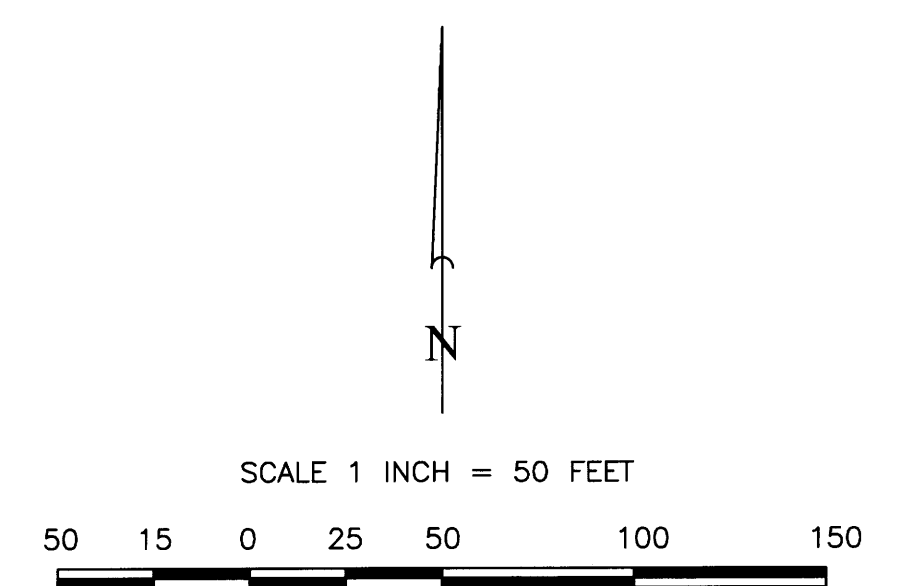
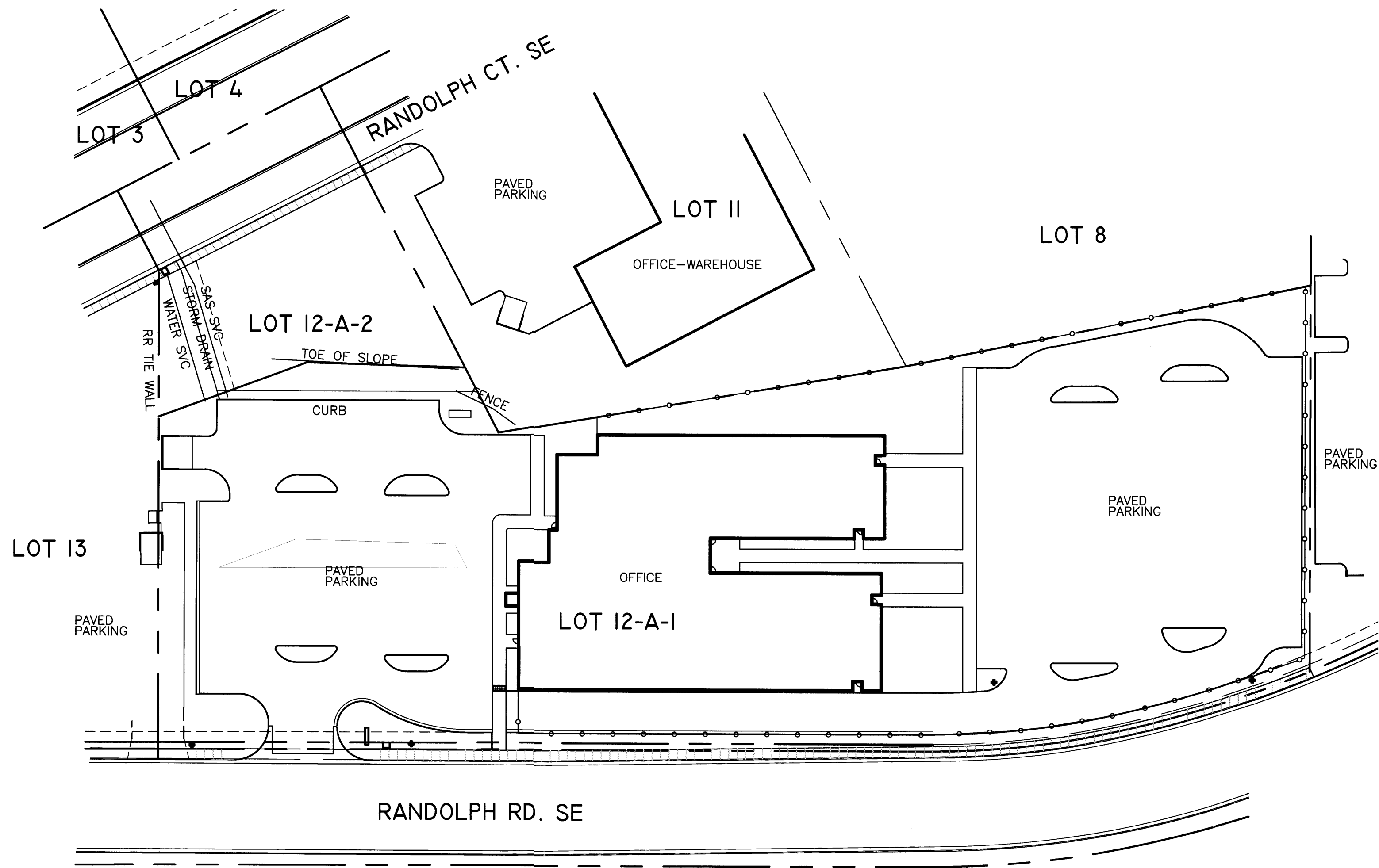
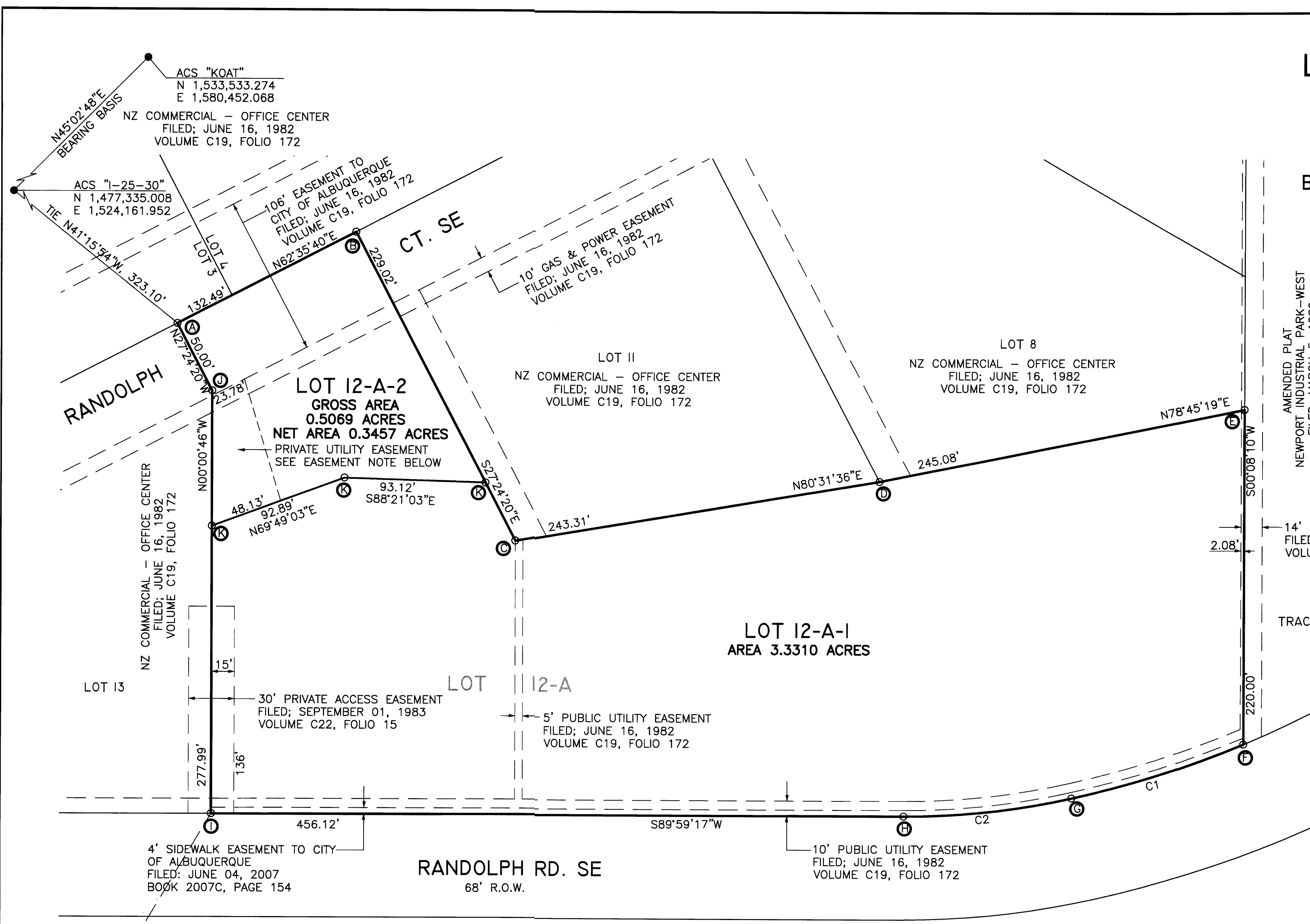


TOPO OF  
 LOTS 12-A-1 AND 12-A-2  
 NZ COMMERCIAL -  
 OFFICE CENTER



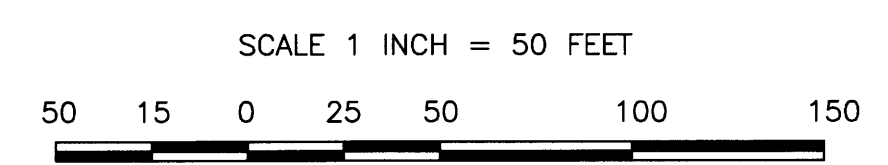
SKETCH PLAT OF  
**LOTS 12-A-1 AND 12-A-2**  
**NZ COMMERCIAL -**  
**OFFICE CENTER**  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 NOVEMBER, 2012



AMENDED PLAT  
 NEWPORT INDUSTRIAL PARK-WEST  
 FILED; MARCH 5, 1980  
 BOOK C16, PAGE 99

14' PUBLIC UTILITY EASEMENT  
 FILED; MARCH 08, 1980  
 VOLUME C16, FOLIO 99

TRACT 2

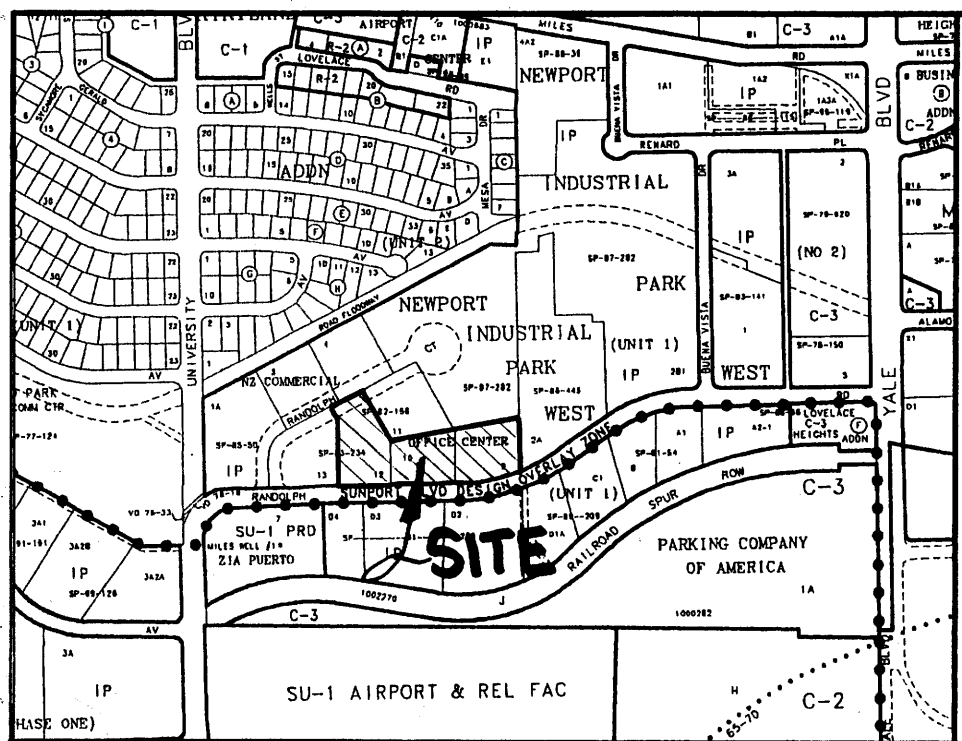


- PROPERTY CORNER IDENTIFICATION**
- Ⓐ FOUND REBAR w/ CAP #5110
  - Ⓑ FOUND BENT REBAR, w/ TAG #5110
  - Ⓒ FOUND BENT REBAR w/ TAG #5110
  - Ⓓ FOUND BENT REBAR w/ TAG #5110
  - Ⓔ FOUND REBAR w/ CAP #1817, w/ TAG #5110
  - Ⓕ FOUND REBAR w/CAP #5110
  - Ⓖ FOUND REBAR w/CAP #5110
  - Ⓗ FOUND BENT REBAR w/ CAP #1817 w/ TAG #5110
  - Ⓘ FOUND PK NAIL IN ASPHALT
  - Ⓚ FOUND CURB SCRATCH
  - Ⓛ SET REBAR w/ CAP BORDENAVE #5110

**EASEMENT NOTE**  
 PRIVATE EASEMENT ON LOT 12-A-2 FOR PRIVATE UTILITIES FOR THE BENEFIT OF LOT 12-A-1 CREATED BY THIS PLAT. MAINTENANCE OF UTILITIES AND REPAIR OF SURFACE FACILITIES (DUE TO UTILITY MAINTENANCE) IS THE RESPONSIBILITY OF THE OWNER OF LOT 12-A-1.

**CURVE TABLE**

CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
C1	09°45'22"	697.35'	118.74'	118.60'	S72°32'25"W
C2	12°34'12"	507.97'	111.44'	111.22'	S83°42'11"W



**LEGAL DESCRIPTION**

LOTS NUMBERED NINE (9) AND TEN (10) OF THE NZ COMMERCIAL - OFFICE CENTER, A SUBDIVISION IN ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 16, 1982 IN VOLUME C19, FOLIO 172.

AND

LOT NUMBERED TWELVE (12) OF THE PLAT FOR ABBREVIATED PROCEDURE OF LOTS 12 AND 13, NZ COMMERCIAL - OFFICE CENTER, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 1, 1983 IN VOLUME C22, FOLIO 15.

**PLAT OF  
LOT 12-A  
NZ COMMERCIAL - OFFICE CENTER**  
WITHIN  
SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2007

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

UTILITY APPROVALS:

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

QWEST TELECOMMUNICATIONS \_\_\_\_\_

COMCAST \_\_\_\_\_

**PRELIMINARY PLAT  
APPROVED BY DRB  
ON \_\_\_\_\_**

CITY APPROVALS:

CITY SURVEYOR [Signature] DATE 2-20-07

\*REAL PROPERTY DIVISION (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC# \_\_\_\_\_

PROPERTY OWNER OF RECORD: \_\_\_\_\_

BERNALILLO CO. TREASURER'S OFFICE: \_\_\_\_\_

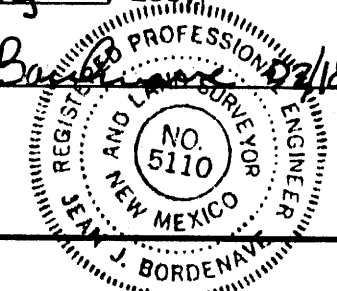
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) S.S.

I, JEAN J. BORDENAVE, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

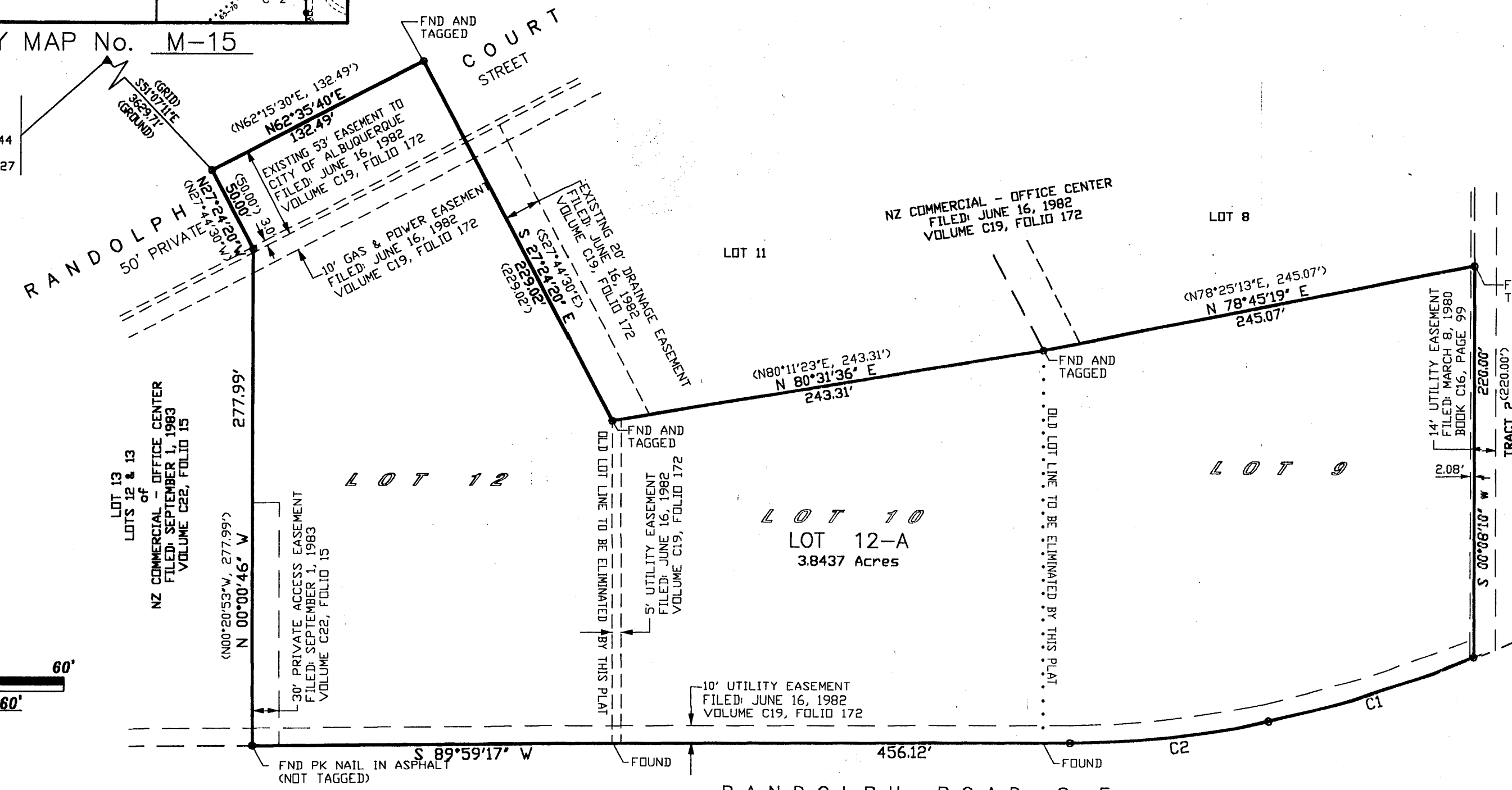
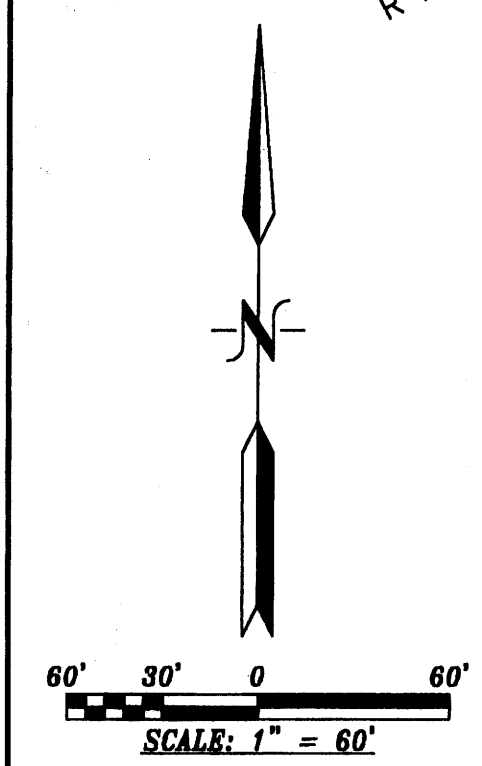
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 18<sup>th</sup> DAY OF February, 2007

[Signature] DATE 2/18/07



**VICINITY MAP No. M-15**

ACS STATION I-25-30  
X=3883916.04  
Y=1,477,272.26  
GRD TO GRID=0.99967444  
Δα = -00° 13' 22"  
CENTRAL ZONE, NAD 1927



PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 9, 10 AND 12 INTO ONE (1) LOT AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, No. 5 REBAR WITH CAP STAMPED P.S.#5110 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 3.8437 ACRES.
- 4: TALOS LOG NO. 2007070638
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID (CENTRAL ZONE).
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: July, 2006
- 9: CURRENT ZONING: IP

CURVE TABLE

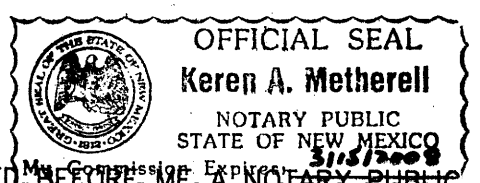
NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	09°52'52"	S 72°32'25" W	697.35	118.74	118.60
C2	12°34'12"	N 83°42'11" E	507.97	111.44	111.22

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY ACKNOWLEDGE ANY AND ALL EASEMENTS AS MAY EXIST ON THIS LAND. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

[Signature] DATE Feb 19, 2007

ACKNOWLEDGMENT  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) S.S.

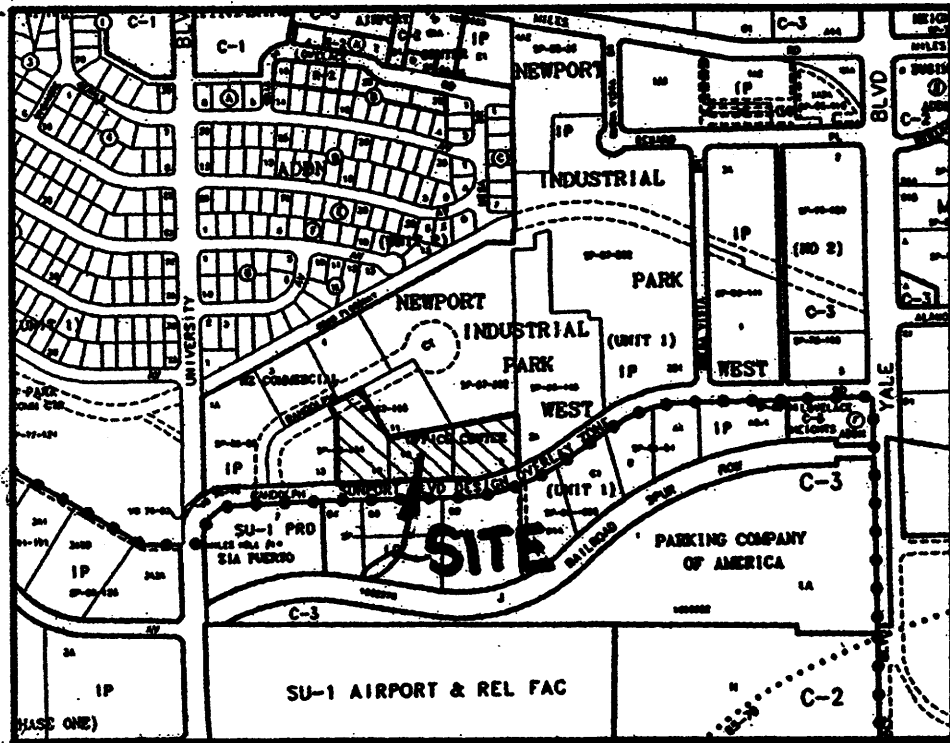


THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC  
THIS 19<sup>th</sup> DAY OF February, 2007

BY: [Signature]  
OWNERS NAME

MY COMMISSION EXPIRES: 31/5/2008 BY: [Signature]  
NOTARY PUBLIC

Re-JackB.dwg(Jan-07)



**LEGAL DESCRIPTION**

LOTS NUMBERED NINE (9) AND TEN (10) OF THE NZ COMMERCIAL - OFFICE CENTER, A SUBDIVISION IN ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 16, 1982 IN VOLUME C19, FOLIO 172.

AND

LOT NUMBERED TWELVE (12) OF THE PLAT FOR ABBREVIATED PROCEDURE OF LOTS 12 AND 13, NZ COMMERCIAL - OFFICE CENTER, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 1, 1983 IN VOLUME C22, FOLIO 15.

**PLAT OF  
LOT 12-A  
NZ COMMERCIAL - OFFICE CENTER**  
WITHIN  
SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2007

PROJECT NUMBER: 1005390

APPLICATION NUMBER: 07085 00206

**UTILITY APPROVALS:**

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_  
 PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_  
 QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_  
 COMCAST \_\_\_\_\_ DATE \_\_\_\_\_

**CITY APPROVALS:**  
 CITY SURVEYOR [Signature] 2-20-07 DATE  
 REAL PROPERTY DIVISION (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
 UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPCL# \_\_\_\_\_  
 PROPERTY OWNER OF RECORD: \_\_\_\_\_  
 BERNALILLO CO. TREASURER'S OFFICE: \_\_\_\_\_

**SURVEYORS CERTIFICATE:**

STATE OF NEW MEXICO ) S.S.  
 COUNTY OF BERNALILLO )

I, JEAN J. BORDENAVE, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

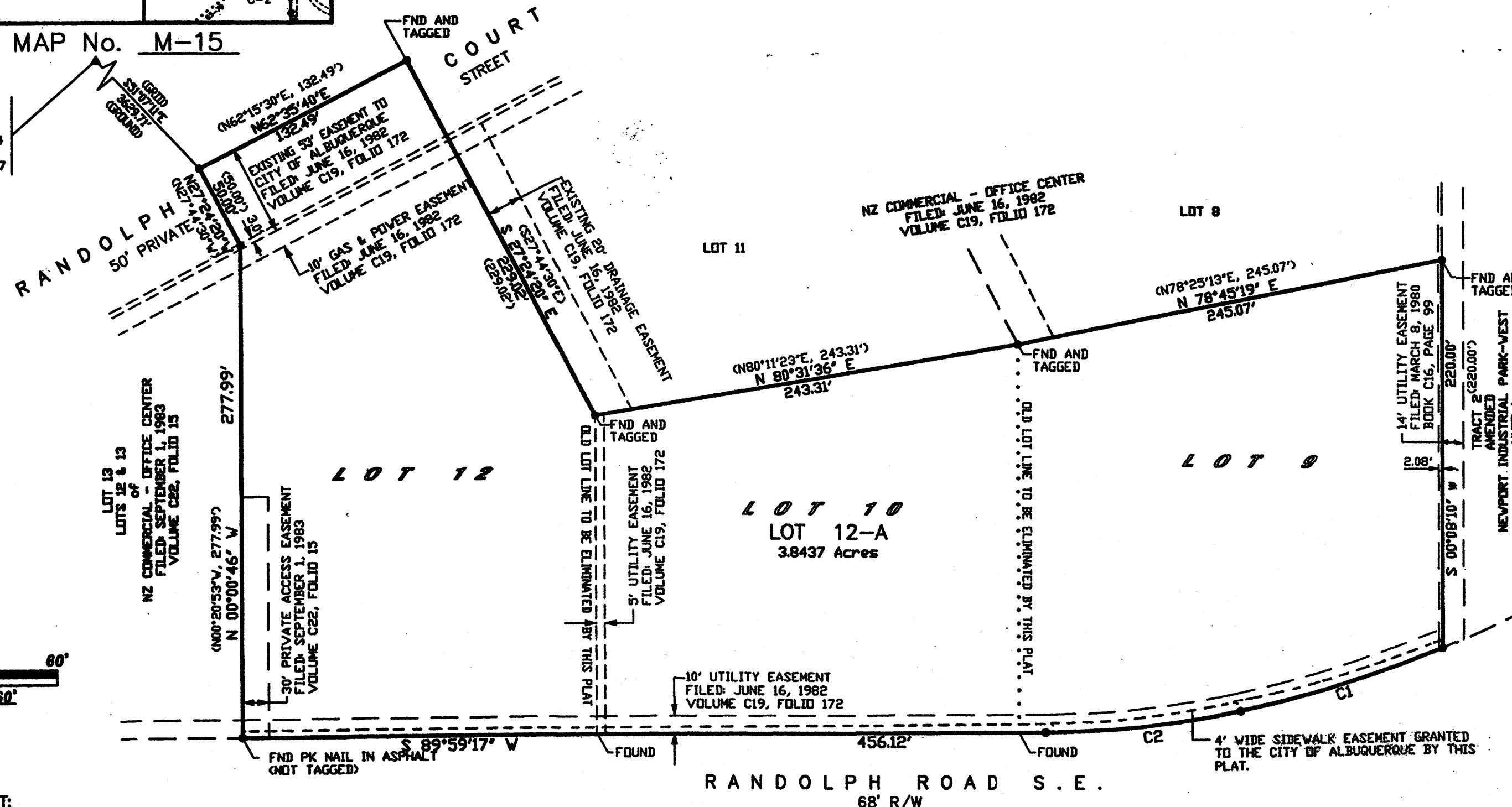
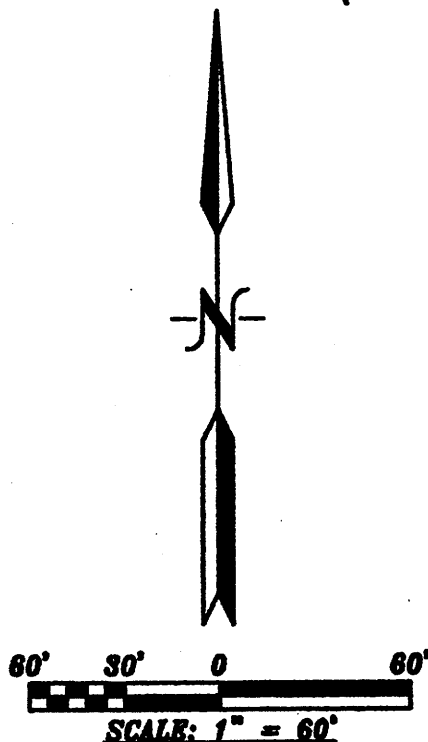
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
 THIS 18<sup>th</sup> DAY OF February, 2007

[Signature]  
 JEAN J. BORDENAVE  
 LAND SURVEYOR  
 NO. 5110  
 STATE OF NEW MEXICO

**BORDENAVE DESIGNS**  
 P.O. BOX 91194, ALBUQUERQUE, NM 87199  
 (505)823-1344 FAX (505)821-9105

**VICINITY MAP No. M-15**

ACS STATION I-25-30  
 X=383916.04  
 Y=1477272.26  
 GRID TO GRID=0.99967444  
 ΔCt = -00° 13' 22"  
 CENTRAL ZONE, NAD 1927



**PURPOSE OF PLAT:**

THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 9, 10 AND 12 INTO ONE (1) LOT AND GRANT ANY EASEMENTS AS SHOWN.

**CURVE TABLE**

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	09°52'52"	S 72°32'25" W	697.35	118.74	118.60
C2	12°34'12"	N 83°42'11" E	507.97	111.44	111.22

**GENERAL NOTES:**

- UNLESS NOTED, No. 5 REBAR WITH CAP STAMPED P.S.#5110 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 3.8437 ACRES.
- TALOS LOG NO. 2007070838
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID (CENTRAL ZONE).
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: July 2006
- CURRENT ZONING: I.P.

**FREE CONSENT**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY ACKNOWLEDGE ANY AND ALL EASEMENTS AS MAY EXIST ON THIS LAND. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Timothy M. Ott Feb 19, 2007  
 DATE

ACKNOWLEDGMENT  
 STATE OF NEW MEXICO ) S.S.  
 COUNTY OF BERNALILLO )

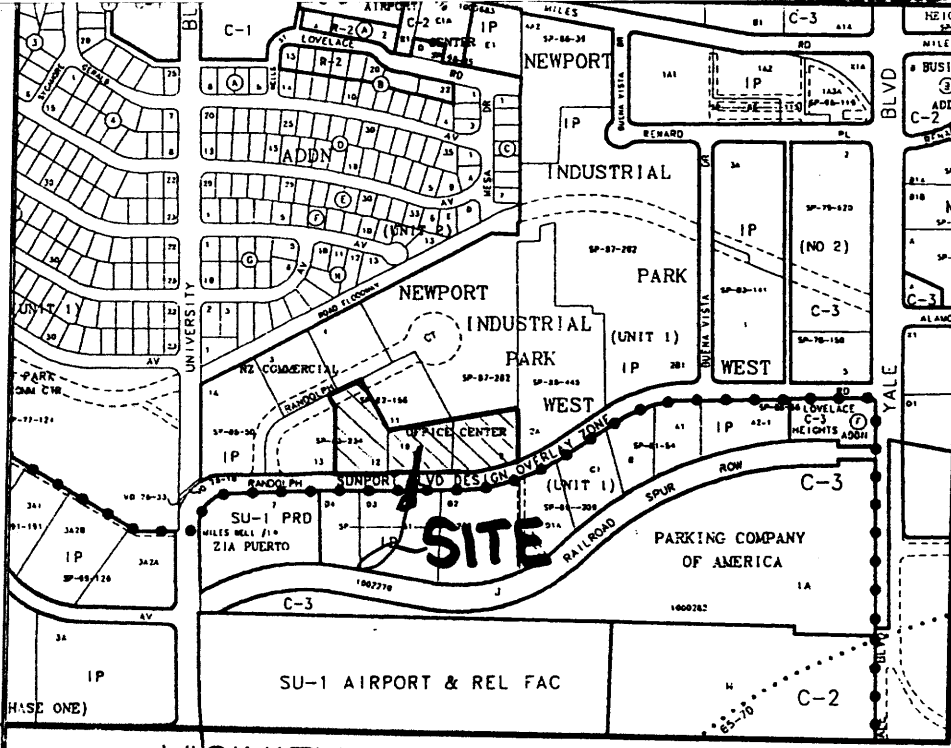


THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC  
 THIS 19<sup>th</sup> DAY OF February, 2007

BY: Timothy M. Ott  
 OWNERS NAME

MY COMMISSION EXPIRES: 3/15/2008 BY: [Signature]  
 NOTARY PUBLIC





**LEGAL DESCRIPTION**

LOTS NUMBERED NINE (9) AND TEN (10) OF THE NZ COMMERCIAL - OFFICE CENTER, A SUBDIVISION IN ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 16, 1982 IN VOLUME C19, FOLIO 172.

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**PLAT OF  
LOT 12-A  
NZ COMMERCIAL - OFFICE CENTER**  
WITHIN  
SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2007

PROJECT NUMBER: 1005390  
APPLICATION NUMBER: 07DRB 00206

UTILITY APPROVALS:

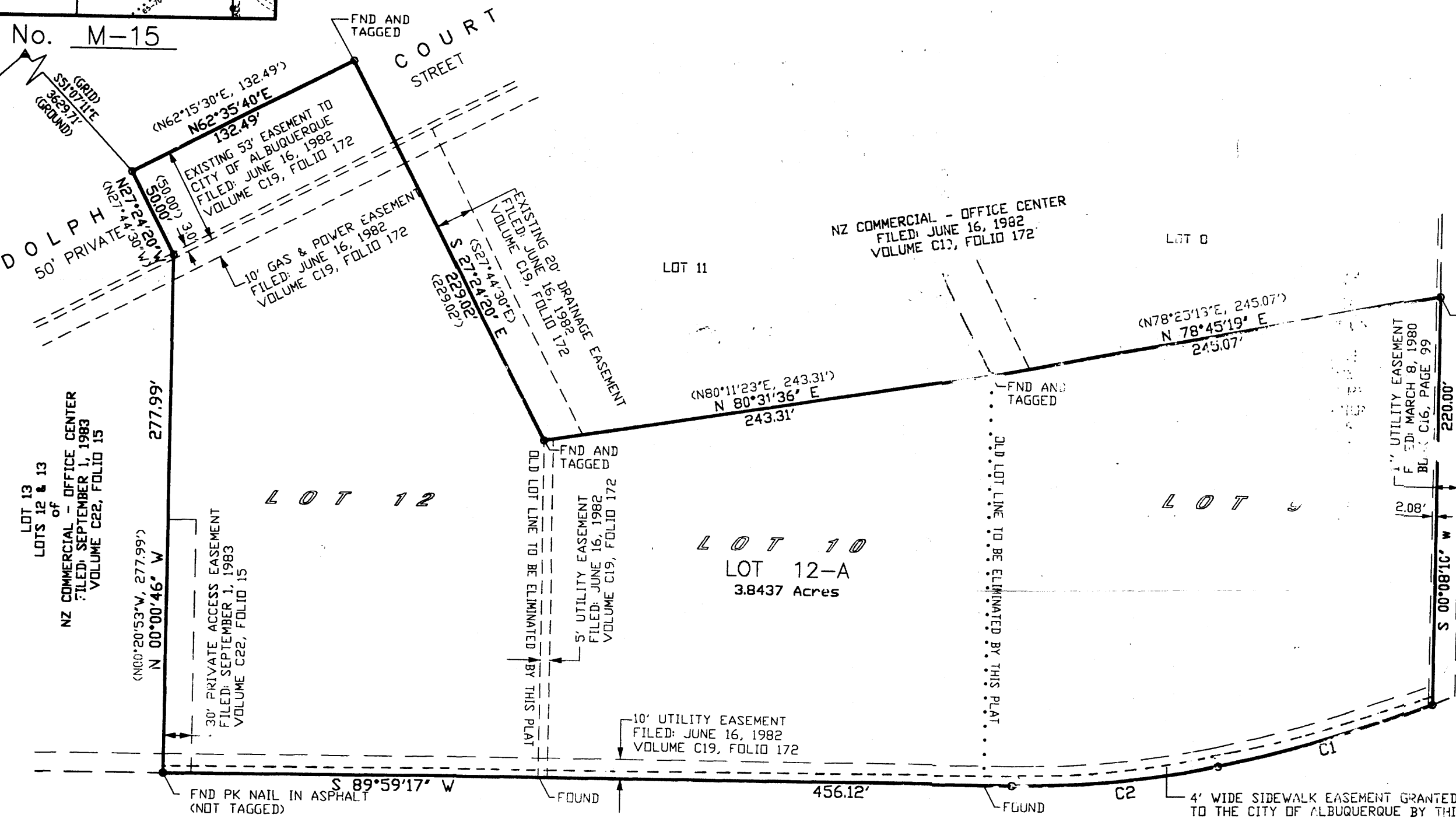
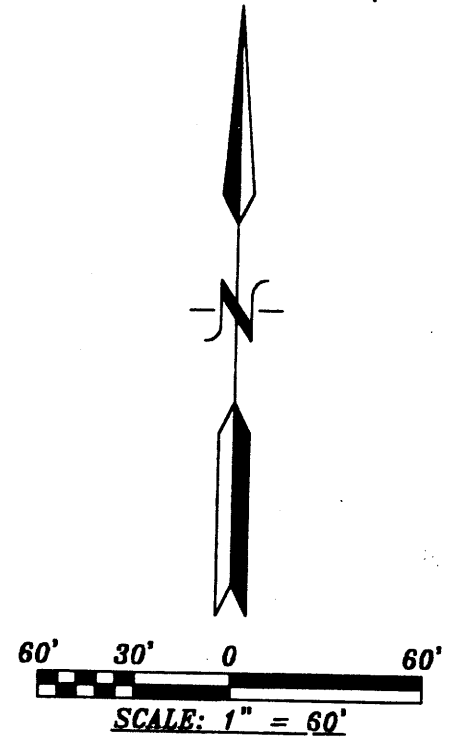
PNM ELECTRIC SERVICES	N/A as	6-1-07
PNM GAS SERVICES	N/A as	6-1-07
QWEST TELECOMMUNICATIONS	N/A as	6-1-07
COMCAST	N/A as	6-1-07

CITY APPROVALS:

CITY SURVEYOR	<i>[Signature]</i>	2-20-07
REAL PROPERTY DIVISION (CONDITIONAL)	N/A	
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	<i>[Signature]</i>	5/29/07
TRAFFIC ENGINEERING/TRANSPORTATION DIVISION	<i>[Signature]</i>	5-30-07
UTILITIES DEVELOPMENT	<i>[Signature]</i>	5-30-07
PARKS AND RECREATION DEPARTMENT	<i>[Signature]</i>	5-30-07
MAFCA	<i>[Signature]</i>	5/30/07
CITY ENGINEER	<i>[Signature]</i>	5-30-07
DRB CHAIRPERSON, PLANNING DEPARTMENT	<i>[Signature]</i>	6-1-07

VICINITY MAP No. M-15

ACS STATION I-25-30  
X=383916.04  
Y=1,477,272.26  
GRID TO GRID=0.99967444  
Δα = -00° 13' 22"  
CENTRAL ZONE, NAD 1927



**PURPOSE OF PLAT:**  
THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 9, 10 AND 12 INTO ONE (1) LOT AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES:**
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  - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
  - TOTAL AREA OF PROPERTY: 3.8437 ACRES.
  - TALOS LOG NO. 2007070636
  - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
  - DISTANCES ARE GROUND, BEARINGS ARE GRID (CENTRAL ZONE).
  - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
  - DATE OF FIELD WORK: July, 2006
  - CURRENT ZONING: I.P.

**CURVE TABLE**

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
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C2	12°34'12"	N 83°42'11" E	507.97	111.44	111.22

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*[Signature]* **Tracy M. Ott** Feb 19, 2007  
DATE

ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME, A NOTARY PUBLIC, THIS 19<sup>th</sup> DAY OF February, 2007.  
BY: *[Signature]* **Tracy M. Ott**  
OWNERS NAME  
MY COMMISSION EXPIRES: 3/15/2008 BY: *[Signature]* **Kenneth A. Metterell**  
NOTARY PUBLIC

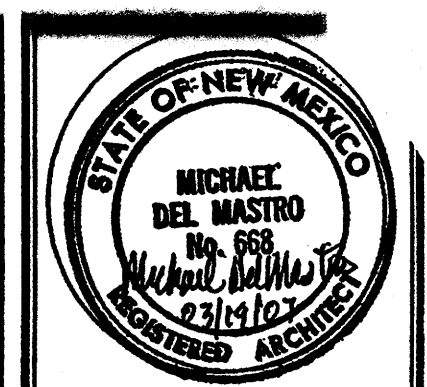
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPCA 3/1/07 1-015-055-244-327-10403  
PROPERTY OWNER OF RECORD: *[Signature]* **Tracy M. Ott**  
BERNALILLO CO. TREASURER'S OFFICE: *[Signature]* **Robert J. ...** 1/4/07

**SURVEYORS CERTIFICATE:**  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )  
I, SEAN J. BORDENAVE, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.  
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 18<sup>th</sup> DAY OF February, 2007

*[Signature]* **Sean J. Bordenave** 2/18/07  
DATE  
**BORDENAVE DESIGNS**  
P.O. BOX 91194, ALBUQUERQUE, NM 87199  
(505)823-1344 FAX (505)821-9105

Re-JackB.dwg(Jan-07)





JOB NO:

DATE: 16 MARCH 2007

REVISIONS

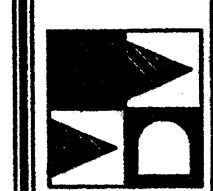

Sheet Title

# SITE PLAN

Checked By: I. OTT  
Drawn By: PESHAKI, S.A.

**TIM OTT / DEVELOPER**  
5620 VENICE AVE NE, SUITE G  
ALBUQUERQUE, N.M. 87115  
(505) 250-4675

**MICHAEL DEL MASTRO / ARCHITECT**  
7308 DELWOOD RD. NE / (505) 883-4929  
ALBUQUERQUE, NEW MEXICO 87110

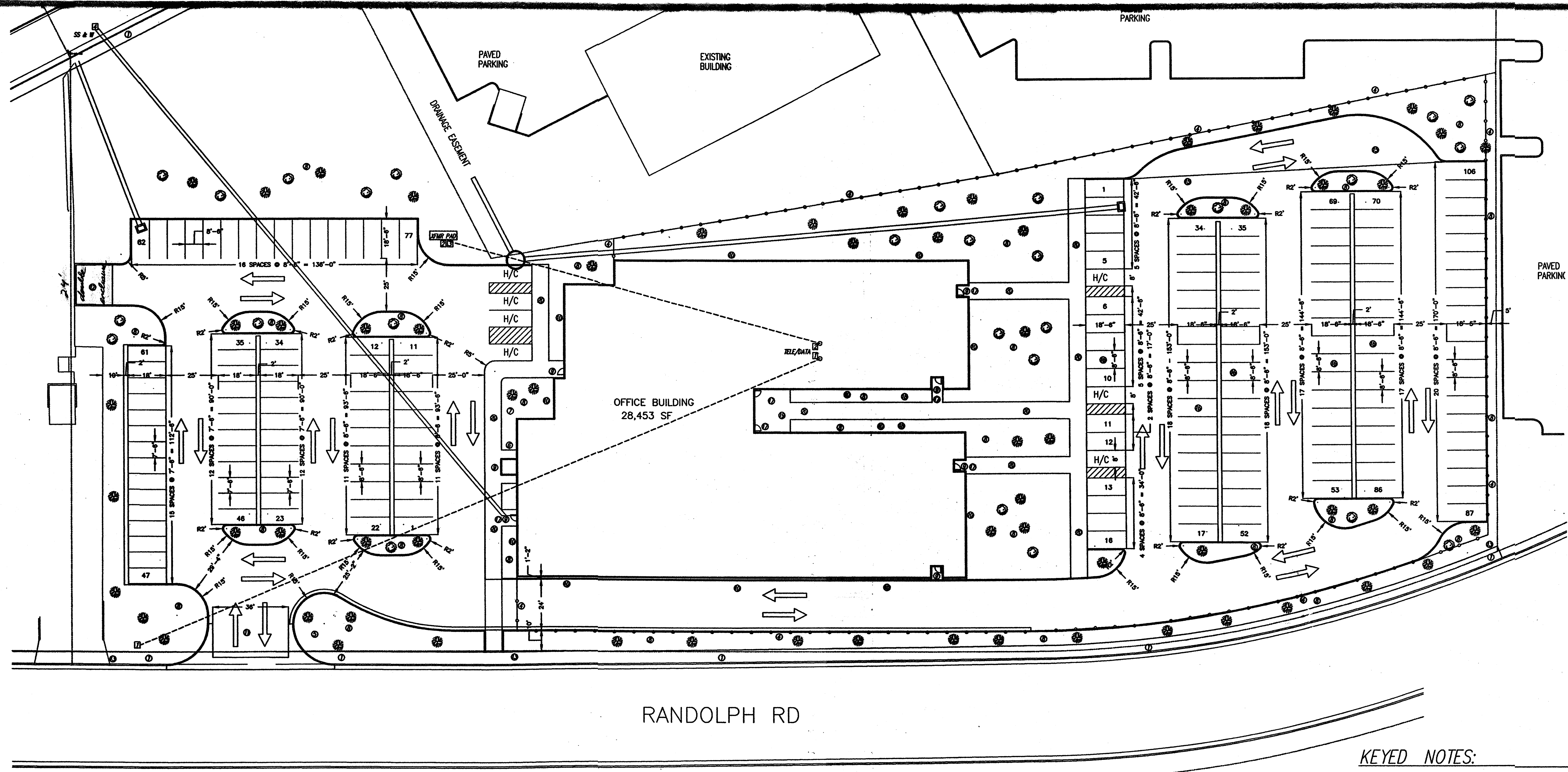


Project Name

## RANDOLPH BUILDING BERNALILLO COUNTY ALBUQUERQUE, NEW MEXICO

SHEET NO.

# SP

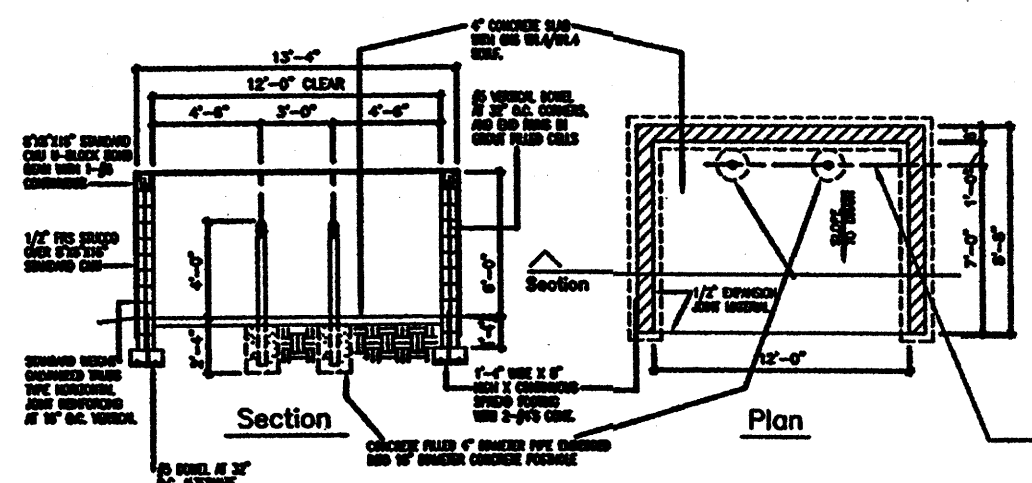
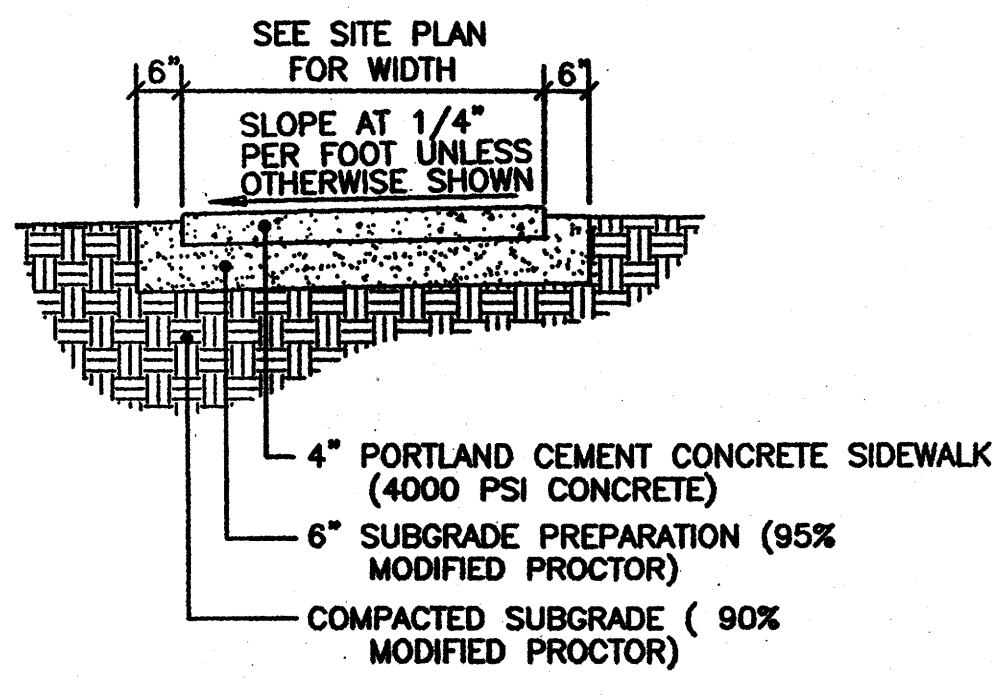
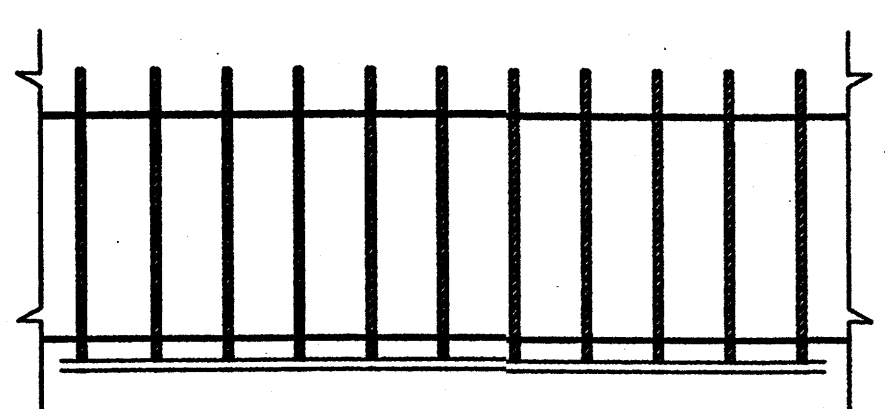


### GENERAL NOTES:

- ① LANDSCAPING TO CONSIST OF XERISCAPE PLANTINGS AND AUTOMATIC MICRO DRIP IRRIGATION SYSTEM IN COMPLIANCE WITH C.O.A. LANDSCAPING CODE AND RFP REQUIREMENTS
  - ② ARCHITECTURAL BUILDING SIGN TO BE WHITE BLOCK LETTERS MAXIMUM 8" HEIGHT.
- LEGAL DESCRIPTION:** LOT 9, 10, & 12, NZ COMMERCIAL - OFFICE SUBDIVISION  
CITY OF ALBUQUERQUE, NEW MEXICO  
COUNTY OF BERNALILLO
- PROPOSED USE:** STATE OF NEW MEXICO, OFFICE BUILDING  
SINGLE STORY
- CURRENT ZONING:** IP
- UTILITY ACCESS:** ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.
- Parking, Regular:** Required per COA Code: 28,453/200=142 Spaces (1 Space/200 S.F.)  
Provided: 185 Spaces (Excess parking due to the requirement of the State of New Mexico.)
- Parking, Handicap:** Required by COA Code: 4 Spaces (with 51 to 100 req. prkng. spcs.)  
Provided: 7 Spaces
- Phasing:** There will be no phasing plan in this project.

## SITE PLAN

SCALE 1/32"=1'



### SYMBOLS



### KEYED NOTES ELEC:

- ① TELEPHONE LOCATION
- ② SECONDARY ELECTRICAL CONDUITS PANELS MDP, A, B, C, D
- ③ XFMR LOCATION; SERVICE ENTRANCE
- ④ SANITARY SEWER & WATER

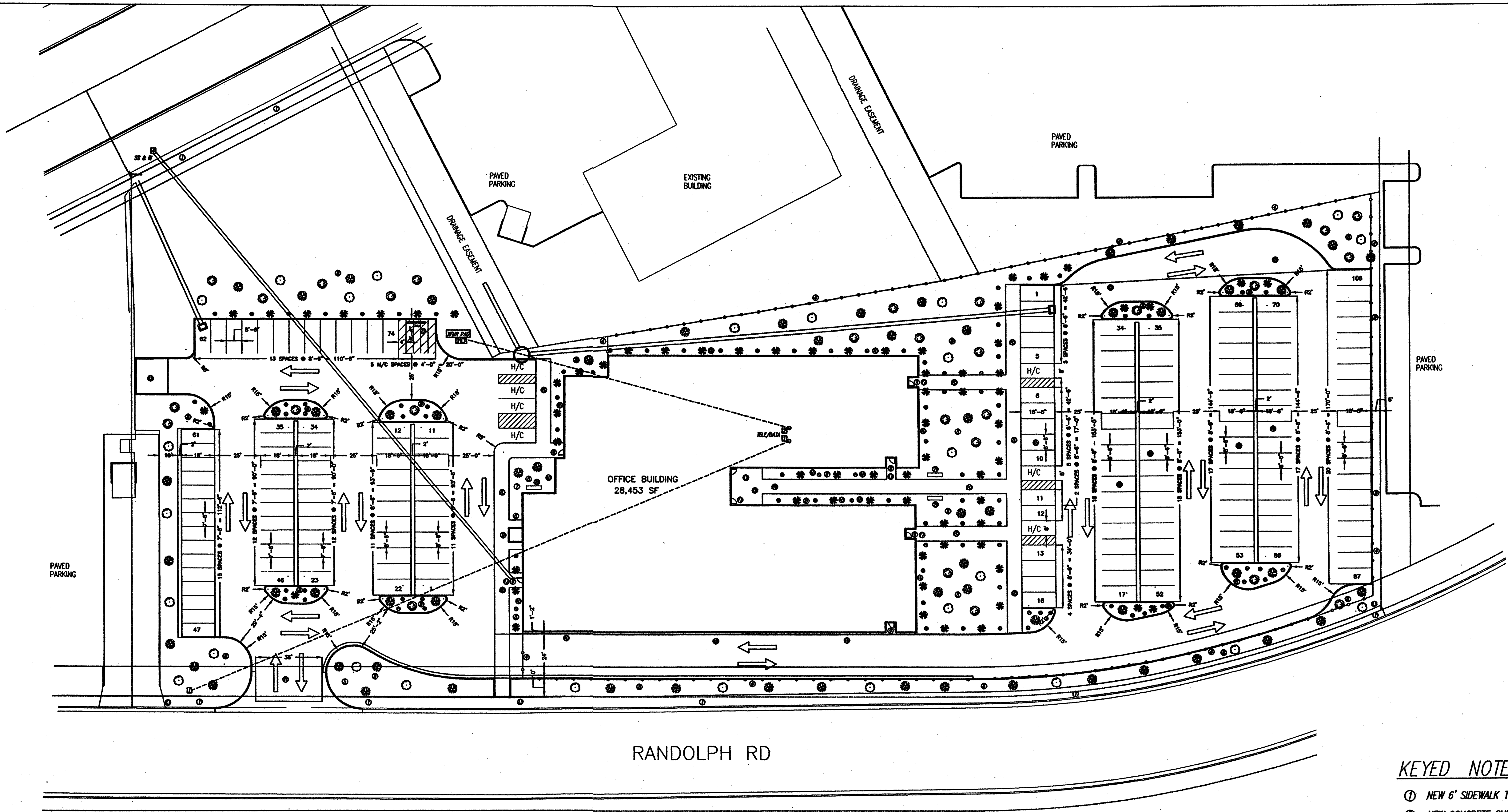
### KEYED NOTES:

- ① NEW 6' SIDEWALK TO COA STANDARDS, 2430 STD DWG
- ② NEW CONCRETE CURB & GUTTER
- ③ WROUGHT IRON FENCING
- ④ 6' HIGH SECURITY FENCE WITH MOTORIZED GATE / WROUGHT IRON
- ⑤ AGENCY SIGNS, DETAIL TO BE SUBMITTED TO THE CITY FOR APPROVAL, DOUBLE SIGNAGE, REQUIRE SEPARATE PERMIT
- ⑥ DROP BOX, TRASH RECEPTACLE & CIGARETTE DISPOSAL CONTAINER LOCATION TBD
- ⑦ FLAG POLE, IF DESIRED
- ⑧ LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
- ⑨ SECURITY LIGHTING AT ALL ENTRANCES
- ⑩ EXTERIOR BUILDING LIGHTING PER CITY OF ALBUQUERQUE, NIGHT SKY PROTECTION ACT LIGHTING CODE, OPERATED BY PHOTO CELL
- ⑪ DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS, 2426 STD DWG
- ⑫ DUMPSTER ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS
- ⑬ EXISTING FIRE HYDRANTS
- ⑭ 28,731 SQ. FT., STUCCO BUILDING WITH NATURAL ROCK VENEER WITH A MAXIMUM PARAPET HEIGHT OF 16 FT. NO OUTSIDE STORAGE AND NO CHAIN LINK FENCING.
- ⑮ TURNING RADIUS FOR FIRE TRUCKS
- ⑯ COVERED EMPLOYEE PARKING WITH LIGHTING
- ⑰ CYPHER LOCK ON ENTRANCE
- ⑱ OASIS AREA FOR EMPLOYEES
- ⑲ EMPLOYEE PATIO WITH COVER, PATIO FURNITURE, TRASH RECEPTACLES & CIGARETTE DISPOSAL CONTAINER.
- ⑳ NEW 8' SIDE WALK

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITH CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

APR 3 0 2007  
I.B.C.  
Plan Check Section





**GENERAL NOTES:**

- ① LANDSCAPING TO CONSIST OF XERISCAPE PLANTINGS AND AUTOMATIC MICRO DRIP IRRIGATION SYSTEM IN COMPLIANCE WITH C.O.A. LANDSCAPING CODE AND RFP REQUIREMENTS
- ② ARCHITECTURAL BUILDING SIGN TO BE WHITE BLOCK LETTERS MAXIMUM 8" HEIGHT.

LEGAL DESCRIPTION: LOT 9, 10, & 12, NZ COMMERCIAL - OFFICE SUBDIVISION  
 CITY OF ALBUQUERQUE, NEW MEXICO  
 COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING  
 SINGLE STORY

CURRENT ZONING: IP

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

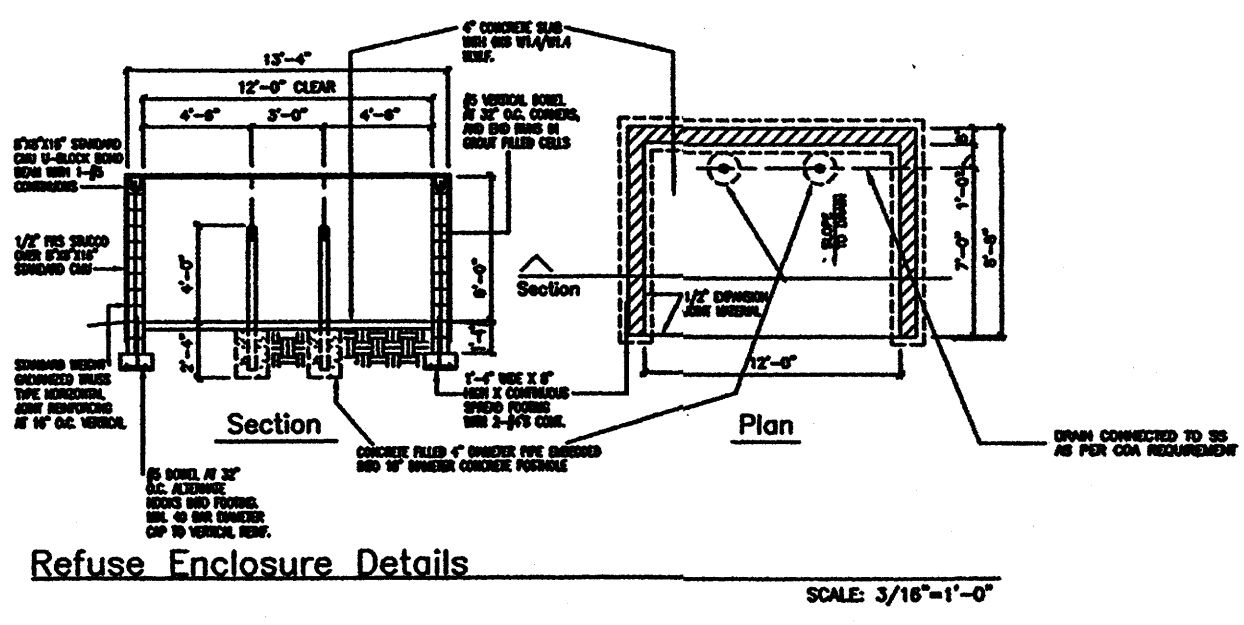
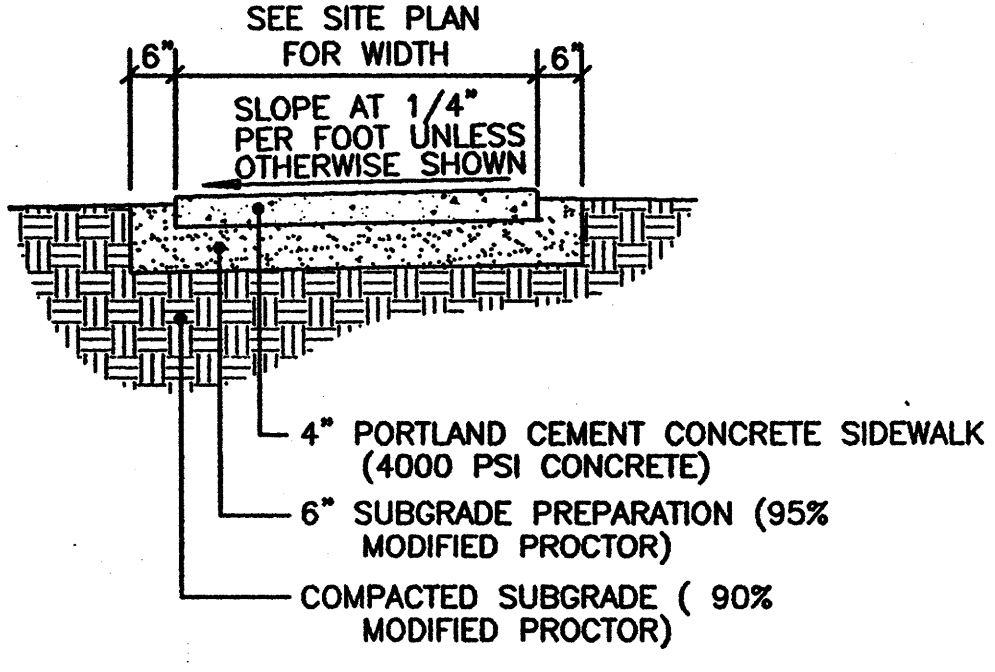
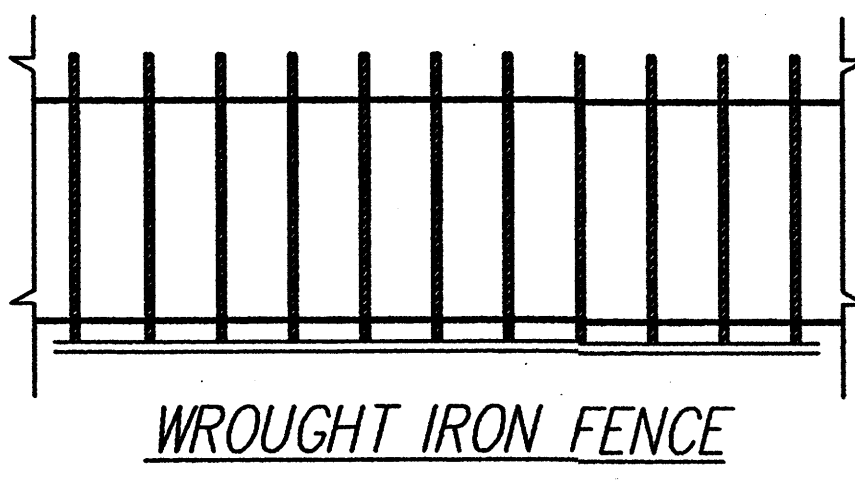
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Parking, Handicap: Required by COA Code: 4 Spaces (with 51 to 100 req. prkng. spcs.)  
 Provided: 7 Spaces

Phasing: There will be no phasing plan in this project.

**SITE PLAN**

SCALE 1/32"=1'



**SYMBOLS**



**KEYED NOTES ELEC:**

- 1 TELEPHONE LOCATION
- 2 SECONDARY ELECTRICAL CONDUITS PANELS MDP, A, B, C, D
- 3 XFMR LOCATION; SERVICE ENTRANCE
- 4 SANITARY SEWER & WATER

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**KEYED NOTES:**

- 1 NEW 6' SIDEWALK TO COA STANDARDS, 2430 STD DWG
- 2 NEW CONCRETE CURB & CUTTER
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- 12 DUMPSTER ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS
- 13 EXISTING FIRE HYDRANTS
- 14 28,731 SQ. FT., STUCCO BUILDING WITH NATURAL ROCK VENEER WITH A MAXIMUM PARAPET HEIGHT OF 16 FT. NO OUTSIDE STORAGE AND NO CHAIN LINK FENCING.
- 15 TURNING RADIUS FOR FIRE TRUCKS
- 16 COVERED EMPLOYEE PARKING WITH LIGHTING
- 17 CYPHER LOCK ON ENTRANCE
- 18 OASIS AREA FOR EMPLOYEES
- 19 EMPLOYEE PATIO WITH COVER, PATIO FURNITURE, TRASH RECEPTACLES & CIGARETTE DISPOSAL CONTAINER.
- 20 NEW 8' SIDE WALK
- 21 BENCH SEATING, FOR FACADE = 288" OUTSIDE SEATS REQUIRED = 12 SEATS = 3 BENCHS, 8' EACH
- 22 MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE



JOB NO. \_\_\_\_\_  
 DATE 10 MAY 2007  
 REVISIONS

Sheet Title  
**SITE PLAN**  
 Drawn By: PESLUKA, S.A. Checked By: T. OTT

TM OTT / DEVELOPER  
 6820 VANCE AVE. SUITE G  
 ALBUQUERQUE, NM 87110  
 (505) 850-4975

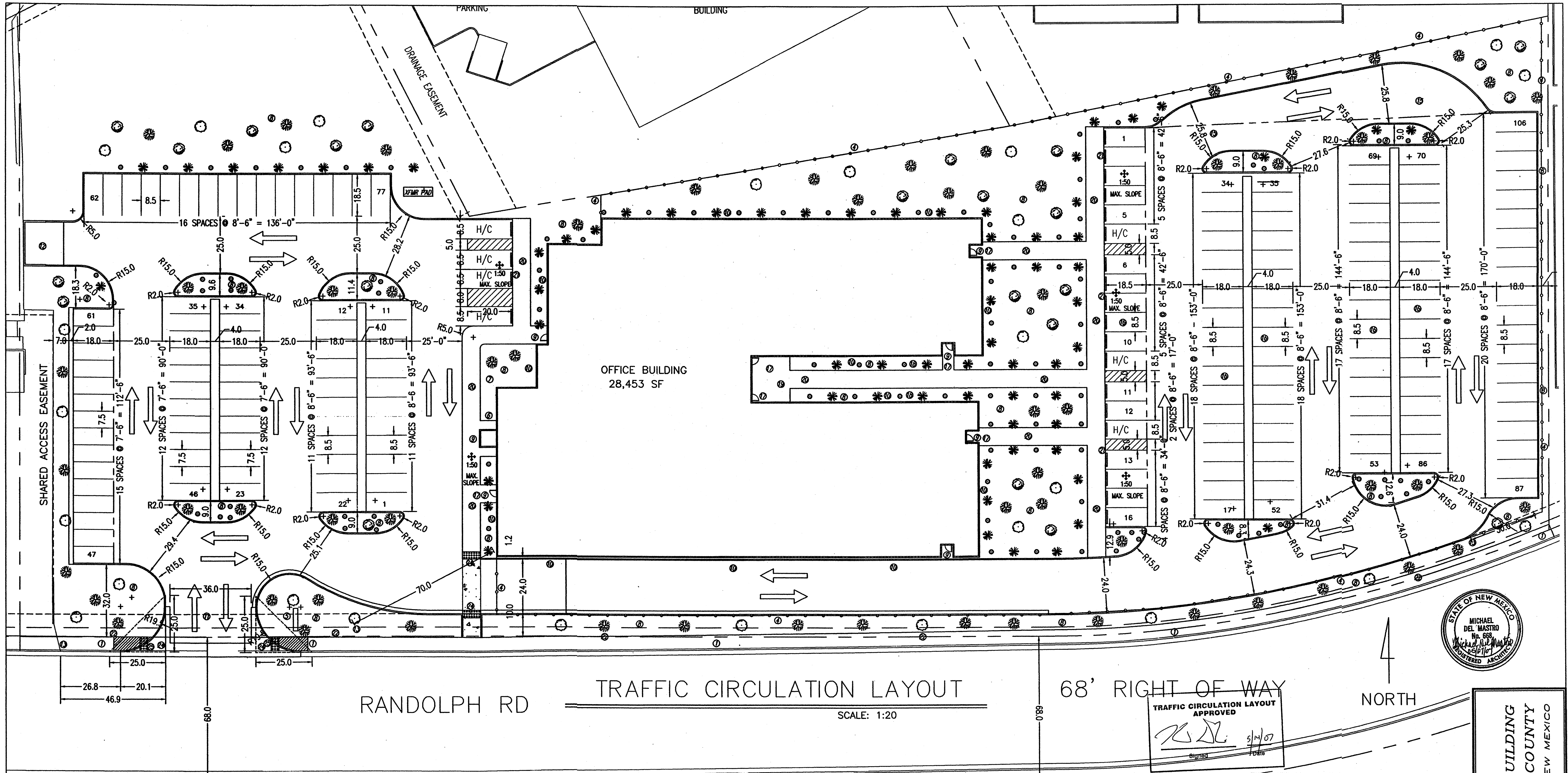
MICHAEL DEL MASTRO / ARCHITECT  
 7008 DELWOOD RD. NE / (505) 889-8829  
 ALBUQUERQUE, NEW MEXICO 87109

Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
 ALBUQUERQUE, NEW MEXICO

SHEET NO.  
**SP**

Albuquerque Building & Safety  
 MAY 14 2007  
 I.B.C.  
 Plan Check Section





TRAFFIC CIRCULATION LAYOUT APPROVED  
 [Signature] 5/14/07  
 Date

**GENERAL NOTES:**

LEGAL DESCRIPTION: LOT 9, 10, & 12, NZ COMMERCIAL - OFFICE SUBDIVISION  
 CITY OF ALBUQUERQUE, NEW MEXICO  
 COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING  
 SINGLE STORY

CURRENT ZONING: IP

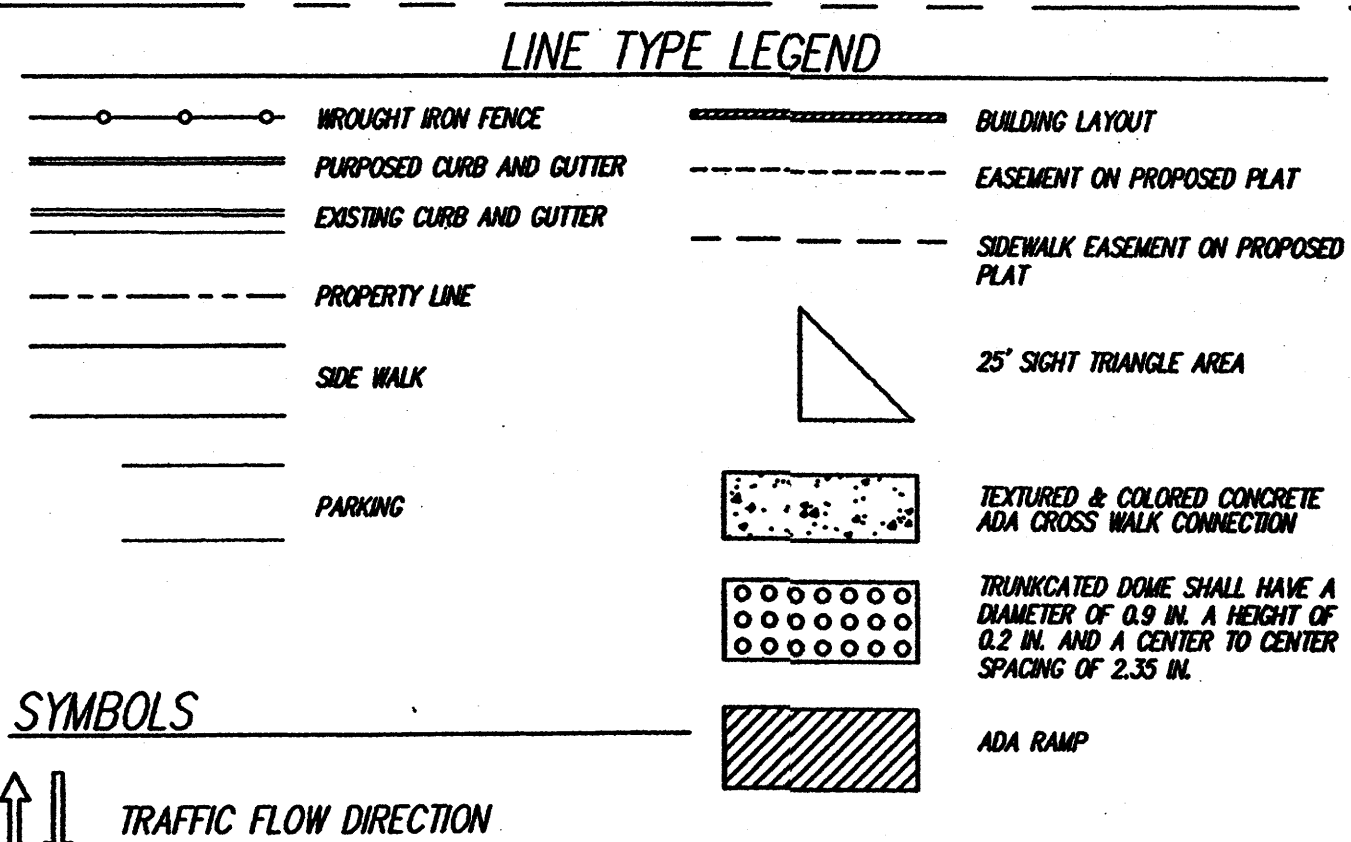
UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: 28,453/200=142 SPACES (1 Space/200 S.F.)  
 PROVIDED: 185 SPACES (Excess parking due to the requirement of the State of New Mexico.)

PARKING, HANDICAP: REQUIRED PER COA CODE: 4 SPACES (with 51 to 100 req. prking. spcs.)  
 PROVIDED: 7 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

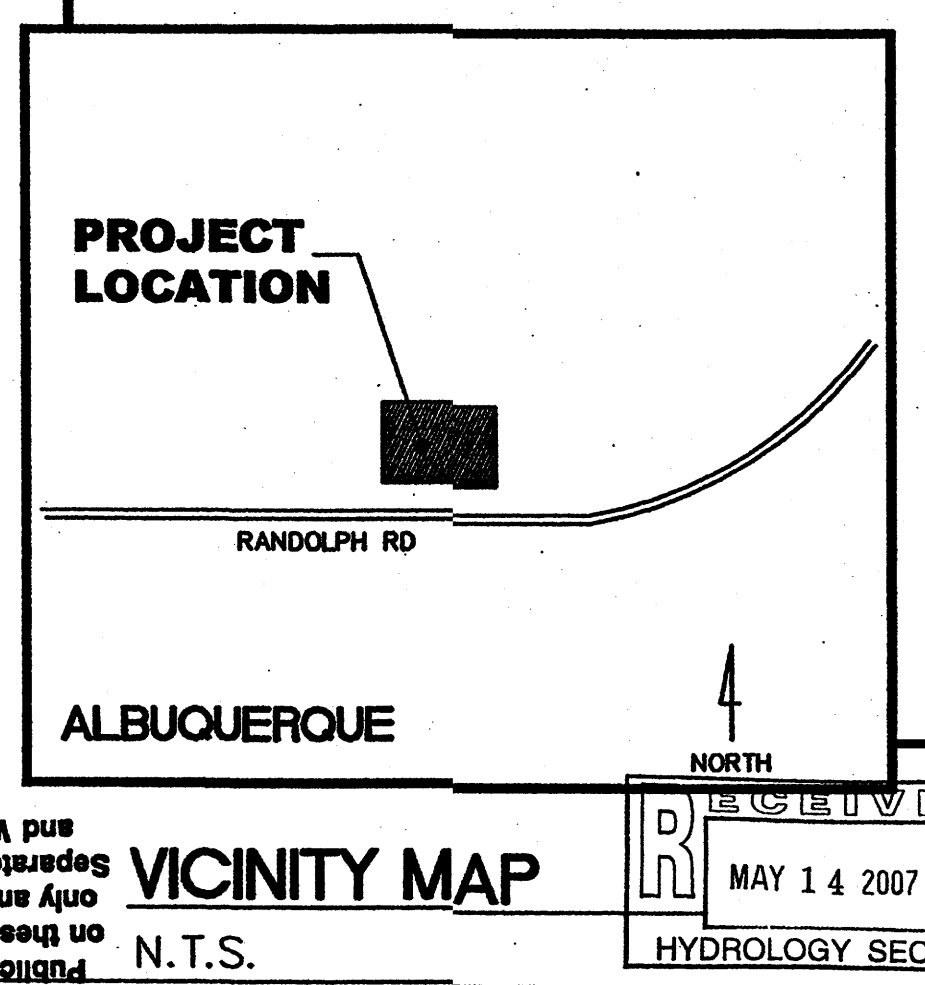
PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.



**KEYED NOTES:**

- 1 NEW 6' SIDEWALK TO COA STANDARDS, 2415A STD DWG
- 2 NEW CONCRETE CURB & GUTTER
- 3 WROUGHT IRON FENCING
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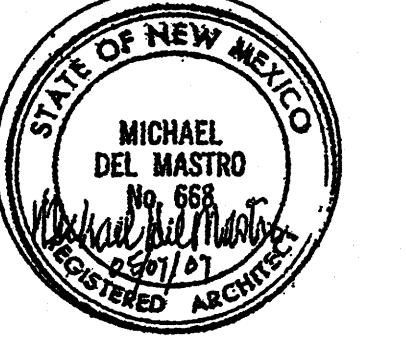
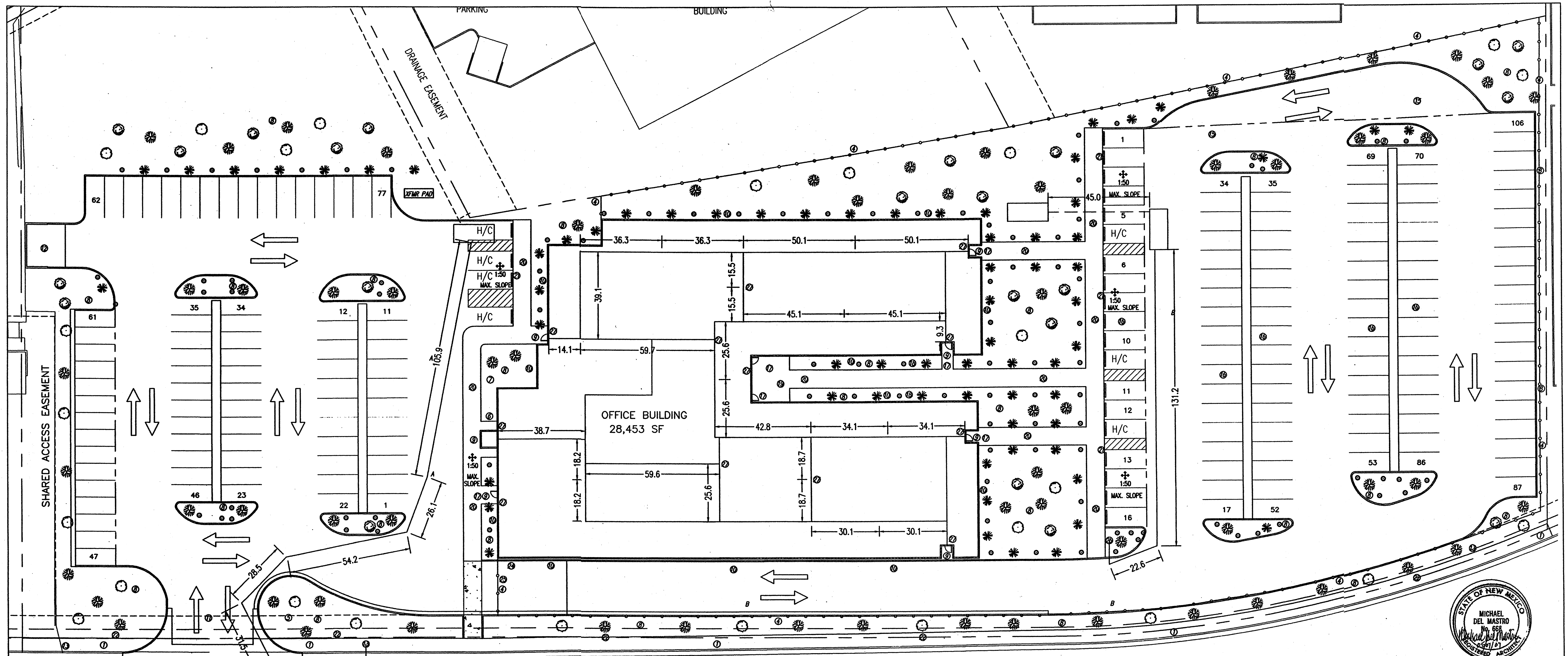
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- 20 NEW 8' SIDE WALK
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- 22 SIDEWALK EASEMENT IN ON REPLAT SUBMISSION.
- 23 TEXTURED & COLORED CONCRETE ADA COMPLIANT CROSS WALK CONNECTION PER COA CODE.
- 24 TRUNCATED DOME ADA COMPLIANT 24" WIDE TACTILE PATTERN OF RAISED TRUNCATED DOMES
- 25 ADA SIDEWALK RAMP PER COA STANDARD 2426



Project Name  
**RANDOLPH BUILDING**  
 BERNALILLO COUNTY  
 ALBUQUERQUE, NEW MEXICO

SHEET NO.  
**TCL**





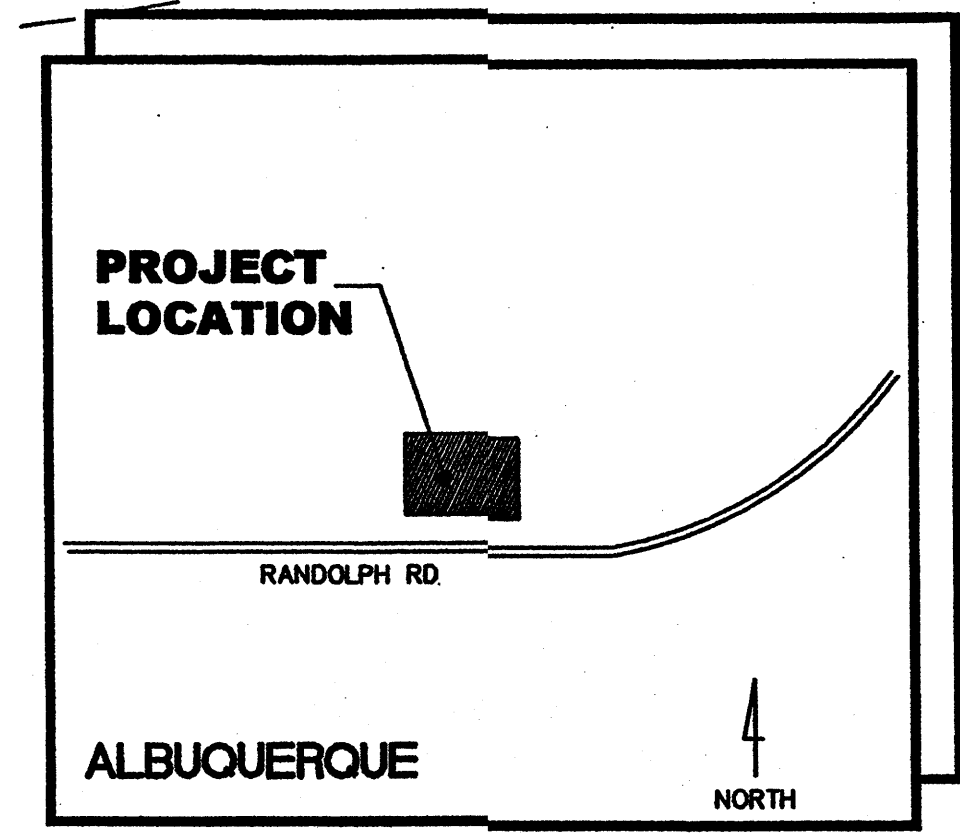
**RANDOLPH RD FIRE PROTECTION LAYOUT** 68' RIGHT OF WAY  
SCALE: 1:20

**TRUCK ROUTE LENGTH**

LINE A = 287.2 FT  
 LINE B = 153.8 FT  
 = 198.8 FT

**KEYED NOTES:**

- |  |   |   |
|--|---|---|
| <ul style="list-style-type: none"> <li>① NEW 6' SIDEWALK TO COA STANDARDS, 2415A STD DWG</li> <li>② NEW CONCRETE CURB &amp; GUTTER</li> <li>③ WROUGHT IRON FENCING</li> <li>④ 6' HIGH SECURITY FENCE WITH MOTORIZED GATE / WROUGHT IRON</li> <li>⑤ AGENCY SIGNS, DETAIL TO BE SUBMITTED TO THE CITY FOR APPROVAL, DOUBLE SIGNAGE, REQUIRE SEPARATE PERMIT</li> <li>⑥ DROP BOX, TRASH RECEPTACLE &amp; CIGARETTE DISPOSAL CONTAINER LOCATION TBD</li> <li>⑦ FLAG POLE, IF DESIRED</li> <li>⑧ LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM</li> <li>⑨ SECURITY LIGHTING AT ALL ENTRANCES</li> <li>⑩ EXTERIOR BUILDING LIGHTING PER CITY OF ALBUQUERQUE, NIGHT SKY PROTECTION ACT LIGHTING CODE, OPERATED BY PHOTO CELL</li> </ul> | <ul style="list-style-type: none"> <li>⑪ DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS, 2426 STD DWG</li> <li>⑫ DUMPSTER ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS</li> <li>⑬ EXISTING FIRE HYDRANTS</li> <li>⑭ 28,731 SQ. FT., STUCCO BUILDING WITH NATURAL ROCK VENEER WITH A MAXIMUM PARAPET HEIGHT OF 16 FT. NO OUTSIDE STORAGE AND NO CHAIN LINK FENCING.</li> <li>⑮ TURNING RADIUS FOR FIRE TRUCKS</li> <li>⑯ COVERED EMPLOYEE PARKING WITH LIGHTING</li> <li>⑰ CYPHER LOCK ON ENTRANCE</li> <li>⑱ OASIS AREA FOR EMPLOYEES</li> <li>⑲ EMPLOYEE PATIO WITH COVER, PATIO FURNITURE, TRASH RECEPTACLES &amp; CIGARETTE DISPOSAL CONTAINER.</li> <li>⑳ NEW 8' SIDE WALK</li> <li>㉑ ASPHALT FLUSH WITH SIDEWALK, ADJACENT TO ASPHALT AND SIDEWALK SLOPE IS NOT GREATER THEN 1:50 IN ALL DIRECTIONS.</li> <li>㉒ SIDEWALK EASEMENT IN ON REPLAT SUBMISSION.</li> </ul> | <ul style="list-style-type: none"> <li>㉓ TEXTURED &amp; COLORED CONCRETE ADA COMPLIANT CROSS WALK CONNECTION PER COA CODE.</li> <li>㉔ 12" HIGH ADDRESS NUMBERS PER COA FIRE DEPARTMENT STANDARDS</li> <li>㉕ KNOX BOX FOR COA FIRE DEPARTMENT</li> <li>㉖ PURPOSED FIRE HYDRANT</li> <li>㉗ FIRE EXTINGUISHER LOCATIONS</li> </ul> |
|--|---|---|



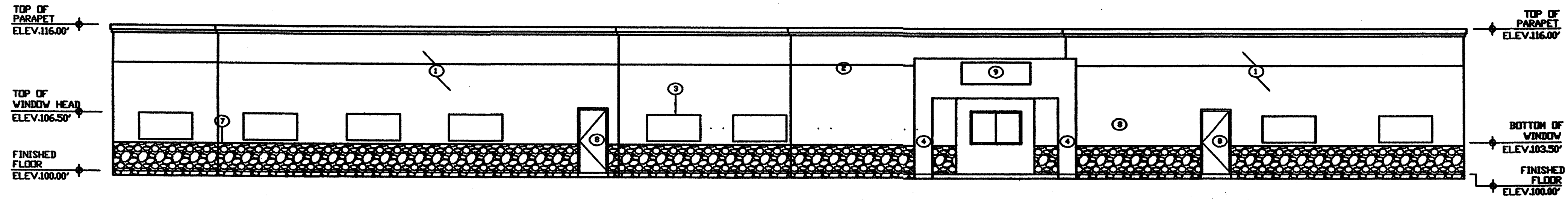
Albuquerque Building & Safety  
 Building & Safety  
 MAY 14 2007  
 I.B.C.  
 Plan Check Section  
 Plan Check Section

**VICINITY MAP**  
 N.T.S.

Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
 ALBUQUERQUE, NEW MEXICO

SHEET NO.  
**FPL**

*Handwritten signature and date:*  
 5/14/07

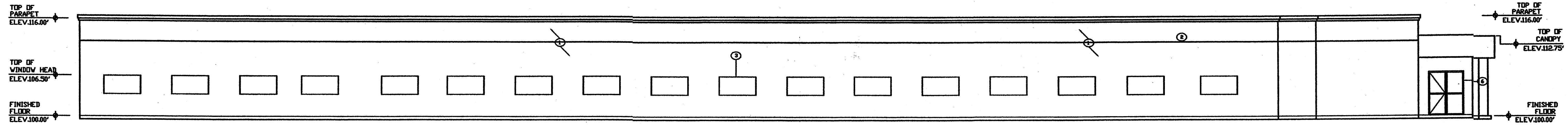


WEST ELEVATION

Scale 1/8"=1'-0"

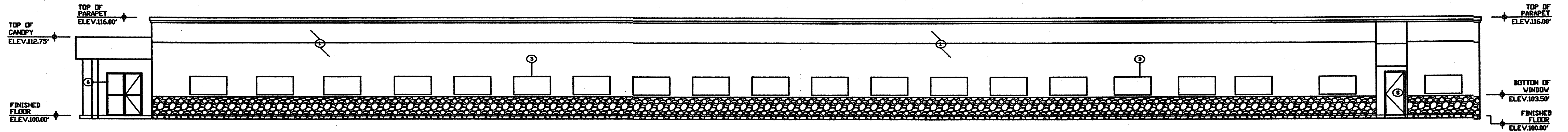
KEYED NOTES

- ① 2 COAT STUCCO SYSTEM
- ② EXPANSION JOINT, STUCCO THICKNESS
- ③ DOUBLE PANE GLAZING ALUMINUM FRAME WINDOW
- ④ 2' SQ. COLUMN
- ⑤ HOLLOW METAL DOOR
- ⑥ 3 SETS OF ALUMINUM STORE FRONT AUTOMATIC SLIDING
- ⑦ STONE FACE
- ⑧ SINGLE ALUMINUM STORE FRONT DOOR
- ⑨ AGENCY SIGNAGE, TBD



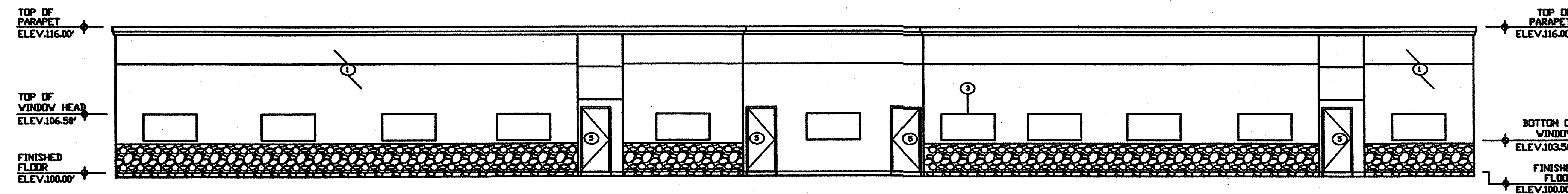
NORTH ELEVATION

Scale 1/8"=1'-0"



SOUTH ELEVATION

Scale 1/8"=1'-0"



EAST ELEVATION

Scale 1/8"=1'-0"

Albuquerque  
Building & Safety  
APR 3 0 2007  
I.B.C.  
Plan Check Section



JOB NO:	
DATE:	01 MARCH 2007
REVISIONS	

Sheet Title  
**ELEVATIONS**  
Drawn By: PESUKUJI, S.A.  
Checked By: T. OTT

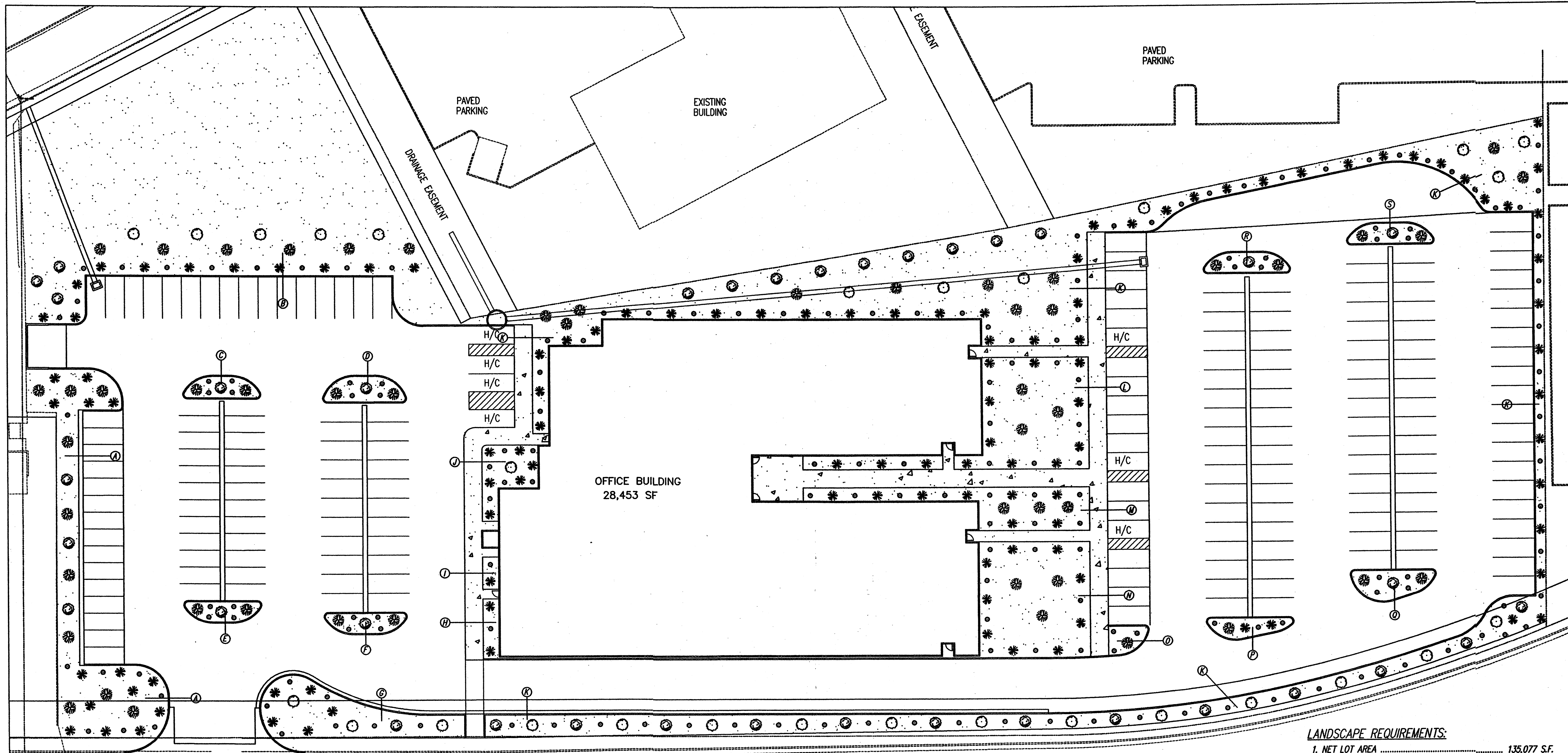
TIM OTT / DEVELOPER  
5620 VENICE AVE NE, SUITE G  
ALBUQUERQUE, N.M. 87113  
(505) 250-4875

MICHAEL DEL MASTRO / ARCHITECT  
7308 DELWOOD RD. NE / (505) 883-4828  
ALBUQUERQUE, NEW MEXICO 87110

Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
ALBUQUERQUE, NEW MEXICO

SHEET NO.  
**A-8**





JOB NO.	01 MARCH 2007
DATE	01 MARCH 2007
REVISIONS	

Sheet Title  
**LANDSCAPING PLAN**  
 Drawn By: FESILMAD, S.A. Checked By: T. OTT

TIM OTT / DEVELOPER  
 5620 VENCE AVE NE, SUITE G  
 ALBUQUERQUE, N.M. 87113  
 (505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT  
 7308 DELWOOD RD. NE / (505) 885-4929  
 ALBUQUERQUE, NEW MEXICO 87110

Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
 ALBUQUERQUE, NEW MEXICO

SHEET NO.  
 1-1

**GENERAL NOTES:**

- ALL LANDSCAPING WILL BE COMPLETED WITHIN 60 DAYS OF BUILDING OCCUPANCY.
- THE LANDSCAPE CONTRACTOR SHALL DESIGN AND CONSTRUCT ANY IRRIGATION SYSTEM WHICH SHALL INCLUDE SPRINKLERS, PIPING, CONTROLS, EQUIPMENT AND LABOR NECESSARY FOR A COMPLETE SYSTEM. SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO FIELD VERIFY THE EXACT LOCATIONS OF ALL ON-SITE UTILITIES, TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3 FEET FROM UTILITY LINES.
- MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE OWNER.
- 3/4" CRUSHER GRAY GRAVEL WITH FILTER FABRIC.
- WASTE WATER WILL BE USED IN PONDING AREAS TO IRRIGATE LANDSCAPING IN THOSE AREAS.
- IRRIGATION SYSTEMS SHALL BE DESIGNED TO COMPLY WITH THE PROVISIONS OF THE VILLAGE OF RIO RANCHO.

**SITE PLAN**  
 SCALE 1/32"=1'

**GENERAL LANDSCAPE DATA:**

- TOTAL SITE AREA ..... 163,530 S.F.
- TOTAL BUILDING AREA ..... 28,453 S.F.
- NET LOT AREA ..... 135,077 S.F.

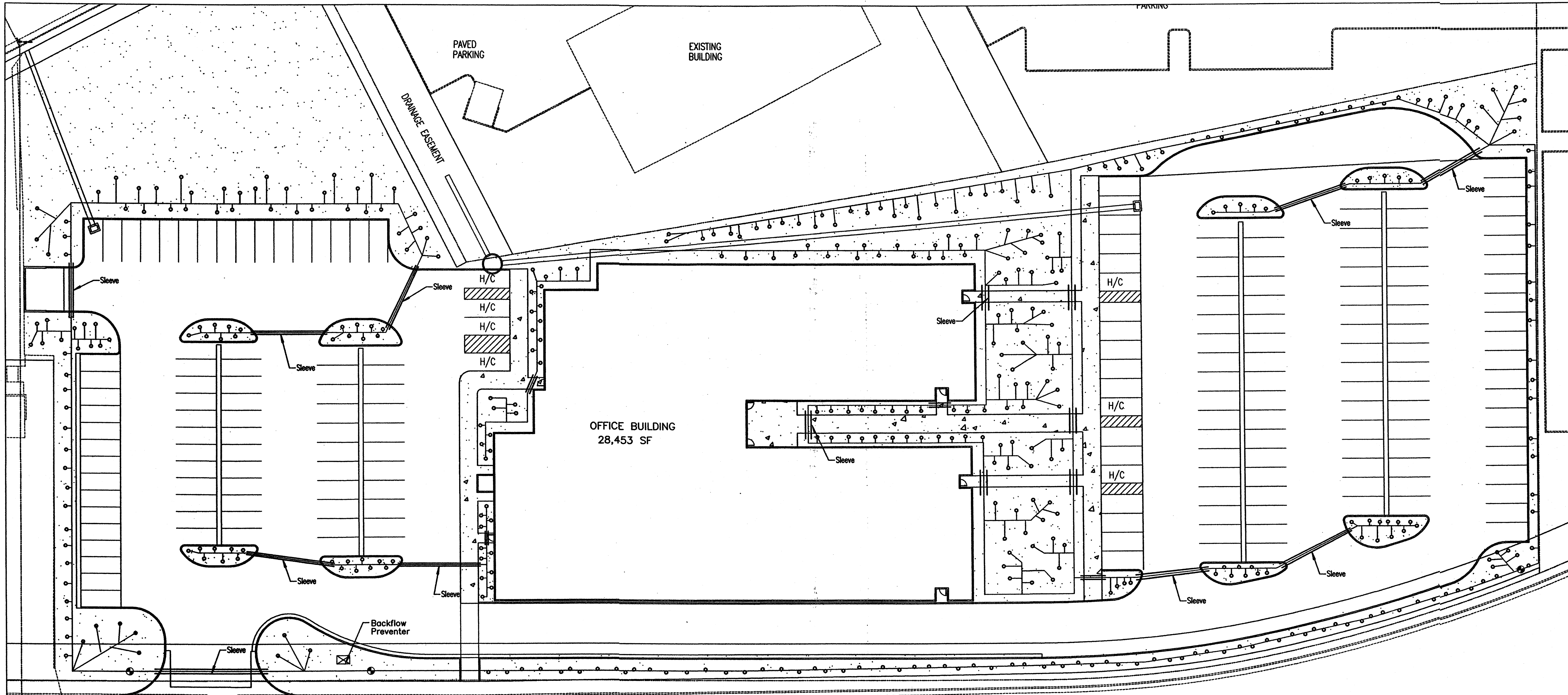
**LANDSCAPE REQUIREMENTS:**

- NET LOT AREA ..... 135,077 S.F.
  - LANDSCAPE AREA REQUIRED  
 NET LOT AREA X 15 % ..... 20,261 S.F.
  - LANDSCAPE AREAS PROVIDED
 

AREA A	3,406 S.F.
AREA B	16,607 S.F.
AREA C	266 S.F.
AREA D	341 S.F.
AREA E	250 S.F.
AREA F	270 S.F.
AREA G	Albuquerque Building & Safety 1,470 S.F.
AREA H	189 S.F.
AREA I	APR 3 '0 2007 102 S.F.
AREA J	I.B.C. 581 S.F.
AREA K	Plan Check Section 15,136 S.F.
AREA L	2,436 S.F.
AREA M	1,419 S.F.
AREA N	2,554 S.F.
AREA O	184 S.F.
AREA P	264 S.F.
AREA Q	384 S.F.
AREA R	289 S.F.
AREA S	289 S.F.
- TOTAL LANDSCAPE AREA PROVIDED ..... 46,440 S.F.
- IRRIGATION SYSTEM ..... LAYOUT BY LANDSCAPE CONTRACTOR
  - LOW FLOW DRIP SYSTEM
  - BUBBLER SYSTEM

PLANTING LEGEND					
Common Name	Scientific Name	Size	Mature height and spread	Symbol	Water usage
Desert Willow	(52) <i>Chilopsis Linearis</i>	3" Caliper @ 6" above ground	20' tall 25' spread		Low
Pinon Pine	(28) <i>Pinus Edulis</i>	3" Caliper @ 6" above ground	20' tall 30' spread		Medium
Chinese Pistache	(36) <i>Pistachia Chinensis</i>	3" Caliper @ 6" above ground	60' tall 60' spread		Medium
"ARP" Upright Rosemary	(117) <i>Rosmarinus Officinalis "ARP"</i>	Five gallon	6' tall 6' spread		Low
Autumn Sage	(167) <i>Salvia Greggii</i>	Five gallon	36" tall 36" spread		Low
Big Sage	(0) <i>Artemisia Tridentata</i>	Five gallon	3'-7" tall 3'-5" spread		Low





JOB NO:  
DATE: 16 MARCH 2007  
REVISIONS

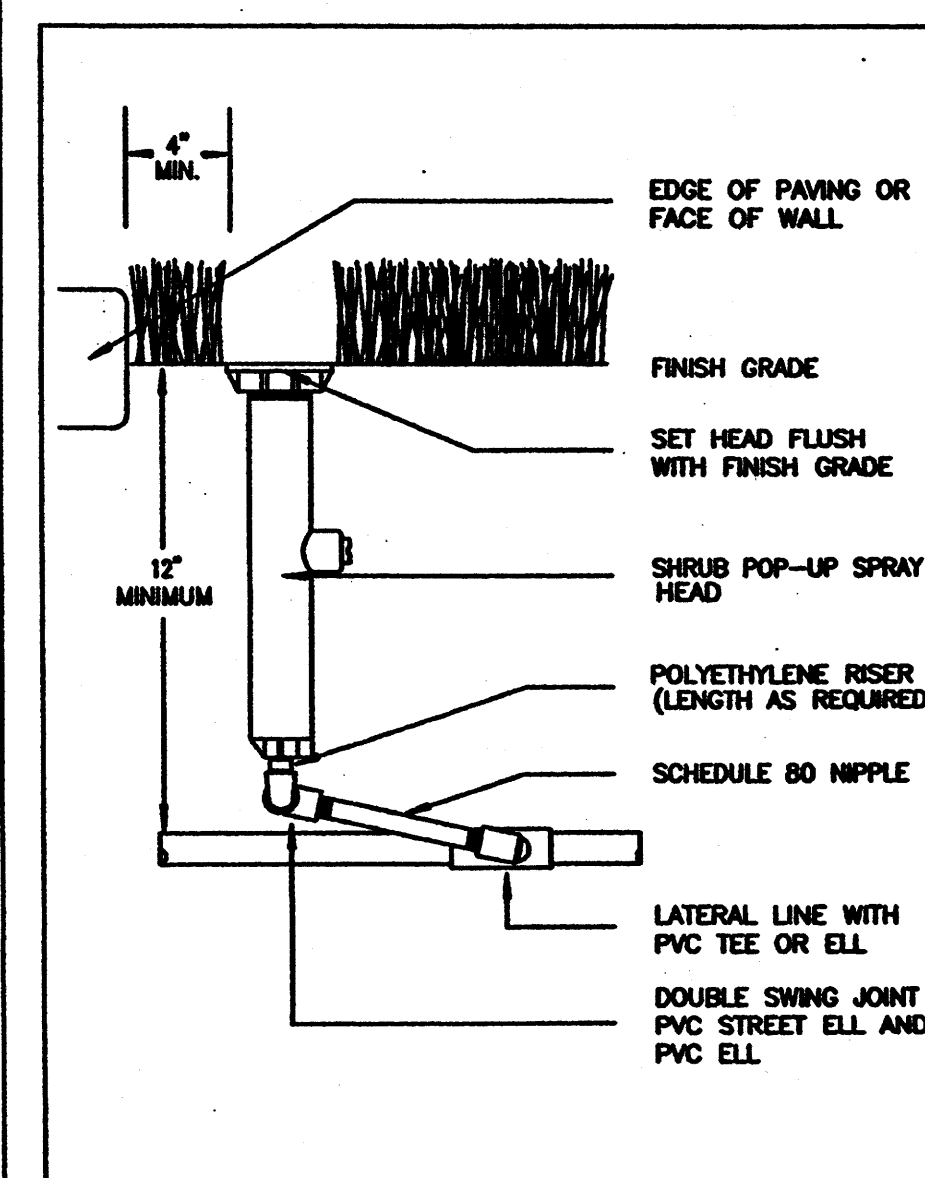
Sheet Title  
**IRRIGATION PLAN**  
Drawn By: PESUMA, SA  
Checked By: I. OTT

TIM OTT / DEVELOPER  
5620 VENICE AVE. NE, SUITE G  
ALBUQUERQUE, N.M. 87113  
(505) 250-4675

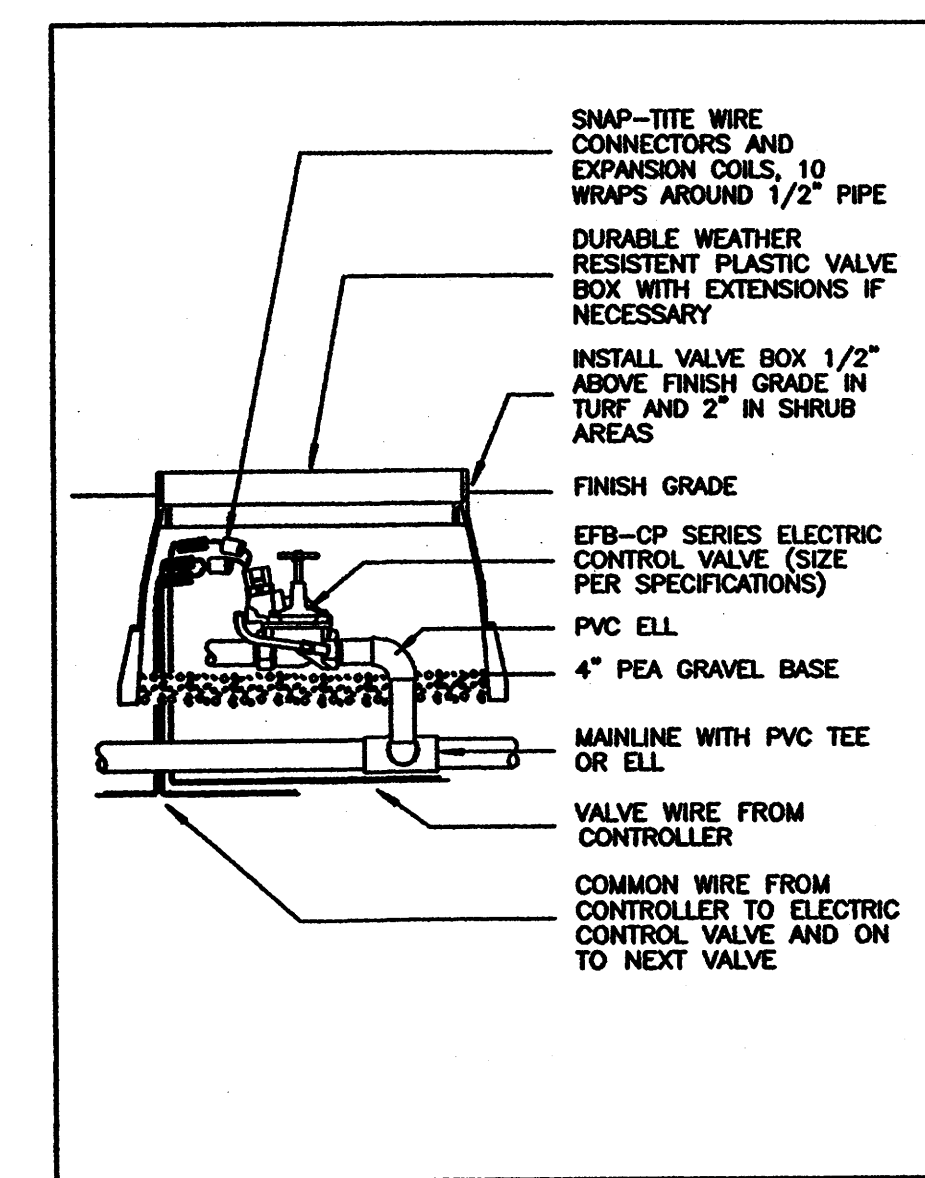
MICHAEL DEL MASTRO / ARCHITECT  
7308 DELWOOD RD. NE / (505) 953-4929  
ALBUQUERQUE, NEW MEXICO 87110

### IRRIGATION PLAN

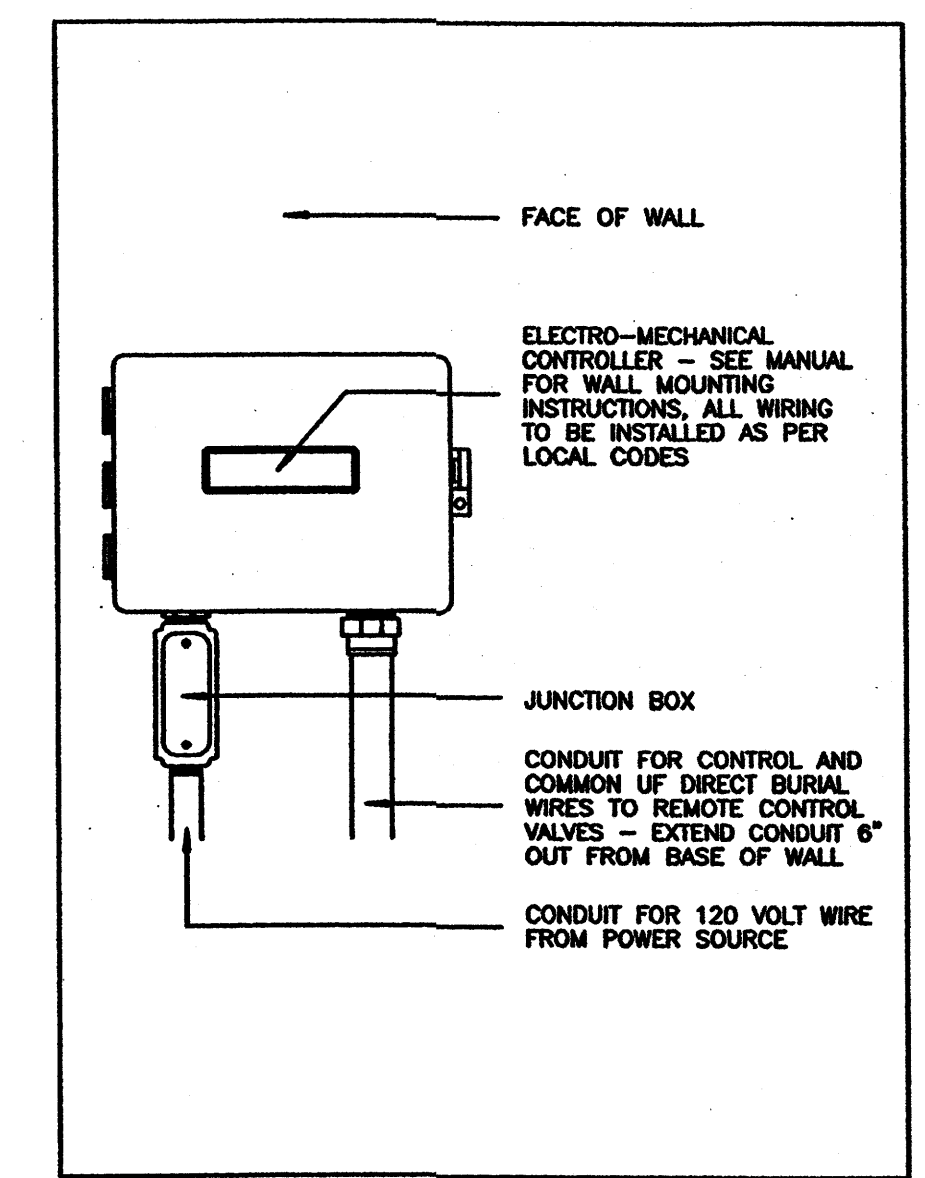
SCALE 1/32"=1'



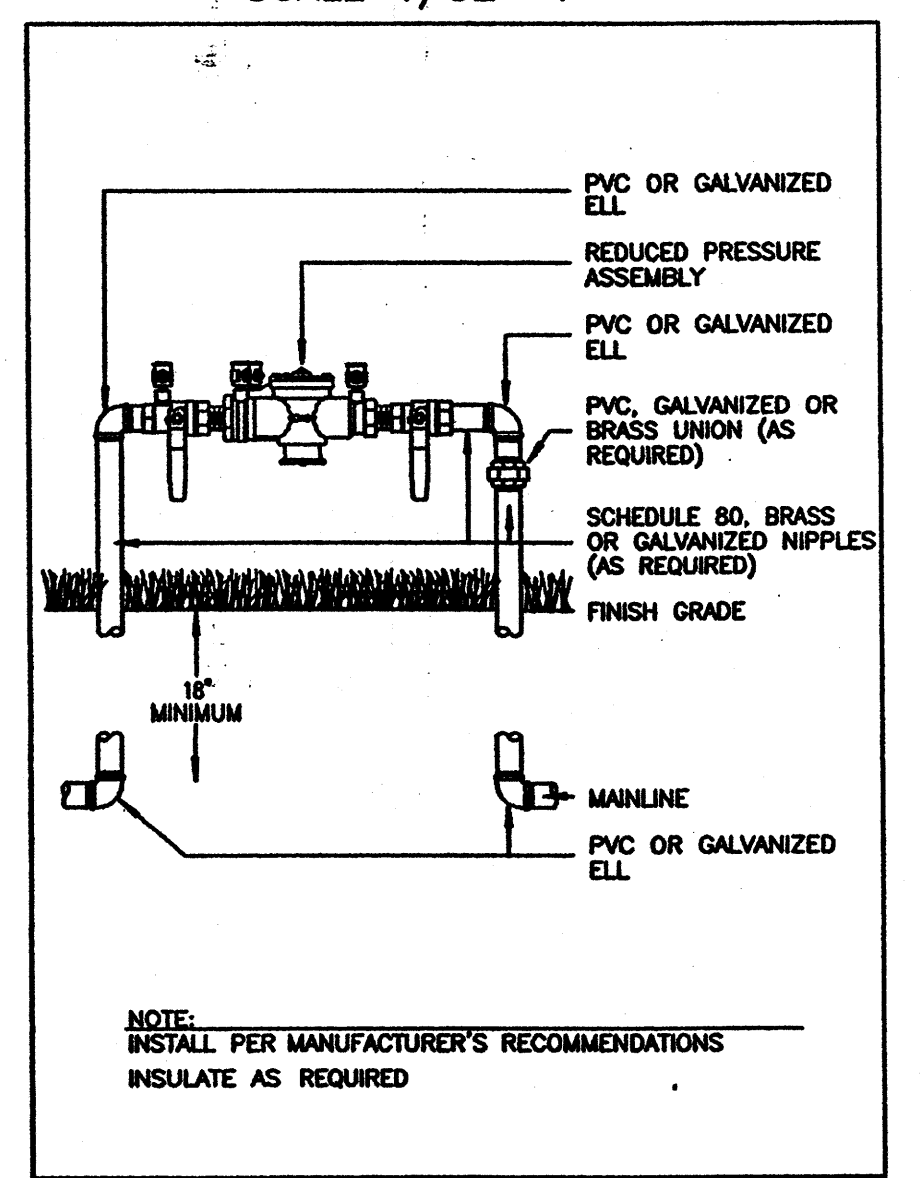
SHRUB HEAD POP-UP



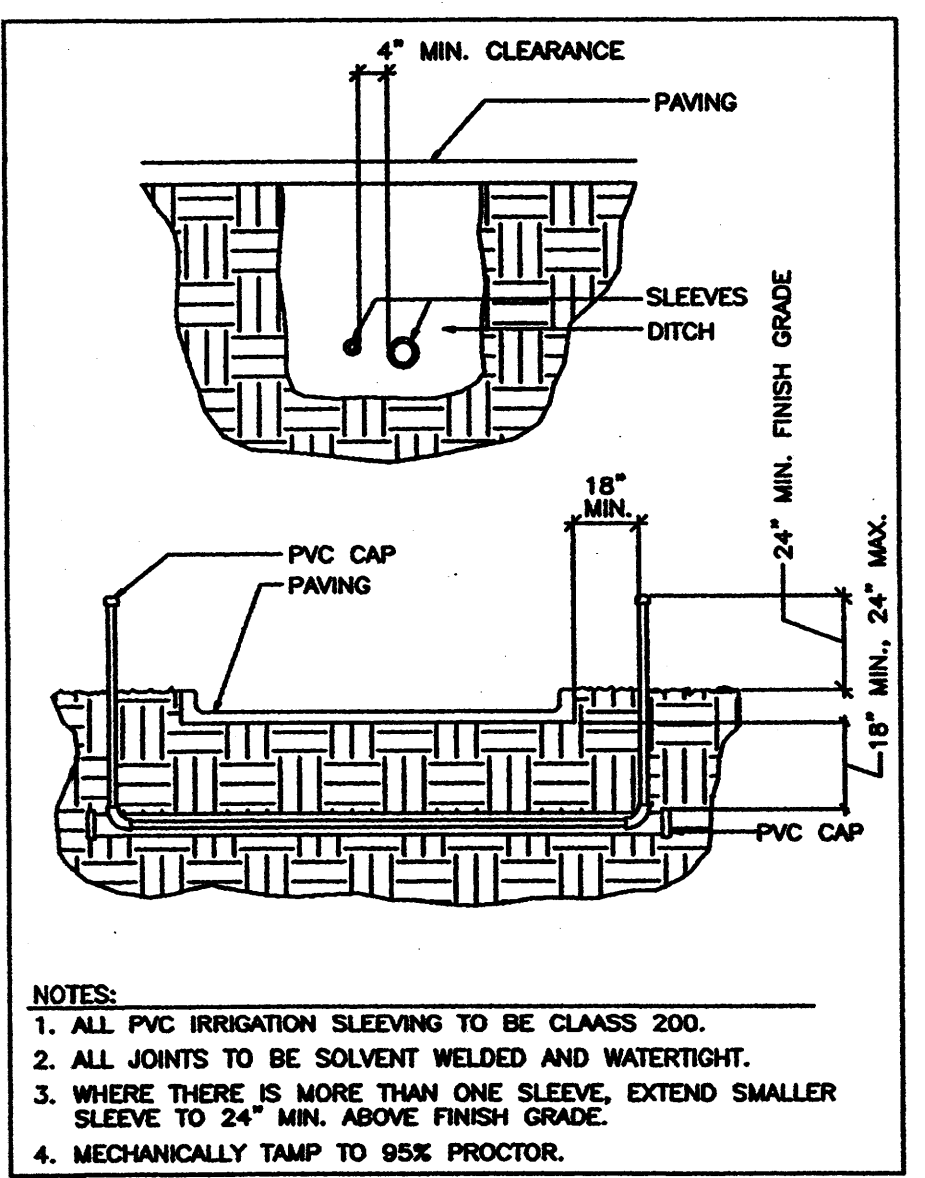
EFB-CP CONTROL VALVE



CONTROLLER - WALL MOUNT



REDUCED PRESSURE & BACKFLOW PREVENTER ASSEMBLY



IRRIGATION SLEEVING

#### LEGEND

- Rainbird 1 1/2" PEB Series Control Valve
  - Drip Emitter, Approximate Location
  - ⊠ 1 1/2" Reduced Pressure Assembly in Hot Box
  - ▽ Rainbird Controller Wall Mount
- Albuquerque Building & Safety  
APR 30 2007  
I.B.C.  
Plan Check Section

#### GENERAL NOTES

- A The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction.
- B Locate all emitters away from low spots or areas of drainage flow.
- C 24V Electric control wire (#14C) and Common Ground (#12C) shall be direct burial, color coded, and all splices/connections shall be waterproofed. Provide expansion coils at all valves and 200' on center Maximum.
- D All pipe/wiring running beneath paved surfaces (drives, walks, etc.) shall be installed in Class 160 PVC sleeves. Sleeves shall be sized so that the inside diameter of the sleeve is 1" greater than the combined outer diameter of all items installed in the sleeve.
- E The contractor shall fine tune and adjust the irrigation system so that no water will run onto the street, walks or hit any buildings, walls, etc. This shall include adjusting all emitters.

Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
ALBUQUERQUE, NEW MEXICO

SHEET NO.  
**L-2**



KEYED NOTES

- SIDEWALK. SEE DETAIL SHEET C2.
- TURNDOWN SIDEWALK. SEE DETAIL SHEET C2.
- HEADER CURB. SEE DETAIL SHEET C2.
- CURB AND GUTTER. SEE DETAIL SHEET C2.
- ASPHALT SWALE.
- ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C2.
- ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET C2.
- 40 FOOT WIDE PRIVATE ENTRANCE. SEE CITY OF ALBUQUERQUE (COA) STD. DWG. 2428 WITH UNILATERAL HC RAMPS.
- EARTH SWALE.
- 12" SIDEWALK OPENING TO PROVIDE DRAINAGE.
- 18" SIDEWALK OPENING TO PROVIDE DRAINAGE.
- 2-3" PVC PIPES UNDER SIDEWALK. THICKEN SIDEWALK TO 8" INCHES AT 6 INCHES EACH SIDE OF PIPES. SET PIPES AT 9 INCHES CENTER TO CENTER. GRADE LANDSCAPE AREA TO DRAIN TO AND FROM PIPES.
- 2- 24" WIDE SIDEWALK CULVERTS. SEE CITY OF ALBUQUERQUE STD. DWG. 2236. SLOPE 2%.
- RETAINING WALL. TOP OF CURVED WALL 18" ABOVE WALK, REMAINDER 6" ABOVE ADJACENT HIGH GRADE.
- REFUSE ENCLOSURE. (NOTE: REFUSE ENCLOSURE DRAINAGE SHALL BE CAPTURED AND ROUTED TO SANITARY SEWER VIA 64 SQ. IN. AREA DRAIN AND 3" PVC OUTLET PIPE)

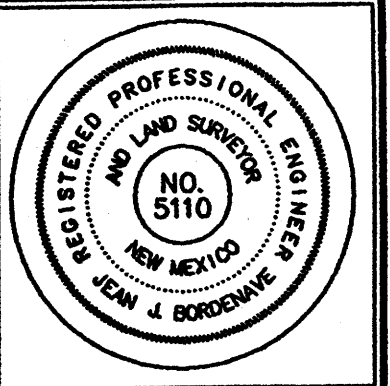
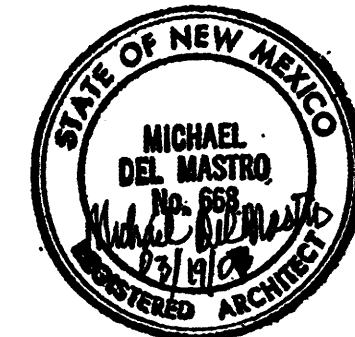
- TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 61.37, INVERT 58.37
- 18" HDPE STORM DRAIN AT APPROX. XXX.
- 18" HDPE STORM DRAIN AT APPROX. XXX. ADJUST GRADE TO MATCH EXISTING ELEVATION AT OUTLET.
- 4' DIAM. TYPE 'E' MANHOLE PER COA STD. DET. 2102. INLET INV. X, OUTLET INV. X, RIM X.
- TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 50.75, INVERT 48.25
- 15" HDPE STORM DRAIN AT APPROX. XXX.
- CONCRETE TRANSITION. SEE DETAIL SHEET C2.
- 64 SQ. IN. AREA DRAIN WITH CONCRETE COLLAR AND 3" PVC OUTLET PIPE TO (17).
- TYPE 'L' RIPRAP OUTLET. SEE DETAIL SHEET C2, OPTION 1 ONLY.

LEGEND

TBM	TEMPORARY BENCHMARK	TC	TOP OF CURB
FF	FINISH FLOOR	TP	TOP OF EARTH PAD
FG	FINISH GRADE	TS	TOP OF SIDEWALK
FL	FLOWLINE	TW	TOP OF WALL
TA	TOP OF ASPHALT	FH	FIRE HYDRANT
TCP	TOP OF CONCRETE	WM	WATER METER
G	EXISTING GROUND	WV	WATER VALVE
		MH	MANHOLE
		CB	CATCH BASIN GRATE
		PP	POWER POLE
		GW	GUY WIRE
		PED	ELEC. OR TEL. PEDESTAL
		RD	ROOF DRAINAGE POINT
			DRAINAGE BASIN BOUNDARY
			EXISTING CONTOUR
			PROPOSED CONTOUR
		XX.XX	EXISTING SPOT ELEVATION
		XX.XX	PROPOSED SPOT ELEVATION
		XX.XX	RECORD SPOT ELEVATION

FEMA FIRM MAP NO. 342

VICINITY MAP NO. M-15



JOB NO:	
DATE:	16 MARCH 2007
REVISIONS:	

Sheet Title  
**GRADING & DRAINAGE PLAN**  
 Drawn By: PESHAWAR, S.A. Checked By: T. OTT

LEGAL DESCRIPTION

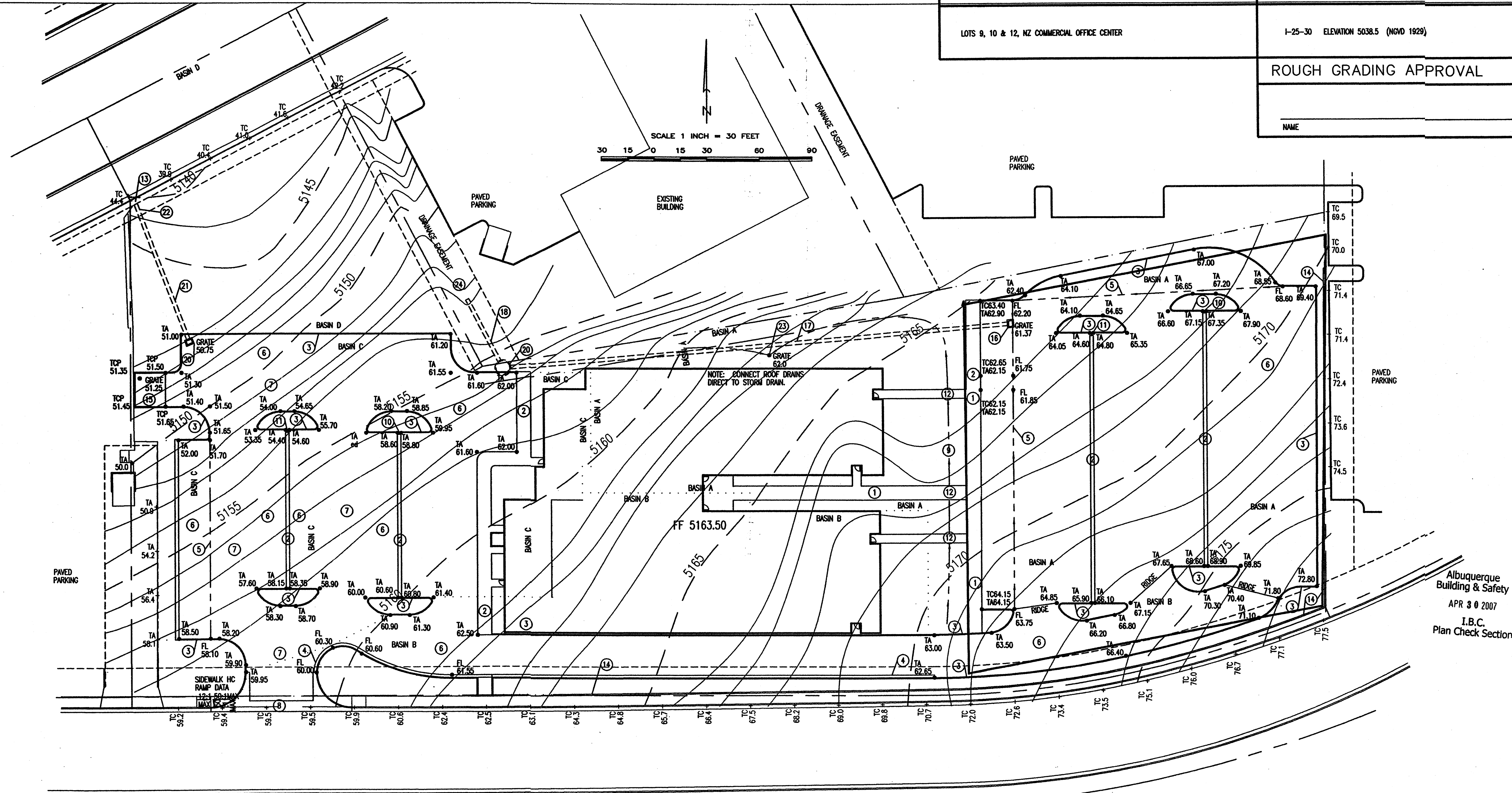
LOTS 9, 10 & 12, NZ COMMERCIAL OFFICE CENTER

PERMANENT BENCHMARK

I-25-30 ELEVATION 5038.5 (NGVD 1929)

ROUGH GRADING APPROVAL

NAME \_\_\_\_\_ DATE \_\_\_\_\_



Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
 ALBUQUERQUE, NEW MEXICO

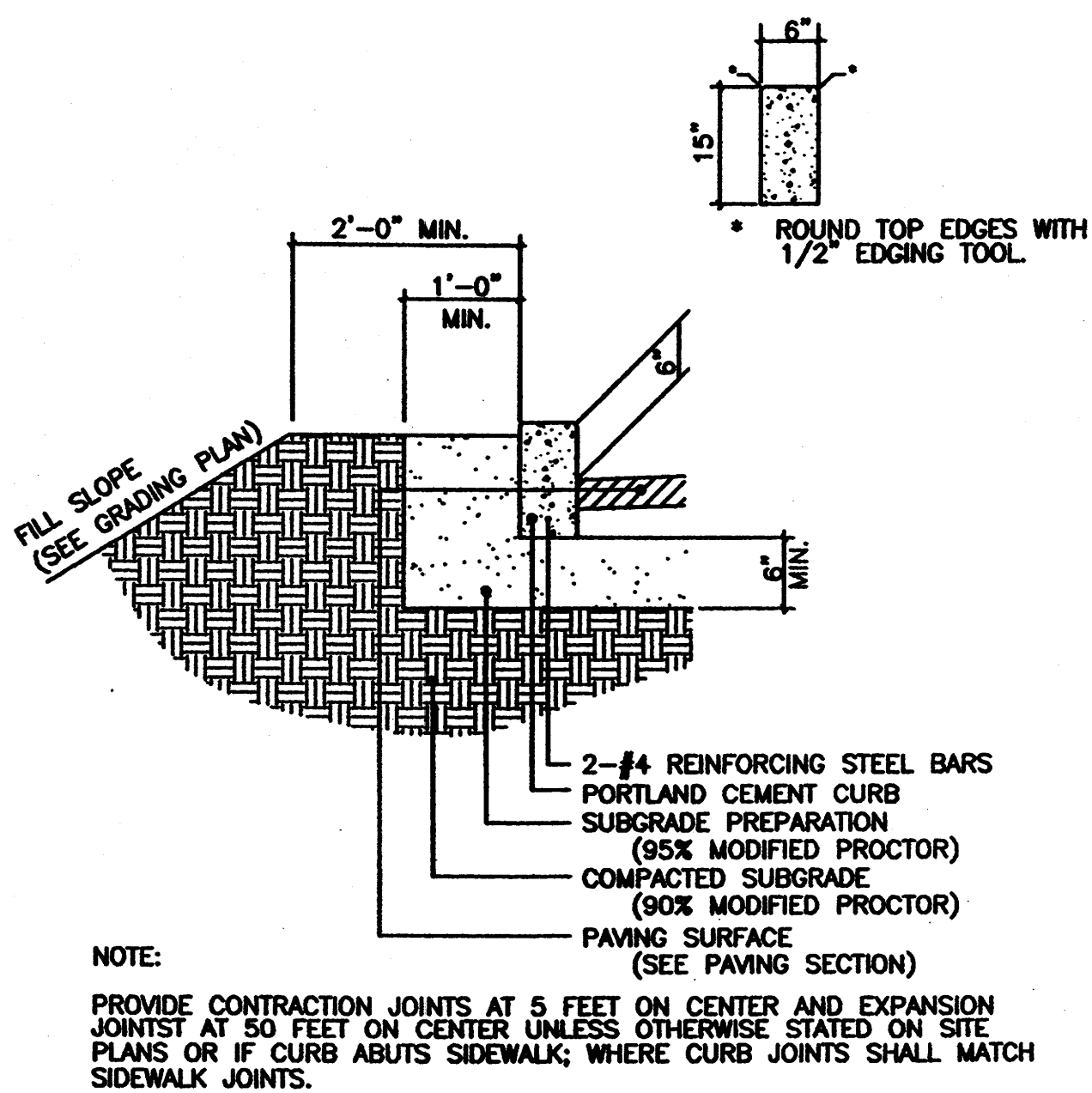
Developer / Developer  
 TIM OTT / DEVELOPER  
 5620 VENICE AVE NE SUITE G  
 ALBUQUERQUE, NM 87113  
 (505) 250-4675

Architect / Architect  
 MICHAEL DEL MASTRO / ARCHITECT  
 7308 DELWOOD RD. NE / (505) 883-4929  
 ALBUQUERQUE, NEW MEXICO 87110

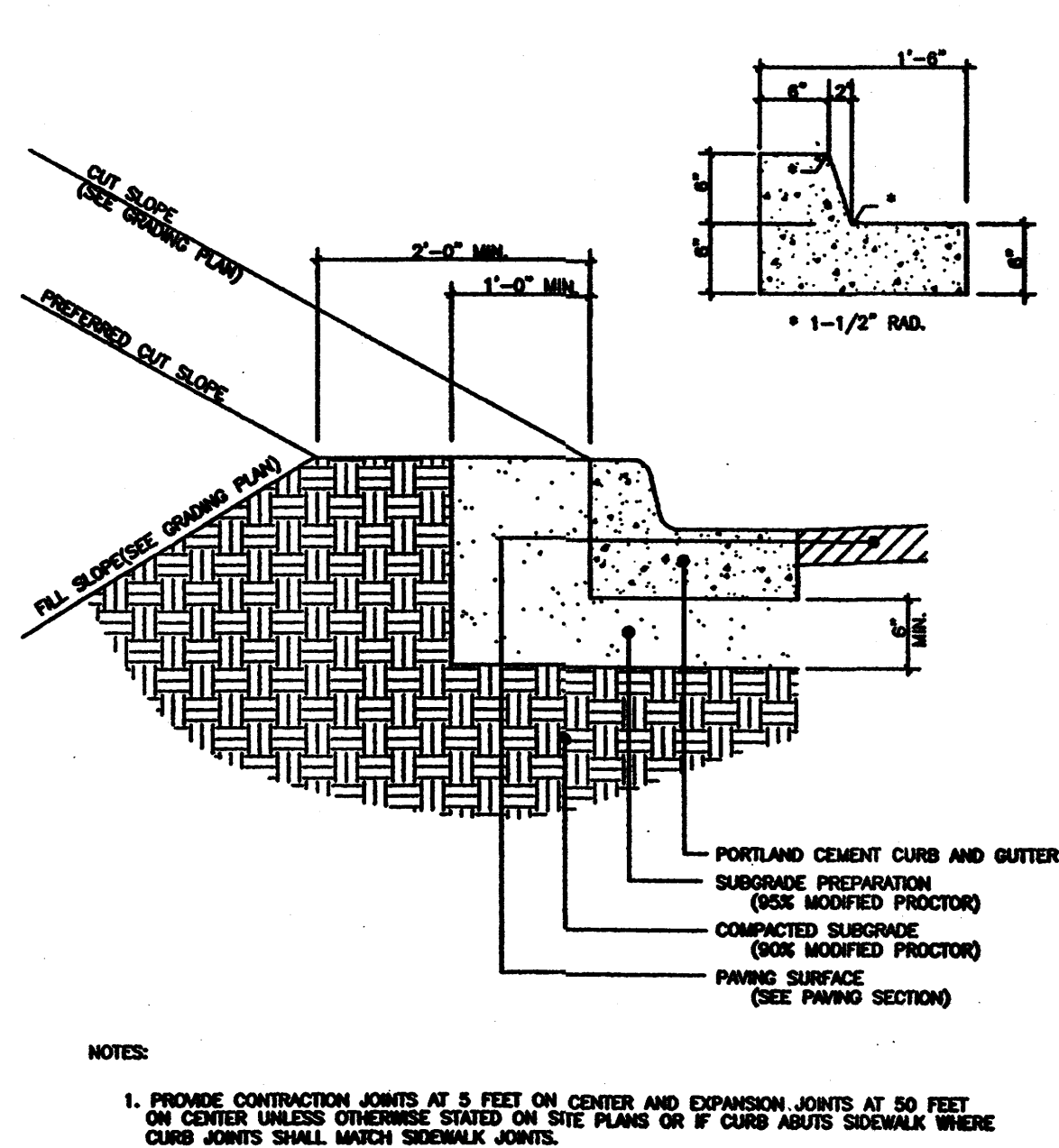
SHEET NO.  
**GD**



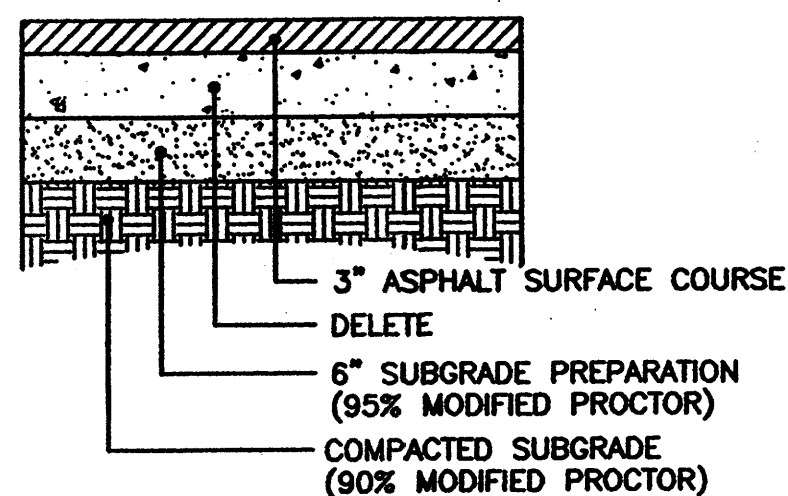
HEADER CURB



CURB AND GUTTER

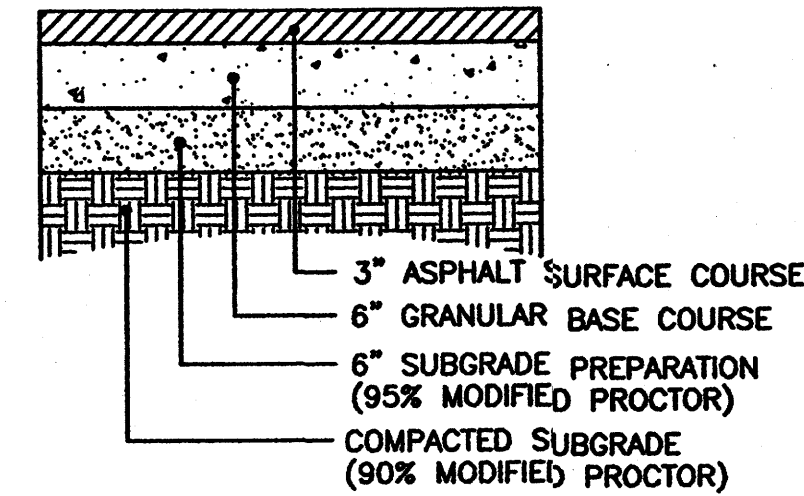


PAVEMENT (LIGHT DUTY)



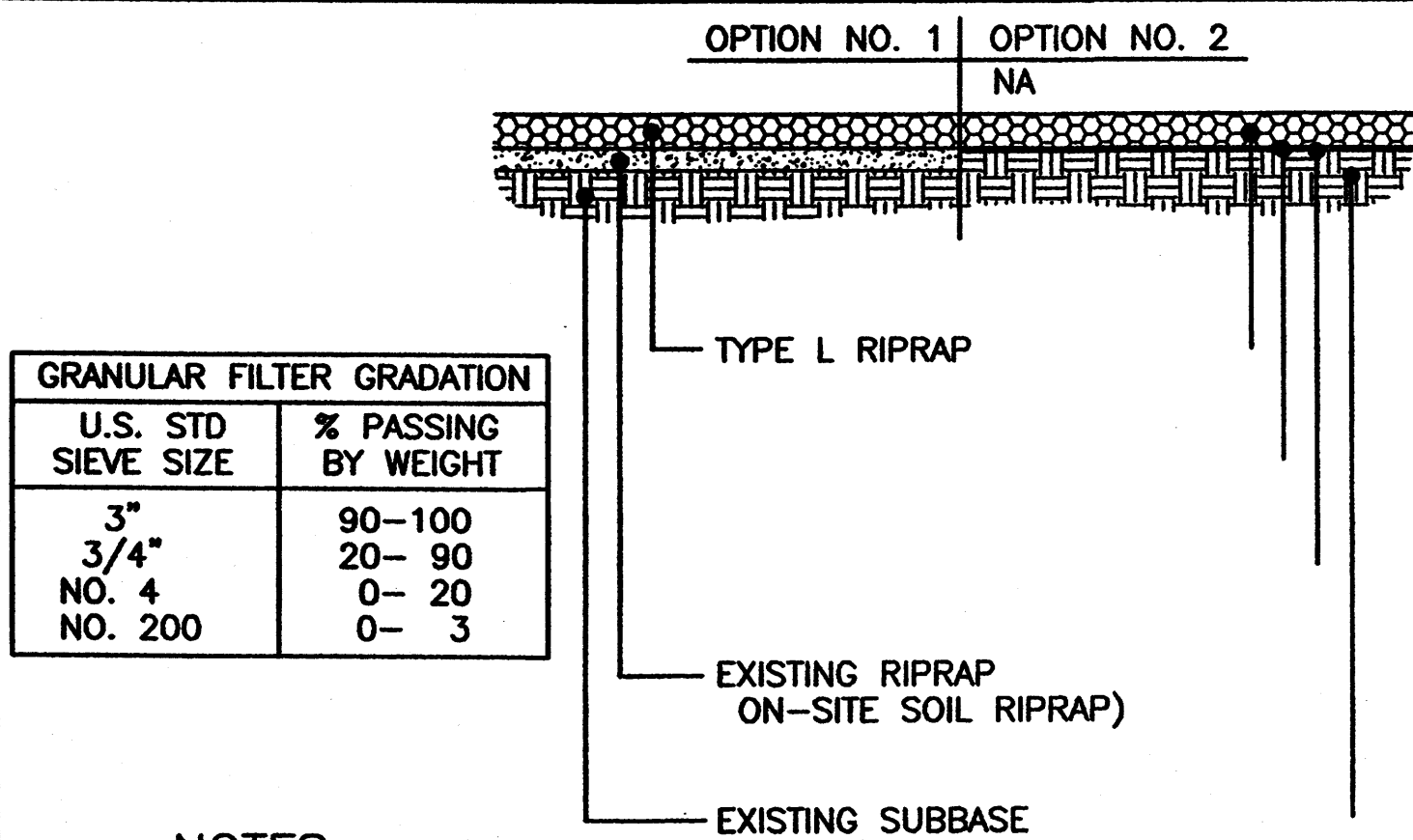
- NOTES:  
1. ASPHALT MIX SHALL USE NMDOT DESIGN w/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.  
2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

PAVEMENT (HEAVY DUTY)



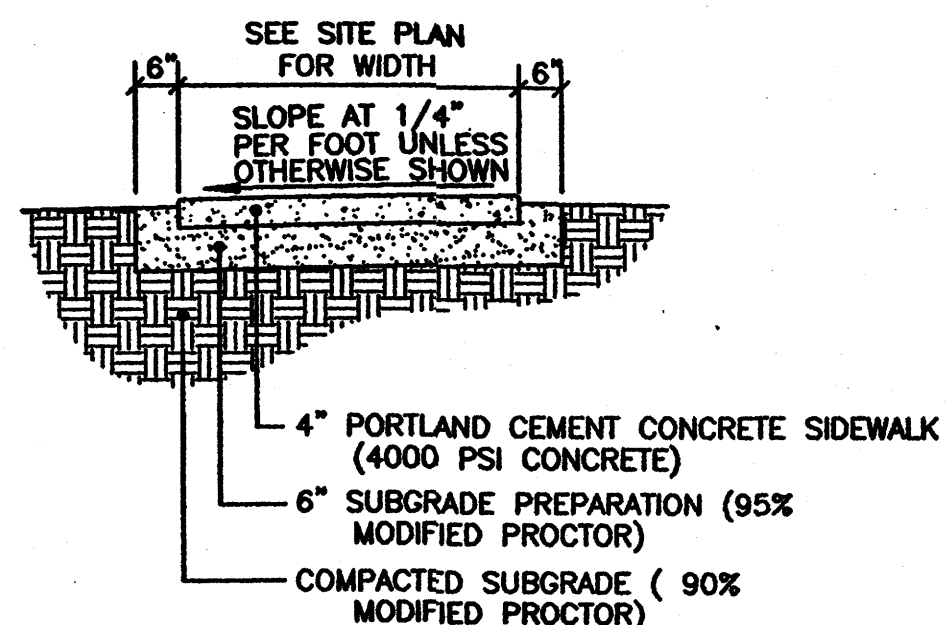
- NOTES:  
1. ASPHALT MIX SHALL USE NMDOT DESIGN w/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.  
2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

EROSION CONTROL PAD

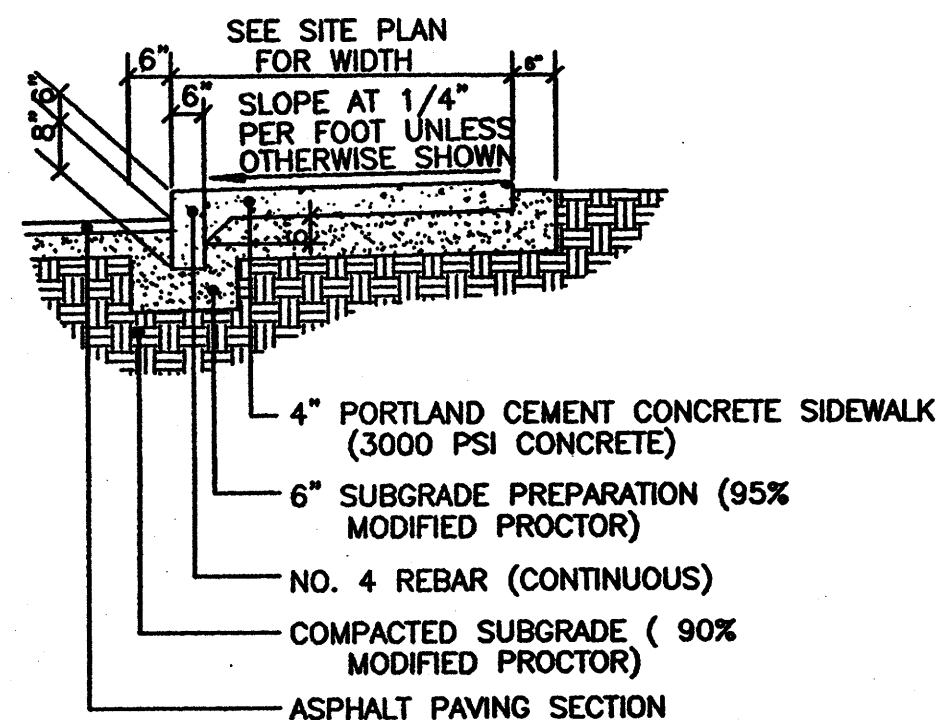


- NOTES:  
1. THE CONTRACTOR MAY SELECT EITHER OPTION NO. 1 OR OPTION NO. 2 UNLESS THE PLANS SPECIFY THE OPTION TO BE USED.  
2. EXTREME CARE SHALL BE EXERCISED TO AVOID PUNCTURING OR TEARING THE FILTER CLOTH.  
3. FILTER CLOTH SEAMS SHALL BE TRANSVERSE TO THE FLOW DIRECTION AND UPSTREAM EDGE SHALL OVERLAP THE DOWNSTREAM EDGE A MINIMUM OF 12 INCHES.

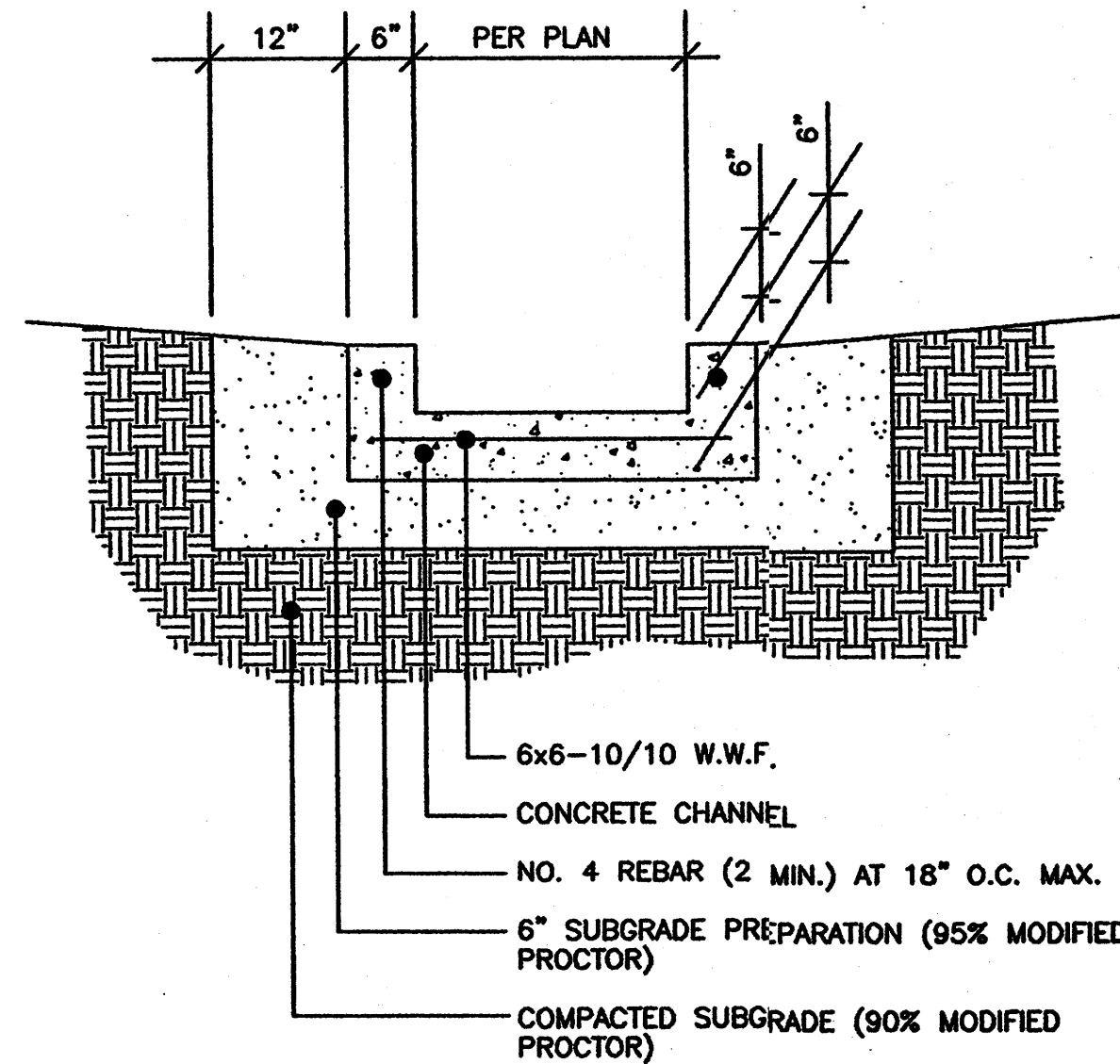
SIDEWALK



TURNDOWN SIDEWALK



CHANNEL

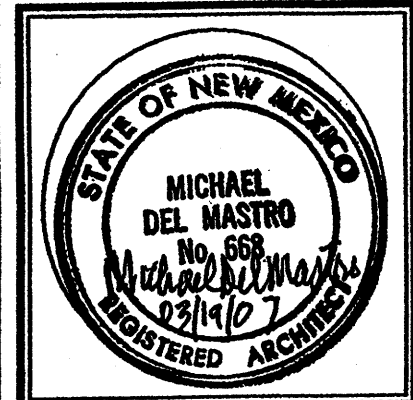


DRAINAGE NOTES

**EXISTING CONDITIONS**  
THE THREE LOTS ON WHICH THE PROPOSED CONSTRUCTION IS TO TAKE PLACE ARE PRESENTLY IN A NATURAL CONDITION. THE AREA DRAINS TO THE NORTHWEST IN AN OVERLAND FLOW CONDITION. A CONCENTRATED FLOW ENTERS THE SITE, FROM RANDOLPH ROAD, NEAR THE SOUTHWEST CORNER OF THE SITE. A CONCRETE CHANNEL ON THE SOUTH SIDE OF RANDOLPH CARRIES A SIGNIFICANT FLOW FROM THE SOUTHWEST TO RANDOLPH WHERE IT CROSSES STREET, JUMPS THE CURB AND ENTERS THE SITE. DRAINAGE FROM THE SITE FLOWS TO THE PRIVATE DRIVE, RANDOLPH COURT, WHERE IT ENTERS THE STREET AND IS DIRECTED TO A STORM DRAIN.

**PROPOSED CONDITION**  
THE SITE IS DIVIDED INTO FOUR BASINS IN WHICH MOST OF THE DRAINAGE WILL CONTINUE TO BE ROUTED TO RANDOLPH COURT VIA EITHER AN EXISTING DRAINAGE EASEMENT OR A NEW STORM DRAIN. A PORTION OF THE DRAINAGE WILL BE ROUTED OUT THE DRIVEWAY TO RANDOLPH ROAD. BASIN A IS COMPOSED OF THE NORTHERLY PORTION OF THE BUILDING AND MOST OF THE EASTERLY PARKING LOT. ITS DRAINAGE WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN AND THE EXISTING DRAINAGE EASEMENT. BASIN B IS COMPOSED OF THE SOUTHERLY PORTION OF THE BUILDING AND THE ENTRANCE DRIVE TO THE EASTERLY PARKING LOT. DRAINAGE FROM THIS BASIN WILL BE ROUTED ON THE SURFACE TO RANDOLPH ROAD. BASIN C IS COMPOSED OF THE WESTERLY PARKING LOT AND WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN AT THE SOUTH END OF THE SITE. AND LAST, BASIN D IS THE UNDEVELOPED PORTION OF THE SITE AND WHICH WILL BE DIRECTED TO RANDOLPH COURT VIA THE STORM DRAIN FOR BASIN C. BASIN B HAS A RETAINING WALL AT ITS SOUTHERLY BOUNDARY THAT PARALLELS RANDOLPH ROAD. THE RETAINING PORTION OF THE WALL WILL VARY FROM 0' TO 5' IN HEIGHT. THIS WALL WILL BE PLACED IMMEDIATELY BEHIND THE SIDEWALK. THE WALL WILL BE 15' ABOVE THE ADJACENT WALK FROM THE EASTERLY END OF THE WALL TO THE POINT OF CURVATURE. FROM THAT POINT TO THE WEST THE WALL WILL BE FLUSH WITH THE GROUND.

**CONCLUSION**  
THIS DESIGN WILL PROVIDE FLOOD PROTECTION TO THE NEW SITE AND IMPROVE DRAINAGE CONDITIONS TO OTHER SITES THAT SURROUND THE NEW SITE. IN ADDITION, THE DESIGN WILL SOLVE THE EXISTING CONDITION OF THE WATER EXITING THE ROAD NEAR ITS EASTERN BOUNDARY.



JOB NO:  
DATE: 16 MARCH 2007  
REVISIONS

Sheet Title  
**GRADING & DRAINAGE DETAILS**  
Drawn By: PESHAWAL, SA  
Checked By: T. OTT

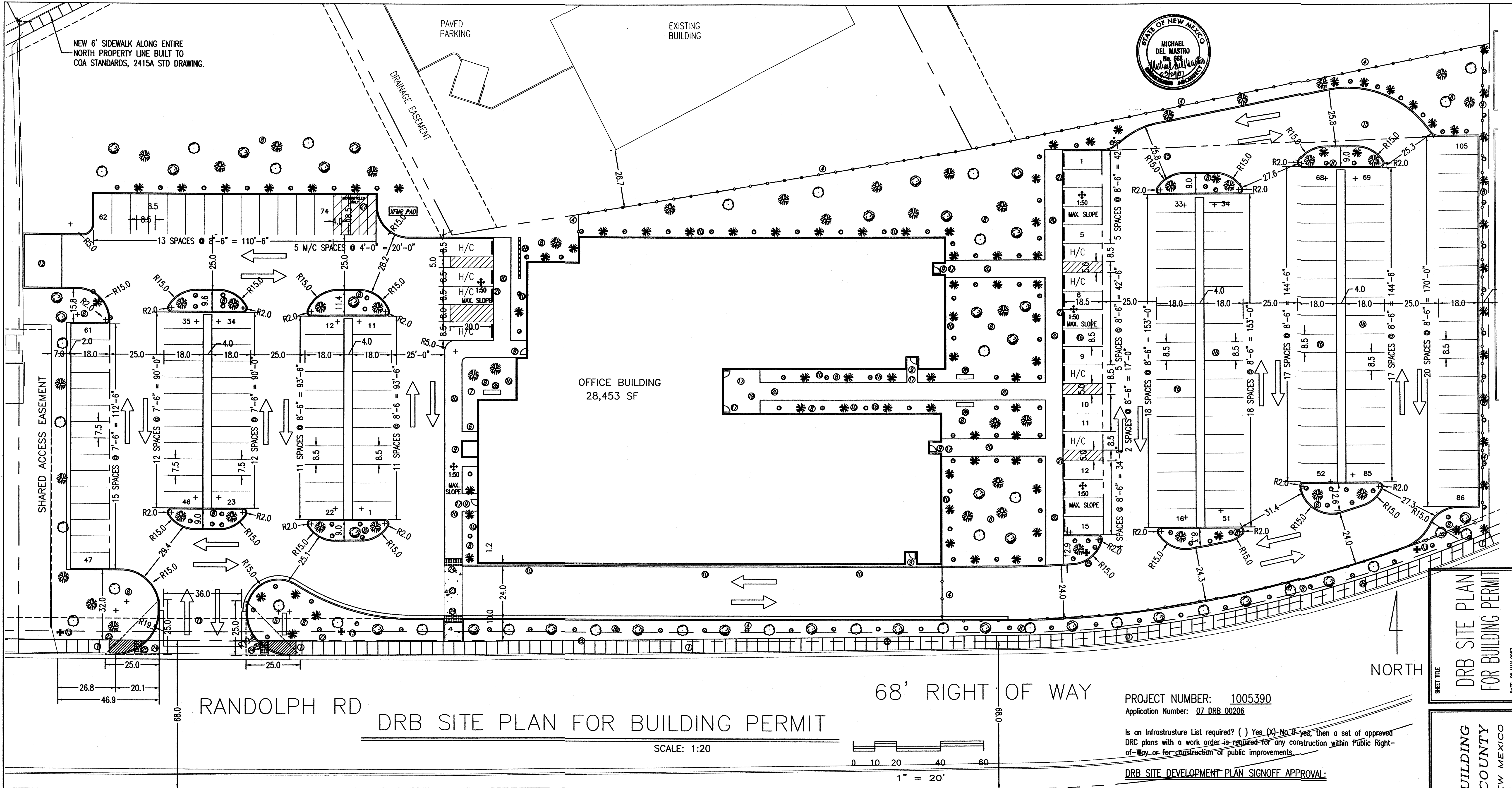
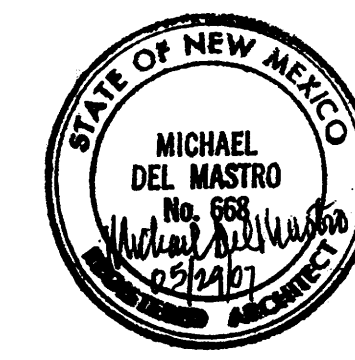
TIM OTT / DEVELOPER  
5820 VENICE AVE NE, SUITE G  
ALBUQUERQUE, N.M. 87113  
(505) 250-4875

MICHAEL DEL MASTRO / ARCHITECT  
7308 DELWOOD RD. NE / (505) 863-4929  
ALBUQUERQUE, NEW MEXICO 87110

Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
ALBUQUERQUE, NEW MEXICO

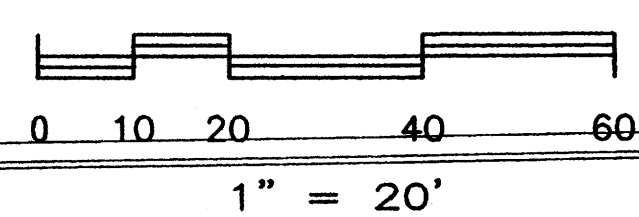
SHEET NO.  
**GD**





# RANDOLPH RD DRB SITE PLAN FOR BUILDING PERMIT

SCALE: 1:20



PROJECT NUMBER: 1005390  
Application Number: 07 DRB 00206

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

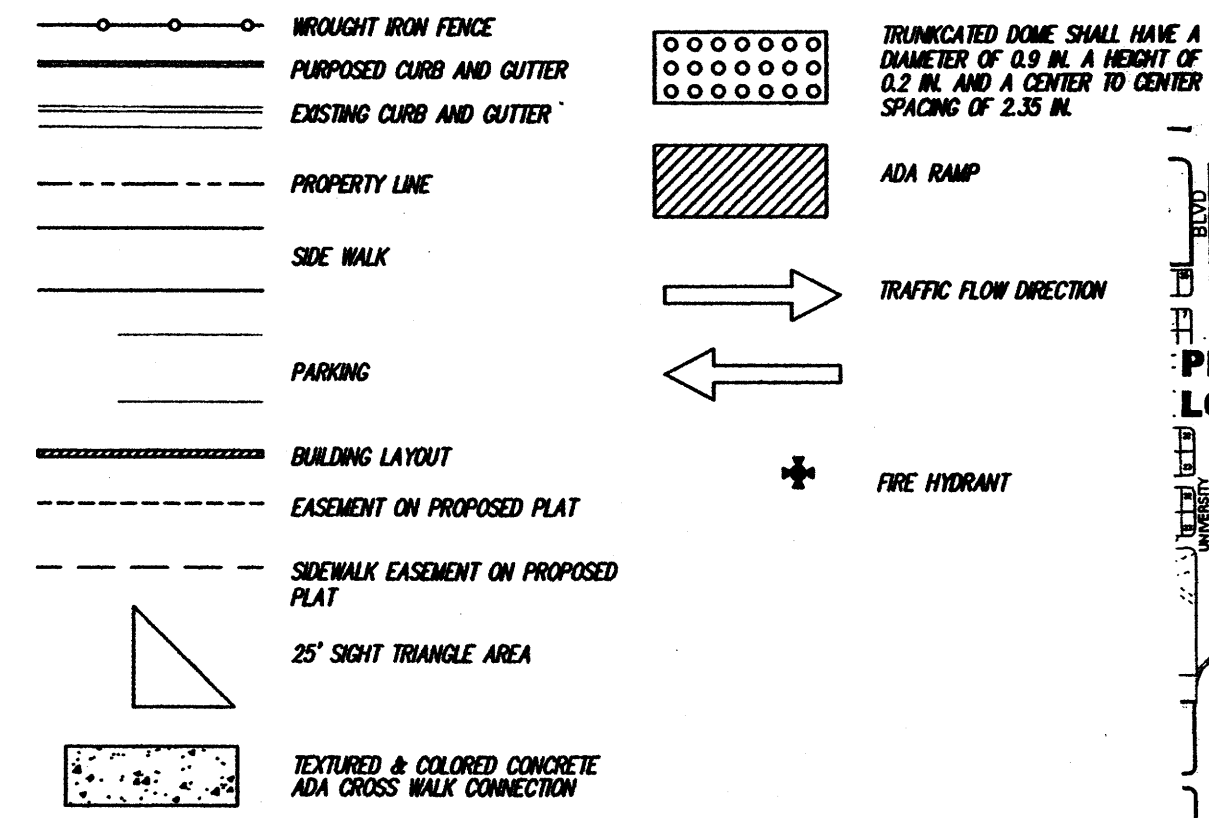
### GENERAL NOTES:

- LEGAL DESCRIPTION: LOT 9, 10, & 12, N2 COMMERCIAL - OFFICE SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO
- PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING SINGLE STORY, HEIGHT 16 FT 18 IN
- CURRENT ZONING: IP
- UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.
- PARKING, REGULAR: REQUIRED PER COA CODE: 28,453/200=142 SPACES (1 Space/200 S.F.) PROVIDED: 179 SPACES (Excess parking due to the requirement of the State of New Mexico.)
- PARKING, HANDICAP: REQUIRED PER COA CODE: 4 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE
- PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 5 SPACES PROVIDED: 9 SPACES
- BICYCLE RACKS: REQUIRED PER COA CODE: 9 SPACES (with 160 to 180 req. parking spaces) PROVIDED: 9 SPACES
- ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.
- PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

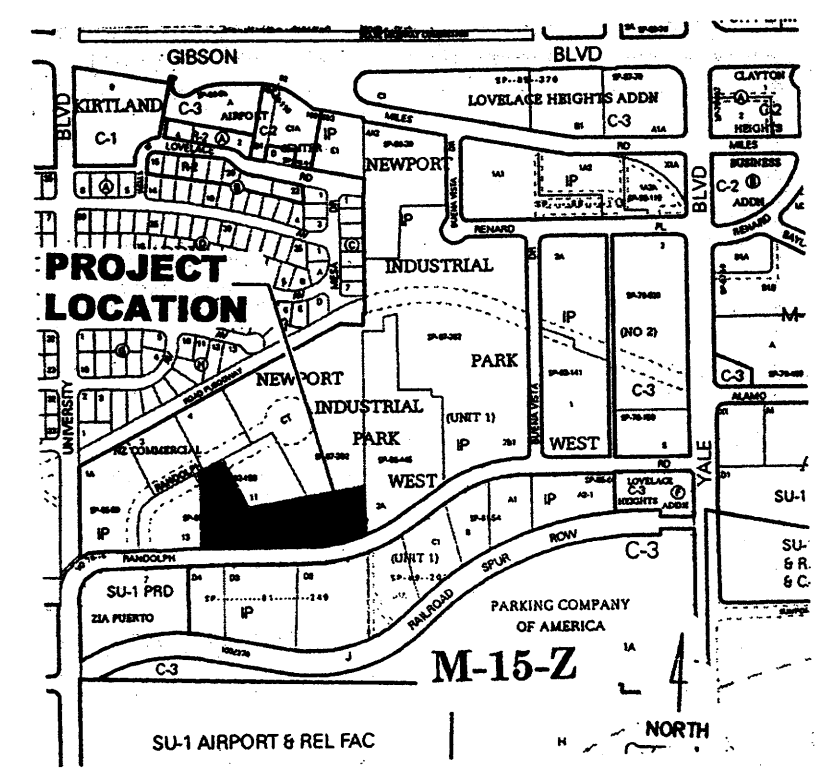
### KEYED NOTES:

- NEW 6" SIDEWALK TO COA STANDARDS, 2415A STD DWG
- NEW CONCRETE CURB & GUTTER
- WROUGHT IRON FENCING
- 6" HIGH SECURITY FENCE WITH MOTORIZED GATE / WROUGHT IRON
- AGENCY SIGNS, DETAIL TO BE SUBMITTED TO THE CITY FOR APPROVAL, DOUBLE SIGNAGE, REQUIRE SEPARATE PERMIT
- DROP BOX, TRASH RECEPTACLE & CIGARETTE DISPOSAL CONTAINER LOCATION TBD.
- FLAG POLE, IF DESIRED.
- LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
- SECURITY LIGHTING AT ALL ENTRANCES
- EXTERIOR BUILDING LIGHTING PER CITY OF ALBUQUERQUE, NIGHT SKY PROTECTION ACT LIGHTING CODE, OPERATED BY PHOTO CELL
- DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS, 2426 STD DWG
- DUMPSTER ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS
- EXISTING FIRE HYDRANTS
- 28,731 SQ. FT., STUCCO BUILDING WITH NATURAL ROCK VENEER WITH A MAXIMUM PARAPET HEIGHT OF 16 FT. NO OUTSIDE STORAGE AND NO CHAIN LINK FENCING.
- TURNING RADIUS FOR FIRE TRUCKS.
- COVERED EMPLOYEE PARKING WITH LIGHTING
- CYPHER LOCK ON ENTRANCE
- OASIS AREA FOR EMPLOYEES
- EMPLOYEE PATIO WITH COVER, PATIO FURNITURE, TRASH RECEPTACLES & CIGARETTE DISPOSAL CONTAINER.
- NEW 8" SIDE WALK
- ASPHALT FLUSH WITH SIDEWALK, ADJACENT TO ASPHALT AND SIDEWALK SLOPE IS NOT GREATER THEN 1:50 IN ALL DIRECTIONS.
- SIDEWALK EASEMENT IN ON REPLAT SUBMISSION.
- TEXTURED & COLORED CONCRETE ADA COMPLIANT CROSS WALK CONNECTION PER COA CODE.
- TRUNCATED DOME ADA COMPLIANT 24" WIDE TACTILE PATTERN OF RAISED TRUNCATED DOMES
- ADA SIDEWALK RAMP PER COA STANDARD 2426
- BENCH SEATING FOR FACADE = 288" OUTSIDE SEATS REQUIRED = 12 SEATS = 3 BENCHES, 8' EACH
- MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
- BICYCLE RACK, MINIMUM 9 SPACES.
- NEW FIRE HYDRANT PER COA FIRE DEPARTMENT REQUEST.

### LINE TYPE LEGEND



### VICINITY MAP



Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

DRB SITE PLAN FOR BUILDING PERMIT  
DATE: 29 MAY 2007

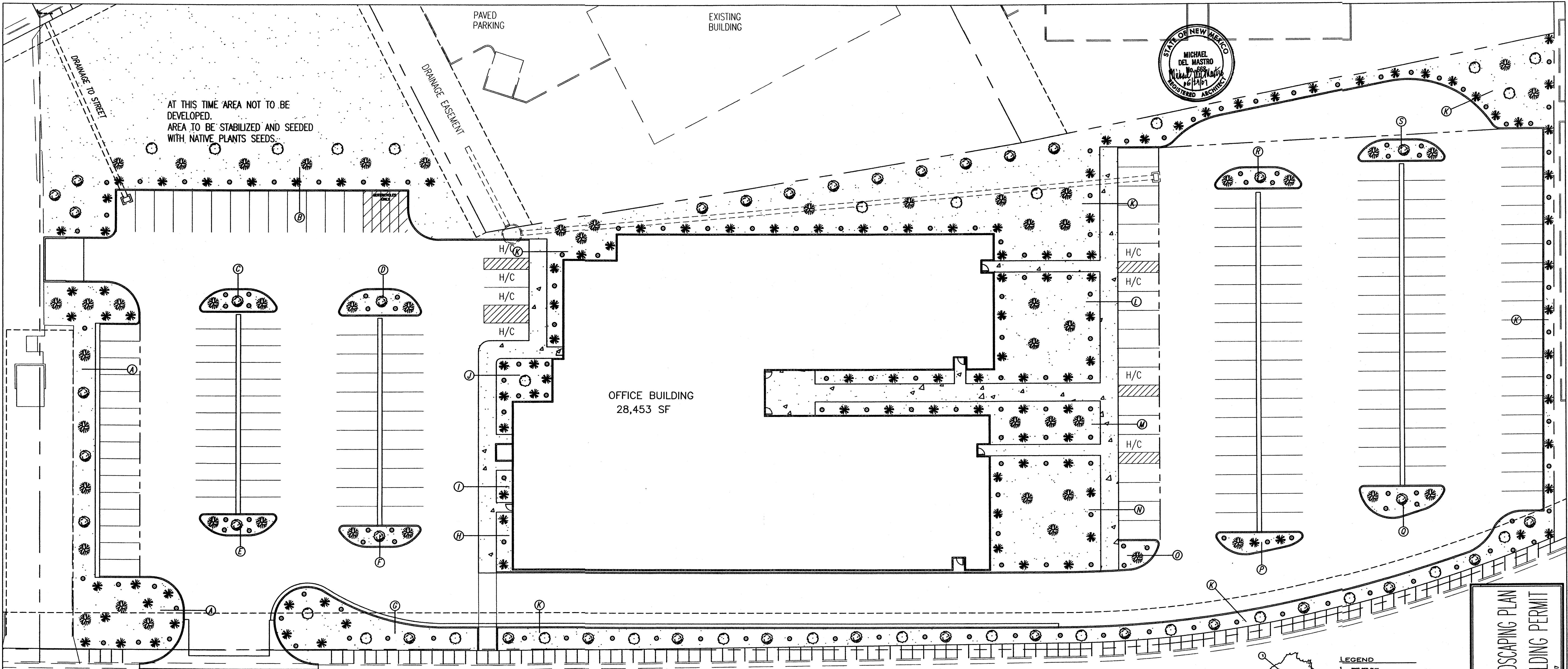
RANDOLPH BUILDING  
BERNALILLO COUNTY  
ALBUQUERQUE, NEW MEXICO

DRB SP



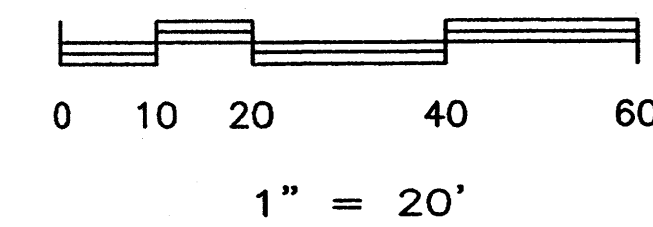






## DRB LANDSCAPING PLAN FOR BUILDING PERMIT

SCALE 1:20



**GENERAL LANDSCAPE DATA:**

1. TOTAL SITE AREA ..... 163,530 S.F.
2. TOTAL BUILDING AREA ..... 28,453 S.F.
3. NET LOT AREA ..... 135,077 S.F.

**LANDSCAPE REQUIREMENTS:**

1. NET LOT AREA ..... 135,077 S.F.
2. LANDSCAPE AREA REQUIRED  
NET LOT AREA X 15 % ..... 20,261 S.F.
3. LANDSCAPE AREAS PROVIDED
 

AREA A	3,406 S.F.
AREA B	16,607 S.F.
AREA C	266 S.F.
AREA D	341 S.F.
AREA E	250 S.F.
AREA F	270 S.F.
AREA G	1,470 S.F.
AREA H	189 S.F.
AREA I	102 S.F.
AREA J	581 S.F.
AREA K	15,136 S.F.
AREA L	2,436 S.F.
AREA M	1,419 S.F.
AREA N	2,554 S.F.
AREA O	184 S.F.
AREA P	264 S.F.
AREA Q	384 S.F.
AREA R	289 S.F.
AREA S	289 S.F.

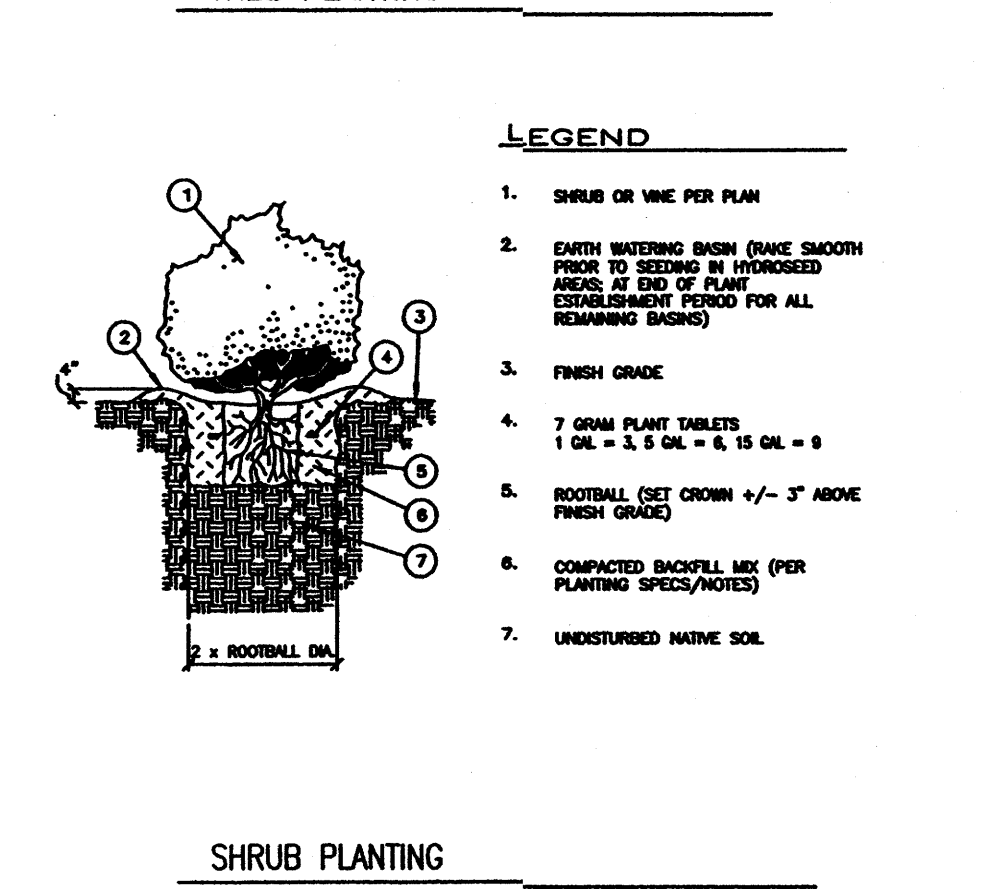
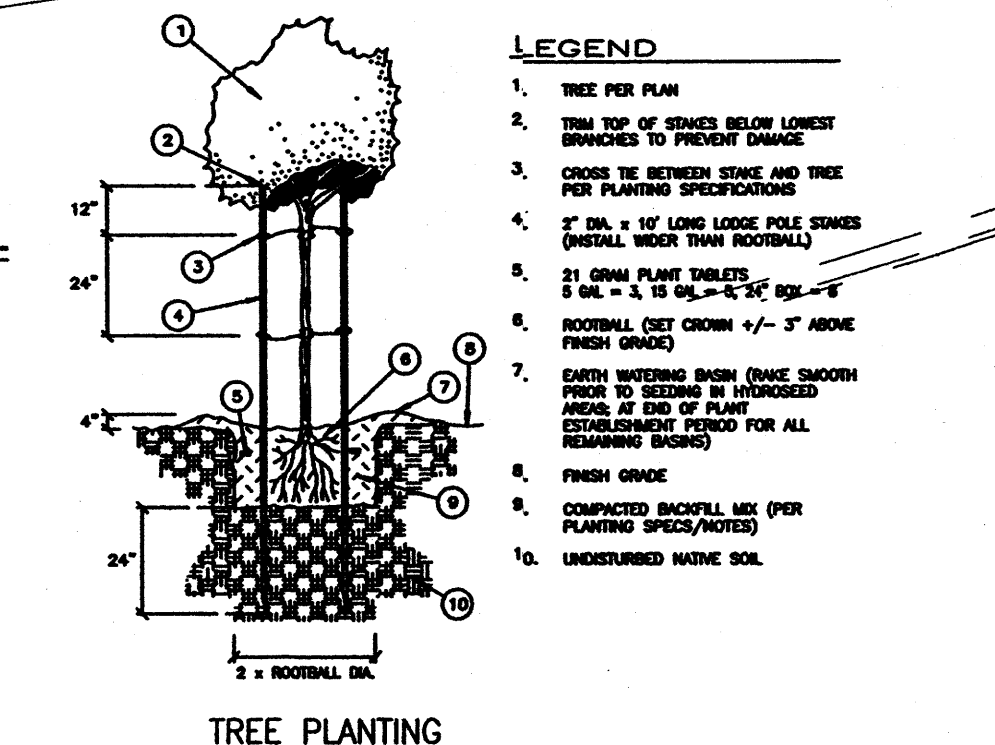
TOTAL LANDSCAPE AREA PROVIDED ..... 46,440 S.F.

4. IRRIGATION SYSTEM ..... LAYOUT BY LANDSCAPE CONTRACTOR
- LOW FLOW DRIP SYSTEM
- BUBBLER SYSTEM

**GENERAL NOTES:**

1. ALL LANDSCAPING WILL BE COMPLETED WITHIN 60 DAYS OF BUILDING OCCUPANCY.
2. THE LANDSCAPE CONTRACTOR SHALL DESIGN AND CONSTRUCT ANY IRRIGATION SYSTEM WHICH SHALL INCLUDE SPRINKLERS, PIPING, CONTROLS, EQUIPMENT AND LABOR NECESSARY FOR A COMPLETE SYSTEM. SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER. THIS APPLIES FOR PHASE I & II IRRIGATION.
3. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO FIELD VERIFY THE EXACT LOCATIONS OF ALL ON-SITE UTILITIES, TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3 FEET FROM UTILITY LINES.
3. MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE OWNER.
4. 3/4" CRUSHER GRAY GRAVEL WITH FILTER FABRIC.
5. LANDSCAPING IN THOSE AREAS, 3" IN DEPTH
6. IRRIGATION SYSTEMS SHALL BE DESIGNED TO COMPLY WITH THE PROVISIONS OF THE CITY OF ALBUQUERQUE.
7. DEVELOPMENT WILL COMPLY WITH THE PROVISIONS OF THE COA ORDINANCE 6-1-1-1.
8. AREA K IS STREET TREE AREA. AREA TO CONFORM WITH COA 6-6-2-5. TREES WILL BY SPACED A MINIMUM OF 30 FT. APART AND WILL BE A MINIMUM OF 5 FT. FROM EDGE OF SIDEWALK.
9. THERE IS NO ON SITE PONDING.
10. AREA A, B, & K ARE SCREENING/BUFFER AREAS.
11. ALL OTHER AREAS CONSIDERED GENERAL LANDSCAPING AREAS.
12. MEDIAN AREA ON RANDOLPH COURT WILL BE LANDSCAPED AND MAINTAINED PER STANDARDS ESTABLISHED BY PERVIOUS EPC/DRB REVIEWS.

PLANTING LEGEND					
Common Name	Scientific Name	Size	Mature height and spread	Symbol	Water usage
Desert Willow	(52) <i>Chilopsis Linearis</i>	1.5" Caliper @ 6" above ground	20' tall 25' spread		Low
Texas Ash	(28) <i>Fraxinus Texans</i>	1.5" Caliper @ 6" above ground	40' tall 50' spread		Medium
Chinese Pistache	(36) <i>Pistachia Chinensis</i>	1.5" Caliper @ 6" above ground	60' tall 60' spread		Medium
"ARP" Upright Rosemary	(117) <i>Rosmarinus Officinalis "ARP"</i>	Five gallon	6' tall 6' spread		Low
Autumn Sage	(167) <i>Salvia Greggii</i>	Five gallon	36" tall 36" spread		Low
Big Sage	(0) <i>Artemisia Tridentata</i>	Five gallon	3'-7' tall 3'-5' spread		Low

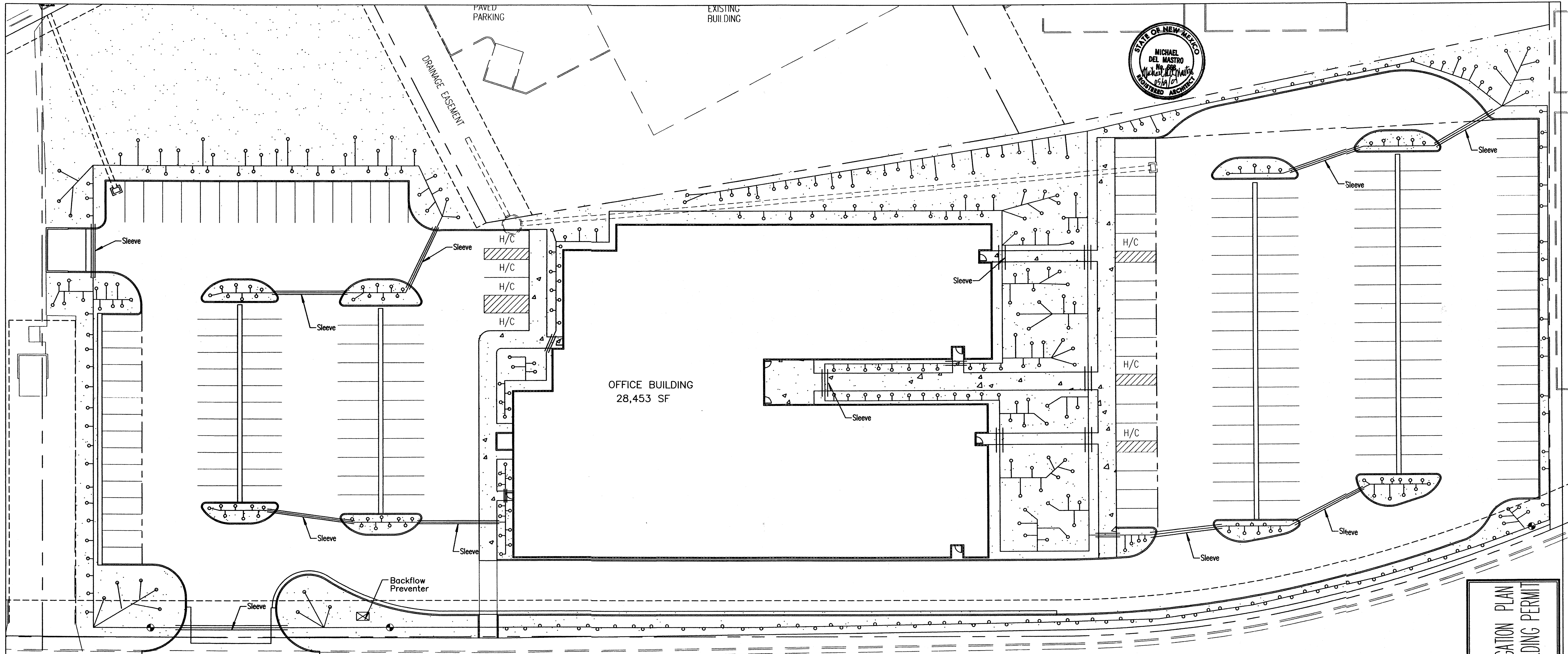


DRB LANDSCAPING PLAN  
 FOR BUILDING PERMIT  
 DATE: 28 MAY 2007

RANDOLPH BUILDING  
 BERNALILLO COUNTY  
 ALBUQUERQUE, NEW MEXICO

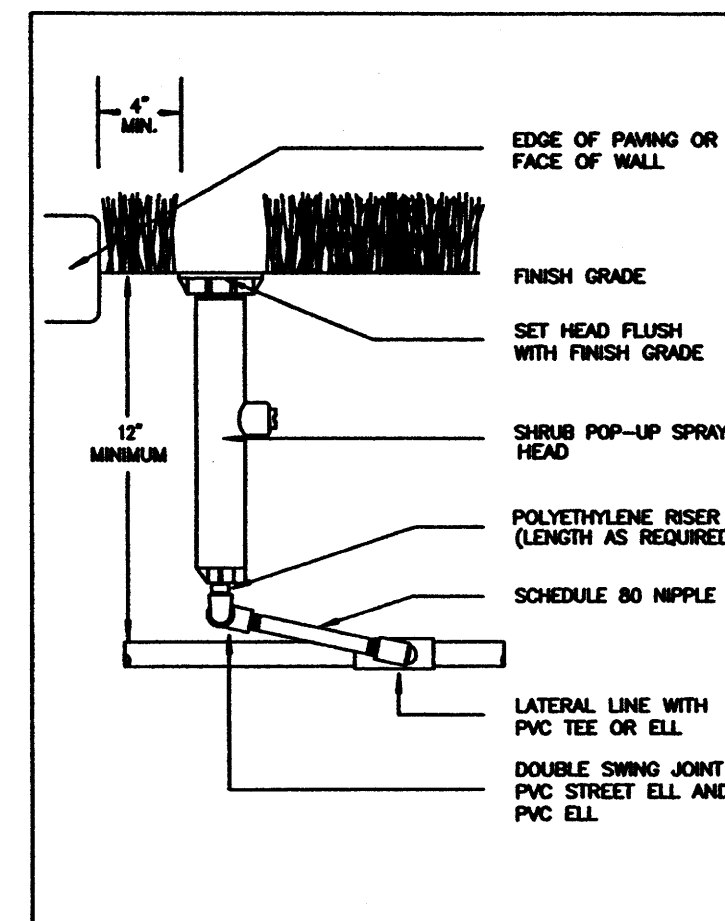
DRB LP



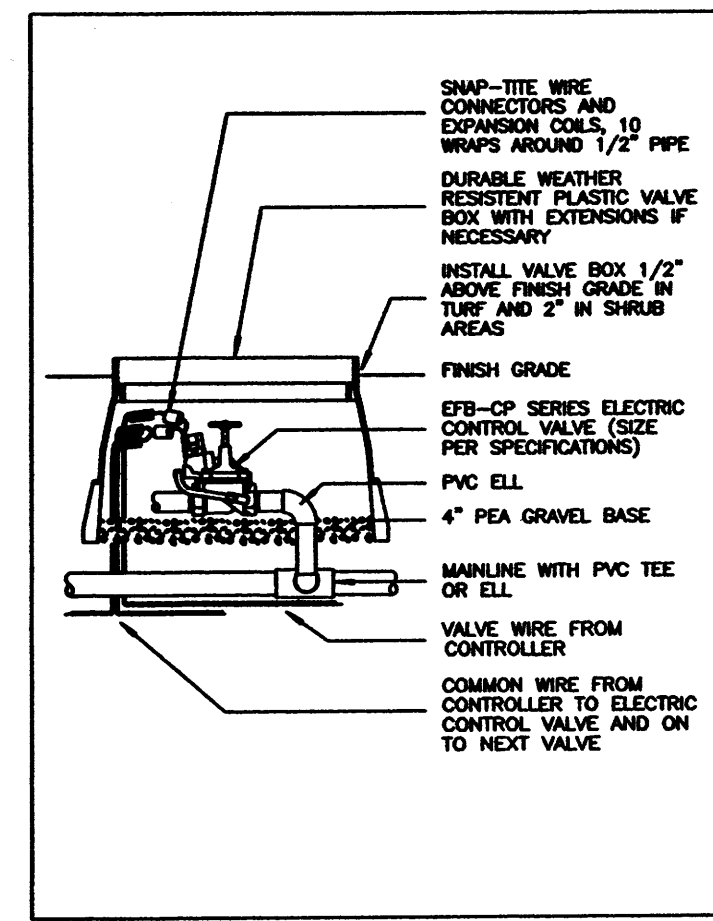


## DRB IRRIGATION PLAN FOR BUILDING PERMIT

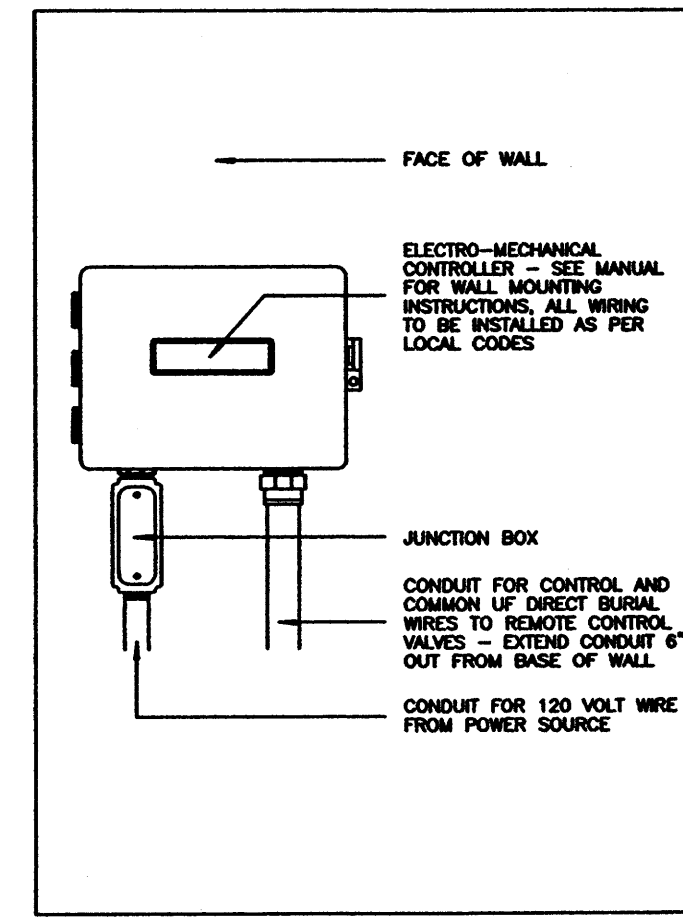
SCALE 1:20



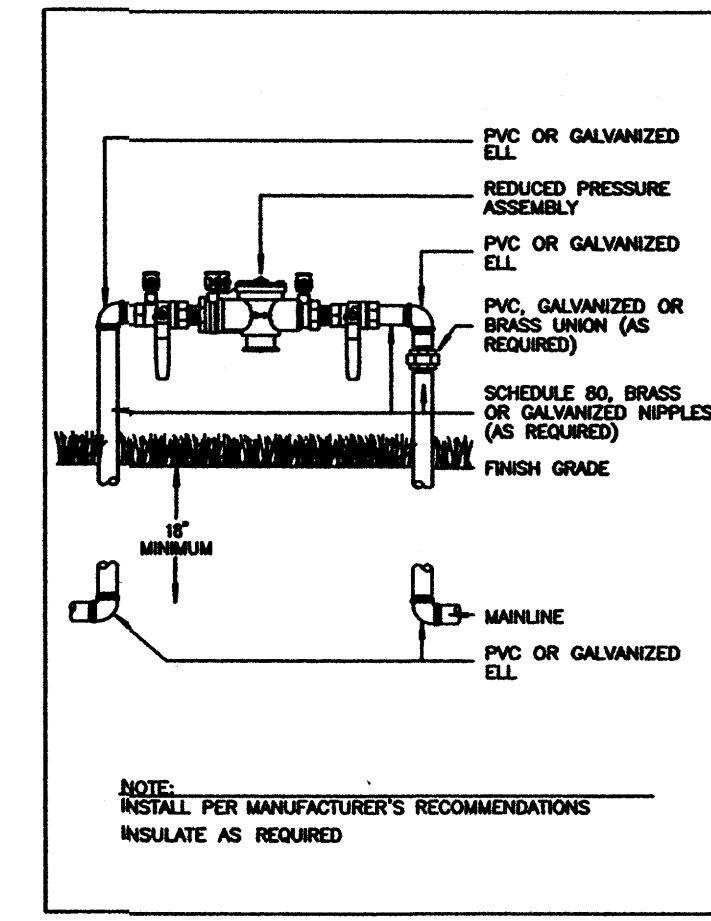
SHRUB HEAD POP-UP



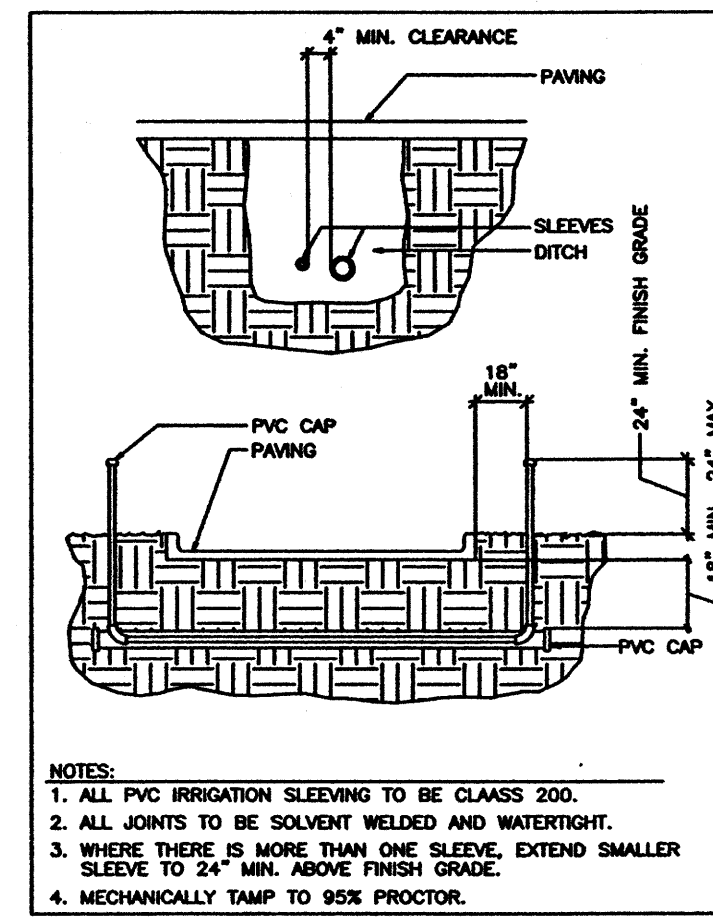
EFB-CP CONTROL VALVE



CONTROLLER - WALL MOUNT REDUCED PRESSURE & BACKFLOW PREVENTER ASSEMBLY



IRRIGATION SLEEVING



LEGEND

### LEGEND

- Rainbird 1 1/2" PEB Series Control Valve
- Drip Emitter, Approximate Location
- ⊠ 1 1/2" Reduced Pressure Assembly in Hot Box
- ▽ Rainbird Controller Wall Mount

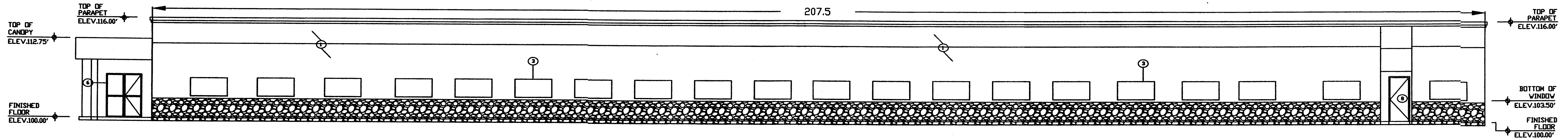
### GENERAL NOTES

- A The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction.
- B Locate all emitters away from low spots or areas of drainage flow.
- C 24V Electric control wire (#14G) and Common Ground (#12G) shall be direct burial, color coded, and all splices/connections shall be waterproofed. Provide expansion coils of all valves and 200' on center Maximum.
- D All pipe/wiring running beneath paved surfaces (drives, walks, etc.) shall be installed in Class 160 PVC sleeves. Sleeves shall be sized so that the inside diameter of the sleeve is 1" greater than the combined outer diameter of all items installed in the sleeve.
- E The contractor shall fine tune and adjust the irrigation system so that no water will run onto the street, walks or hit any buildings, walls, etc. This shall include adjusting all emitters.

Sheet Title  
**DRB IRRIGATION PLAN FOR BUILDING PERMIT**

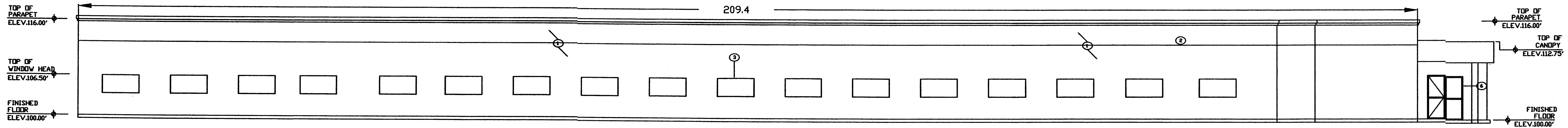
Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
**ALBUQUERQUE, NEW MEXICO**

SHEET NO.  
**DRB LP**



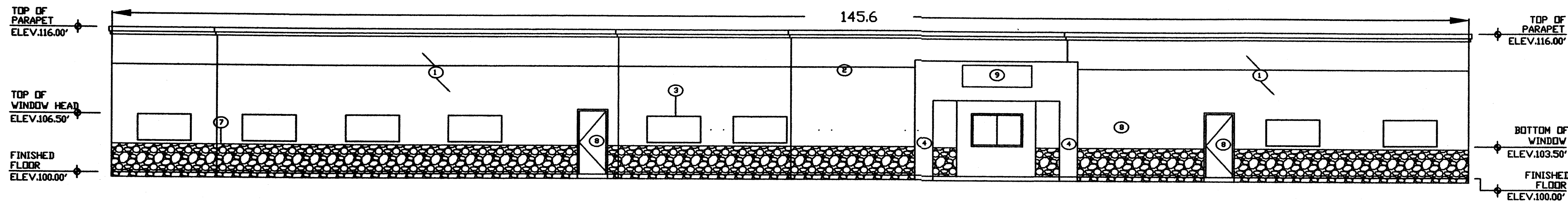
SOUTH ELEVATION

Scale 1:8



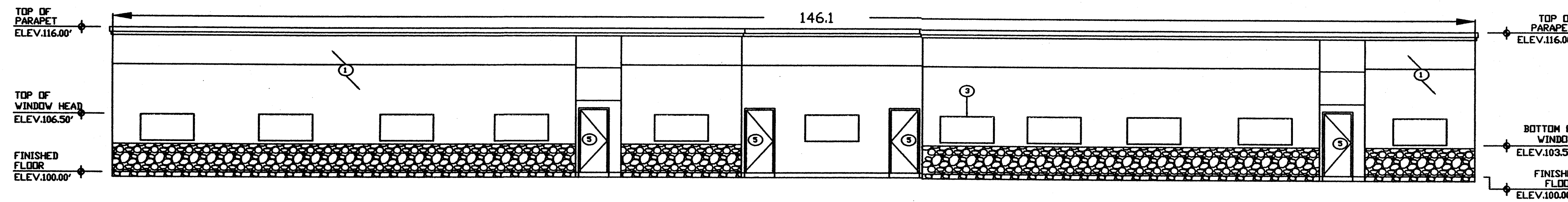
NORTH ELEVATION

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WEST ELEVATION

Scale 1:8

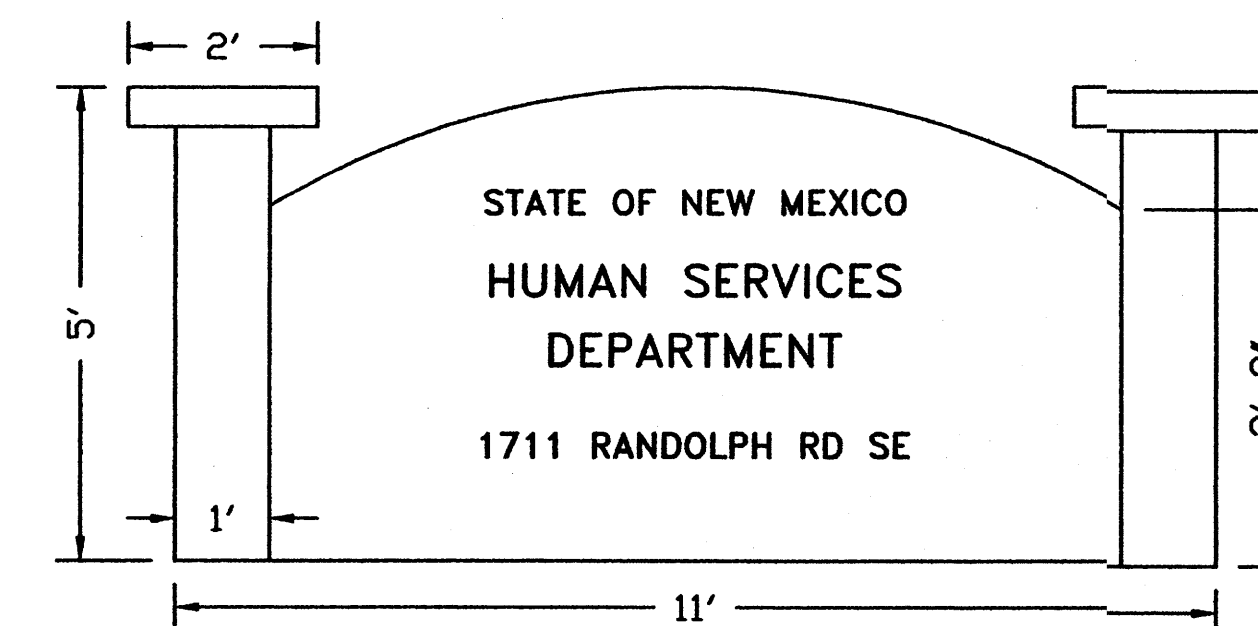


EAST ELEVATION

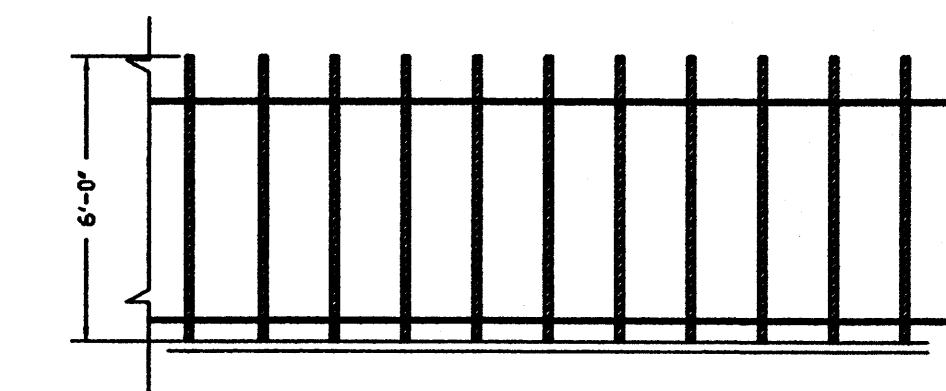
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KEYED NOTES

- ① 2 COAT STUCCO SYSTEM, COYOTE BROWN
- ② EXPANSION JOINT, STUCCO THICKNESS
- ③ DOUBLE PANE GLAZING ALUMINUM FRAME WINDOW, WHITE
- ④ 2' SQ. COLUMN
- ⑤ HOLLOW METAL DOOR, GRAY
- ⑥ 3 SETS OF ALUMINUM STORE FRONT AUTOMATIC SLIDING DOOR, WHITE
- ⑦ STONE FACE, NATURAL BROWN STONE
- ⑧ SINGLE ALUMINUM STORE FRONT DOOR, WHITE
- ⑨ AGENCY SIGNAGE, NDT LIGHTING

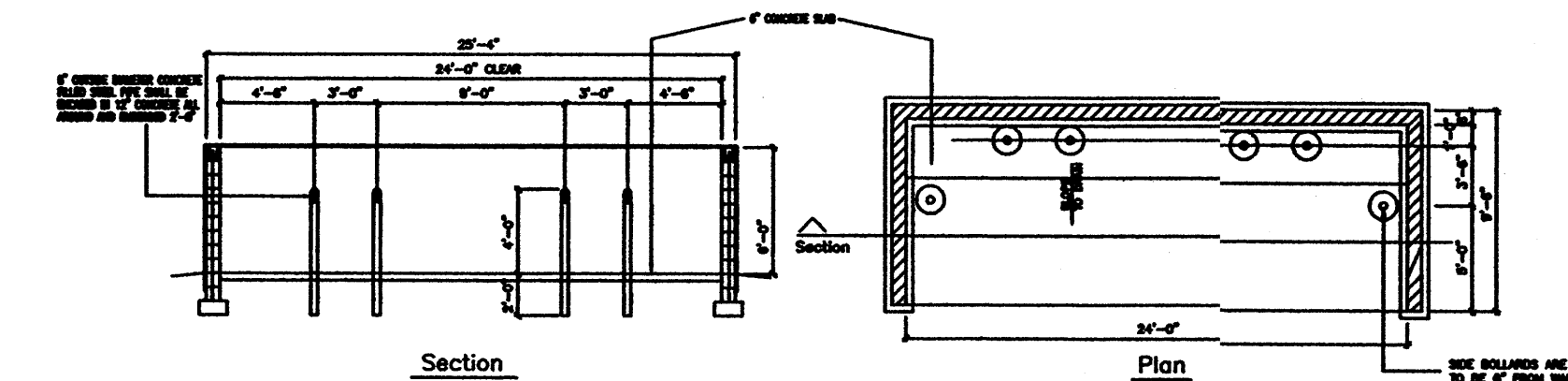


SIGN SF = 41.4 SF



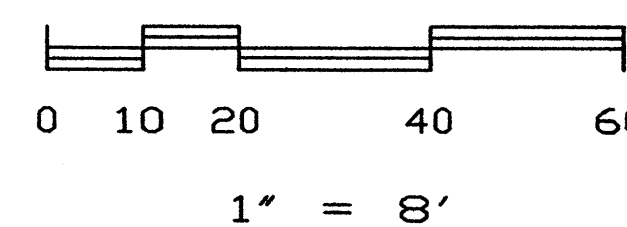
WROUGHT IRON FENCE

SCALE: NTS



Refuse Enclosure Details

SCALE: NTS



SHEET TITLE  
 DRB ELEVATIONS  
 FOR BUILDING PERMIT  
 DATE: 29 MAY 2007

Project Name  
 RANDOLPH BUILDING  
 BERNALILLO COUNTY  
 ALBUQUERQUE, NEW MEXICO

SHEET NO.  
 DRB ELEV



**KEYED NOTES**

1. SIDEWALK. SEE DETAIL SHEET C2.
2. TURNDOWN SIDEWALK. SEE DETAIL SHEET C2.
3. HEADER CURB. SEE DETAIL SHEET C2.
4. CURB AND GUTTER. SEE DETAIL SHEET C2.
5. ASPHALT SWALE.
6. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C2.
7. ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET C2.
8. 40 FOOT WIDE PRIVATE ENTRANCE. SEE CITY OF ALBUQUERQUE (COA) STD. DWG. 2428 WITH UNILATERAL HC RAMPS.
9. EARTH SWALE.
10. 12" SIDEWALK OPENING TO PROVIDE DRAINAGE.
11. 18" SIDEWALK OPENING TO PROVIDE DRAINAGE.
12. 2-3" PVC PIPES UNDER SIDEWALK. THICKEN SIDEWALK TO 8" INCHES AT 6 INCHES EACH SIDE OF PIPES. SET PIPES AT 9 INCHES CENTER TO CENTER. GRADE LANDSCAPE AREA TO DRAIN TO AND FROM PIPES.
13. 2- 24" WIDE SIDEWALK CULVERTS. SEE CITY OF ALBUQUERQUE STD. DWG. 2236. SLOPE 2%.
14. RETAINING WALL. TOP OF CURVED WALL 18" ABOVE WALK, REMAINDER 6" ABOVE ADJACENT HIGH GRADE.
15. REFUSE ENCLOSURE. (NOTE: REFUSE ENCLOSURE DRAINAGE SHALL BE CAPTURED AND ROUTED TO SANITARY SEWER VIA 64 SQ. IN. AREA DRAIN AND 3" PVC OUTLET PIPE)

NOTE:  
HAND LETTERED ELEV'S FOR  
ARE AS-BUILT 05/14/07

16. TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 61.37, INVERT 58.37
17. 18" HDPE STORM DRAIN AT APPROX. 1.4C%.
18. 18" HDPE STORM DRAIN AT APPROX. 4.1% ADJUST GRADE TO MATCH EXISTING ELEVATION AT OUTLET.
19. 4" DIAM. TYPE 'E' MANHOLE PER COA STD. DET. 2102. INV. 54.5, 21W C24
20. TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 50.75, INVERT 48.25
21. 15" HDPE STORM DRAIN AT APPROX 9.9%
22. CONCRETE TRANSITION. SEE DETAIL SHEET C2.
23. 64 SQ. IN. AREA DRAIN WITH CONCRETE COLLAR AND 3" PVC OUTLET PIPE TO (17)
24. TYPE 'L' RIPRAP OUTLET. SEE DETAIL SHEET C2, OPTION 1 ONLY.

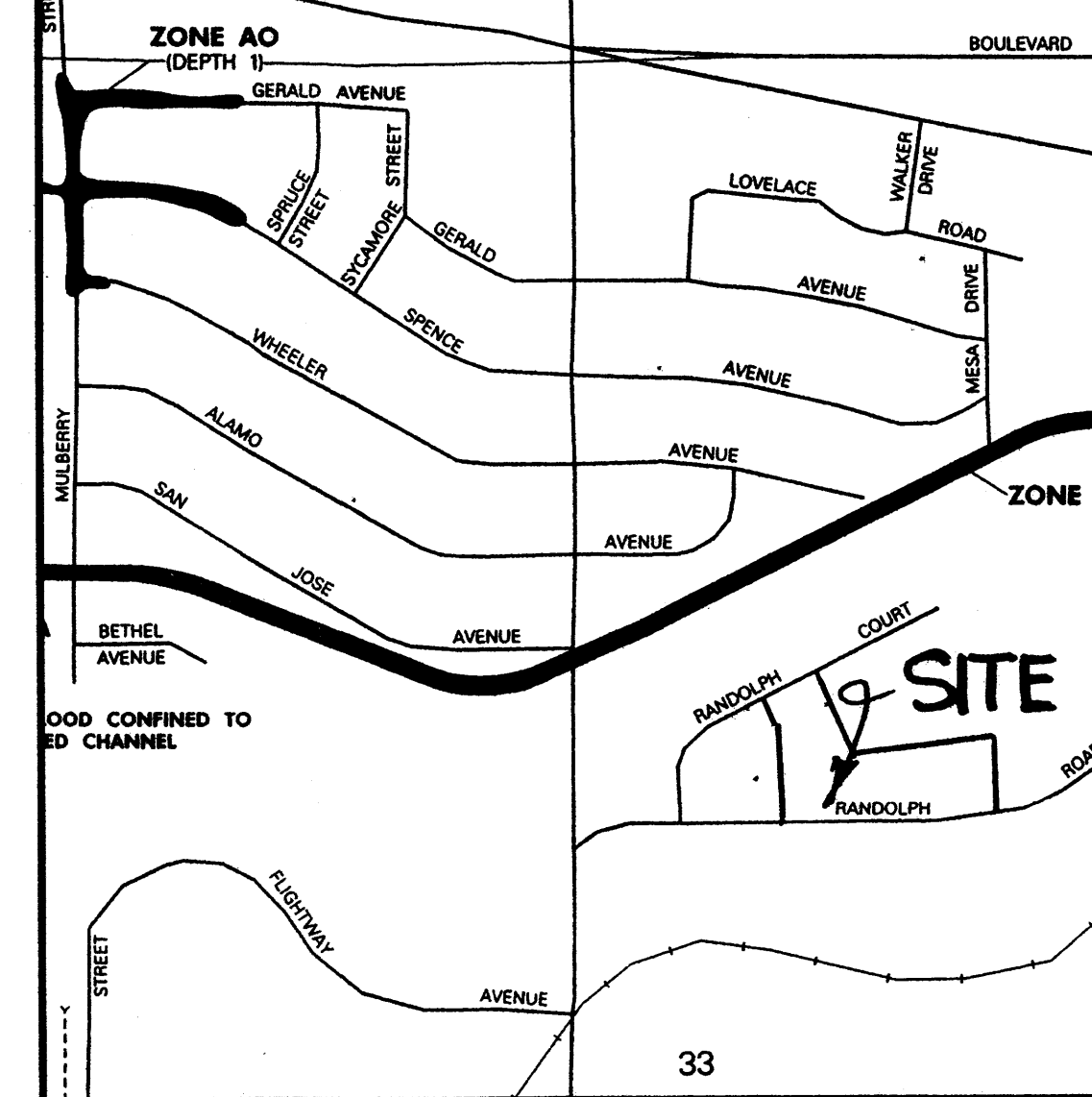
**LEGEND**

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
G	EXISTING GROUND

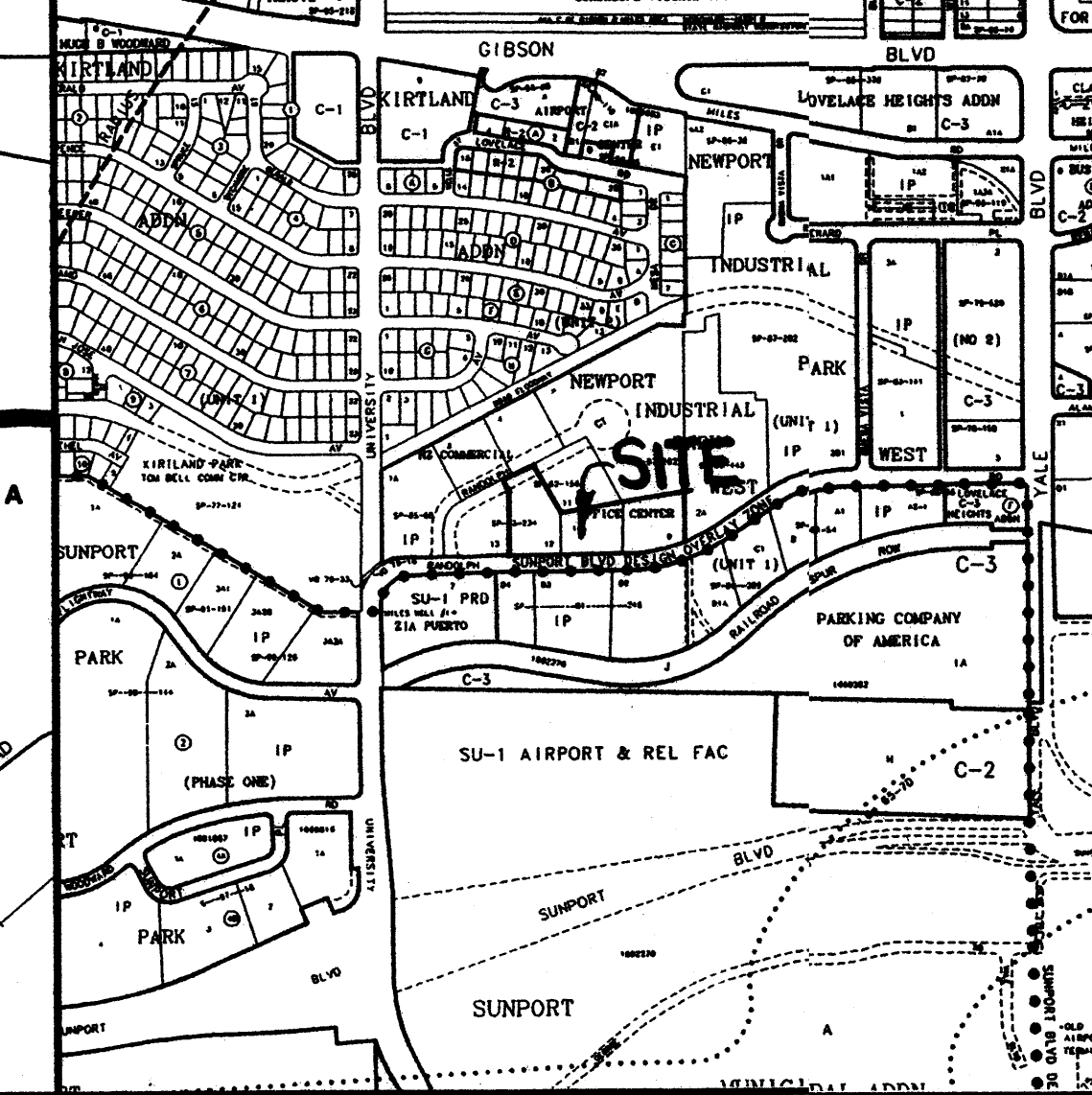
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

	DRAINAGE BASIN BOUNDARY
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	RECORD SPOT ELEVATION

**FEMA FIRM MAP NO. 342**



**VICINITY MAP NO. M-15**



**LEGAL DESCRIPTION**

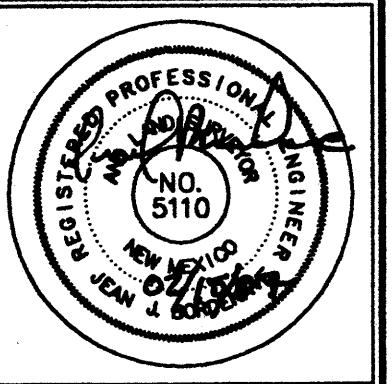
LOTS 9, 10 & 12, NZ COMMERCIAL OFFICE CENTER

**PERMANENT BENCHMARK**

I-25-30 ELEVATION 5038.5 (NOVD 1929)

**ROUGH GRADING APPROVAL**

NAME \_\_\_\_\_ DATE \_\_\_\_\_



JOB NO.	
DATE:	03 JANUARY 2006
REVISIONS	

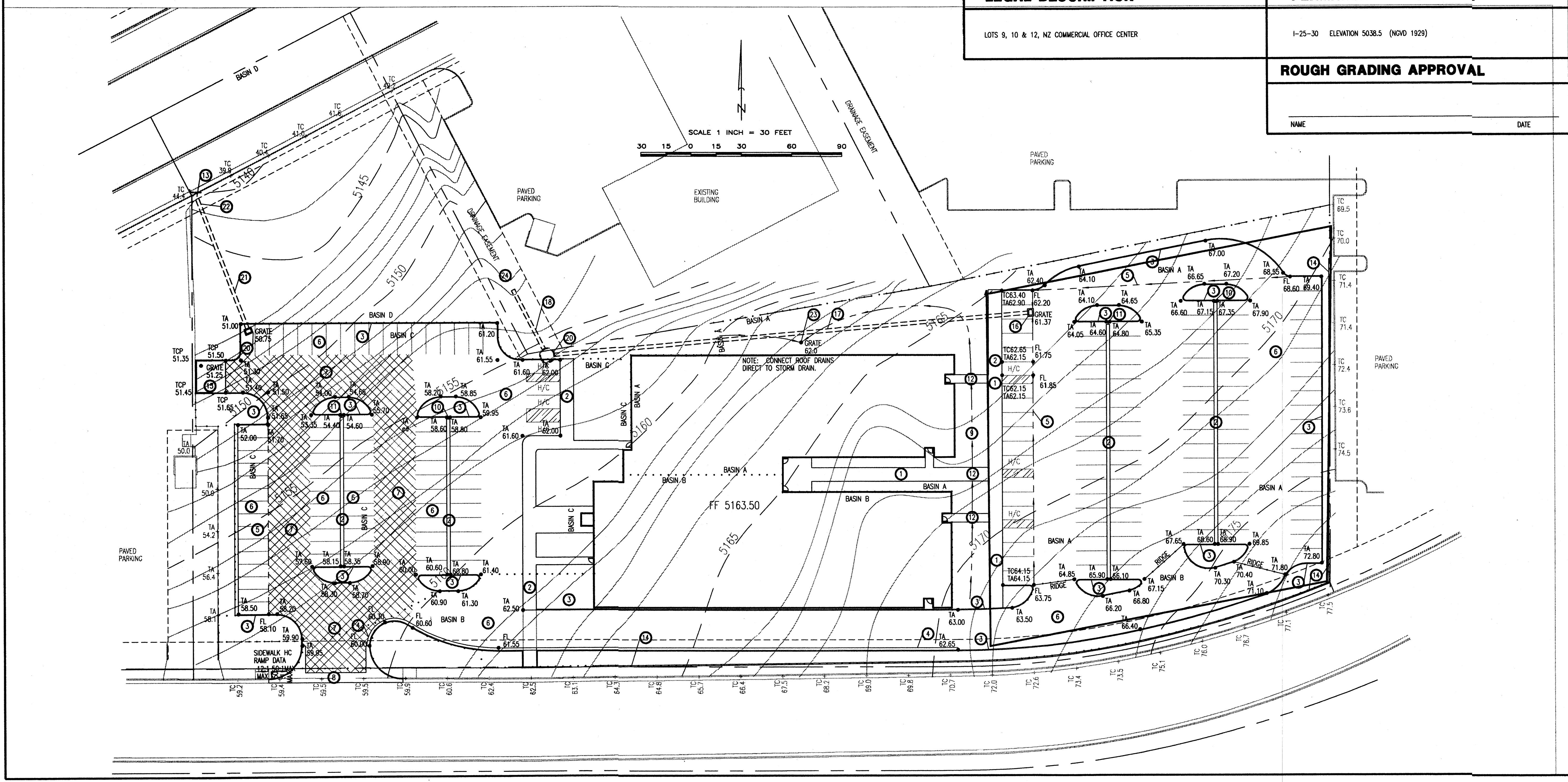
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Checked By: T. OTT  
Drawn By: PESULANA, S.A.

**TM OTT / DEVELOPER**  
6800 VANCE AVE. SUITE G  
ALBUQUERQUE, NM 87113  
(505) 280-4876

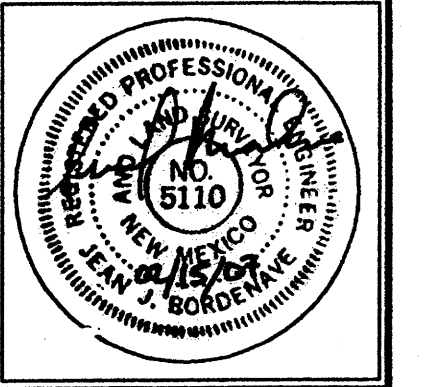
**MICHAEL DEL MASTRO / ARCHITECT**  
7500 DELWOOD RD. NE / SUITE 400  
ALBUQUERQUE, NEW MEXICO 87110

Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
ALBUQUERQUE, NEW MEXICO

SHEET NO. \_\_\_\_\_







JOB NO. \_\_\_\_\_  
 DATE: 03 JANUARY 2006

REVISIONS

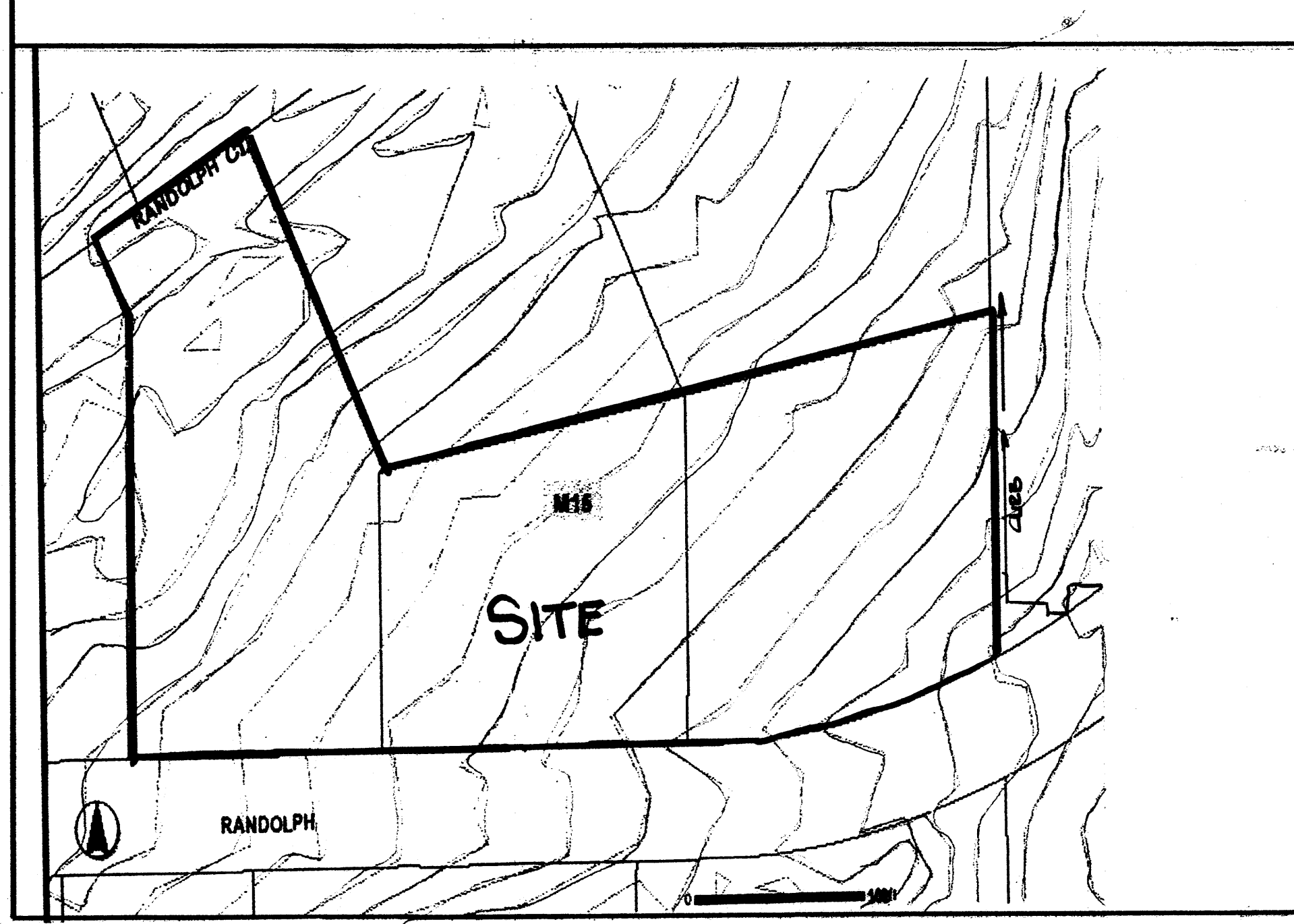
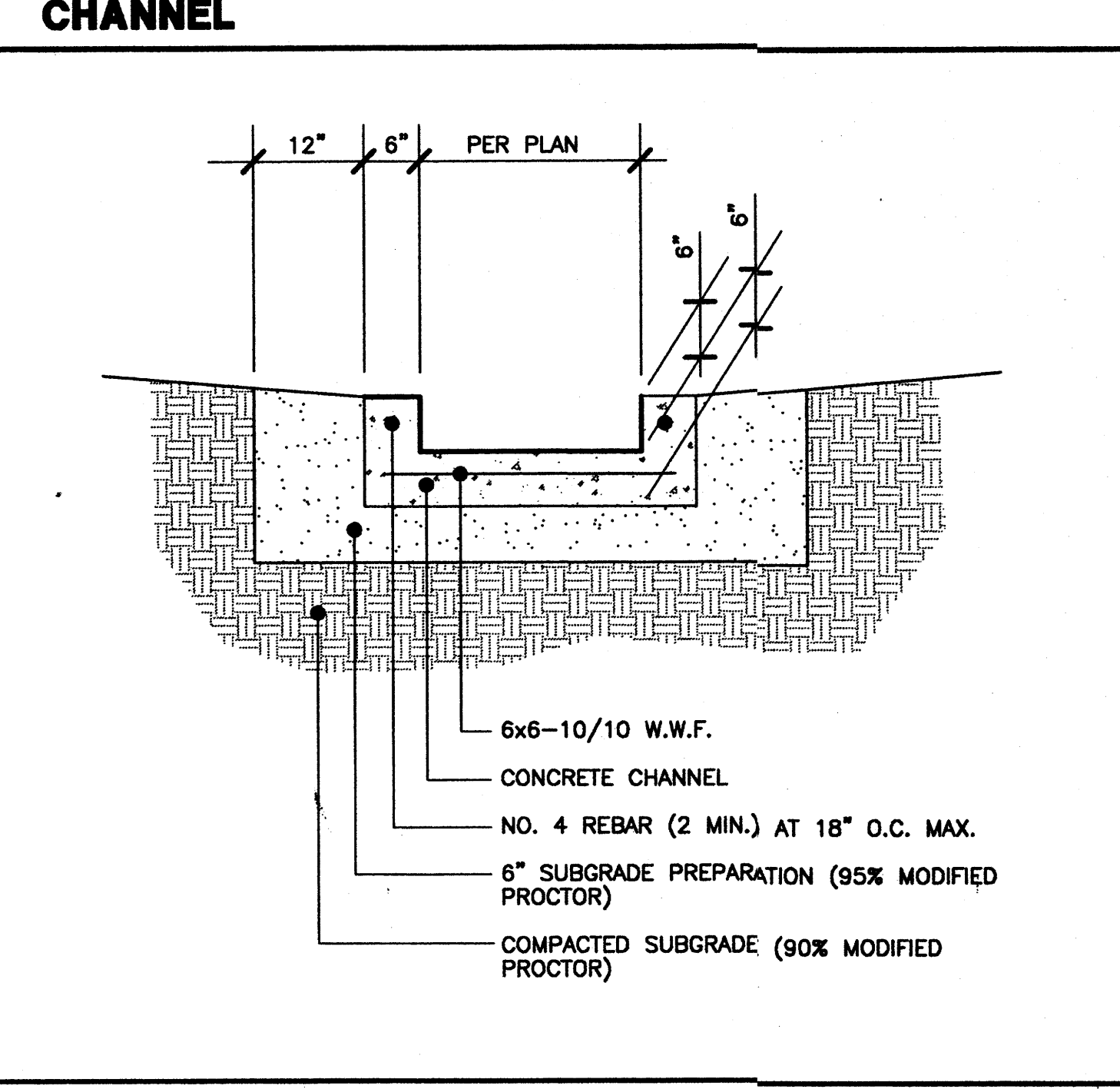
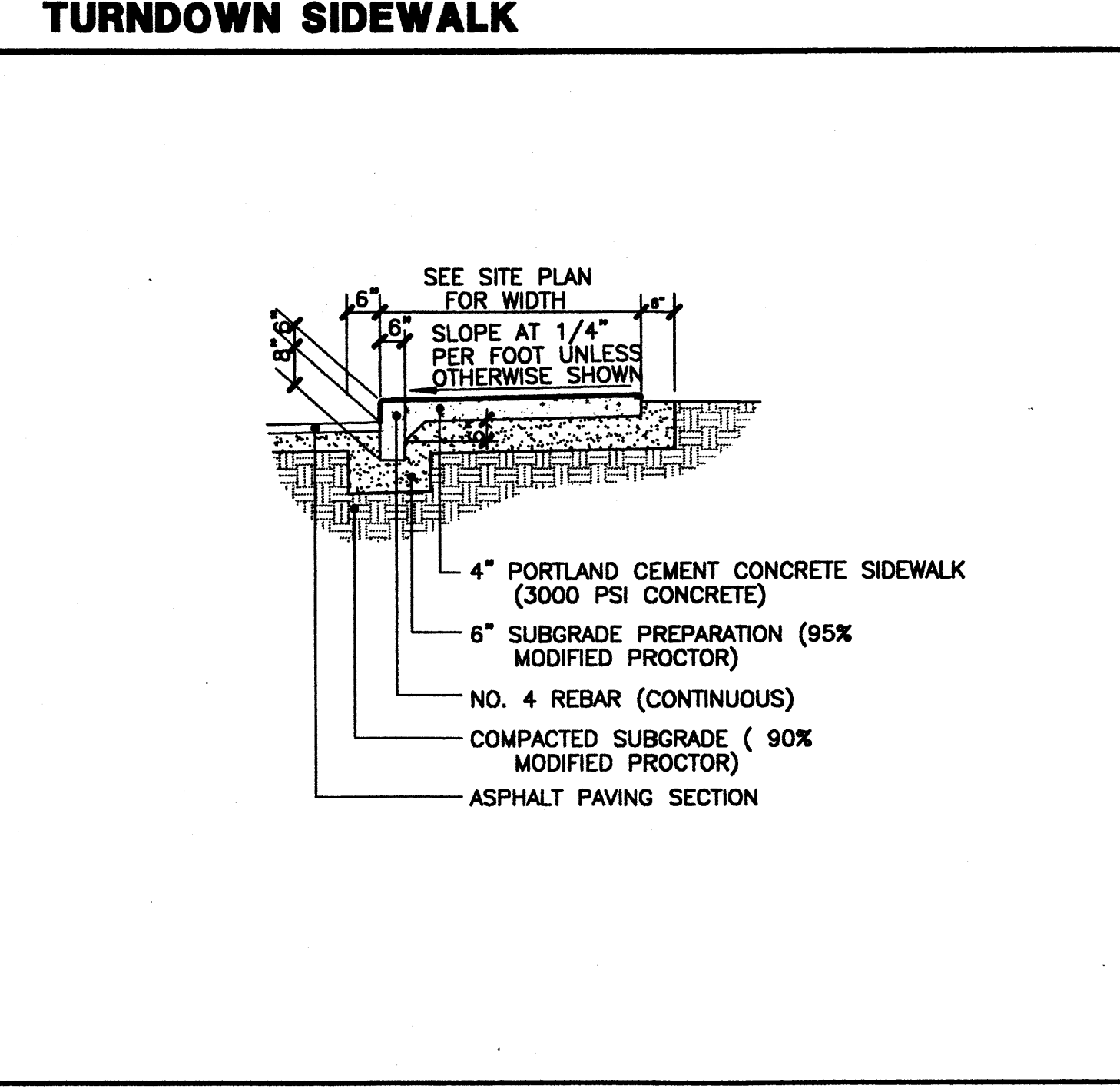
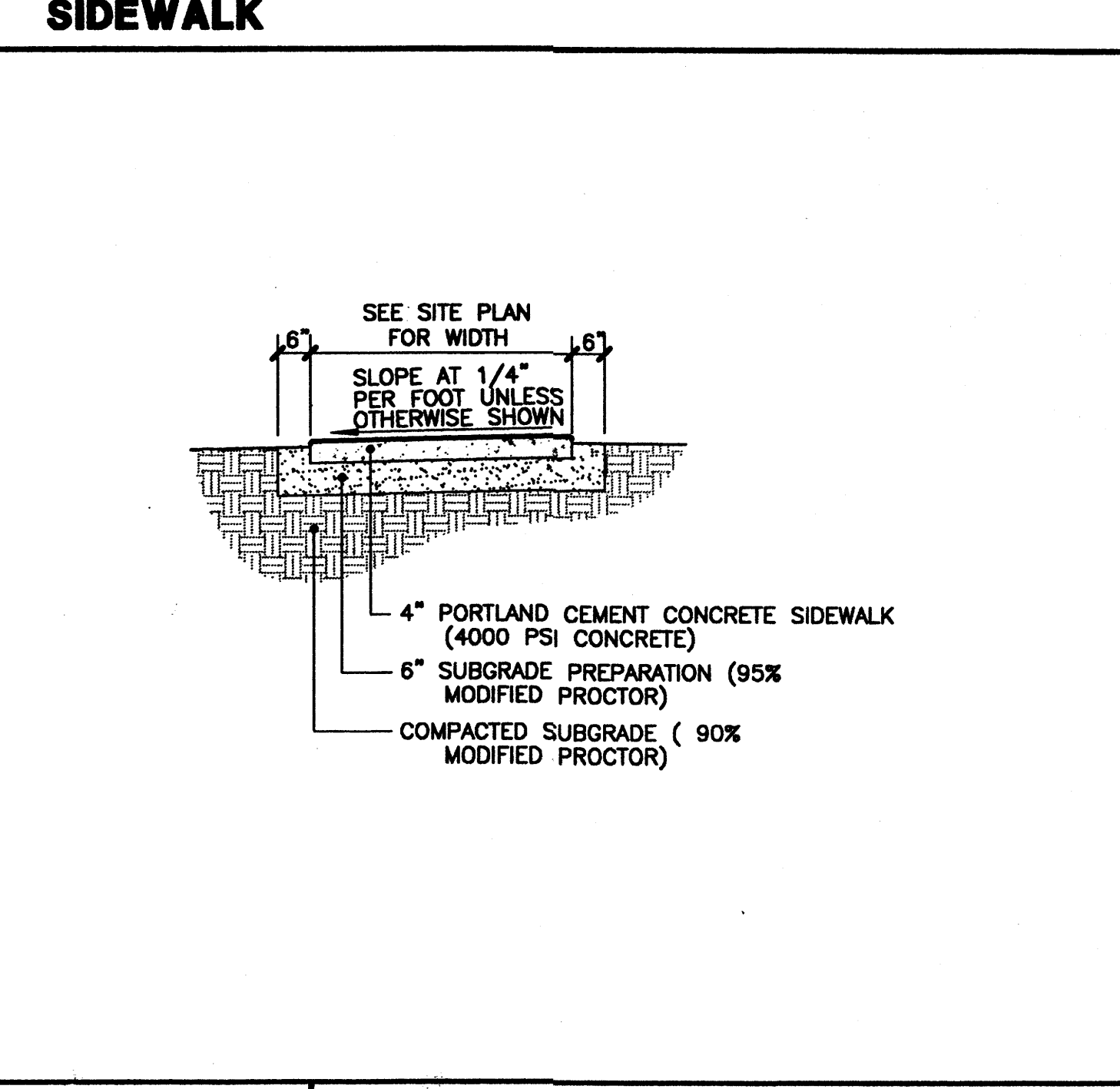
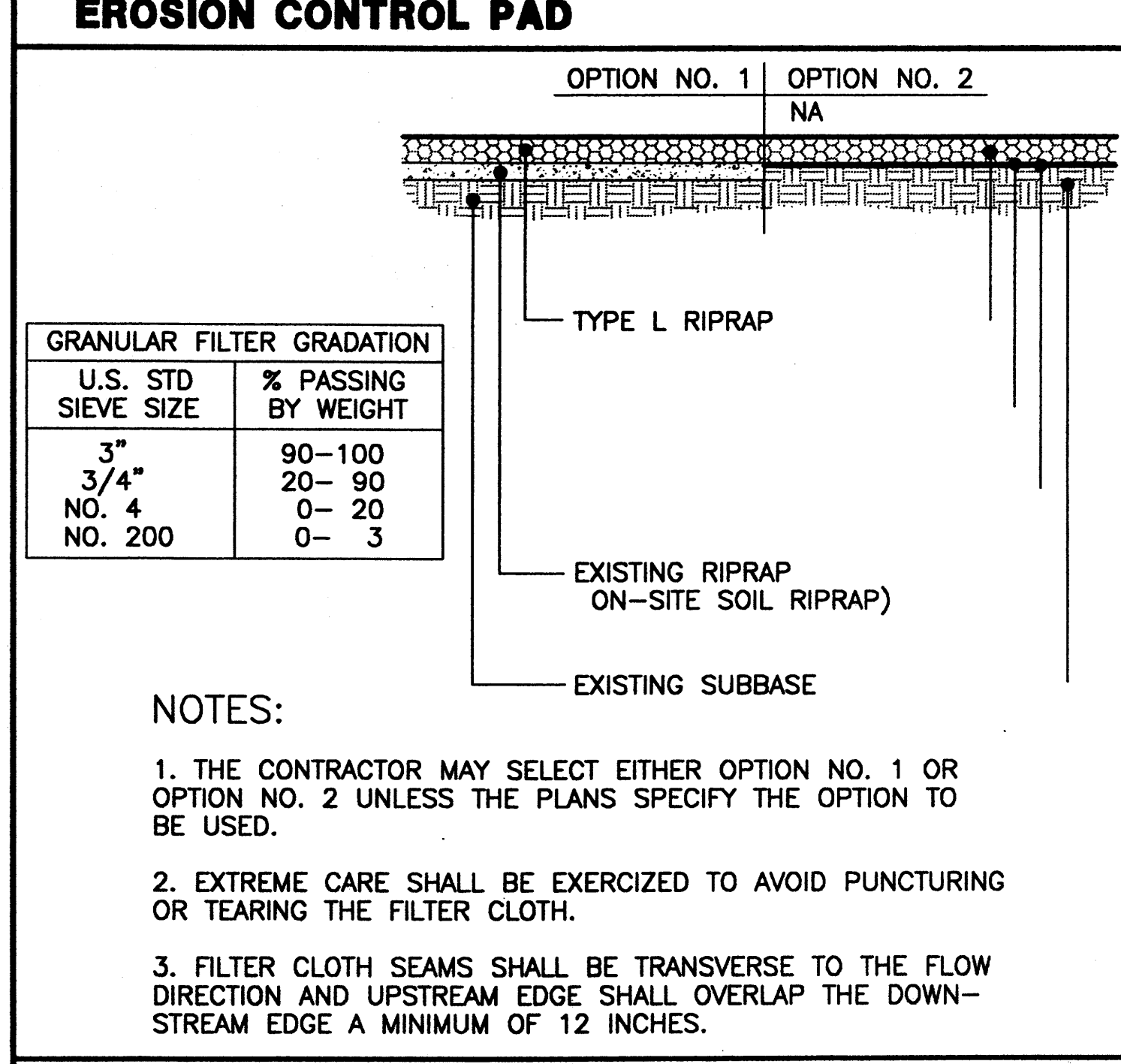
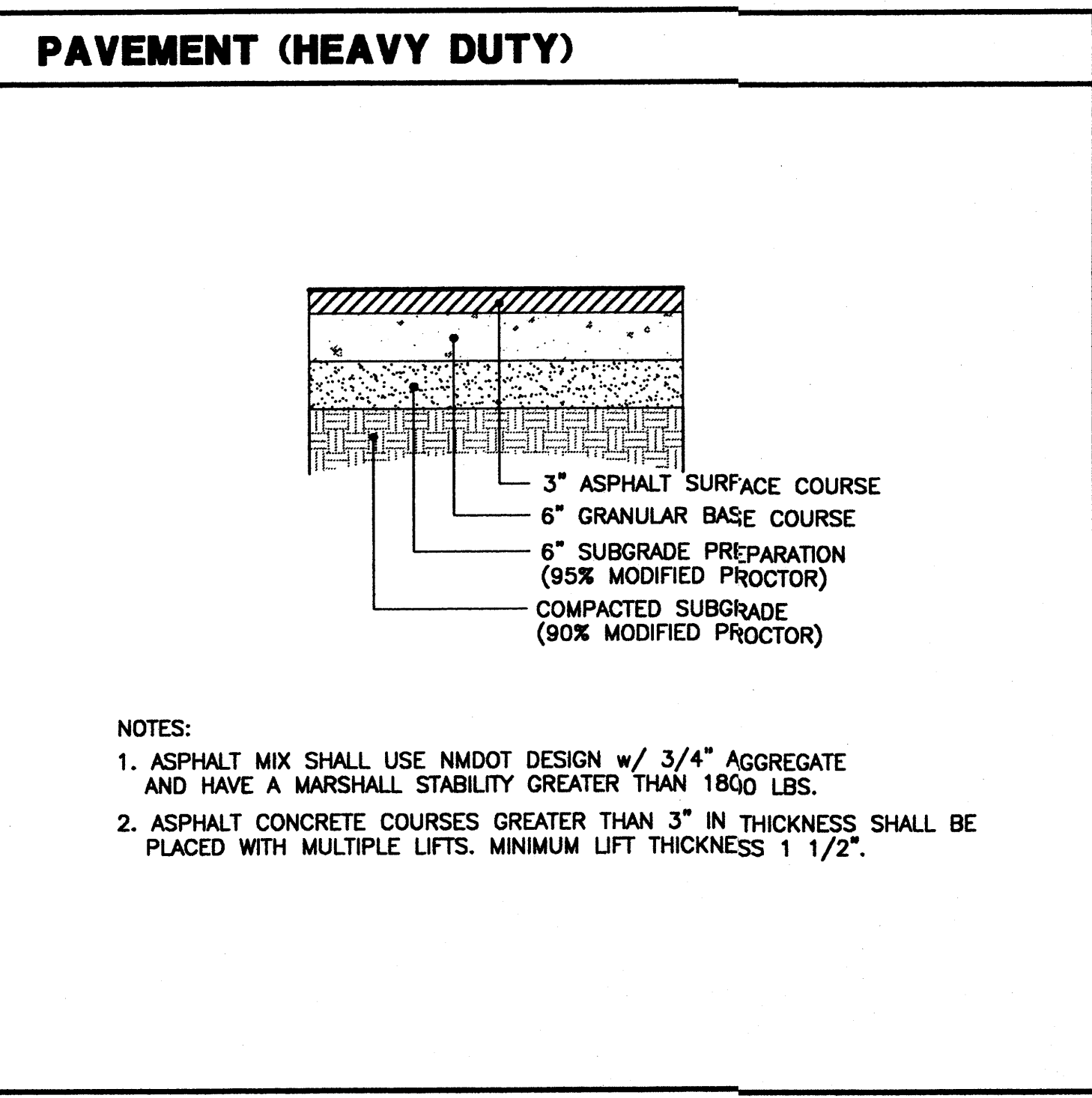
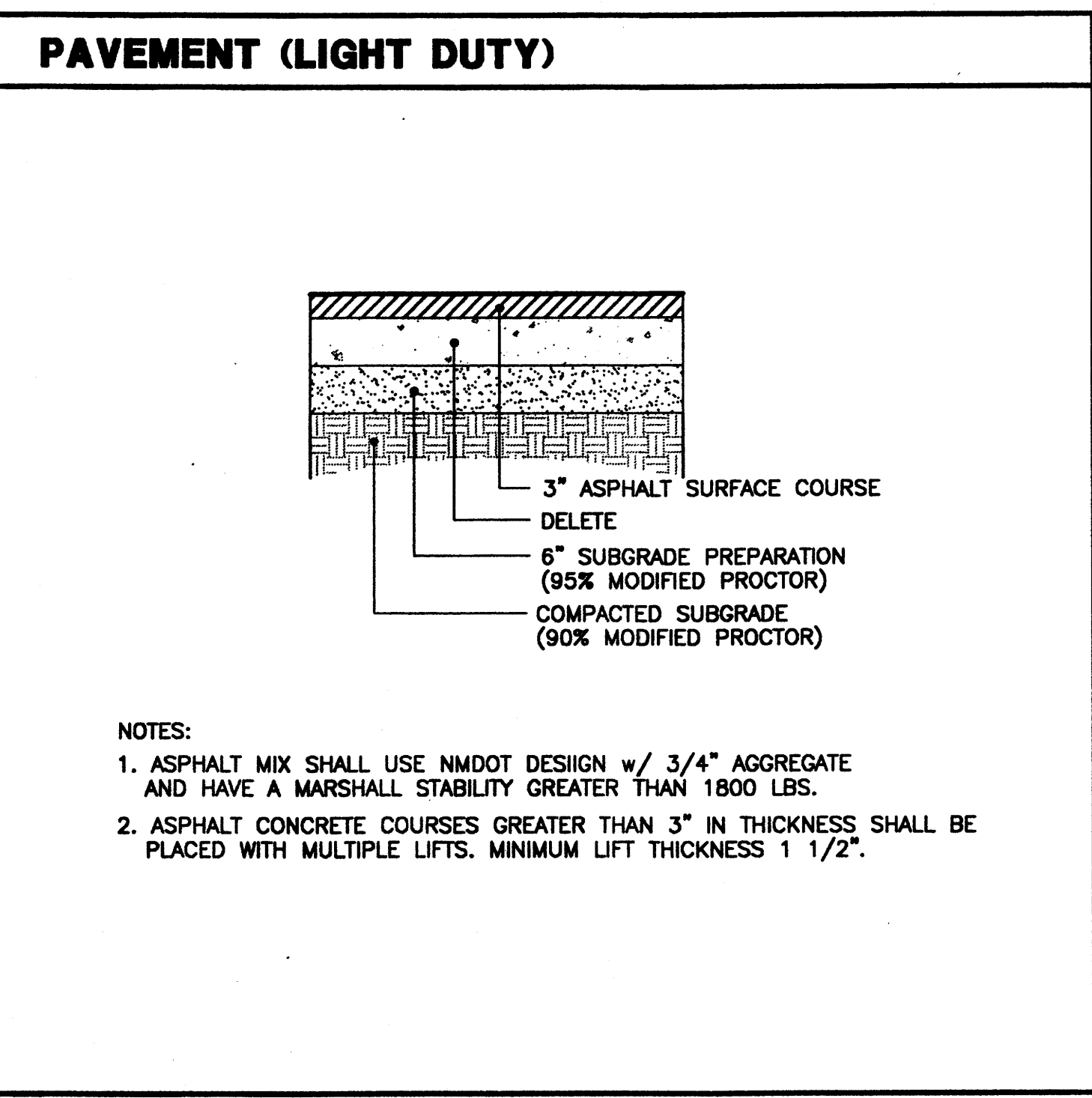
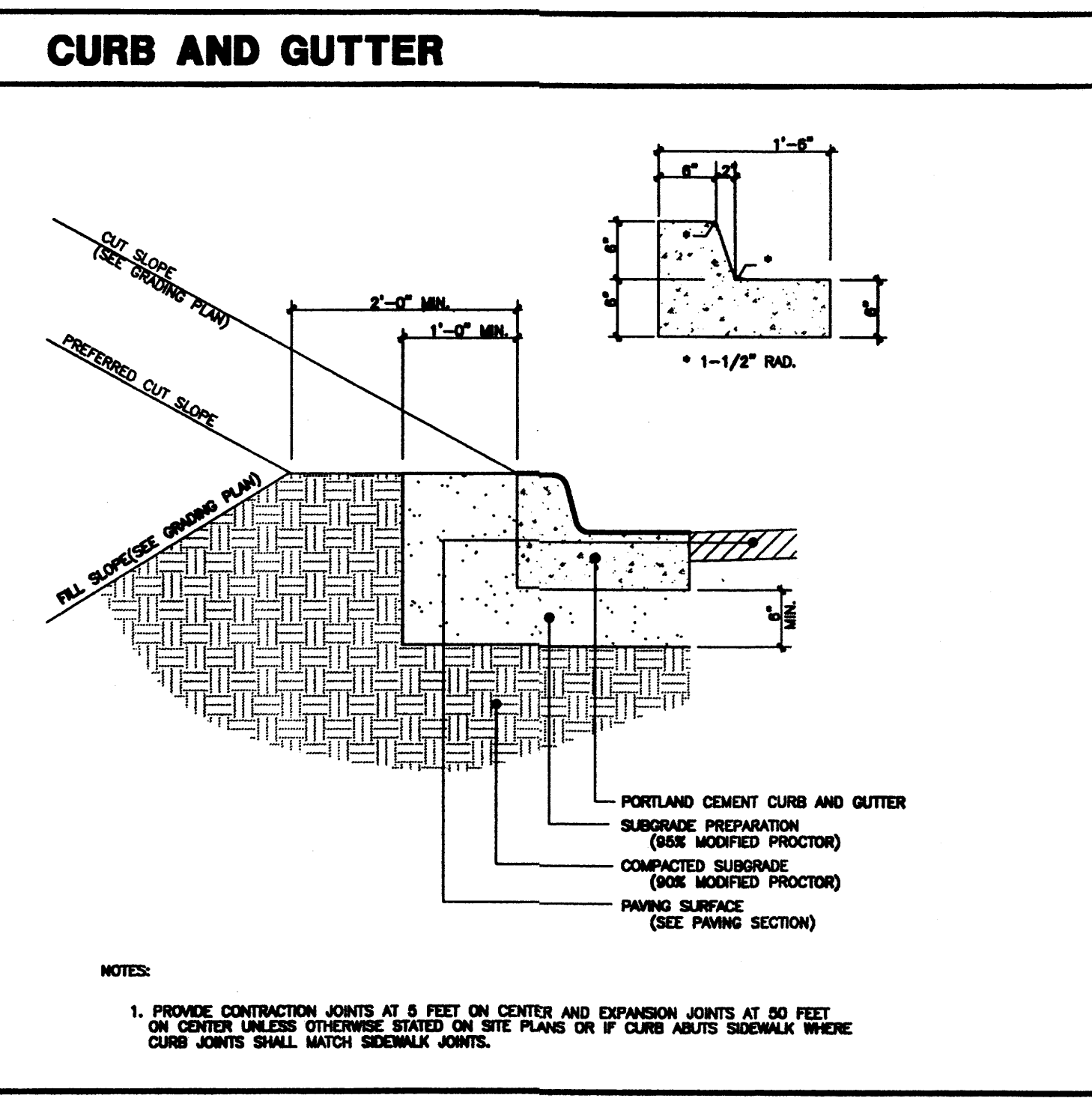
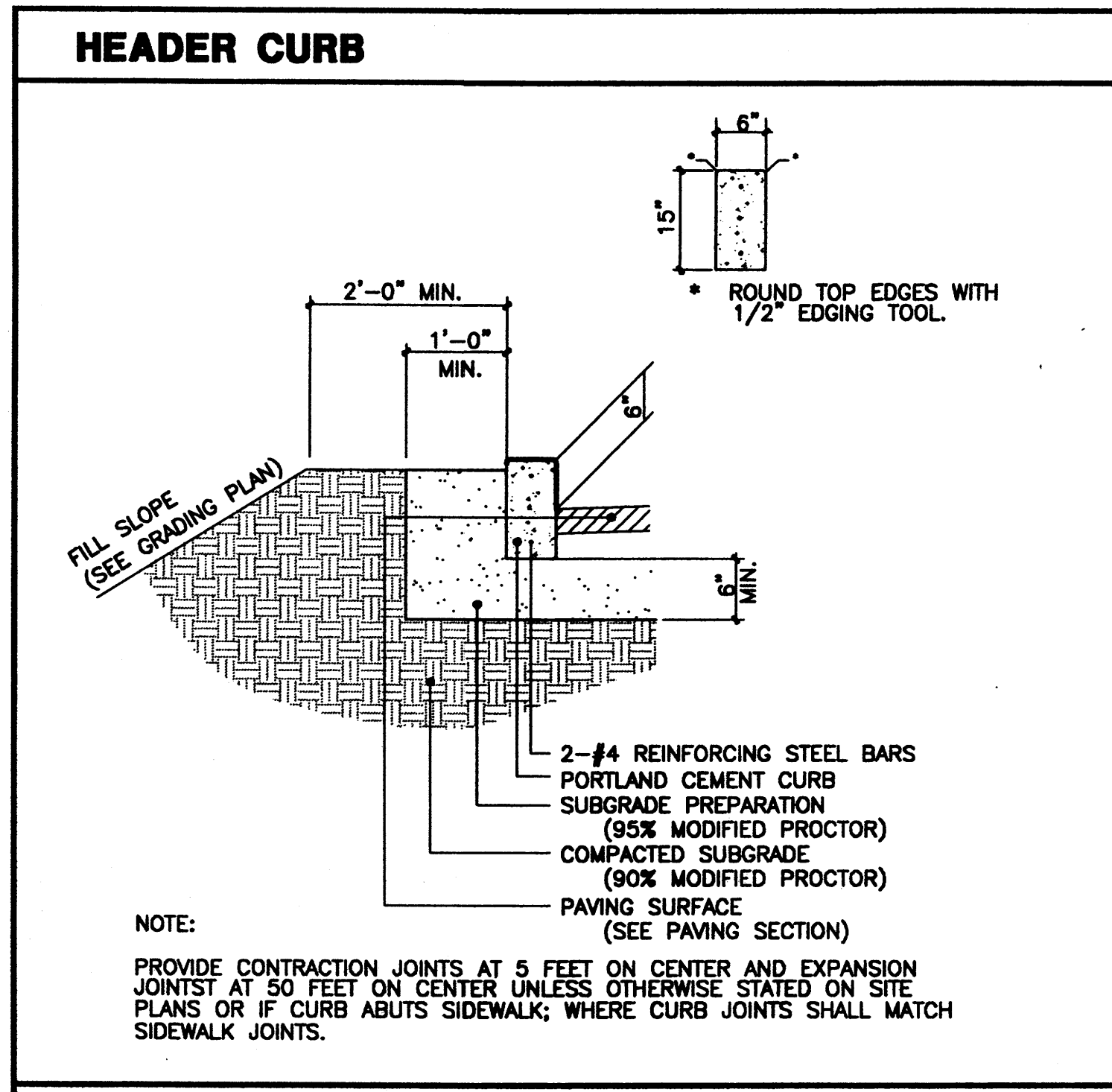
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 Drawn By: PESULVAL, S.A. Checked By: T. OTT

**TIM OTT / DEVELOPER**  
 6820 VANCE AVE. NE, SUITE G  
 ALBUQUERQUE, NM 87118  
 (505) 260-4678

**MICHAEL DEL MASITRO / ARCHITECT**  
 7008 DELWOOD RD. NE / SUITE 100  
 ALBUQUERQUE, NEW MEXICO 87110

Project Name  
**RANDOLPH BUILDING**  
**BERNALILLO COUNTY**  
 ALBUQUERQUE, NEW MEXICO

SHEET NO. \_\_\_\_\_



CONDITION	RETURN PERIOD (Y)	TREATMENT TYPE	TREATMENT AREA (acre-ft)	EXCESS PRECIPITATION (in)	PEAK RANOFF (cfs)	TUNNIFY VOLUME (cu ft)	TUNNIFY RATE (cfs)
DEVELOPED	100	A	0.53	1.96	0	0.00	0.00
	100	B	4975	0.78	2.28	320	0.46
	100	C	0	1.13	3.14	0	0.00
	100	D	61136	2.12	4.7	6080	2.85
		TOTAL				6080	6.01
UNDEVELOPED	100	A	0	0.53	1.96	0	0.00
	100	B	4530	0.78	2.28	301	0.24
	100	C	0	1.13	3.14	0	0.00
	100	D	30083	2.12	4.7	5311	3.34
		TOTAL				5612	3.49
TOTAL	100	A	10365	0.53	1.96	456	0.37
	100	B	9505	0.78	2.28	621	0.46
	100	C	0	1.13	3.14	0	0.00
	100	D	34819	2.12	4.7	6191	3.38
		TOTAL				1086	1.40

### DRAINAGE NOTES

**EXISTING CONDITIONS**  
 THE THREE LOTS ON WHICH THE PROPOSED CONSTRUCTION IS TO TAKE PLACE ARE PRESENTLY IN A NATURAL CONDITION. THE AREA DRAINS TO THE NORTHWEST IN AN OVERLAND FLOW CONDITION. A CONCENTRATED FLOW ENTERS THE SITE, FROM RANDOLPH ROAD, NEAR THE SOUTHWEST CORNER OF THE SITE. A CONCRETE CHANNEL ON THE SOUTH SIDE OF RANDOLPH CARRIES A SIGNIFICANT FLOW FROM THE SOUTHWEST TO RANDOLPH WHERE IT CROSSES STREET, JUMPS THE CURB AND ENTERS THE SITE. DRAINAGE FROM THE SITE FLOWS TO THE PRIVATE STREET, RANDOLPH COURT, WHERE IT ENTERS THE STREET AND IS DIRECTED TO A STORM DRAIN.

**PROPOSED CONDITION**  
 THE SITE IS DIVIDED INTO FOUR BASINS IN WHICH MOST OF THE DRAINAGE WILL CONTINUE TO BE ROUTED TO RANDOLPH COURT VIA EITHER AN EXISTING DRAINAGE EASEMENT OR A NEW STORM DRAIN. A PORTION OF THE DRAINAGE WILL BE ROUTED OUT THE DRIVEWAY TO RANDOLPH ROAD. BASIN A IS COMPOSED OF THE NORTHERLY PORTION OF THE BUILDING AND MOST OF THE EASTERLY PARKING LOT. ITS DRAINAGE WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN AND THE EXISTING DRAINAGE EASEMENT. BASIN B IS COMPOSED OF THE SOUTHERLY PORTION OF THE BUILDING AND THE ENTRANCE DRIVE TO THE EASTERLY PARKING LOT. DRAINAGE FROM THIS BASIN WILL BE ROUTED ON THE SURFACE TO RANDOLPH ROAD. BASIN C IS COMPOSED OF THE WESTERLY PARKING LOT AND WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN AT THE SOUTH END OF THE SITE. AND LAST, BASIN D IS THE UNDEVELOPED PORTION OF THE SITE AND WHICH WILL BE DIRECTED TO RANDOLPH COURT VIA THE STORM DRAIN. FOR BASIN C, BASIN B HAS A RETAINING WALL AT ITS SOUTHERLY BOUNDARY THAT PARALLELS RANDOLPH ROAD. THE RETAINING PORTION OF THE WALL WILL VARY FROM 0' TO 5' IN HEIGHT. THIS WALL WILL BE PLACED IMMEDIATELY BEHIND THE SIDEWALK. THE WALL WILL BE 1.5' ABOVE THE ADJACENT WALK FROM THE EASTERLY END OF THE WALL TO THE POINT OF CURVATURE. FROM THAT POINT TO THE WEST THE WALL WILL BE FLUSH WITH THE GROUND.

**CONCLUSION**  
 THIS DESIGN WILL PROVIDE FLOOD PROTECTION TO THE NEW SITE AND IMPROVE DRAINAGE CONDITIONS TO OTHER SITES THAT SURROUND THE NEW SITE. IN ADDITION, THE DESIGN WILL SOLVE THE EXISTING CONDITION OF THE WATER EXITING THE ROAD NEAR ITS EASTERN BOUNDARY.