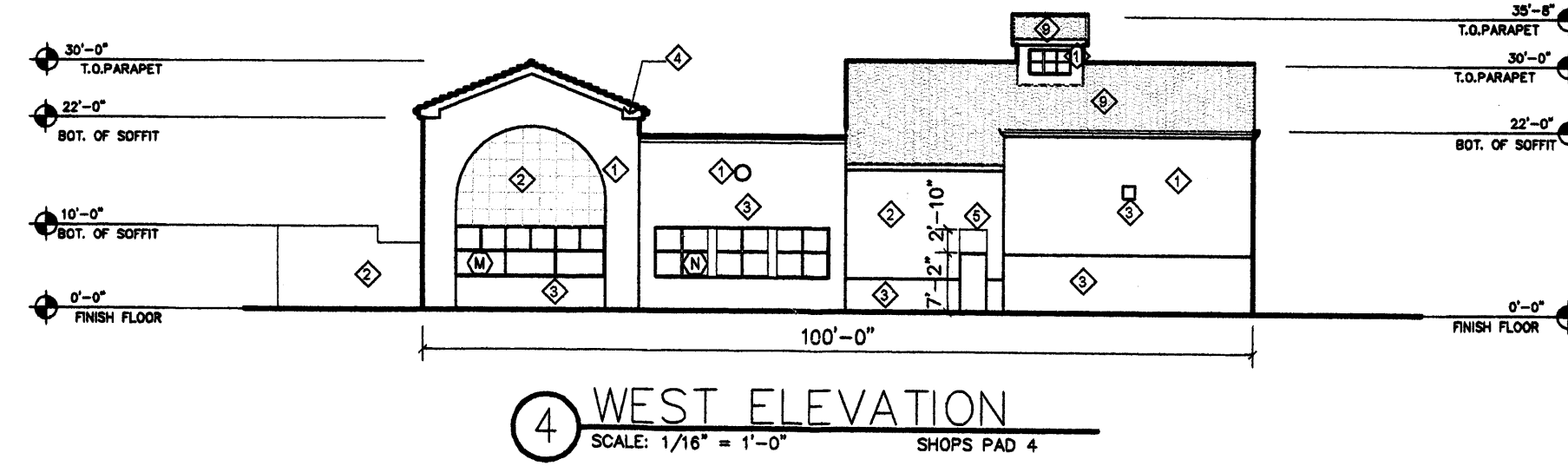
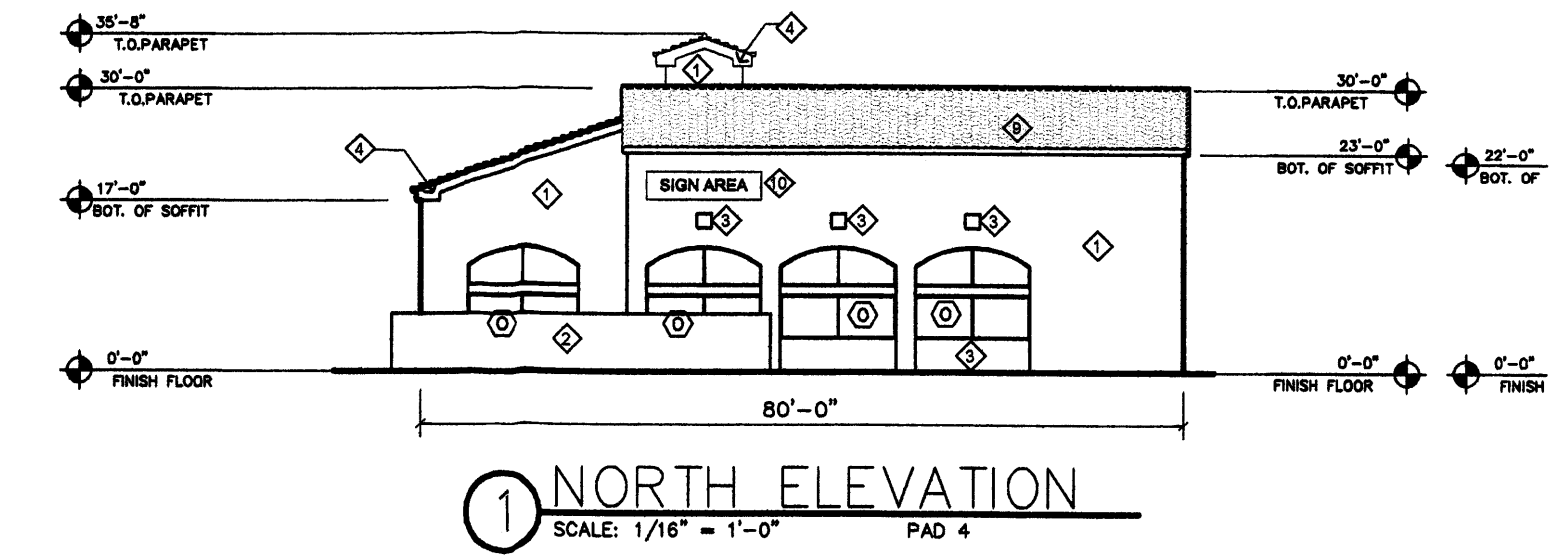
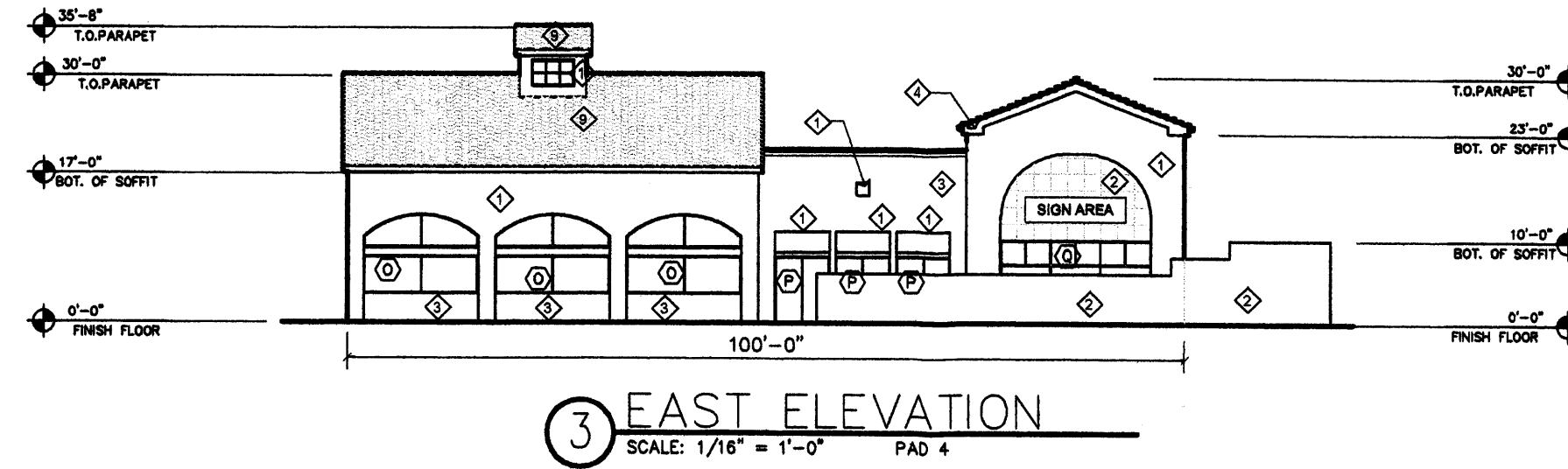
SCALE

of

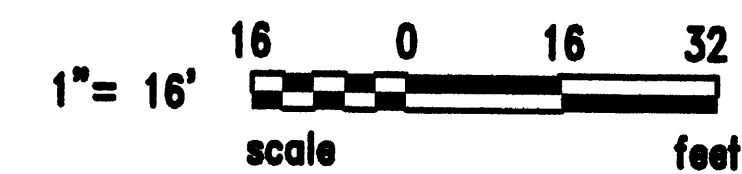
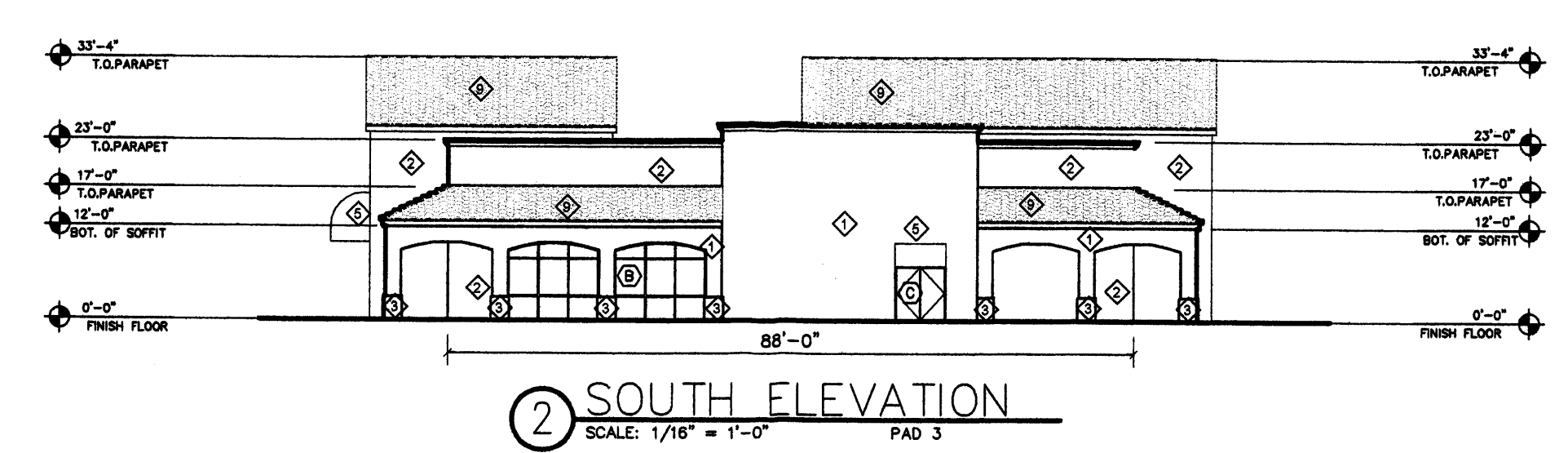
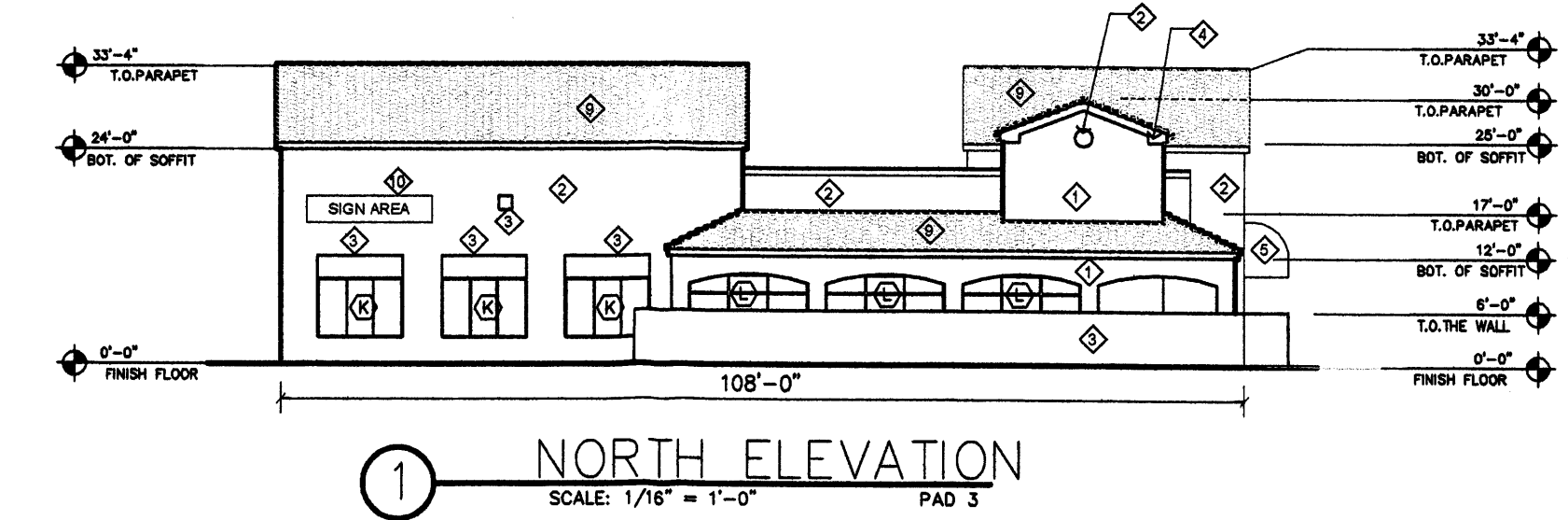
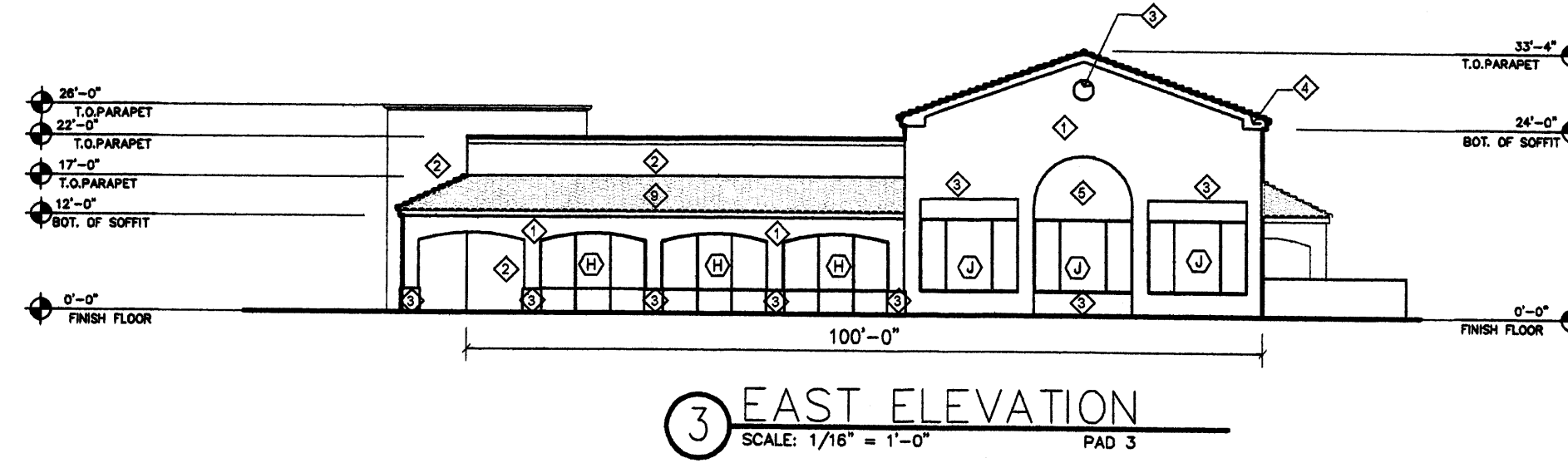
1/16"=1'-0"



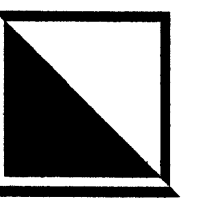
Keyed Color / Material Schedule	Common Name
① STUCCO COAST POINT SW 2053	LIGHT BEIGE
② STUCCO BEDOUIN BEIGE SW 2044	MEDIUM BEIGE
③ STUCCO PICNIC TABLE SW 2047	MEDIUM DARK BEIGE
④ STUCCO MULBERRY SILK SW 0001	BROWN-RED
⑤ STUCCO HARVEST GOLD SW 2858	WHITE
⑥ TUBE STEEL CANOPY 07 REDWOOD	RED
⑦ LIGHT FIXTURE BLACK	BLACK
⑧ DOWNSPOUT PAINT TO MATCH ADJACENT FINISH	
⑨ TILE ROOF WESTILE- MISSION BLEND FLASHED	
⑩ SIGNAGE SEE DESIGN STANDARD SECTION-J	



KEY PLAN



REV	DATE	BY	REVISION
1		JCS	PLANNER COMMENTS
2			
3			
4			
5			
6			



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
OXBOW TOWN CENTER  
JOSEPH AND COORS BLVD FRONT  
ALBUQUERQUE, NM

PROJECT MANAGER  
GEORGE RAINHART

JOB NO.  
1084

DRAWN BY  
NMH

SHEET TITLE  
ELEVATIONS PAD 3 & PAD 4

DATE  
1/31/07

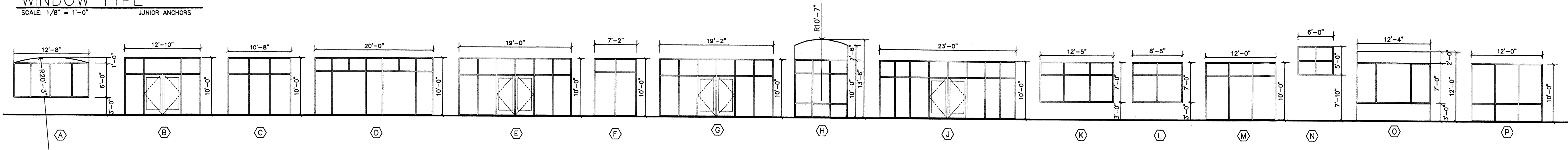
SCALE  
1/16"=1'-0"

sheet  
A3.5  
of



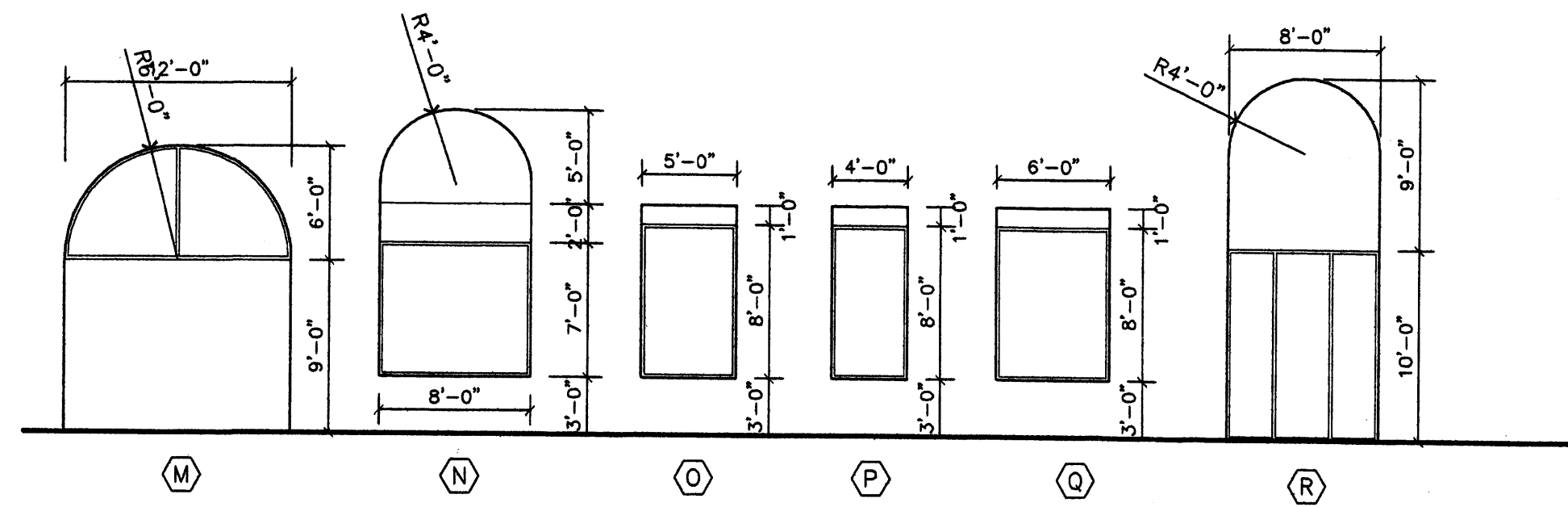
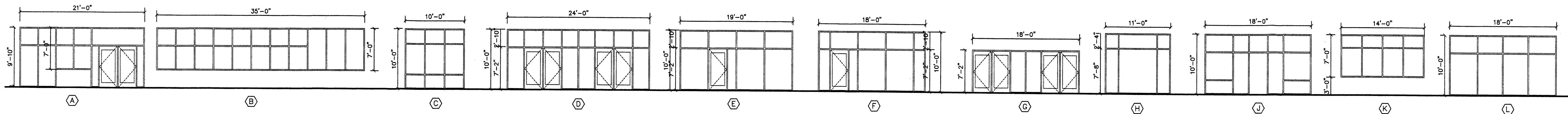
WINDOW TYPE

SCALE: 1/8" = 1'-0" JUNIOR ANCHORS



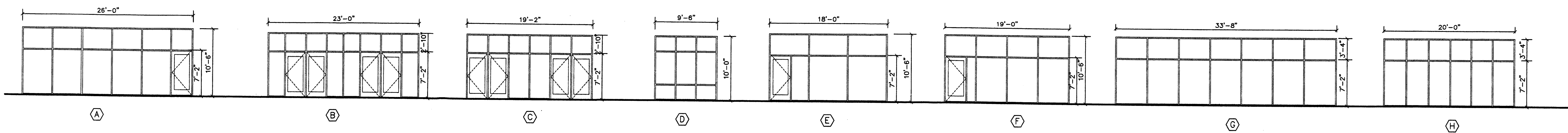
WINDOW TYPE

SCALE: 1/8" = 1'-0" MAJOR JUNIOR ANCHORS



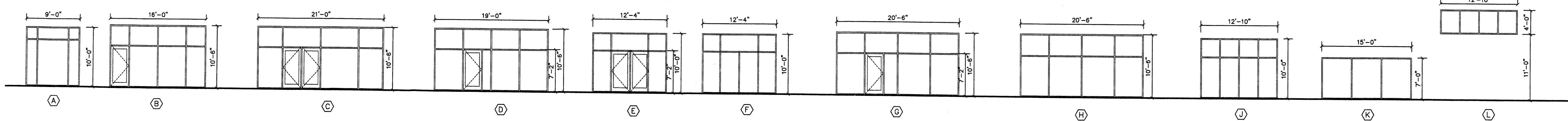
WINDOW TYPE

SCALE: 1/4" = 1'-0" EAST SHOP



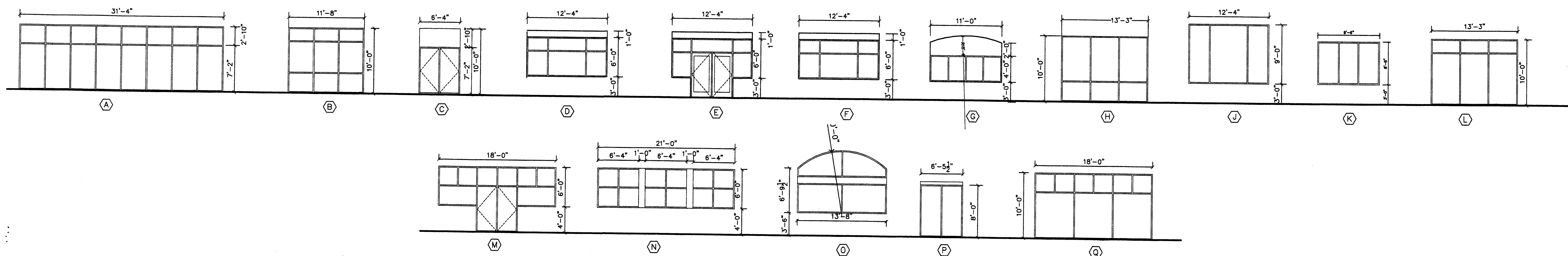
WINDOW TYPE

SCALE: 1/4" = 1'-0" WEST SHOP

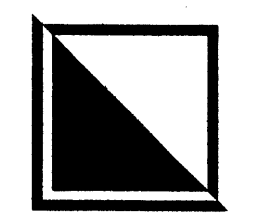


WINDOW TYPE

SCALE: 1/8" = 1'-0" SHOPS PAD3& PAD4



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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**OXBOW TOWN CENTER**  
 JOSEPH AND COOPER BLVD. FRONT  
 ALBUQUERQUE, NM

PROJECT MANAGER  
 GEORGE RAINHART

DRAWN BY  
 MAH

JOB NO.  
 0884

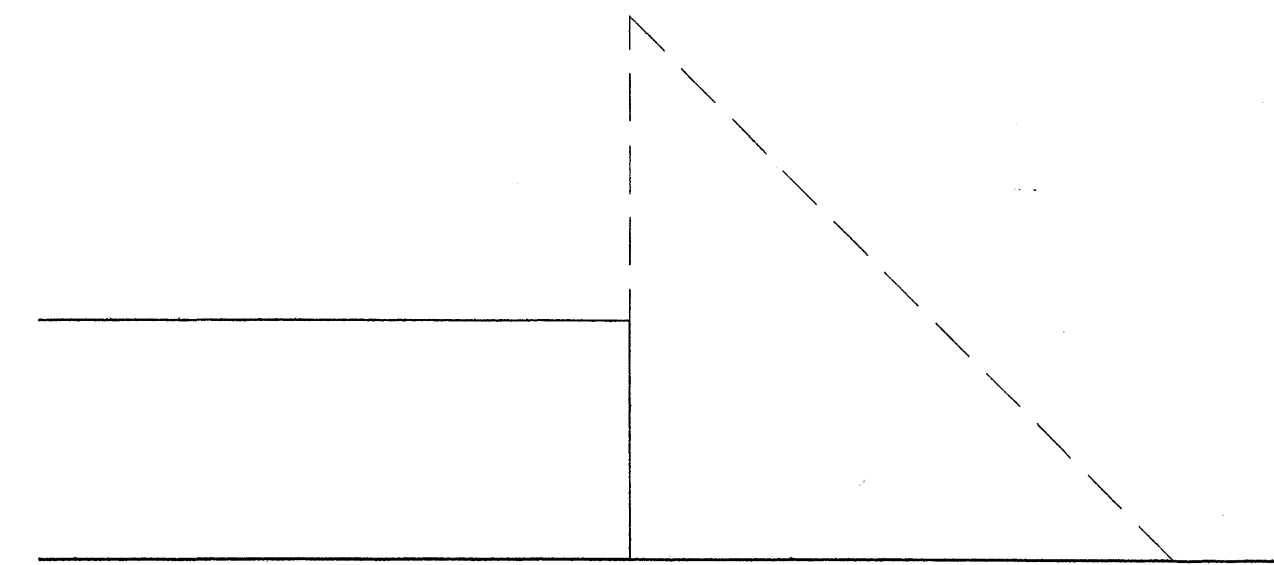
SHEET TITLE  
**WINDOW ELEVATIONS**

DATE:  
 1/31/07

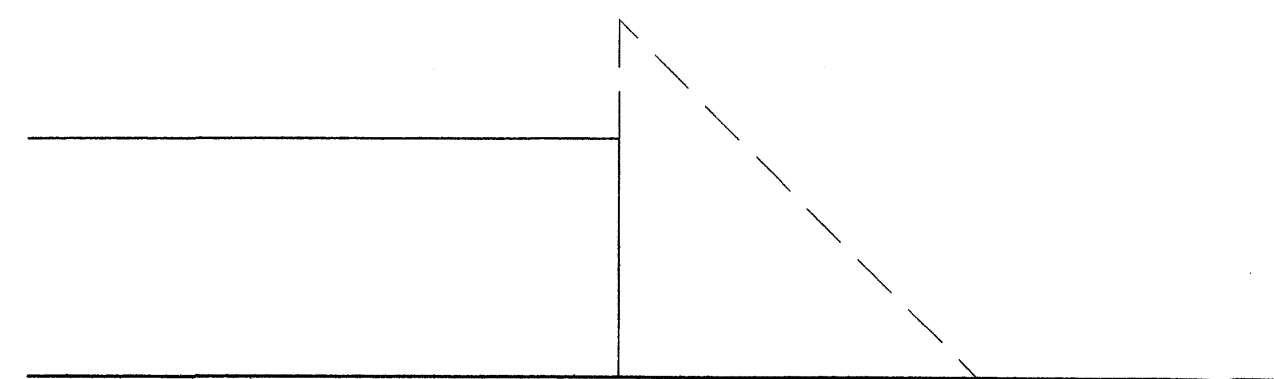
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sheet:  
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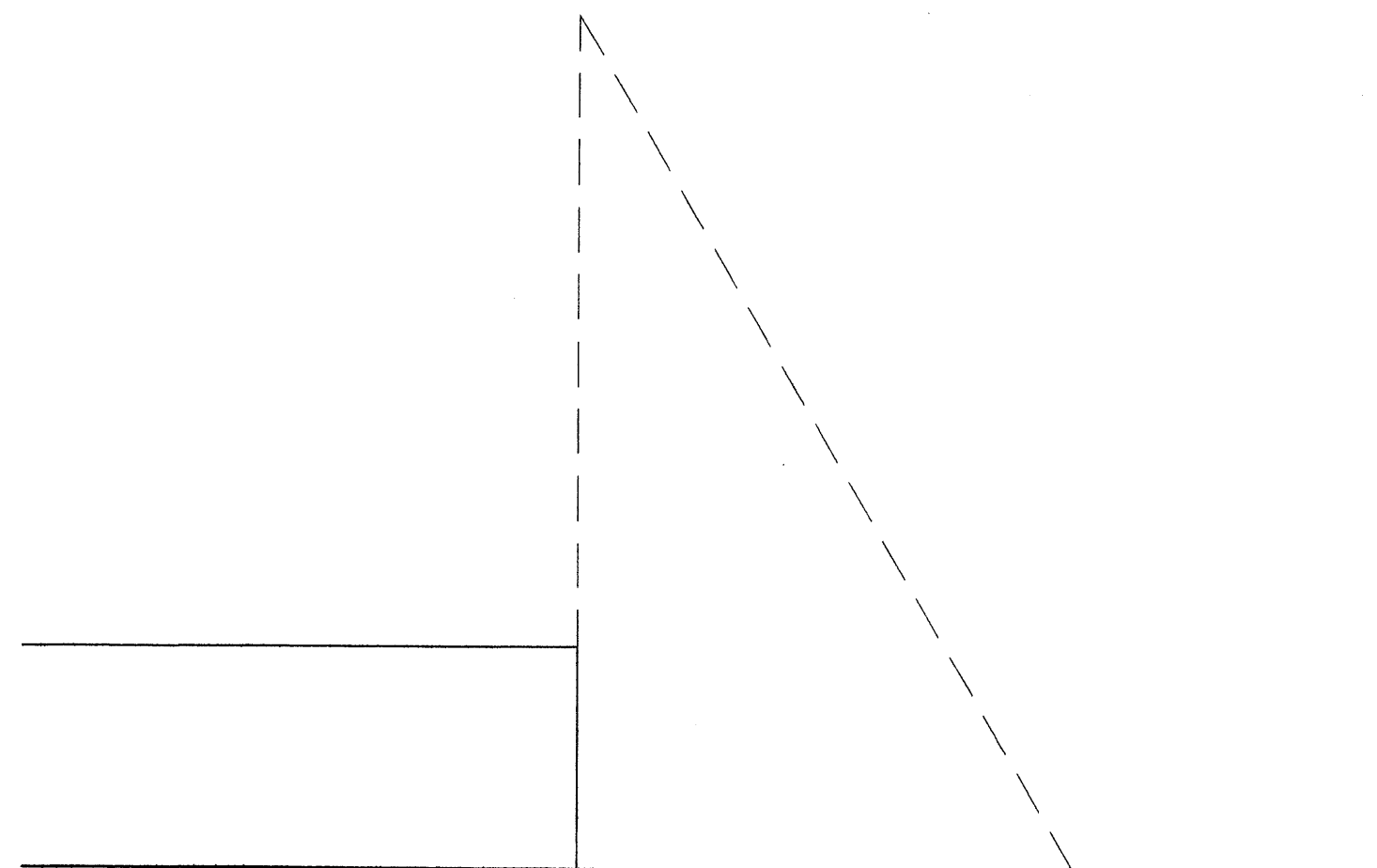




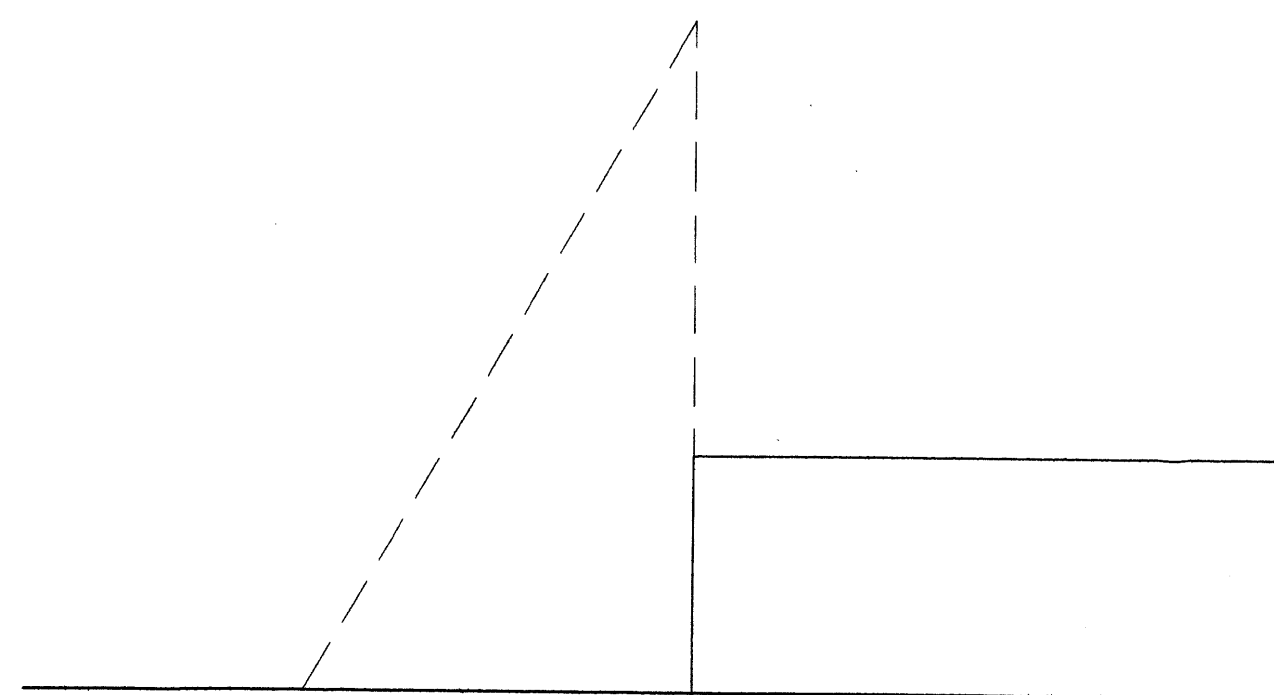
NORTH PROPERTY LINE



EAST PROPERTY LINE  
(COORS BLVD)



SOUTH PROPERTY LINE  
(ST. JOSEPHS)



WEST PROPERTY LINE

### HEIGHT ANALYSIS

1/32" = 1'-0"

#### DATA FOR SITE PLAN FOR BUILDING PERMIT

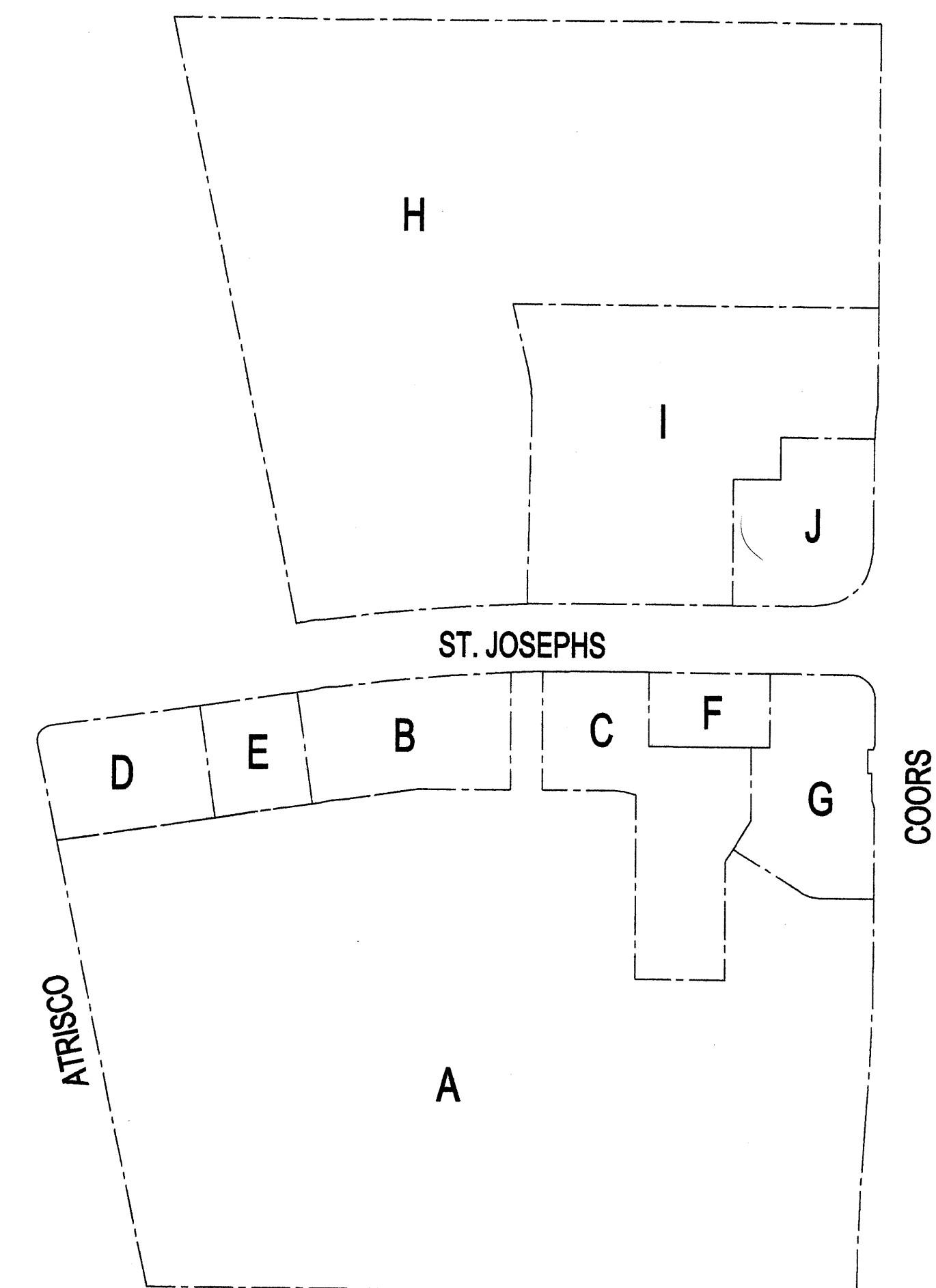
PARCEL	LAND AREA	ZONING	MAX. BUILDING HEIGHT	FLOOR AREA RATIO	BUILDING	BUILDING S.F.	REQUIRED PARKING	TRANSIT DISCOUNT	PROVIDED PARKING*	H.C. PARKING	MOTORCYCLE PARKING
A	858194 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	1 MAJOR ANCHOR AND SHOPS	89965	381	10%	343	12	6
						6000					
						4889					
						3800					
						25185					
					2 JUNIOR ANCHORS	14838	390	10%	351	12	6
						30431					
						30025					
						12000					
						4					
B	57294 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	5	6000	60	10%	54	4	4
C	85704 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	6	8000	135	10%	122	8	4
TOTALS						1136	10%	1023	-	-	

SUBTOTAL IS BEFORE THE 10% TRANSIT DISCOUNT IS TAKEN.  
\*PROVIDED PARKING NUMBERS INCLUDE HANDICAPPED AND MOTORCYCLE PARKING.

#### DATA FOR SITE PLAN FOR SUBDIVISION

PARCEL	LAND AREA	ZONING	MAX. BUILDING HEIGHT	FLOOR AREA RATIO	BUILDING	BUILDING S.F.	REQUIRED PARKING	TRANSIT DISCOUNT	PROVIDED PARKING*	H.C. PARKING	MOTORCYCLE PARKING
D	44851 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	BANK	6000	30	-	33	2	2
E	27078 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	RETAIL	6000	30	-	35	2	2
F	21902 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	RESTAURANT	2000	13	-	13	2	1
G	61228 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	RETAIL	9000	45	-	45	2	2
						64000					
						64000					
						64000					
H	670928 S.F.	SU-3 FOR C2 & D-1	40'-0"	.35	OFFICE	64000	227	15%	193	8	5
						64000					
						64000					
						64000					
I	202104 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	RESTAURANT	6000	100	-	100	4	4
						6000					
J	51523 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	BANK	5000	25	-	25	2	2
						5000					
TOTALS						1251	-	-	1123	-	-

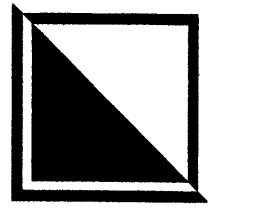
85% EFFICIENCY TAKEN ON OFFICE BUILDINGS  
\*PROVIDED PARKING NUMBERS INCLUDE HANDICAPPED AND MOTORCYCLE PARKING.

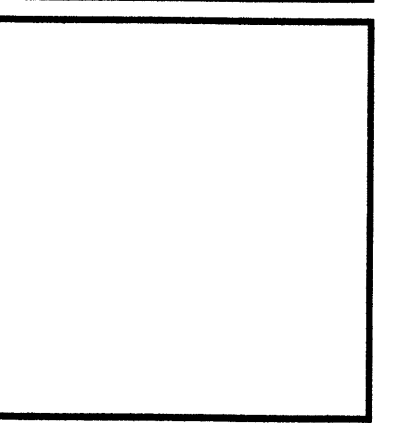


### PARCEL PLAN

N.T.S.

REV	DATE	BY	REVISION
1		JCS	PLANNING COMMENTS
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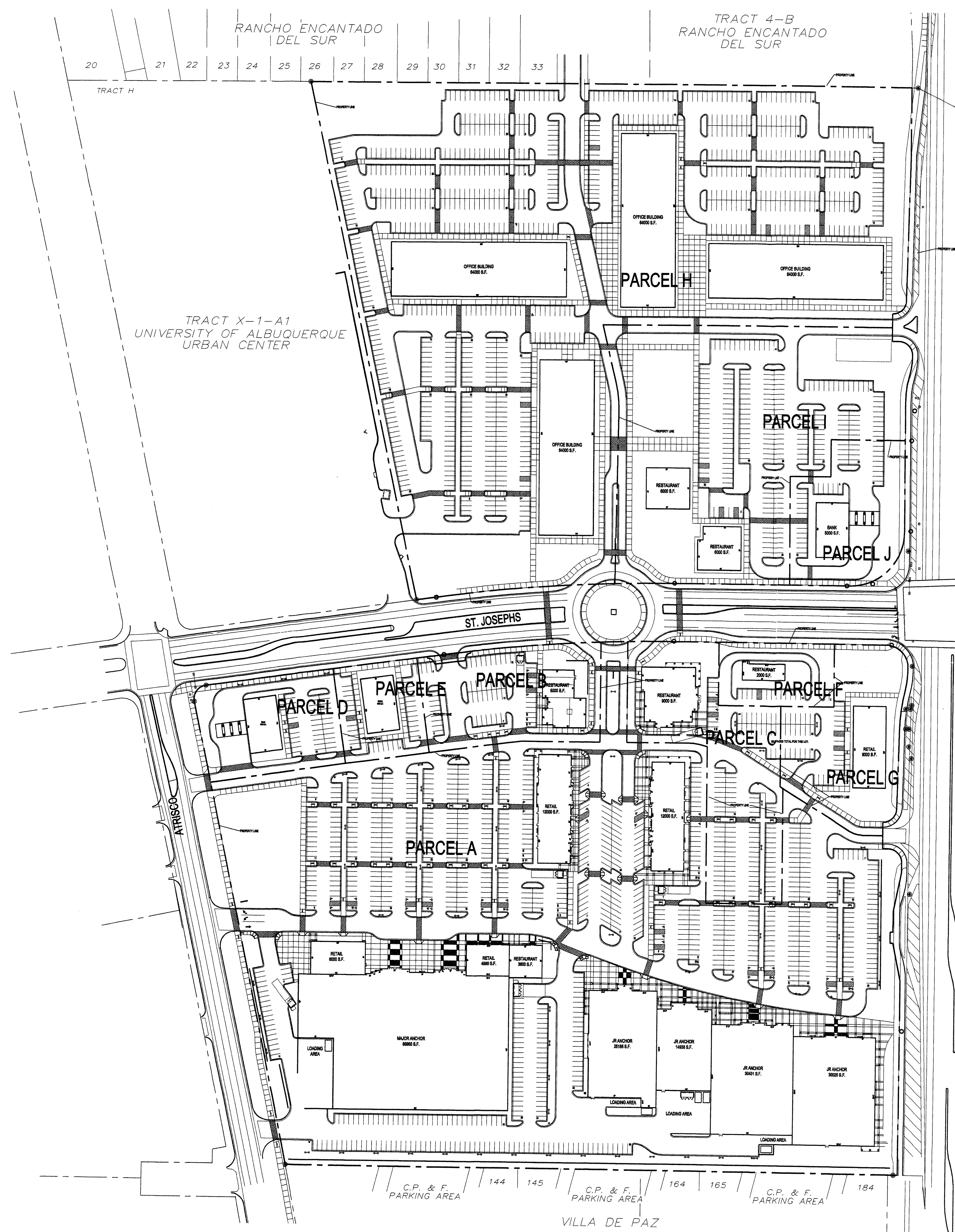
  
 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



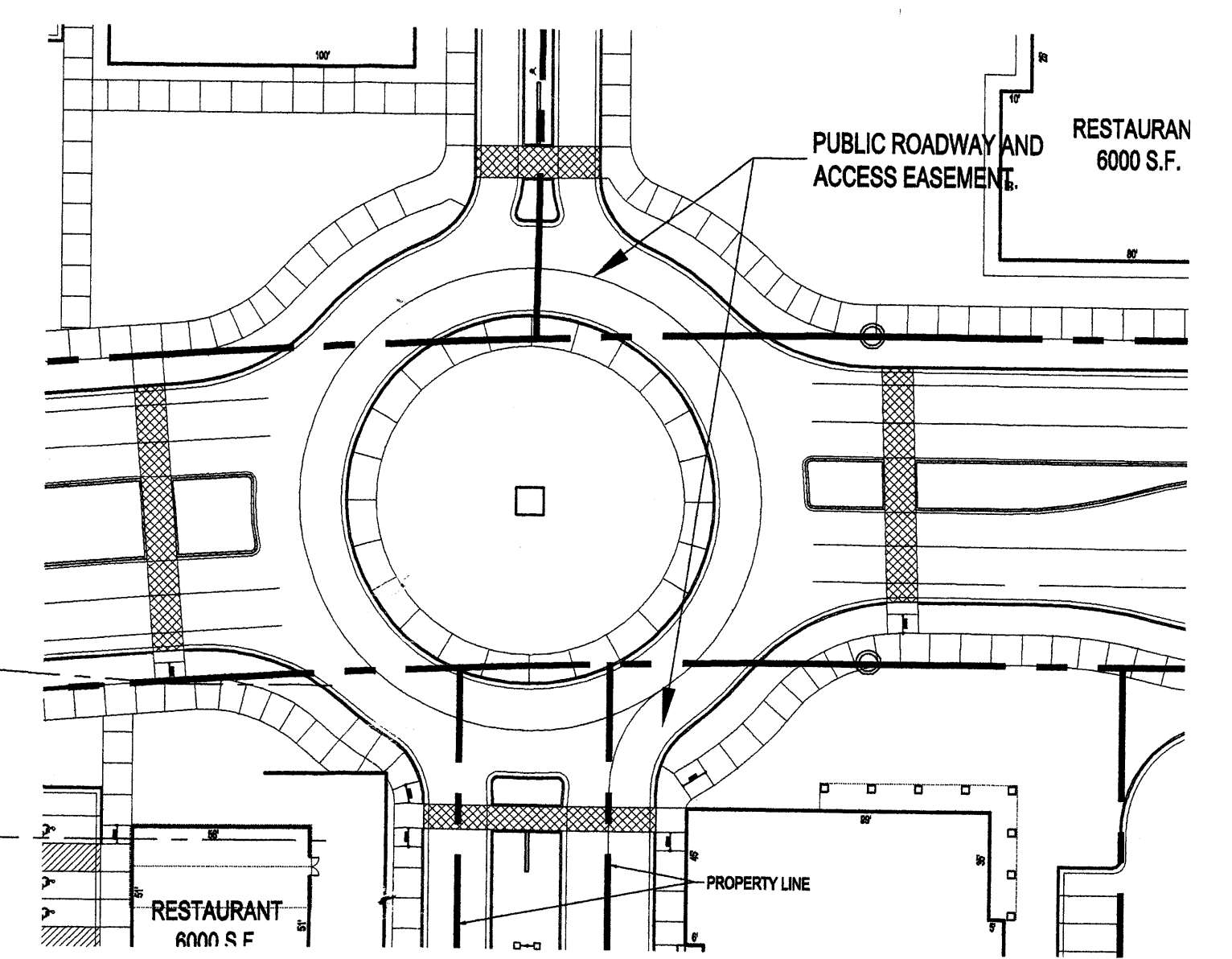
PROJECT TITLE	PROJECT MANAGER	JOB NO.	DRAWN BY:
<b>OXBOW TOWN CENTER</b> COORS AND ST. JOSEPHS ALBUQUERQUE, NM			JCS
SHEET TITLE		SHEET NO.	
<b>SITE DATA</b>			

DATE:	sheet-
12.20.06	AS1
SCALE:	of-
AS NOTED	





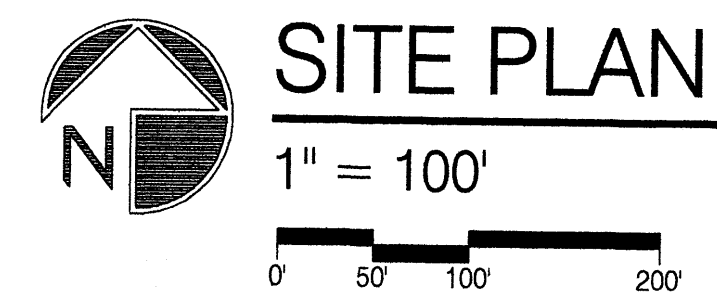
NCS/ALBUQUERQUE CONTROL SURVEY  
 MONUMENT "JOSEPH 1869"  
 N.M. State Plane Coordinates  
 (Central Zone - NAD83)  
 UTM Zone 18Q  
 Y=1,502,246.75  
 X=38,888.83  
 Delta Azim. = -001°3'24"  
 Ground to Grid Factor = 0.9997501  
 Elevation = 5118.61 (NAVD83)



PROPOSED RIGHT-OF-WAY FOR ROUND-A-BOUT  
 1" = 50'

TRACTS X-1-A2 AND X-2-A  
 UNIVERSITY OF ALBUQUERQUE URBAN CENTER WITHIN THE TOWN OF  
 ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH,  
 RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

NCS/ALBUQUERQUE CONTROL SURVEY  
 MONUMENT "JOSEPH 1869"  
 N.M. State Plane Coordinates  
 (Central Zone - NAD83)  
 UTM Zone 18Q  
 Y=1,502,246.75  
 X=38,888.83  
 Delta Azim. = -001°3'24"  
 Ground to Grid Factor = 0.9997501  
 Elevation = 5118.61 (NAVD83)



SITE PLAN

PROJECT NUMBER: 1005357

APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) YES ( ) NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	_____	Date
Water Utility Department	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department *(conditional)	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

\* Environmental Health, if necessary

REV	DATE	BY	REVISION
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 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE: **OXBOW TOWN CENTER**  
 COORS AND ST. JOSEPHS  
 ALBUQUERQUE, NM

PROJECT MANAGER: \_\_\_\_\_

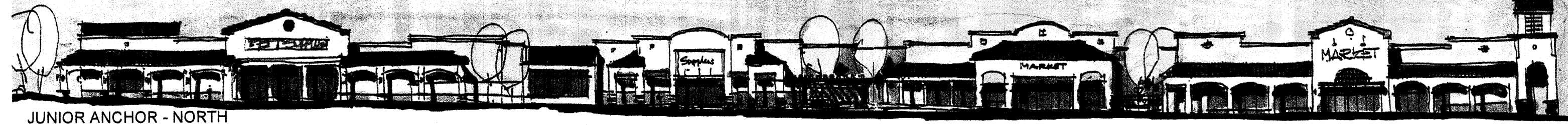
JOB NO.: \_\_\_\_\_

DRAWN BY: JCS

SHEET TITLE: **SITE PLAN FOR SUBDIVISION**

DATE: 12.20.06	sheet-
SCALE: AS NOTED	<b>AS2</b>
	of-





JUNIOR ANCHOR - NORTH



MAJOR ANCHOR - NORTH

**Oxbow Town Center Design Standards**

The following Design Standards for Oxbow Town Center are attached to and made part of the site plan for subdivision. These Design Standards are intended to address areas of the site shown for illustrative purposes, and are provided to ensure a consistent level of development throughout the Oxbow Town Center.

All Site Plans for Building Permits must be consistent with these standards. Site Plans for Building Permits which are in compliance with the Design Standards and Illustrative Site Plans are delegated to the Development Review Board.

After the Environmental Planning Commission has approved the Site Plan for Building Permit, subsequent Site Plans for Building Permit which vary significantly from the Illustrative Site Plan shall be reviewed by the Environmental Planning Commission in accordance with the Comprehensive City Zoning Code Section 14-16-2-22 (A) (6), or at the Planning Director's discretion.

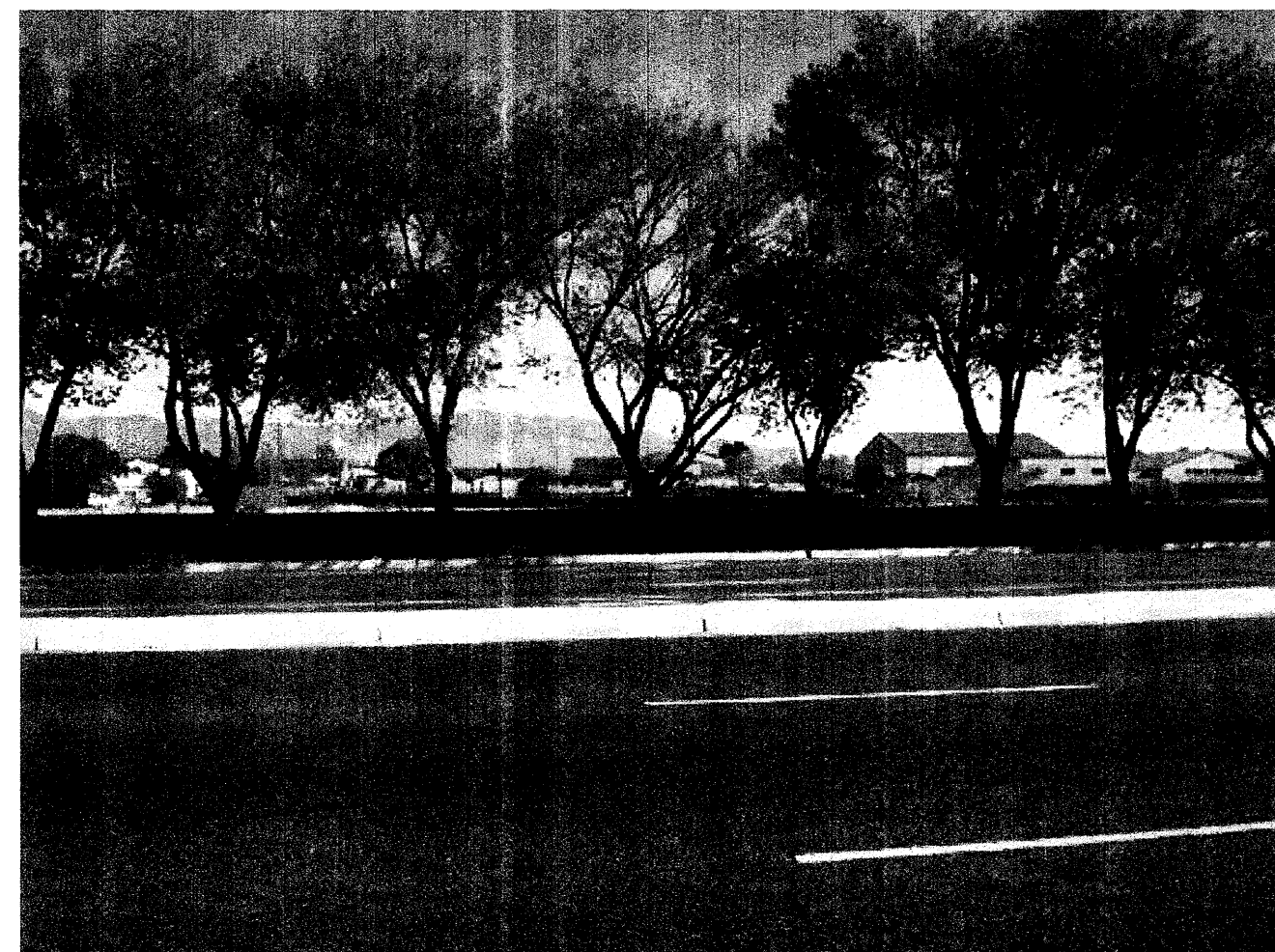
**A. Land use concept**

Oxbow Town Center is located on approximately 48 acres of land at Coors Boulevard and St. Josephs Drive. The north south pedestrian "main street" concept is the dominant design element. This development is composed of retail and office uses. The main street is anchored on the north end by the office development plaza and on the south end by larger retail users. Both the office and larger user areas have east west pedestrian walks connecting to Coors Boulevard. Pedestrian access routes also connect to the smaller streetscape pad users. Parking fields are separated into pods of parking by the buildings and pedestrian walks. The area north of St. Josephs Drive is marked by four separate parking pods scaled to the size of the adjacent users. The area south of St. Josephs Drive is marked by two pods and the main street parking. Each parking area is scaled to service the adjacent users. Oxbow Town Center will include retailers not currently located in this area of the westside of the city as well as a large employment hub. The land use concept envisions providing westside residents a place to work on the westside of the river as well as the opportunity for reverse commuting counter flow to peak traffic direction by workers residing east of the river.

**B. Site Planning**

The goal for Oxbow Town Center is to achieve a consistent high quality, well integrated development. The Building Elevation for the Site Plan for Building Permit and the Illustrative Site Plan for the balance of the development are provided to supplement the written design standards. These documents are to be used together to prepare future site plans for building permit.

- 1) All pedestrian paths shall be designed to be handicapped-accessible (see Americans with Disabilities Act Criteria for Barrier-Free).
- 2) Pedestrian connections to buildings shall be provided in parking lots following the Illustrative Site Plan and shall connect to adjacent roadways, sidewalks, and pathways.
- 3) Pedestrian crossings shall be clearly demarcated with textured, colored concrete where they cross vehicular entrances and drive aisles.
- 4) Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios which shall be shaded by trees and/or a shade structure that shall be architecturally integrated with building architecture.
- 5) Commercial development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- 6) Each building shall be required to provide a minimum outdoor plaza space of 300 sf. This area shall have a minimum of 25% shading, provided by a trellis, trees, and umbrellas. Each developer is responsible for providing pedestrian walkways around the building(s) and connecting the plaza area to adjacent developments following the Illustrative Site Plan.
- 7) Drive-up and pick-up windows shall be oriented away from pedestrian areas and residentially zoned areas in accordance with Section 14-16-3-18 (D) (5) of the Zoning Code.



ST PIUS BERM TREES ON COORS BLVD

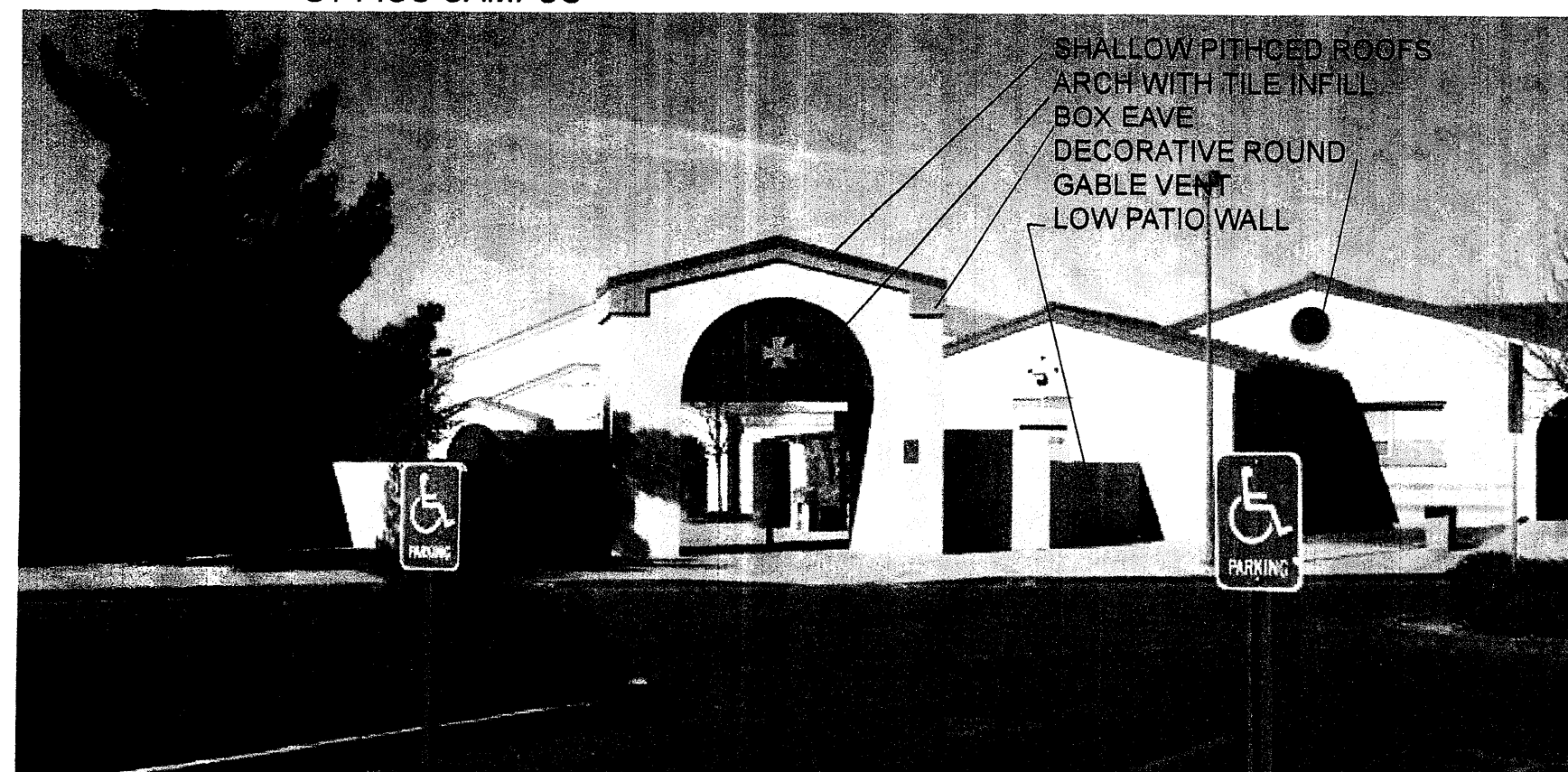
**C. Parking**

Future Site Plans for Building Permit must contain the required parking on the respective parcel. Sites are to follow the Illustrative Site Plan concepts to insure that each site is integrated into the overall traffic circulation plan and that each parking area is separated into small pods of parking with pedestrian connections and planters. See Landscape section.

- 1) Handicapped parking spaces shall be provided adjacent to building entries, per IBC 2003.
- 2) Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link the structures to the Oxbow pedestrian circulation network. Head in parking directly adjacent to the building sidewalks shall be encouraged.
- 3) Parking areas shall be designed to include a pedestrian link to buildings.
- 4) In cases where parking is adjacent to roadways, continuous landscaping for screening purposes shall be required. Architecturally compatible screening walls and/or earth berms may be used in lieu of continuous landscape screening. 3' High at maturity.
- 5) Off-street parking requirements:
  - Retail and financial businesses shall be required to be parked to requirements of the city zoning code plus or minus 10%.
  - Sit-down restaurants and fast food restaurants shall be parked to the requirements of the city zoning code plus or minus 10%.
  - One bicycle parking space shall be provided for every 20 parking spaces for cars.
  - A minimum of two motorcycle parking spaces shall be provided at each of the commercial parcels. Parcels with uses requiring more than 25 parking spaces shall provide motorcycle parking as required by the Comprehensive City Zoning Code.
  - Office use shall be required to be parked to the requirements of the Comprehensive City Zoning Code plus or minus 10%. The parking requirement is based on a 85% occupancy rate

**OXBOW TOWN CENTER WILL DRAW INSPIRATION FROM ADJACENT ARCHITECTURE**

ST PIUS CAMPUS



**D. Landscape**

The following Standards will insure that the landscape fabric of Oxbow Town Center will enhance and unify the entire development. Oxbow landscape palette shall emphasize native and naturalized plant species. These standards shall supplement the Water Conservation Landscaping and Waste Water Ordinance, the Pollen Ordinances, and landscape regulations of the City of Albuquerque Comprehensive City Zoning Code.

Landscape buffer yards at site perimeters bordering rights of way are to enhance streetscapes, screen parking areas and shade pedestrian walks. Landscape buffer yards adjacent to residential zones provide transition area and landscape screen to protect adjacent neighborhoods. Landscape adjacent to structures is to enhance the architecture and provide shading of walks and gathering spaces. Landscaping of parking areas is to visually break up the parking areas and shade pedestrian walks.

The enclosed landscape plans for Building Permit areas, as well as the landscape plan for Illustrative Site Plan areas, shall establish the landscape standard. Buffer yard widths, density and size of plant materials, and types of non-living ground cover areas are shown to establish the minimum standards for the Oxbow Town Center.

The following are minimum standards for the development of specific landscape plans:

- 1) Street trees shall be provided along roadways at a rate of one tree per 25' linear feet. They may be randomly or regularly placed.
- 2) The developer/owner will be responsible for the installation and maintenance of the landscape on their property. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the property owner in a living, attractive condition.
- 3) A minimum of 15 percent of the net site area for commercial projects shall be devoted to landscape materials.
- 4) Landscaped areas shall cover a minimum of 36 square feet or greater shall be planted with a minimum 75% living groundcover. The area and percentage is calculated based on the mature canopy size of all plant materials.
- 5) All planting areas not covered with groundcover shall have a ground topping of river rock, shredded bark, gravel, crushed rock, mulch, or similar material which extends completely under the plant material.
- 6) Landscape headers shall be used to separate any turf and groundcover areas.
- 7) To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 8) 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- 9) An automatic underground irrigation system shall be provided to support all landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- 10) Minimum plant sizes at time of installation shall be as follows:
  - Trees 2" inch caliper, or 10 to 12 feet in height
  - Shrubs and Groundcovers 1 gallon
  - Turf grasses and groundcover shall provide complete ground coverage within 1 growing season after installation.
- 11) Proposed gravity fed water harvesting system shall be sized as follows:
  - A. Water Storage Devices shall be above ground only, constructed of a suitable material for containment of harvested water.
  - b. Containers shall be tied into a building roof gutter systems with filter screen at tank inlet. Gutter systems shall provide additional piping as required to bypass storage devices once full. Water harvesting gutter system shall in no way impede drainage flows from building roof top.
  - B. Water harvesting tank containers shall be sized at a rate of .078 gallons per foot of building roof area w/ a maximum container size of 120 cubic feet per container n.t.e exceeds 3 containers.
- 12) Onsite parking runoff shall be allowed to flow into interior landscape areas as an additional means of onsite water harvesting.

**E. Architectural Design Standards**

The architectural character of all structures and buildings will follow the theme described below and is described by the Illustrative Site Plan and the elevations of the Site Plan for Building Permit

The Oxbow Town Center mission style of architecture incorporates details found on the adjacent St. Pius high school campus and the adjacent St. Joseph church. The St. Pius campus mission style is characterized by low pitch mission style tile roofs contrasted with gable ends of adjacent buildings. Gables are accented with darker colored fascia trim with boxed eaves and full radius circular arches infilled with contrasting darker colored ceramic tile. Many gable areas are accented with a circular attic vent. The mission style architecture of the church is accented by dominant bell tower elements. The church roof design expresses both gable ends and hip conditions. This architectural vocabulary for the Oxbow Town Center site plan will provide a high level of architectural compatibility with the adjacent developments. Structures may be pitched or flat roofed. Pitched roof elements are to be roofed with the mission roof tile units described in the color palette. Portals (covered walkways) and other building appendages may be roofed with mission roof tile units. These roofs are to be shed type with the high point abutting the main building wall below the top of the parapet. Roofs may be terminated with either a gable end or hip. Cornice treatment is to be used at top of parapet walls and at eaves of pitched roof elements. Maximum building parapet height is limited to 40'. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building is to be based on the average height between the plate and ridge.

Color palette- SW (Sherwin Williams)	Common Name
1. Stucco Coast Point SW 2053	Light Tan
2. Stucco Bedouin Beige SW 2044	Medium Tan
3. Stucco Picnic Table SW 2047	Brown
4. Stucco Mulberry Silk SW 0001	Mauve
5. Stucco Collector's White SW 1907 LVR 87%	Off White
6. Tube Steel Canopy 07 Redwood	Red Brown
7. Light Fixture Black	Black
8. Downspout Paint to Match Adjacent Finish	N/A
9. Tile Roof Westile - Mission Blend Flashed	Terracotta
10. Signage See Section J	N/A
11. Stucco Harvest Gold SW 2868	Gold

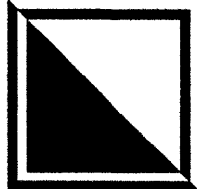
The following are minimum architectural standards for the commercial development:

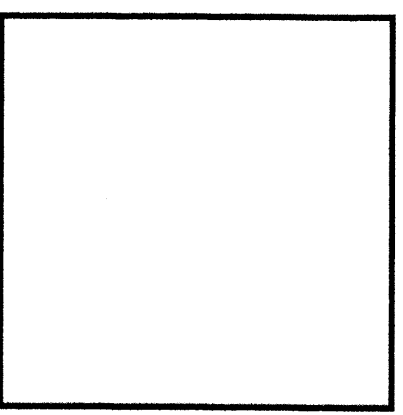
- 1) Maximum building height is limited to 40', subject to compliance with Coors Corridor Plan Height Analysis. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.
- 2) Commercial buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code. 2003 IBC and other local building and fire codes.
- 3) Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage shall be permitted, provided the area when added to all other wall signage does not exceed the allowable sign area of building wall. Illumination of awnings shall be from pendant mounted fixtures located above the awning. Accent colors on awnings shall be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.
- 4) Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.
- 5) No plastic or vinyl building panels, awnings, or canopies are allowed.
- 6) All franchise architecture shall be required to respond through architectural detail massing, color and materials.

ST JOSEPH CHURCH



REV	DATE	BY	REVISION
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**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

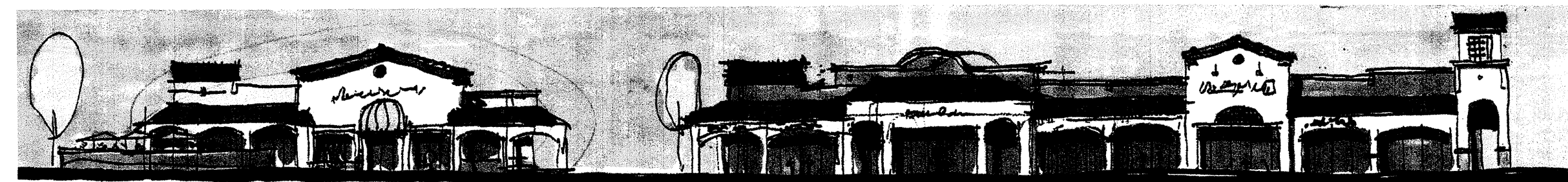


PROJECT TITLE  
**OXBOW TOWN CENTER**  
 COORS AND ST. JOSEPHS  
 ALBUQUERQUE, NM  
 PROJECT MANAGER  
 DRAWN BY: JCS  
 ASB NO.

**DESIGN STANDARDS**  
 SHEET TITLE

DATE: 12.20.06  
 SCALE: AS NOTED  
 sheet: **AS5**  
 of:





**F. Setbacks**

The use of building and parking area setbacks shall be required to provide space for the creation of visually attractive streetscapes. Pedestrian walkways and screening materials, including landscaping, earthen berms and/or walls shall be permitted within the setbacks.

- 1) Building setbacks for the commercial parcels include:
  - Coors Boulevard, St. Joseph's Drive and Atrisco Blvd: 20 foot minimum.
  - Internal roads: 10 foot maximum, 0 foot minimum
  - Internal side yards: 5 foot minimum
- 2) Public outdoors spaces must be provided according to City Zoning Code Regulations (14-16-3-18-C4).

**G. Lighting**

Basic site lighting shall provide adequate illumination to create a safe and secure environment in parking areas. Pedestrian scale decorating fixtures shall be used to illuminate pedestrian walks and plazas. Accent lighting of landscaping and architecture is encouraged.

The following minimum standards shall be required for the design of the lighting system:

- 1) All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- 2) Site lighting for pad structures is to match the site lighting provided for the main commercial parking area.
- 3) All site lighting shall not exceed 20 feet from the finished grade to the top of the pole. Main commercial parking area lighting shall not exceed 20 feet. Parking lot lights within 100 feet of residential areas shall be a maximum of 16 feet high from finished grade to the top of the pole.
- 4) Exposed, unshielded light fixtures are prohibited. All lamps shall be shielded shoe box-type, or similar and painted to match color of pedestrian scale fixtures. Color to be dark bronze.
- 5) Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- 6) The location of light fixtures shall be identified on subsequent Site Plans for Building Permit.
- 7) Pedestrian scale light fixtures for pedestrian walks and plaza areas to be a maximum 16' high.
- 8) All lighting shall comply with State of New Mexico Dark Sky Statute.
- 9) Limited use of neon within permitted sign area maybe considered.

**H. Screening/Buffering**

Screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and mechanical and site utility equipment is essential to limit their adverse visual impact on the property. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

**1. MECHANICAL EQUIPMENT SCREENING**

All mechanical equipment shall be screened from view of the adjacent parking area, public right-of-way and from the ground level of adjacent residential areas.

**2. SPECIAL BUFFERING**

Drive up pick-up windows facing adjacent rights of way shall be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

**3. SERVICE AREAS (LOADING AREAS)**

Service areas such as refuse locations and compactors are to be totally screened from the view of the adjacent residential area, public rights-of-way with a minimum 6' stucco faced screen wall. Free-standing dumpster and compactor locations are to be gated. Screening material to match building wall color and material.

**4. SCREENING OF UTILITIES**

Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. When an above-ground back flow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

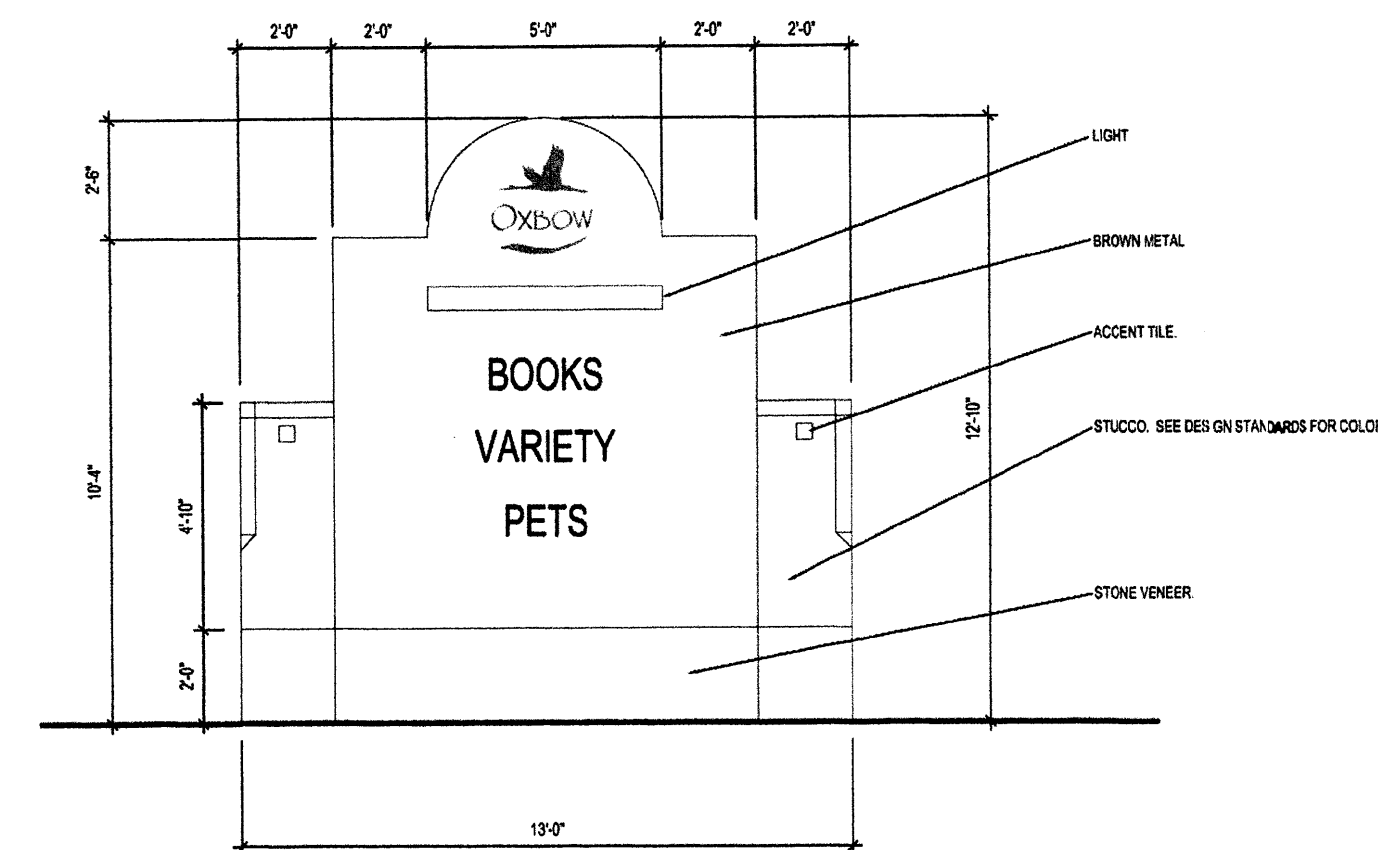
**5. WALL DESIGN STANDARDS**

All screen walls to be CMU with stucco finish and color and color to match the Adjacent Building.

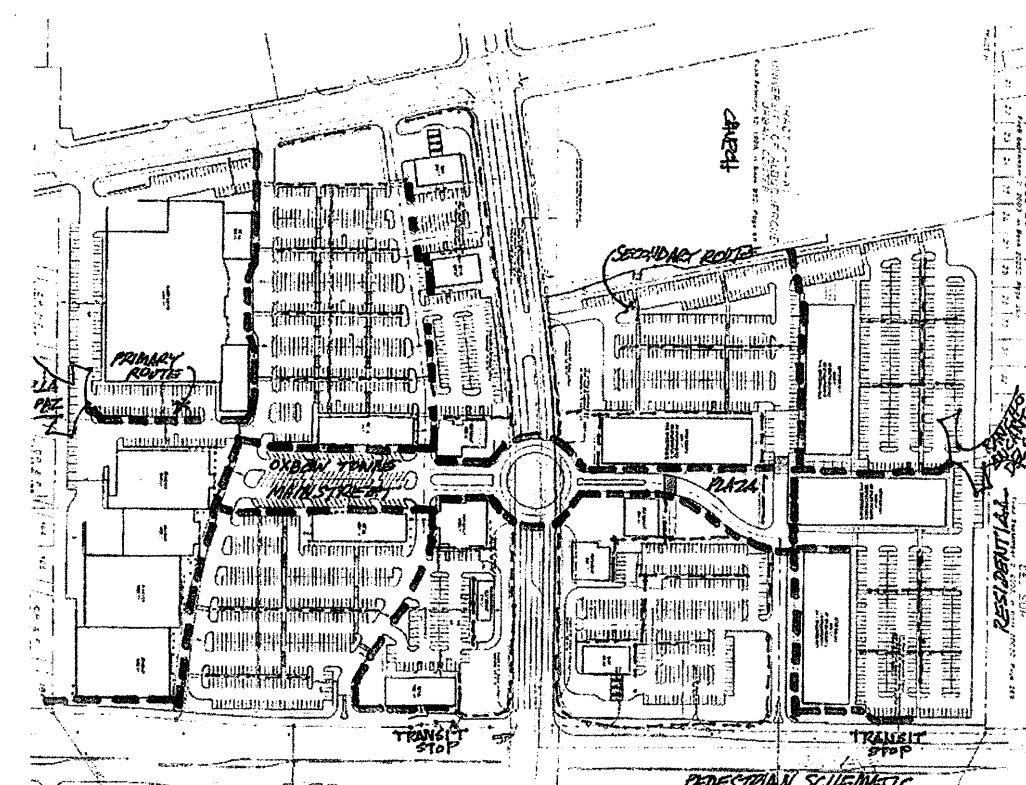
- Minimum wall heights to be:
- Service Areas 6' High
  - Parking Areas 3'-4' High
  - Refuse Enclosures 6' High

**I. Free standing signage**

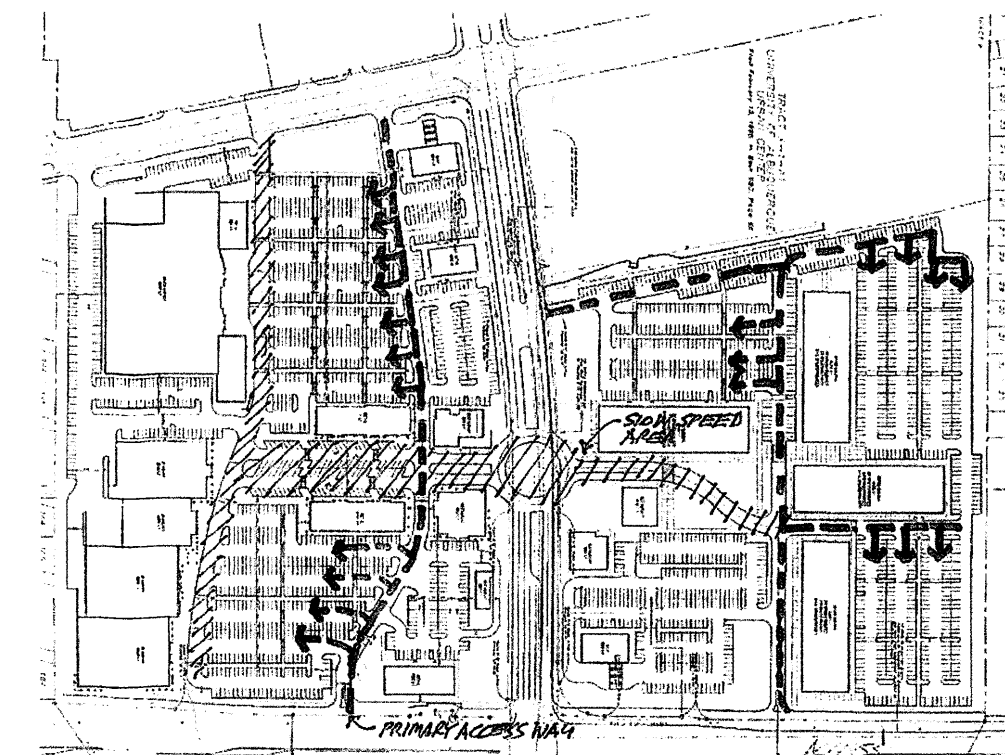
Architecturally coordinated signs are planned. Five large 75 sf monument signs are located on the site plan. These signs are located on the site plan.



75 S.F. LARGE MONUMENT SIGN



PEDESTRIAN ACCESS



VEHICULAR ACCESS



ILLUSTRATIVE OFFICE BUILDING ELEVATION

**J. Building signage**

All signage shall be individual type lettering not to exceed:

- 12'-0" x 1'-6" total sign area for shops.
- 20' x 4'-0" total sign area for Junior anchor stores up to 40,000 sf.
- 40' x 5' total sign area for major stores larger than 40,000 sf.

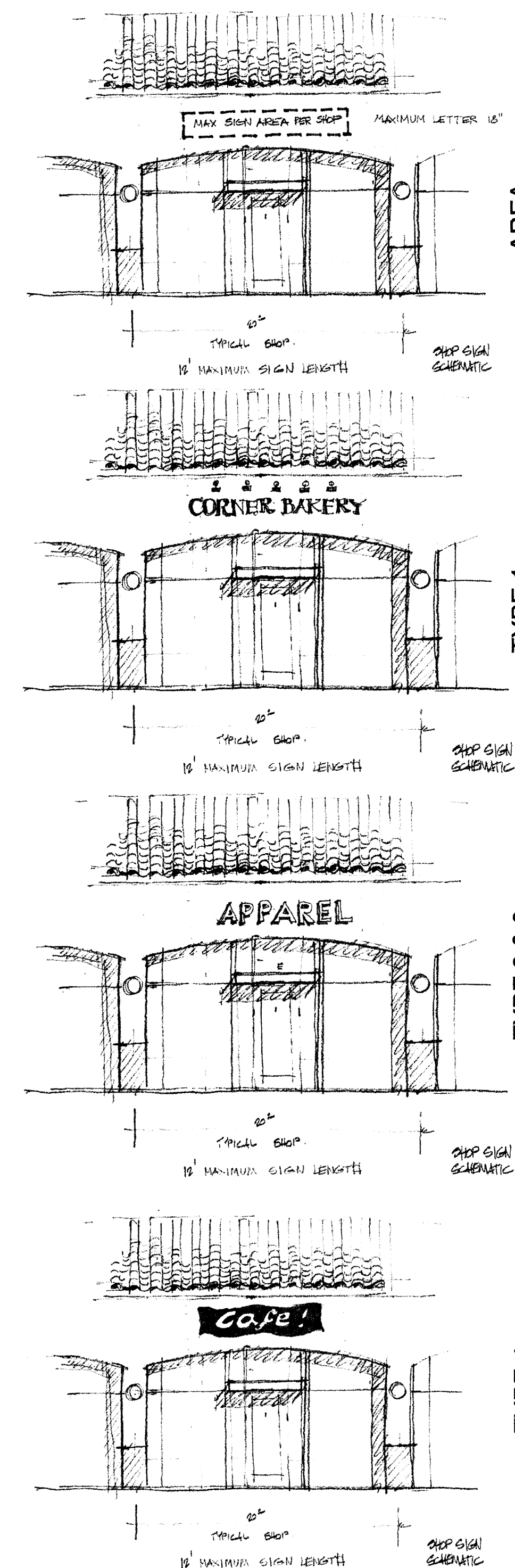
Stores with sides facing public road or internal drives may have a second sign on the side wall.

Freestanding pad buildings sign area shall not exceed 15' x 2' per building side per building side.

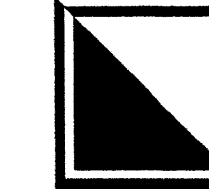
All signs are to be of individual letters. The following types of letters are acceptable:

- Type 1. Opaque lettering indirectly illuminated by goose neck type lighting.
- Type 2. Channel letters internally illuminated with letter sides to match letter face colors.
- Type 3. Same as 2 except halo lit.
- Type 4. Halo lit letters cut out of solid metal background spaced off the face of the building.

Can-type signs shall be prohibited. Special logos associated with a specific tenant shall be submitted in a non-internally illuminated fashion for specific approval by the Owner and City Planning Director. Neon signage within allowable sign area shall be submitted for specific approval. See building signage illustration.



REV	DATE	BY	REVISION
1			
2			
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5			

  
**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

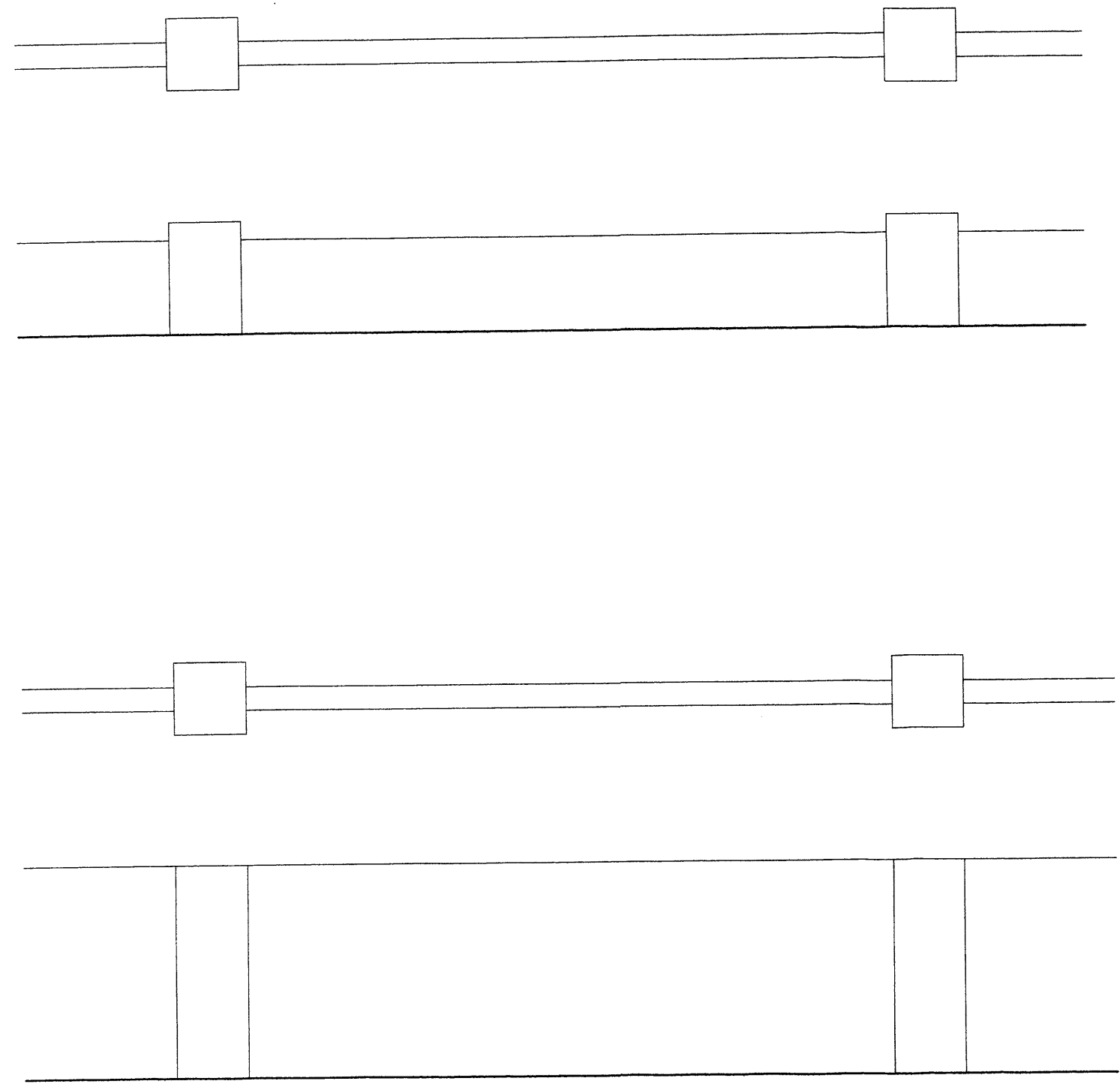
PROJECT TITLE  
**OXBOW TOWN CENTER**  
 COORS AND ST. JOSEPHS  
 ALBUQUERQUE, NM  
 PROJECT MANAGER  
 JOB NO.

DRAWN BY:  
 JCS  
 SHEET TITLE  
**DESIGN STANDARDS**

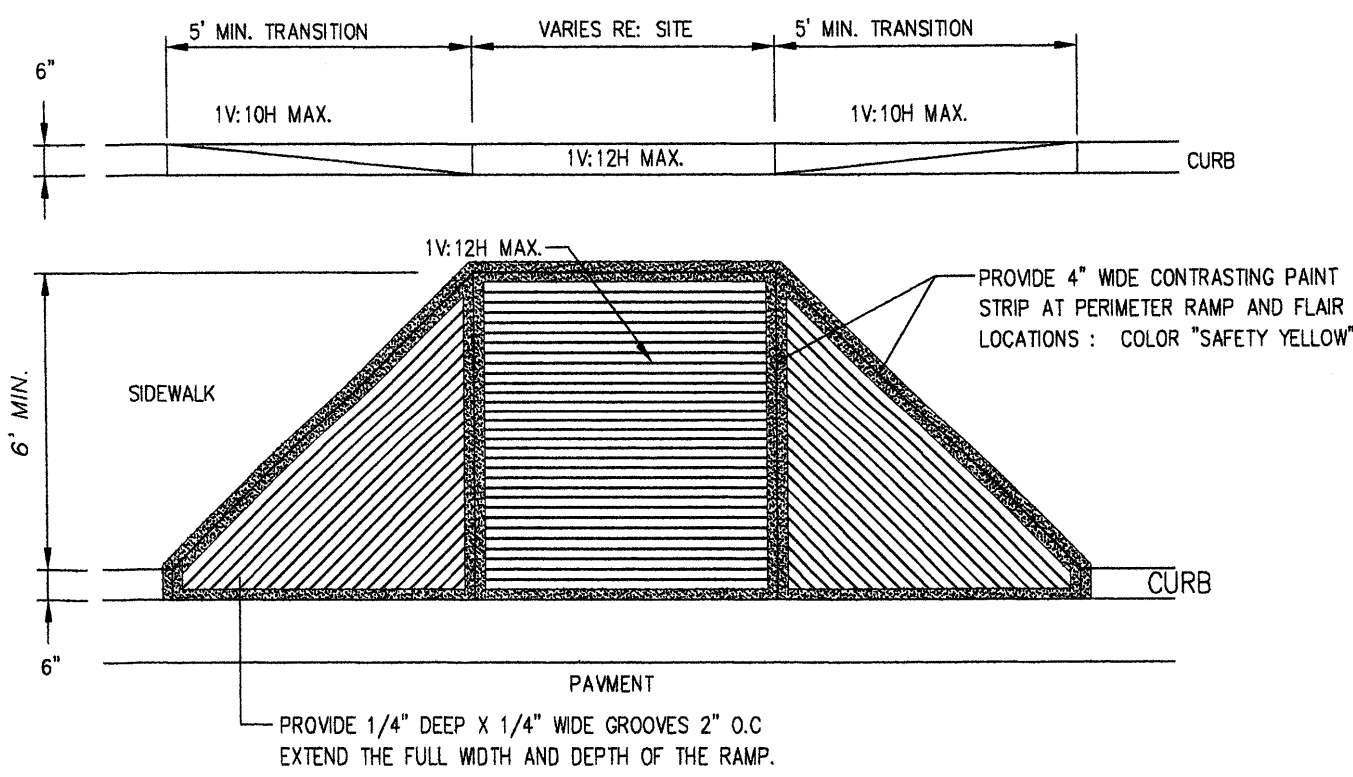
DATE:  
 12.20.06  
 SCALE:  
 AS NOTED

sheet:  
**AS6**  
 of.

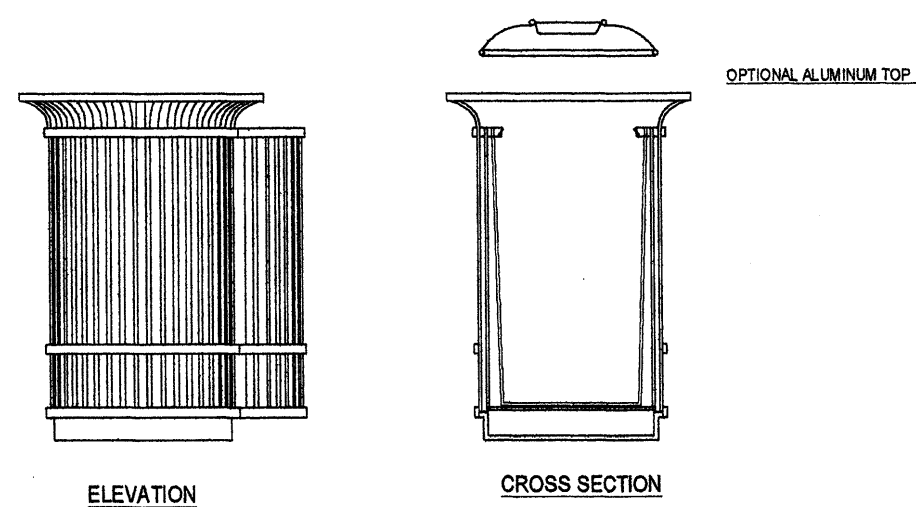
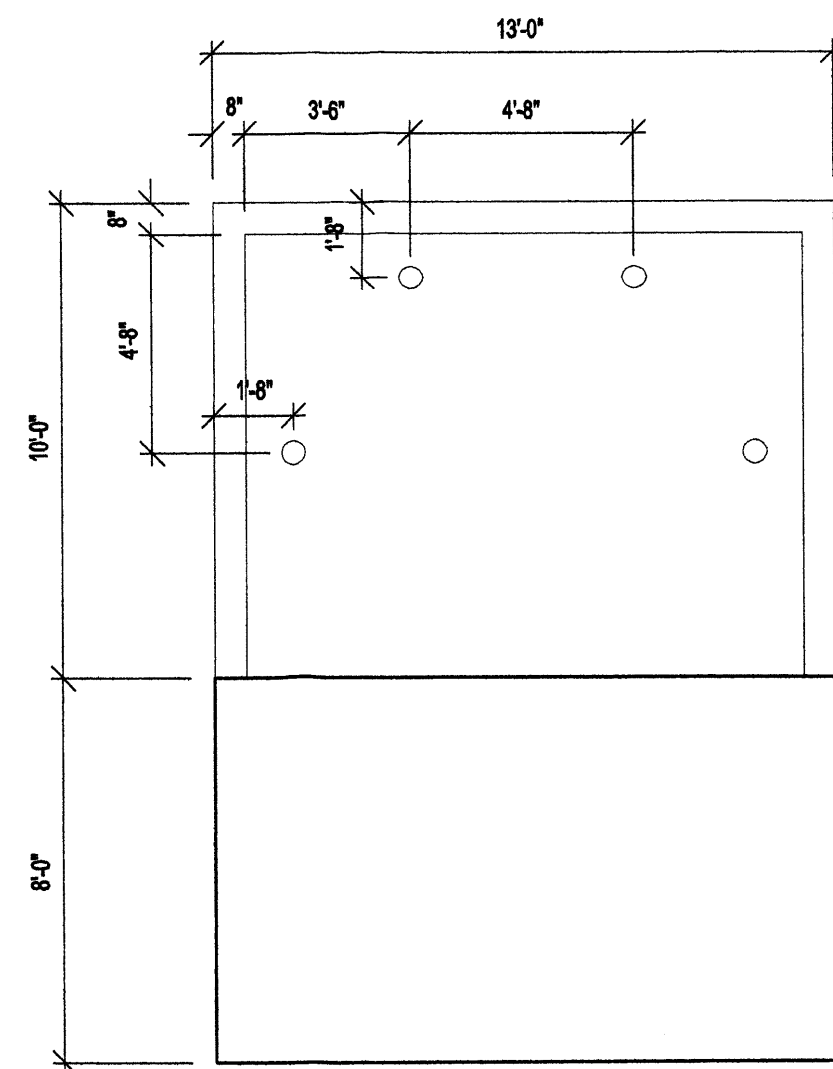




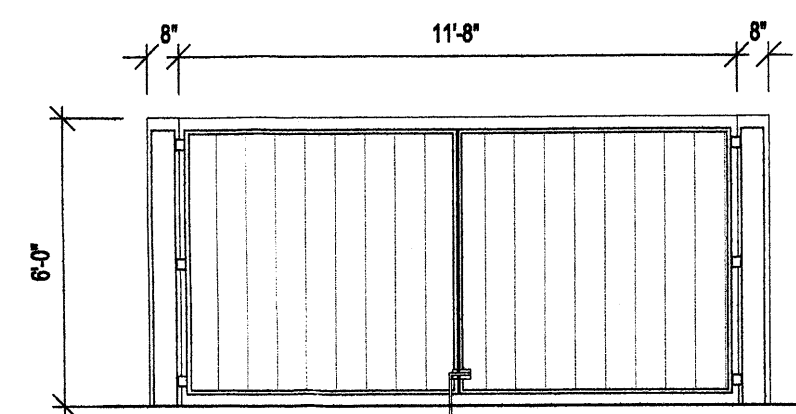
**I** SCREEN WALLS  
1/4" = 1'-0"



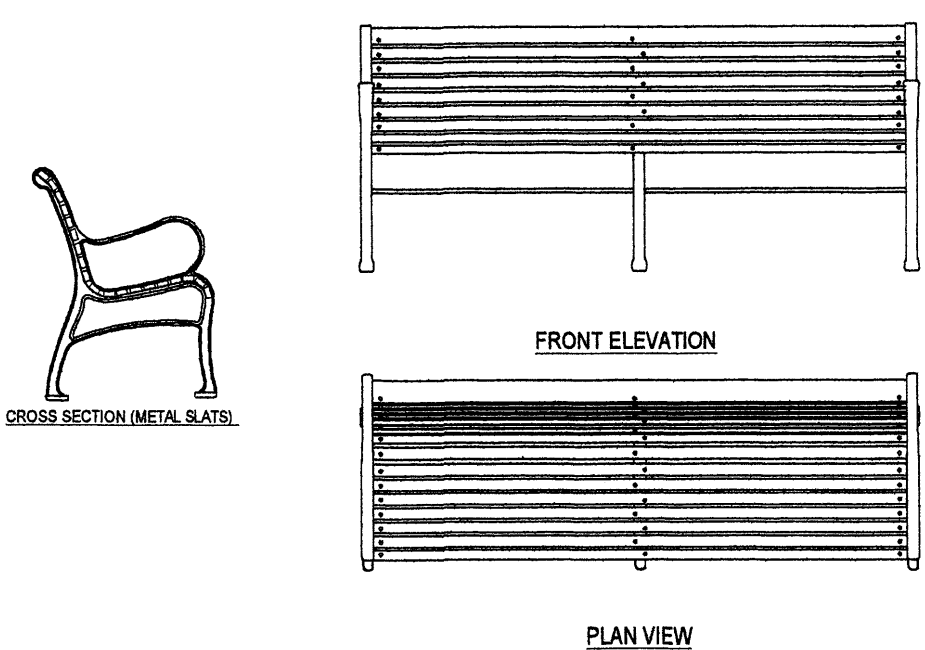
**J** H.C. RAMP  
N.T.S.



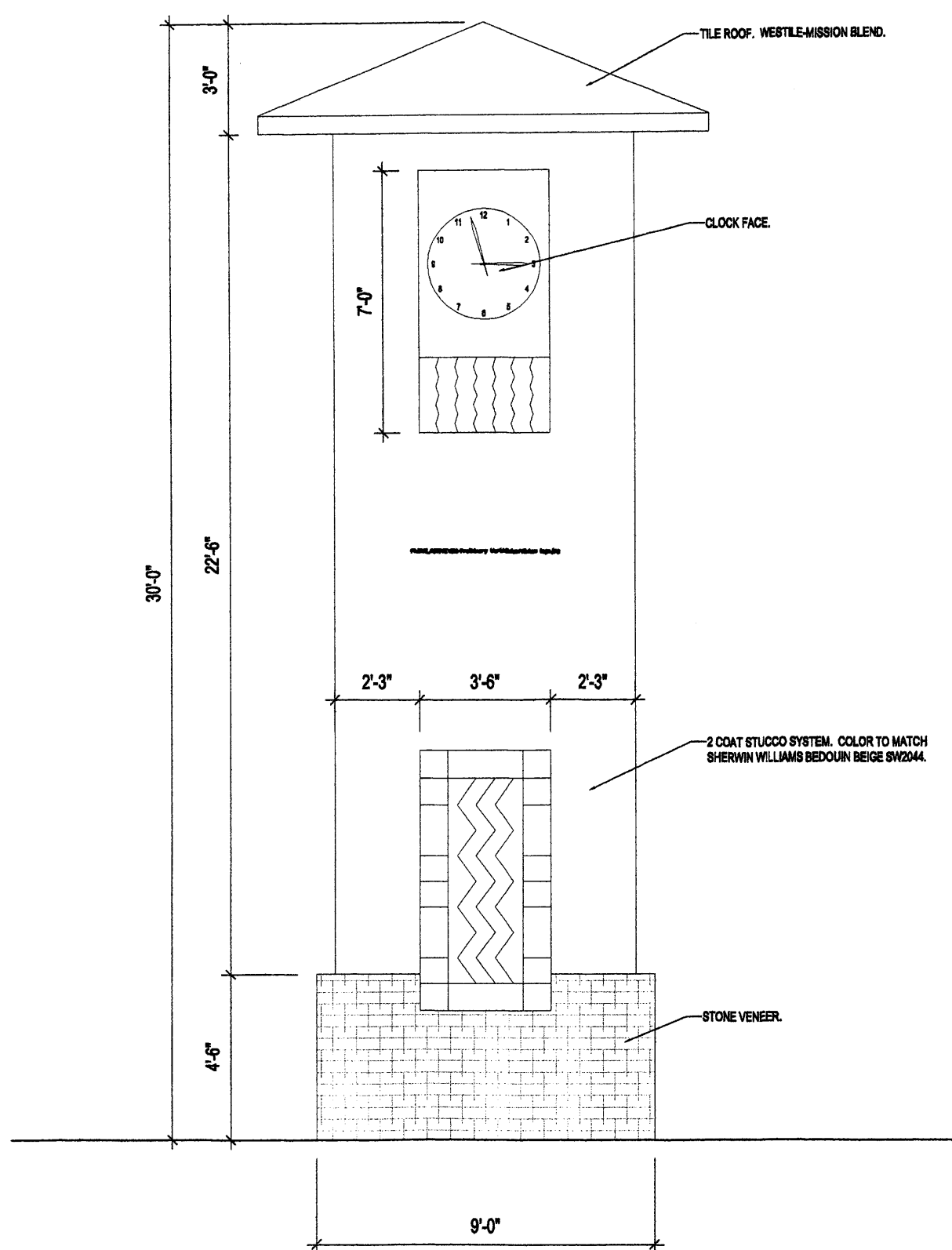
**H** TYPICAL TRASHCAN ENCLOSURE  
N.T.S.



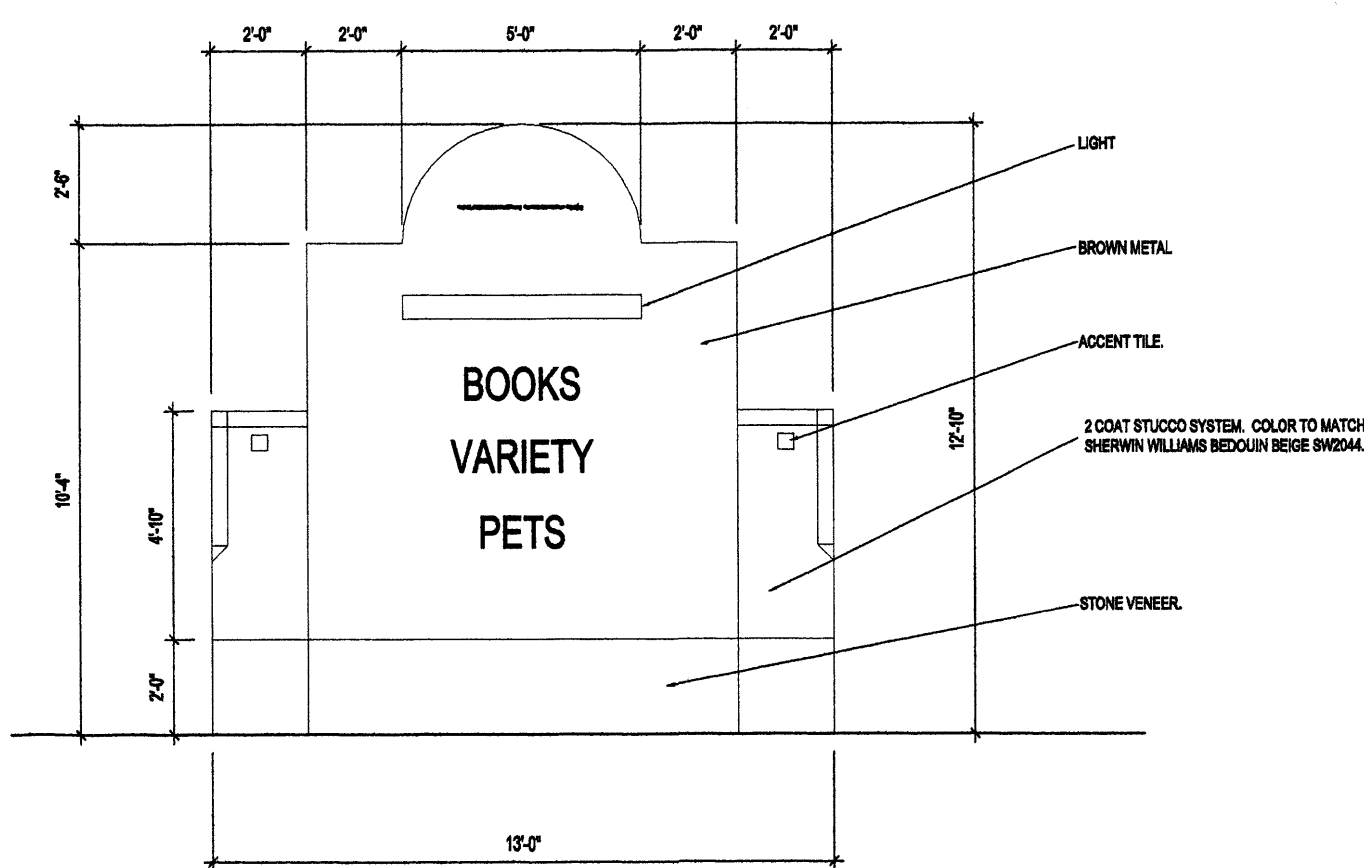
**E** DUMPSTER ENCLOSURE  
N.T.S.



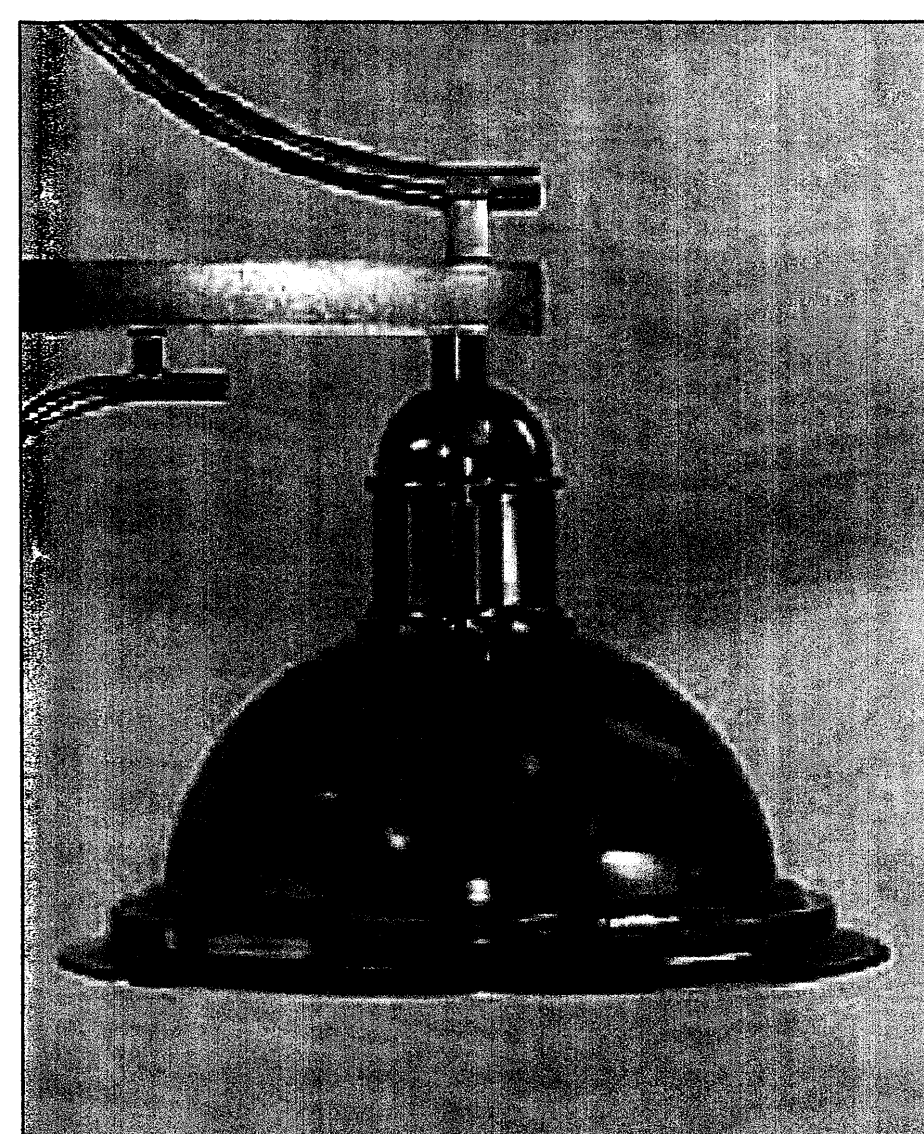
**G** TYPICAL BENCH  
N.T.S.



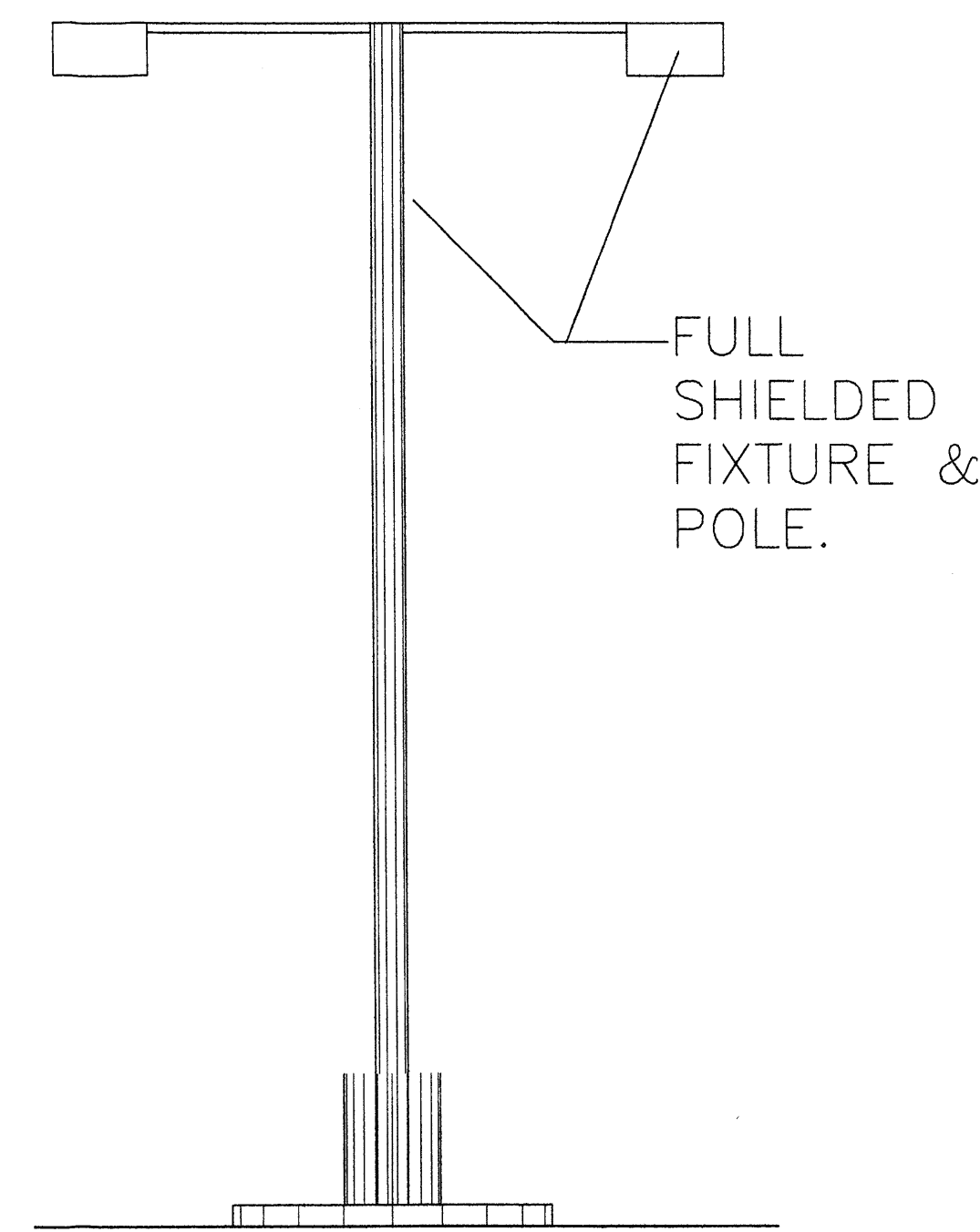
**D** CLOCK TOWER (TYP. ALL SIDES)  
1/4" = 1'-0"



**C** MONUMENT SIGN - 75 S.F.  
1/4" = 1'-0"




**B** PEDESTRIAN LIGHTING  
N.T.S.



NOTE: SEE DESIGN STANDARDS FOR HEIGHT OF LIGHTING.

**A** SITE LIGHTING  
N.T.S.

REV	DATE	BY	REVISION
1		JCS	
2			
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5			
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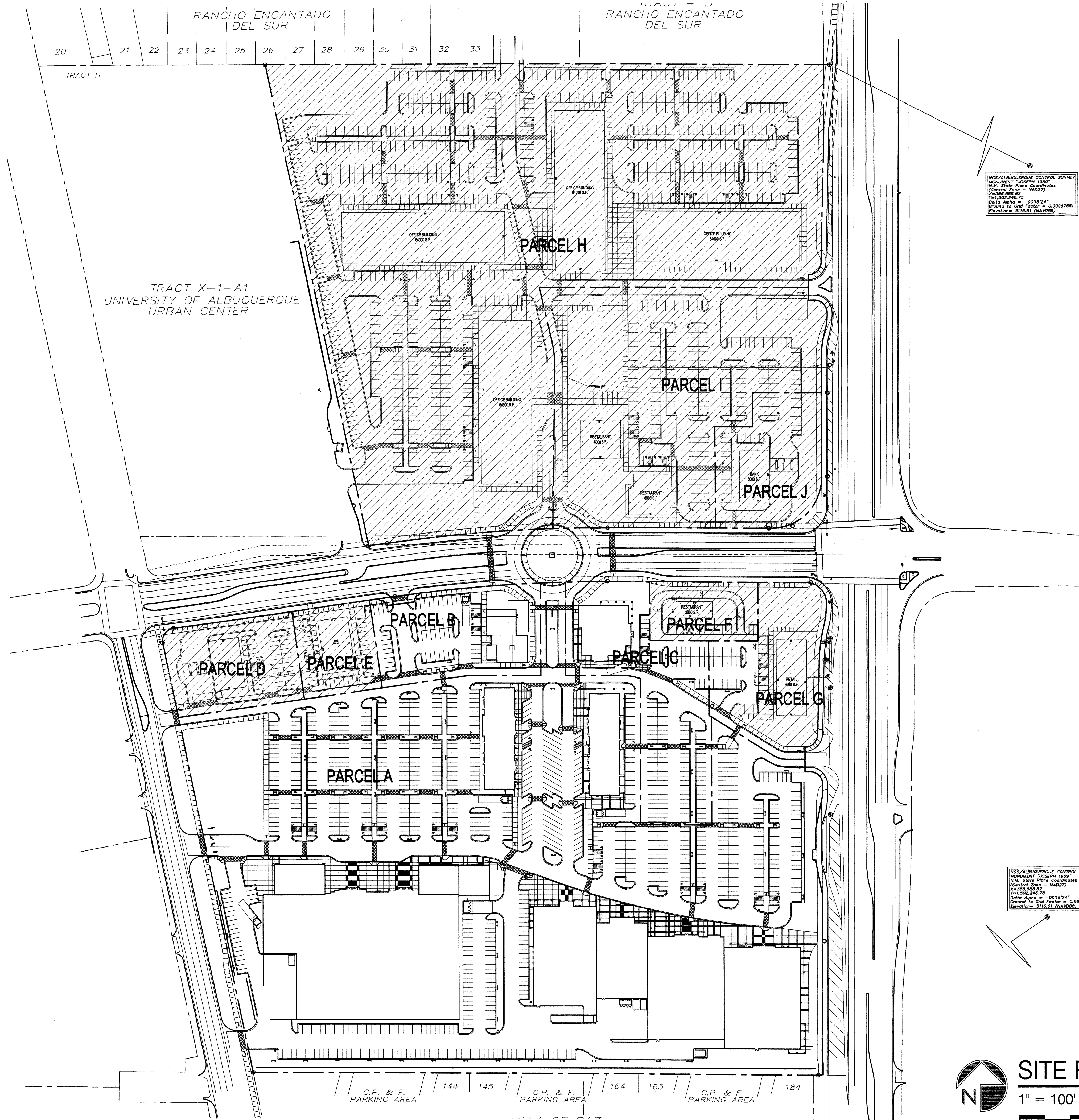
  
 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**OXBOW TOWN CENTER**  
COORS AND ST. JOSEPHS  
ALBUQUERQUE, NM

PROJECT MANAGER  
JOB NO.  
DRAWN BY: JCS  
SHEET TITLE  
**SITE DETAILS**

DATE: 12.20.06  
SCALE: AS NOTED  
SHEET: **AS7**  
OF:





NCS/ALBUQUERQUE CONTROL SURVEY  
 MONUMENT "JOSEPH 1884"  
 N.A. State Plane Coordinates  
 (Central Zone = NAD83)  
 E = 158,586.75  
 N = 302,446.79  
 Delta Alpha = -00°15'24"  
 Ground to One Factor = 0.99987551  
 Elevation = 3118.81 (NAVD83)

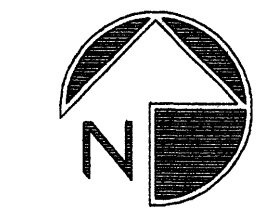
NCS/ALBUQUERQUE CONTROL SURVEY  
 MONUMENT "JOSEPH 1884"  
 N.A. State Plane Coordinates  
 (Central Zone = NAD83)  
 E = 158,586.75  
 N = 302,446.79  
 Delta Alpha = -00°15'24"  
 Ground to One Factor = 0.99987551  
 Elevation = 3118.81 (NAVD83)

AREA NOT INCLUDED IN SITE PLAN FOR BUILDING PERMIT.

NOTE: ATRISCO AND COORS BOTH HAVE EXISTING BUS LANES.

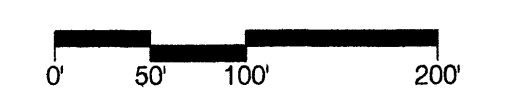
NOTE: THERE IS AN EXISTING BIKE LANE ON COORS BLVD. NORTH OF ST. JOSEPHS.

NOTE: SEE SHEET AS3 FOR NOTES AND RADII.




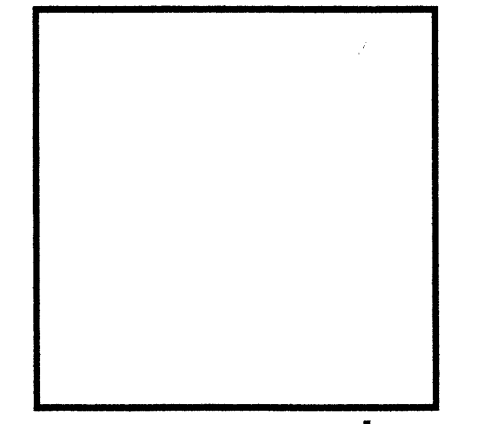
**SITE PLAN**

1" = 100'



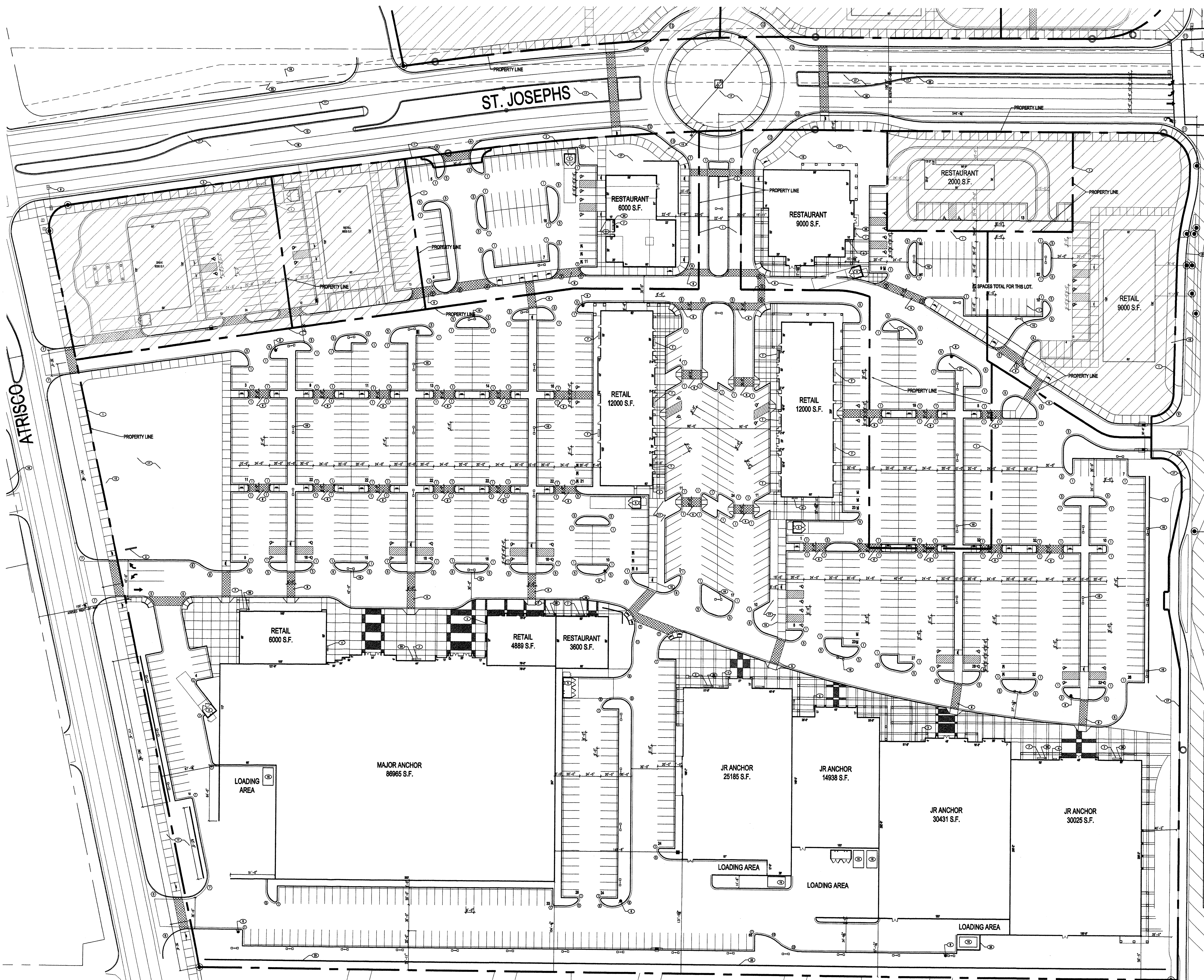
REV	DATE	BY	REVISION
1			
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 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
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 ALBUQUERQUE, NEW MEXICO 87110  
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PROJECT TITLE <b>OXBOW TOWN CENTER</b> COORS AND ST. JOSEPHS ALBUQUERQUE, NM	PROJECT MANAGER	JOB NO.	DRAWN BY: JCS
SHEET TITLE <b>SITE PLAN FOR BUILDING PERMIT</b>			SHEET NO. <b>AS8</b>
DATE: 12.20.06	SCALE: AS NOTED		
of			EPC COMMENTS PLANNING COMMENTS





- KEYED NOTES**
- PROPERTY LINE
  - MONUMENT SIGN
  - TALL SCREEN WALL
  - BICYCLE RACKS
  - DUMPSTER ENCLOSURE
  - CROSSWALK / COLORED AND TEXTURED CONCRETE
  - 6'-4" X 1'-6" BENCH LOCATION NOT TO CONFLICT WITH DOORS OR STREET TREES
  - PROPOSED FIRE HYDRANT
  - EXISTING TRAFFIC SIGNAL
  - SITE LIGHTING
  - EXISTING WATER LINE
  - EXISTING SANITARY SEWER
  - PROPOSED UTILITY EASMENT
  - NOT USED
  - PROPOSED SIDEWALK PER COA STANDARD DETAILS 2430 - 2432 WHEN IN CITY R.O.W.
  - EXISTING OVERHEAD POWER LINES
  - LANDSCAPE AREA
  - NOT USED
  - TRASH COMPACTOR
  - TRASH RECEPTACLES REQUIRED
  - EXISTING BUS STOP UPGRADE AS REQUIRED
  - EXISTING STORM DRAIN
  - EXISTING GAS LINE
  - EXISTING MEDIAN
  - TALL SCREEN WALL

NOTE: ALL H.C. RAMPS PER COA STANDARD DETAILS 2440 - 2441 WHEN IN CITY R.O.W.

AREA NOT INCLUDED IN SITE PLAN FOR BUILDING PERMIT.

**RADIUS:**

- ① RADIUS = 2'-6"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 35'-0"
- ⑩ RADIUS = 40'-0"
- ⑪ RADIUS = 50'-0"
- ⑫ RADIUS = 65'-0"
- ⑬ RADIUS = 90'-0"

NOTE: ALL RAMPS SHALL HAVE A RUNNING SLOPE NO STEEPER THEN 1:12.

PROJECT NUMBER: **1005357**

APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) YES ( ) NO If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department *(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

**SITE PLAN**

1" = 50'

0 25 50 100'

DATE: 12.20.06

SCALE: AS NOTED

sheet of **AS9**

REV	DATE	BY	REVISION
1			
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 ALBUQUERQUE, NEW MEXICO 87110  
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PROJECT TITLE: **OSBOW TOWN CENTER**  
 COORS AND ST. JOSEPHS  
 ALBUQUERQUE, NM

PROJECT MANAGER: \_\_\_\_\_

DRAWN BY: JCS

JOB NO. \_\_\_\_\_

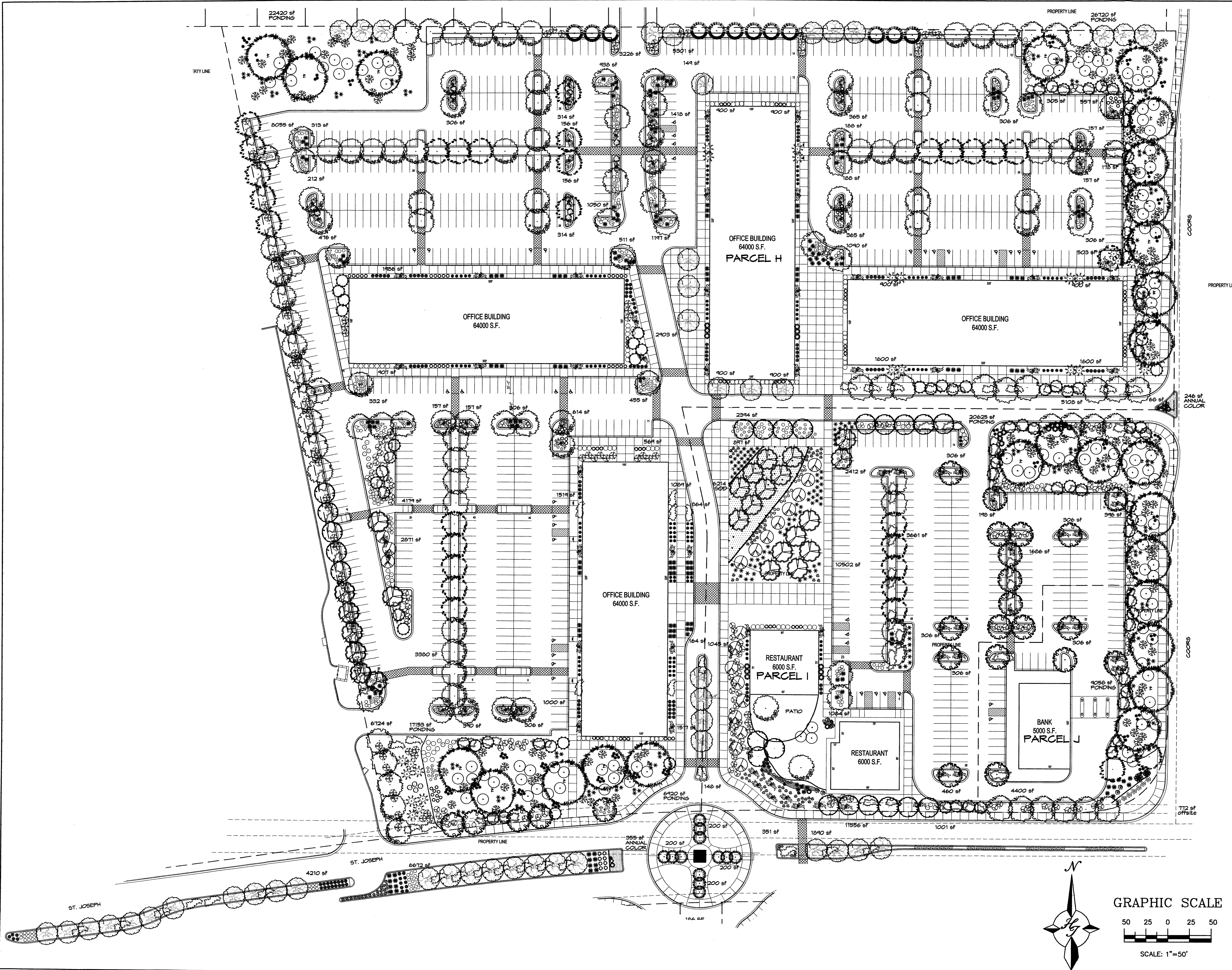
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DATE: 12.20.06

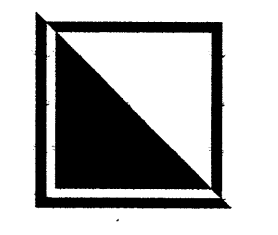
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sheet of **AS9**





REV	DATE	BY	REVISION
1	12/03/07	RMM	SITE REVISION & EPC COMMENTS
2	3/27/07	RMM	SITE PLAN REVISION
3	3/20/07	RMM	SITE PLAN REVISION
4	3-12-07	RMM	SITE PLAN REVISION
5	1/28/07	ADF	SITE PLAN REVISION
6	1/17/07	ADF	SITE PLAN REVISION



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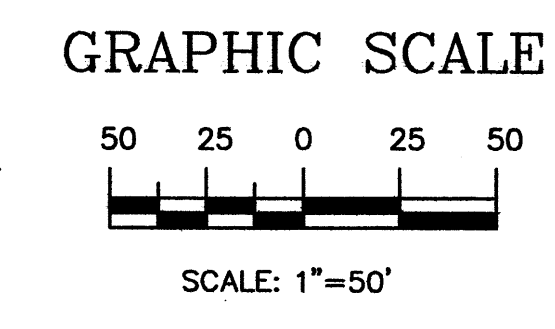
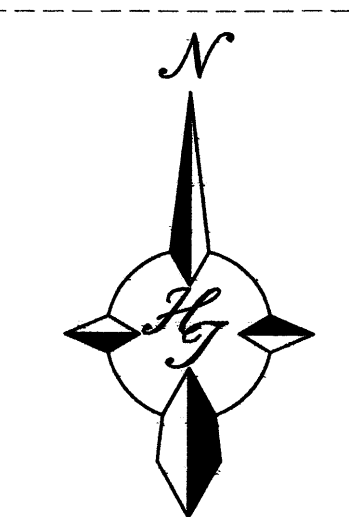
PRELIMINARY  
 NOT FOR CONSTRUCTION

PROJECT TITLE <b>OXBOW</b> COORS AND ST. JOSEPHS ALBUQUERQUE, NM	DRAWN BY: JCS
PROJECT MANAGER	JOB NO.
SHEET TITLE <b>ILLUSTRATIVE LANDSCAPE NORTH</b>	
DATE: 12.20.06	sheet- <b>L1</b>
SCALE: AS NOTED	of.

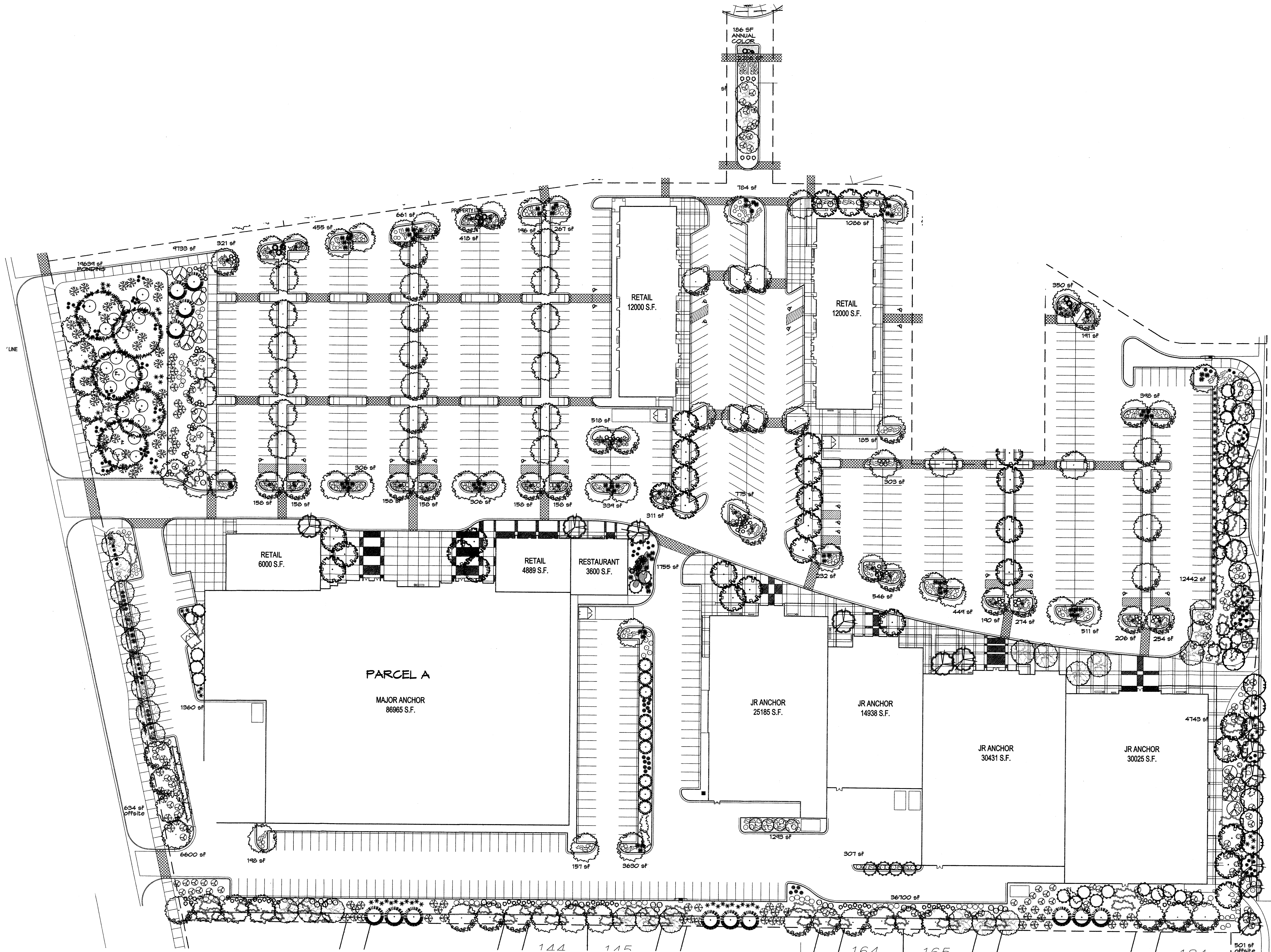
12-01-07

**The Hilltop**  
 LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cmj@hilltoplandscaping.com

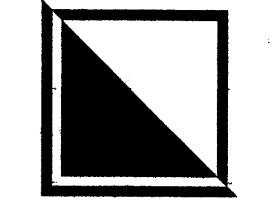
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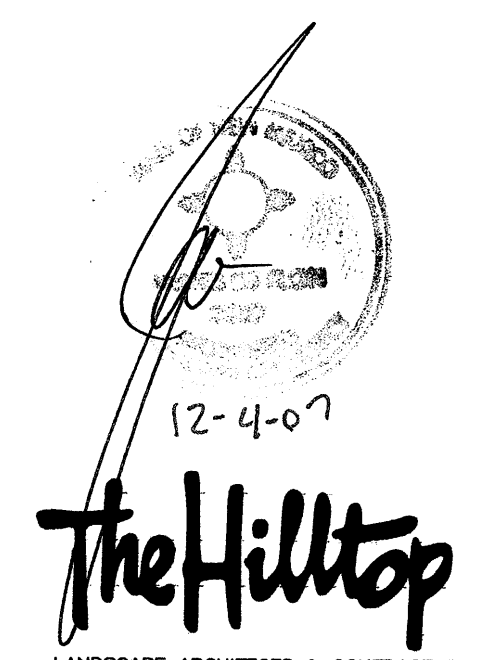


REV	DATE	BY	REVISION
1	12/03/07	RMM	SITE REVISION & EPC COMMENTS
2	3/27/07	RMM	SITE PLAN REVISION
3	3/20/07	RMM	SITE PLAN REVISION
4	3/6/07	RMM	SITE PLAN REVISION & COMMENTS
5	1/28/07	ADF	SITE PLAN REVISION
6	1/17/07	ADF	SITE PLAN REVISION



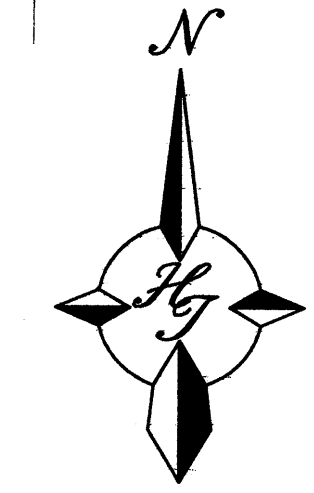
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
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PRELIMINARY  
 NOT FOR CONSTRUCTION

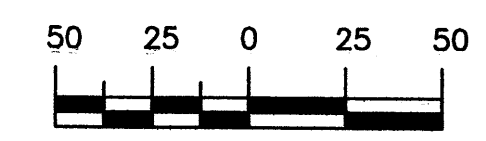


LANDSCAPE ARCHITECTS & CONTRACTORS  
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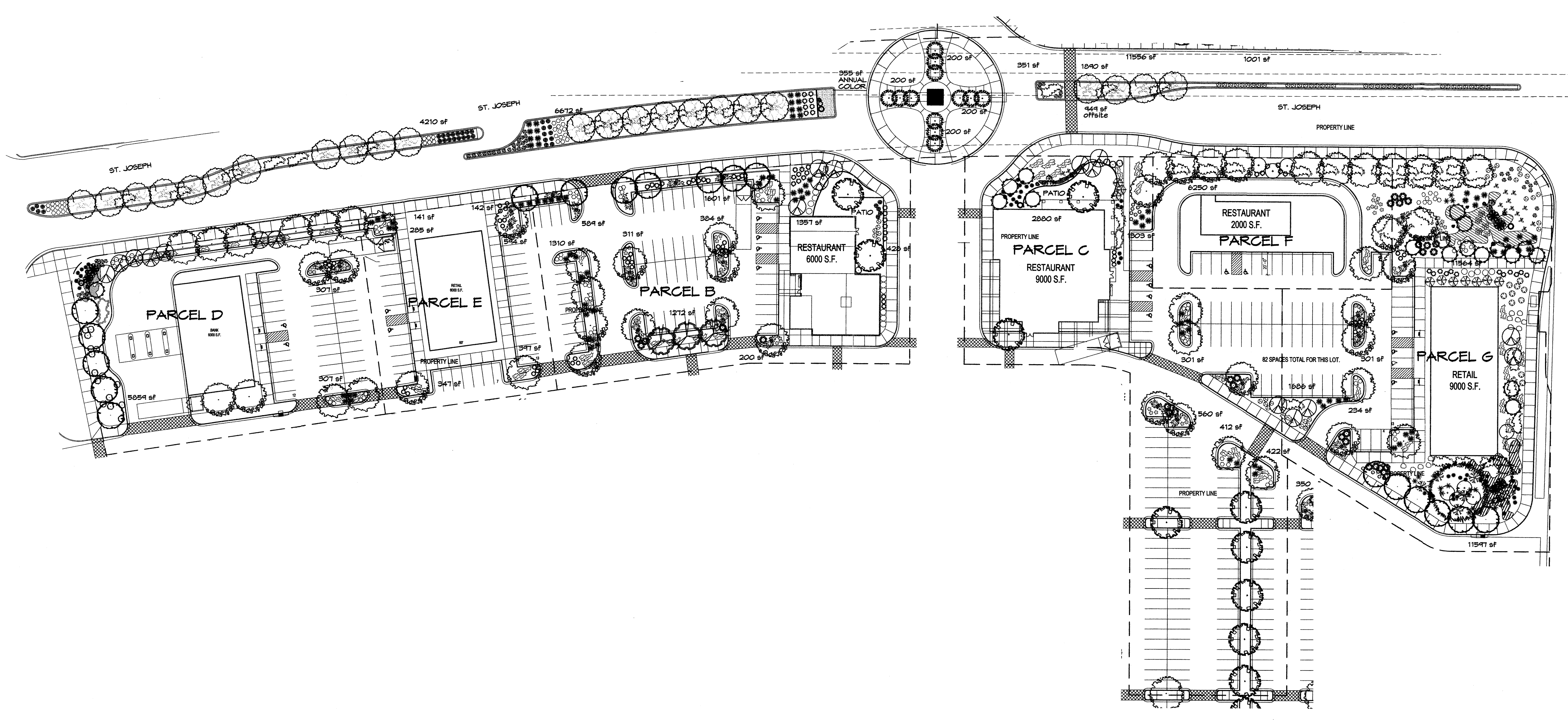
GRAPHIC SCALE



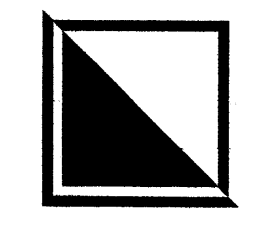
SCALE: 1"=50'

PROJECT TITLE <b>OXBOW</b> COOPS AND ST. JOSEPHS ALBUQUERQUE, NM	PROJECT MANAGER JCS	JOB NO.	DRAWN BY JCS
SHEET TITLE <b>LANDSCAPE PLAN FOR BUILDING PERMIT</b>			DATE 12.20.06
SCALE AS NOTED			sheet: <b>L2</b> of:



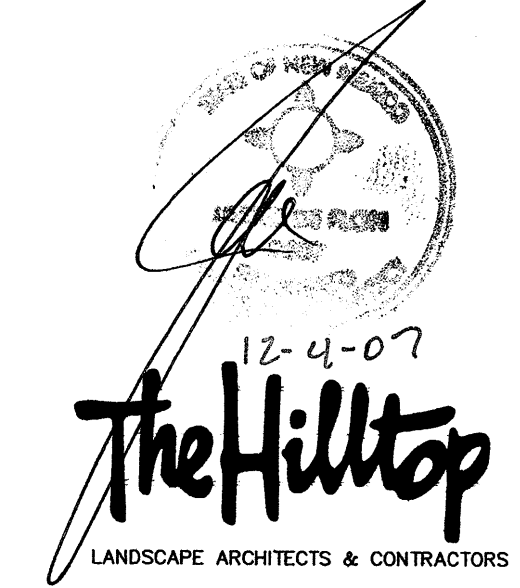


REV	DATE	BY	REVISION
1	12/03/07	RMM	SITE REVISION & EPC COMMENTS
2	3/20/07	RMM	SITE PLAN REVISION
3	3/5/07	RMM	SITE REVISION AND COMMENTS
4	12/20/07	ADF	SITE PLAN REVISION
5	1/17/07	ADF	SITE PLAN REVISION



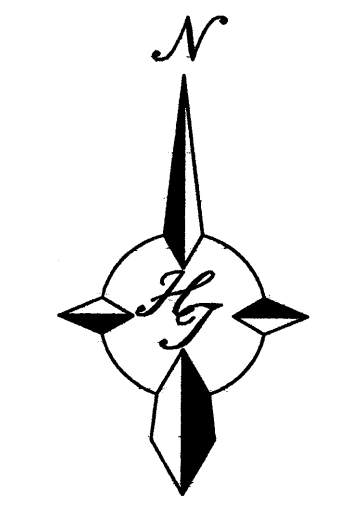
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
 2325 SAN PEDRO NE., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR CONSTRUCTION

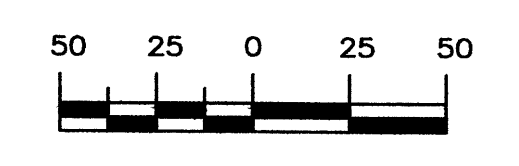


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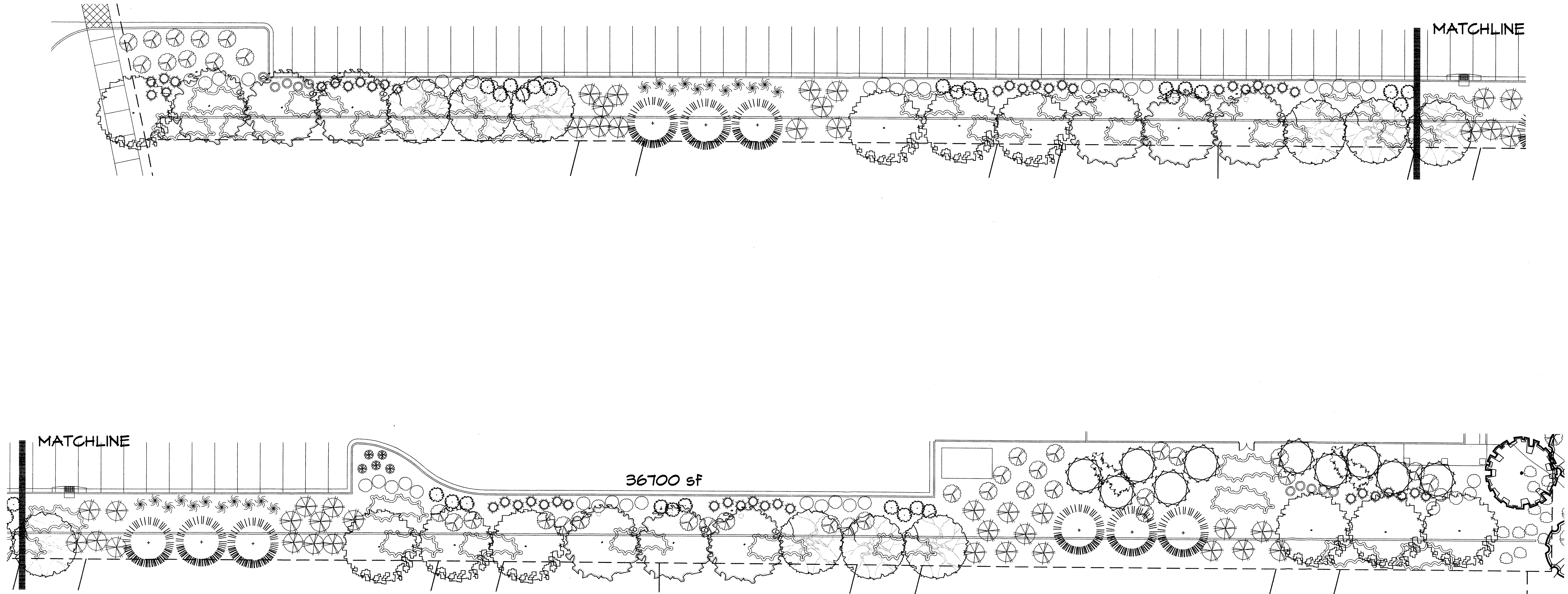
GRAPHIC SCALE



SCALE: 1"=50'

PROJECT TITLE <b>OXBOW</b> COORS AND ST. JOSEPHS ALBUQUERQUE, NM	JOB NO.	DRAWN BY: JCS	SHEET TITLE <b>ALLUSTRATIVE LANDSCAPE SOUTH</b>
PROJECT MANAGER			
DATE: 12.20.06	sheet: <b>L2A</b>		of:
SCALE: AS NOTED			

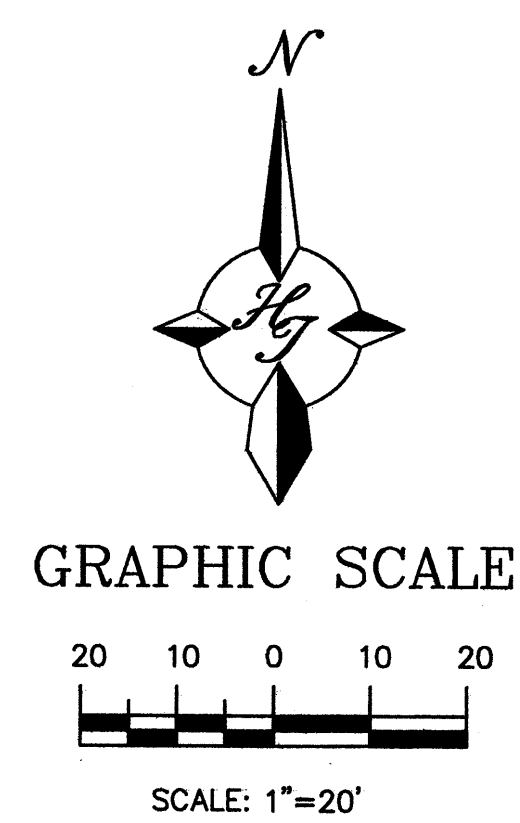




MATCHLINE

MATCHLINE

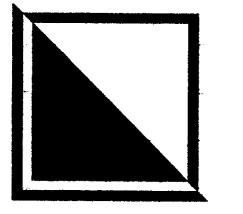
36700 sf



12-4-07

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REV	DATE	BY	REVISION
1	12/08/07	RMM	SITE REVISION & EPC COMMENTS
2			
3	3/20/07	RMM	SITE PLAN REVISION
4	1/28/07	ADF	SITE PLAN REVISION
5	1/17/07	ADF	SITE PLAN REVISION

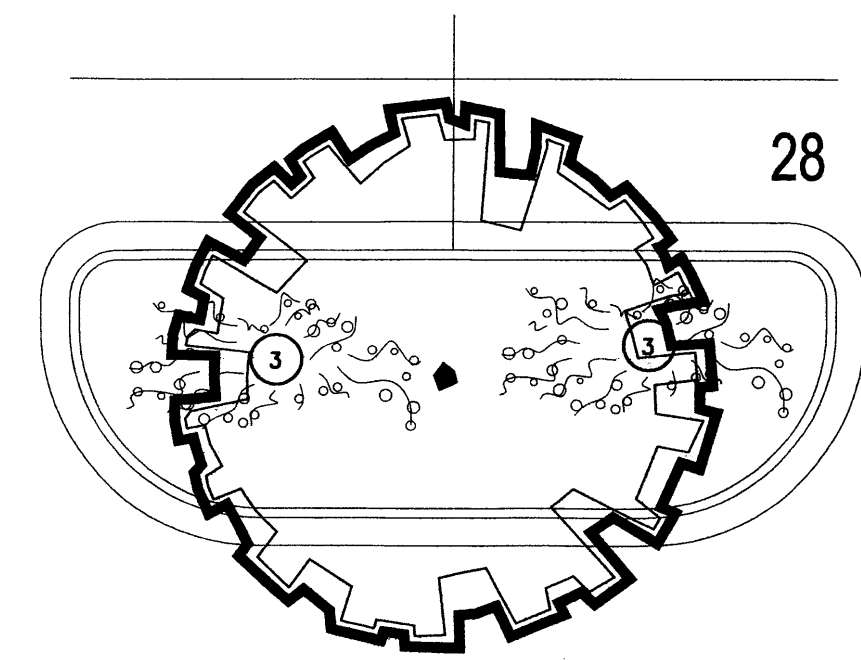


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 2325 SAN PEDRO NE., SUITE 2-B  
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 PHONE (505) 884-9110 FAX (505) 837-9877

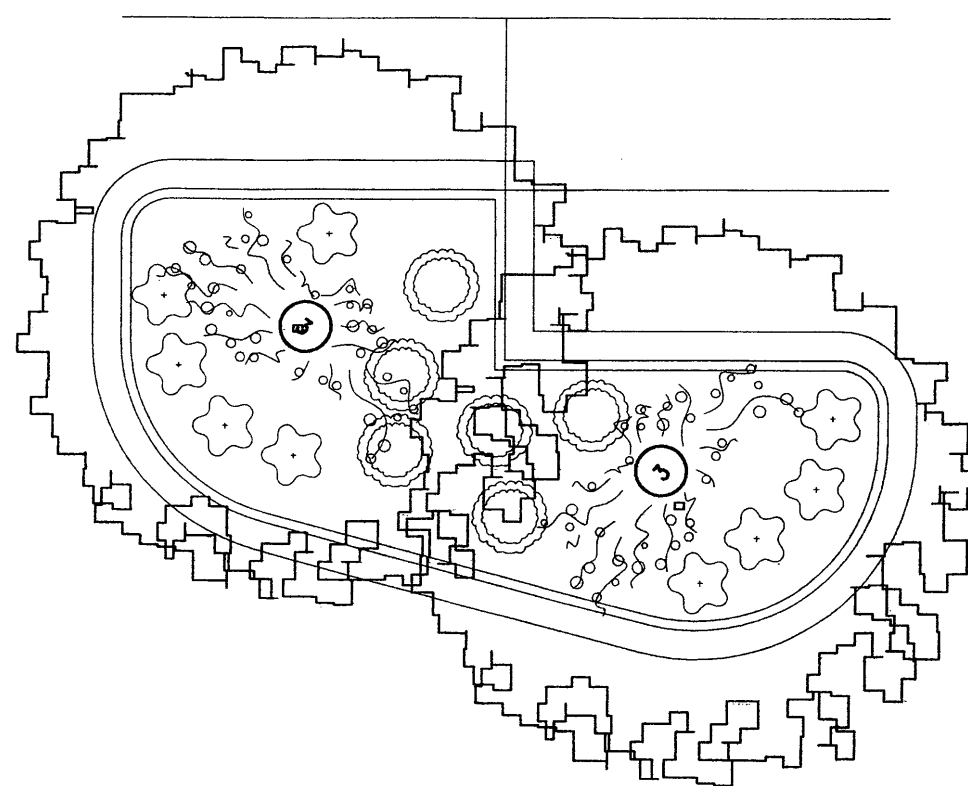
PRELIMINARY  
 NOT FOR CONSTRUCTION

PROJECT TITLE <b>OXBOW COORS AND ST. JOSEPHS ALBUQUERQUE, NM</b>	JOB NO.	DRAWN BY: JCS
PROJECT MANAGER	SHEET TITLE <b>VILLA DE PAZ BUFFER</b>	
DATE: 12.20.06	sheet- <b>L3</b>	
SCALE: AS NOTED	of-	

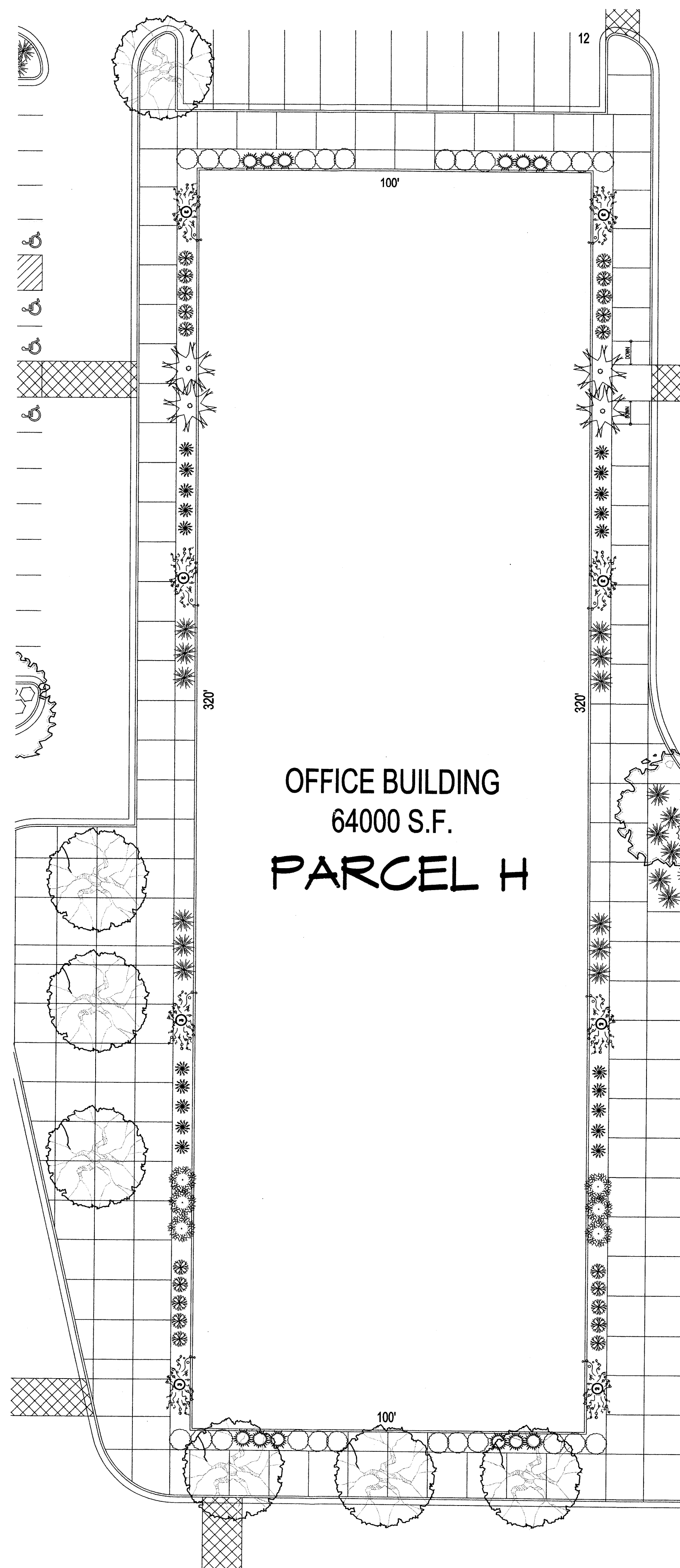
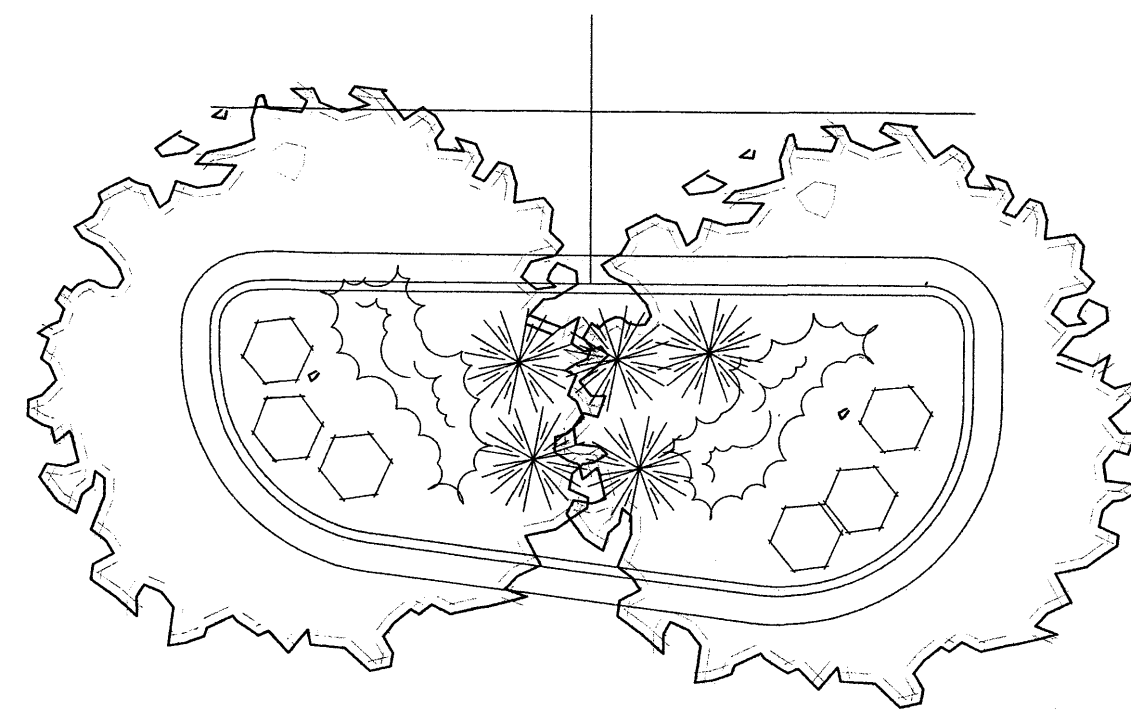




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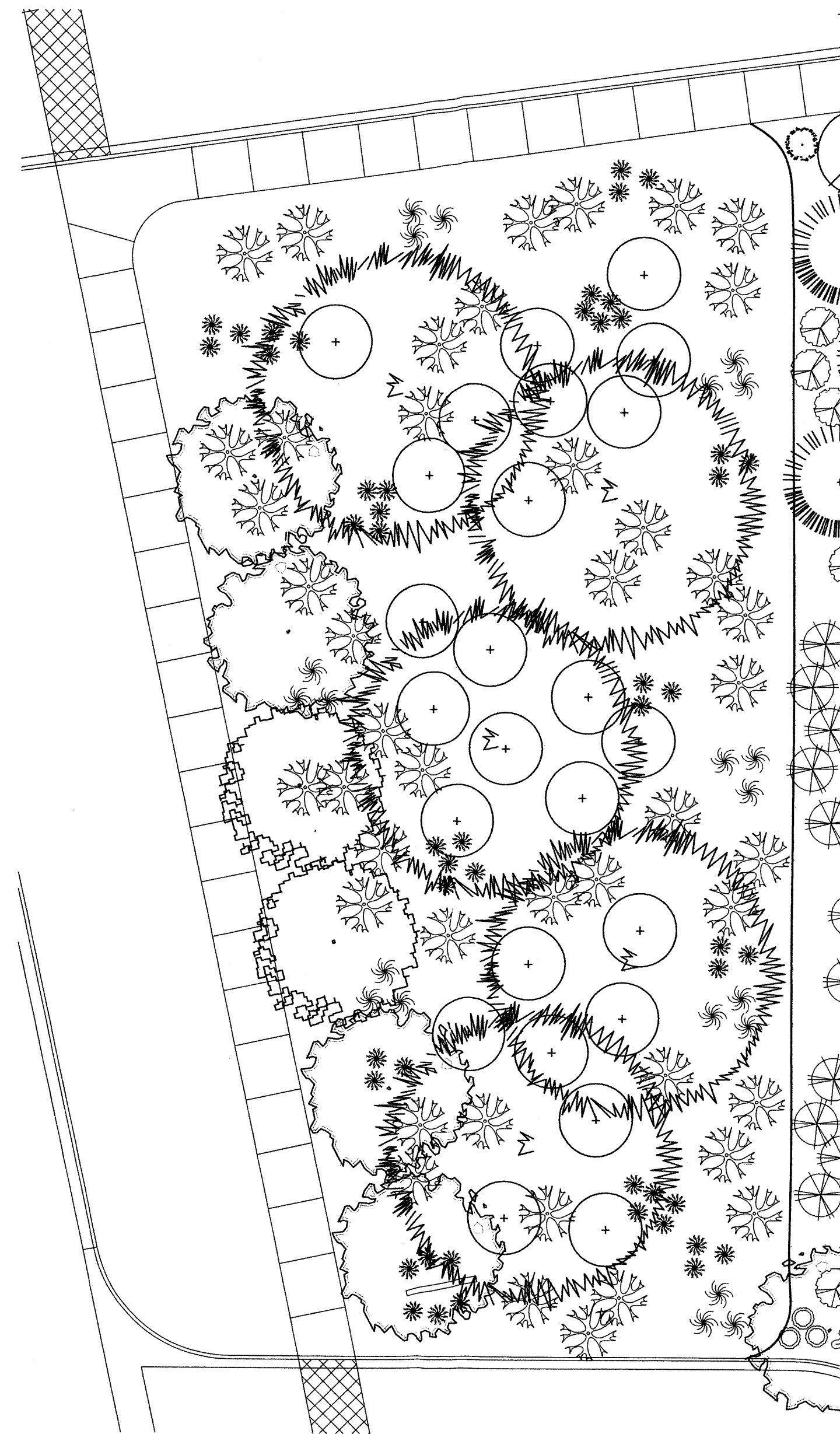


TYPICAL ISLANDS  
SCALE 1"=10'



OFFICE BUILDING  
6400 S.F.  
PARCEL H

TYPICAL BUILDING LANDSCAPE  
SCALE 1"=20'

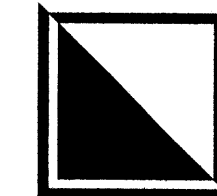


TYPICAL PONDING AREA  
SCALE 1"=10'



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REV	DATE	BY	REVISION
6		RMM	SITE REVISION & EPC COMMENTS
5		RMM	SITE REVISION & EPC COMMENTS
4	3/20/07	RMM	SITE PLAN REVISION
3	3/8/07	RMM	SITE REVISION AND COMMENTS
2	1/29/07	ADF	SITE PLAN REVISION
1	1/17/07	ADF	SITE PLAN REVISION



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PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT TITLE <b>OXBOW</b> COOPS AND ST. JOSEPHS ALBUQUERQUE, NM	JOB NO.	DRAWN BY: JCS
PROJECT MANAGER	SHEET TITLE <b>TYPICAL AREAS</b>	

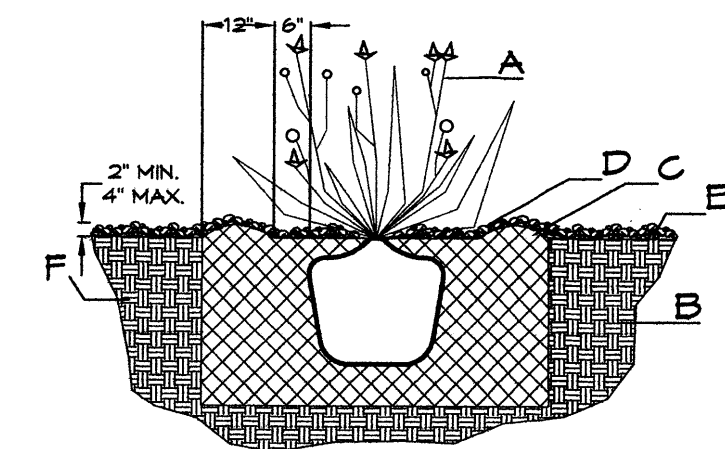
DATE: 12.20.06	sheet- <b>L4</b>
SCALE: AS NOTED	of.

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PLANT LEGEND updated Individual parcel plant counts not updated as of 12-3-07

TOTALS	A	B	C	D	E	F	G	H	I	J	MEDIANS
VALLEY COTTONWOOD (M+) <i>Populus deltoides</i> var. <i>utahensis</i> 2" Cal.	32	5					1	14	6	4	
LINDEN (H) <i>Tilia cordata</i> 2" Cal.	146	64	6	5	4	2	4	6	50	4	
CRABAPPLE (H) <i>Malus cultivars</i> 2" Cal.	45	18	3						8	18	
CHINESE PISTACHE (M) <i>Pistacia chinensis</i> 2" Cal.	164	58	5	4	8	2	3	7	65	8	6
GOLDEN RAIN TREE (M) <i>Koelreuteria paniculata</i> 2" Cal.	31						10	23	5	3	
WESTERN HACKBERRY (M) <i>Celtis reticulata</i> 2" Cal.	53	12	6		5	1	6	5	18		
DESERT WILLOW (L) <i>Chilopsis linearis</i> 15 Gal.	134	33		4	1		14	55	14	4	
AUSTRIAN PINE (M) <i>Pinus nigra</i> 6'-8'	25	13						12			
CHITALPA (M) <i>Chilopsis x Catalpa</i> 15 Gal.	65	31	2	8				5	14	5	
WASHINGTON HAWTHORN (M+) <i>Crataegus phaenopyrum</i> 15 Gal. 500sf	21	4									12
ESCAPMENT LIVE OAK (M) <i>Quercus fusiformis</i> 2" Cal.	73	28						18	4		24
VITEX (L+) <i>Vitex agnus-castus</i> 2" Cal.	44	10	4	6	7		3	3	17		
NEW MEXICO OLIVE (L) <i>Forestiera neomexicana</i> 15 Gal. 225sf	158	24					3	7	76	32	14
PALM YUCCA (L)	10	2			2						2
MUGO PINE (M) <i>Pinus mugo</i> 5 Gal. 4sf	10	2		1	1		2		3		1
SILVERBERRY (M) <i>Elaeagnus pungens</i> 5 Gal. 100sf	165	58		3			7	83	8		
PAMPAS GRASS (M+) <i>Cortaderia seliana</i> 5 Gal. 100sf	161	44					6	74	24	11	
MAIDENGRASS (M) <i>Miscanthus sinensis</i> 5 Gal. 16sf	361	134					16	102	114	30	
BUTTERFLY BUSH (M) <i>Buddleia davidii</i> 5 Gal. 100sf	114	102			7		10	65	44		
CREPE MYRTLE (M+) <i>Langerstroemia indica x fauriei</i> 5 Gal. 225sf	35										
RED OSIER DOGWOOD (H) <i>Cornus stolonifera</i> 5 Gal. 4sf	61										
CLIFF ROSE (L) <i>Cowania mexicana</i> 5 Gal. 36sf	16										
RED YUCCA (L) <i>Hesperaloe parviflora</i> 5 Gal. 4sf	353	78	27	18	5	8	27	158	13	4	40
REGAL BIST (M) <i>Muhlenbergia capillaris</i> 5 Gal. 4sf	181	31	5					47	15		36
APACHE PLUME (L) <i>Fallugia paradoxa</i> 5 Gal. 25sf	160	45	10				6	40	4		
ALANAS BROOM (M) <i>Cytisus scoparius</i> 5 Gal. 16sf	154	54	30				6	12	42	6	13
TURPENTINE BUSH (L+) <i>Eriocarpus laurifolia</i> 5 Gal. 16sf	204	161	24	14	6	13	22	210	10		
HONEYSUCKLE (M) <i>Lonicera japonica 'Halliana'</i> 1 Gal. 144sf Unstaked-Groundcover	263	138						43	70	20	
SHRUBBY CINQUEFOIL (M+) <i>Potentilla fruticosa</i> 1 Gal. 4sf	63							20			36
WILDFLOWER 1 Gal. 4sf	78	12	6	10							
LAVENDER (M) <i>Lavandula angustifolia</i> 1 Gal. 4sf	156				11			15		101	44
MEXICAN EVENING PRIMROSE (L+) <i>Oenothera biundata</i> 1 Gal. 25sf	248	75	21	10	6	3	34	107	41		
WHITE EVENING PRIMROSE (L) <i>Oenothera caespitosa</i> 1 Gal. 4sf	366	82	26	12	6	3	24	121	47		27
BLUE AVENA/OAT GRASS (M) <i>Helictotrichon sempervirens</i> 1 Gal. 4sf	344	138		14	7		17	144	34	12	
FOUNTS CASTLE SAGE (L+) <i>Artemisia x Fovis Castle</i> 1 Gal. 25sf	44	37					21				
CHAMISA (L) <i>Chrysothamnus nauseosus</i> 1 Gal. 25sf	31	21						14			
BLUE FESCUE (M) <i>Festuca ovina glauca</i> 1 Gal. 4sf	37			7				4		38	
OCOTILLO (L) <i>Fouquieria splendens</i>				3				2		4	2
AGAVE (L) <i>Agave spp.</i> 16 sf	12							5			7
PRICKLY PEAR (L) <i>Opuntia macrocentra</i> 4 sf	21			5				20			
BANK'S ROSE (M) <i>Rosa banksiae</i> 1 Gal. 400sf	83	12		1			6	20	11	3	16
TRUMPET VINE (M) <i>Campsis radicans</i> 1 Gal. 100sf Unstaked-Groundcover	65	15	1	3	15						
WINTER JASMINE (L+) <i>Jasminum nudiflorum</i> 1 Gal. 144sf	148	41	13	15	10	5	15	47	2		
GREY LEAF COTONEASTER (M) <i>Cotoneaster laxifolius</i> 5 Gal. 91sf Symbol indicates 3 plants	333	135		3	3			111	72	21	
CORAL BEAUTY COTONEASTER (M) <i>Cotoneaster dammeri</i> 5 Gal. 100sf Symbol indicates 3 plants	450	40	30	4	6	6	18	207	87	12	



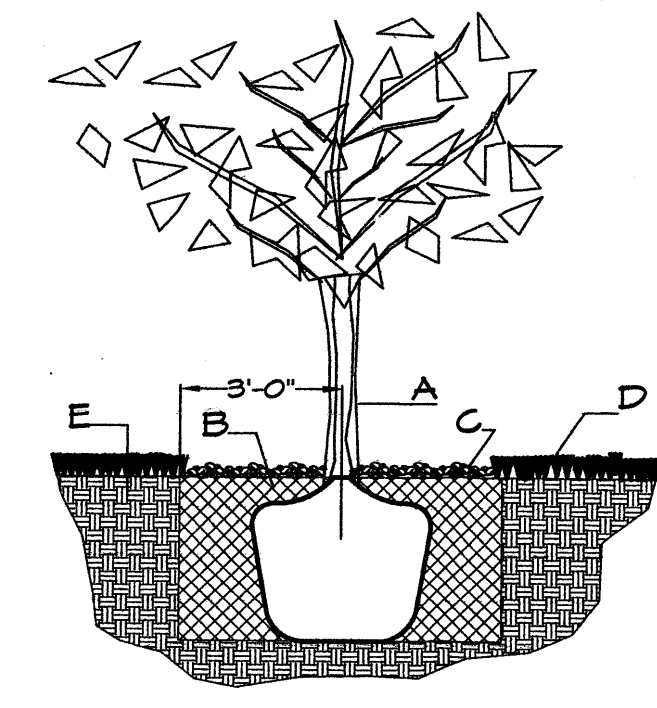
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

SHRUB PLANTING DETAIL NTS



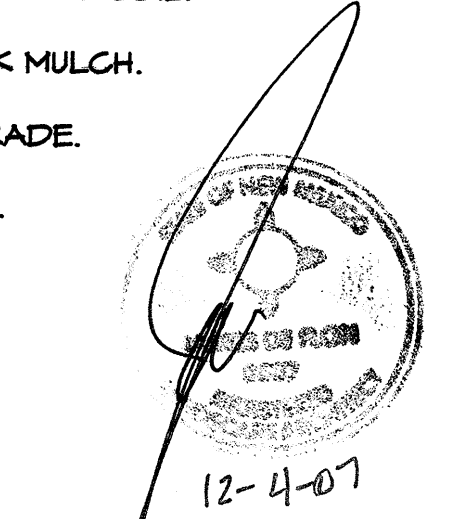
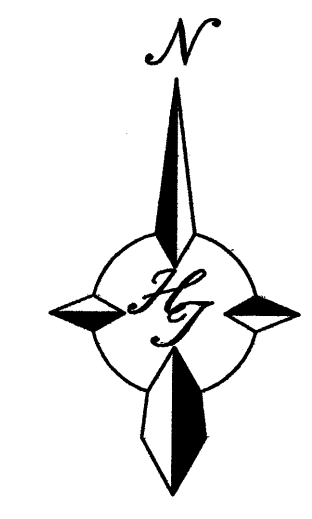
GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS



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REV	DATE	BY	REVISION
1	12/19/07	RMM	SITE PLAN REVISION - E.P.P. COMMENTS
2	03/27/07	RMM	SITE PLAN REVISION
3	09/20/07	RMM	SITE PLAN REVISION AND COMMENTS
4	06/07/07	RMM	SITE PLAN REVISION AND COMMENTS
5	12/20/07	ADF	SITE PLAN REVISION
6	11/17/07	ADF	SITE PLAN REVISION

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PROJECT TITLE <b>OXBOW</b> COORS AND ST. JOSEPHS ALBUQUERQUE, NM	DRWING BY JCS	DETAILS AND NOTES
PROJECT MANAGER	JOB NO.	
DATE 12.20.06	SHEET L5	
SCALE AS NOTED	OF	



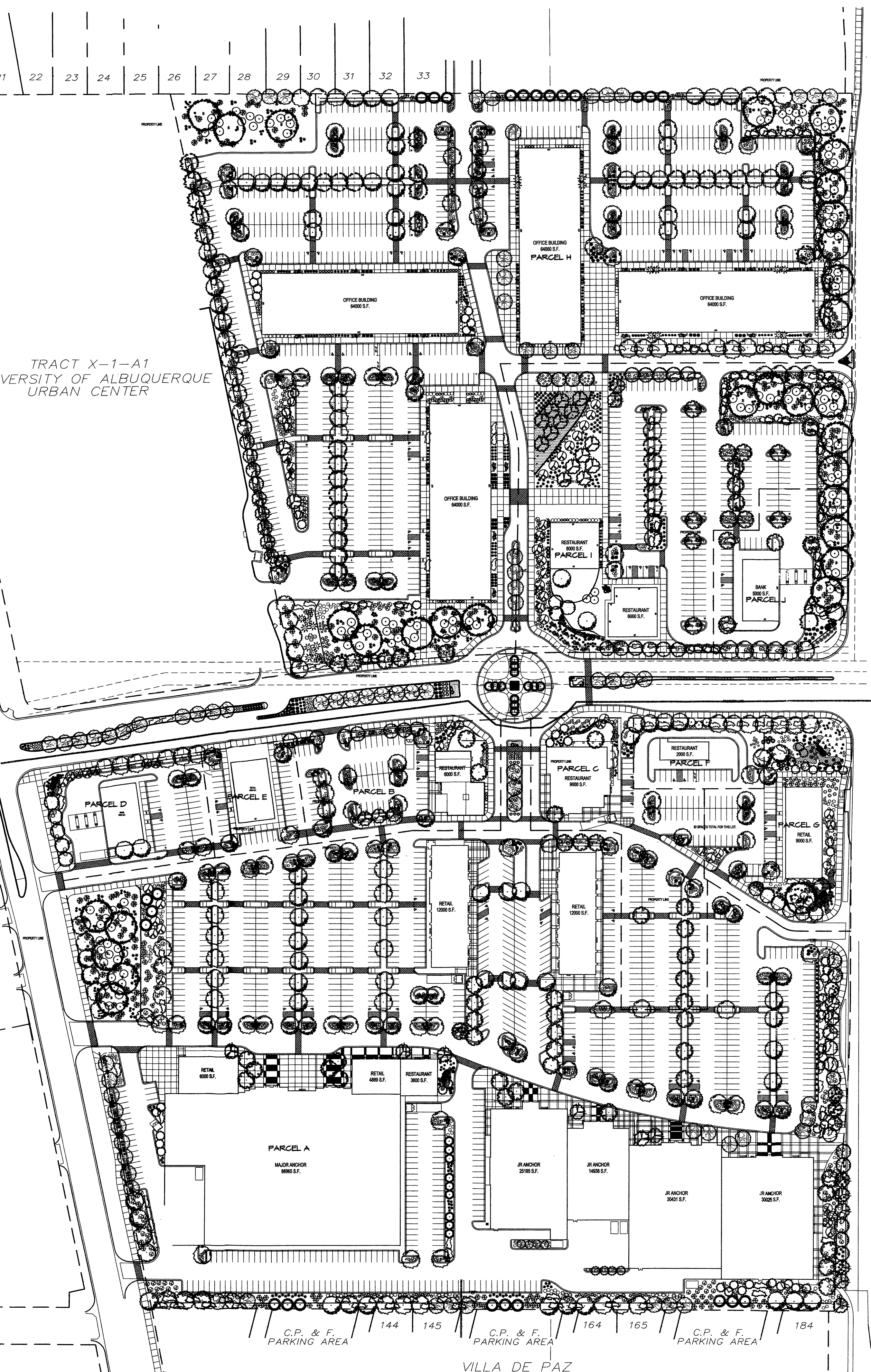




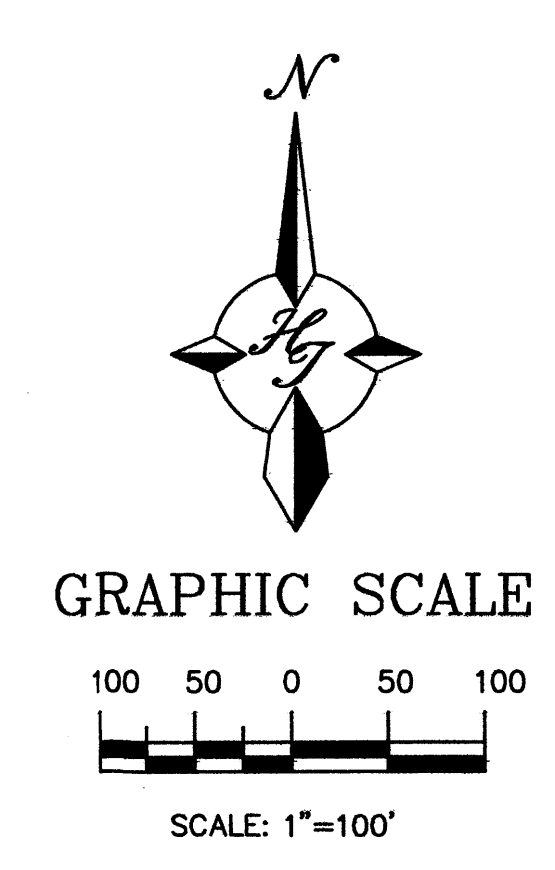
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TRACT H

TRACT X-1-A1  
UNIVERSITY OF ALBUQUERQUE  
URBAN CENTER

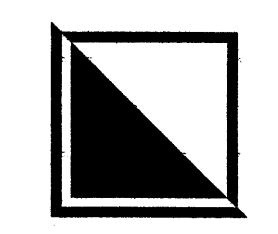


VILLA DE PAZ



12-4-07  
**The Hilltop**  
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REV	DATE	BY	REVISION
1	12/19/07	RMM	FINAL SITE PLAN REVISIONS + RECOMMENDATIONS
2	3/27/07	RMM	SITE PLAN REVISION
3	3/20/07	RMM	SITE PLAN REVISION
4	1/29/07	ADF	SITE PLAN REVISION
5	11/7/07	ADF	SITE PLAN REVISION

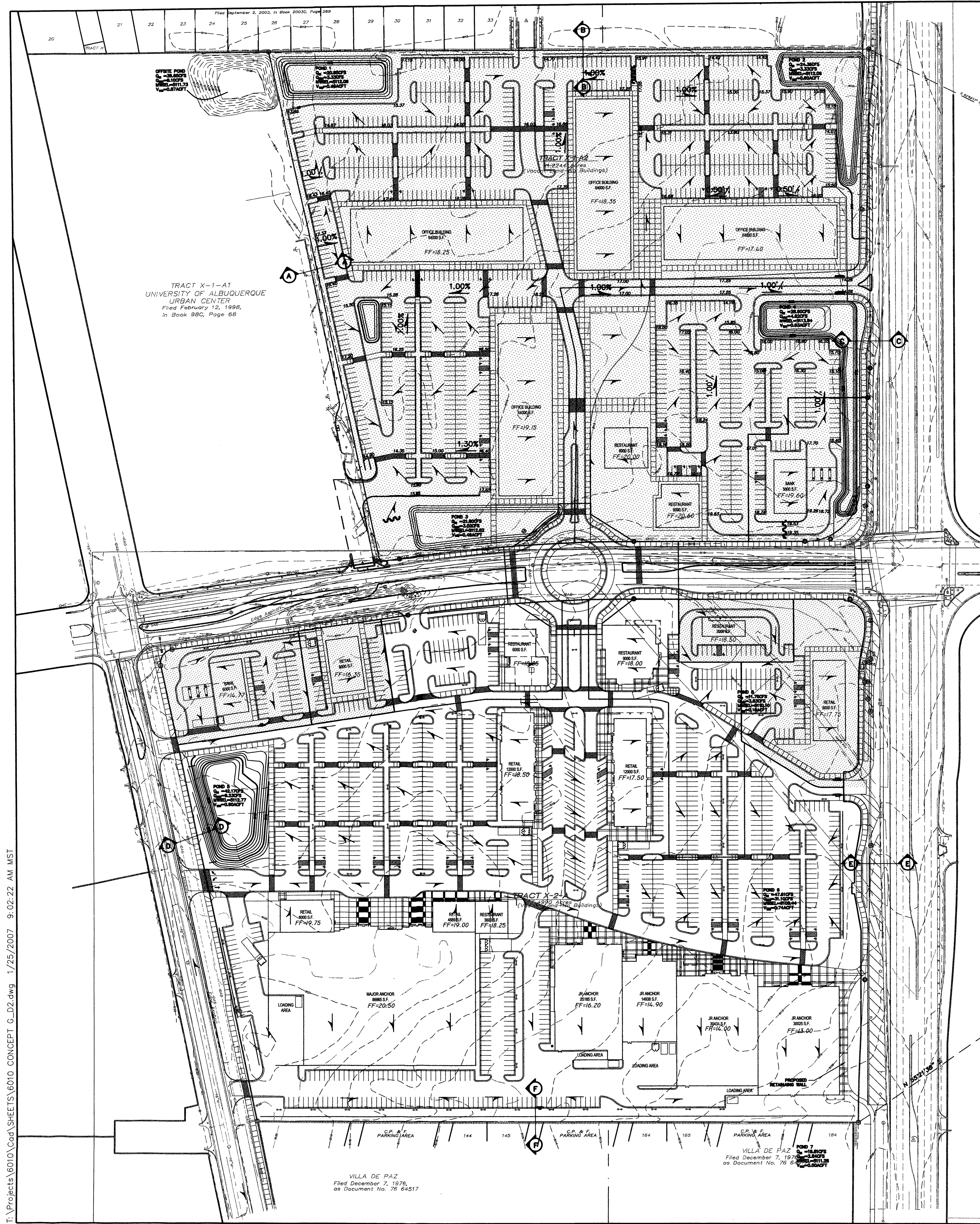


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PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT TITLE <b>OXBOW</b> COORS AND ST. JOSEPHS ALBUQUERQUE, NM	JOB NO.	DRAWN BY: JCS
PROJECT MANAGER	SHEET TITLE <b>ENTIRE SITE LANDSCAPING</b>	
DATE: 12.20.06	sheet: <b>L7</b>	
SCALE: AS NOTED	of:	





**EROSION CONTROL NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**EXISTING CONDITIONS**

THE EXISTING SITE IS PREDOMINATELY UNDISTURBED SILTY SAND AND CLAYEY SAND TYP SOILS MODERATELY VEGETATED WITH VARIOUS GRASSES AND SHRUBS. ONSITE SLOPES ARE VERY MILD AND DRAIN IN VARIOUS DIRECTIONS. THE PORTION OF THE PROJECT NORTH OF ST. JOSEPHS DRIVE PREDOMINATELY DRAINS TO THE NW CORNER OF THE TRACT AND INTO AN EXISTING RETENTION POND OFFSITE. THE REMAINDER OF THE NORTHERN PORTION DRAINS TO A DEPRESSION ADJACENT TO COORS BLVD. THE PORTION OF THE PROJECT SOUTH OF ST. JOSEPHS DRAINS IN TWO DIRECTIONS. APPROXIMATELY 60% DRAINS INTO COORS BLVD AND THE EXISTING STORM DRAIN. THE REMAINING 40% DRAINS TO AN EXISTING DETENTION POND WITHIN THE ST. JOSEPHS RIGHT OF WAY. THIS POND THEN DISCHARGES INTO THE EXISTING 60" LADERA STORM DRAIN SYSTEM.

**PROPOSED CONDITIONS**

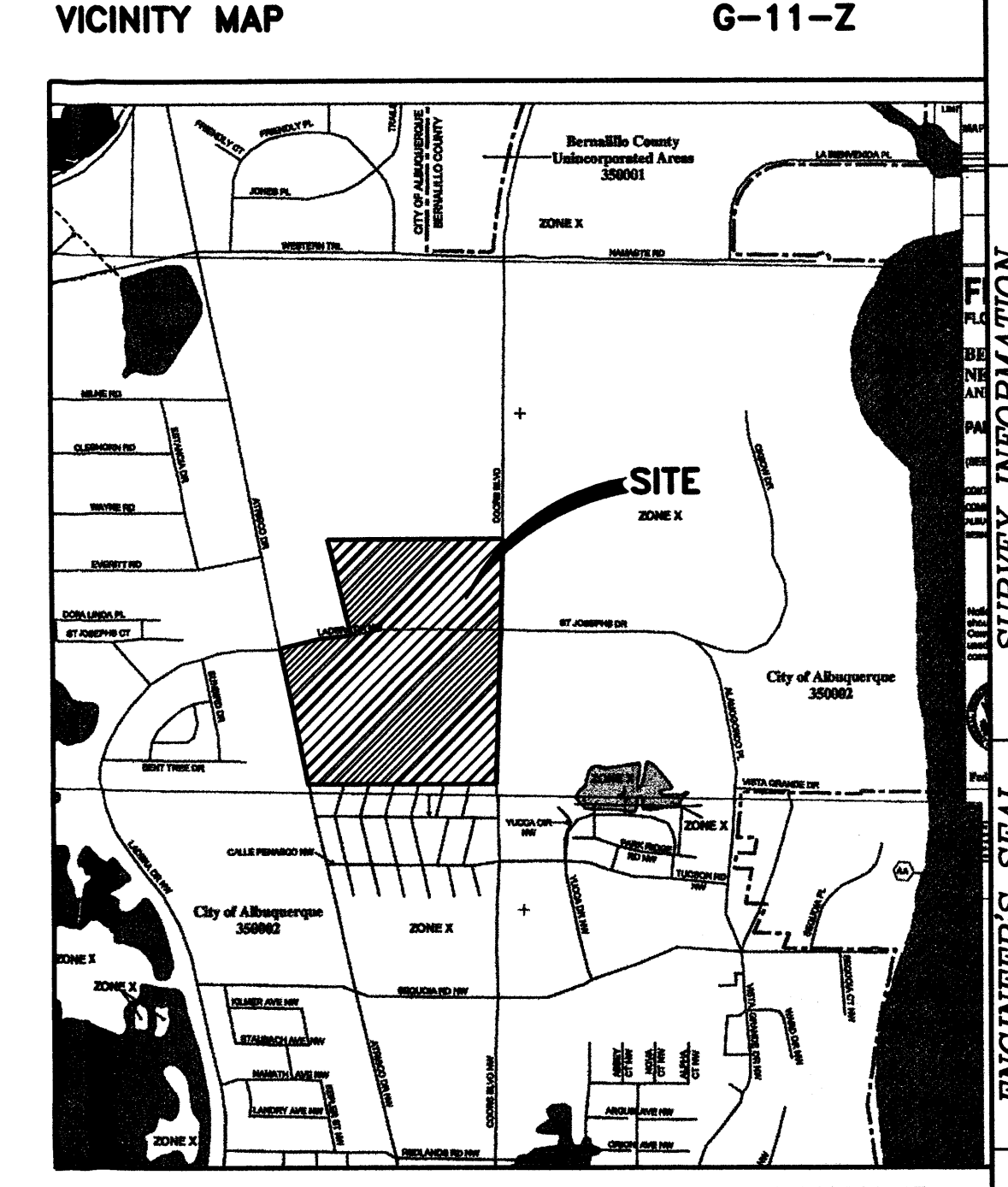
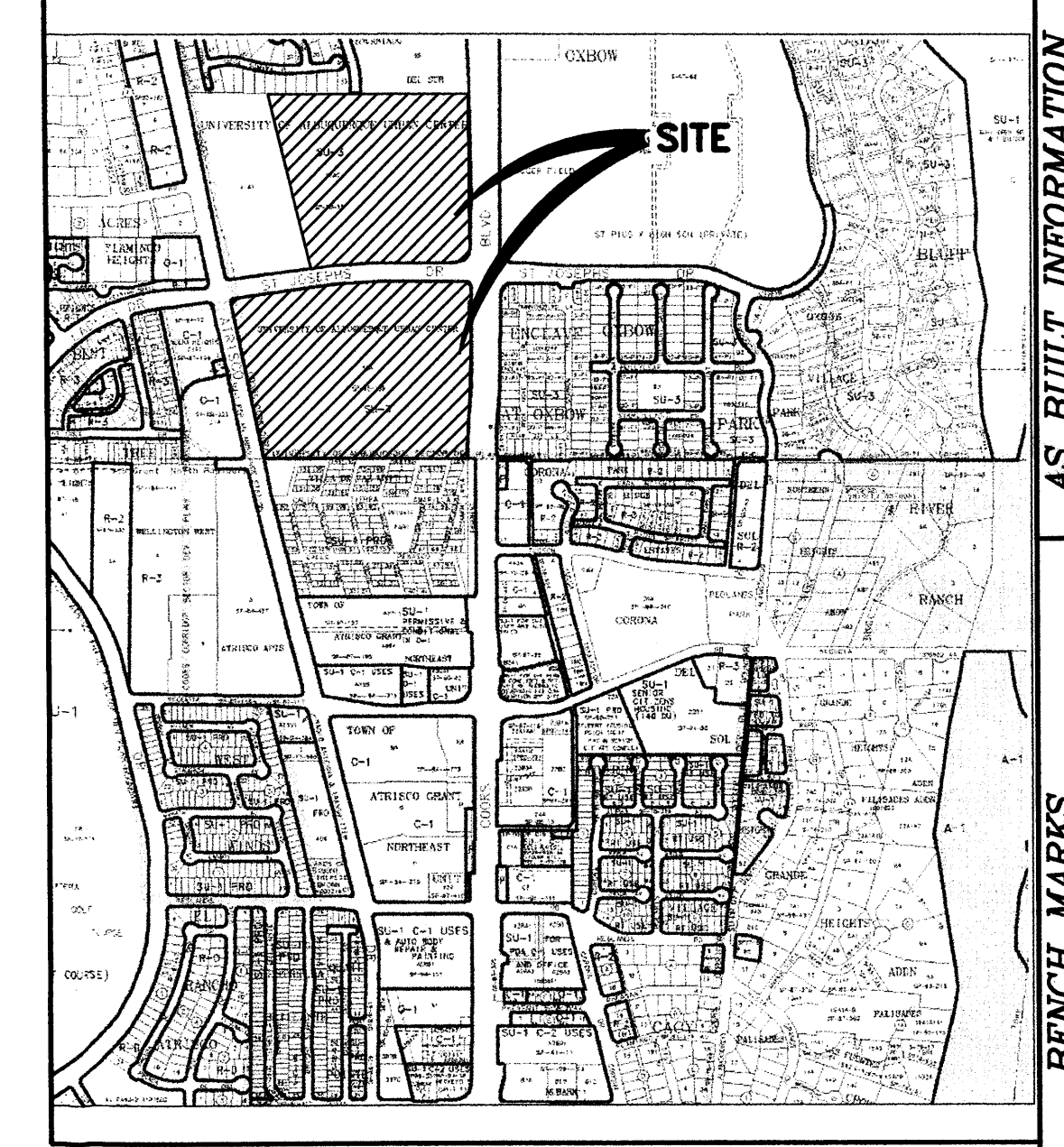
THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF MULTIPLE RETAIL AND OFFICE DEVELOPMENTS WITH ASSOCIATED INFRASTRUCTURE. ONSITE DRAINAGE WILL BE ROUTED THROUGH A SERIES OF BOTH ABOVE-GROUND AND UNDERGROUND DETENTION PONDS INTENDED TO DISCHARGE TO THE EXISTING OUTFALL WITHIN COORS BLVD. THE EXISTING OUTFALL DIRECTS RUNOFF THROUGH THE ENCLAVE AT OXBOW AND ULTIMATELY TO THE RIO GRANDE RIVER.

**NOTES**

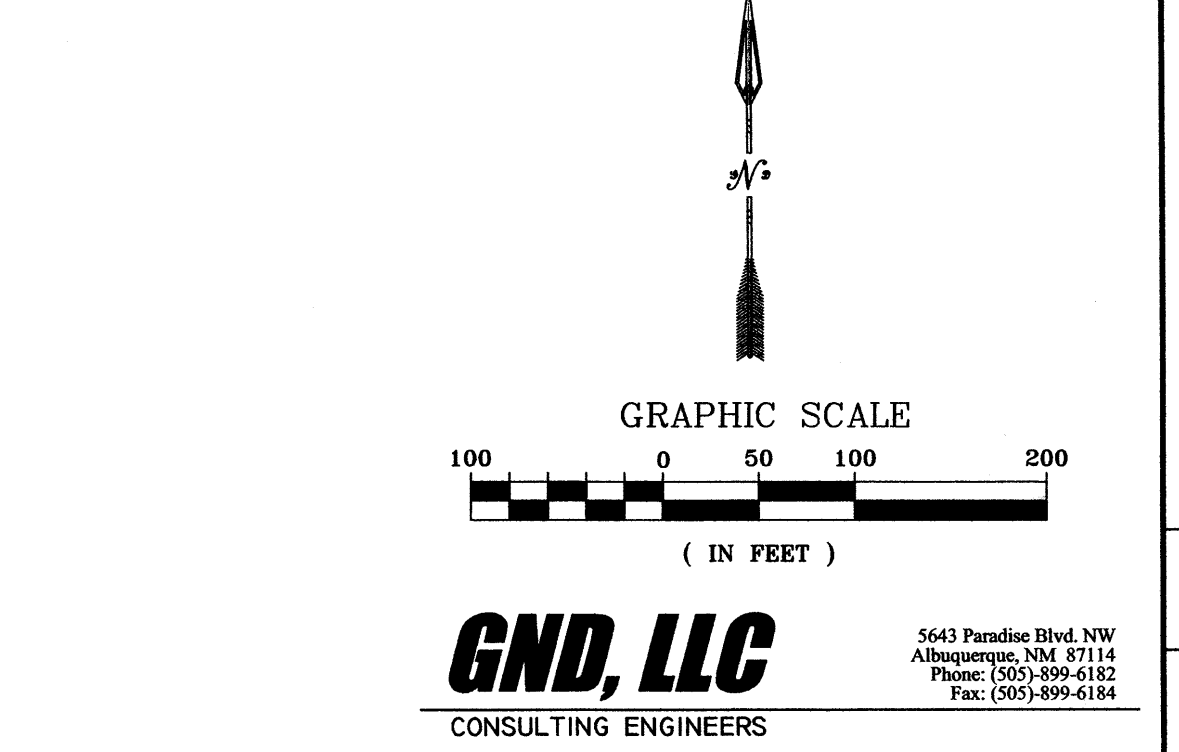
1. SEE SHEET 15 OF 15 FOR GRADING TYPICAL SECTIONS
2. SEE SHEET 15 OF 15 FOR RETAINING WALL DETAILS
3. SEE SHEETS 7-10 OF 15 FOR STORM DRAIN PLANS

**LEGEND**

- DIRECTION OF FLOW
- HIGH POINT
- FUTURE PHASE



**LEGAL DESCRIPTION**  
Tracts X-1-A2 and X-2-A  
University of Albuquerque Urban Center  
Projected Sec. 2, T10N, R2E



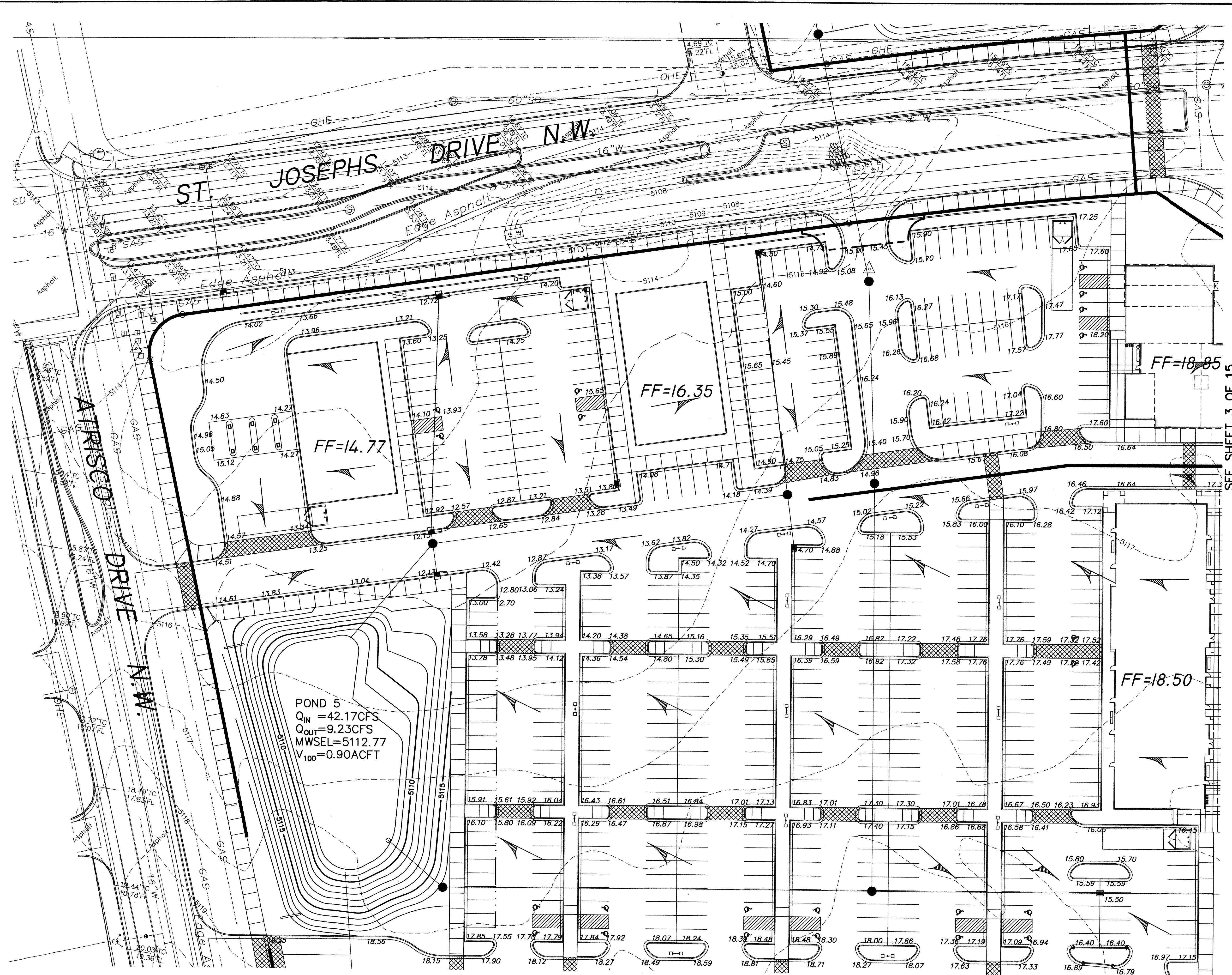
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER	
CONCEPTUAL GRADING & DRAINAGE PLAN	
MONTH/DAY/YEAR	USER DEPARTMENT
LATEST DESIGN UPDATE	
CITY PROJECT No.	ZONE MAP No. SHEET
	G-11 1 OF 15

<b>AS BUILT INFORMATION</b>	
CONTRACTOR	DATE
INSPECTOR'S SIGNATURE	DATE
INSPECTOR'S REFERENCE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
<b>MICRO-FILM INFORMATION</b>	
RECORDED BY	DATE
No.	
<b>BENCH MARKS</b>	
NGS/Albuquerque Control Survey Monument	
P. JOSEPH 1969*	
NM State Plane Coordinates (Central Zone -NAD27)	
X=366,686.82 Y=1,502,246.75	
Delta Alpha=-00°15'24"	
Ground to Grid Factor=0.99967551	
Elevation=5116.61 (NAVD88)	
<b>SURVEY INFORMATION</b>	
FIELD NOTES	
NO.	DATE
BY	
<b>ENGINEER'S SEAL</b>	
NO.	DATE
BY	
REVISIONS	
DESIGN	
NO.	DATE
REMARKS	
DESIGNED BY: JRW	DATE: NOV 2007
DRAWN BY: JRW PMT	DATE: NOV 2007
CHECKED BY: SEG	DATE: NOV 2007

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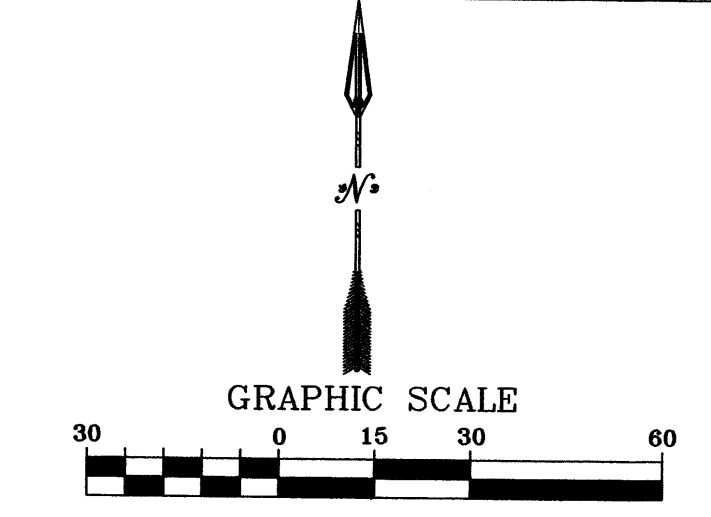
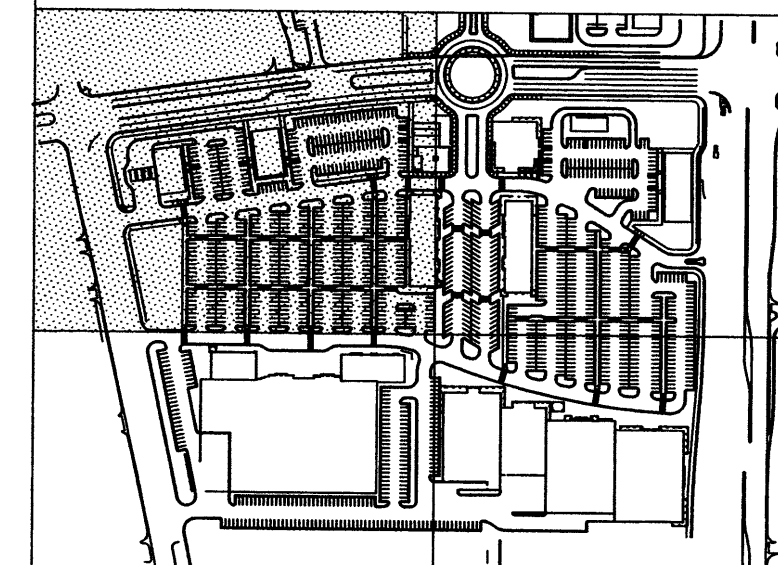
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SEE SHEET 3 OF 15

SEE SHEET 5 OF 15

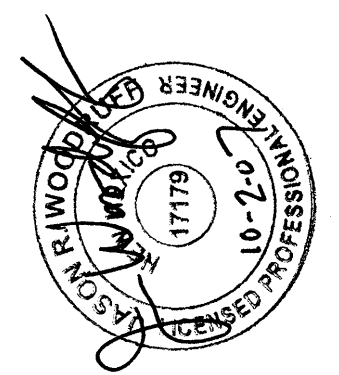
**NOTES**  
1. SEE SHEETS 7 THRU 10 OF 15 FOR STORM DRAIN PLANS.



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Albuquerque, NM 87114  
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CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER	
GRADING AND DRAINAGE PLAN	
LATEST DESIGN UPDATE	USER DEPARTMENT
CITY PROJECT No.	ZONE MAP No. SHEET
	G-11 2 OF 15

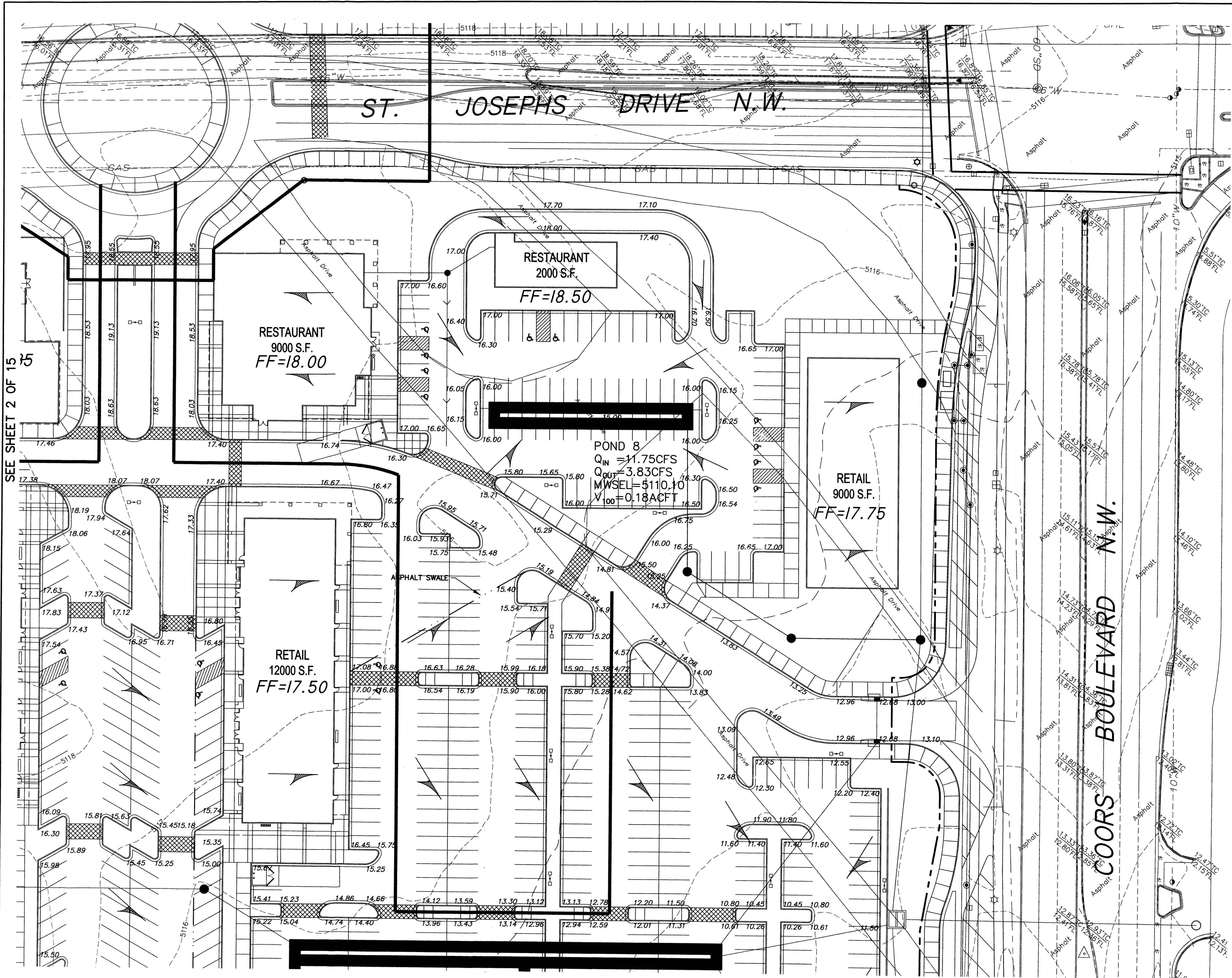
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			Elevation=5116.61 (NAVD88)	<b>MICRO-FILM INFORMATION</b>	DATE
				RECORDED BY	DATE
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NO.	DATE	REMARKS	BY
	DATE: NOV 2007	REVISIONS	
	DATE: NOV 2007	DESIGN	
	DATE: NOV 2007		



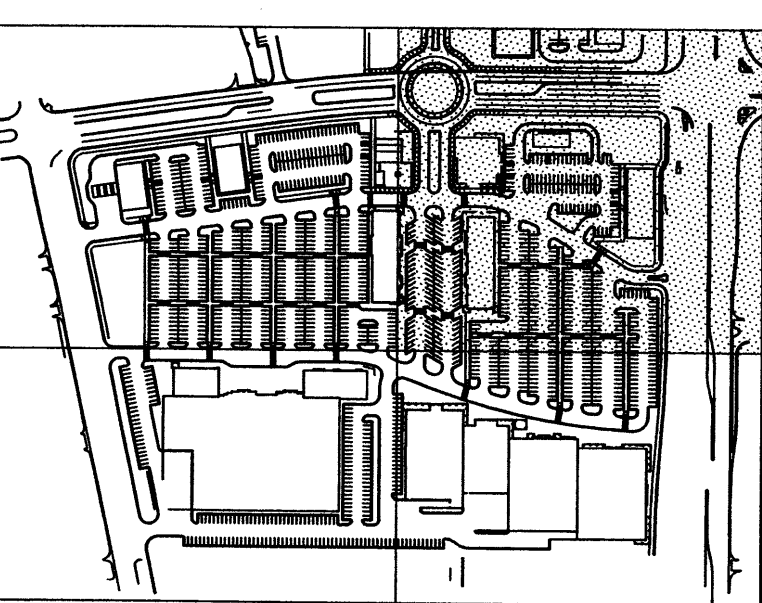
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SEE SHEET 2 OF 15

SEE SHEET 4 OF 15

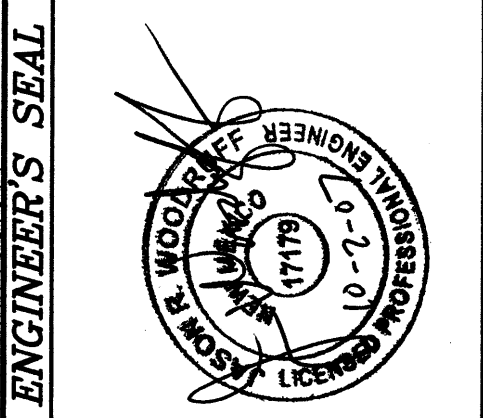
**NOTES**  
1. SEE SHEETS 7 THRU 10 OF 15 FOR STORM DRAIN PLANS.



GRAPHIC SCALE  
SCALE 1"=30'  
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CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION OXBOW TOWN CENTER GRADING AND DRAINAGE PLAN	
MONTH/DAY/YEAR	USER DEPARTMENT
LATEST DESIGN UPDATE	
CITY PROJECT No.	ZONE MAP No. SHEET
G-11	3 OF 15

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
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		Ground to Grid Factor=0.99967551	<b>MICRO-FILM INFORMATION</b>		
		Elevation=5116.61 (NAVD88)	RECORDED BY	DATE	DATE
			No.		



NO.	DATE	REMARKS	BY
	DATE: NOV 2007	DESIGN	
	DATE: NOV 2007	REVISIONS	
	DATE: NOV 2007	DESIGN	