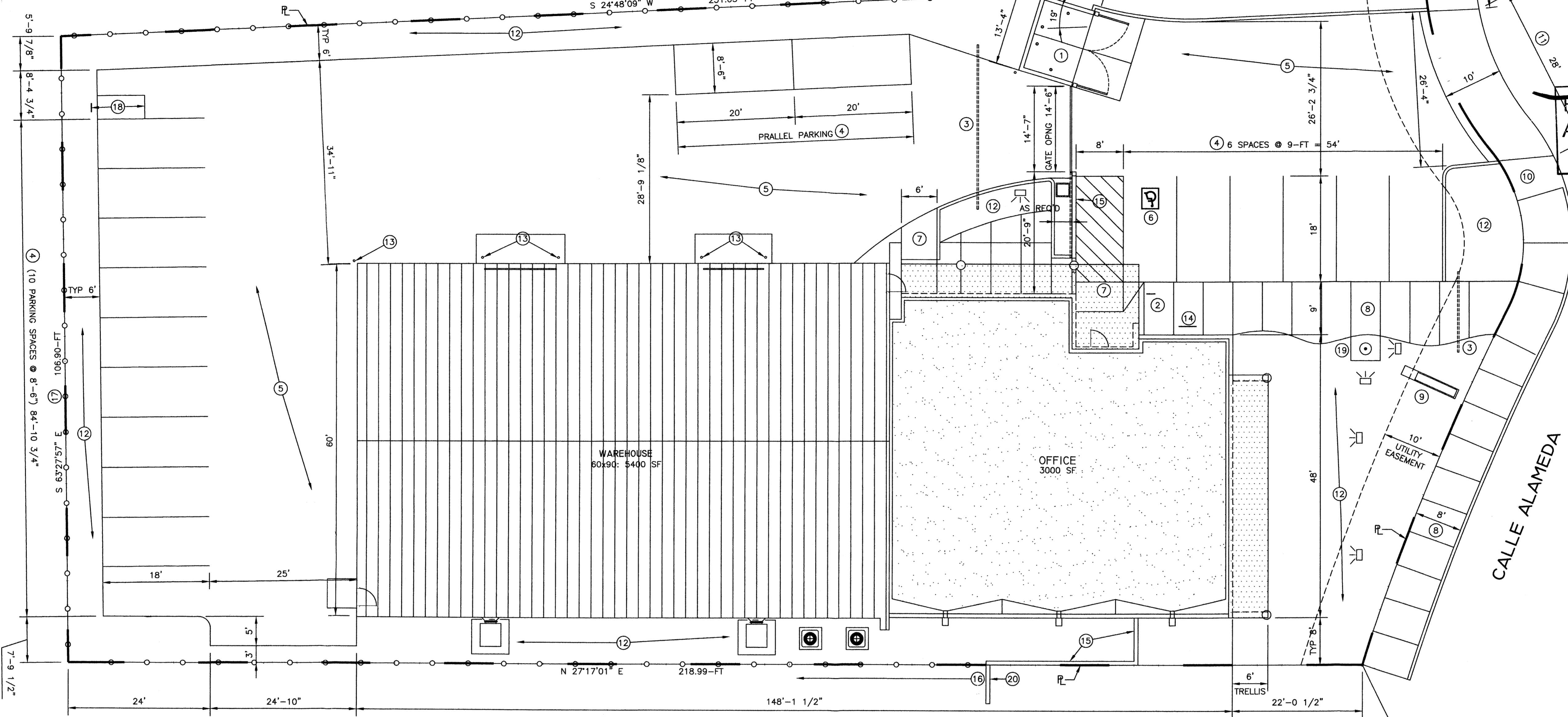


**DISCLOSURE STATEMENT**

The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the *Interim Guidelines for Development within City Designated Landfill Buffer Zones*) shall be consulted prior to development at the site.

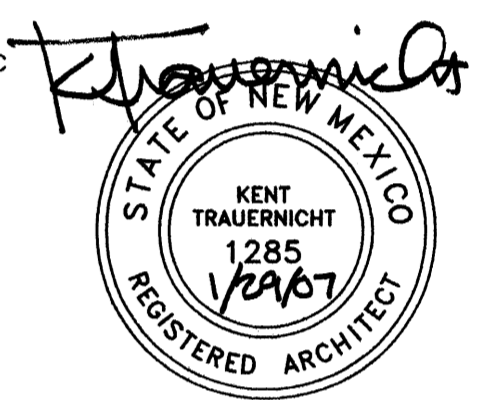
*Rhonda Methen* 2/2/07  
Albuquerque Environmental Health Department



**SPBP**  
**PRELIMINARY PLAN**  
**APPROVED BY DRB**  
**ON 4/11/07**



P.O. BOX 3366  
ALBUQUERQUE, NM 87190  
T: (505) 281-9560  
F: (505) 286-1055  
C: (505) 259-7919  
ktarch@earthlink.net



PROJECT  
**OFFICE/WAREHOUSE BUILDING FOR ARAPAHOE DRILLING**  
8532 CALLE ALAMEDA  
ALAMEDA BUSINESS PARK

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**



**KEYED NOTES**

1. Refuse enclosure, see details.
2. Handicapped parking sign, see detail.
3. 3" PVC pipe under pavement for installing irrigation lines. Stub line up inside building for irrigation controller, location per owners direction.
4. Two coats traffic paint. Markings shall be 4" wide striping (yellow on conc, white on asphalt), as shown throughout the paved areas as shown.
5. Asphalt paving on base course, see Geotechnical Report.
6. Handicapped parking symbol, see detail. City of Albuquerque standard detail 2426.
7. Handicap ramp, per COABQ standard detail 2441. All ramps shall comply with ADA requirements, 60-inch min. width, 1:12 max slope, 1:10 max slope at side flares. The full width and depth of all ramps shall be scored per ADA for detectable warning surfacing.
8. Reinforced concrete walk shown, 4-inch thick with 6 x 6 - 10' x 10' W/F 8' x 1' wide unless shown otherwise.
9. Project monument sign (lighted) sign base, see detail. See site lighting plan.
10. Install wheelchair ramp per City of Albuquerque standard detail 2441, see detail.
11. Cut and remove existing curb and gutter. Install concrete apron and private entrance. Patch back to match existing, see civil. Construct per C.O.A. std. dwg. 2426.
12. Landscaped area, see landscaping plan.
13. Pipe bollard, see detail.
14. Bicycle rack, see detail.
15. Stucco covered landscape wall, 6'-0" high, see detail.
16. Existing adjoining properties chainlink fence along west property line as shown.
17. Chainlink fence, 6'-0" high, see detail.
18. 4' x 8' motorcycle parking space with minimum 12" x 18" sign designating "MOTORCYCLE PARKING". Mount on sign standard with bottom of sign no less 48" above finish grade.
19. 30-FT flag pole with up lighting.
20. Adjoining property CMU wall.

**ZONING DATA**

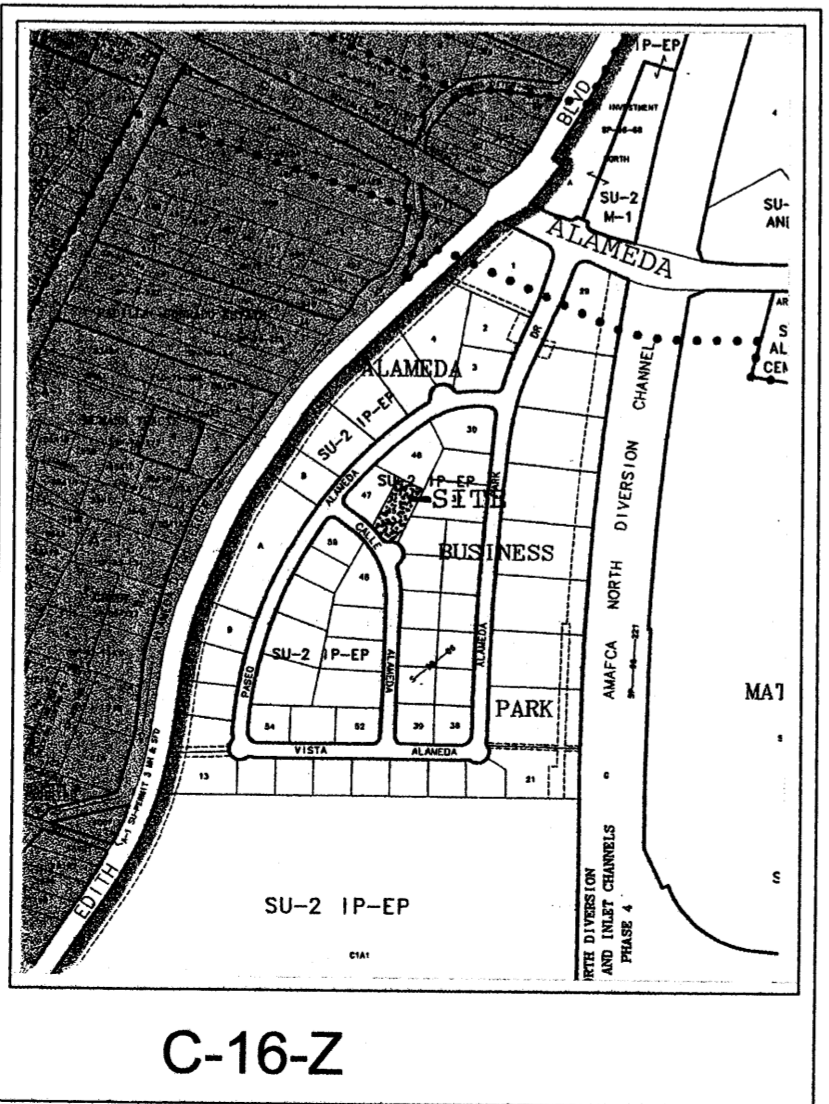
LEGAL: LOT 45, ALAMEDA BUSINESS PARK, ALBUQUERQUE, NM  
ADDRESS: 8532 CALLE ALAMEDA  
SITE AREA: 0.6074 ACRES (26,323 SF)  
ALLOWABLE BLDG AREA (50% SITE AREA): 13,229 SF  
ACTUAL BLDG AREA (32% SITE AREA): 8400 SF  
ZONING: SU-2 FOR IP-EP (ATLAS PAGE C-16-Z)  
REQUIRED SETBACKS:  
FRONT: 20-FT  
SIDE: 10-FT  
REAR: 10-FT  
PROVIDED ON-SITE PARKING: 18 SPACES (INCLUDES 1 HC-VAN SPACE)  
REQUIRED ON-SITE PARKING: 18 SPACES  
OFFICE PARKING REQUIRED: 3000 SF / 200 = 15 SPACES  
WAREHOUSE PARKING REQUIRED: 5400 SF / 2000 = 3 SPACES

**GENERAL NOTES**

1. Provide cuts in curbing and landscape drainage swales as required by the grading and drainage plan.
2. All earthwork and site preparation shall comply with the GRADING AND DRAINAGE PLAN.
3. Contractor shall remove all existing site improvements, utilities, excavated and plant materials, and shall dispose of them as required by the plans and specs.
4. All exterior concrete shall be 3000 PSI @ 28 days.

AFD PLANS CHECKING OFFICE  
924-3611  
**APPROVED/DISAPPROVED**  
HYDRANT(S) ONLY  
*Alan 1-30-07*  
SIGNATURE & DATE

CITY OF ALBUQUERQUE  
"SOLID WASTE"  
MANAGEMENT DEPARTMENT  
APPROVED 1/30/07  
*Regina Man*  
CAE-2



C-16-Z

<b>PROJECT NUMBER:</b>	
<b>APPLICATION NUMBER:</b>	
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN APPROVAL:</b>	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

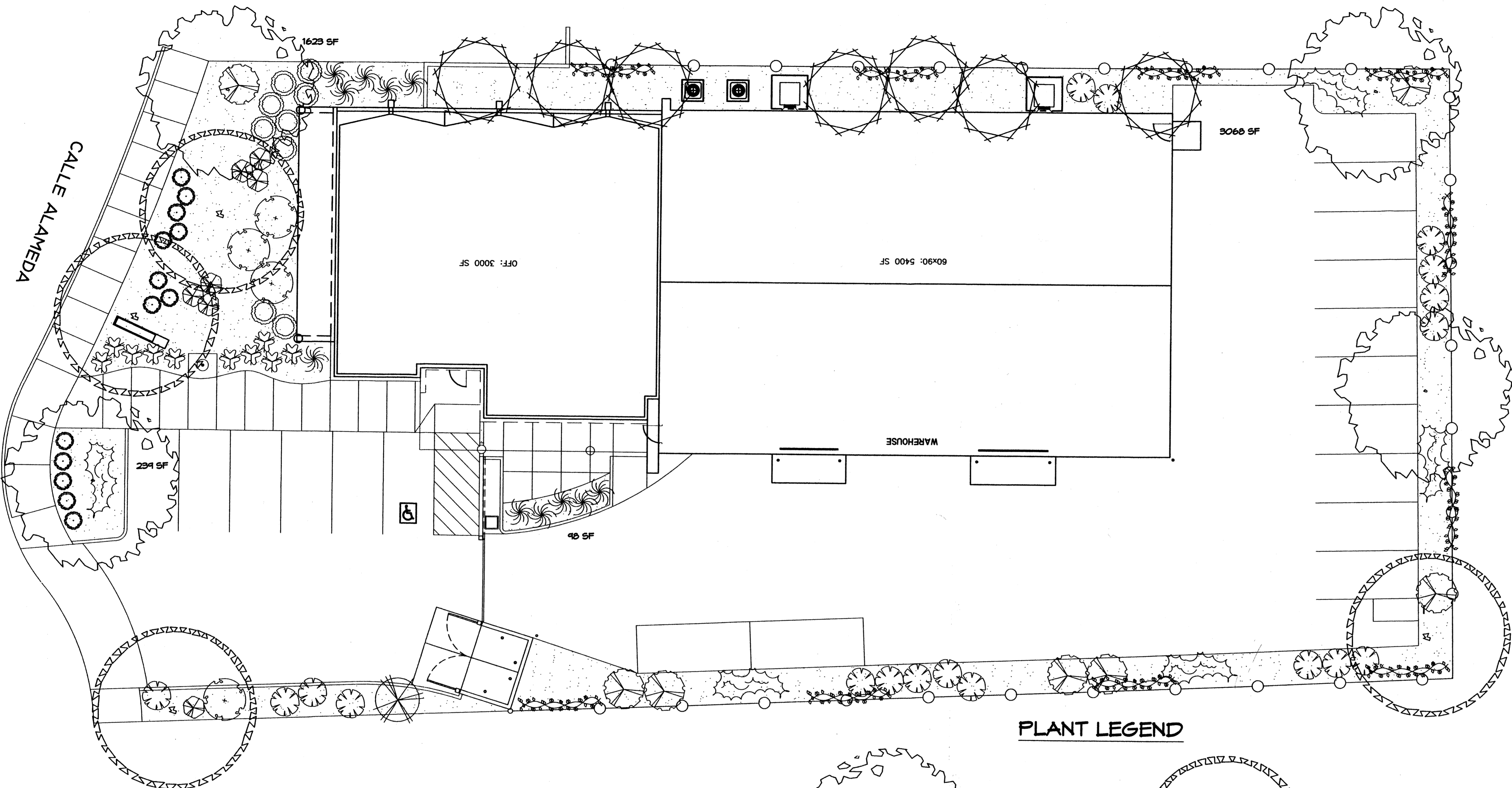
MARK	DATE	DESCRIPTION

PROJECT NO:  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

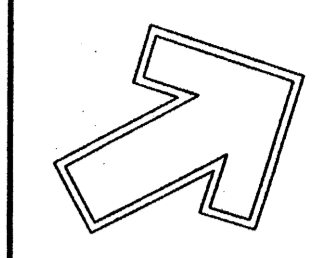
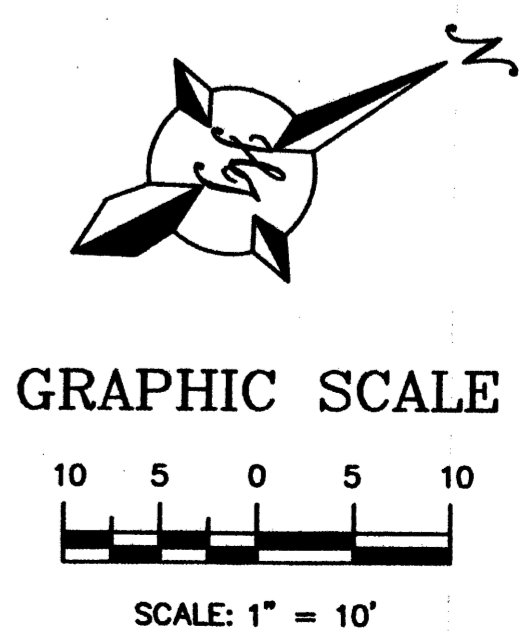
AS-001

DRB REVISIONS



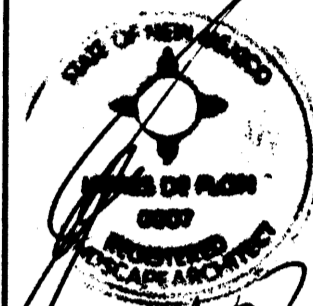
**PLANT LEGEND**

- |  |  |
|--|--|
| <p><b>CHINESE PISTACHE (M) 4</b><br/>Pistacia chinensis<br/>2" Gal.</p> <p><b>PAMPAS GRASS (M+) 1</b><br/>Cortaderia selloana<br/>5 Gal. 100sf</p> <p><b>BUTTERFLY BUSH (M) 4</b><br/>Buddleia davidii<br/>5 Gal. 100sf</p> <p><b>MAIDENGRASS (M) 11</b><br/>Miscanthus sinensis<br/>5 Gal. 16sf</p> <p><b>GREYLEAF COTONEASTER (M) 7</b><br/>Cotoneaster buxifolius<br/>5 Gal. 21sf</p> <p><b>UPRIGHT ROSEMARY (M) 9</b><br/>Rosmarinus officinalis<br/>5 Gal. 25sf</p> <p><b>CHAMISA (L) 12</b><br/>Chrysothamnus nauseosus<br/>1 Gal. 25sf</p> <p><b>SANTA ANA TAN GRAVEL WITH FILTER FABRIC MINIMUM 3" DEPTH</b></p> | <p><b>COMMON HACKBERRY (M) 4</b><br/>Celtis occidentalis<br/>2" Gal.</p> <p><b>DESERT WILLOW (L) 7</b><br/>Chilopsis linearis<br/>24" Box 225sf</p> <p><b>LAVENDER (M) 13</b><br/>Lavandula angustifolia<br/>1 Gal. 4sf</p> <p><b>THREADGRASS (M) 10</b><br/>Stipa tenuissima<br/>1 Gal. 4sf</p> <p><b>HONEYSUCKLE (M) 7</b><br/>Lonicera japonica 'Halliana'<br/>1 Gal. 144sf<br/>Unstaked-Groundcover</p> <p><b>WINTER JASMINE (L+) 5</b><br/>Jasminum nudiflorum<br/>1 Gal. 144sf</p> <p><b>TRUMPET VINE (M) 10</b><br/>Campsis radicans<br/>1 Gal.</p> |
|--|--|



Cont. Lic. #28458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Phone (505) 898-9699  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON  
#10007

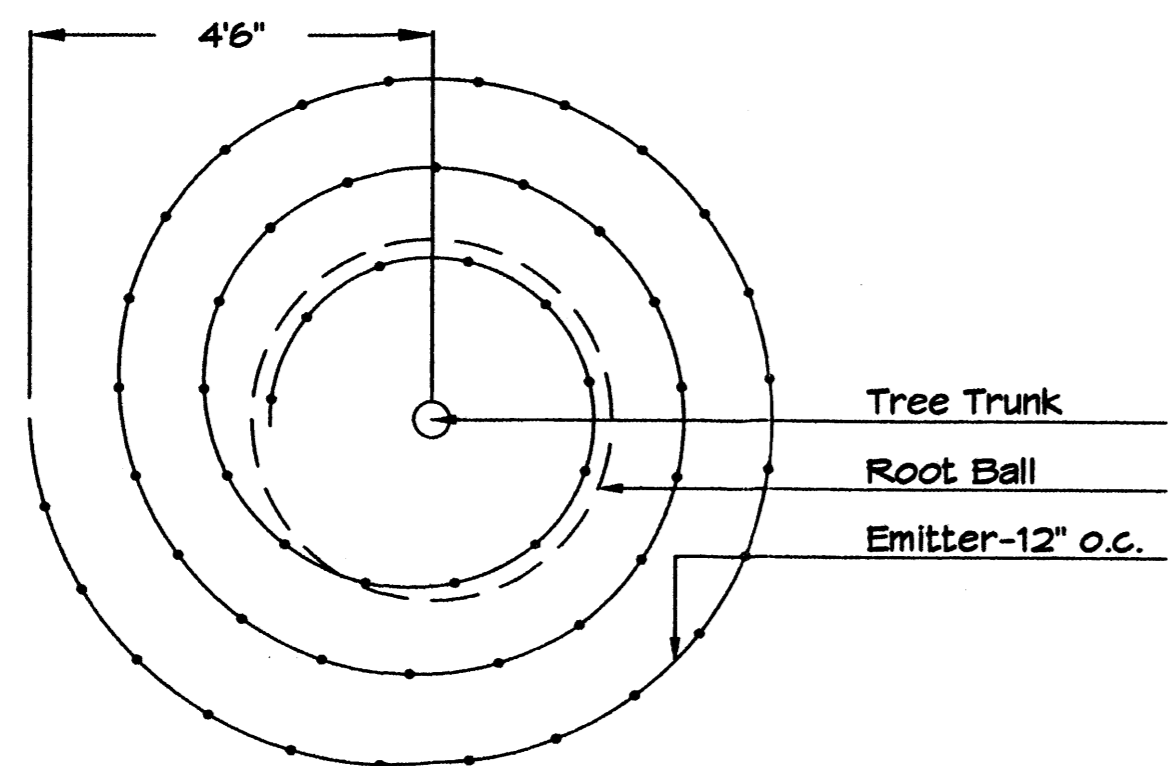
ARAPAHOE OIL OFFICE  
ALAMEDA BUSINESS PARK  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

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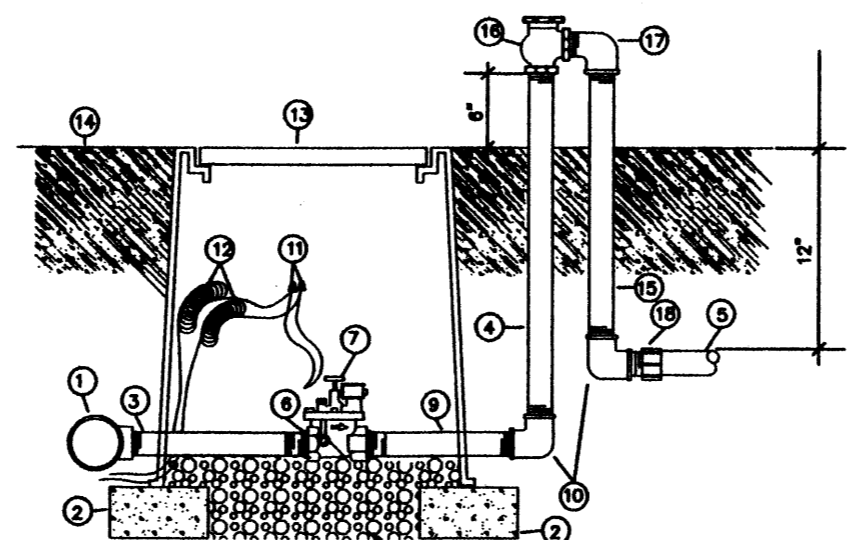


DRAWN BY: RMM  
REVISION # 2-ADF  
DATE: 4-2-07

SHEET #  
L1 OF L2



**Netafim Spiral Detail**



- ① MAINLINE FITTING
- ② OMI BLOCK
- ③ GALVANIZED NIPPLE
- ④ 24" TO 36" GALVANIZED NIPPLE
- ⑤ LATERAL PIPE
- ⑥ REDUCER BUSHING
- ⑦ AUTOMATIC VALVE (SEE LEGEND)
- ⑧ GRAVEL
- ⑨ GALVANIZED NIPPLE
- ⑩ GALVANIZED ELBOW
- ⑪ WATERPROOF WIRE CONNECTOR
- ⑫ WIRE EXPANSION LOOPS
- ⑬ VALVE BOX
- ⑭ FINISH GRADE
- ⑮ GALVANIZED NIPPLE - 18" TO 24" LENGTH
- ⑯ ATMOSPHERIC VACUUM BREAKER
- ⑰ GALVANIZED STREET ELL
- ⑱ TOE NIPPLE OR MALE ADAPTER

**AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER** A.T.A.

**PARKING LOT TREE REQUIREMENTS**

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 2 Provided # 4

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	26254	square feet
TOTAL BUILDINGS AREA	8400	square feet
NET LOT AREA	17854	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	2678	square feet
TOTAL BED PROVIDED	5028	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	3771	square feet
TOTAL GROUNDCOVER PROVIDED	3803 (75.6%)	square feet
TOTAL TURF PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	5028 (28%)	square feet

**NOTE TO CLIENT:**

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street Calle Alameda  
Required # 4 Provided # 4

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed with a minimum depth of 3".

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

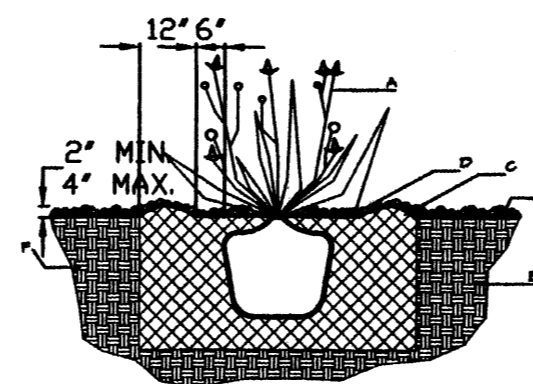
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



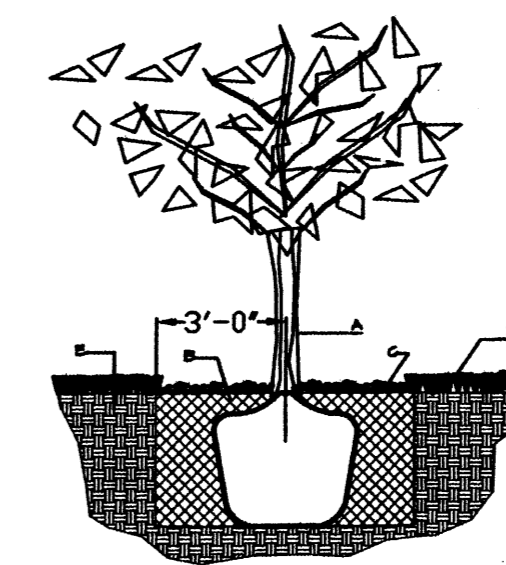
**GENERAL NOTES:**

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**CONSTRUCTION NOTES:**

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

**SHRUB PLANTING DETAIL**  
NTS



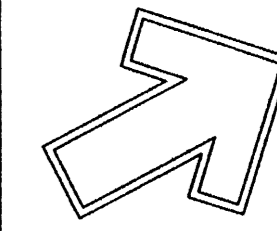
**GENERAL NOTES:**

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**

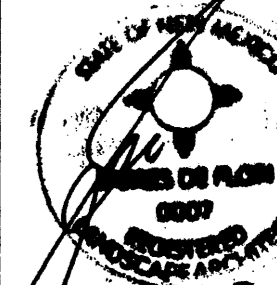
- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

**TREE PLANTING DETAIL**  
NTS



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON  
#0007

ARAPAHOE OIL OFFICE  
ALAMEDA BUSINESS PARK  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

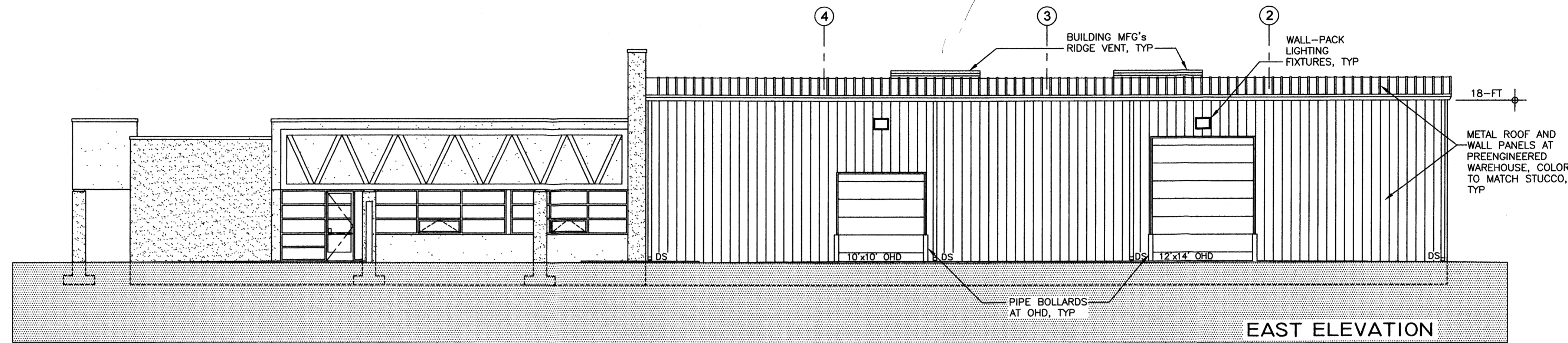
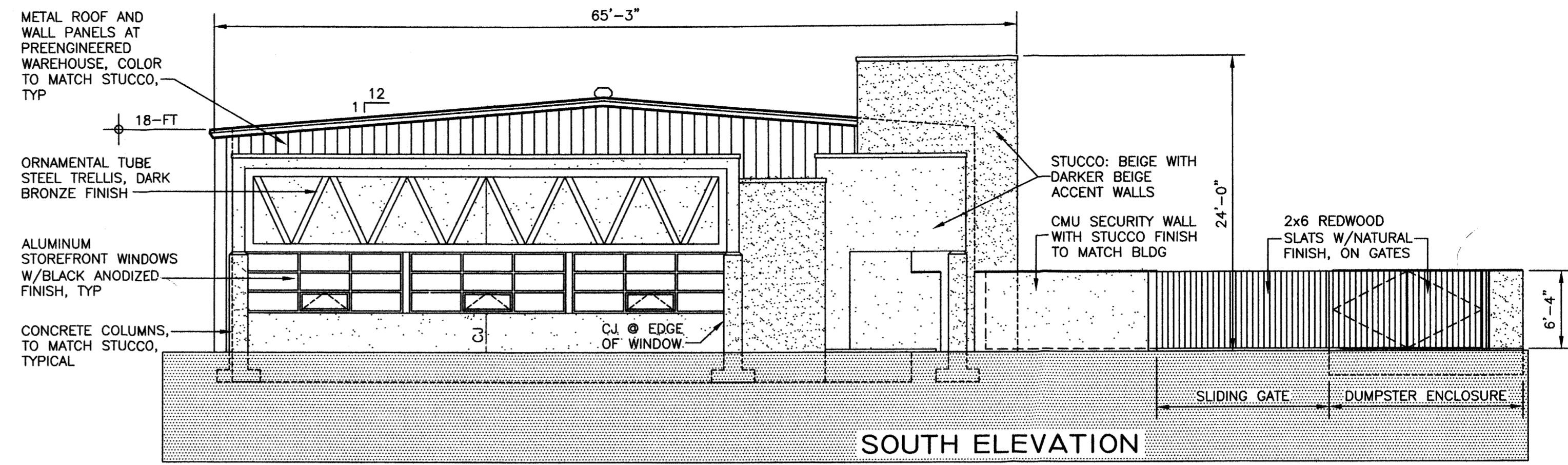
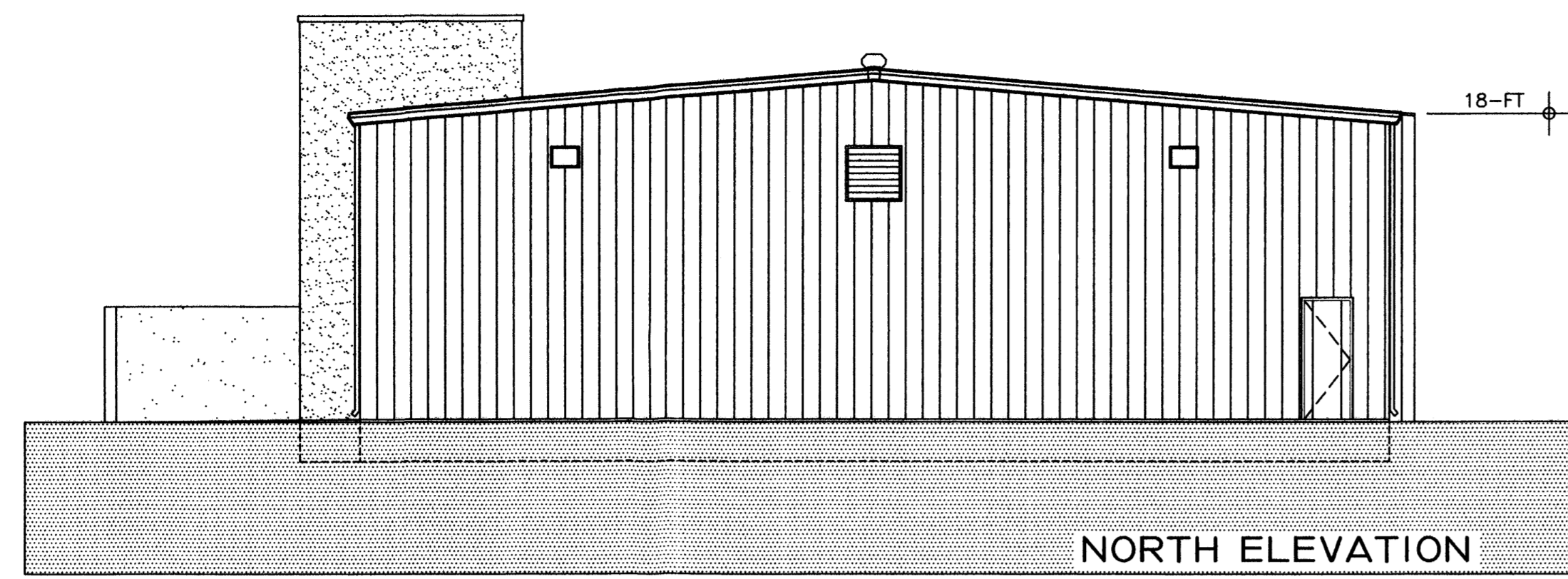
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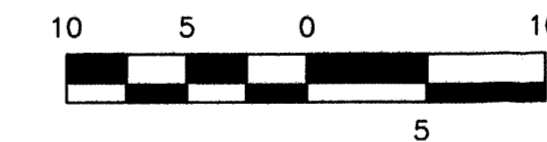
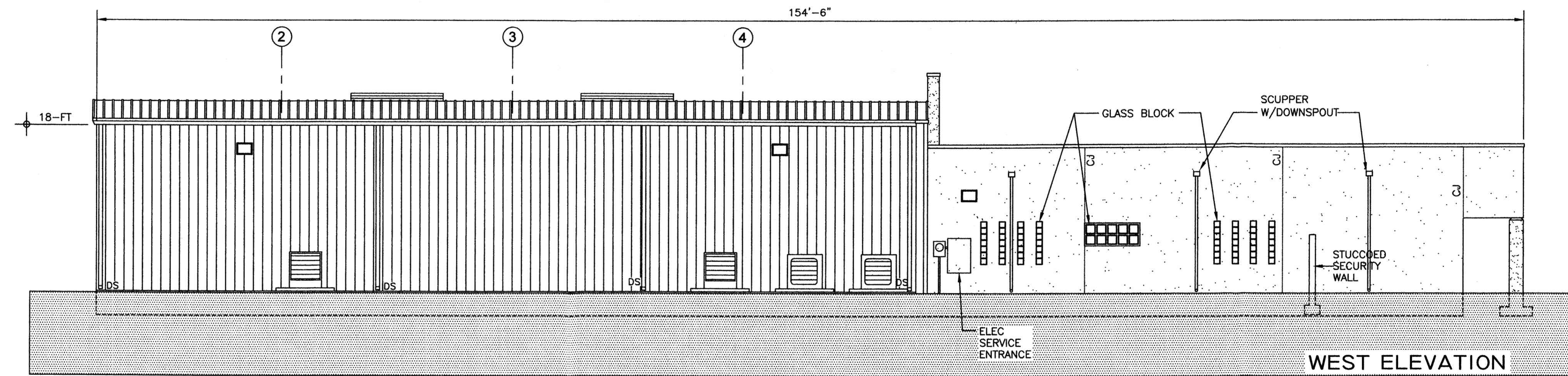
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RMM  
REVISION #  
2-ADD  
DATE  
4-2-07

SHEET #  
L2 OF L2

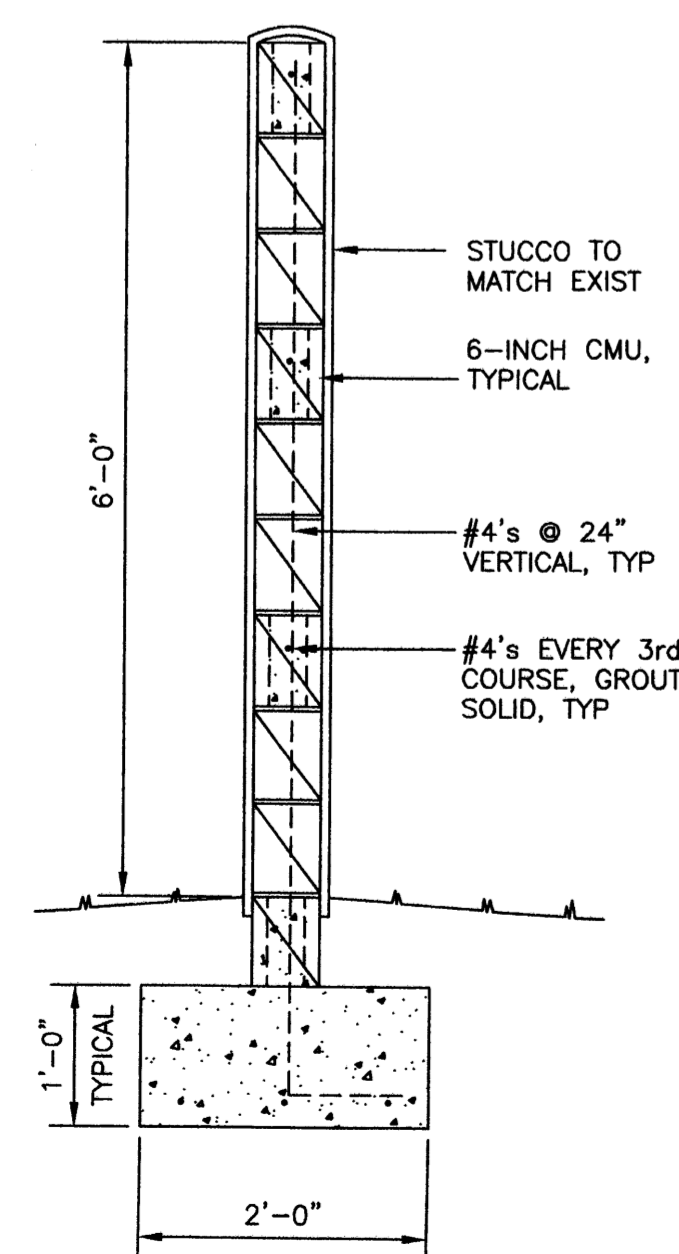




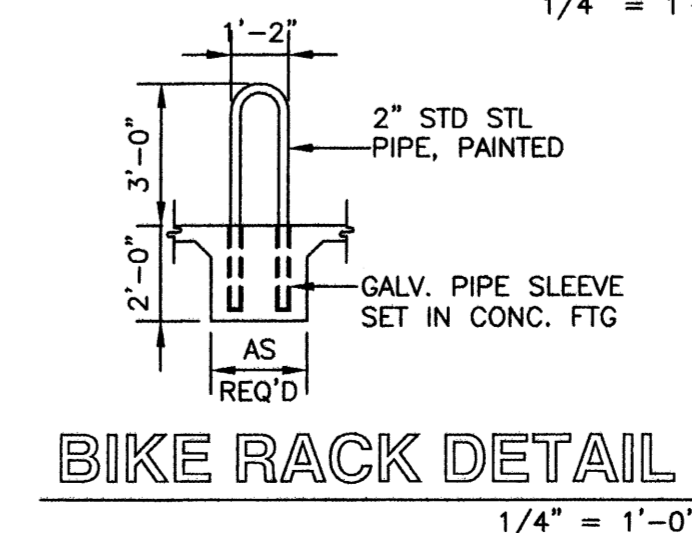
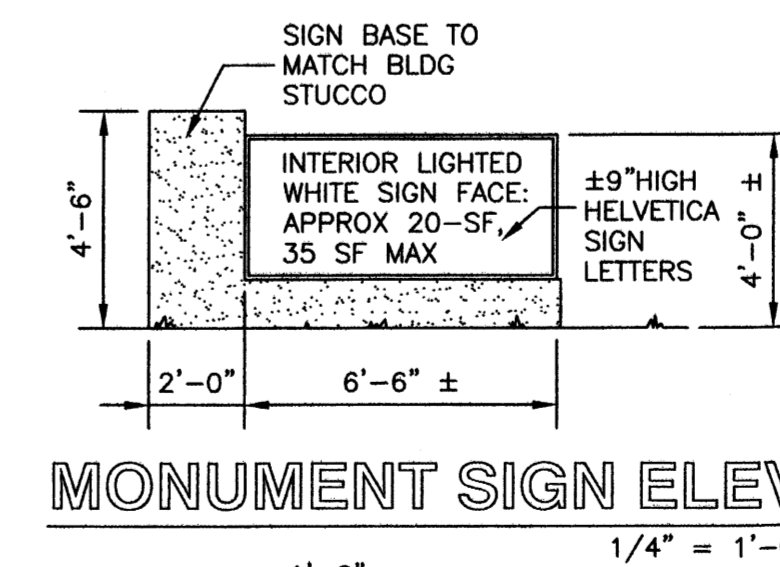
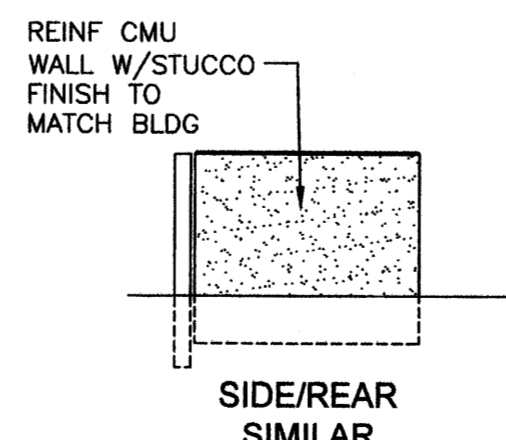
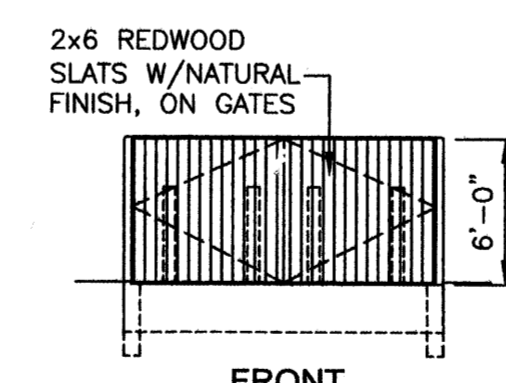
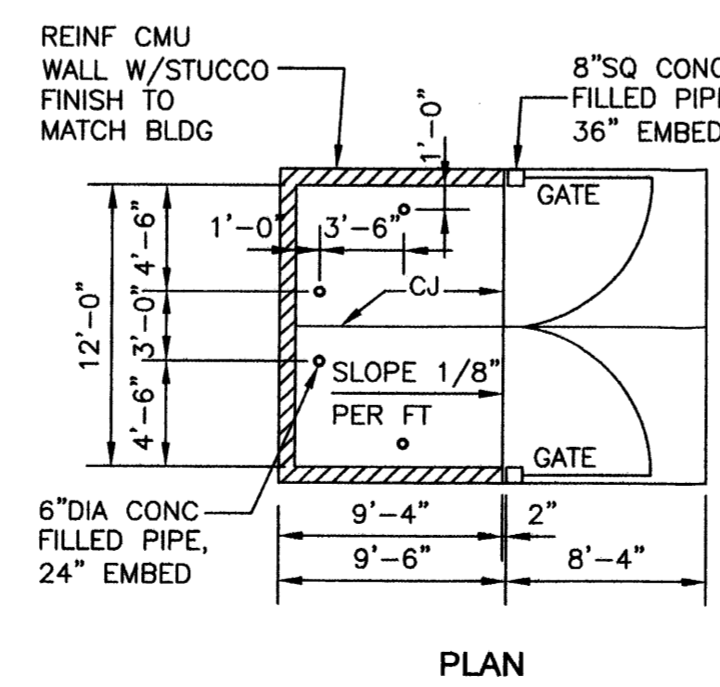
NOTE: ALL DIMENSIONS AND MATERIALS ON ELEVATIONS ARE THE SAME UNLESS NOTED OTHERWISE.



**BUILDING ELEVATIONS** 1/8" = 1'-0"



- GENERAL NOTES:**
- EXTERIOR FINISH ON CMU: STUCCO TO MATCH BUILDING
  - INTERIOR PAINT ON CMU: STAIN CMU TO MATCH BUILDING.
  - PAINT ON STEEL: TWO COATS DTM ACRYLIC SEMI GLOSS, OVER ONE COAT SELF PRIMER. COLOR: DARK BRONZE
  - REDWOOD GATE FINISH: 2-COATS CLEAR SEALER FINISH
  - CONCRETE: PAD SHALL BE A MIN. OF 3,000 P.S.I., AIR ENTRAINED CONCRETE 6" THICK WITH #3 BARS @ 16" O.C. EACH WAY. SURFACE TO RECEIVE BROOM FINISH, ONE SEAL COAT AND SHALL BE LEVEL EXCEPT FOR WASH (1.5 PERCENT MAX).



**akt architects llc**

P.O. BOX 3366  
ALBUQUERQUE, NM 87190  
T: (505) 281-9560  
F: (505) 286-1055  
C: (505) 259-7919  
aktarch@earthlink.net

CONSULTANT



PROJECT

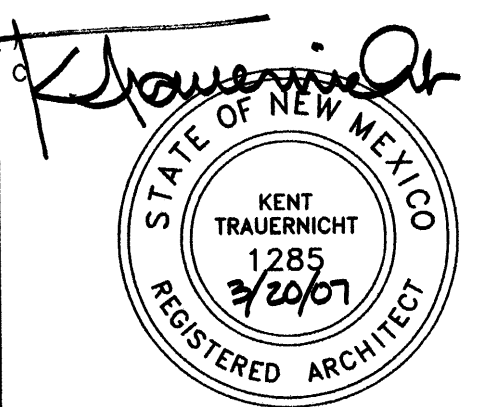
OFFICE/WAREHOUSE  
BUILDING  
FOR  
ARAPAHOE DRILLING  
  
8532 CALLE  
ALAMEDA  
  
ALAMEDA BUSINESS  
PARK

MARK	DATE	DESCRIPTION

ISSUE DATE:

PROJECT NO:  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

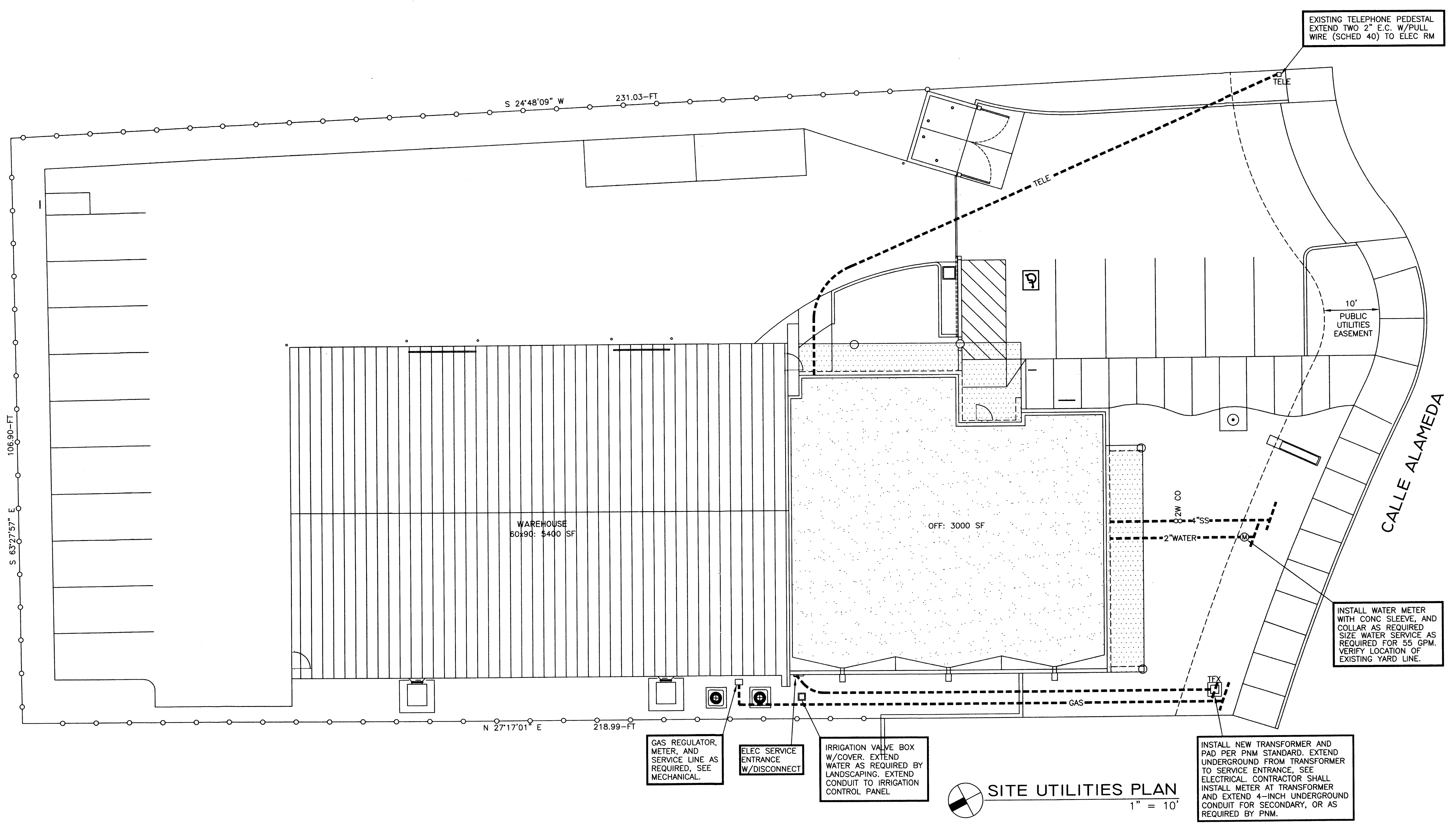
**BUILDING ELEVATIONS**



MARK	DATE	DESCRIPTION

PROJECT NO:  
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SHEET TITLE

**SITE UTILITIES  
PLAN**



UTILITY COMPANIES

**SANITARY SEWER:**  
CITY OF ALBUQUERQUE - WATER UTILITIES DEPT  
4201 2ND ST SW  
PO BOX 1293  
ALBUQUERQUE, NM 87103  
857-8200

**WATER:**  
CITY OF ALBUQUERQUE - WASTE WATER UTILITIES DEPT  
5501 PENO AVE NE  
PO BOX 1293  
ALBUQUERQUE, NM 87103  
873-7015

**ELECTRICITY AND GAS:**  
PUBLIC SERVICE COMPANY OF NEW MEXICO, PNM  
241-3325

**TELEPHONE:**  
QWEST  
245-6846

- UTILITY PLAN GENERAL NOTES:**
- UTILITY LINES AND SERVICE LOCATIONS ARE SHOWN RELATIVE TO SURVEY INFORMATION. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR ALL UTILITY INSTALLATIONS. ALL UTILITIES SHALL BE COORDINATED AND INSTALLED PER CITY AND UTILITY COMPANY REQUIREMENTS.
  - ANY UTILITIES INSTALLED IN STATE OR CITY RIGHT OF WAYS SHALL BE COORDINATED WITH AND INSTALLED PER THEIR SPECIFICATIONS AND REQUIREMENTS.
  - UTILITY PLACEMENT SHALL BE IN ACCORDANCE WITH AREA FREEZE DEPTH AND SERVICE ACCESSIBILITY.
  - INSTALLATION SHALL BE COMPLETE AND SHALL INCLUDE ALL EQUIPMENT AND LABOR, PIPE OR CONDUIT, METERS, BOXES, VALVES, DISCONNECTS, CONCRETE PADS, BOLLARDS, CUTTING OF EXISTING PAVING, WALKS, AND CURBS, TRENCHING, BACKFILL, COMPACTION, AND PATCHING OF EXISTING CONDITIONS. ALL TESTING IN ASSOCIATION WITH UTILITY INSTALLATION SHALL BE INCLUDED IN THE CONTRACT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS AND FEES REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW OR EXTEND AND UPGRADE EXISTING SERVICES. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY WITH EACH RESPECTIVE UTILITY COMPANY. EXISTING UTILITY SERVICES AND EQUIPMENT AND PROPOSED LOCATIONS OF ALL NEW UTILITY SERVICES AND EQUIPMENT.
  - THE CONTRACTOR SHALL CONTACT THE RESPECTIVE LOCAL CODE ENFORCEMENT OFFICERS AND THE LOCAL FIRE MARSHAL. ALL UTILITY INSTALLATIONS SHALL COMPLY WITH THE CODES AND INTERPRETATIONS SET FORTH BY THE GOVERNING LOCAL AUTHORITIES.
  - ALL UNUSED AND ABANDONED UTILITIES SHALL BE REMOVED TO THE PROPERTY LINE AND CAPPED. SEE SURVEY FOR LOCATIONS OF EXISTING SERVICES.