

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

EXISTING CONDITIONS

THE EXISTING SITE IS PREDOMINATELY UNDISTURBED SILTY SAND AND CLAYEY SAND TYP SOILS MODERATELY VEGITATED WITH VARIOUS GRASSES AND SHRUBS. ONSITE SLOPES ARE VERY MILD AND DRAIN IN VARIOUS DIRECTIONS. THE PORTION OF THE PROJECT NORTH OF ST. JOSEPHS DRIVE PREDOMINATELY DRAINS TO THE NW CORNER OF THE TRACT AND INTO AN EXISTING RETENTION POND OFFSITE. THE REMAINDER OF THE NORTHERN PORTION DRAINS TO A DEPRESSION ADJACENT TO COORS BLVD. THE PORTION OF THE PROJECT SOUTH OF ST. JOSEPHS DRAINS IN TWO DIRECTIONS. APPROXIMATELY 60% DRAINS INTO COORS BLVD AND THE EXISTING STORM DRAIN. THE REMAINING 40% DRAINS TO AN EXISTING DETENTION POND WITHIN THE ST. JOSEPHS RIGHT OF WAY. THIS POND THEN DISCHARGES INTO THE EXISTING 60" LADERA STORM DRAIN SYSTEM.

PROPOSED CONDITIONS

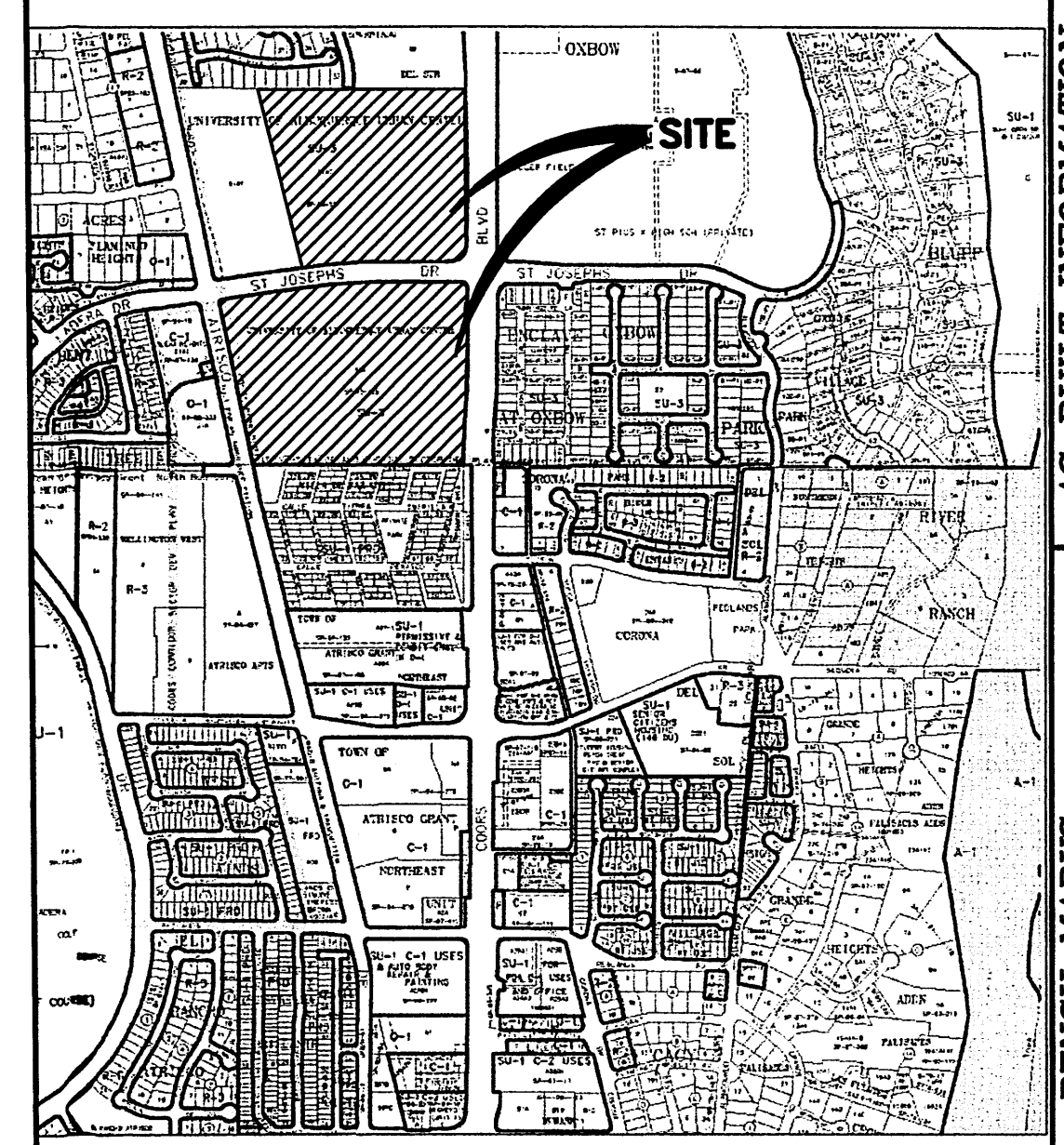
THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF MULTIPLE RETAIL AND OFFICE DEVELOPMENTS WITH ASSOCIATED INFRASTRUCTURE. ONSITE DRAINAGE WILL BE ROUTED THROUGH A SERIES OF BOTH ABOVE-GROUND AND UNDERGROUND DETENTION PONDS INTENDED TO DISCHARGE TO THE EXISTING OUTFALL WITHIN COORS BLVD. THE EXISTING OUTFALL DIRECTS RUNOFF THROUGH THE ENCLAVE AT OXBOW AND ULTIMATELY TO THE RIO GRANDE RIVER.

NOTES

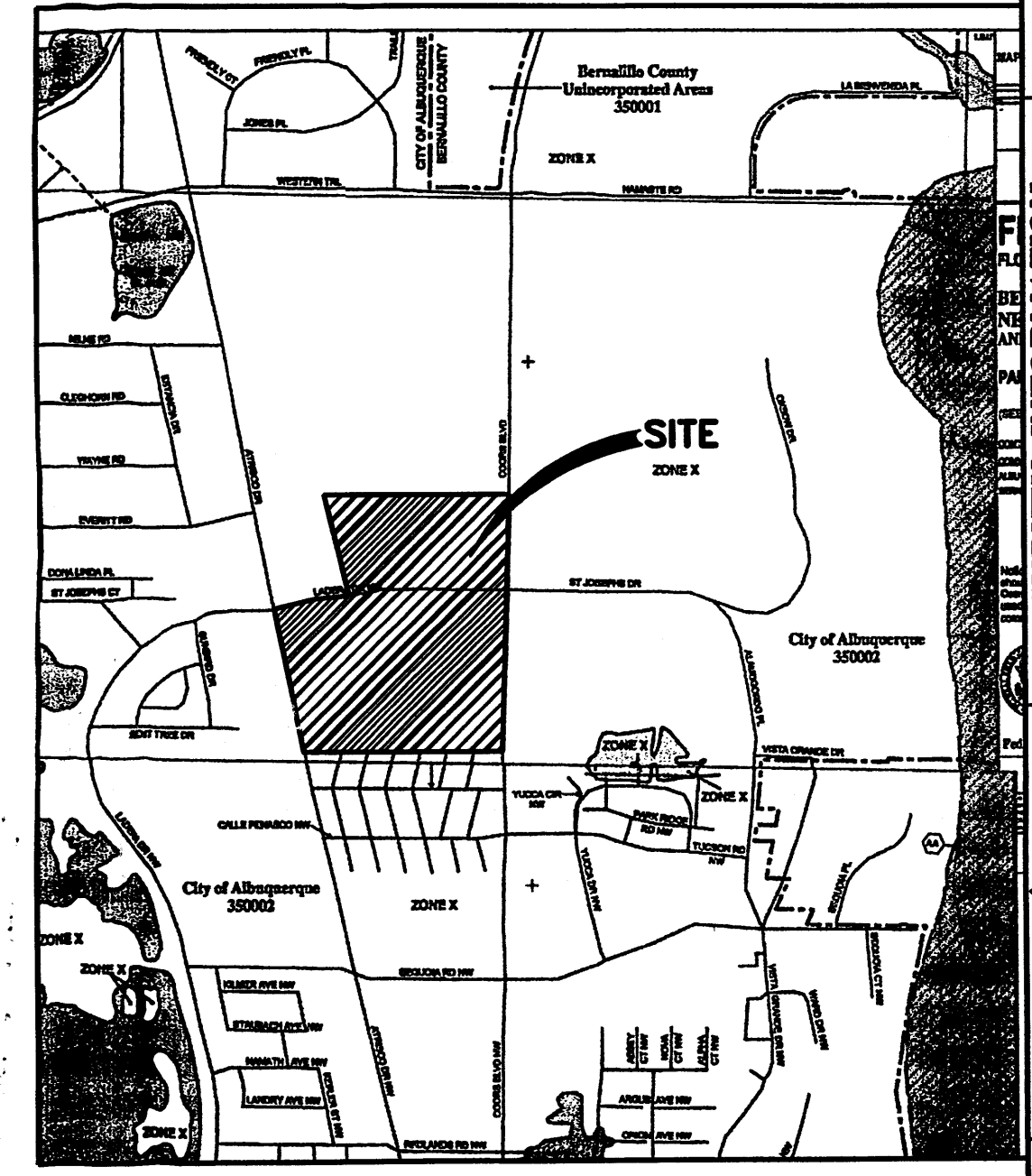
1. SEE SHEET 15 OF 15 FOR GRADING TYPICAL SECTIONS
2. SEE SHEET 15 OF 15 FOR RETAINING WALL DETAILS
3. SEE SHEETS 7-10 OF 15 FOR STORM DRAIN PLANS

LEGEND

- DIRECTION OF FLOW
- HIGH POINT
- FUTURE PHASE

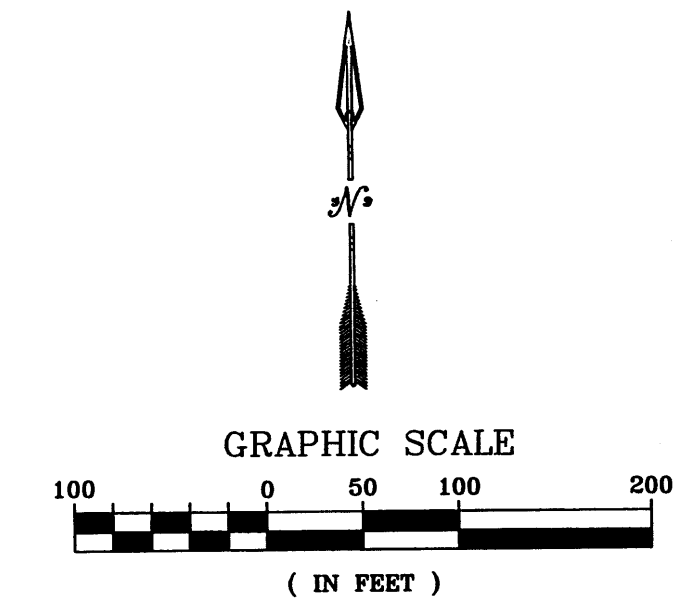


VICINITY MAP G-11-Z



FIRM MAP

LEGAL DESCRIPTION Tracts X-1-A2 and X-2-A University of Albuquerque Urban Center Projected Sec. 2, T10N, R2E



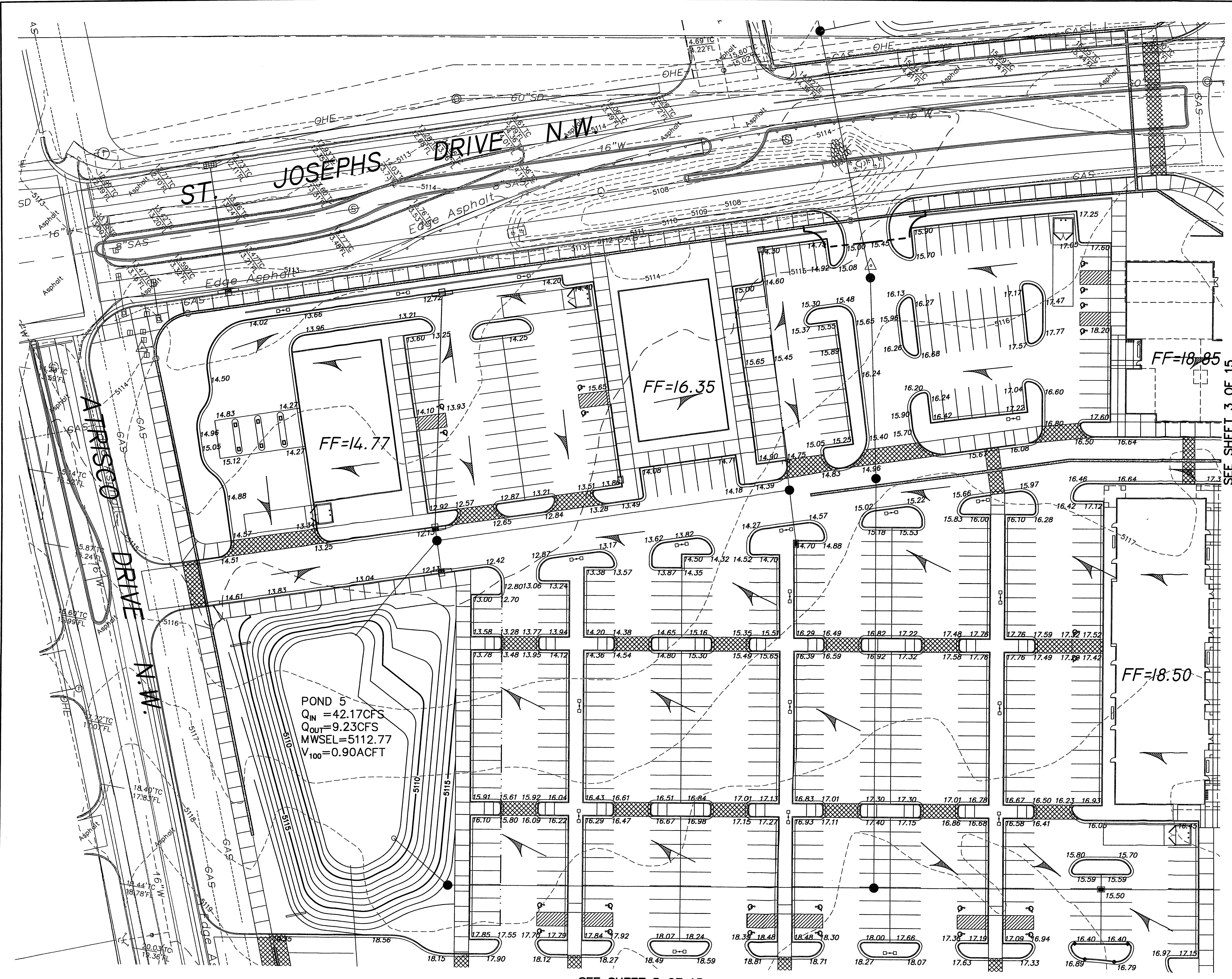
GND, LLC
CONSULTING ENGINEERS
5643 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: (505) 899-6182
Fax: (505) 899-6184

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION		
OXBOW TOWN CENTER		
CONCEPTUAL GRADING & DRAINAGE PLAN		
MONTH/DAY/YEAR	USER DEPARTMENT	
LATEST DESIGN UPDATE		
CITY PROJECT No.	ZONE MAP No. G-11	SHEET 1 OF 15

AS BUILT INFORMATION		
CONTRACTOR	DATE	
STAGED BY	DATE	
FIELD ACCEPTANCE BY	DATE	
DRAWINGS BY	DATE	
CHECKED BY	DATE	
RECORDED BY	DATE	
MICRO-FILM INFORMATION		
NO.	DATE	
FIELD NOTES		
NO.	DATE	
ENGINEER'S SEAL		
NO.	DATE	
REVISIONS		
NO.	DATE	REMARKS
DESIGNED BY: JRW	DATE: NOV 2007	
DRAWN BY: JRW PMT	DATE: NOV 2007	
CHECKED BY: SEC	DATE: NOV 2007	

T:\Projects\6010\Cad\SHEETS\6010_CONCEPT_G_D2.dwg 1/25/2007 9:02:22 AM MST

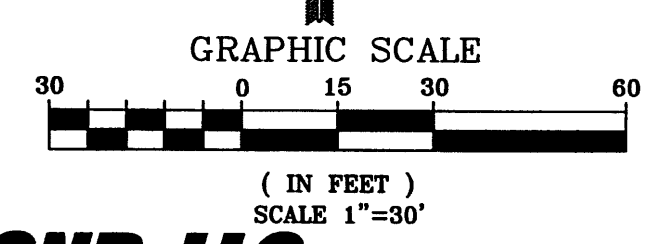
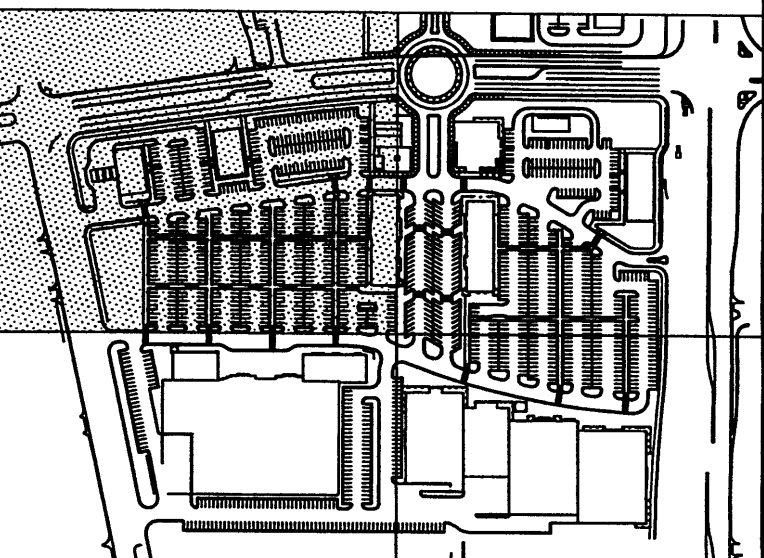
T:\Projects\6010\Con\Sheets\6010_GD_01_30.dwg 1/25/2007 9:20:30 AM MST



SEE SHEET 5 OF 15

SEE SHEET 3 OF 15

NOTES
1. SEE SHEETS 7 THRU 10 OF 15 FOR STORM DRAIN PLANS.



GND, LLC
CONSULTING ENGINEERS
5643 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: (505) 899-4182
Fax: (505) 899-4184

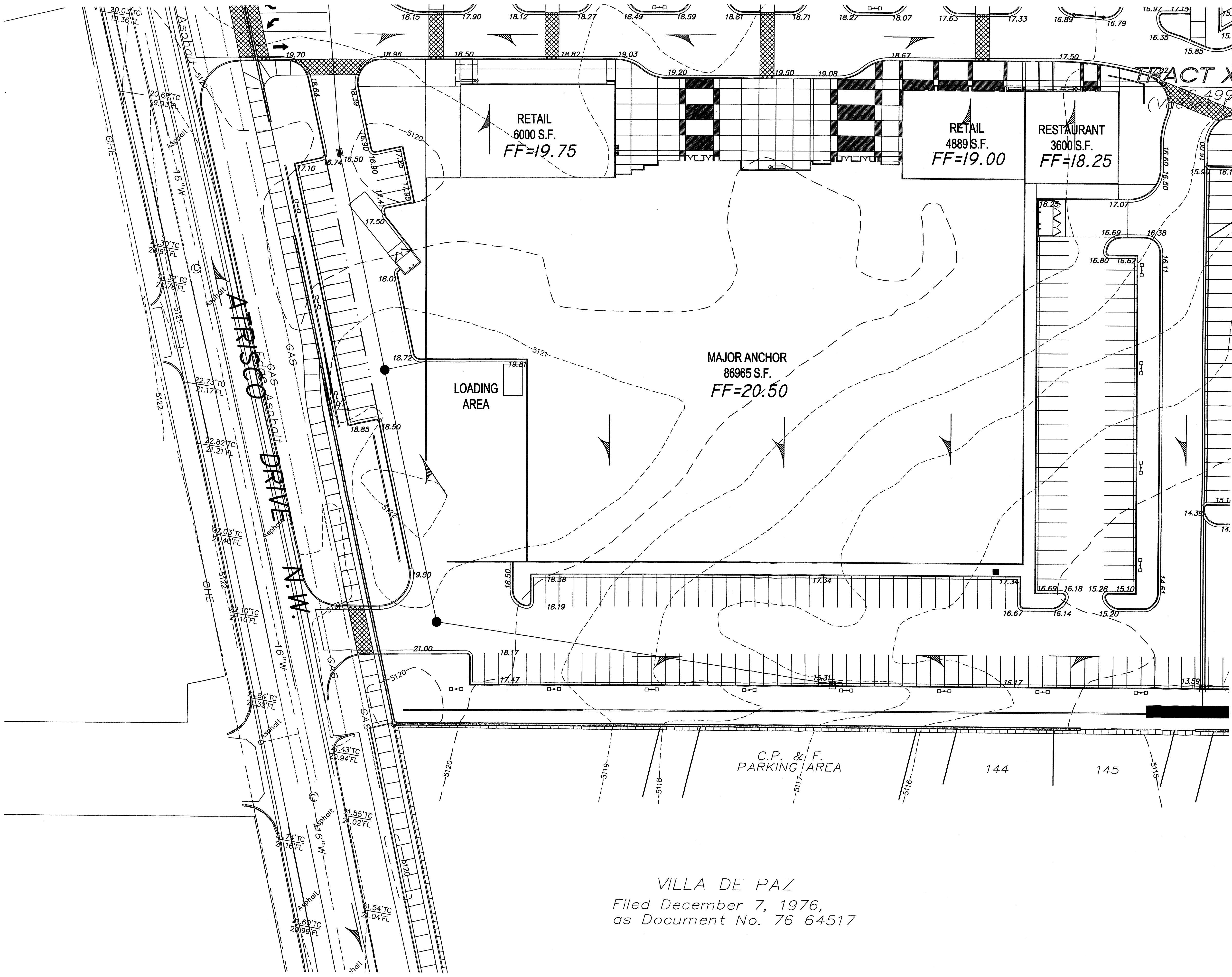
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
OXBOW TOWN CENTER
GRADING AND DRAINAGE PLAN

LATEST DESIGN UPDATE	MONTH/DAY/YEAR	USER DEPARTMENT

CITY PROJECT No. _____ ZONE MAP No. **G-11** SHEET **2 OF 15**

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NGS/Albuquerque Control Survey Monument	DATE	NO.	BY	REMARKS REVISIONS DESIGN	DATE: NOV 2007 DATE: NOV 2007 DATE: NOV 2007
INSPECTOR'S ACCEPTANCE BY	DATE	"JOSEPH 1969"	DATE				
DRAWINGS BY	DATE	NM State Plane Coordinates (Central Zone -NAD27)					
DESIGNED BY	DATE	X=366,686.82 Y=1,502,246.75					
DRAWN BY	DATE	Delta Alpha=-001°15'24"					
CHECKED BY	DATE	Ground to Grid Factor=0.99987951					
RECORDED BY	DATE	Elevation=5116.61 (NAVD88)					

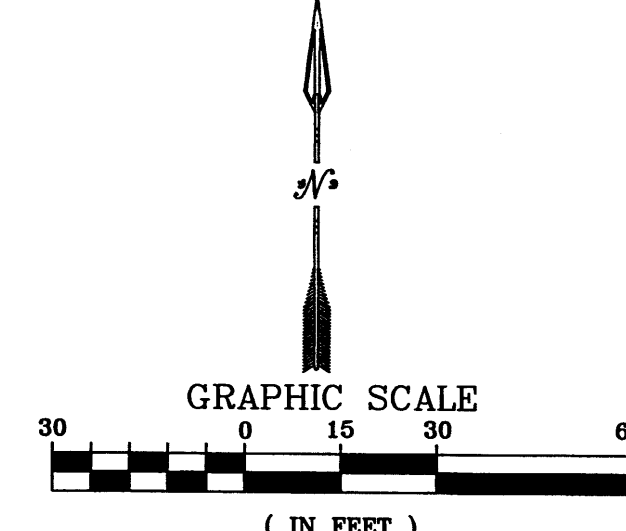
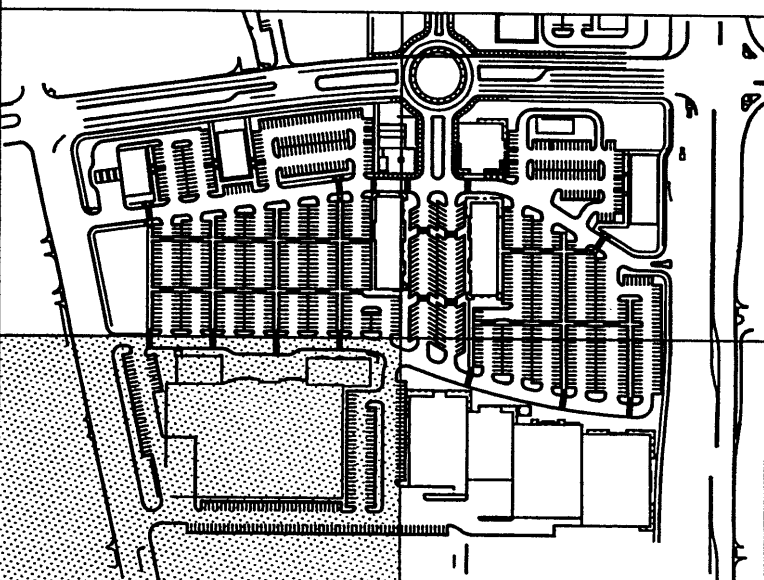
SEE SHEET 2 OF 15



VILLA DE PAZ
 Filed December 7, 1976,
 as Document No. 76 64517

CONCRETE SWALE PER DETAIL
 ON SHEET 15 OF 15

NOTES
 1. SEE SHEETS 7 THRU 10 OF 15
 FOR STORM DRAIN PLANS.



GND, LLC
 CONSULTING ENGINEERS
 5643 Paradise Blvd. NW
 Albuquerque, NM 87114
 Phone: (505) 899-6182
 Fax: (505) 899-6184

AS BUILT INFORMATION

CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
FIELD DRAWING BY	DATE
REVISIONS	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE

BENCH MARKS

NGS/Albuquerque Central Survey Monument	DATE
* JOSEPH 1969*	DATE
NM State Plane Coordinates (Central Zone -NAD27)	DATE
X=366,686.82 Y=1,502,246.75	DATE
Delta Alpha=-0015'24"	DATE
Ground to Grid Factor=0.9997551	DATE
Elevation=5116.61 (NAVD88)	DATE

SURVEY INFORMATION

FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL

NO.	DATE
-----	------

REVISIONS

NO.	DATE	REMARKS	BY

DESIGNED BY: JRW DATE: MAR 2007
 DRAWN BY: JRW DATE: MAR 2007
 CHECKED BY: JRW DATE: MAR 2007

CITY OF ALBUQUERQUE
 MUNICIPAL DEVELOPMENT DEPARTMENT
 ENGINEERING DIVISION

OXBOW TOWN CENTER
 GRADING AND DRAINAGE PLAN

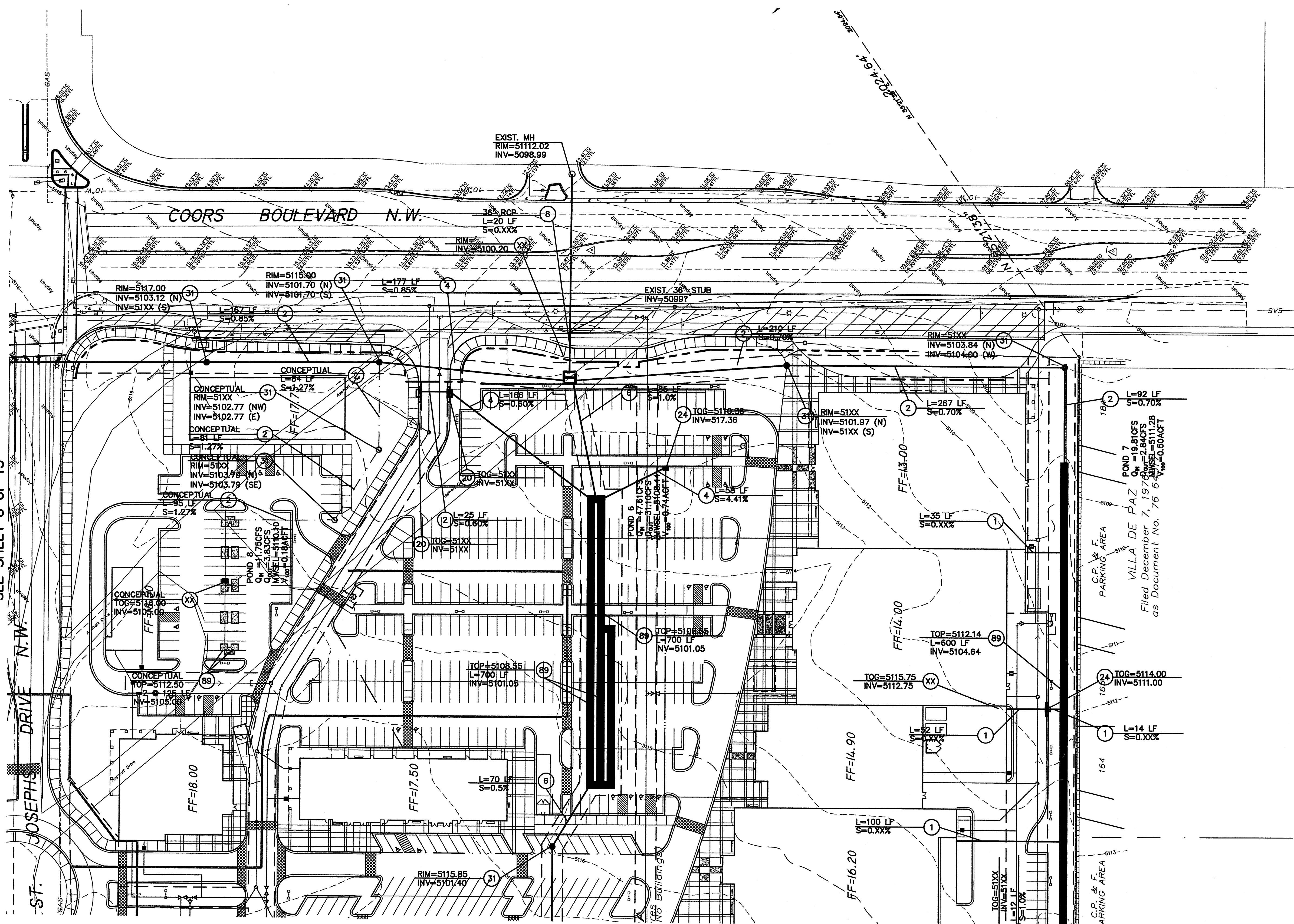
LATEST DESIGN UPDATE	MONTH/DAY/YEAR	USER DEPARTMENT

T:\Projects\6010\Cad\Sheets\6010_GD_04_30.dwg 1/30/2007 3:20:13 PM MST

T:\Projects\6010\Coa\Sheets\6010 Master Utility Plan_S002A_80.dwg 3/2/2007 2:58:59 PM MST

SEE SHEET 8 OF 15

SEE SHEET 9 OF 15

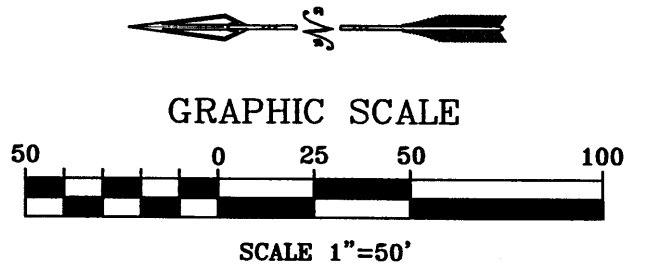


STORM DRAIN CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 12" STORM DRAIN PIPE
2	INSTALL 18" STORM DRAIN PIPE
4	INSTALL 24" STORM DRAIN PIPE
6	INSTALL 30" STORM DRAIN PIPE
8	INSTALL 36" STORM DRAIN PIPE
20	INSTALL TYPE A CATCH BASIN SINGLE GRATE PER COA STD. DETAIL 2201
24	INSTALL TYPE C CATCH BASIN - DOUBLE, WING PER COA STD. DETAIL 2205
26	INSTALL SIDEWALK CULVERT W/ STEEL PLATE PER COA STD. DETAIL 2236
31	INSTALL 6" DIA. MANHOLE PER COA STD. DETAIL 2101
88	INSTALL 90" DIA. ALUMINIZED CMP
90	INSTALL 36" DIA. CMP RISER, PER DETAIL
91	INSTALL 10' x 10' RIPRAP BLANKET, PER DETAIL

GENERAL NOTES

- ALL STORM DRAIN PIPE TO BE HDPE OR ENGINEER APPROVED EQUAL.
- SEE SHEET 6 OF 15 FOR LEGEND.



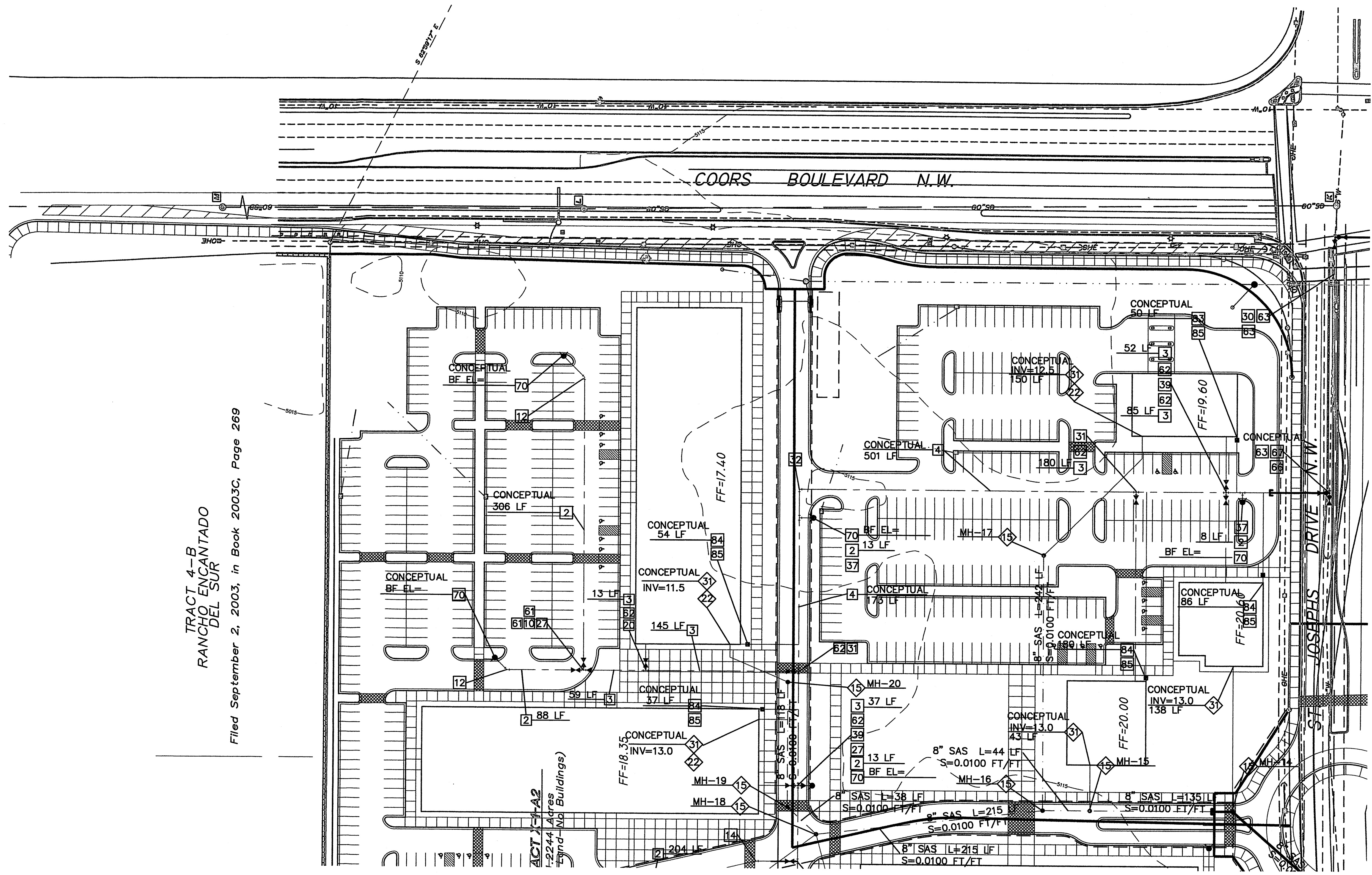
GND, LLC
CONSULTING ENGINEERS
2643 Paradise Blvd, NW
Albuquerque, NM 87114
Phone: (505) 899-6182
Fax: (505) 899-6184

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CONTRACTOR	NGS/Albuquerque Control Survey Monument	CONTRACTOR	NGS/Albuquerque Control Survey Monument	NO.	DATE	NO.	DATE
DESIGNED BY	JOSEPH 1989*	DESIGNED BY	JOSEPH 1989*	REVISIONS	BY	REVISIONS	BY
DRAWN BY	NM State Plane Coordinates (Central Zone -NAD27)	DRAWN BY	NM State Plane Coordinates (Central Zone -NAD27)	DATE	NOV 2007	DATE	NOV 2007
CHECKED BY	X=366,686.82 Y=1,502,246.75	CHECKED BY	X=366,686.82 Y=1,502,246.75	DATE	NOV 2007	DATE	NOV 2007
RECORDED BY	Delta Alpha=-0015'24"	RECORDED BY	Delta Alpha=-0015'24"	DESIGNED BY	JRW	DESIGNED BY	JRW
	Ground to Grid Factor=0.99867551		Ground to Grid Factor=0.99867551	DRAWN BY	JRW	DRAWN BY	JRW
	Elevation=5116.61 (NAVD88)		Elevation=5116.61 (NAVD88)	CHECKED BY	JRW	CHECKED BY	JRW

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER MASTER UTILITY PLAN STORM DRAIN	
MONTH/DAY/YEAR	USER DEPARTMENT
CITY PROJECT No.	ZONE MAP No. SHEET
	G-11 10 OF 15

T:\Projects\6010\Cad\Sheets\6010 MASTER UTILITY PLAN_WS01A_60.dwg 3/2/2007 1:18:51 PM MST

TRACT 4-B
RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269



SEE SHEET 11 OF 15

SEE SHEET 14 OF 15

WATER CONSTRUCTION NOTES

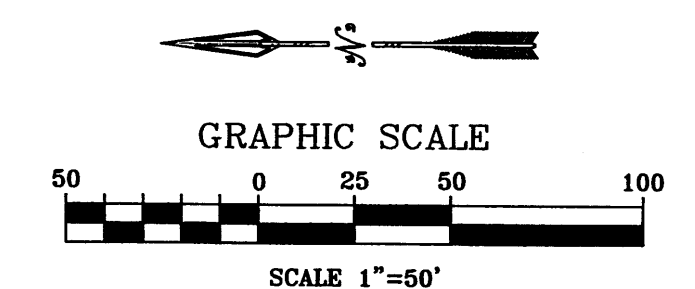
I.D.#	DESCRIPTION
2	INSTALL 6" D.I. WATERLINE PER STD. SPEC. SEC. 801
3	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
4	INSTALL 10" WATERLINE PER STD. SPEC. SEC. 801
10	INSTALL 6" TEE
12	INSTALL 6" 45° BEND
26	INSTALL 8" TEE
27	INSTALL 8" X 6" REDUCER
28	INSTALL 8" CROSS
29	INSTALL 10" X 6" REDUCER
30	INSTALL 10" TEE
31	INSTALL 10" X 8" TEE
32	INSTALL 10" 90° BEND
34	INSTALL 10" 22 1/2° BEND
35	INSTALL 10" 11 1/4° BEND
37	INSTALL 10" X 6" TEE
38	INSTALL 10" X 8" REDUCER
39	INSTALL 10" X 8" CROSS
61	INSTALL 6" GATE VALVE AND VALVE BOX PER V.O.L.L. STD. DETAIL
62	INSTALL 8" GATE VALVE AND VALVE BOX PER V.O.L.L. STD. DETAIL
63	INSTALL 10" GATE VALVE AND VALVE BOX PER COA STD. DETAIL 2326, 2328
66	INSTALL 16" BUTTERFLY VALVE AND VALVE BOX PER COA STD. DETAIL 2333, 2332
67	INSTALL 16" X 10" TEE
70	INSTALL FIRE HYDRANT PER V.O.L.L. STD. DETAIL
83	INSTALL 1 1/2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
84	INSTALL 2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
85	INSTALL METER BOX, COVER, & LID PER COA STD. DETAIL 2367

SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 4" DIA. MANHOLE PER COA STD DETAIL 2101
2	INSTALL 6" DIA. DOUBLE PRESSURE CLEAN OUT W/CROSS PER DETAIL
3	INSTALL 6" SEWER SERVICE PER COA STD. DETAIL

GENERAL NOTES

- SEE SHEET 6 OF 15 FOR LEGEND.
- SEE SHEET 13 FOR SANITARY SEWER MANHOLE TABLE.



GND, LLC
CONSULTING ENGINEERS
5643 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: (505) 899-6182
Fax: (505) 899-6184

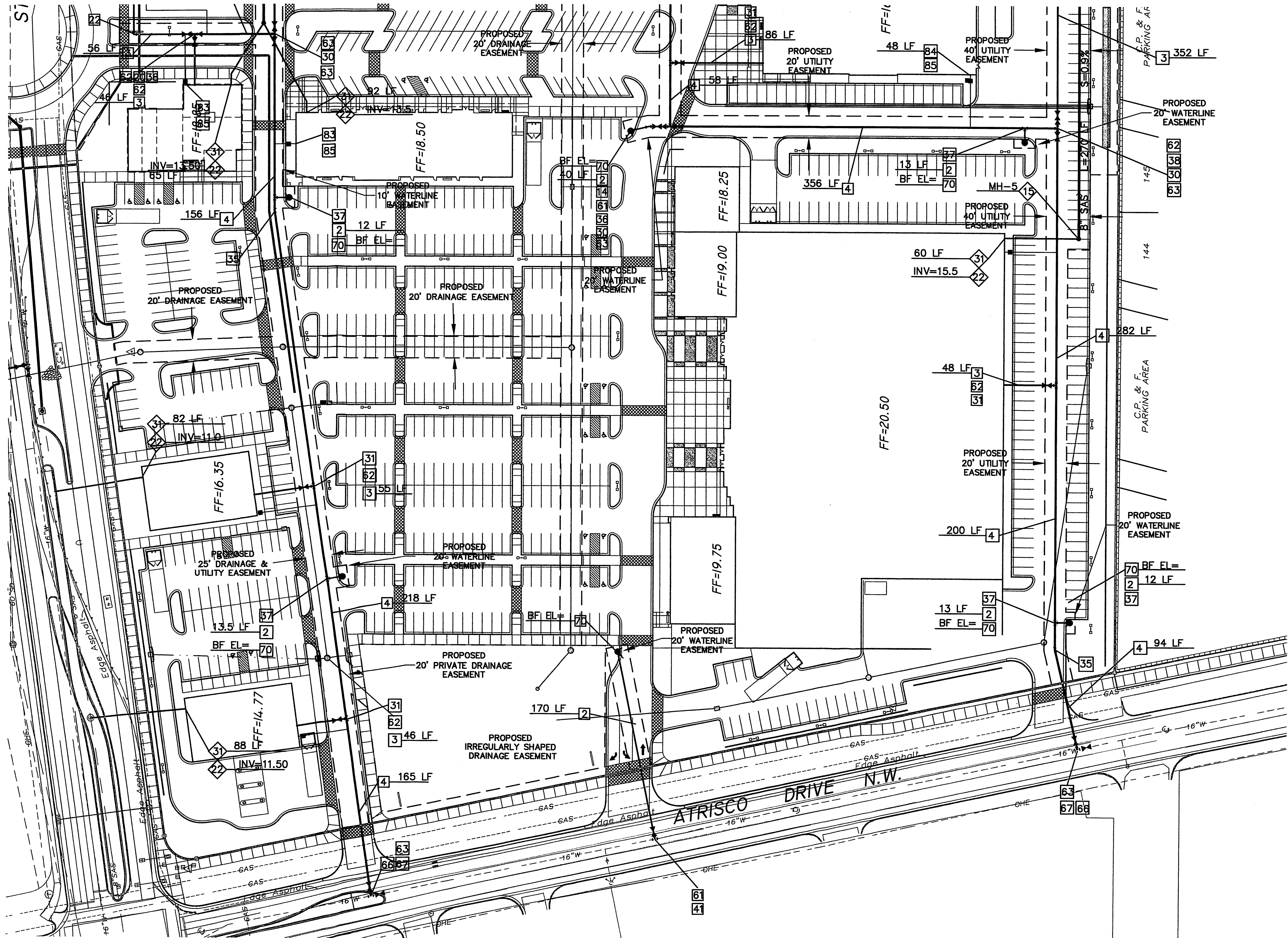
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY	NO.	BY
NGS/Albuquerque Central Survey Monument							
STANDARD BY: NAD83	DATE: 1999*						
FIELD ACCEPTANCE BY: JMW	DATE: 11/27/07						
DRAWN BY: JRW	DATE: 11/27/07						
CHECKED BY: JRW	DATE: 11/27/07						
DESIGNED BY: JRW	DATE: NOV 2007						
DRAWN BY: JRW	DATE: NOV 2007						
CHECKED BY: JRW	DATE: NOV 2007						

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER MASTER UTILITY PLAN SANITARY SEWER AND WATER	
MONTH/DAY/YEAR	USER DEPARTMENT
CITY PROJECT No.	ZONE MAP No. SHEET
	G-11 12 OF 15

T:\Projects\6010\COA\SHEETS\6010 MASTER UTILITY PLAN_MS02_60.dwg 3/2/2007 1:35:37 PM MST

SEE SHEET 11 OF 15

SEE SHEET 14 OF 15



WATER CONSTRUCTION NOTES

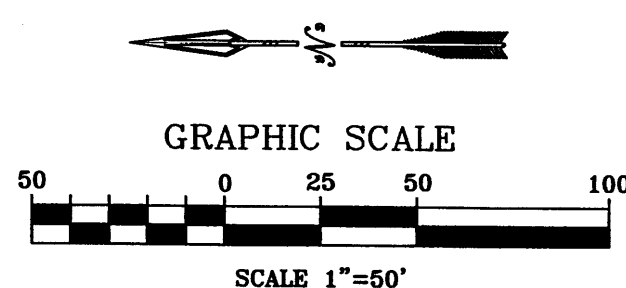
I.D.#	DESCRIPTION
21	INSTALL 6" D.I. WATERLINE PER STD. SPEC. SEC. 801
31	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
41	INSTALL 10" WATERLINE PER STD. SPEC. SEC. 801
20	INSTALL 8" TEE
28	INSTALL 8" CROSS
29	INSTALL 10" X 6" REDUCER
30	INSTALL 10" TEE
52	INSTALL 10" 90° BEND
54	INSTALL 10" 22 1/2° BEND
55	INSTALL 10" 11 1/4° BEND
57	INSTALL 10" X 6" TEE
58	INSTALL 10" X 8" REDUCER
59	INSTALL 10" X 8" CROSS
63	INSTALL 10" GATE VALVE AND VALVE BOX PER COA STD. DETAIL 2326, 2328
68	INSTALL 16" BUTTERFLY VALVE AND VALVE BOX PER COA STD. DETAIL 2333, 2352
67	INSTALL 16" X 10" TEE
70	INSTALL FIRE HYDRANT PER V.O.L.L. STD. DETAIL
84	INSTALL 2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
85	INSTALL METER BOX, COVER, & LID PER COA STD. DETAIL 2367

SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
4	INSTALL 4" DIA. MANHOLE PER COA STD DETAIL 2101
2	INSTALL 6" DIA. DOUBLE PRESSURE CLEAN OUT W/CROSS PER DETAIL
3	INSTALL 6" SEWER SERVICE PER COA STD. DETAIL

GENERAL NOTES

1. SEE SHEET 6 OF 15 FOR LEGEND.



SANITARY SEWER MANHOLE TABLE

MH NO.	RIM ELEV.	INV. (N)	INV. (E)	INV. (W)	INV. (S)
1	5107.00	5100.45	-	5100.45	5100.34
2	5113.88	5104.99	5104.89	5104.99	-
3	5114.56	5106.44	5106.34	5106.44	-
4	5115.64	5107.62	5107.52	5107.62	-
5	5117.27	5110.15	5110.05	-	-
6	5110.50	5103.48	-	-	5103.38
7	5113.50	-	-	5105.56	5105.46
8	5114.45	5106.88	5106.78	5106.88	-
9	5117.45	5109.84	5109.74	5109.84	-
10	5116.00	-	5110.51	5110.61	5110.51

MH NO.	RIM ELEV.	INV. (N)	INV. (E)	INV. (W)	INV. (S)
11	5118.55	5111.70	5111.60	-	5111.70
12	5117.70	-	5091.71	5091.61	-
13	5115.50	5094.45	-	5094.35	-
14	XXXX.XX	5096.08	-	-	5095.98
15*	XXXX.XX	5097.53	-	-	6097.43
16*	XXXX.XX	5098.08	-	-	5097.98
17*	XXXX.XX	-	-	5100.50	-
18*	XXXX.XX	5100.33	5100.33	5100.33	5100.23
19*	XXXX.XX	-	5100.71	5100.81	-
20*	XXXX.XX	5102.10	-	5102.00	-
21	XXXX.XX	-	5111.27	5111.27	5111.17

* INDICATES CONCEPTUAL MANHOLE

AS BUILT INFORMATION		CONTRACTOR		DATE	
NO.	DATE	NO.	DATE	NO.	DATE

SURVEY INFORMATION		FIELD NOTES		DATE	
NO.	DATE	NO.	DATE	NO.	DATE

ENGINEER'S SEAL		REVISIONS		DATE	
NO.	DATE	NO.	DATE	NO.	DATE

DESIGNED BY: JRW		DATE: NOV 2007	
DRAWN BY: JRW		DATE: NOV 2007	
CHECKED BY: JRW		DATE: NOV 2007	

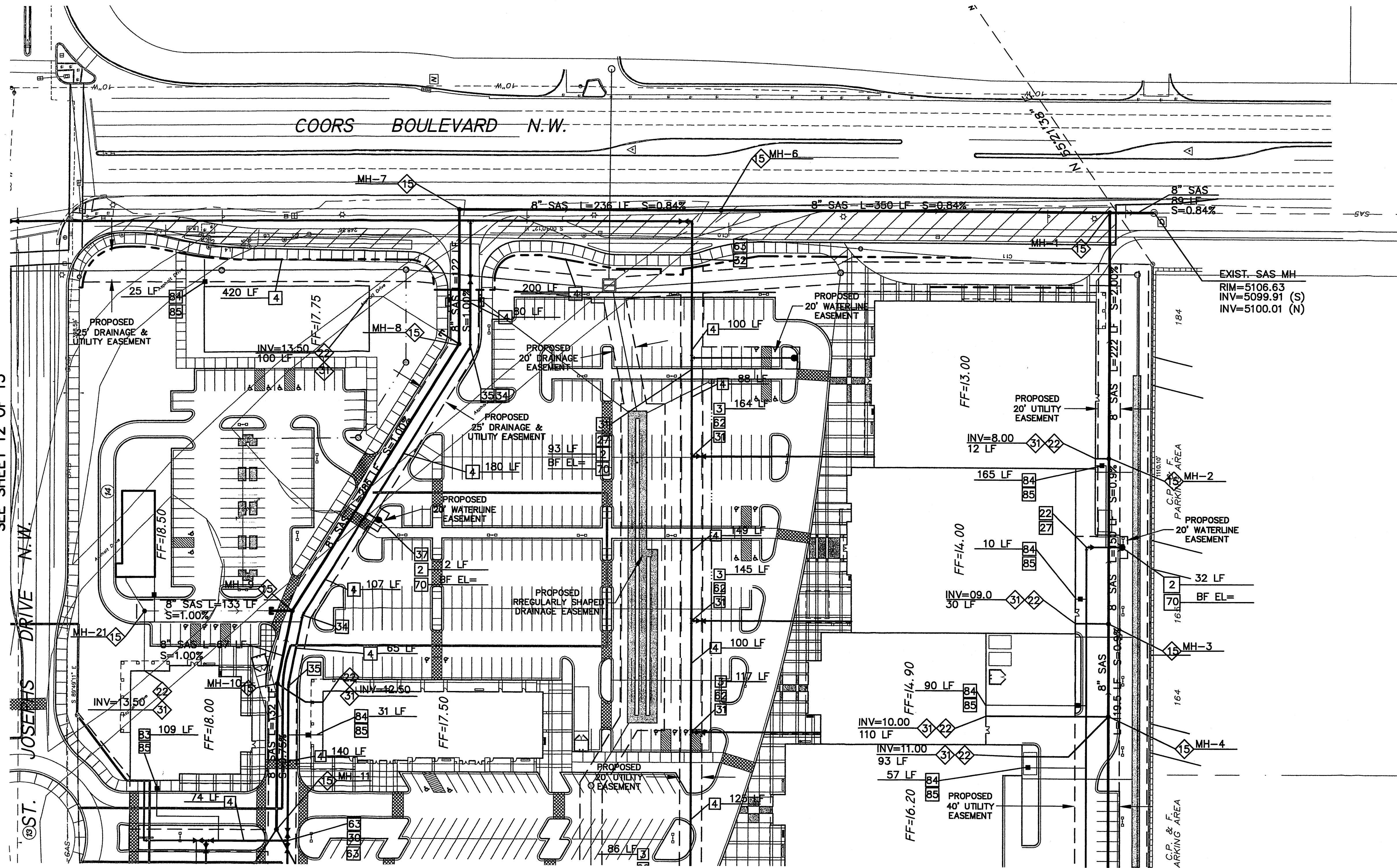
CITY OF ALBUQUERQUE		MUNICIPAL DEVELOPMENT DEPARTMENT		ENGINEERING DIVISION	
OXBOW TOWN CENTER					
MASTER UTILITY PLAN					
SANITARY SEWER AND WATER					
MONTH/DAY/YEAR		USER DEPARTMENT			

CITY PROJECT No.	ZONE MAP No.	SHEET
	G-11	13 OF 15

GND, LLC
CONSULTING ENGINEERS
5643 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: (505) 899-6182
Fax: (505) 899-6184

T:\Projects\6010\Cad\Sheets\6010 MASTER UTILITY PLAN_NS02A_60.dwg 3/2/2007 1:51:24 PM MST

SEE SHEET 12 OF 15



13 OF 15

WATER CONSTRUCTION NOTES

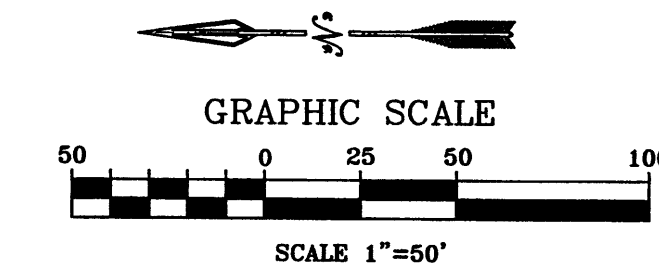
I.D.#	DESCRIPTION
12	INSTALL 6" D.I. WATERLINE PER STD. SPEC. SEC. 801
13	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
14	INSTALL 10" WATERLINE PER STD. SPEC. SEC. 801
20	INSTALL 8" TEE
22	INSTALL 8" 90° BEND
27	INSTALL 8" X 6" REDUCER
28	INSTALL 8" CROSS
29	INSTALL 10" X 6" REDUCER
30	INSTALL 10" TEE
31	INSTALL 10" X 8" TEE
32	INSTALL 10" 90° BEND
34	INSTALL 10" 22 1/2° BEND
35	INSTALL 10" 11 1/4° BEND
37	INSTALL 10" X 6" TEE
38	INSTALL 10" X 8" REDUCER
39	INSTALL 10" X 8" CROSS
62	INSTALL 8" GATE VALVE AND VALVE BOX PER V.O.L.L. STD. DETAIL
63	INSTALL 10" GATE VALVE AND VALVE BOX PER COA STD. DETAIL 2326, 2328
68	INSTALL 16" BUTTERFLY VALVE AND VALVE BOX PER COA STD. DETAIL 2333, 2352
67	INSTALL 16" X 10" TEE
74	INSTALL FIRE HYDRANT PER V.O.L.L. STD. DETAIL
76	INSTALL 2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
85	INSTALL METER BOX, COVER, & LID PER COA STD. DETAIL 2367

SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
15	INSTALL 4" DIA. MANHOLE PER COA STD DETAIL 2101
16	INSTALL 6" DIA. DOUBLE PRESSURE CLEAN OUT W/CROSS PER DETAIL
17	INSTALL 6" SEWER SERVICE PER COA STD. DETAIL

GENERAL NOTES

- SEE SHEET 6 OF 15 FOR LEGEND.
- SEE SHEET 13 OF 15 FOR SANITARY SEWER MANHOLE TABLE.



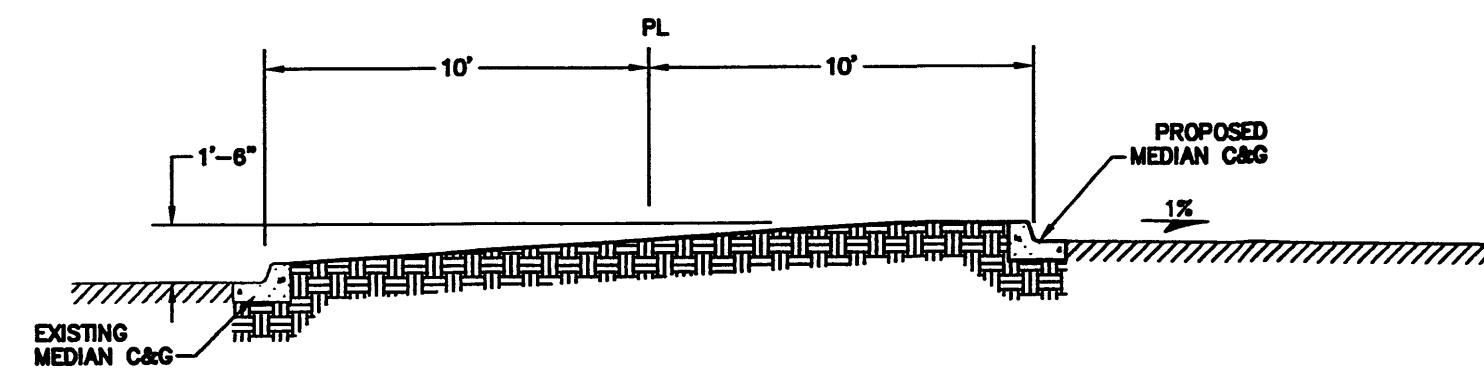
GND, LLC
CONSULTING ENGINEERS

2643 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: 505-899-6182
Fax: 505-899-6184

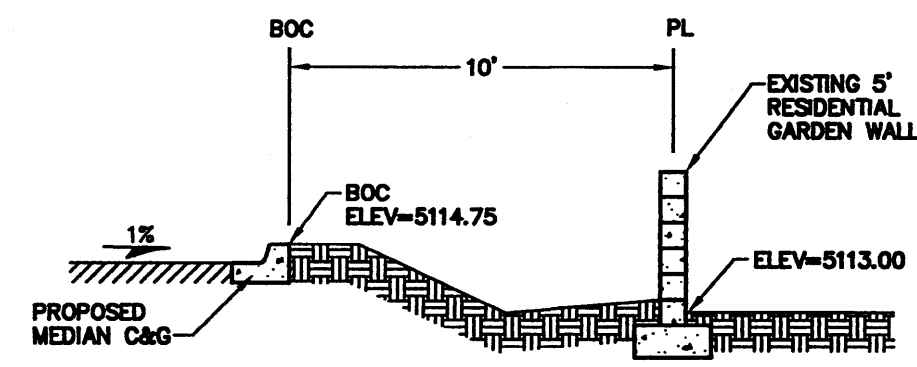
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NGS/Albuquerque	Control Survey Monument	DATE	BY	NO.	REMARKS
JOSEPH 1969							
DESIGNED BY: JRW	DATE: NOV 2007						
DRAWN BY: JRW	DATE: NOV 2007						
CHECKED BY: JRW	DATE: NOV 2007						

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER MASTER UTILITY PLAN SANITARY SEWER AND WATER	
MONTH/DAY/YEAR	USER DEPARTMENT
CITY PROJECT No.	ZONE MAP No. SHEET
	G-11 14 OF 15

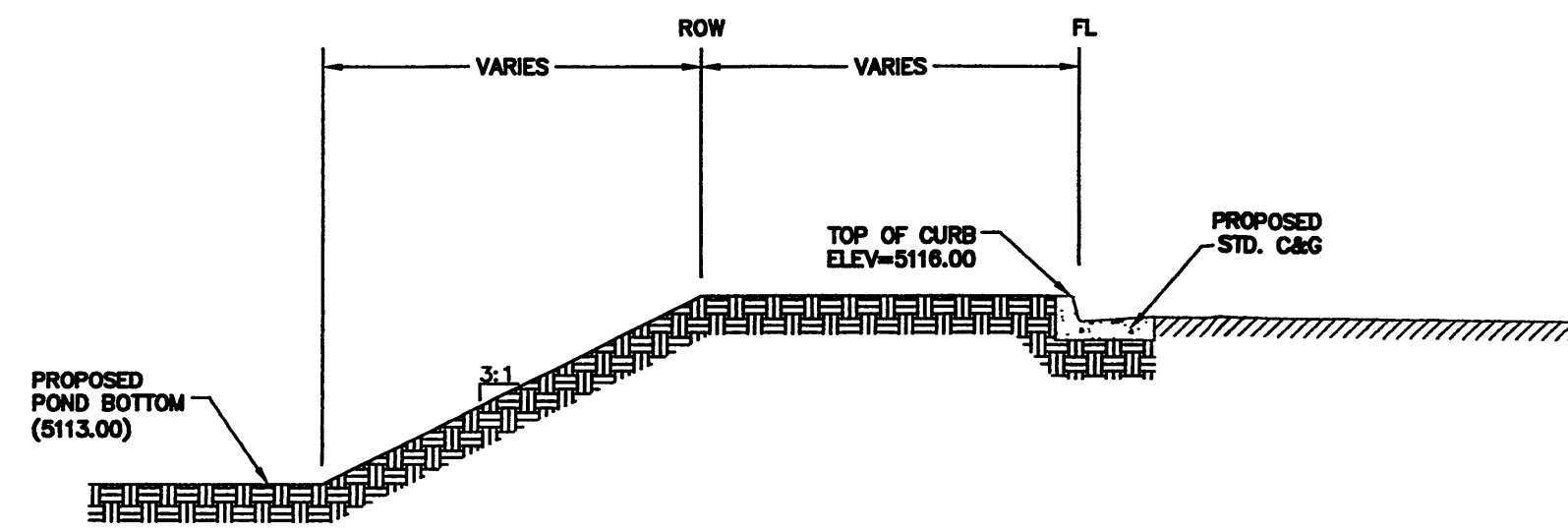
I:\Projects\6010\Cad\Sheets\6010_TYPICAL_SECTION.dwg 3/2/2007 2:48:21 PM JST



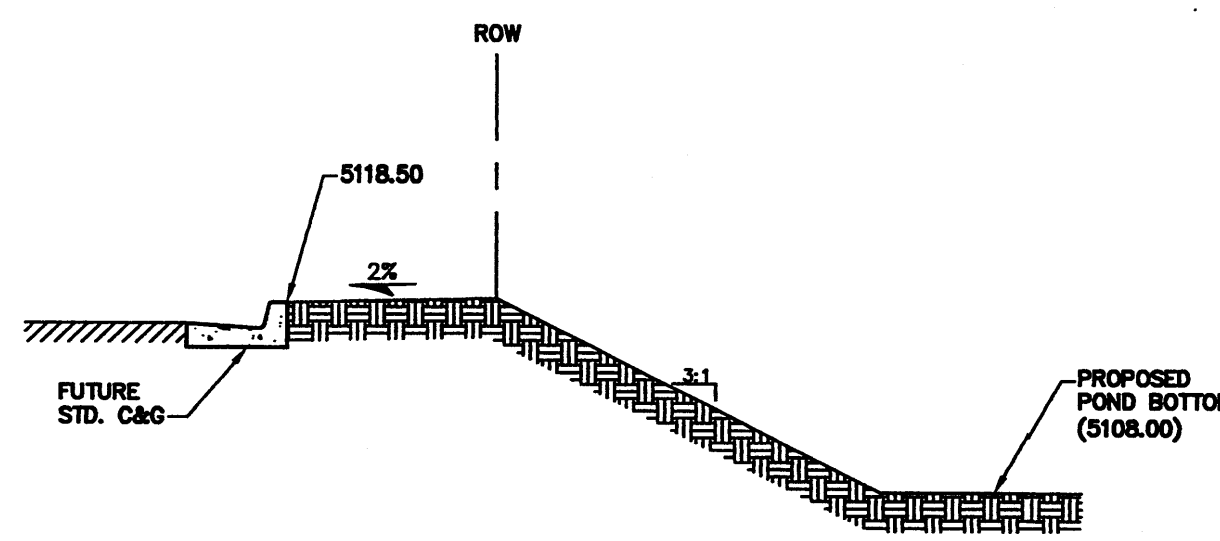
SECTION A-A
NTS



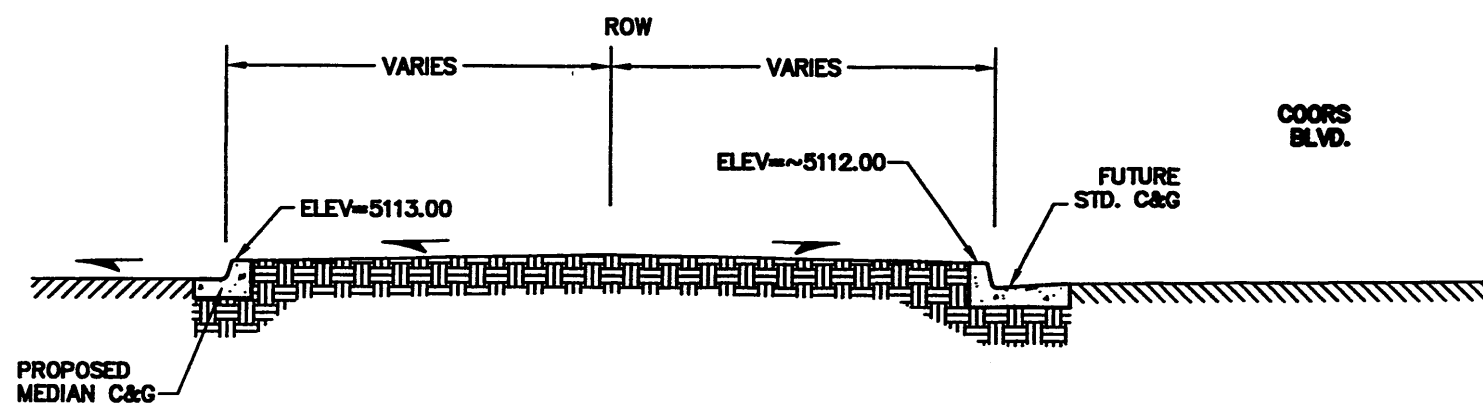
SECTION B-B
NTS



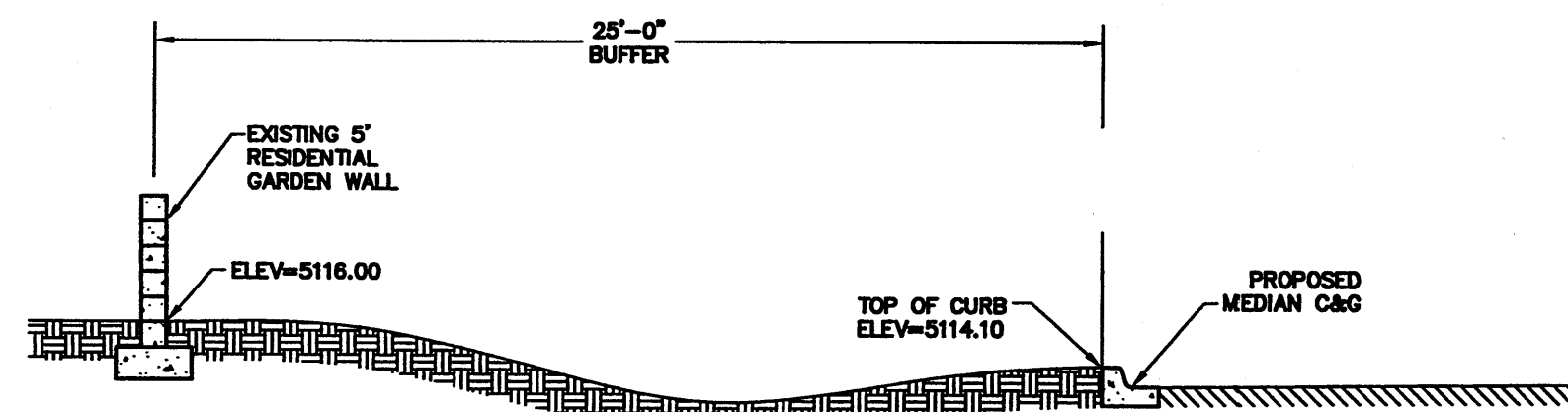
SECTION C-C
NTS



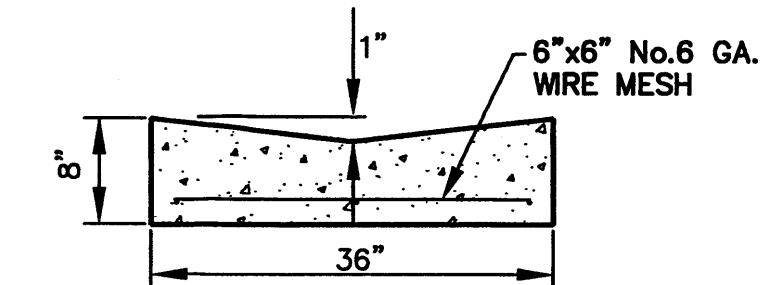
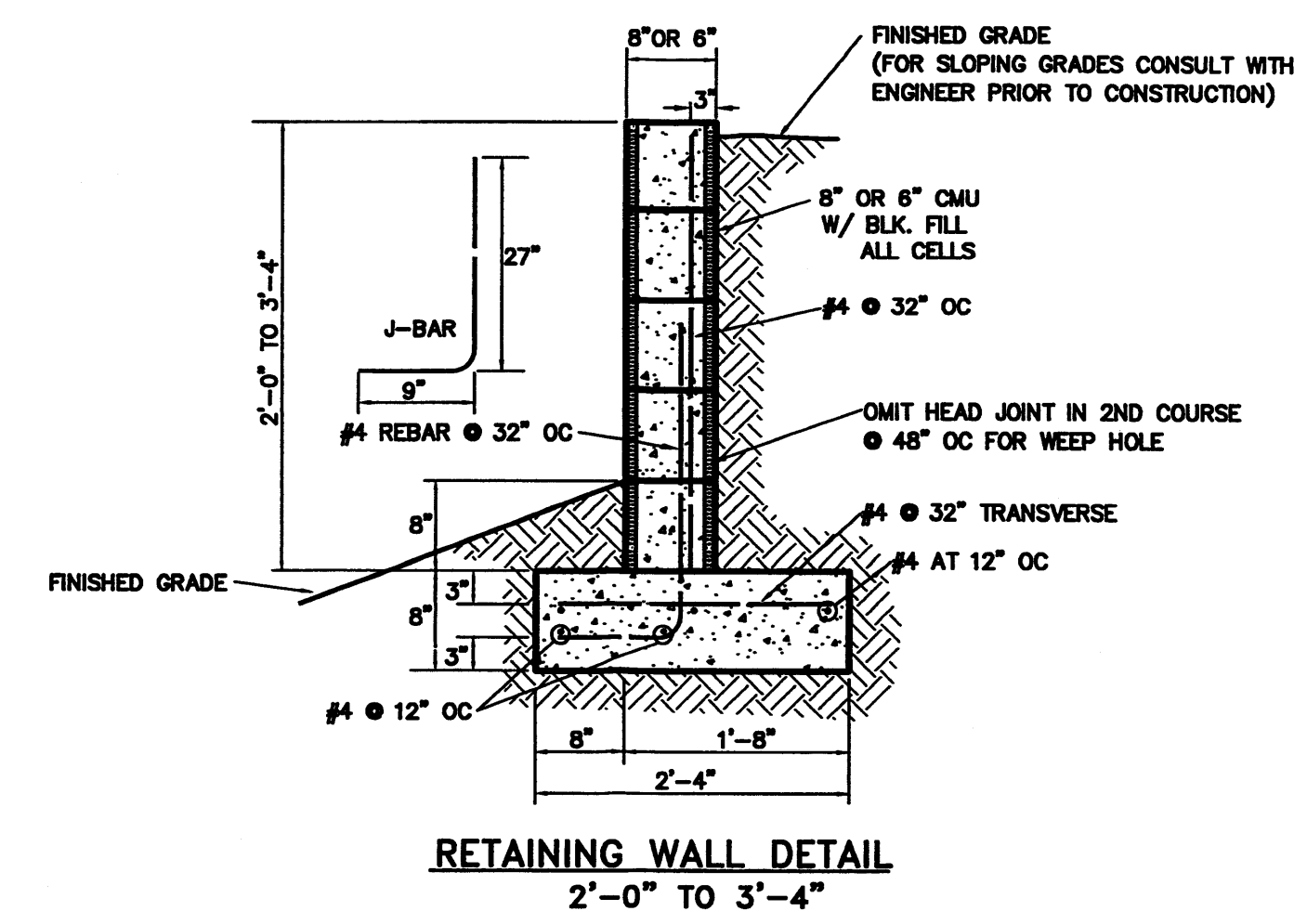
SECTION D-D
NTS



SECTION E-E
NTS



SECTION F-F
NTS



CONCRETE VALLEY GUTTER
NOT TO SCALE

AS BUILT INFORMATION	
CONTRACTOR	NMS/Albuquerque Central Survey Monument
DATE	NOV 2007
INSPECTOR'S NAME	JOSEPH 1969
DATE	NOV 2007
FIELD BY	NM State Plane Coordinates (Central Zone -NAD27)
DATE	X=366,686.82 Y=1,502,246.75
REVISION BY	Delta Alpha=001524
DATE	Ground to Grid Factor=0.99967551
CHECKED BY	Elevation=5116.61 (NAVD88)
DATE	
RECORDED BY	
DATE	

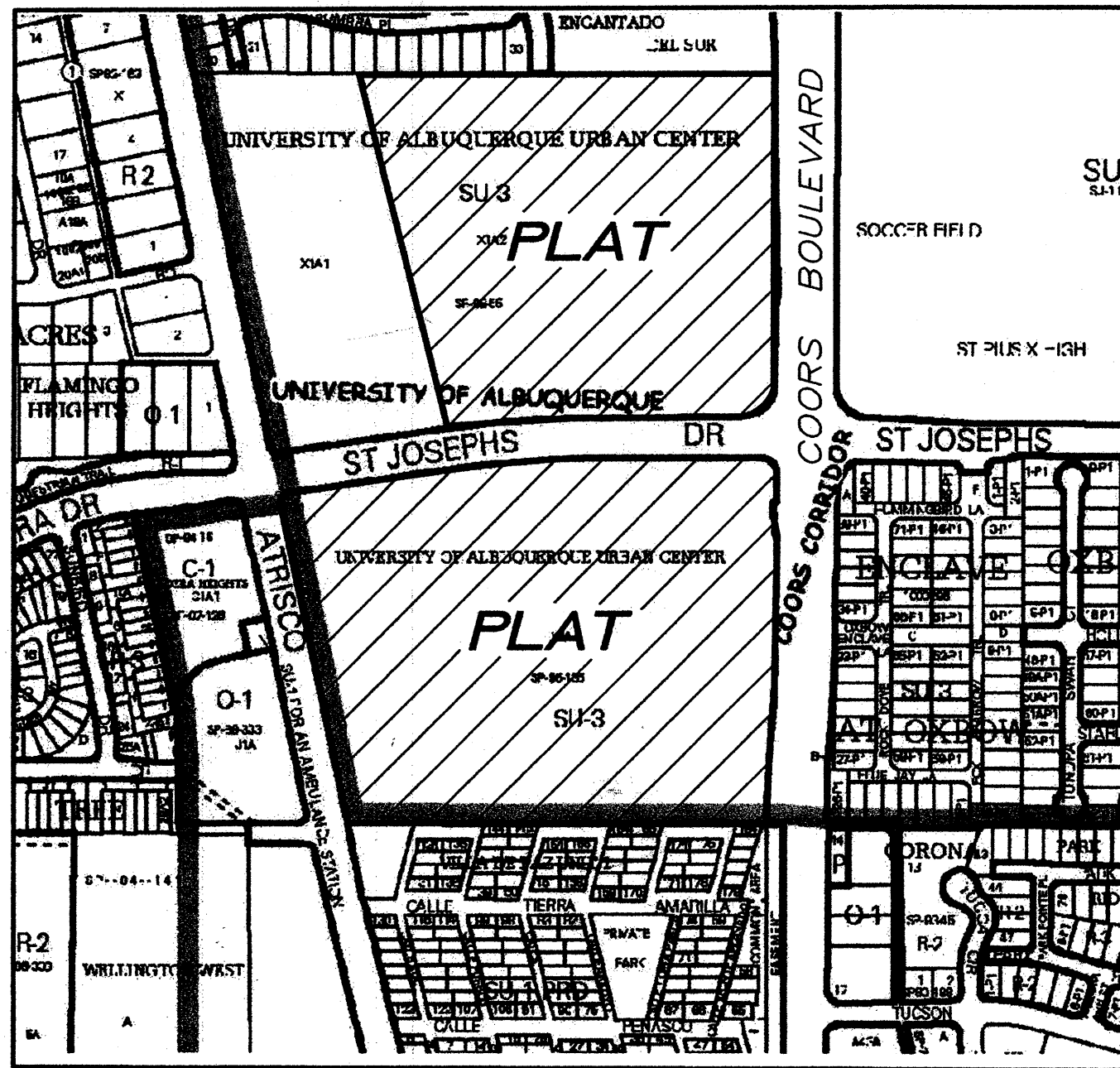
SURVEY INFORMATION	
FIELD NOTES	
NO.	
DATE	
BY	

ENGINEER'S SEAL	
NO.	
DATE	
BY	
REMARKS	
DESIGN	
DESIGNED BY: JRW	DATE: NOV 2007
DRAWN BY: JCC	DATE: NOV 2007
CHECKED BY: JRW	DATE: NOV 2007

GND, LLC
CONSULTING ENGINEERS

5643 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: 505-899-6182
Fax: 505-899-6184

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER RETAINING WALL DETAIL AND TYPICAL GRADING SECTIONS	
MONTH/DAY/YEAR	USER DEPARTMENT
LATEST DESIGN UPDATE	
CITY PROJECT No.	ZONE MAP No. SHEET
	G-11 15 OF 15



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page G-11.
- U.C.L.S. Log Number 2007461937
- Current Zoning is SU-3

SUBDIVISION DATA

- Total number of existing Tracts: 2
- Total number of Parcels created: 10
- Total mileage of full width streets created: 0 miles.
- Gross Subdivision acreage: 47.7237 acres.

SHEET INDEX

- SHEET 1 OF 6 - Approvals, General Notes, Etc...
- SHEET 2 OF 6 - Legal Description, Free consent and dedication
- SHEET 3 OF 6 - Existing Plat Boundary and Easements
- SHEET 4 OF 6 - New Parcels created
- SHEET 5 OF 6 - New Easements created
- SHEET 6 OF 6 - Curve and Line Tables

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

101106019549120846

101106018038720705

Bernalillo County Treasurer

Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT:

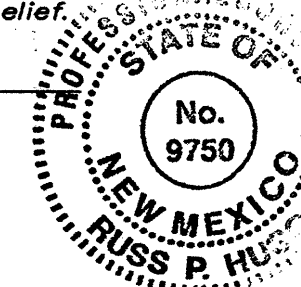
The purpose of this Plat is to:

- Divide Two (2) existing Tracts into ten (10) Parcels as shown hereon.
- Grant the New Public and Private Easements as shown hereon.
- Dedicate the additional Public street right of way as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
November 5, 2007



PLAT OF
OXBOW TOWN CENTER

(BEING A REPLAT OF TRACTS X-1-A2 AND X-2-A,
UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

WITHIN
THE TOWN OF ALBUQUERQUE GRANT
IN
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2007

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Gas and Electric Services _____ Date _____

QWest Corporation _____ Date _____

Comcast _____ Date _____

City Approvals:
City Surveyor [Signature] _____ Date 11-15-07

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

ABCWUA _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCO _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SHEET 1 OF 6

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF
OXBOW TOWN CENTER

(BEING A REPLAT OF TRACTS X-1-A2 AND X-2-A,
UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

WITHIN
THE TOWN OF ALBUQUERQUE GRANT
IN
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER , 2007

LEGAL DESCRIPTION

Those certain parcels of land situate within the Town of Albuquerque Grant in projected Section 2, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising All of Tract "X-1-A2" of the Plat of Tracts X-1-A1 & X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 12, 1998, in Plat Book 98C, page 68 and All of Tract "X-2-A" of the Amended Plat of Tracts X-2-A & X-2-B, THE UNIVERSITY OF ALBUQUERQUE URBAN CENTER, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said amended plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 10, 1995, in Plat Book 95C, page 250.

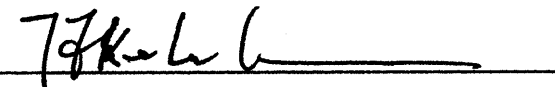
Said Tracts contain 47.7237 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF OXBOW TOWN CENTER (BEING A REPLAT OF) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants by this plat. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

OXBOW TOWN CENTER, LLC
a New Mexico limited liability company



By: Thomas F. Keleher, Managing Member

Documents used in the preparation of this survey:

- Plat entitled "PLAT OF TRACTS X-1-A1 AND X-1-A2, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 1998", filed March 12, 1998, in Volume 98C, Folio 68, records of Bernalillo County, New Mexico.
- Plat entitled "AMENDED PLAT OF TRACTS X-2-A AND X-2-B, THE UNIVERSITY OF ALBUQUERQUE URBAN CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1995", filed July 10, 1995, in Volume 95C, Folio 250, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF RANCHO ENCANTADO DEL SUR, A REPLAT OF TRACT 4, COORS VILLAGE, ALBUQUERQUE, NEW MEXICO, JULY 2003", filed September 2, 2003, in Volume 2003C, Folio 269, records of Bernalillo County, New Mexico.
- Plat entitled "AMENDED REPLAT OF VILLA DE PAZ, ALBUQUERQUE, NEW MEXICO, NOVEMBER, 1976", filed December 7, 1976, records of Bernalillo County, New Mexico.
- Title Report prepared for this property by LandAmerica Albuquerque Title and underwritten by Commonwealth Land Title Insurance Company, Commitment No. 6219001163, bearing an effective date of September 11, 2006.

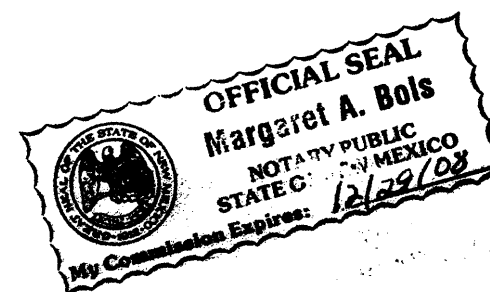
ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 14th day
of November, 2007, by Thomas F. Keleher as Managing
Member of Oxbow Town Center, LLC.


Notary Public

12/29/08
My commission expires



SHEET 2 OF 6

SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3377

NGS/ALBUQUERQUE CONTROL SURVEY
MONUMENT "JOSEPH 1969"
N.M. State Plane Coordinates
(Central Zone - NAD83)
N=1,502,309.280
E=1,506,932.687
Delta Alpha = -00'15"24.78"
Ground to Grid Factor = 0.999679588

NGS/ALBUQUERQUE CONTROL SURVEY
MONUMENT "JOSEPH 1969"
N.M. State Plane Coordinates
(Central Zone - NAD83)
N=1,502,309.280
E=1,506,932.687
Delta Alpha = -00'15"24.78"
Ground to Grid Factor = 0.999679588

TRACT 4-B
RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269

QUAKER HEIGHTS
PLACE

33
32
31
30
29
28
27
26
25
24

RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269

**PLAT OF
OXBOW TOWN CENTER**

(BEING A REPLAT OF TRACTS X-1-A2 AND X-2-A,
UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

WITHIN
THE TOWN OF ALBUQUERQUE GRANT

IN
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

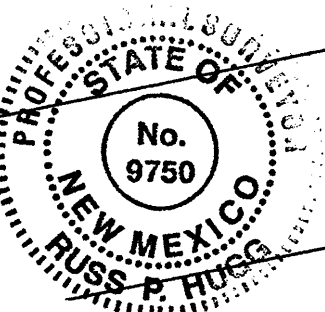
NOVEMBER, 2007

TRACT X-1-A2
21.2244 ACRES

TRACT X-1-A1
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER
Filed February 12, 1998, in Book 98C, Page 68

TRACT X-2-A
26.4990 ACRES

ALBUQUERQUE CONTROL SURVEY
MONUMENT "NM 448-NAA"
N.M. State Plane Coordinates
(Central Zone - NAD83)
N=1,499,797.854
E=1,505,371.090
Delta Alpha = -00'15"35.36"
Ground to Grid Factor = 0.999680524
Elevation = 5107.174 (NAVD88)

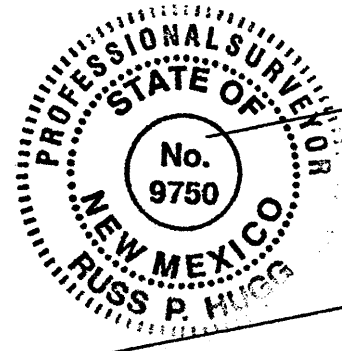


SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

TRACT 4-B
RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269

RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269

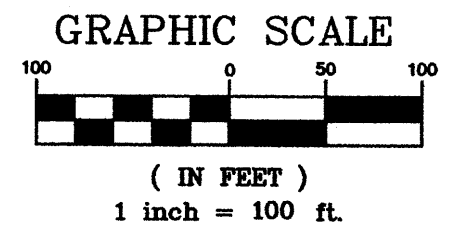
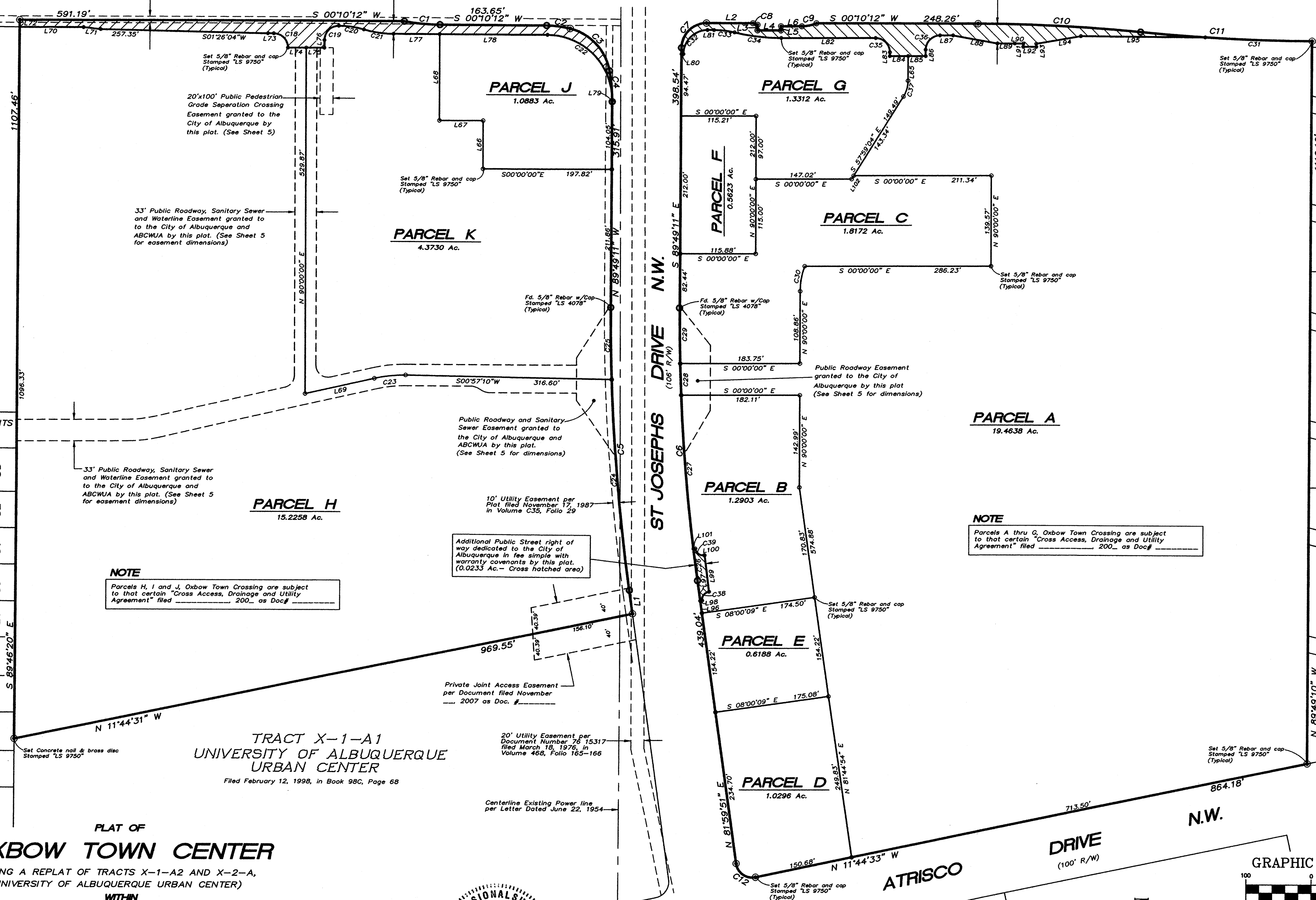
PLAT OF
OXBOW TOWN CENTER
(BEING A REPLAT OF TRACTS X-1-A2 AND X-2-A,
UNIVERSITY OF ALBUQUERQUE URBAN CENTER)
WITHIN
THE TOWN OF ALBUQUERQUE GRANT
IN
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2007



COORS BOULEVARD N.W.
(R/W WIDTH VARIES)

ST JOSEPHS DRIVE N.W.
(106' R/W)

ATRISCO DRIVE
(100' R/W)

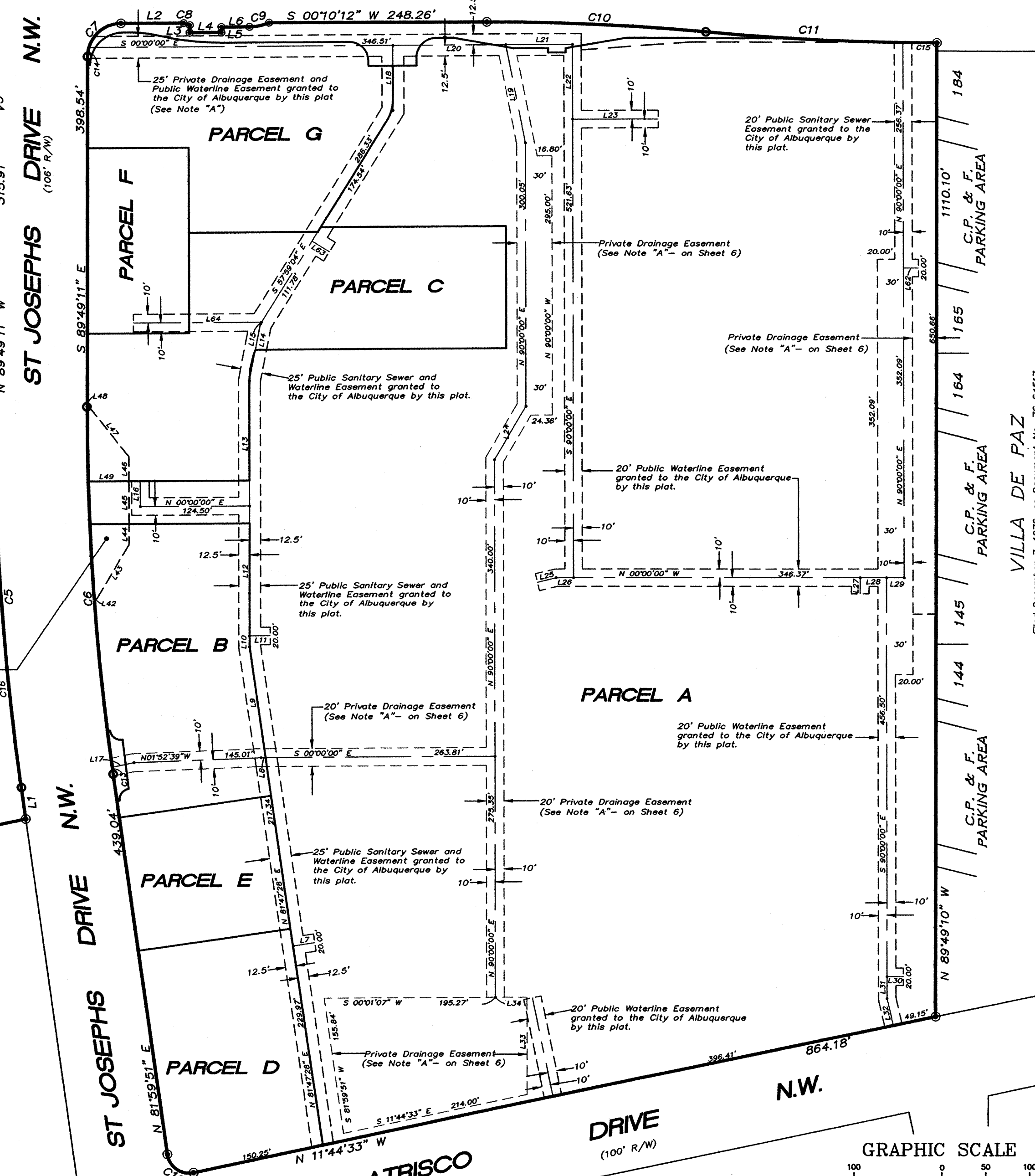
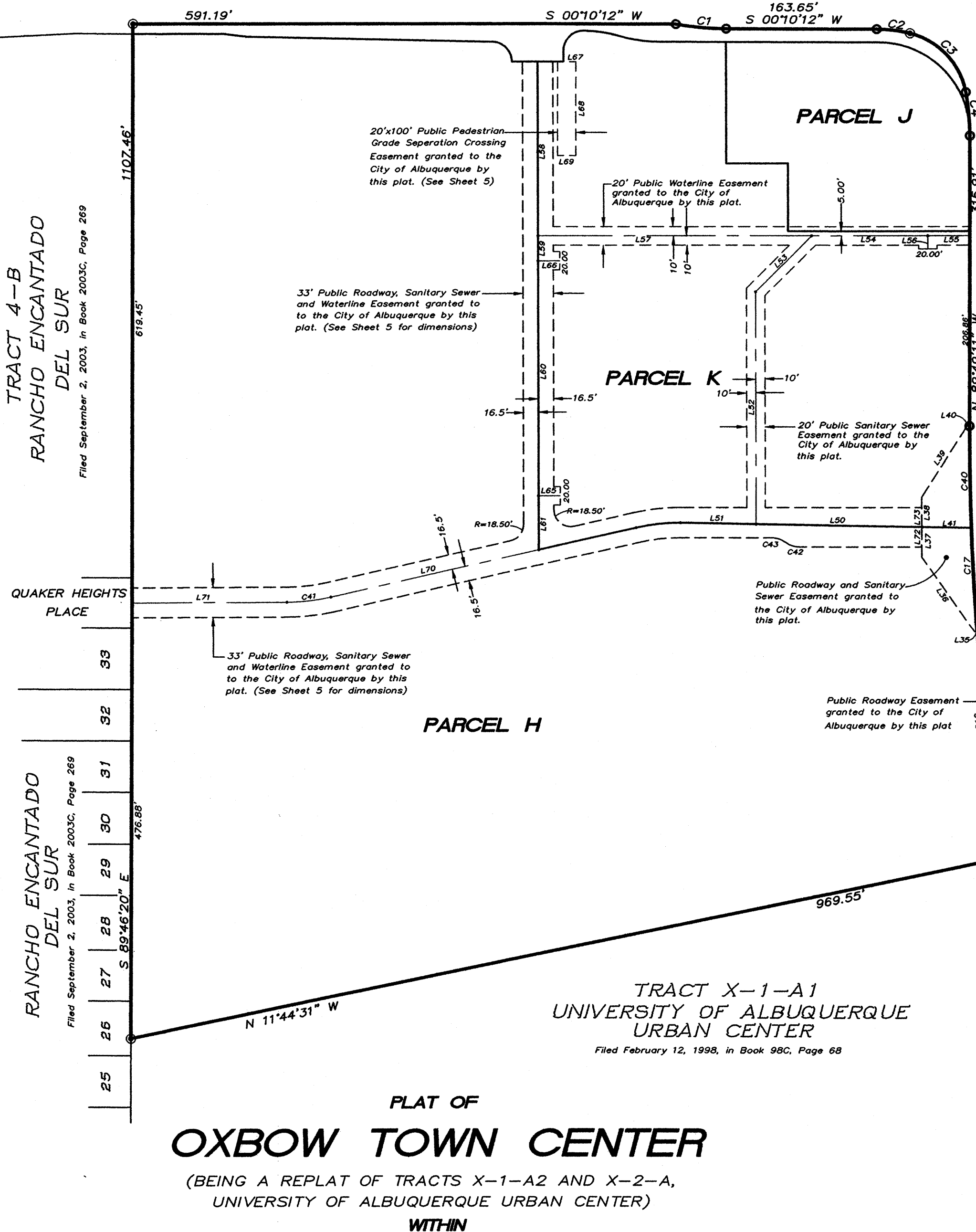


VILLA DE PAZ
Filed December 7, 1976, as Document No. 76 64517

COORS BOULEVARD N.W.
(R/W WIDTH VARIES)

TRACT 4-B
RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269

RANCHO ENCANTADO
DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269



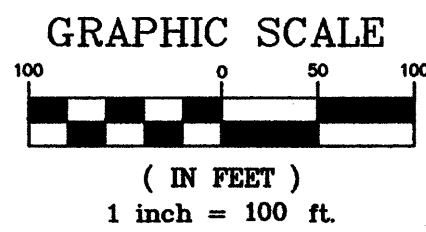
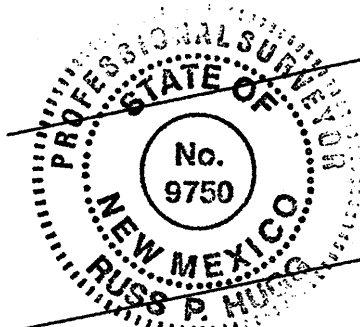
TRACT X-1-A1
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER
Filed February 12, 1998, in Book 98C, Page 68

PLAT OF
OXBOW TOWN CENTER

(BEING A REPLAT OF TRACTS X-1-A2 AND X-2-A,
UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

WITHIN
THE TOWN OF ALBUQUERQUE GRANT
IN
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2007



SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3388 Fax: 505-897-3377

VILLA DE PAZ
Filed December 7, 1976, as Document No. 76 64517

PERIMETER BOUNDARY LINE AND CURVE DATA

LINE TABLE		
LINE	LENGTH	BEARING
L1	36.65' (36.65')	S81°59'51"W (S81°59'51"E)
L2	71.53' (71.53')	S00°10'11"W (S00°10'11"E)
L3	8.53' (8.53')	N89°49'48"W (S89°49'48"E)
L4	36.00' (36.00')	S00°10'12"W (N00°10'12"E)
L5	6.38' (6.38')	S89°49'48"E (S89°49'48"E)
L6	32.00' (32.00')	S00°10'12"W (S00°10'12"W)

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	55.49' (55.48')	307.00' (307.00')	27.82'	55.41' (55.41')	S05°20'52"W (S05°20'52"W)	10°21'19" (10°21'16")
C2	36.50' (36.50')	150.00' (150.00')	18.34'	36.41' (36.41')	S07°08'03"W (S07°08'03"W)	13°56'31" (13°56'37")
C3	93.35' (93.35')	82.00' (82.00')	52.47'	88.39' (88.39')	S46°43'41"W (S46°43'41"W)	65°13'34" (65°13'45")
C4	47.29' (47.29')	250.00' (250.00')	23.72'	47.22' (47.22')	S84°45'41"W (S84°45'41"W)	10°50'17" (10°50'16")
C5	436.02' (436.02')	3053.00' (3053.00')	218.38'	435.65' (435.65')	S86°05'20"W (S86°05'20"W)	8°10'58" (8°10'58")
C6	420.88' (420.88')	2947.00' (2947.00')	210.80'	420.52' (420.52')	S86°05'20"W (S86°05'20"W)	8°10'58" (8°10'58")
C7	59.69' (59.68')	38.00' (38.00')	38.00'	53.74' (53.74')	S44°49'30"E (N44°49'30"W)	89°59'59" (89°59'23")
C8	7.37' (7.37')	56.63' (56.63')	3.69'	7.36' (7.36')	S19°45'40"W (S19°45'40"W)	7°27'06" (7°27'17")
C9	23.05' (23.05')	56.62' (56.62')	11.69'	22.89' (22.89')	S11°29'21"E (S11°29'21"E)	23°19'26" (23°19'26")
C10	249.78' (249.78')	2786.79' (2786.79')	124.98'	249.70' (249.70')	S02°44'16"W (N02°44'16"E)	5°08'08" (5°08'08")
C11	263.71' (263.71')	2942.79' (2942.79')	131.95'	263.63' (263.62')	S02°44'22"W (S02°44'17"W)	5°08'04" (5°08'04")
C12	40.91' (40.90')	25.00' (25.00')	26.70'	36.50' (36.49')	N35°07'10"E (S35°07'39"W)	93°45'42" (93°44'24")

**PLAT OF
OXBOW TOWN CENTER**

(BEING A REPLAT OF TRACTS X-1-A2 AND X-2-A,
UNIVERSITY OF ALBUQUERQUE URBAN CENTER)

WITHIN
THE TOWN OF ALBUQUERQUE GRANT
IN
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2007

NEW PARCELS AND EASEMENT LINE AND CURVE DATA

LINE TABLE		
LINE	LENGTH	BEARING
L7	24.76'	S08°17'35"E
L8	5.51'	S00°00'00"E
L9	127.58'	N81°47'28"E
L10	12.37'	N90°00'00"E
L11	23.50'	S00°00'00"W
L12	150.63'	S90°00'00"E
L13	140.92'	N90°00'00"E
L14	65.37'	S78°45'00"E
L15	2.21'	S57°59'04"E
L16	28.75'	S90°00'00"E
L17	25.36'	S11°44'31"E
L18	73.94'	S89°57'58"E
L19	113.58'	S78°42'40"W
L20	128.75'	S00°00'00"E
L21	76.23'	S00°00'00"W
L22	84.82'	S90°00'00"E
L23	97.51'	S00°00'00"W
L24	69.66'	S58°48'35"E
L25	21.95'	S13°29'55"E
L26	20.00'	S00°00'00"E
L27	18.50'	S90°00'00"E
L28	30.00'	S00°00'00"W
L29	20.00'	S00°00'00"E
L30	18.50'	S00°00'00"W
L31	25.06'	N90°00'00"E
L32	31.24'	N77°02'28"E
L33	110.69'	S90°00'00"E
L34	35.94'	S00°00'46"W
L35	2.97'	N04°01'40"W
L36	100.16'	N55°17'40"E
L37	33.64'	S90°00'00"E
L38	32.36'	N90°00'00"E
L39	90.62'	S56°54'58"E
L40	3.00'	S00°10'49"W
L41	54.08'	S00°57'10"W
L42	3.03'	S04°04'53"E
L43	72.12'	S59°24'19"E
L44	24.00'	N90°00'00"E
L45	48.75'	N90°00'00"E
L46	28.00'	S90°00'00"E
L47	72.13'	N50°53'35"E
L48	1.69'	N00°10'49"E
L49	46.25'	N00°00'00"E
L50	180.24'	N00°57'10"E
L51	82.28'	N00°57'10"E
L52	251.14'	S90°00'00"E
L53	86.27'	S45°00'00"E
L54	126.52'	S00°00'00"E
L55	45.80'	S00°00'00"W
L56	14.00'	S90°00'00"W
L57	297.48'	N00°00'00"E
L58	189.37'	N90°00'00"W
L59	27.00'	S90°00'00"W
L60	254.60'	N90°00'00"W
L61	58.89'	S90°00'00"W

LINE TABLE		
LINE	LENGTH	BEARING
L62	17.00'	S00°00'00"E
L63	22.97'	N32°00'56"E
L64	146.02'	S00°00'00"W
L65	23.50'	S00°00'00"E
L66	23.50'	S00°00'00"E
L67	13.67'	S00°08'17"W
L68	102.00'	N89°54'20"W
L69	20.00'	N00°05'40"E
L70	232.38'	N12°52'59"W
L71	168.88'	N00°10'10"W
L72	22.14'	S90°00'00"E
L73	20.86'	S90°00'00"E
L74	28.00'	S00°00'00"E
L75	28.00'	S00°00'00"E
L76	11.84'	N90°00'00"E
L77	70.98'	S00°05'40"W
L78	165.32'	S00°05'40"W
L79	1.33'	N89°12'30"W
L80	2.74'	S00°10'49"W
L81	10.00'	S00°06'49"W
L82	145.06'	S00°06'49"W
L83	5.69'	N90°00'00"W
L84	28.00'	S00°00'00"E
L85	26.83'	S00°00'00"E
L86	9.72'	S90°00'00"E
L87	20.00'	S00°11'56"W
L88	69.28'	S10°10'23"W
L89	26.70'	S00°11'56"W
L90	13.11'	S00°13'47"W
L91	5.00'	N89°46'13"W
L92	20.00'	S00°13'47"W
L93	4.96'	S89°46'13"E
L94	69.26'	S09°46'44"E
L95	190.92'	S00°13'47"W
L96	19.13'	N81°59'51"E
L97	30.98'	N81°59'51"E
L98	3.00'	S08°00'09"E
L99	56.00'	N83°00'51"E
L100	1.00'	N06°59'09"W
L101	3.01'	N07°02'40"W
L102	6.15'	S57°59'04"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C13	7.86'	2947.00'	3.93'	7.86'	S82°04'26"W	0°09'10"
C14	10.63'	38.00'	5.35'	10.60'	N81°48'30"W	16°01'59"
C15	38.63'	2942.79'	19.32'	38.63'	S00°32'54"W	0°45'08"
C16	211.80'	3053.00'	105.94'	211.75'	S83°59'06"W	3°58'29"
C17	115.02'	3053.00'	57.52'	115.02'	S87°03'06"W	2°09'31"
C18	34.52'	22.00'	21.96'	31.09'	N45°02'50"E	89°54'20"
C19	34.59'	22.00'	22.04'	31.14'	N44°57'10"W	90°05'40"
C20	38.88'	137.00'	19.57'	38.75'	N08°13'28"E	16°15'37"
C21	46.26'	163.00'	23.29'	46.10'	S08°13'28"W	16°15'37"
C22	157.23'	100.00'	100.15'	141.53'	N45°08'14"E	90°05'09"
C23	48.34'	215.00'	24.27'	48.24'	N06°26'30"W	12°52'59"
C24	326.82'	3053.00'	163.57'	326.66'	S85°03'51"W	6°08'00"
C25	109.20'	3053.00'	54.61'	109.19'	S89°09'20"W	2°02'58"
C26	49.28'	2947.00'	24.64'	49.28'	S82°28'36"W	0°57'29"
C27	238.84'	2947.00'	119.48'	238.77'	S85°16'39"W	4°38'37"
C28	48.77'	2947.00'	24.39'	48.77'	S88°04'24"W	0°56'54"
C29	83.99'	2947.00'	42.00'	83.98'	S89°21'50"W	1°37'58"
C30	39.00'	110.00'	19.71'	38.80'	N79°50'30"W	20°18'59"
C31	164.01'	2942.79'	82.03'	163.99'	S01°46'08"W	3°11'36"
C32	58.07'	37.00'	36.95'	52.29'	N44°50'58"W	89°55'35"
C33	31.71'	137.00'	15.93'	31.64'	N06°44'40"E	13°15'41"
C34	72.45'	313.00'	36.39'	72.28'	S06°44'40"W	13°15'41"
C35	34.51'	22.00'	21.96'	31.08'	N45°03'25"E	89°53'11"
C36	34.63'	22.00'	22.08'	31.17'	N44°54'02"W	90°11'56"
C37	25.14'	45.00'	12.91'	24.82'	S73°59'32"E	32°00'56"
C38	19.06'	12.00'	12.21'	17.12'	N52°29'39"W	91°01'00"
C39	18.84'	12.00'	11.99'	16.96'	S37°59'26"W	89°57'09"
C40	109.20'	3053.00'	54.61'	109.19'	S89°09'20"W	2°02'58"
C41	48.40'	215.09'	24.30'	48.29'	S06°26'09"E	12°53'31"
C42	17.05'	26.50'	8.83'	16.76'	S18°26'06"W	36°52'12"
C43	15.12'	23.50'	7.83'	14.86'	N18°26'06"E	36°52'12"

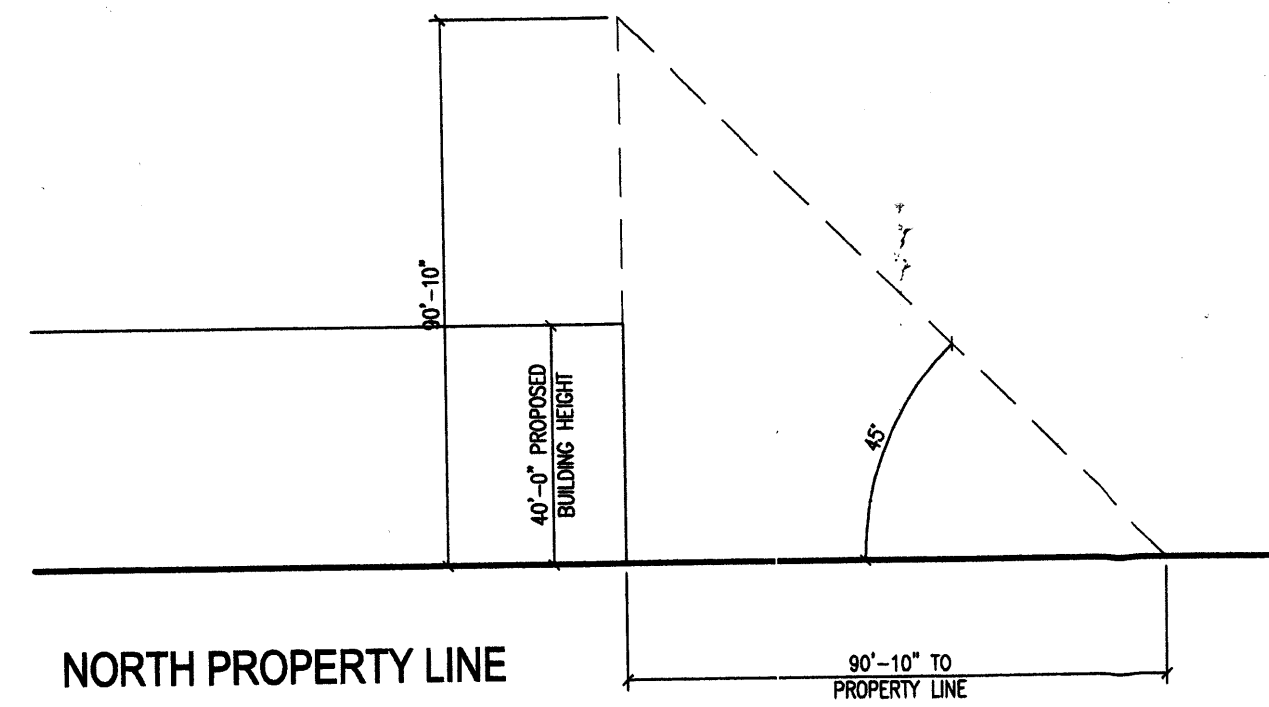
EASEMENT NOTES/LEGEND

④ = Private Drainage Easements granted for the benefit of Parcels A thru G, Coors Town Center. Maintenance of said easements to be the responsibility of the respective owner(s) of said Parcels.

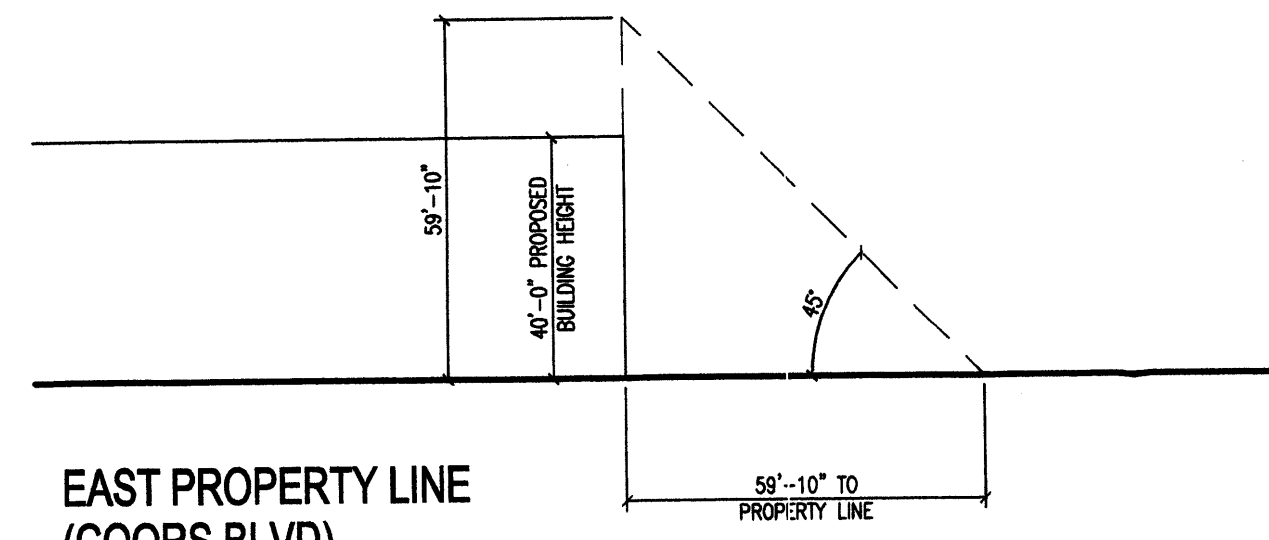


SURV TEK, INC.

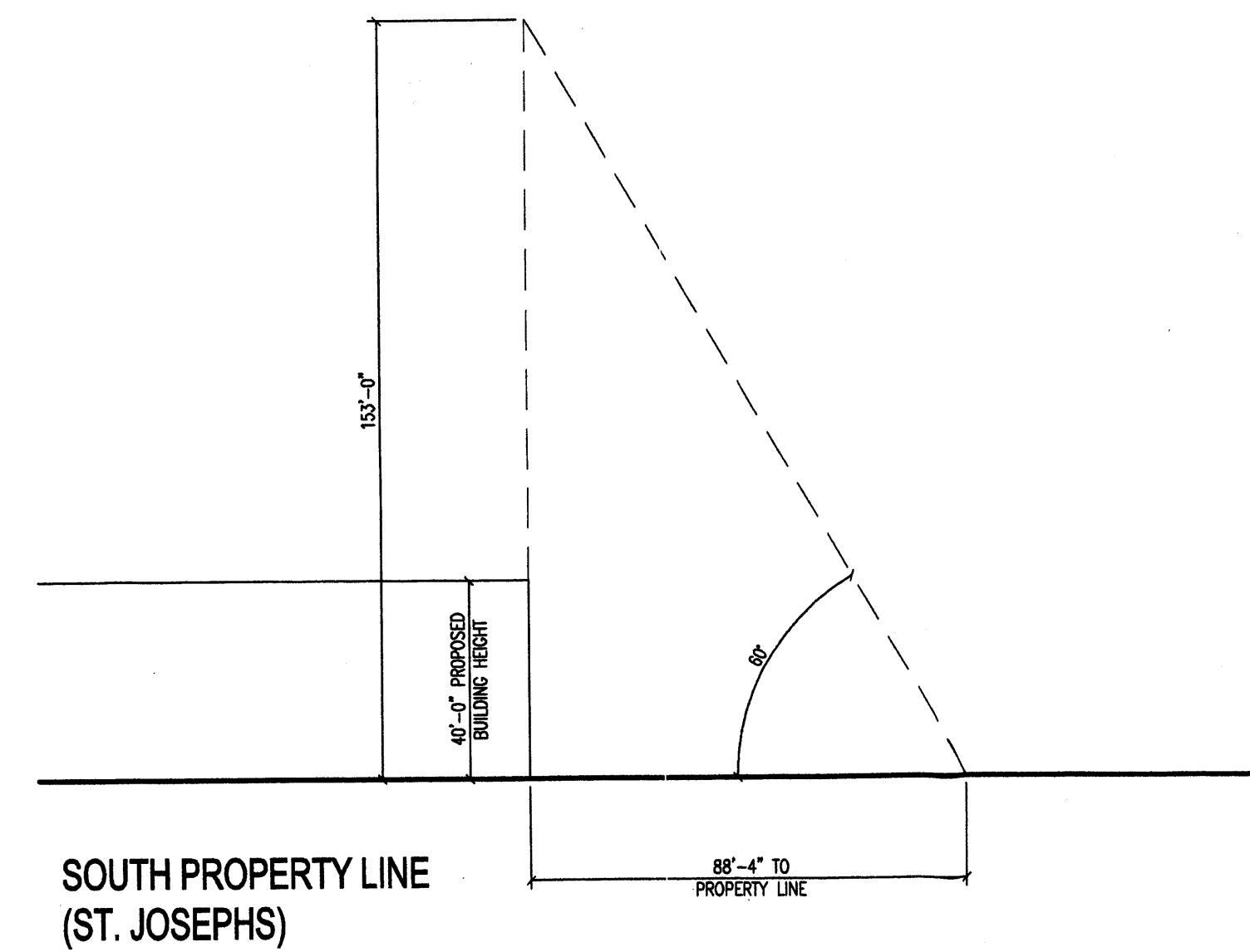
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3966 Fax: 505-897-3377



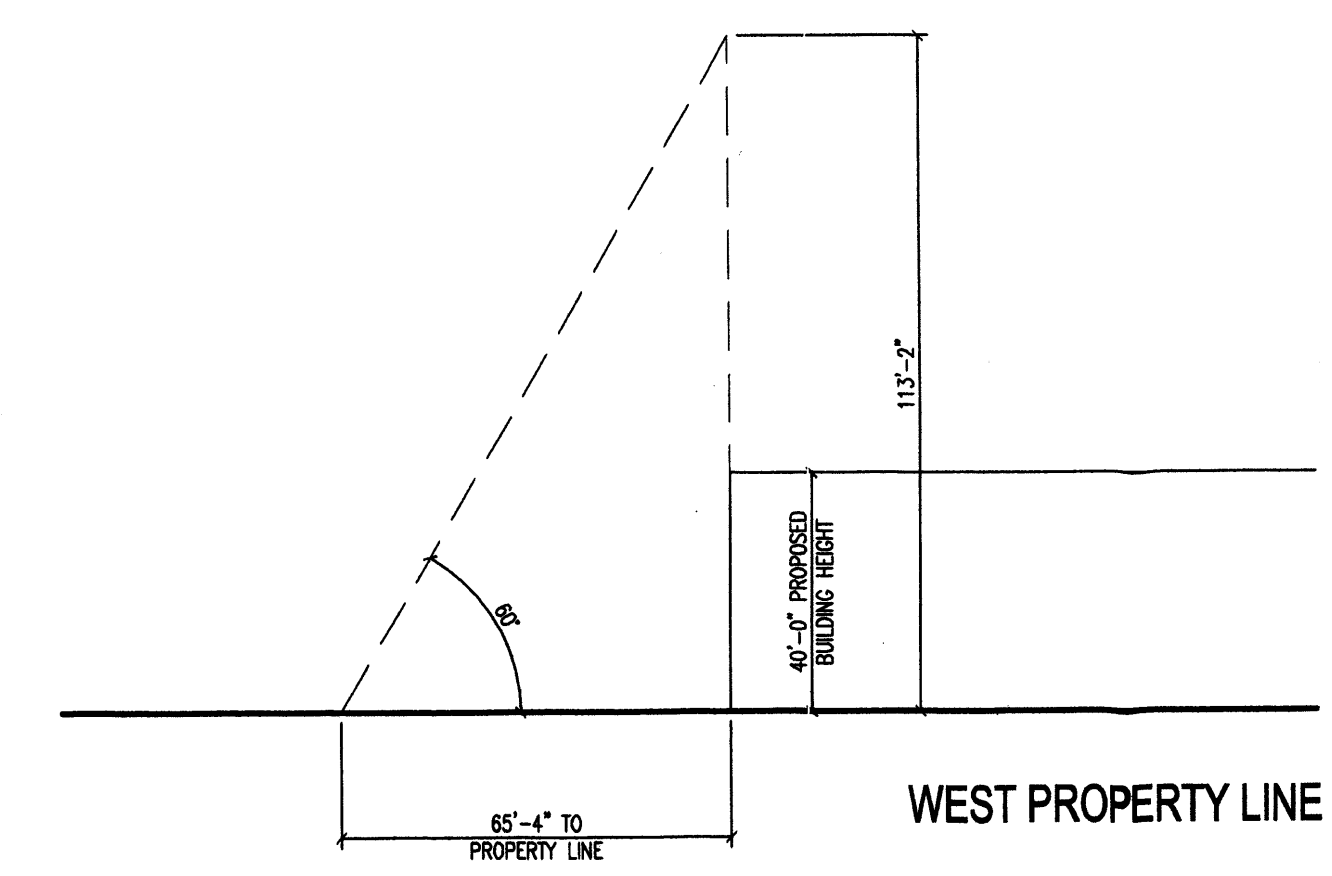
NORTH PROPERTY LINE



EAST PROPERTY LINE
(COORS BLVD)



SOUTH PROPERTY LINE
(ST. JOSEPHS)



WEST PROPERTY LINE

HEIGHT ANALYSIS

1/32" = 1'-0"

DATA FOR SITE PLAN FOR BUILDING PERMIT

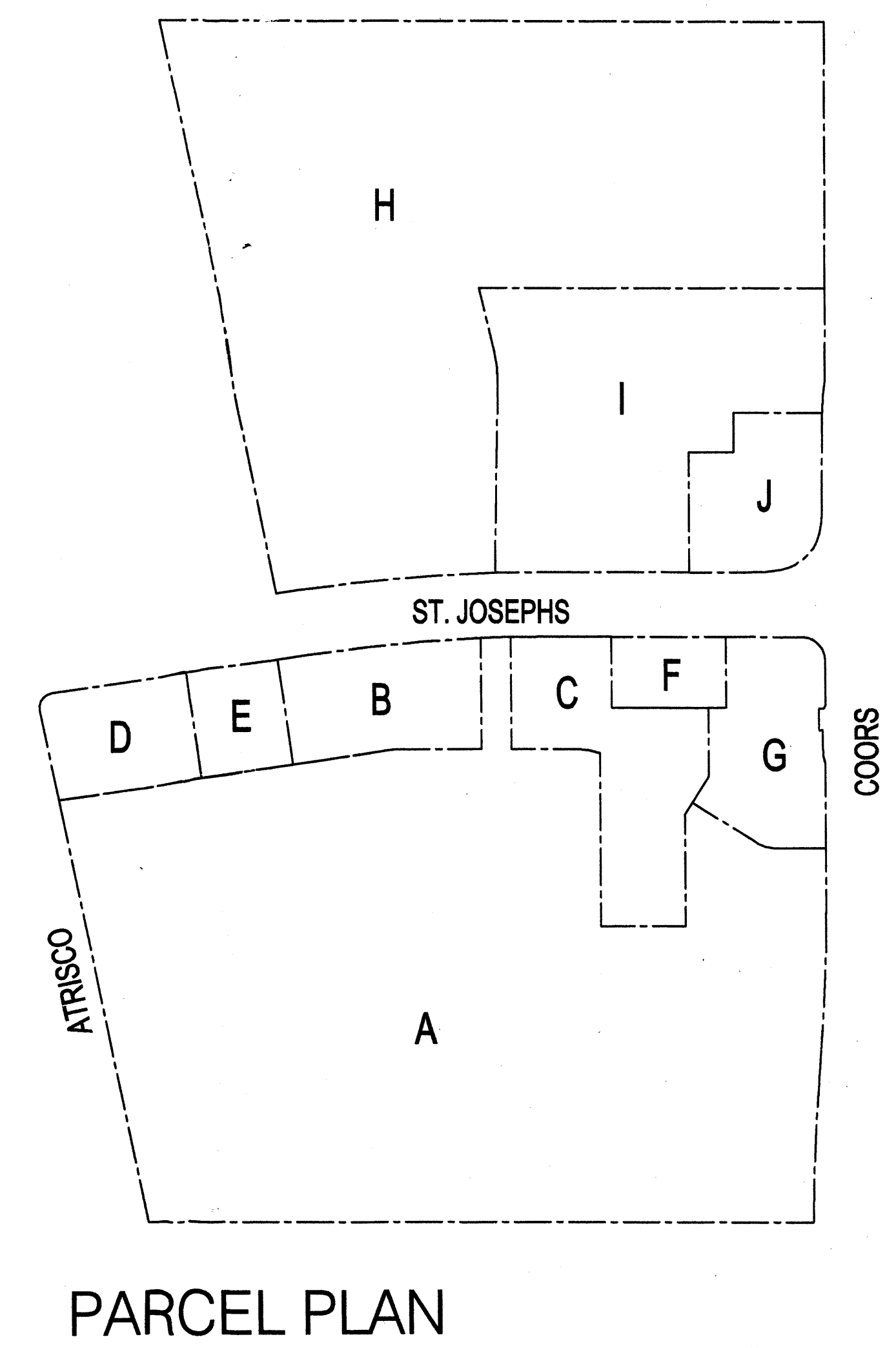
PARCEL	LAND AREA	ZONING	MAX. BUILDING HEIGHT	FLOOR AREA RATIO	BUILDING	BUILDING S.F.	REQUIRED PARKING	TRANSIT DISCOUNT	PROVIDED PARKING*	H.C. PARKING	MOTORCYCLE PARKING
A	869164 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	1 MAJOR ANCHOR AND SHOPS	86885	381	10%	343	12	6
						6000					
						4889					
						3800					
						25185					
						14838					
						30431					
						30025					
						12000					
						12000					
B	57284 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	5	6000	60	10%	54	4	4
C	65704 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	6	9000	135	10%	122	8	4
TOTALS						1138	10%	1023	-	-	

SUBTOTAL IS BEFORE THE 10% TRANSIT DISCOUNT IS TAKEN.
*PROVIDED PARKING NUMBERS INCLUDE HANDICAPPED AND MOTORCYCLE PARKING.

DATA FOR SITE PLAN FOR SUBDIVISION

PARCEL	LAND AREA	ZONING	MAX. BUILDING HEIGHT	FLOOR AREA RATIO	BUILDING	BUILDING S.F.	REQUIRED PARKING	TRANSIT DISCOUNT	PROVIDED PARKING*	H.C. PARKING	MOTORCYCLE PARKING*
D	44951 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	BANK	6000	30	-	33	2	2
E	27078 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	RETAIL	6000	30	-	35	2	2
F	21902 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	RESTAURANT	2000	13	-	13	2	1
G	61228 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	RETAIL	9000	45	-	45	2	2
H	670628 S.F.	SU-3 FOR C2 & D-1	40'-0"	.35	OFFICE	84000	227	15%	193	8	5
					OFFICE	84000	227	15%	193	8	5
					OFFICE	84000	227	15%	193	8	5
					OFFICE	84000	227	15%	193	8	5
I	202104 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	RESTAURANT	6000	100	-	100	4	4
					RESTAURANT	6000	100	-	100	4	4
J	51523 S.F.	SU-3 FOR C2 & D-1	32'-0"	.3	BANK	5000	25	-	25	2	2
TOTALS						1251	-	-	1123	-	-

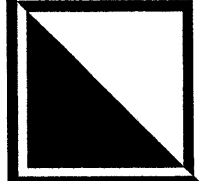
85% EFFICIENCY TAKEN ON OFFICE BUILDINGS
*PROVIDED PARKING NUMBERS INCLUDE HANDICAPPED AND MOTORCYCLE PARKING.



PARCEL PLAN

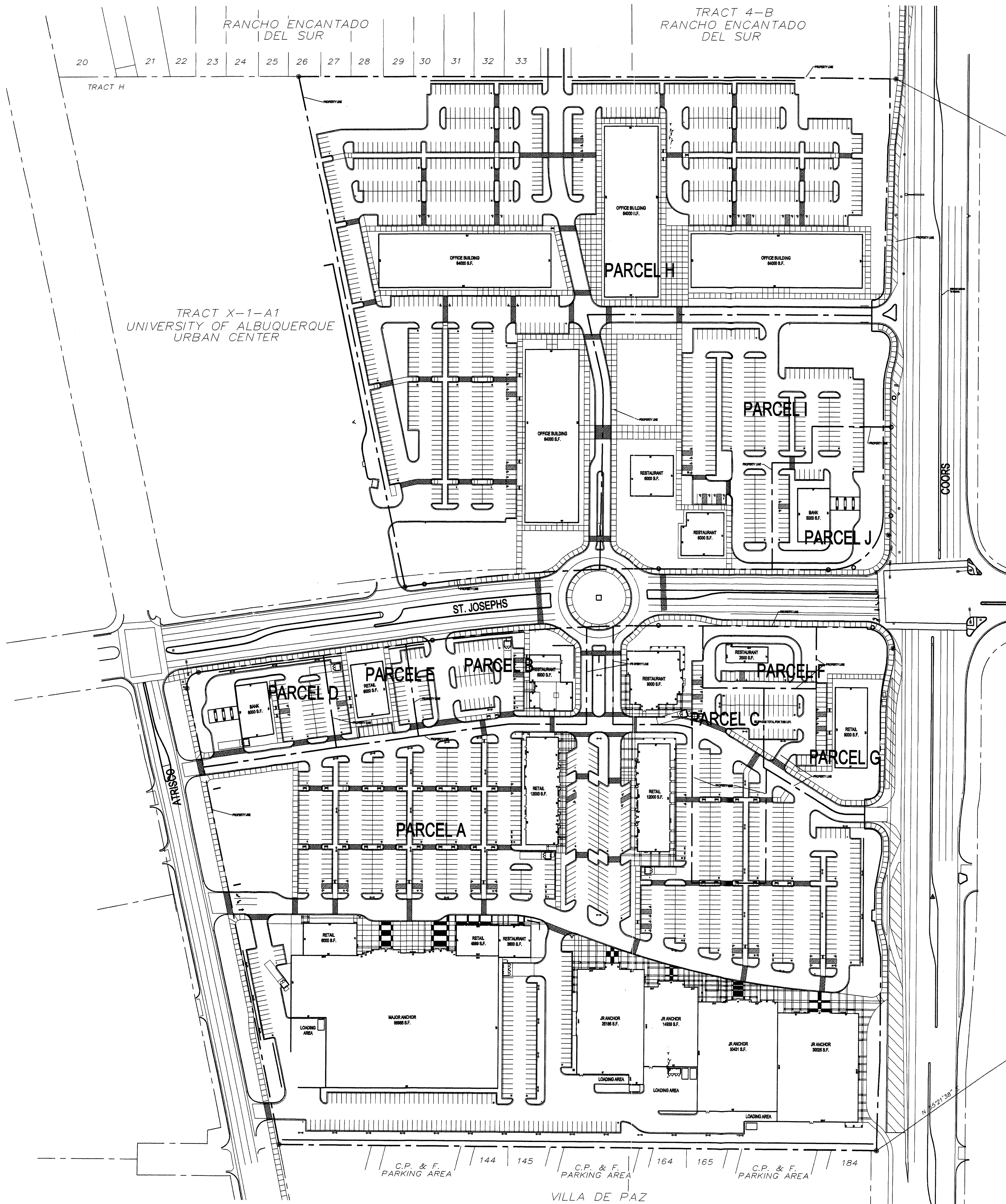
N.T.S.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

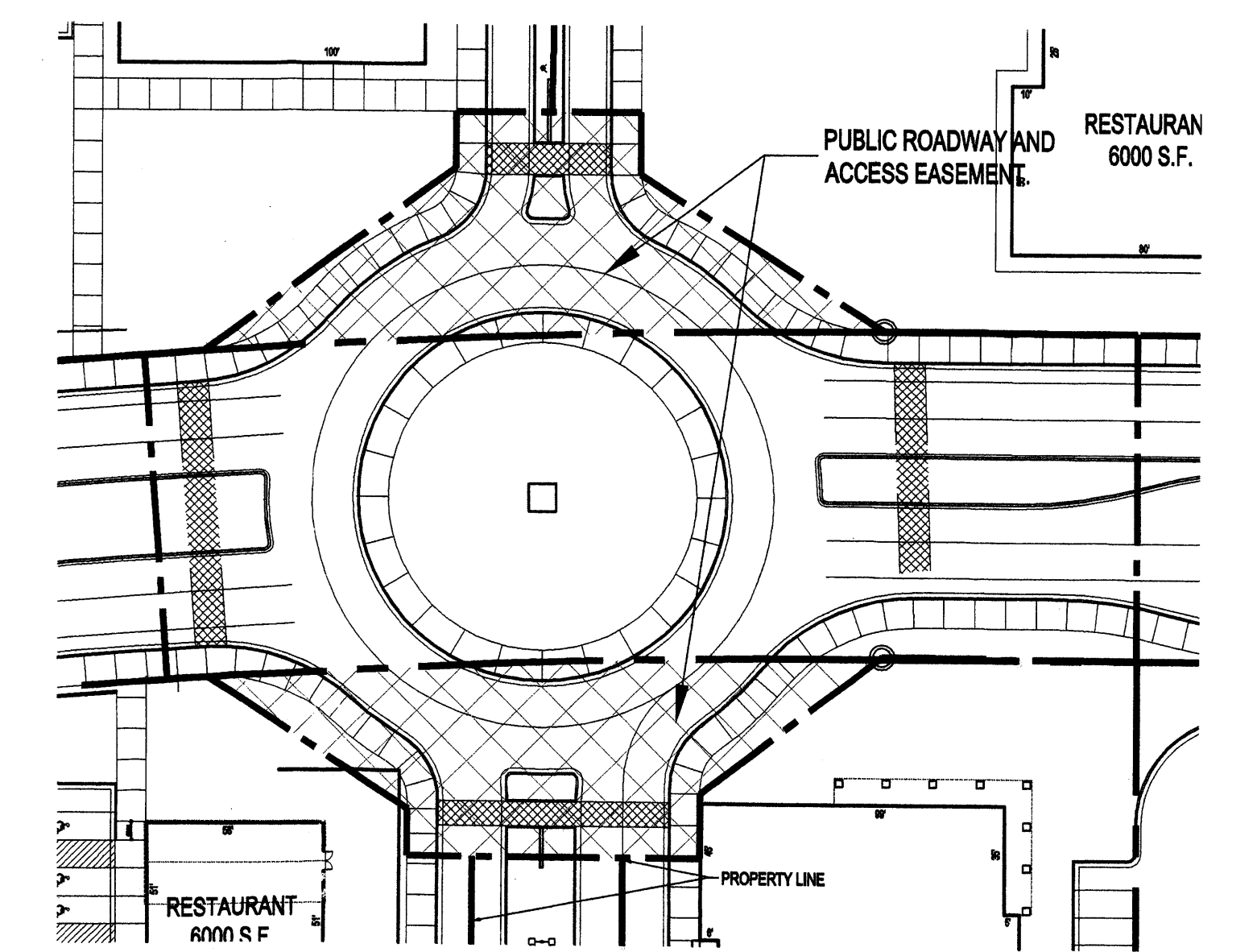

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	OXBOW TOWN CENTER
PROJECT MANAGER	COORS AND ST. JOSEPHS ALBUQUERQUE, NM
JOB NO.	
DRAWN BY	JCS
SHEET TITLE	SITE DATA

DATE:	12.20.06
SCALE:	AS NOTED
sheet-	AS1
of	



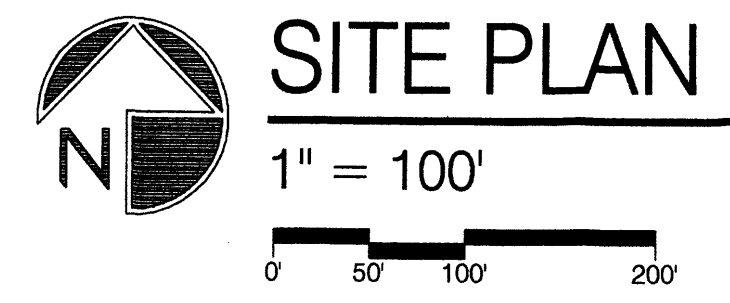
INS/ALBUQUERQUE CONTROL SURVEY
MONUMENT JOSEPH 1989
N.M. State Plane Coordinates
Central Zone - NAD27
E=166,886.82
N=102,246.39
Delta Alpha = -00'13.24"
Ground to Grid Factor = 0.9997351
Elevation = 5116.61 (NAVD83)



PROPOSED RIGHT-OF-WAY FOR ROUND-A-BOUT
1" = 50'

TRACTS X-1-A2 AND X-2-A
UNIVERSITY OF ALBUQUERQUE URBAN CENTER WITHIN THE TOWN OF
ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH,
RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

INS/ALBUQUERQUE CONTROL SURVEY
MONUMENT JOSEPH 1989
N.M. State Plane Coordinates
Central Zone - NAD27
E=166,886.82
N=102,246.39
Delta Alpha = -00'13.24"
Ground to Grid Factor = 0.9997351
Elevation = 5116.61 (NAVD83)



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department *(conditional)	Date
<i>Michael Helton</i>	11/15/07
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE OXBOW TOWN CENTER COORS AND ST. JOSEPHS ALBUQUERQUE, NM	PROJECT MANAGER	JOB NO.	DRAWN BY JCS
SHEET TITLE SITE PLAN FOR SUBDIVISION			DATE 12.20.06
SCALE AS NOTED			sheet AS2 of



Oxbow Town Center Design Standards

The following Design Standards for Oxbow Town Center are attached to and made part of the site plan for subdivision. These Design Standards are intended to address areas of the site shown for illustrative purposes, and are provided to ensure a consistent level of development throughout the Oxbow Town Center.

All Site Plans for Building Permits must be consistent with these standards. Site Plans for Building Permits which are in compliance with the Design Standards and Illustrative Site Plans are delegated to the Development Review Board.

After the Environmental Planning Commission has approved the Site Plan for Building Permit, subsequent Site Plans for Building Permit which vary significantly from the Illustrative Site Plan shall be reviewed by the Environmental Planning Commission in accordance with the Comprehensive City Zoning Code Section 14-16-2-22 (A) (6), or at the Planning Director's discretion.

A. Land use concept

Oxbow Town Center is located on approximately 48 acres of land at Coors Boulevard and St. Josephs Drive. The north-south pedestrian "main street" concept is the dominant design element. This development is composed of retail and office uses. The main street is anchored on the north end by the office development plaza and on the south end by larger retail users. Both the office and larger user areas have east-west pedestrian walks connecting to Coors Boulevard. Pedestrian access routes also connect to the smaller streetscape pad users. Parking fields are separated into pods of parking by the buildings and pedestrian walks. The area north of St. Josephs Drive is marked by four separate parking pods sealed to the size of the adjacent users. The area south of St. Josephs Drive is marked by two pods and the main street parking. Each parking area is sealed to service the adjacent users. Oxbow Town Center will include retailers not currently located in this area of the westside of the city as well as a large employment hub. The land use concept envisions providing westside residents a place to work on the westside of the river as well as the opportunity for reverse commuting counter flow to peak traffic direction by workers residing east of the river.

B. Site Planning

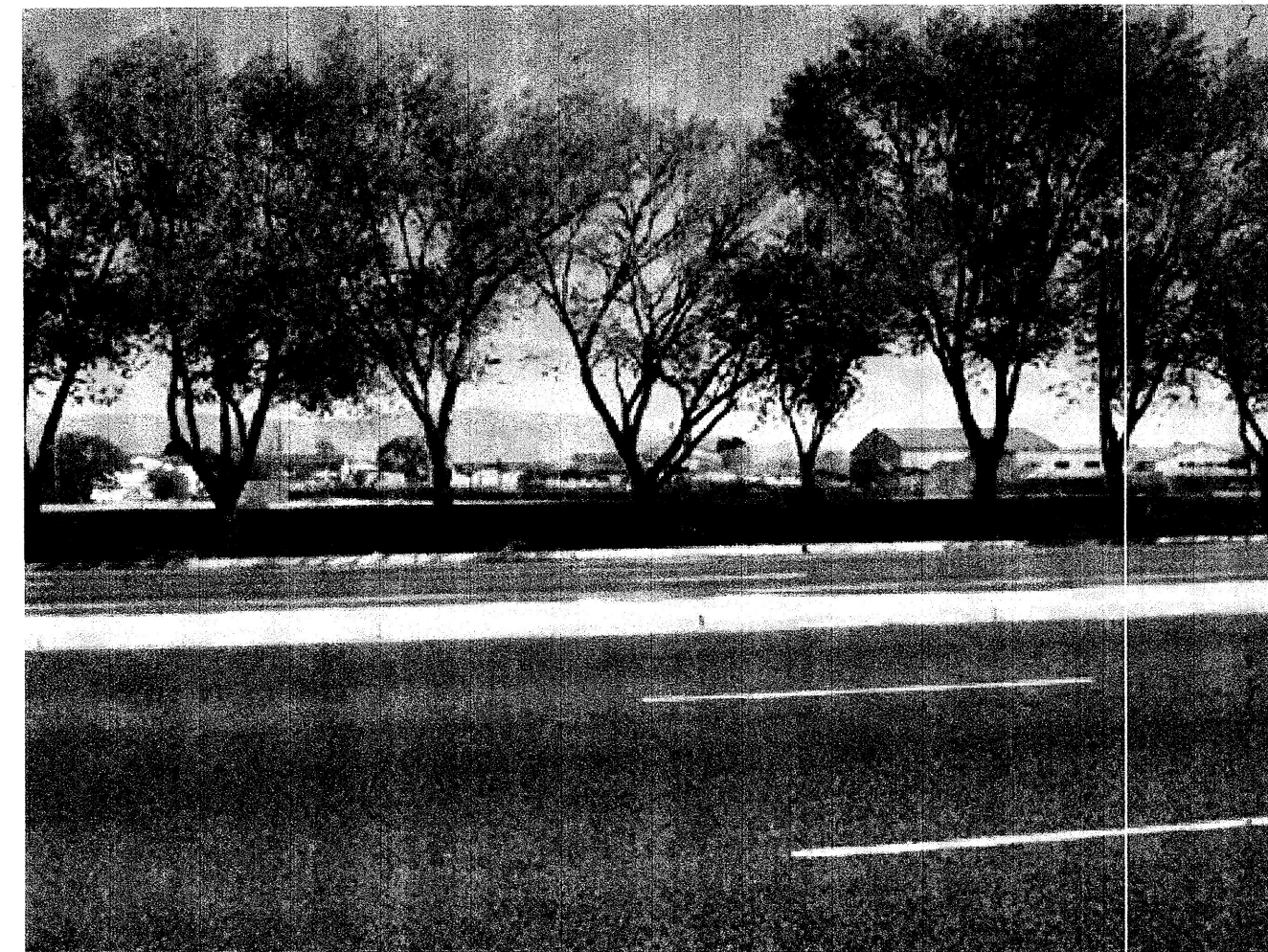
The goal for Oxbow Town Center is to achieve a consistent high quality, well integrated development. The Building Elevation for the Site Plan for Building Permit and the Illustrative Site Plan for the balance of the development are provided to supplement the written design standards. These documents are to be used together to prepare future site plans for building permit.

- 1) All pedestrian paths shall be designed to be handicapped-accessible (see Americans with Disabilities Act Criteria for Barrier-Free).
- 2) Pedestrian connections to buildings shall be provided in parking lots following the Illustrative Site Plan and shall connect to adjacent roadways, sidewalks, and pathways.
- 3) Pedestrian crossings shall be clearly demarcated with textured, colored concrete where they cross vehicular entrances and drive aisles.
- 4) Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios which shall be shaded by trees and/or a shade structure that shall be architecturally integrated with building architecture.
- 5) Commercial development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- 6) Each building shall be required to provide a minimum outdoor plaza space of 300 sf. This area shall have a minimum of 25% shading, provided by a trellis, trees, or umbrellas. Each developer is responsible for providing pedestrian walkways around the building(s) and connecting the plaza area to adjacent developments following the Illustrative Site Plan.
- 7) Drive-up and pick-up windows shall be oriented away from pedestrian areas and residentially zoned areas in accordance with Section 14-16-3-18 (D) (5) of the Zoning Code.



JUNIOR ANCHOR - NORTH

MAJOR ANCHOR - NORTH



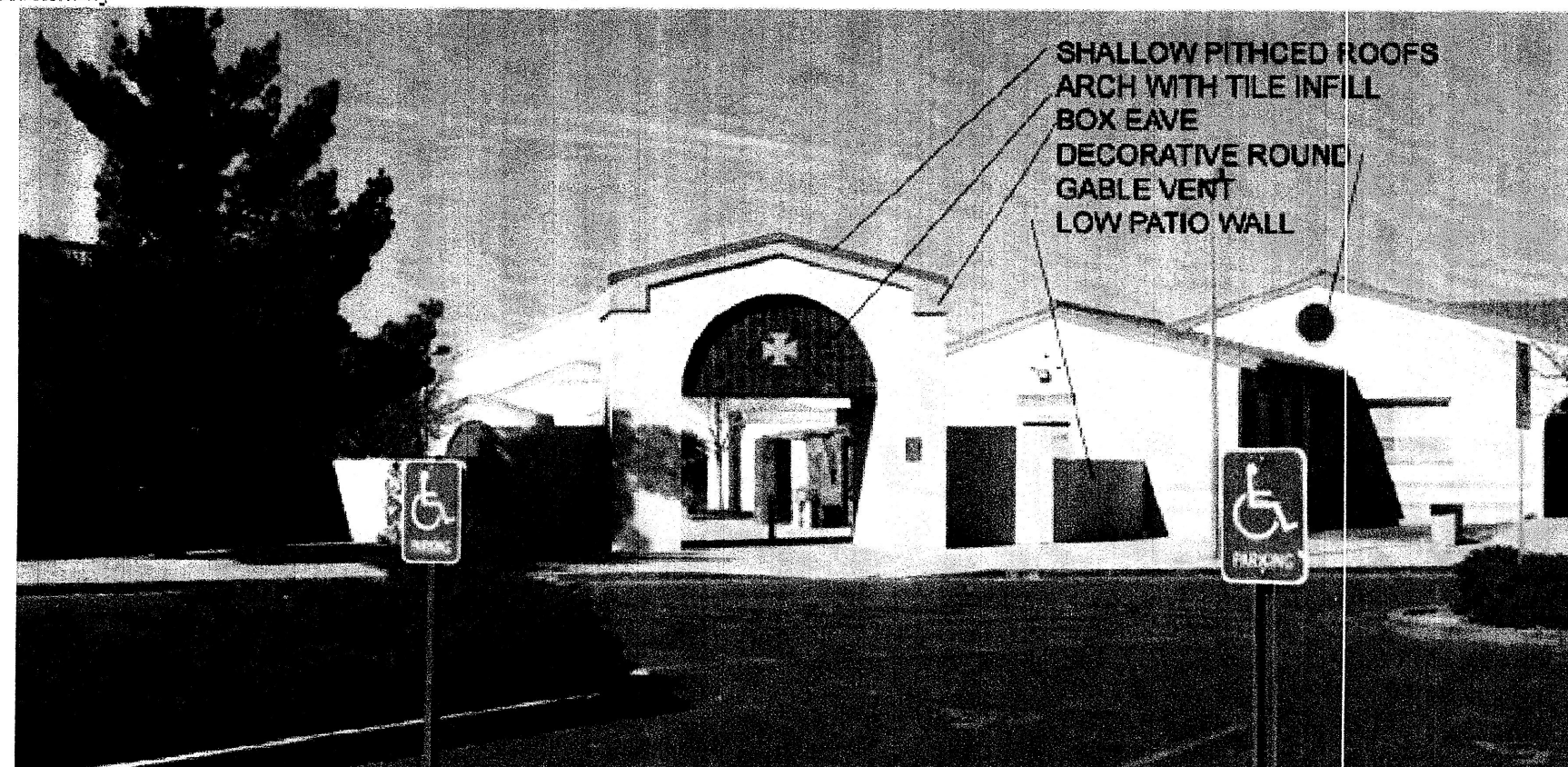
ST PIUS BERM TREES ON COORS BLVD

C. Parking

Future Site Plans for Building Permit must contain the required parking on the respective parcel. Sites are to follow the Illustrative Site Plan concepts to insure that each site is integrated into the overall traffic circulation plan and that each parking area is separated into small pods of parking with pedestrian connections and planters. See Landscape section.

- 1) Handicapped parking spaces shall be provided adjacent to building entries, per IBC 2003.
- 2) Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link the structures to the Oxbow pedestrian circulation network. Head in parking directly adjacent to the building sidewalks shall be encouraged.
- 3) Parking areas shall be designed to include a pedestrian link to buildings.
- 4) In cases where parking is adjacent to roadways, continuous landscaping for screening purposes shall be required. Architecturally compatible screening walls and/or earth berms may be used in lieu of continuous landscape screening, 3' High at maturity.
- 5) Off-street parking requirements:
 - Retail and financial businesses shall be required to be parked to requirements of the city zoning code plus or minus 10%.
 - Sit-down restaurants and fast food restaurants shall be parked to the requirements of the city zoning code plus or minus 10%.
 - One bicycle parking space shall be provided for every 20 parking spaces for cars.
 - A minimum of two motorcycle parking spaces shall be provided at each of the commercial parcels. Parcels with uses requiring more than 25 parking spaces shall provide motorcycle parking as required by the Comprehensive City Zoning Code.
 - Office use shall be required to be parked to the requirements of the Comprehensive City Zoning Code plus or minus 10%.

OXBOW TOWN CENTER WILL DRAW INSPIRATION FROM ADJACENT ARCHITECTURE ST PIUS CAMPUS



D. Landscape

The following Standards will insure that the landscape fabric of Oxbow Town Center will enhance and unify the entire development. Oxbow landscape palette shall emphasize native and naturalized plant species. These standards shall supplement the Water Conservation Landscaping and Waste Water Ordinance, the Pollen Ordinances, and landscape regulations of the City of Albuquerque Comprehensive City Zoning Code.

Landscape buffer yards at site perimeters bordering rights of way are to enhance streetscapes, screen parking areas and shade pedestrian walks. Landscape buffer yards adjacent to residential zones provide transition area and landscape screen to protect adjacent neighborhoods. Landscape adjacent to structures is to enhance the architecture and provide shading of walks and gathering spaces. Landscaping of parking areas is to visually break up the parking areas and shade pedestrian walks.

The enclosed landscape plans for Building Permit areas, as well as the landscape plan for Illustrative Site Plan areas, shall establish the landscape standard. Buffer yard widths, density and size of plant materials, and types of non-living ground cover areas are shown to establish the minimum standards for the Oxbow Town Center.

The following are minimum standards for the development of specific landscape plans:

- 1) Street trees shall be provided along roadways at a rate of one tree per 25' linear feet. They may be randomly or regularly placed.
- 2) The developer/owner will be responsible for the installation and maintenance of the landscape on their property. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the property owner in a living, attractive condition.
- 3) A minimum of 15 percent of the net site area for commercial projects shall be devoted to landscape materials.
- 4) Landscaped areas shall cover a minimum of 36 square feet or greater shall be planted with living groundcover. The area and percentage is calculated based on the mature canopy size of all plant materials.
- 5) All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel, crushed rock, mulch, or similar material which extends completely under the plant material.
- 6) Landscape headers shall be used to separate any turf and groundcover areas.
- 7) To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 8) 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- 9) An automatic underground irrigation system shall be provided to support all landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- 10) Minimum plant sizes at time of installation shall be as follows:

Trees	2" inch caliper, or 10 to 12 feet in height
Shrubs and Groundcovers	1 gallon

Turf grasses and groundcover shall provide complete ground coverage within 1 growing season after installation.
- 11) Proposed gravity fed water harvesting system shall be sized as follows:
 - A. Water Storage Devices shall be above ground only, constructed of a suitable material for containment of harvested water.
 - b. Containers shall be tied into a building roof gutter systems with filter screen at tank inlet. Gutter systems shall provide additional piping as required to bypass storage devices once full. Water harvesting gutter system shall in no way impede drainage flows from building roof top.
 - B. Water harvesting tank containers shall be sized at a rate of .078 gallons per foot of building roof area w/ a maximum container size of 120 cubic feet per container n.t.e exceeds 3 containers.

- 12) Onsite parking runoff shall be allowed to flow into interior landscape areas as an additional means of onsite water harvesting.

E. Architectural Design Standards

The architectural character of all structures and buildings will follow the theme described below and is described by the Illustrative Site Plan and the elevations of the Site Plan for Building Permit

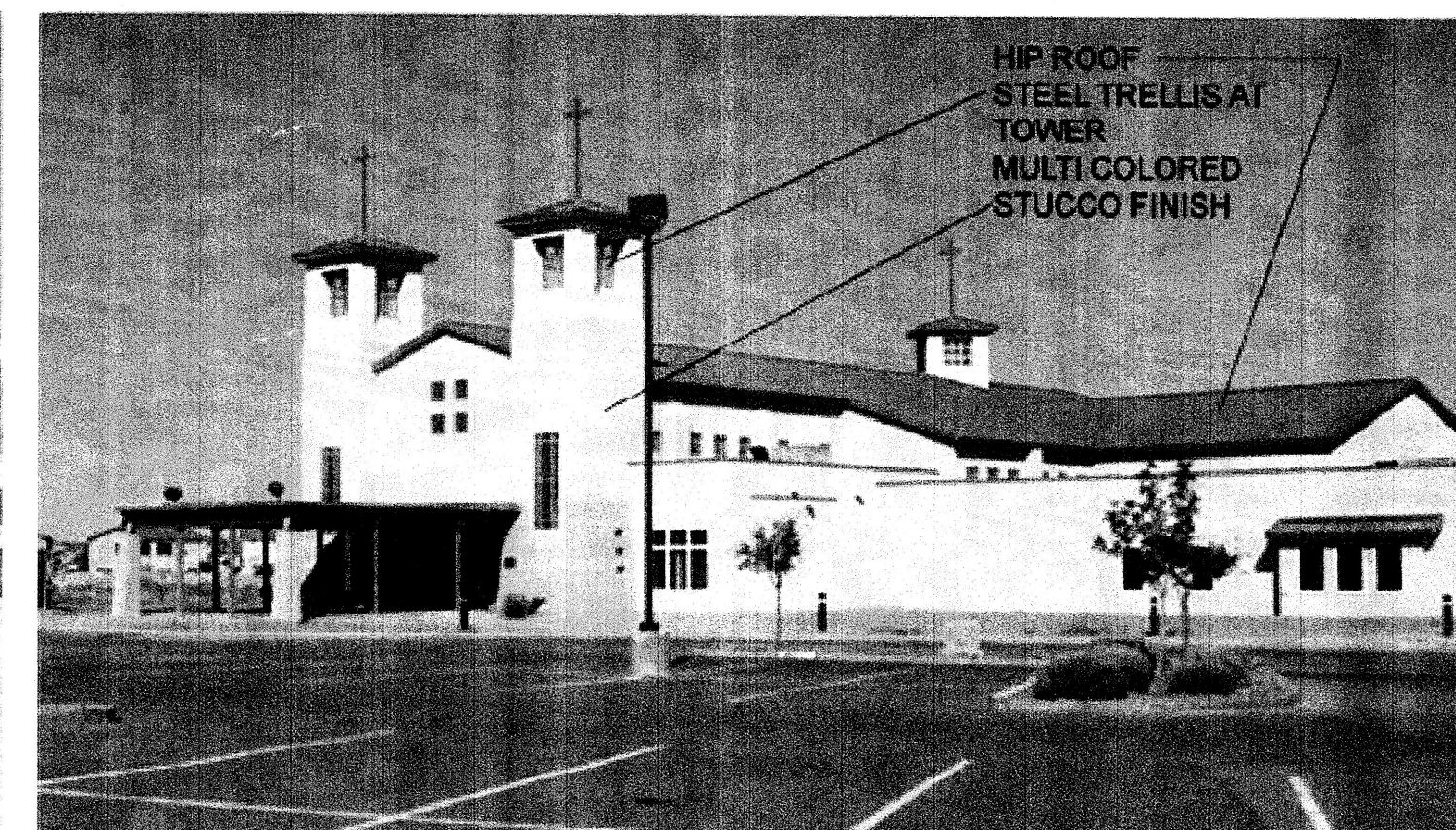
The Oxbow Town Center mission style of architecture incorporates details found on the adjacent St. Pius high school campus and the adjacent St. Joseph church. The St. Pius campus mission style is characterized by low pitch mission style tile roofs contrasted with gable ends of adjacent buildings. Gables are accented with darker colored fascia trim with boxed eaves and full radius circular arches infilled with contrasting darker colored ceramic tile. Many gable areas are accented with a circular attic vent. The mission style architecture of the church is accented by dominant bell tower elements. The church roof design expresses both gable ends and hip conditions. This architectural vocabulary for the Oxbow Town Center site plan will provide a high level of architectural compatibility with the adjacent developments. Structures may be pitched or flat roofed. Pitched roof elements are to be roofed with the mission roof tile units described in the color palette. Portals (covered walkways) and other building appendages may be roofed with mission roof tile units. These roofs are to be shed type with the high point abutting the main building wall below the top of the parapet. Roofs may be terminated with either a gable end or hip. Cornice treatment is to be used at top of parapet walls and at eaves of pitched roof elements. Maximum building parapet height is limited to 32'. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building is to be based on the average height between the plate and ridge.

Color palette- SW (Sherwin Williams)	Common Name
1. Stucco Coast Point SW 2052	Light Tan
2. Stucco Bedouin Beige SW 2044	Medium Tan
3. Stucco Picnic Table SW 2047	Brown
4. Stucco Mulberry Silk SW 0001	Mauve
5. Stucco Collector's White SW 1907 LVR 87%	Off White
6. Tube Steel Canopy 07 Redwood	Red Brown
7. Light Fixture Black	Black
8. Downspout Paint to Match Adjacent Finish	N/A
9. Tile Roof Westile - Mission Blend Flashed	Terracotta
10. Signage See Section J	N/A
11. Stucco Harvest Gold SW 2868	Gold

The following are minimum architectural standards for the commercial development:

- 1) Maximum building height is limited to 40', subject to compliance with Coors Corridor Plan Height Analysis. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.
- 2) Commercial buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, 2003 IBC and other local building and fire codes.
- 3) Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage shall be permitted, provided the area when added to all other wall signage does not exceed the allowable sign area of building wall. Illumination of awnings shall be from pendant mounted fixtures located above the awning. Accent colors on awnings shall be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.
- 4) Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.
- 5) No plastic or vinyl building panels, awnings, or canopies are allowed.
- 6) All franchise architecture shall be required to respond through architectural detail massing, color and materials.

ST JOSEPH CHURCH



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
OXBOW TOWN CENTER
COORS AND ST. JOSEPH'S
ALBUQUERQUE, NM

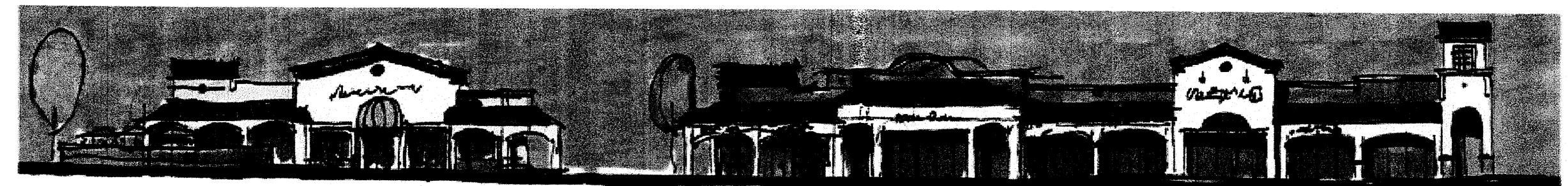
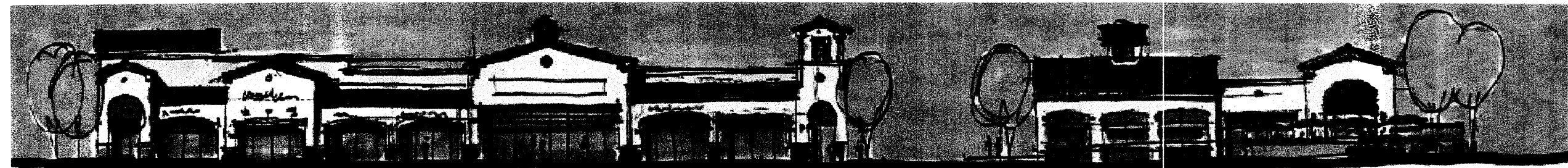
PROJECT MANAGER
JOB NO.
DRAWN BY
JCS

SHEET TITLE
DESIGN STANDARDS

DATE:
12.20.06

SCALE:
AS NOTED

sheet:
AS5
of



F. Setbacks

The use of building and parking area setbacks shall be required to provide space for the creation of visually attractive streetscapes. Pedestrian walkways and screening materials, including landscaping, earthen berms and/or walls shall be permitted within the setbacks.

- 1) Building setbacks for the commercial parcels include:
 - Coors Boulevard, St. Joseph's Drive and Atrisco Blvd: 20 foot minimum.
 - Internal roads: 10 foot maximum, 0 foot minimum
 - Internal side yards: 5 foot minimum
- 2) Public outdoors spaces must be provided according to City Zoning Code Regulations (14-16-3-18-C4).

G. Lighting

Basic site lighting shall provide adequate illumination to create a safe and secure environment in parking areas. Pedestrian scale decorating fixtures shall be used to illuminate pedestrian walks and plazas. Accent lighting of landscaping and architecture is encouraged.

The following minimum standards shall be required for the design of the lighting system:

- 1) All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- 2) Site lighting for pad structures is to match the site lighting provided for the main commercial parking area.
- 3) All site lighting shall not exceed 20 feet from the finished grade to the top of the pole. Main commercial parking area lighting shall not exceed 20 feet. Parking lot lights within 100 feet of residential areas shall be a maximum of 16 feet high from finished grade to the top of the pole.
- 4) Exposed, unshielded light fixtures are prohibited. All lamps shall be shielded shoe box-type fixtures. Painted to match color of pedestrian scale fixtures.
- 5) Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- 6) The location of light fixtures shall be identified on subsequent Site Plans for Building Permit.
- 7) Pedestrian scale light fixtures for pedestrian walks and plaza areas to be a maximum 16' high.
- 8) All lighting shall comply with State of New Mexico Dark Sky Statute.
- 9) Limited use of neon with in permitted sign area maybe considered.

H. Screening/Buffering

Screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and mechanical and site utility equipment is essential to limit their adverse visual impact on the property. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

1. MECHANICAL EQUIPMENT SCREENING

All mechanical equipment shall be screened from view of the adjacent parking area, public right-of-way and from the ground level of adjacent residential areas.

2. SPECIAL BUFFERING

Drive up pick-up windows facing adjacent rights of way shall be screened with a 5' high opaque wall and 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A berm of the same height as the wall may be provided in lieu of the wall.

3. SERVICE AREAS (LOADING AREAS)

Service areas such as refuse locations and compactors are to be totally screened from the view of the adjacent residential area, public rights-of-way with a minimum 8' stucco faced screen wall. Free-standing dumpster and compactor locations are to be gated. Screening material to match building wall color and material.

4. SCREENING OF UTILITIES

Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

When an above-ground back flow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

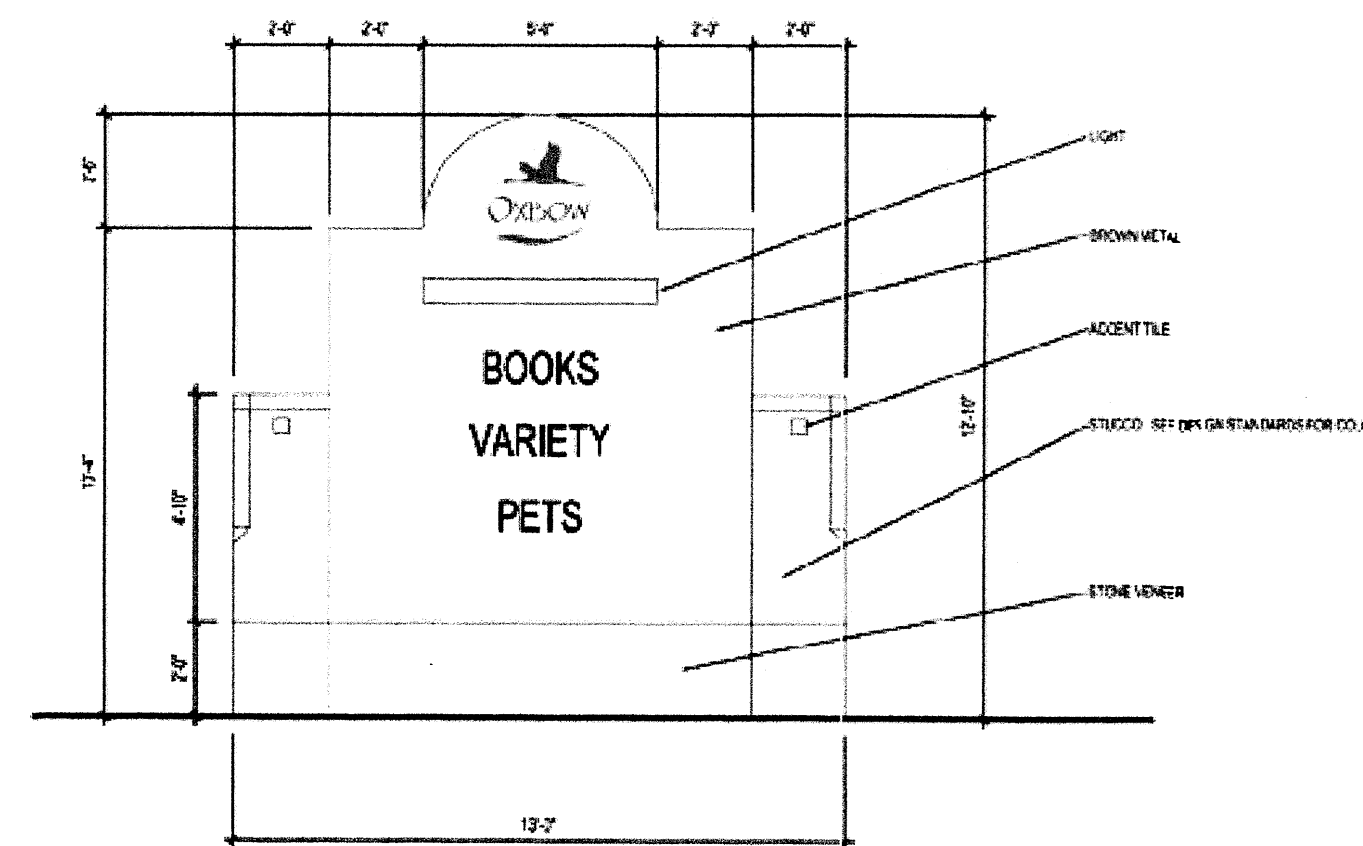
5. WALL DESIGN STANDARDS

All screen walls to be CMU with stucco finish and color. Match the Adjacent Building. Minimum wall heights to be:

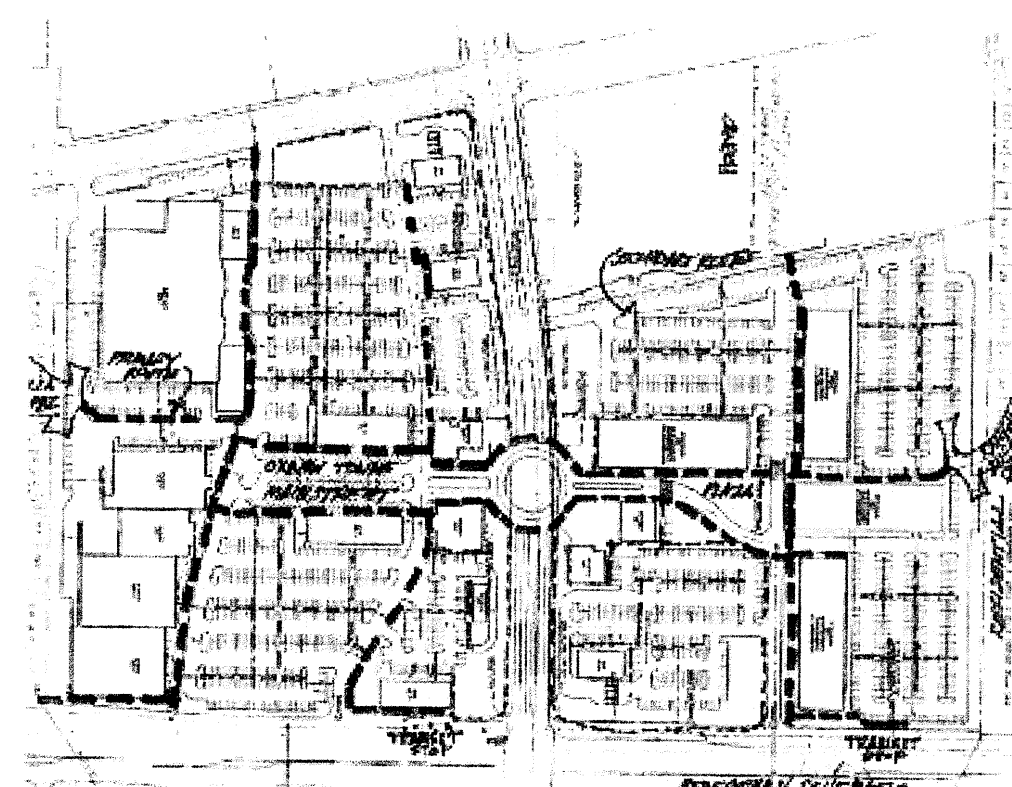
Service Areas	8' High
Parking Areas	3'-4' High
Refuse Enclosures	6' High

I. Free standing signage

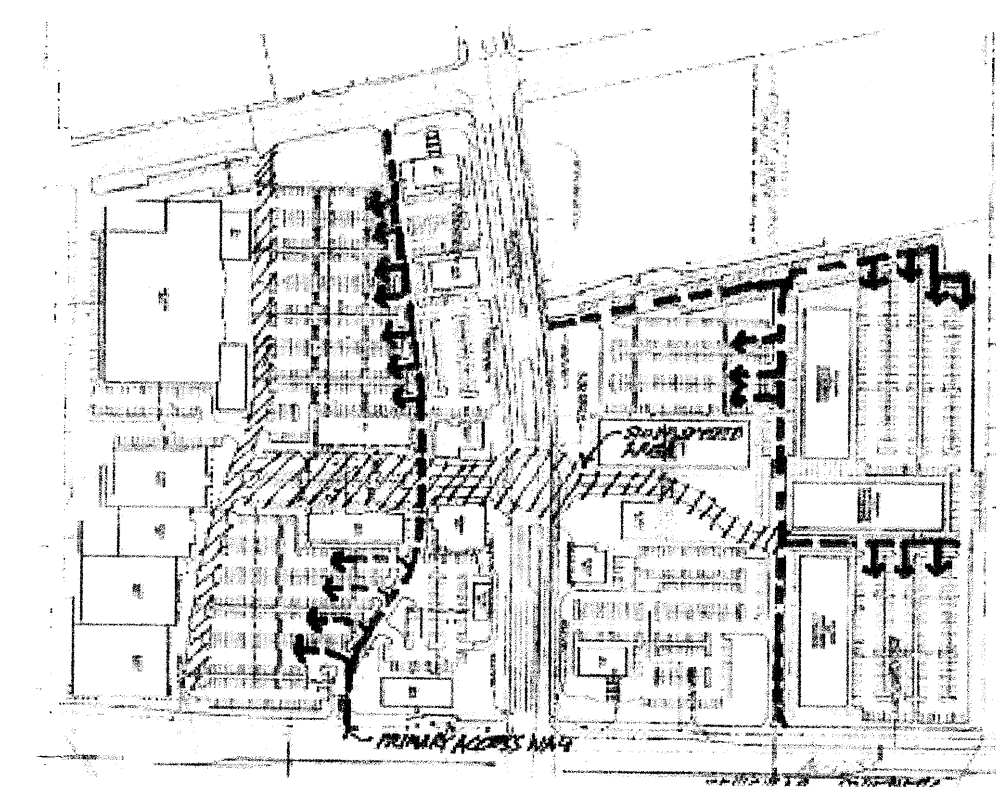
Architecturally coordinated signs are planned. Five large 75 sf monument signs are located on the site plan. Each pad building shall have one 50 sf small monument sign. These signs are located on the site plan.



75 S.F. LARGE MONUMENT SIGN



PEDESTRIAN ACCESS



VEHICULAR ACCESS



ILLUSTRATIVE OFFICE BUILDING ELEVATION

J. Building signage

All signage shall be individual type lettering not to exceed:

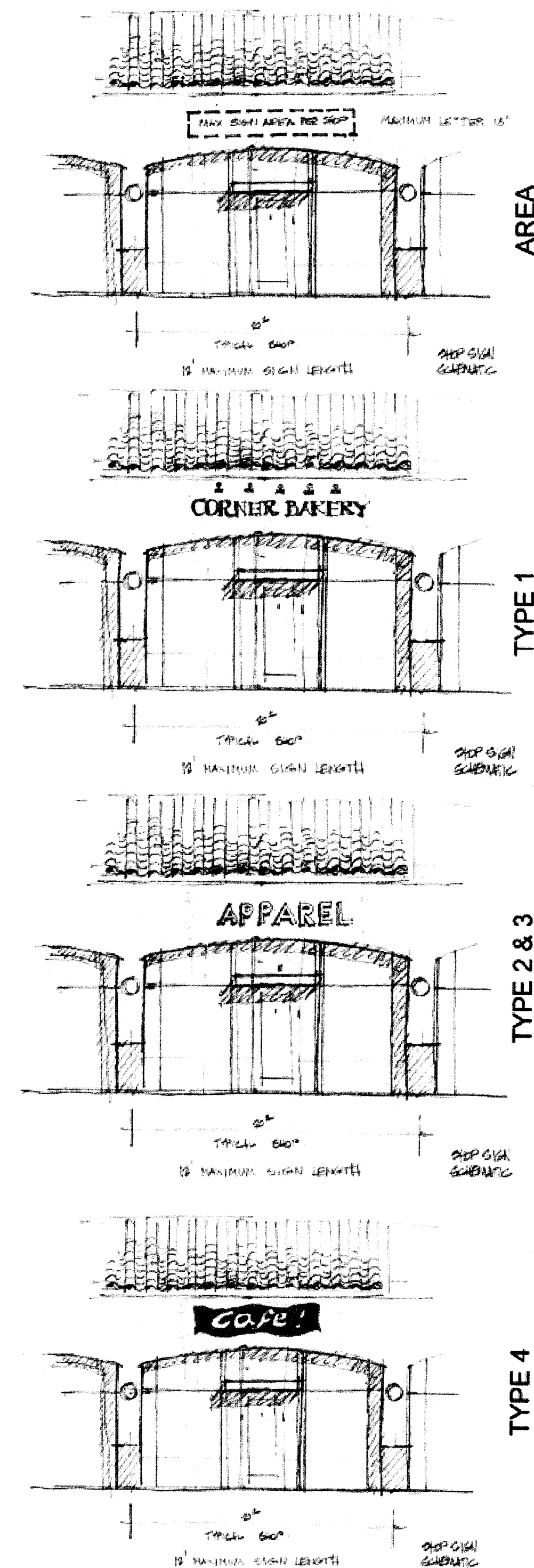
- 12'-0" x 1'-6" total sign area for shops.
 - 20' x 4'-0" total sign area for junior anchor stores up to 40,000 sf.
 - 40' x 5' total sign area for major stores larger than 40,000 sf.
- Stores with sides facing public road or internal drives may have a second sign on the side wall.

Free-standing pad buildings sign area shall not exceed 15' x 2' per building side.

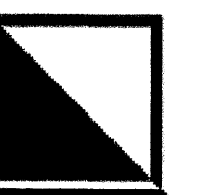
All signs are to be of individual letters. The following types of letters are acceptable:

- Type 1. Opaque lettering indirectly illuminated by goose neck type lighting.
- Type 2. Channel letters internally illuminated with letter sides to match letter face colors.
- Type 3. Same as 2 except halo lit.
- Type 4. Halo lit letters cut out of solid metal background spaced off the face of the building.

Can-type signs shall be prohibited. Special logos associated with a specific tenant shall be submitted in a non-internally illuminated fashion for specific approval by the Owner and City Planning Director. Neon signage within allowable sign area shall be submitted for specific approval. See building signage standards.

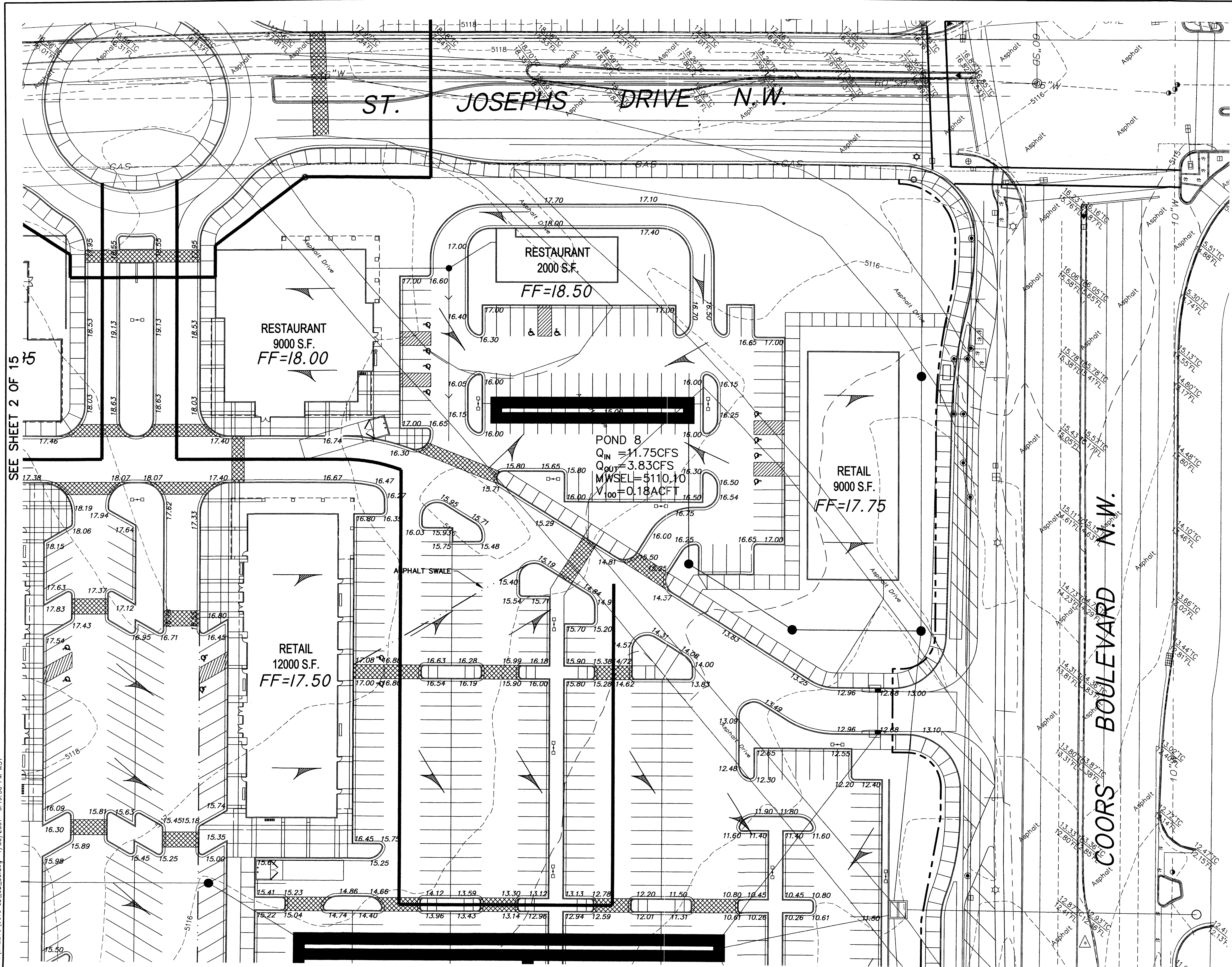


REV	DATE	BY	REVISION



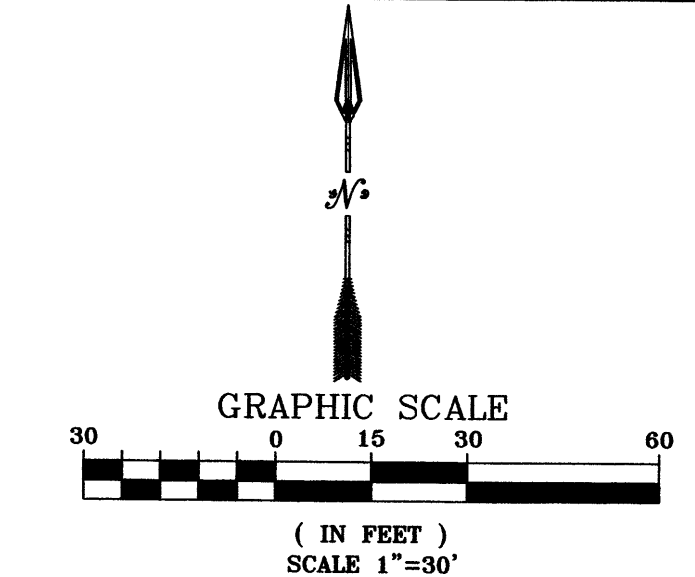
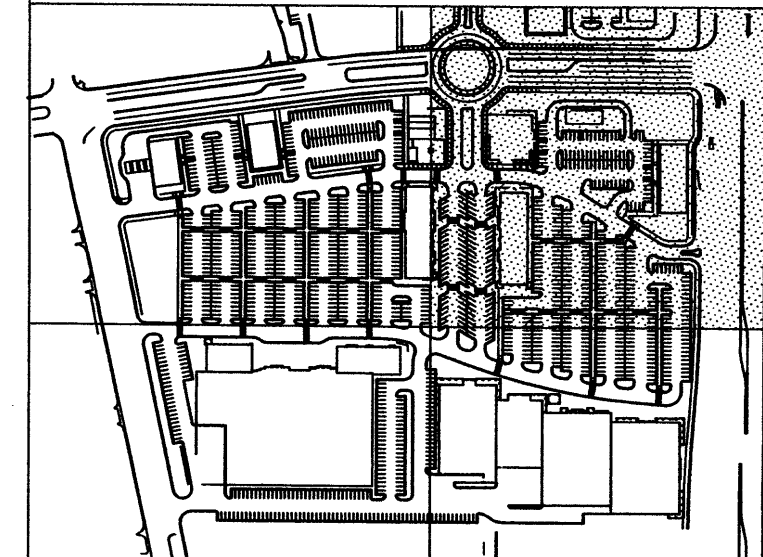
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE OXBOW TOWN CENTER	PROJECT MANAGER COORS AND ST. JOSEPHS ALBUQUERQUE, NM	DRAWN BY JCS	SHEET TITLE DESIGN STANDARDS
DATE: 12.20.06	SHEET: AS6	SCALE: AS NOTED	of



T:\Projects\6010\Cad\Drawings\6010_GD_02_30.dwg 1/30/2007 3:19:36 PM MST

NOTES
 1. SEE SHEETS 7 THRU 10 OF 15 FOR STORM DRAIN PLANS.



GND, LLC
 CONSULTING ENGINEERS
 5643 Paradise Blvd. NW
 Albuquerque, NM 87114
 Phone: (505) 899-6182
 Fax: (505) 899-6184

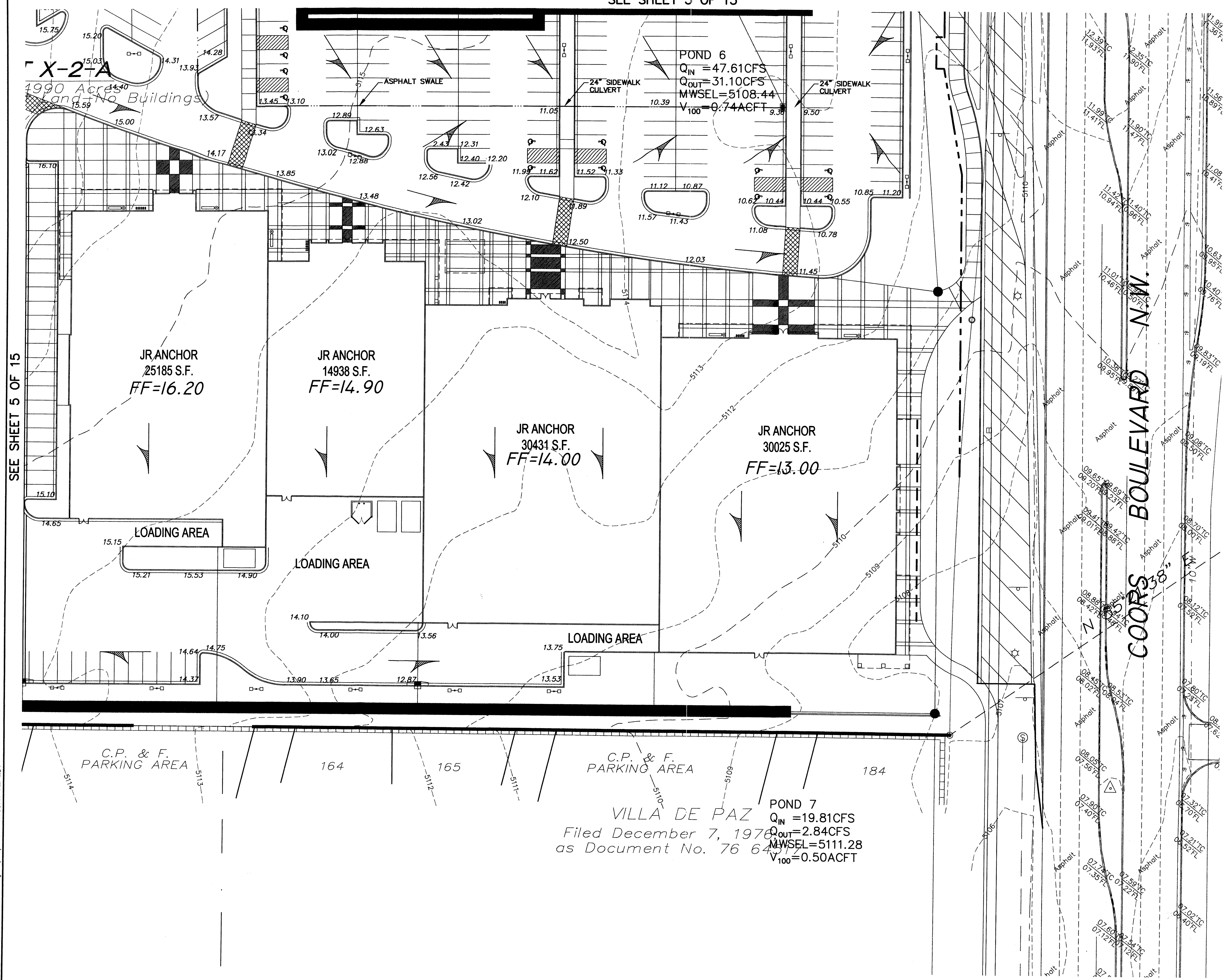
CITY OF ALBUQUERQUE
 MUNICIPAL DEVELOPMENT DEPARTMENT
 ENGINEERING DIVISION

OXBOW TOWN CENTER

GRADING AND DRAINAGE PLAN

LATEST DESIGN UPDATE	MONTH/DAY/YEAR	USER DEPARTMENT
CITY PROJECT No.	ZONE MAP No.	SHEET
	G-11	3 OF 15

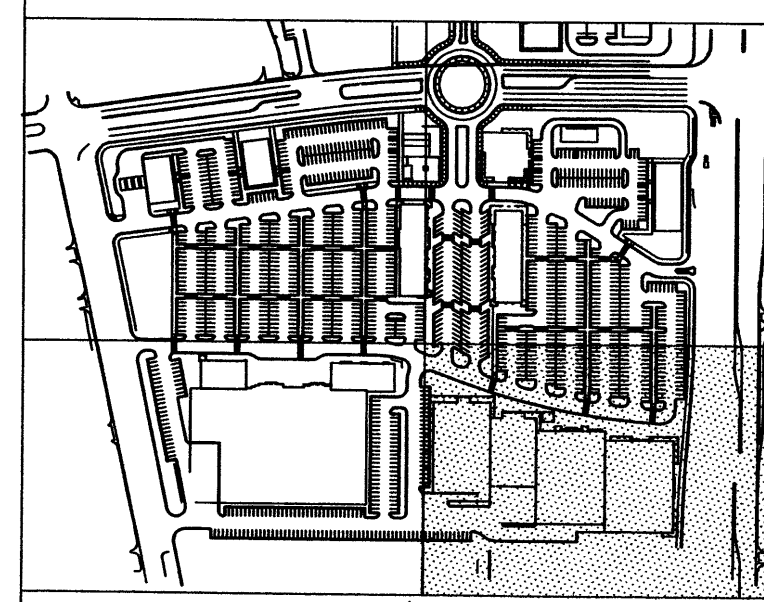
ENGINEER'S SEAL		SURVEY INFORMATION		AS BUILT INFORMATION	
	NO.	NO.	NO.	NO.	NO.
	DATE	DATE	DATE	DATE	DATE
REMARKS	BY	FIELD NOTES	CONTRACTOR	CONTRACTOR	CONTRACTOR
DESIGN	JRW	Control Survey Monument	NMS/Albuquerque Control Survey Monument	NMS/Albuquerque Control Survey Monument	NMS/Albuquerque Control Survey Monument
REVISIONS	JRW	JOSEPH 1969	JOSEPH 1969	JOSEPH 1969	JOSEPH 1969
DESIGNED BY	JRW	DATE	DATE	DATE	DATE
DRAWN BY	JRW	NO. STATE PLANE COORDINATES (CENTRAL ZONE - NAD27)	X=366,686.82 Y=1,502,246.75	X=366,686.82 Y=1,502,246.75	X=366,686.82 Y=1,502,246.75
CHECKED BY	JRW	DELTA ALPHA	001524	001524	001524
		GROUND TO GRID FACTOR	0.99967551	0.99967551	0.99967551
		ELEVATION	5116.61 (NAVD88)	5116.61 (NAVD88)	5116.61 (NAVD88)



SEE SHEET 5 OF 15

VILLA DE PAZ
 Filed December 7, 1976
 as Document No. 76 6431

NOTES
 1. SEE SHEETS 7 THRU 10 OF 15
 FOR STORM DRAIN PLANS.



GRAPHIC SCALE
 (IN FEET)
 SCALE 1"=30'
GND, LLC
 CONSULTING ENGINEERS
 5643 Paradise Blvd. NW
 Albuquerque, NM 87114
 Phone: (505) 899-6182
 Fax: (505) 899-6184

AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTED BY	DATE
FIELD ENGINEER BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
No.	

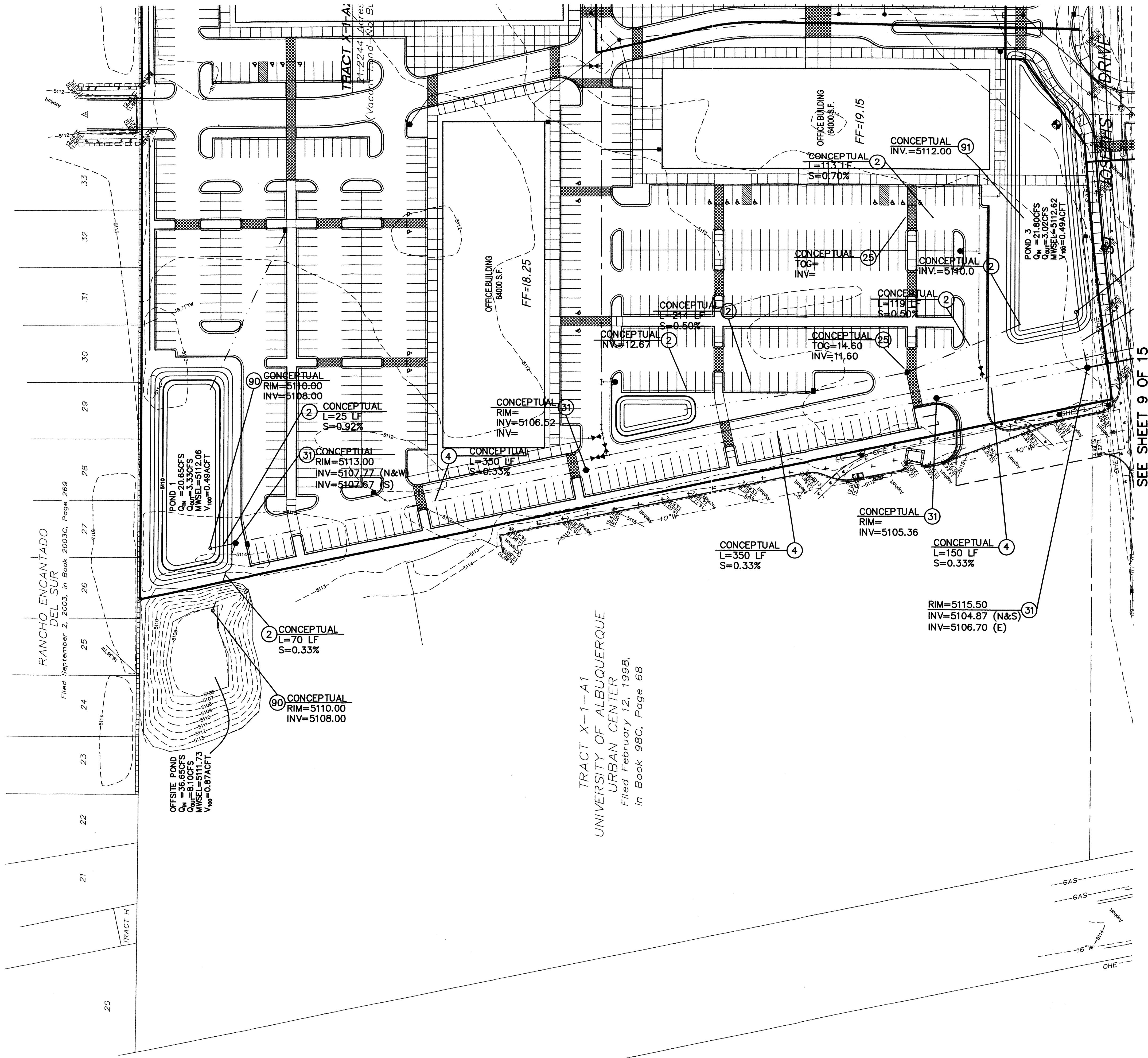
SURVEY INFORMATION	
FIELD NOTES	BY
NO.	DATE
BENCH MARKS	
NCS/Albuquerque Control Survey Monument	
JOSEPH 1969*	
NM State Plane Coordinates (Central Zone -NAD27)	
X=366,686.82 Y=1,502,246.75	
Delta Alpha=-0015'24"	
Ground to Grid Factor=0.99967551	
Elevation=5116.61 (NAD88)	

ENGINEER'S SEAL	
REVISIONS	BY
NO.	DATE
DESIGNED BY: JRW	DATE: NOV 2007
DRAWN BY: JRW	DATE: NOV 2007
CHECKED BY: JRW	DATE: NOV 2007

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER	
GRADING AND DRAINAGE PLAN	
MONTH/DAY/YEAR	USER DEPARTMENT
LATEST DESIGN UPDATE	
CITY PROJECT No.	ZONE MAP No. SHEET
	G-11 4 OF 15

T:\Projects\6010\Coord\SHEETS\6010_00_03_30.dwg 4/20/2007 11:55:17 AM MDT

SEE SHEET 8 OF 15



RANCHO ENCANTADO DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269

TRACT X-1-A1
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER
Filed February 12, 1998,
in Book 98C, Page 68

SEE SHEET 9 OF 15

STORM DRAIN CONSTRUCTION NOTES

I.D.#	DESCRIPTION
2	INSTALL 18" STORM DRAIN PIPE
4	INSTALL 24" STORM DRAIN PIPE
6	INSTALL 30" STORM DRAIN PIPE
8	INSTALL 36" STORM DRAIN PIPE
20	INSTALL TYPE A CATCH BASIN SINGLE GRATE PER COA STD. DTL 2201
24	INSTALL TYPE C CATCH BASIN - DOUBLE, WING PER COA STD. DETAIL 2205
25	INSTALL TYPE C CATCH BASIN - SINGLE, DBL WING PER NM APWA STD. DTL 2205
26	INSTALL SIDEWALK CULVERT W/ STEEL PLATE PER COA STD. DETAIL 2238
31	INSTALL 6' DIA. MANHOLE PER COA STD. DTL 2101
90	INSTALL 36" DIA. CMP RISER, PER DETAIL
91	INSTALL 10' x 10' RIPRAP BLANKET, PER DETAIL

AS BUILT INFORMATION

CONTRACTOR	DATE
NGS/Albuquerque Control Survey Monument	

INSPECTOR'S INFORMATION

STAKED BY	DATE	INSPECTED BY	DATE
JOSEPH 1969*			

VERIFICATION BY

DATE	BY

MICRO-FILM INFORMATION

RECORDED BY	DATE

BENCH MARKS

NO.	FIELD NOTES	DATE

ENGINEER'S SEAL

NO.	BY	DATE

REVISIONS

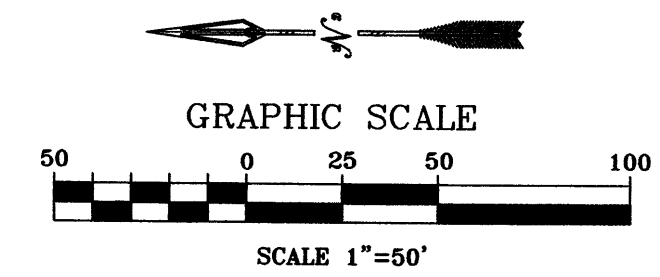
NO.	DATE	REMARKS	BY

DESIGNED BY: JRW
DRAWN BY: JRW
CHECKED BY: JRW

DATE: NOV 2007
DATE: NOV 2007
DATE: NOV 2007

GENERAL NOTES

- ALL STORM DRAIN PIPE TO BE HDPE OR ENGINEER APPROVED EQUAL.
- SEE SHEET 6 OF 15 FOR LEGEND.

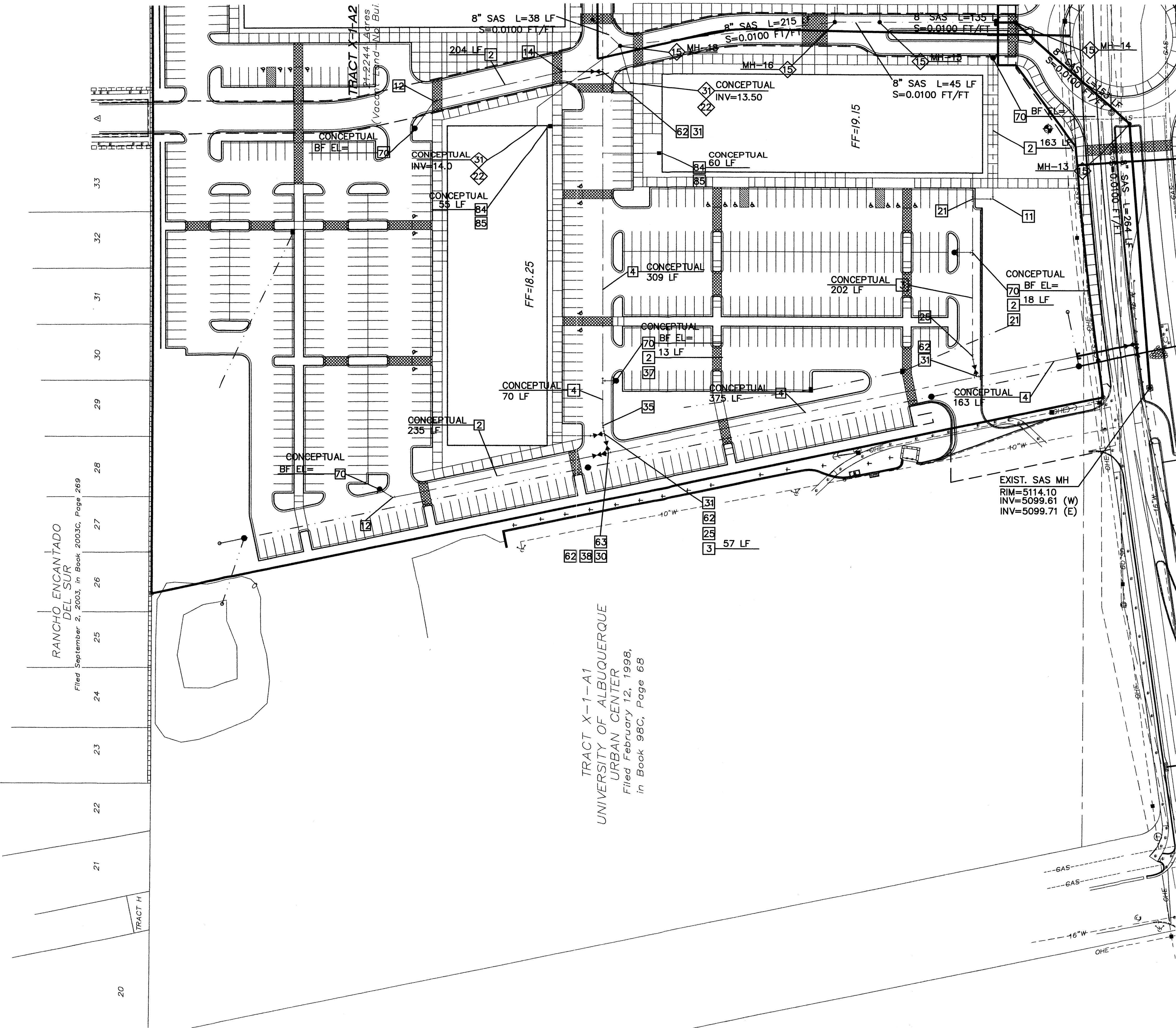


GND, LLC
CONSULTING ENGINEERS

5643 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: (505) 899-6182
Fax: (505) 899-6184

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION	
OXBOW TOWN CENTER MASTER UTILITY PLAN STORM DRAIN	
MONTH/DAY/YEAR	USER DEPARTMENT
CITY PROJECT No.	
ZONE MAP No.	SHEET
G-11	7 OF 15

SEE SHEET 12 OF 15



RANCHO ENCANTADO DEL SUR
Filed September 2, 2003, in Book 2003C, Page 269

TRACT X-1-A1
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER
Filed February 12, 1998,
in Book 98C, Page 68

SEE SHEET 13 OF 15

WATER CONSTRUCTION NOTES

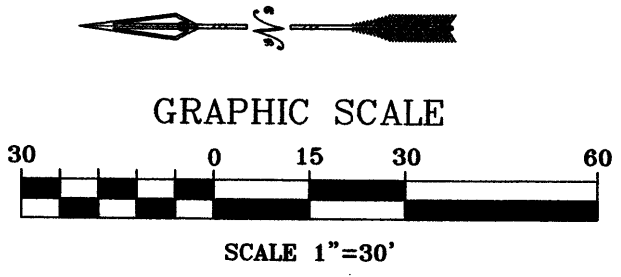
I.D.#	DESCRIPTION
2	INSTALL 6" D.I. WATERLINE PER STD. SPEC. SEC. 801
3	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
4	INSTALL 10" WATERLINE PER STD. SPEC. SEC. 801
11	INSTALL 6" 90° BEND
12	INSTALL 6" 45° BEND
14	INSTALL 6" 11 1/2" BEND
20	INSTALL 8" TEE
21	INSTALL 8" x 6" TEE
25	INSTALL 8" 11 1/4" BEND
28	INSTALL 8" CROSS
29	INSTALL 10" x 6" REDUCER
30	INSTALL 10" TEE
32	INSTALL 10" 90° BEND
34	INSTALL 10" 22 1/2" BEND
35	INSTALL 10" 11 1/4" BEND
37	INSTALL 10" x 6" TEE
38	INSTALL 10" x 8" REDUCER
39	INSTALL 10" x 8" CROSS
43	INSTALL 10" GATE VALVE AND VALVE BOX PER COA STD. DETAIL 2326, 2328
46	INSTALL 16" BUTTERFLY VALVE AND VALVE BOX PER COA STD. DETAIL 2333, 2352
47	INSTALL 16" x 10" TEE
70	INSTALL FIRE HYDRANT PER V.O.L.L. STD. DETAIL
83	INSTALL 1 1/2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
84	INSTALL 2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
88	INSTALL METER BOX, COVER, & LID PER COA STD. DETAIL 2367

SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
4	INSTALL 4" DIA. MANHOLE PER COA STD DETAIL 2101
6	INSTALL 6" DIA. DOUBLE PRESSURE CLEAN OUT W/CROSS PER DETAIL
8	INSTALL 6" SEWER SERVICE PER COA STD. DETAIL

GENERAL NOTES

- SEE SHEET 6 OF 15 FOR LEGEND.
- SEE SHEET 13 FOR SANITARY SEWER MANHOLE TABLE.



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR'S	DATE	NO.	BY	REMARKS	BY
NGS/Albuquerque Control Survey Monument		JOSEPH 1969					
INSPECTOR'S	DATE	NM State Plane Coordinates (Central Zone -NAD27)	DATE				
FIELD	DATE	X=366,686.82 Y=1,502,246.75	DATE				
APPROVAL BY	DATE	Delta Alpha=-0015'24"	DATE				
CORRECTED BY	DATE	Ground to Grid Factor=0.99967551	DATE				
MICRO-FILM INFORMATION	DATE	Elevation=5116.61 (NAVD88)	DATE				
	DATE		DATE				

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

**OXBOW TOWN CENTER
MASTER UTILITY PLAN
SANITARY SEWER AND WATER**

MONTH/DAY/YEAR	USER DEPARTMENT

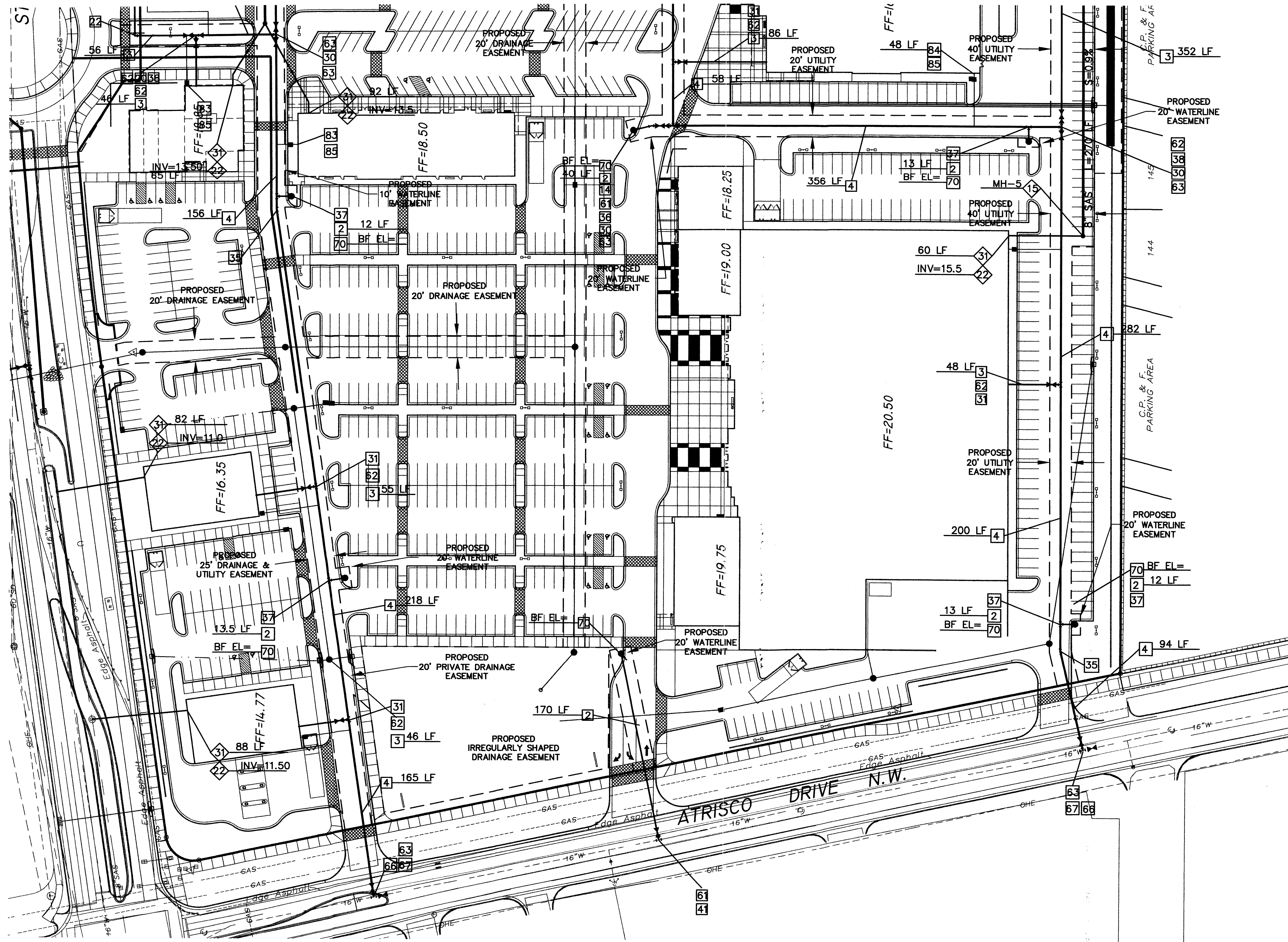
LATEST DESIGN UPDATE

CITY PROJECT No. _____ ZONE MAP No. **G-11** SHEET **11 OF 15**

DESIGNED BY: JRW DATE: NOV 2007
DRAWN BY: JRW DATE: NOV 2007
CHECKED BY: JRW DATE: NOV 2007

SEE SHEET 14 OF 15

SEE SHEET 11 OF 15



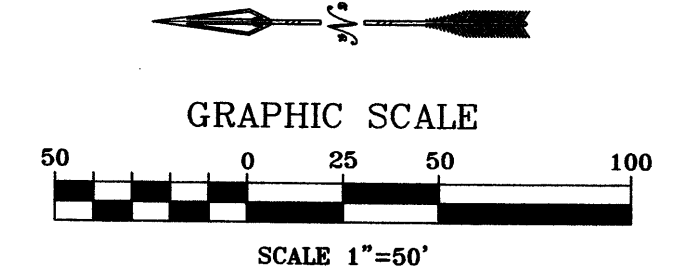
WATER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
21	INSTALL 6" D.I. WATERLINE PER STD. SPEC. SEC. 801
31	INSTALL 8" WATERLINE PER STD. SPEC. SEC. 801
41	INSTALL 10" WATERLINE PER STD. SPEC. SEC. 801
20	INSTALL 8" TEE
28	INSTALL 8" CROSS
29	INSTALL 10" X 6" REDUCER
59	INSTALL 10" TEE
52	INSTALL 10" 90° BEND
54	INSTALL 10" 22 1/2° BEND
57	INSTALL 10" 11 1/4° BEND
57	INSTALL 10" X 6" TEE
58	INSTALL 10" X 8" REDUCER
59	INSTALL 10" X 8" CROSS
63	INSTALL 10" GATE VALVE AND VALVE BOX PER COA STD. DETAIL 2326, 2328
68	INSTALL 16" BUTTERFLY VALVE AND VALVE BOX PER COA STD. DETAIL 2333, 2352
67	INSTALL 16" X 10" TEE
70	INSTALL FIRE HYDRANT PER V.O.L.L. STD. DETAIL
84	INSTALL 2" SINGLE WATER SERVICE PER COA STD. DETAIL 2363
85	INSTALL METER BOX, COVER, & LID PER COA STD. DETAIL 2367

SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
45	INSTALL 4" DIA. MANHOLE PER COA STD DETAIL 2101
46	INSTALL 6" DIA. DOUBLE PRESSURE CLEAN OUT W/CROSS PER DETAIL
47	INSTALL 6" SEWER SERVICE PER COA STD. DETAIL

GENERAL NOTES
1. SEE SHEET 6 OF 15 FOR LEGEND.



SANITARY SEWER MANHOLE TABLE

MH NO.	RIM ELEV.	INV. (N)	INV. (E)	INV. (W)	INV. (S)
1	5107.00	5100.45	-	5100.45	5100.34
2	5113.88	5104.99	5104.89	5104.99	-
3	5114.56	5106.44	5106.34	5106.44	-
4	5115.64	5107.62	5107.52	5107.62	-
5	5117.27	5110.15	5110.05	-	-
6	5110.50	5103.48	-	-	5103.38
7	5113.50	-	-	5105.56	5105.46
8	5114.45	5106.88	5106.78	5106.88	-
9	5117.45	5109.84	5109.74	5109.84	-
10	5116.00	-	5110.51	5110.61	5110.51

MH NO.	RIM ELEV.	INV. (N)	INV. (E)	INV. (W)	INV. (S)
11	5118.55	5111.70	5111.60	-	5111.70
12	5117.70	-	5091.71	5091.61	-
13	5115.50	5094.45	-	5094.35	-
14	XXXX.XX	5096.08	-	-	5095.98
15*	XXXX.XX	5097.53	-	-	6097.43
16*	XXXX.XX	5098.08	-	-	5097.98
17*	XXXX.XX	-	-	5100.50	-
18*	XXXX.XX	5100.33	5100.33	5100.33	5100.23
19*	XXXX.XX	-	5100.71	5100.81	-
20*	XXXX.XX	5102.10	-	5102.00	-
21	XXXX.XX	-	5111.27	5111.27	5111.17

* INDICATES CONCEPTUAL MANHOLE

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR'S NAME	DATE	FIELD NO.	BY	NO.	DATE
CONTRACTOR		INSPECTOR'S NAME		FIELD NO.		NO.	
INSPECTOR'S NAME		DATE		NO.		NO.	
DATE		DATE		REMARKS		REVISIONS	
DATE		DATE		DESIGNED BY: JRW		DATE: NOV 2007	
DATE		DATE		DRAWN BY: JRW		DATE: NOV 2007	
DATE		DATE		CHECKED BY: JRW		DATE: NOV 2007	

GND, LLC
CONSULTING ENGINEERS
5643 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: (505) 899-6182
Fax: (505) 899-6184

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

**OXBOW TOWN CENTER
MASTER UTILITY PLAN
SANITARY SEWER AND WATER**

MONTH/DAY/YEAR	USER DEPARTMENT

CITY PROJECT No. _____ ZONE MAP No. G-11 SHEET 13 OF 15

T:\Projects\6010\Cad\Drawings\6010_MASTER UTILITY PLAN_WS02_60.dwg 3/2/2007 11:35:37 PM MST

