

DISCLOSURE STATEMENT

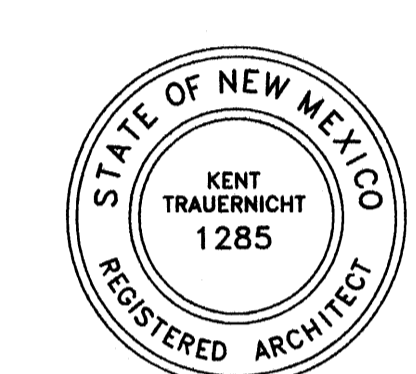
The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the *Interim Guidelines for Development within City Designated Landfill Buffer Zones*) shall be consulted prior to development at the site.

Rhonda Mettler 2/2/07
Albuquerque Environmental Health Department



P.O. BOX 3366
ALBUQUERQUE, NM 87190
T: (505) 281-9560
F: (505) 288-1055
C: (505) 259-7919
aktarch@earthlink.net

CONSULTANT



PROJECT

OFFICE/WAREHOUSE BUILDING FOR ARAPAHOE DRILLING

8532 CALLE ALAMEDA

ALAMEDA BUSINESS PARK

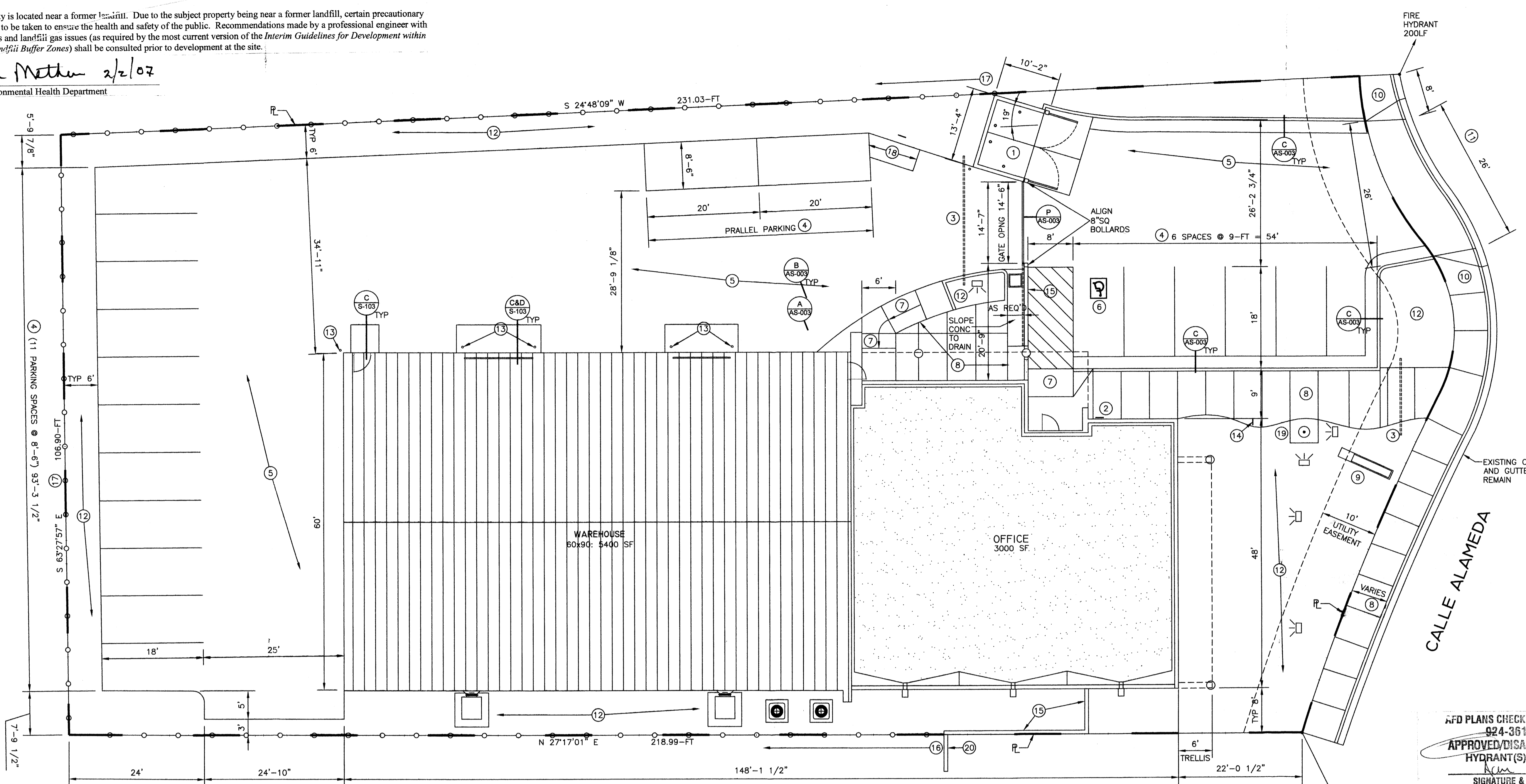
MARK	DATE	DESCRIPTION
	APRIL 20, 2007	ISSUE DATE

PROJECT NO:
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SHEET TITLE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

AS-001

1005360

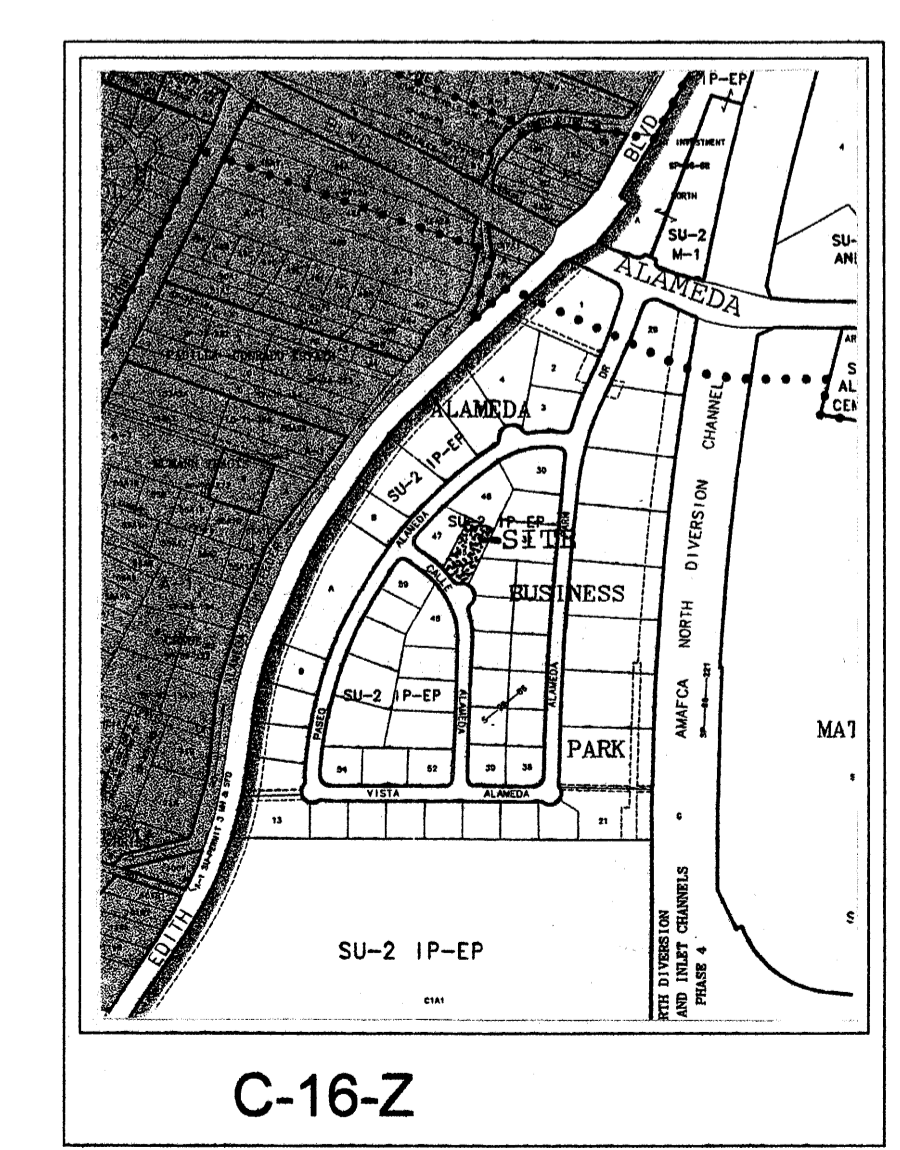


APPROVED PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
K/M 1-30-07
SIGNATURE & DATE

LANDSCAPE NOTES:

- ALL LANDSCAPE EDGING SHALL STEEL PREFINISHED GREEN, 1/8" X 4" WITH ACCESSORIES AS REQ'D.
- ALL PLANTERS OR PLANTED AREAS SHALL BE FILLED SO THAT THE ROCK MULCH IS FLUSH WITH THE TOP OF ADJACENT CURB OR CONCRETE WALK.
- SEE DETAIL FOR TREE PLANTING.
- SEE DETAIL FOR SHRUB PLANTING.
- WEED BARRIER FABRIC SHALL BE BY DeWITT (800) 888-9669, POLYPROPYLENE, 4 OZ, BLACK WITH GREEN STRIPE, 5.28 MILS THICK

NOTE: INSTALL IRRIGATION CONTROLLER AS DIRECTED BY THE OWNER.
NOTE: INSTALL IRRIGATION SYSTEM AS SPECIFIED. MUELLERMIST IRRIGATION CO., RAIN BIRD SPRINKLER MFG. CORP., THE TORO CO., IRRIGATION DIV. OR WEATHER-MATIC DIV/ TELSO INDUSTRIES. IRRIGATION SHALL BE INSTALLED AS REQUIRED BY PLANT MATERIAL TYPE AND LOCATION. COVERAGE SHALL BE 95% AT TURF AND 85% AT BEDDED PLANTS.



KEYED NOTES

- Refuse enclosure, see sheet AS-004.
- Handicapped parking sign, see E/A-003.
- 3" PVC pipe under pavement for installing irrigation lines. Stub line up inside building for irrigation controller, location per owners direction.
- Two coats traffic paint. Markings shall be 4" wide striping (yellow on conc, white on asphalt), as shown throughout the paved areas as shown.
- Asphalt paving, see Geotechnical Report and L/A-003.
- Handicapped parking symbol, see detail. City of Albuquerque standard detail 2426.
- Handicap ramp, per COABQ standard detail 2441, see F/A-003. All ramps shall comply with ADA requirements, 60-inch min. width, 1:12 max slope, 1:10 max slope at side flares. The full width and depth of all ramps shall be scored per ADA for detectable warning surfacing.
- Concrete walk, as shown, per COABQ standard detail 2430.
- Monument sign (interior lighted); sign base under this contract, see N/A-003. See site lighting plan.
- Install wheelchair ramp per City of Albuquerque standard detail 2441, see detail.
- Cut and remove existing curb and gutter as required to install concrete drivepad per COABQ standard detail 2425. See grading and drainage plan.
- Landscaped area, see landscaping plan and J&K/A-003.
- Pipe bollard, see H/A-003.
- Bicycle rack, see L/A-003.
- Stucco covered landscape wall, 6'-0" high, see M/A-003.
- Existing adjoining properties chainlink fence along west property line as shown.
- Chainlink fence, 6'-0" high, see G/A-003.
- 4' x 8' motorcycle parking space with minimum 12" x 18" sign designating "MOTORCYCLE PARKING". Mount on sign standard with bottom of sign no less 48" above finish grade, see E/A-003
- 30-FT flag pole with up lighting, see O/AS-003.
- Adjoining property CMU wall.
- Asphalt paving in yard area has no curbing, thicken asphalt around all edges, see L/A-003.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



ZONING DATA

LEGAL: LOT 45, ALAMEDA BUSINESS PARK, ALBUQUERQUE, NM
ADDRESS: 8532 CALLE ALAMEDA
SITE AREA: 0.6074 ACRES (26,323 SF)
ALLOWABLE BLDG AREA (50% SITE AREA): 13,229 SF
ACTUAL BLDG AREA (32% SITE AREA): 8400 SF
ZONING: SU-2 FOR IP-EP (ATLAS PAGE C-16-Z)

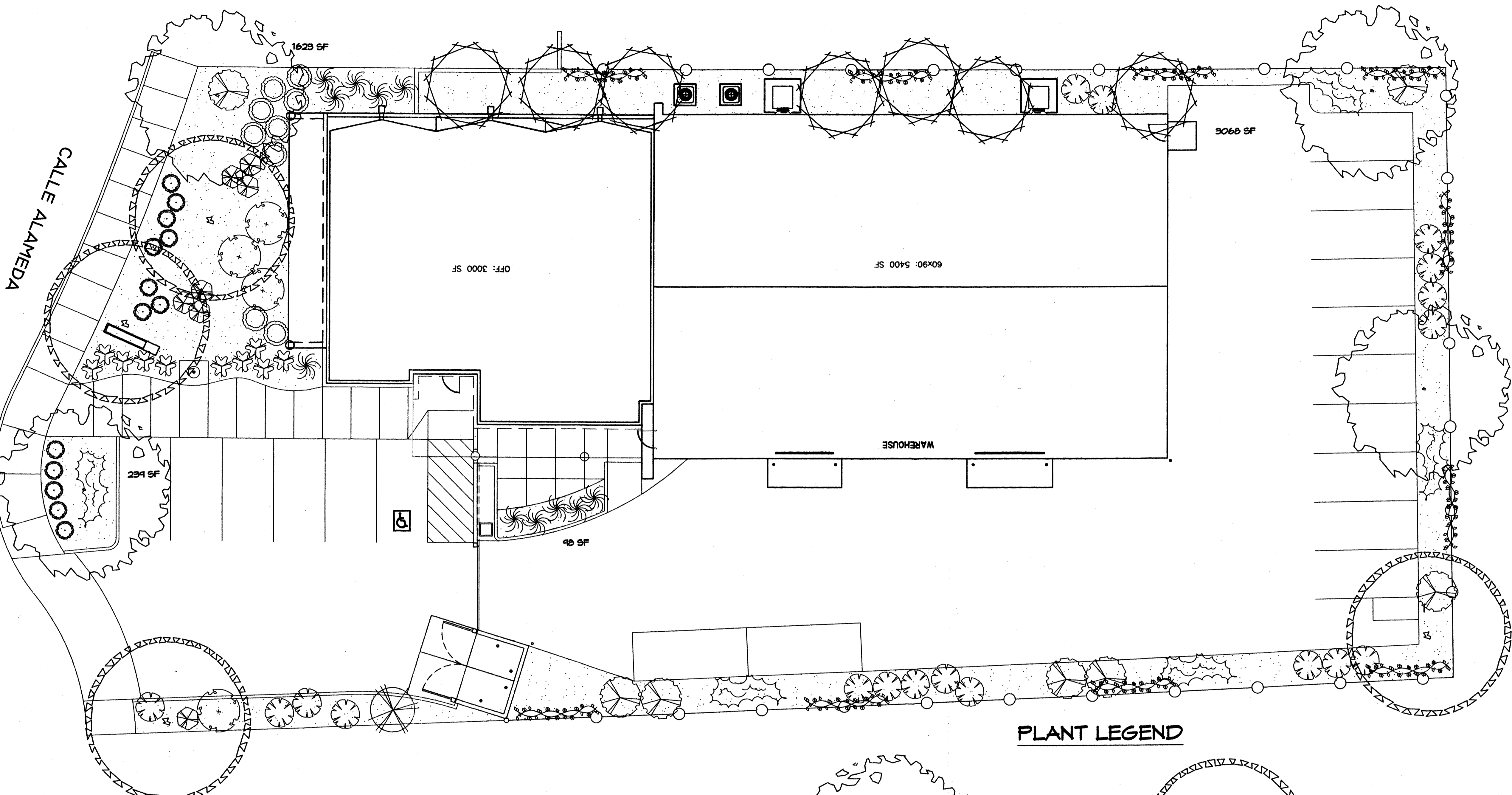
REQUIRED SETBACKS:
FRONT: 20-FT
SIDE: 10-FT
REAR: 10-FT

PROVIDED ON-SITE PARKING: 19 SPACES (INCLUDES 1 HC-VAN SPACE)
REQUIRED ON-SITE PARKING: 18 SPACES
OFFICE PARKING REQUIRED: 3000 SF / 200 = 15 SPACES
WAREHOUSE PARKING REQUIRED: 5400 SF / 2000 = 3 SPACES

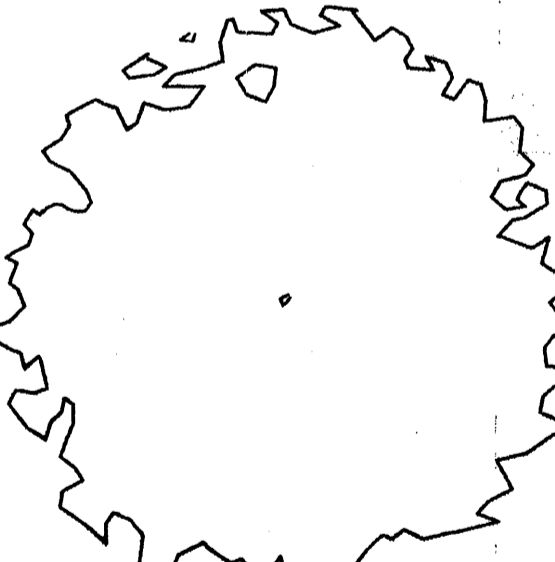
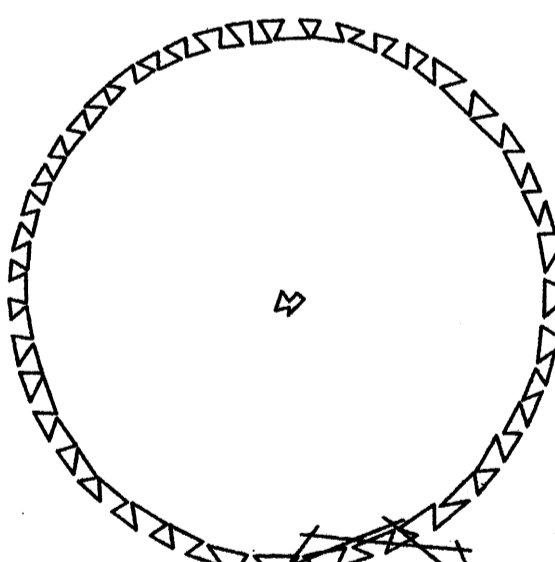


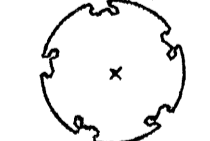
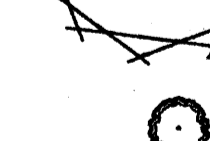


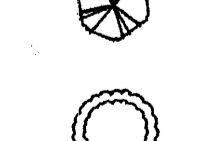

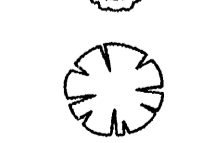

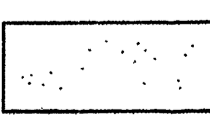
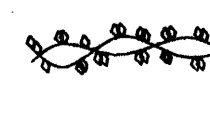

GENERAL NOTES

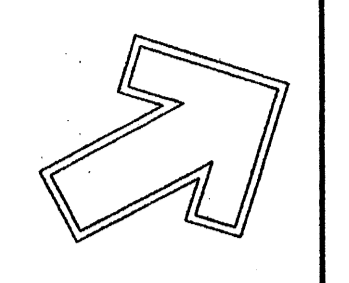
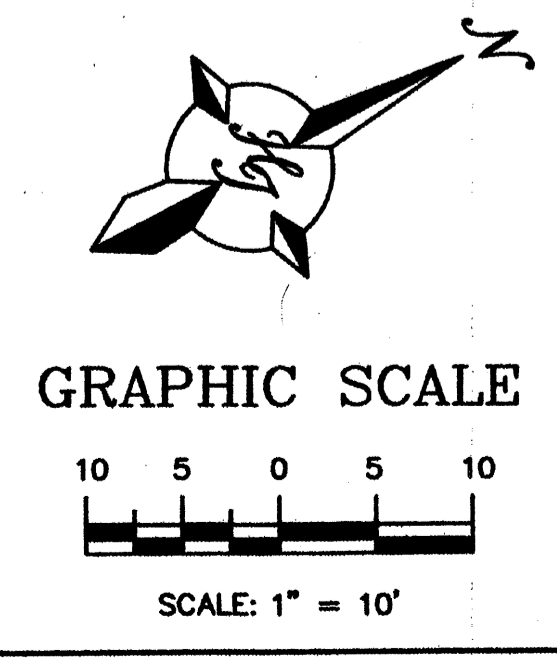
- Provide cuts in curbing and landscape drainage swales as required by the grading and drainage plan.
- All earthwork and site preparation shall comply with the GRADING AND DRAINAGE PLAN.
- Contractor shall remove all existing site improvements, utilities, excavated and plant materials, and shall dispose of them as required by the plans and specs.
- All exterior concrete shall be 3000 PSI @ 28 days.

PROJECT NUMBER: 1005360	
APPLICATION NUMBER: 07 DRB-00372	
IS AN INFRASTRUCTURE LIST REQUIRED? (YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>[Signature]</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	4-20-07 DATE
<i>[Signature]</i> WATER UTILITY DEPARTMENT	4/11/07 DATE
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	4/11/07 DATE
<i>[Signature]</i> CITY ENGINEER	4/11/07 DATE
<i>[Signature]</i> ENVIRONMENTAL HEALTH DEPARTMENT	2/2/07 DATE
<i>[Signature]</i> SOLID WASTE MANAGEMENT	4/20/07 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	4/20/07 DATE



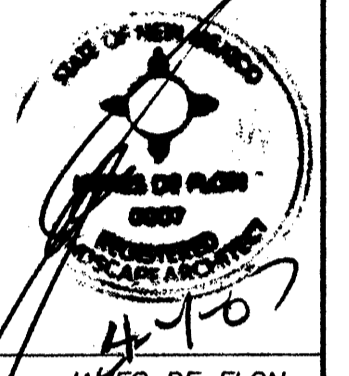
PLANT LEGEND

- 
CHINESE PISTACHE (M) 4
Pistacia chinensis
 2' Gal.
- 
COMMON HACKBERRY (M) 4
Celtis occidentalis
 2' Gal.
- 
PAMPAS GRASS (M+) 1
Cortaderia selloana
 5 Gal. 100sf
- 
DESERT WILLOW (L) 7
Chilopsis linearis
 24" Box 225sf
- 
BUTTERFLY BUSH (M) 4
Buddleia davidii
 5 Gal. 100sf
- 
LAVENDER (M) 13
Lavandula angustifolia
 1 Gal. 4sf
- 
MAIDENGRASS (M) 11
Miscanthus sinensis
 5 Gal. 16sf
- 
THREADGRASS (M) 10
Stipa tenuissima
 1 Gal. 4sf
- 
GREYLEAF COTONEASTER (M) 7
Cotoneaster buxifolius
 5 Gal. 81sf
- 
HONEYSUCKLE (M) 7
Lonicera japonica 'Halliana'
 1 Gal. 144sf
 Unstaked-Groundcover
- 
UPRIGHT ROSEMARY (M) 9
Rosmarinus officinalis
 5 Gal. 25sf
- 
WINTER JASMINE (L+) 5
Jasminum nudiflorum
 1 Gal. 144sf
- 
CHAMISA (L) 13
Chrysothamnus nauseosus
 1 Gal. 25sf
- 
TRUMPET VINE (M) 10
Campsis radicans
 1 Gal.
- 
SANTA ANA TAN GRAVEL WITH FILTER FABRIC MINIMUM 3" DEPTH



Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph: (505) 898-9690
 Fax: (505) 898-7737
 cm@hilltoplandscaping.com

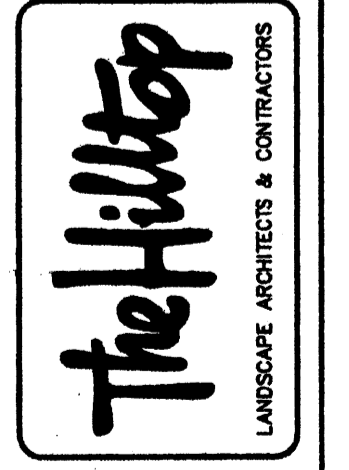
LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

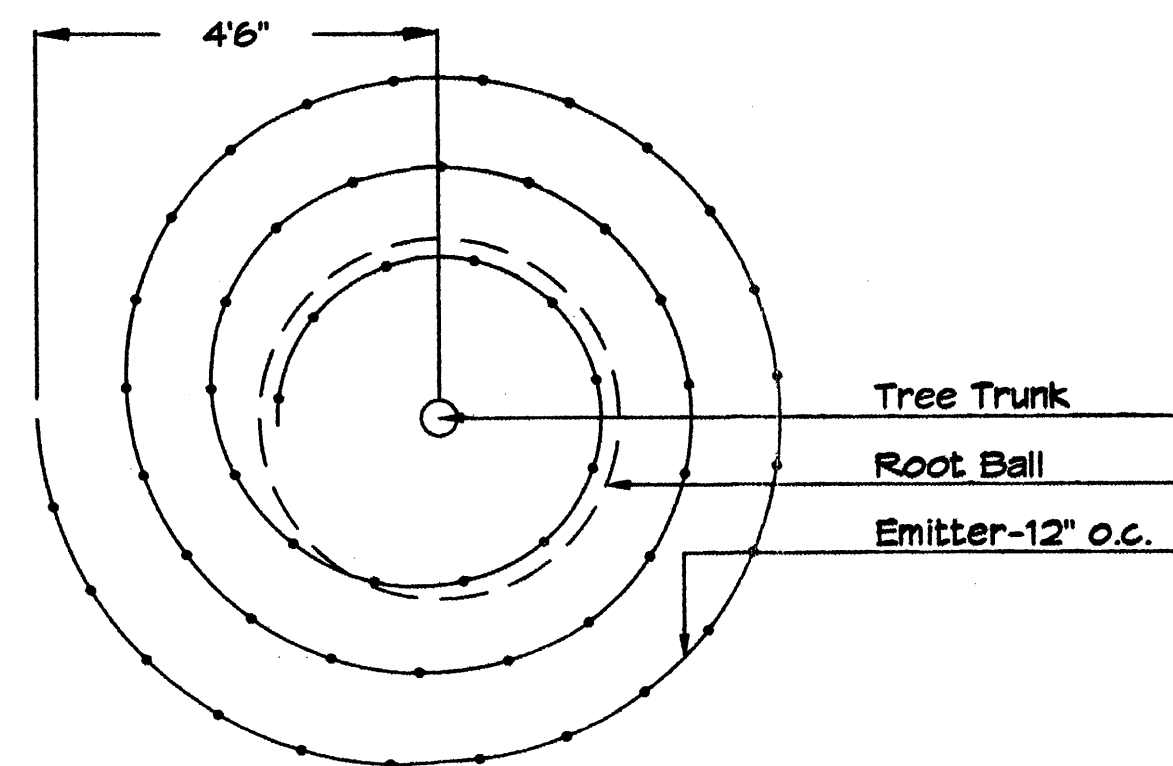
ARAPAHOE OIL OFFICE
 ALAMEDA BUSINESS PARK
 ALBUQUERQUE, NM
 LANDSCAPE PLAN

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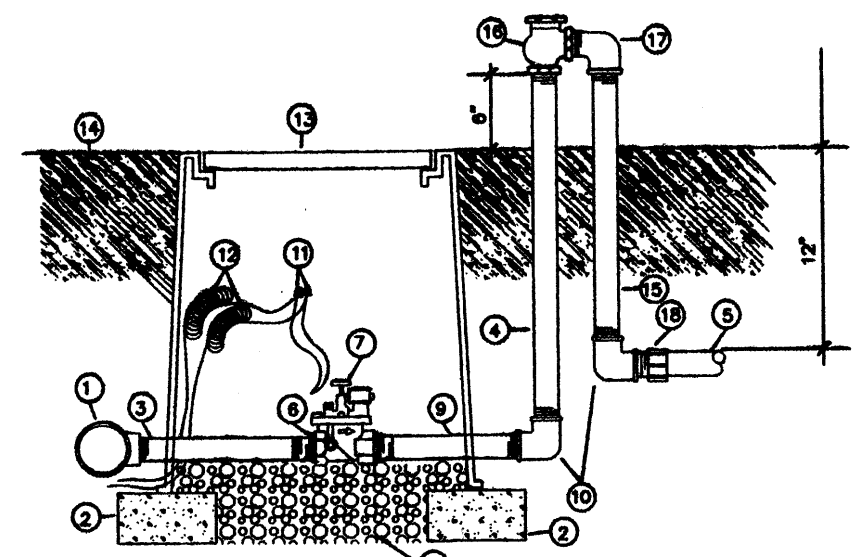


DRAWN BY RMM
 REVISION # 2-ADP
 DATE 4-2-07

SHEET #
 L1 OF L2



Netafim Spiral Detail



- ① MAINLINE FITTING
- ② 90° ELBOW
- ③ GALVANIZED NIPPLE
- ④ 24" TO 36" GALVANIZED NIPPLE
- ⑤ LATERAL PIPE
- ⑥ REDUCER BUSHING
- ⑦ AUTOMATIC VALVE (SEE LEGEND)
- ⑧ GRAVEL
- ⑨ GALVANIZED NIPPLE
- ⑩ GALVANIZED ELBOW
- ⑪ WATERPROOF WIRE CONNECTOR
- ⑫ WIRE EXPANSION LOOPS
- ⑬ VALVE BOX
- ⑭ FINISH GRADE
- ⑮ GALVANIZED NIPPLE - 1/2" TO 24" LENGTH
- ⑯ ATMOSPHERIC VACUUM BREAKER
- ⑰ GALVANIZED STREET ELL
- ⑱ TEE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 2 Provided # 4

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	26254	square feet
TOTAL BUILDINGS AREA	8400	square feet
NET LOT AREA	17854	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	2678	square feet
TOTAL BED PROVIDED	5028	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	3771	square feet
TOTAL GROUND COVER PROVIDED	3803 (15.6%)	square feet
TOTAL TURF PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	5028 (28%)	square feet

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street Calle Alameda
Required # 4 Provided # 4

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed with a minimum depth of 3".

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

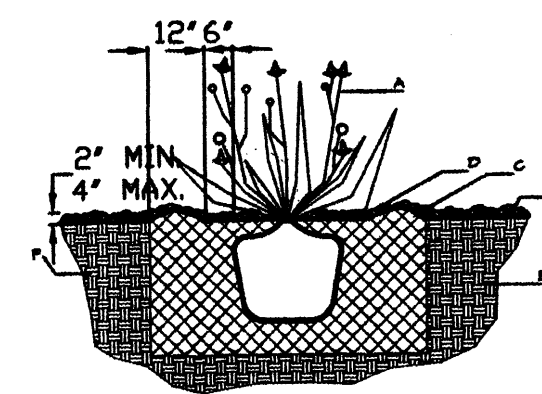
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



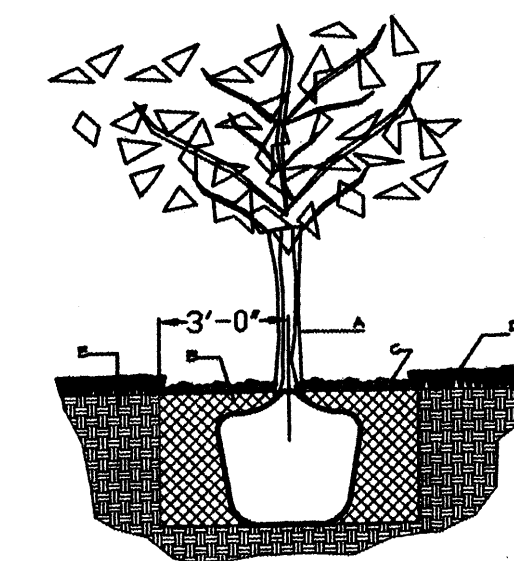
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

SHRUB PLANTING DETAIL NTS



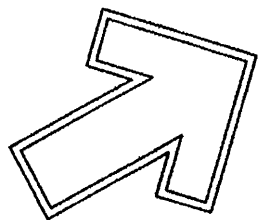
GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com

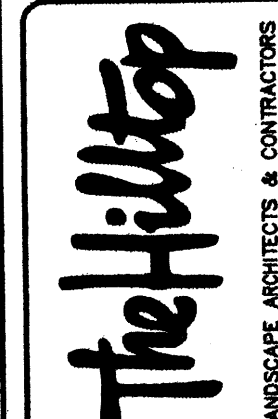
LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

ARAPAHOE OIL OFFICE
ALAMEDA BUSINESS PARK
ALBUQUERQUE, NM
LANDSCAPE PLAN

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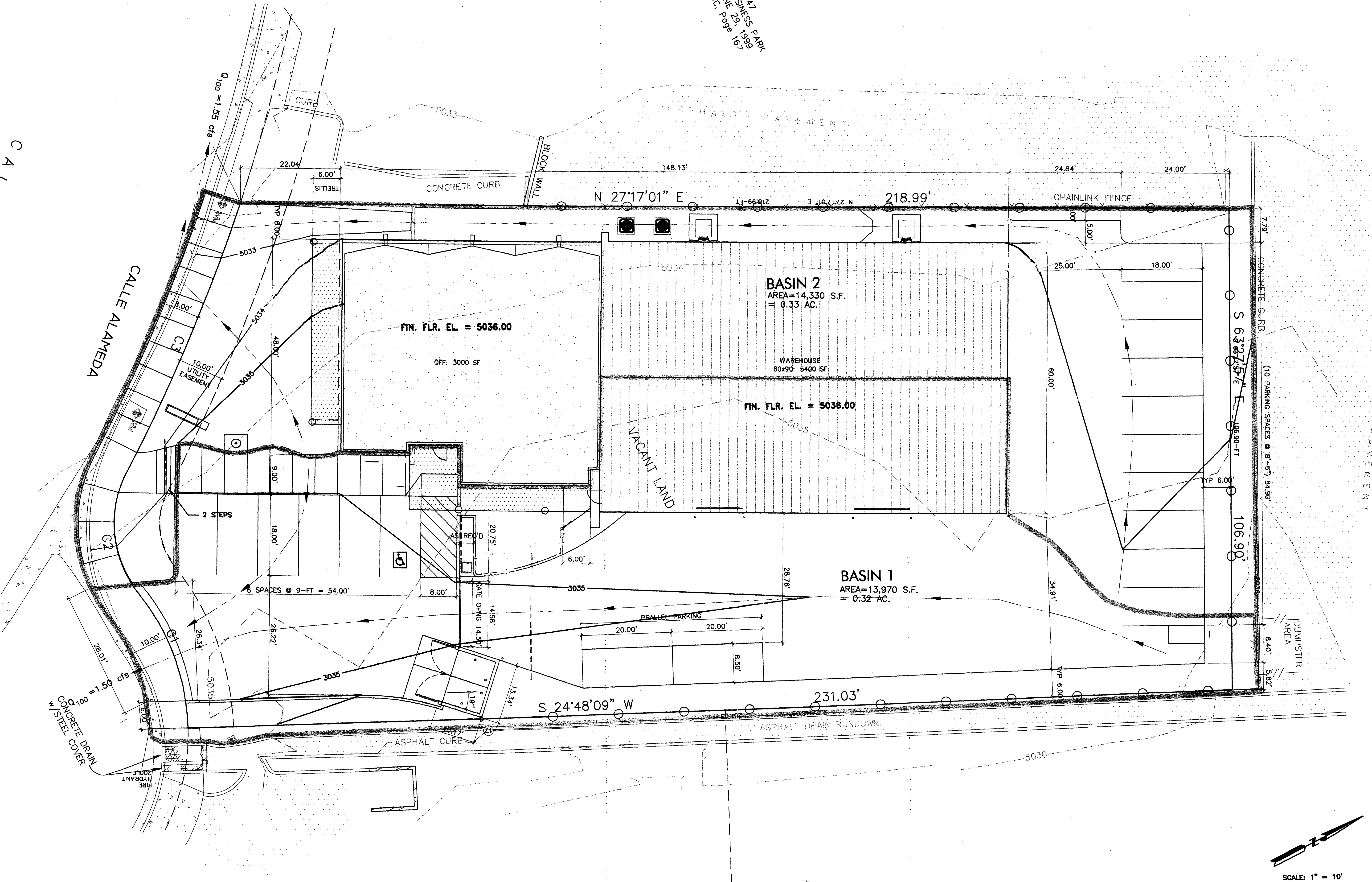


DRAWN BY RMM
REVISION # 2-ADF
DATE 4-2-07

SHEET #
L2 of L2

ALAMEDA BUSINESS PARK
 FILED: JUNE 29, 1999
 BOOK 99C, PAGE 167

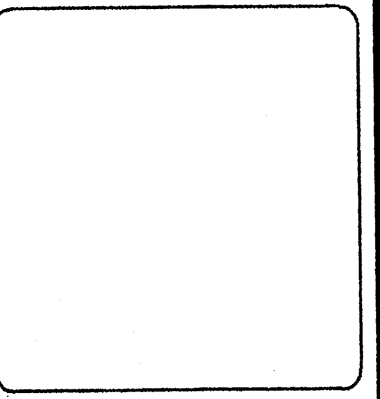
C 1



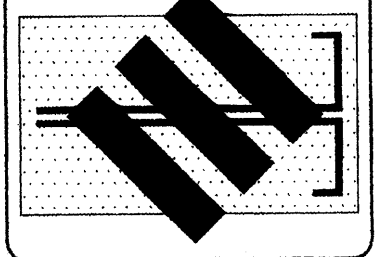
ALAMEDA BUSINESS PARK
 FILED: JUNE 29, 1999
 BOOK 99C, PAGE 167

REVISION	BY	DATE	MARK

DESIGNED BY:	DRAWN BY:	CHECKED BY:
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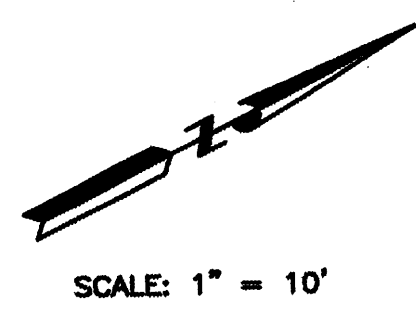
JEL & ASSOCIATES, LLC
 P.O. BOX 5187/2905 BAZAN LP,
 DALLAS, TEXAS 75261-5187
 972-496-8748
 972-496-8749
 972-496-8750 FAX
 jeh@jelassoc.com
 ENGINEERING CONSULTING



ARAPAHO DRILLING
 CONCEPTUAL GRADING
 AND DRAINAGE PLAN

DRAWING NUMBER
C1

1 OF 2



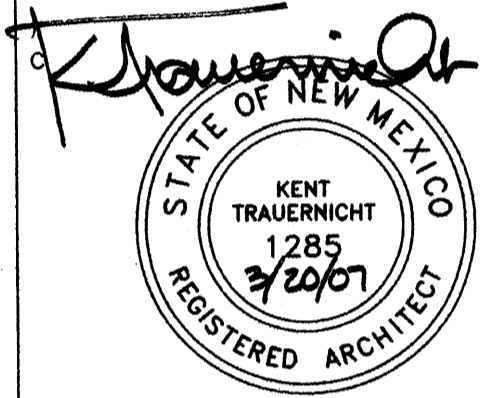
LOT 44

LOT 35



P.O. BOX 3366
 ALBUQUERQUE, NM 87190
 T: (505) 281-9560
 F: (505) 286-1055
 C: (505) 259-7919
 aktarch@earthlink.net

CONSULTANT



PROJECT

OFFICE/WAREHOUSE
 BUILDING
 FOR
 ARAPAHOE DRILLING

8532 CALLE
 ALAMEDA

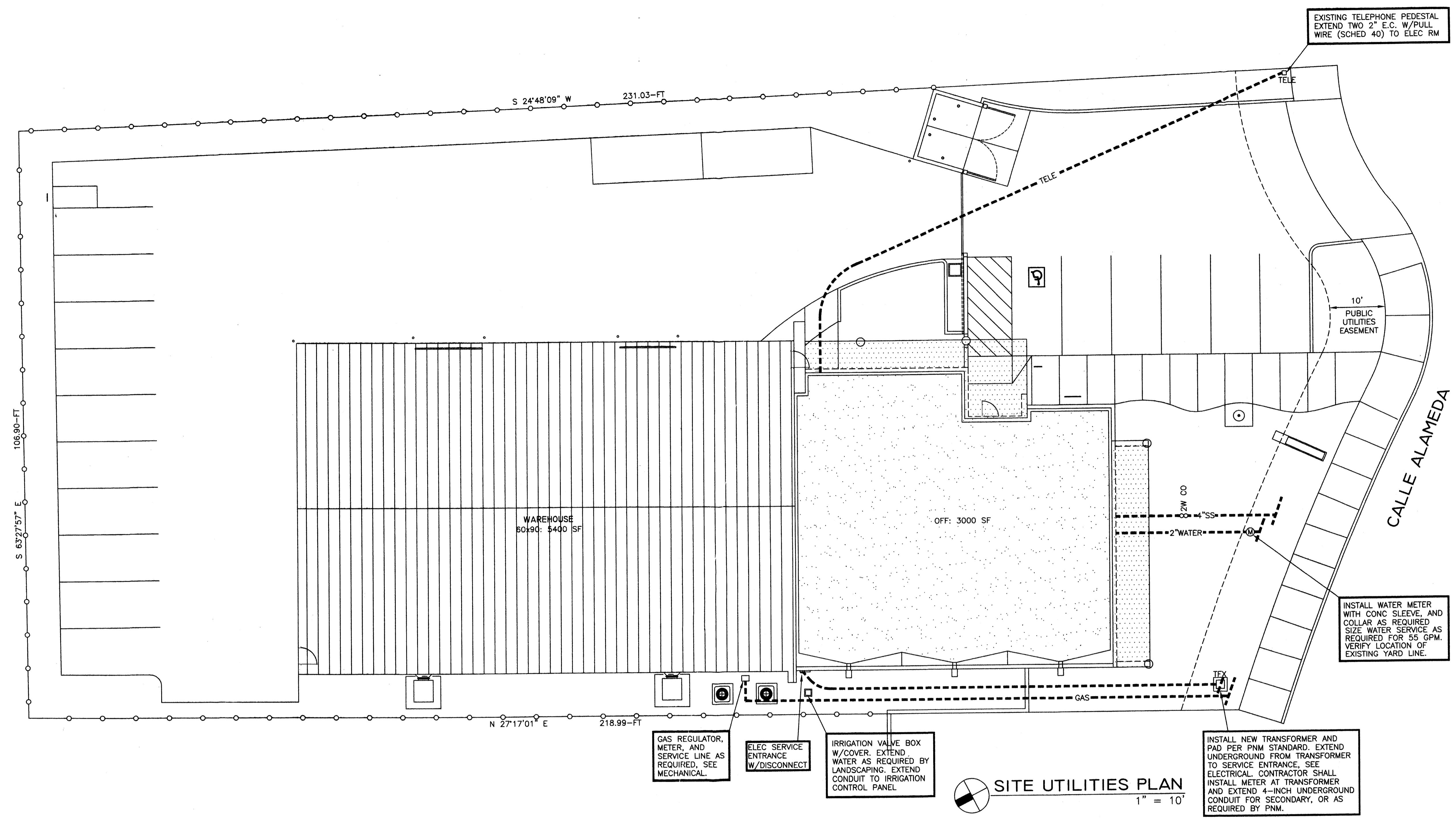
ALAMEDA BUSINESS
 PARK

MARK	DATE	DESCRIPTION

PROJECT NO:
 COPYRIGHT AKT ARCHITECTS, LLC
 SHEET TITLE

SITE UTILITIES
 PLAN

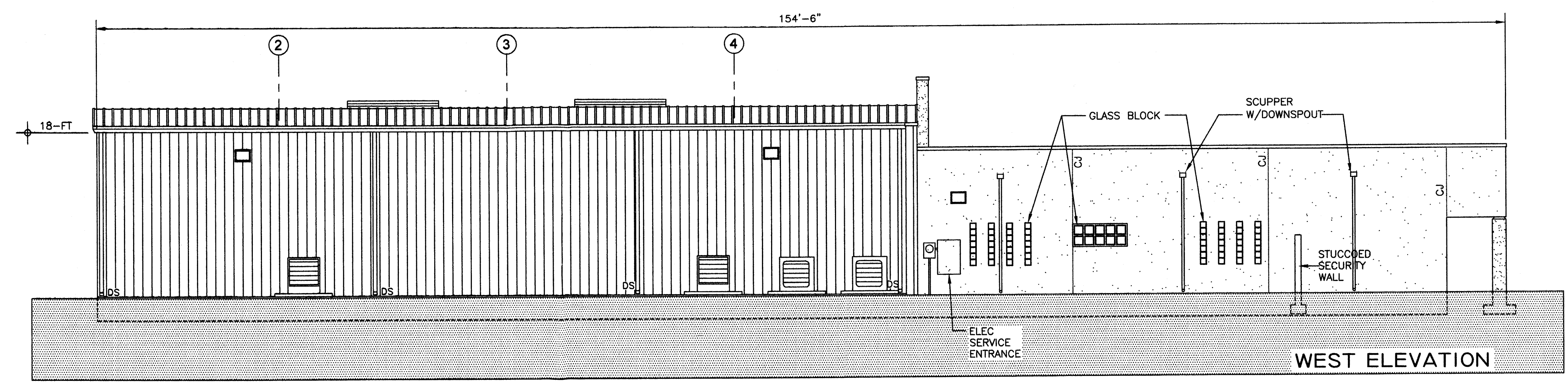
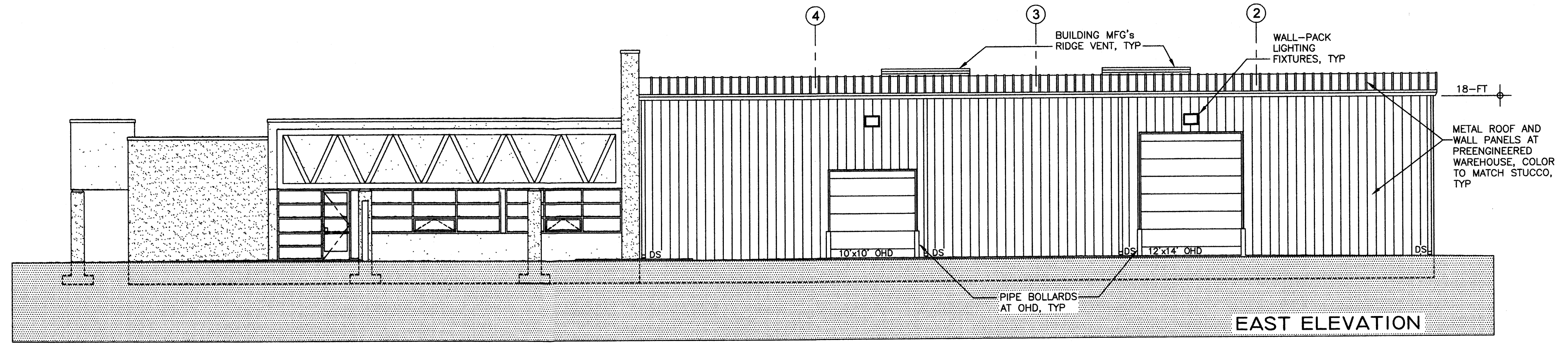
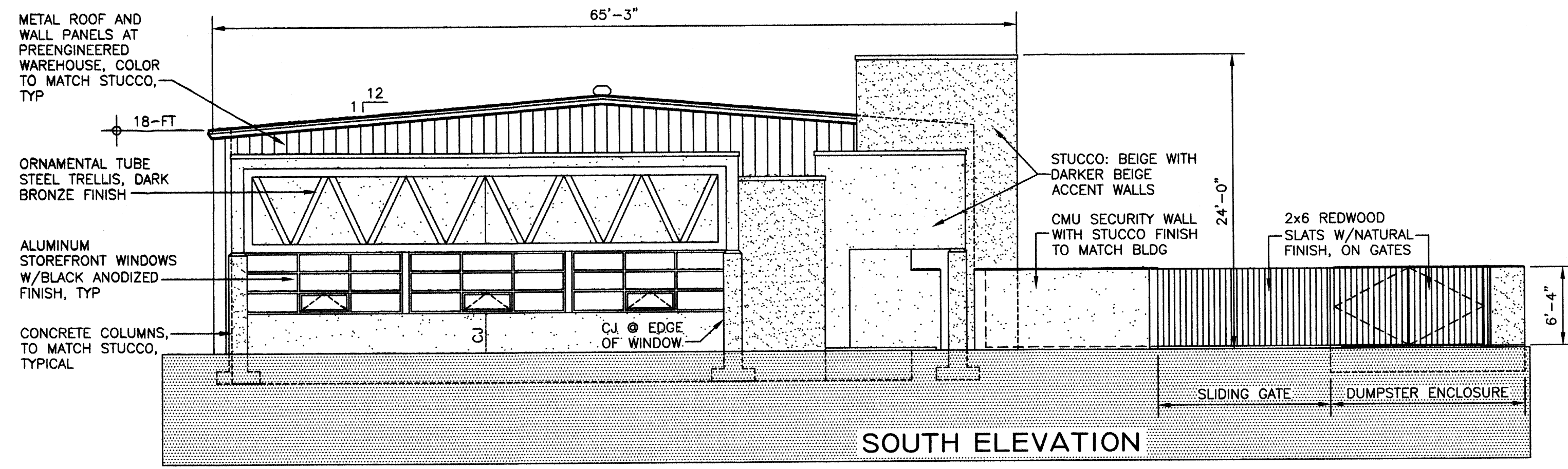
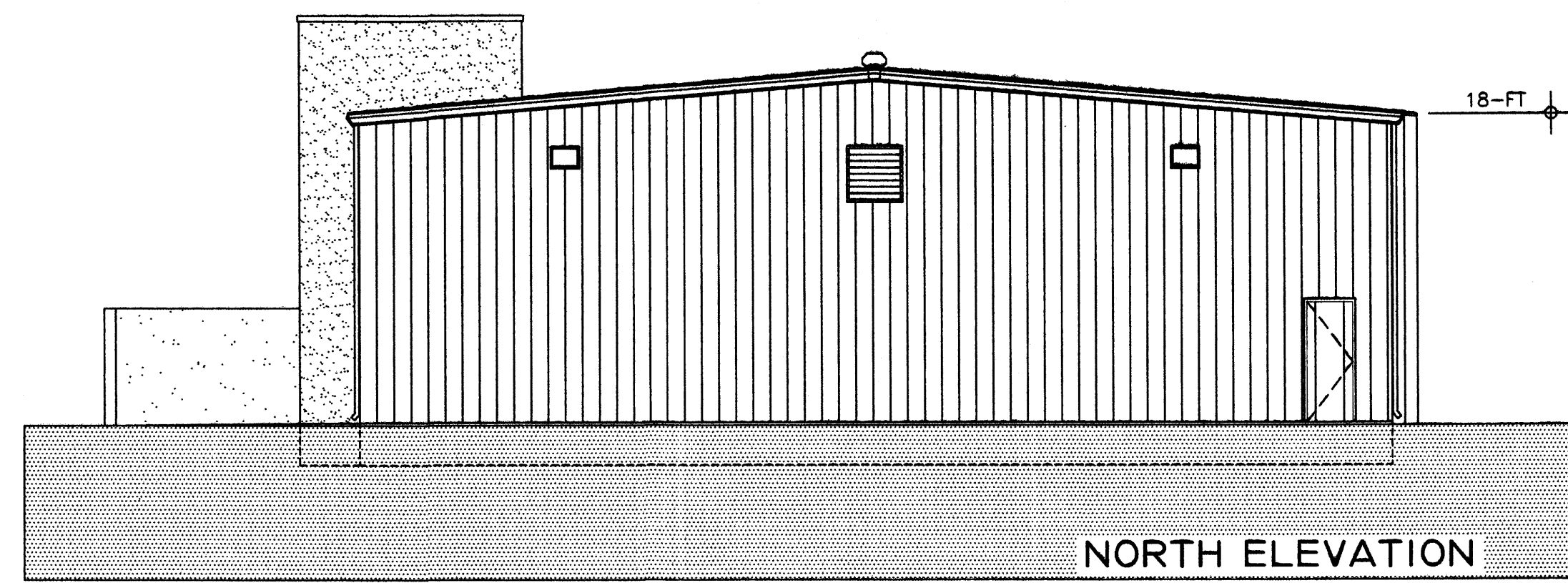
AS-002



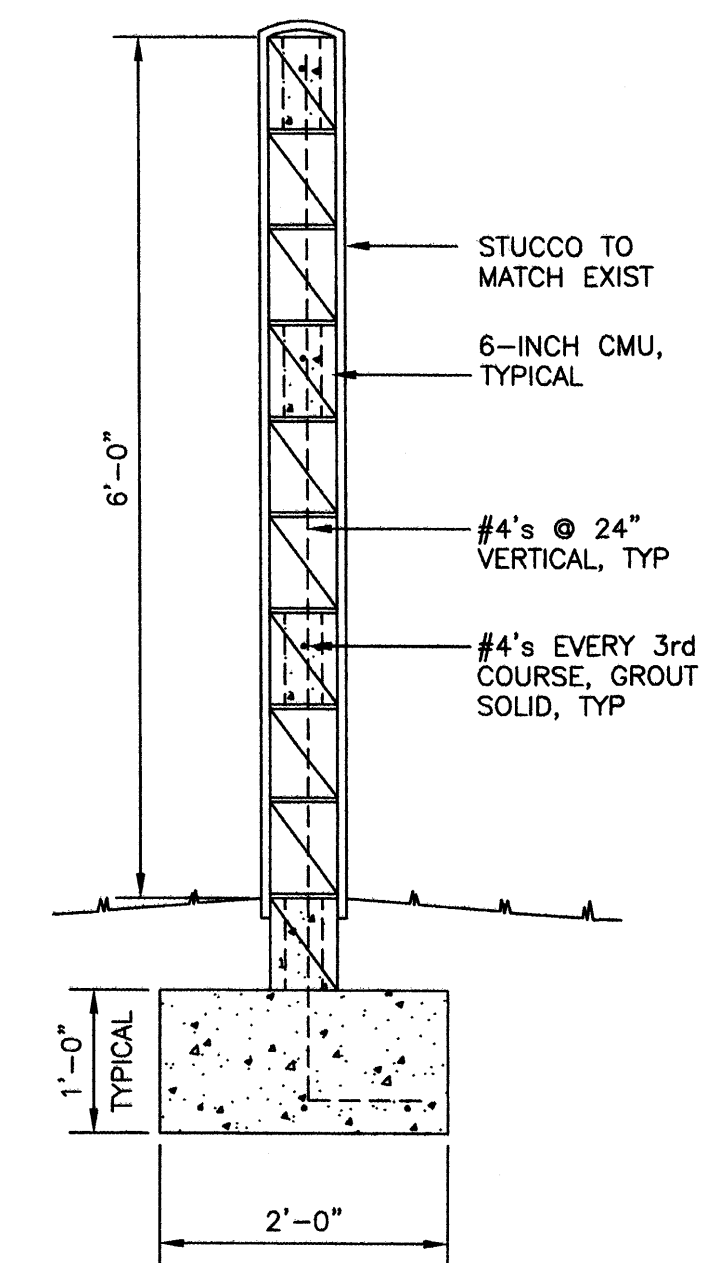
106.90-FT
 S 63°27'57" E

231.03-FT
 S 24°48'09" W

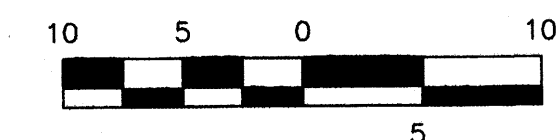
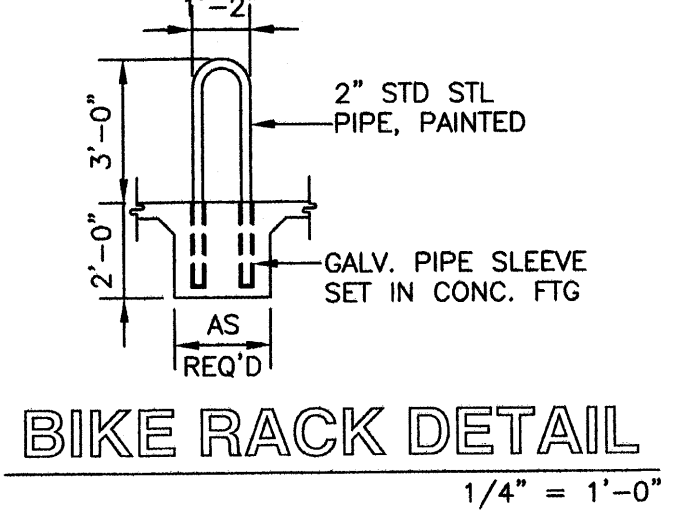
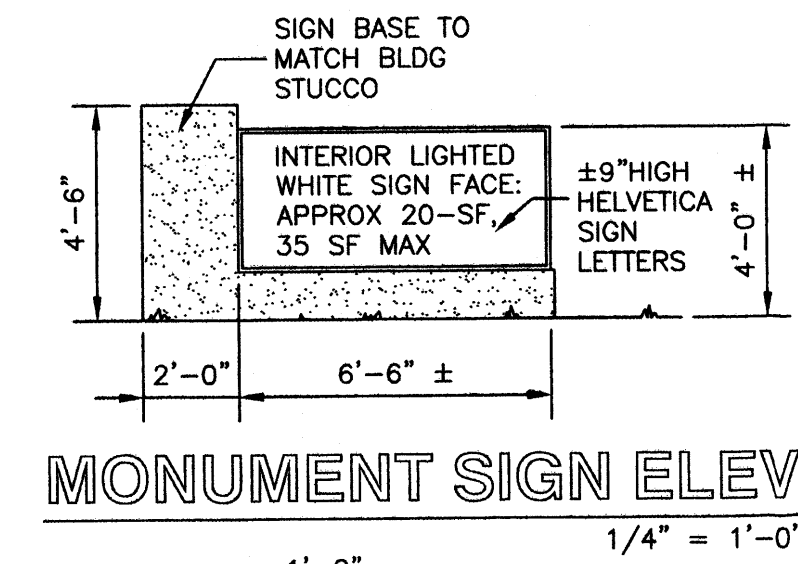
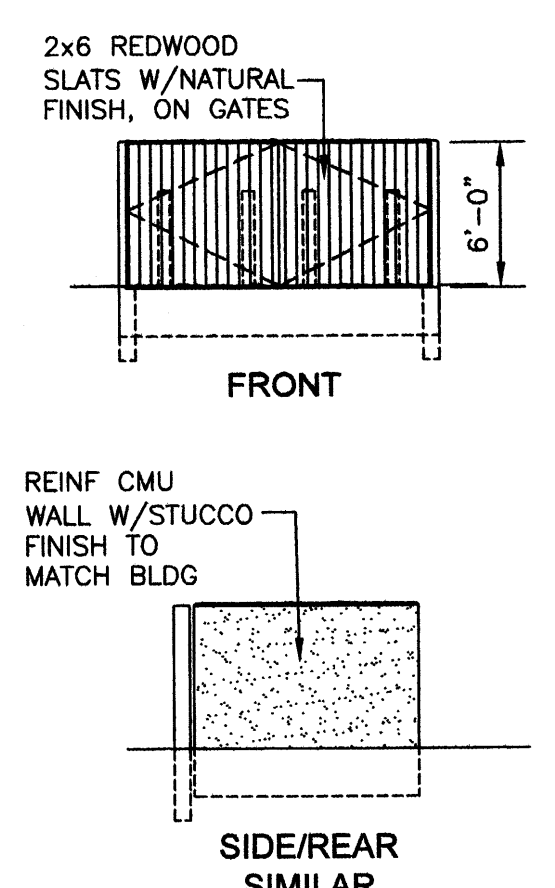
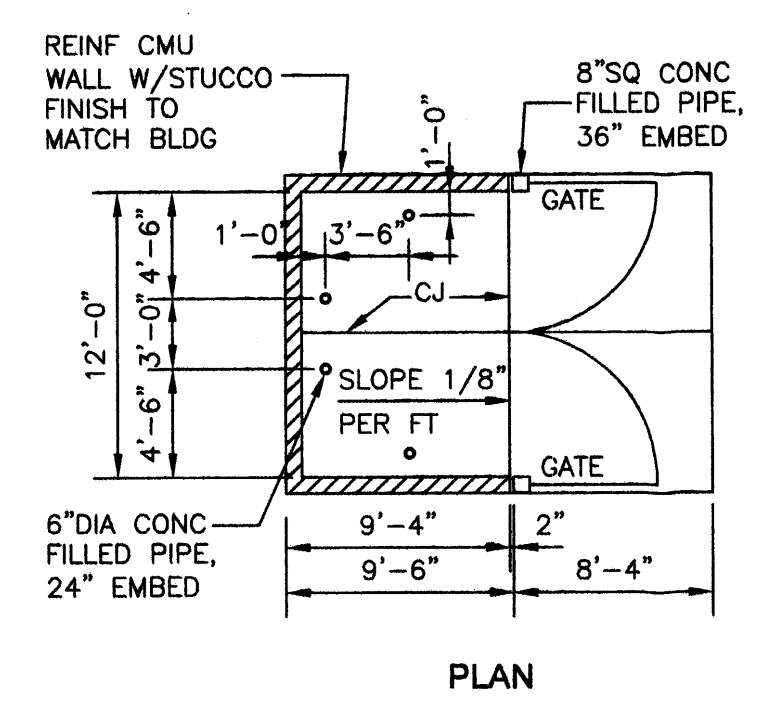
218.99-FT
 N 27°17'01" E



NOTE: ALL DIMENSIONS AND MATERIALS ON ELEVATIONS ARE THE SAME UNLESS NOTED OTHERWISE.



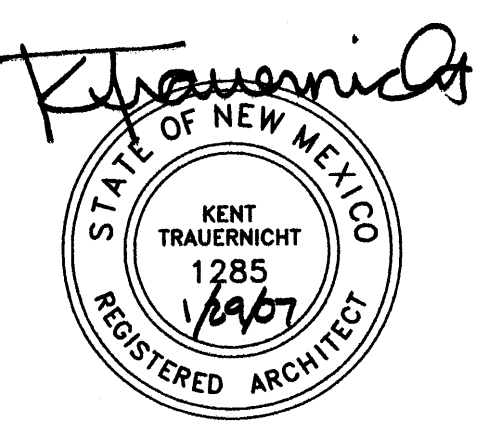
- GENERAL NOTES:**
- EXTERIOR FINISH ON CMU
 - STUCCO TO MATCH BUILDING
 - INTERIOR PAINT ON CMU
 - STAIN CMU TO MATCH BUILDING.
 - PAINT ON STEEL:
 - TWO COATS DTM ACRYLIC SEMI GLOSS, OVER ONE COAT SELF PRIMER. COLOR: DARK BRONZE
 - REDWOOD GATE FINISH:
 - 2-COATS CLEAR SEALER FINISH
 - CONCRETE:
 - PAD SHALL BE A MIN. OF 3,000 P.S.I., AIR ENTRAINED CONCRETE 6" THICK WITH #3 BARS @ 16" O.C. EACH WAY. SURFACE TO RECEIVE BROOM FINISH. ONE SEAL COAT AND SHALL BE LEVEL EXCEPT FOR WASH (1.5 PERCENT MAX).



BUILDING ELEVATIONS 1/8" = 1'-0"

akt architects, LLC
 P.O. BOX 3366
 ALBUQUERQUE, NM 87190
 T: (505) 281-9860
 F: (505) 286-1055
 C: (505) 259-7919
 aktarch@earthlink.net

CONSULTANT



PROJECT

OFFICE/WAREHOUSE BUILDING FOR ARAPAHOE DRILLING
 8532 CALLE ALAMEDA
 ALAMEDA BUSINESS PARK

MARK	DATE	DESCRIPTION

PROJECT NO:
 COPYRIGHT AKT ARCHITECTS, LLC
 SHEET TITLE

BUILDING ELEVATIONS