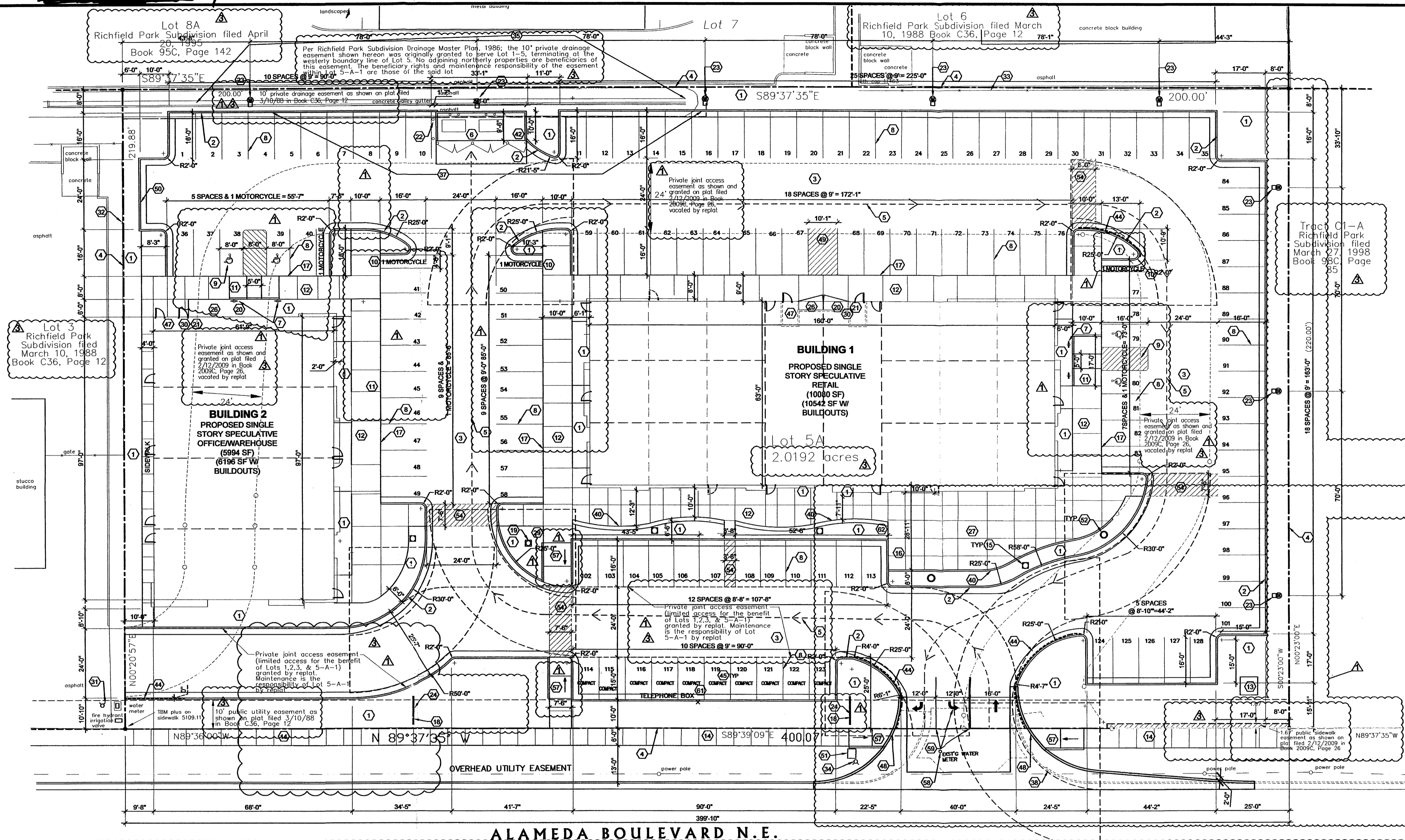


10005410



- KEYED NOTES:**
- LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
 - STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
 - ASPHALT PAVING @ DRIVEWAYS AND AT PARKING STALLS.
 - PROPERTY LINE.
 - WASTE COLLECTION ROUTE.
 - REFUSE PAD, APRON, AND ENCLOSURE WITH RECYCLING AREA, WITH GREASE TRAP & FROST PROOF YARD FLOOR HYDRANT, PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAILS B51.2 THROUGH E15.2.
 - PILE MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE NS1.2.
 - PARKING STALL STRIPING, TYPICAL.
 - PAINTED HANDICAP PARKING SYMBOL.
 - MOTORCYCLE/MOPED PARKING AREA.
 - HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
 - NEW CONCRETE SIDEWALK. WIDTH AS DENOTED. MINIMUM UNOBSTRUCTED WIDTH SHALL BE 6'-0".
 - TRANSFORMER LOCATION PAD MOUNTED, PER PNM SPECIFICATIONS.
 - EXISTING 6'-0" CITY SIDEWALK.
 - DECORATIVE POLE LIGHTING OR LIGHT BOLLARDS ALONG SOUTHFRONT OF BUILDING ALONG THE SIDEWALK NOT EXCEEDING 16 FT. HT. SEE DETAIL G51.2.
 - BIKE RACK. SEE DETAIL L51.2.
 - TURNDOWN SIDEWALK.
 - MONUMENT SIGN. SEE DETAIL K51.2.
 - FLAGPOLE, 2" HIGH POLE W/BRUSHED ALUMINUM FINISH.
 - GAS METER LOCATIONS: (12 TOTAL - 8 AT BLDG 1, 4 AT BLDG 2).
 - ROOF ACCESS HATCH & LADDER LOCATION.
 - 2" STEEL BOLLARDS, FILLED W/ CONCRETE. SEE DETAIL F51.2.
 - POLE LIGHT SEE DETAIL G51.2. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING.
 - ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE ORDINANCES.
 - MONUMENT SIGN DOWN LIGHTS MOUNTED ON TOP OF MONUMENT SIGN.
 - DIRECTIONAL SIGNAGE. SEE NS1.2.
 - ELECTRICAL METERS LOCATION.
 - EXISTING WOOD FENCE TO REMAIN - ON ADJACENT PROPERTY.
 - EXISTING HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
 - MAIL BOX LOCATION.
 - TELEPHONE DEMARCATION PANEL ROOM.
 - EXISTING FIRE HYDRANT.
 - EXISTING CHAIN LINK FENCE TO REMAIN - ON ADJACENT PROPERTY.
 - EXISTING WOOD FENCE TO REMAIN - ON ADJACENT PROPERTY.
 - NEW PUBLIC FIRE HYDRANT.
 - PERMO DRAINAGE SWALE. REPLACE WITH LANDSCAPING.
 - NOT USED.
 - CORFCOTS AT 16' O.C. TO PASS FLOW TO PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
 - EXISTING DRIVE CURB.
 - NOT USED.
 - 24" HIGH SCREEN WALL. STUCCO COLOR TO MATCH BUILDING.
 - SEATING WALL. TOP OF WALL AT 20" ABOVE GROUND LEVEL. WALL DEPTH 16". STUCCO COLOR TO MATCH BUILDING.
 - NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
 - NO PARKING. FIRE LANE. CURB TO BE PAINTED/DENOTED AS SUCH (LOCATION DENOTED BY DASHED LINE ON PLAN).
 - ALL COMPACT SPACES TO BE STAMPED WITH THE WORD "COMPACT" ON THE PAVEMENT.
 - NOT USED.
 - FIRE SPRINKLER RISER AND POTABLE WATER BACKFLOW PREVENTER ROOM.
 - RELOCATED ENTRY DRIVE.
 - STAMP PAVEMENT "NO PARKING" FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
 - NO PARKING. CURB TO BE PAINTED YELLOW TO DESIGNATE AS SUCH.
 - NEW WATER METER, 1" SERVICE, 3/4" METER.
 - LIGHTING BOLLARD.
 - NOT USED.
 - PAINT STRIPING ON PAVEMENT FOR PEDESTRIAN CROSSWALK.
 - NOT USED.
 - NOT USED.
 - NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE. ALL RAMPS LOCATED IN WITHIN CITY RIGHT OF WAY TO HAVE TRUNCATED DOMES.
 - CAP OFF EXISTING WATER METER. SEE CONCEPT SITE UTILITY PLAN.
 - NEW LANE STRIPING AND DIRECTIONAL ARROWS AT ACCESS POINT PER C.O.A. STANDARDS.
 - NOT USED.
 - RELOCATE EXISTING TELEPHONE BOX.
 - EXTERIOR LOCKERS FOR BIKE HELMETS, GEAR, ETC.

SHEET
S1.1
OF: X

- REVISIONS:**
- 4-3-12 DRB 9-21-12 COMMENTS & EASEMENT REVISIONS
 - 5-11-12 ENTRY DRIVE RELOCATION & ASSOCIATED REVISIONS
 - 6-13-12 MEDIAN CLARIFICATIONS, DRAINAGE EASEMENT, MAINTENANCE & BENEFICIARIES CLARIFICATION, REPLAT COORDINATION
 - 6-16-12 DRB COMMENTS - ZONING & R44.01 DETAIL

SCALE:
1" = 20'-0"

PLAN DATE:
FEB 23, 2012

FILENAME:

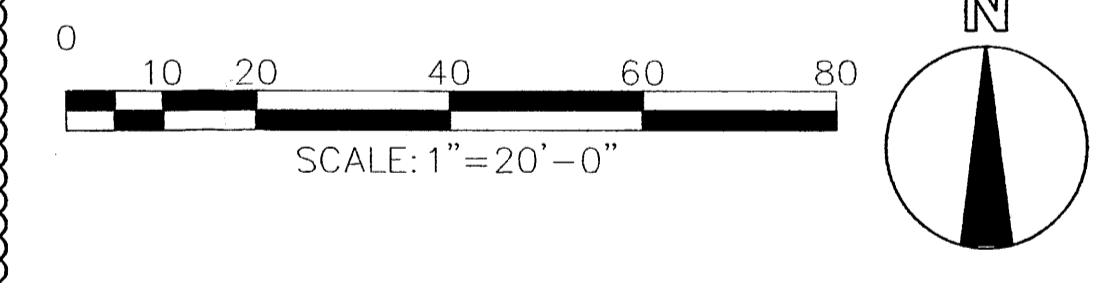
SITE:

DRAWN BY:
L. KUENN

SITE PLAN FOR BUILDING PERMIT

PROPOSED RETAIL/OFFICE BUILDINGS
LOT 5A RICHFIELD PARK SUBDIVISION
4545 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO 87113

ALAMEDA BOULEVARD N.E.



PROJECT DESCRIPTION:

ADDRESS: 4545 ALAMEDA BOULEVARD NE
ALBUQUERQUE, NM 87113

LEGAL DESCRIPTION: LOT 5-A BEING A REPLAT OF LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION JOHN E & CYNTHIA A MECHENBIER 10170643003901104

OWNER: JOHN E & CYNTHIA A MECHENBIER
UPC: 10170643003901104

ZONE MAP: C-17
ZONING: SU-2 NC
TOTAL SITE AREA: 88,004 SF
DEVELOPED AREA: 88,004 SF

| REQUIRED PARKING: | PATIO/OUTDOOR DINING AREA: |
|--|--|
| RETAIL (M) 10,080/200 = 51 | 938 S.F. |
| BUSINESS (B) 5,994/200 = 30 | EXTERIOR BENCH SEATING: |
| TOTAL PARKING REQUIRED 81 | TOTAL SEATING REQUIRED (213 LIN FT/ 25 FT) = 9 |
| TOTAL PARKING PROVIDED: = 128 | EXTERIOR DINING SEATING (MIN.) = 16 |
| COMPACT SPACES ALLOWED (33% OF 128): 42 | BENCH HIGH WALL SEATING (104 LIN FT/24) = 52 |
| COMPACT SPACES PROVIDED: = 40 | TOTAL SEATING PROVIDED 68 |
| TOTAL HANDICAP REQUIRED PER 2003 IBC TABLE 1106.1: = 4 | A MINIMUM OF 25% OF SEATING TO BE SHADED |
| TOTAL HANDICAP PROVIDED: = 4 | |
| TOTAL MOTORCYCLE/MOPED REQUIRED: 3 | |
| TOTAL MOTORCYCLE/MOPED PROVIDED: 4 | |
| TOTAL BIKE SPACES REQUIRED: 81/20 = 4 | |
| TOTAL BIKE SPACES PROVIDED: = 6 | |

CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE, AUTOMATIC SPRINKLER SYSTEM)

OCCUPANCY GROUPS: M RETAIL, B OFFICE

GROSS BUILDING AREA (INCLUDES OVERHANGS & POPOUTS): 16,738 SF
NET FLOOR AREA: 16,074 SF
NET LOT AREA: 88,004 SF
LESS BUILDING FOOTPRINT AREA: 16,738 SF
NET LOT AREA: 17,226 SF
TOTAL LANDSCAPE PROVIDED: 15,103 SF
LANDSCAPE % NET LOT AREA: 21.2 %

BUILDING USAGE & OCCUPANCY AREAS:
THE BUILDING WILL BE USED PRIMARILY FOR RETAIL WITH POSSIBLE OFFICE OR MEDICAL USE IN SOME OF THE SPACE. IT IS ESTIMATED THAT APPROXIMATELY 10,080 S.F. SHALL BE RETAIL SPACE (M OCCUPANCY), AND APPROXIMATELY 5,994 S.F. OF THE TOTAL SQUARE FOOTAGE SHALL BE OFFICE/MEDICAL SPACE (B OCCUPANCY).

TRAFFIC CIRCULATION:
TRAFFIC ENTRY TO THE PROPERTY SHALL BE VIA EAST & WEST-BOUND ALAMEDA BLVD. AT THE EAST END OF THE PROPERTY AND VIA THE SHARED ACCESS EASEMENT WITH LOT 3 RICHFIELD PARK SUBDIVISION AT THE WEST END OF THE PROPERTY. ON-SITE TRAFFIC FLOW IS TWO-WAY THROUGHOUT.

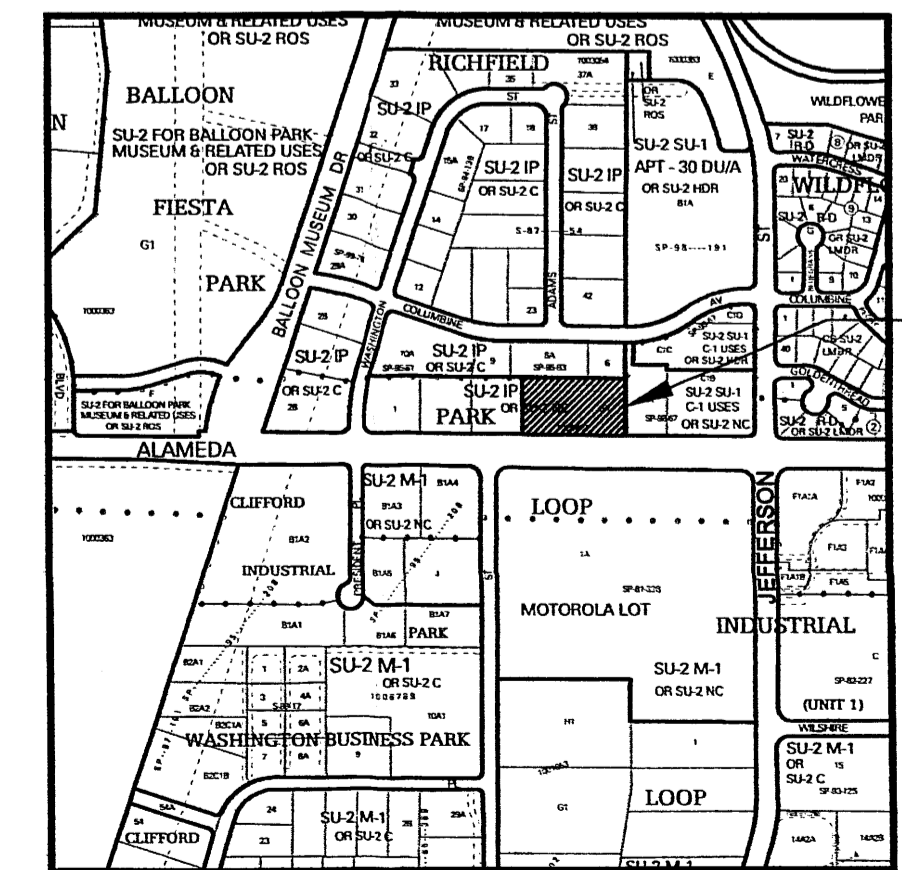
PROJECT NUMBER: 1005410

APPLICATION NUMBER: 12DRB-70062

IS AN INFRASTRUCTURE LIST REQUIRED () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

| | | |
|---|-----------|------|
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | 06-20-12 | DATE |
| Water Utility Department | 06/20/12 | DATE |
| Parks and Recreation Department | 6-20-12 | DATE |
| CITY ENGINEER | 8-28-12 | DATE |
| ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | 8-28-12 | DATE |
| SOLID WASTE MANAGEMENT | 6-20-2012 | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | 6-20-2012 | DATE |
| ENVIRONMENTAL HEALTH, IF NECESSARY | | |



VICINITY MAP: C-17-Z

SITE PLAN FOR BUILDING PERMIT

MECHENBIER CONSTRUCTION INC.
1850 WASHINGTON ST. NE SUITE 415
ALBUQUERQUE, NM 87113
OFFICE: (505) 316-7700
FAX: (505) 314-7799
WWW.MECHENBIER.COM

REVISIONS:
 A 4-3-12
 DRB 5-21-12
 COMMENTS &
 EASEMENT REVISIONS
 A 6-18-12
 DRB COMMENTS -
 ZONING & BOLLARD
 DETAIL

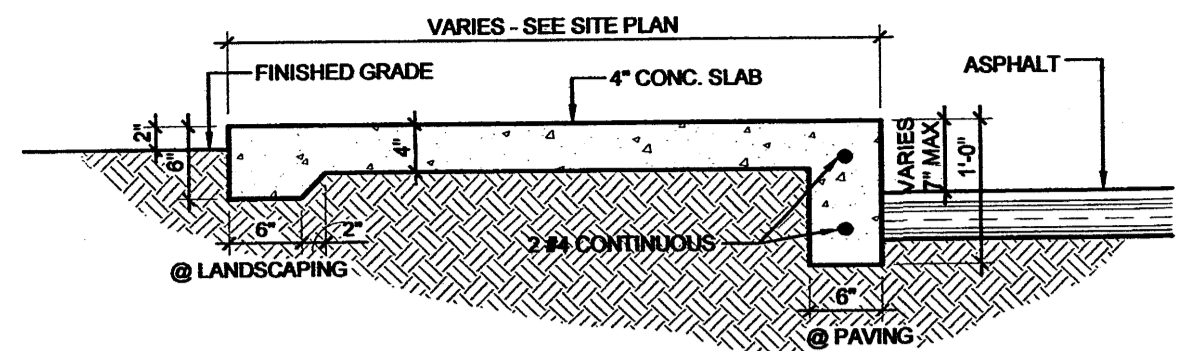
SCALE:
 1" = 20'-0"
 PLAN DATE:
 FEB 23, 2012
 FILENAME:
 SITE
 DRAWN BY:
 L. KUENN

PROPOSED RETAIL/OFFICE BUILDINGS
 LOT 5A RICHFIELD PARK SUBDIVISION
 4545 ALAMEDA BLVD NE
 ALBUQUERQUE, NEW MEXICO 87113

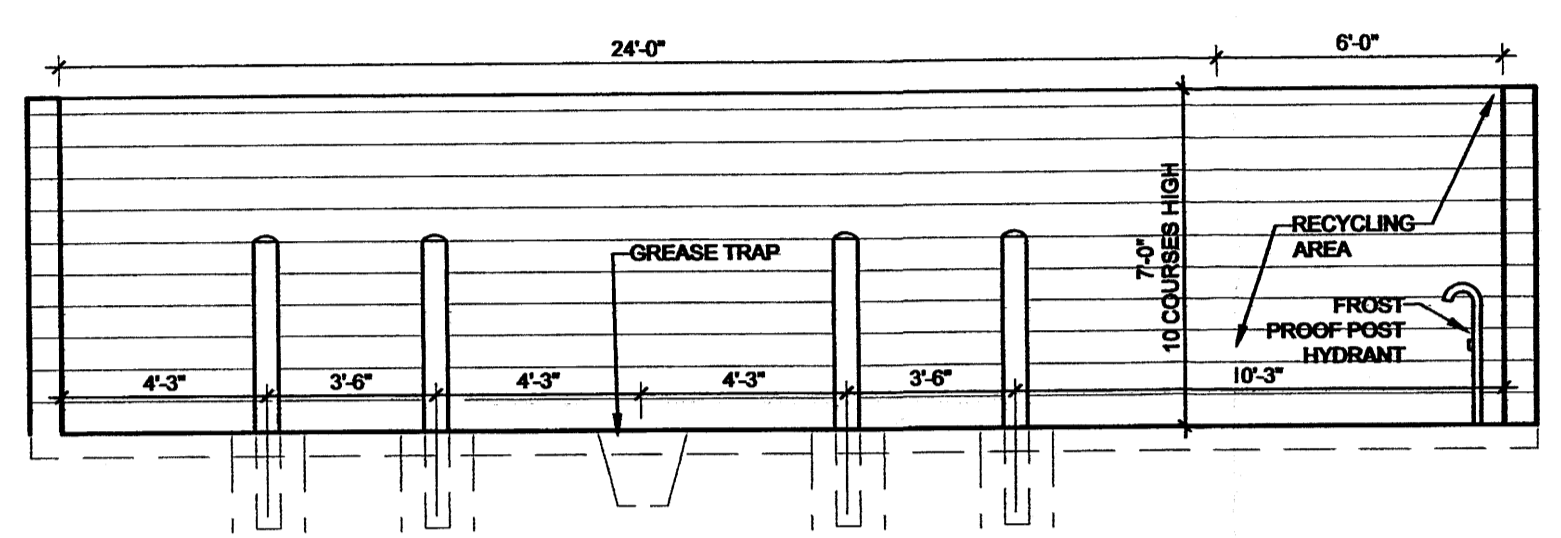
MECHENBER
 CONSTRUCTION INC
 8800 WASHINGTON ST., SUITE 454
 ALBUQUERQUE, NM 87120
 WWW.MECHENBER.COM
 (505) 263-7777

SITE DETAILS

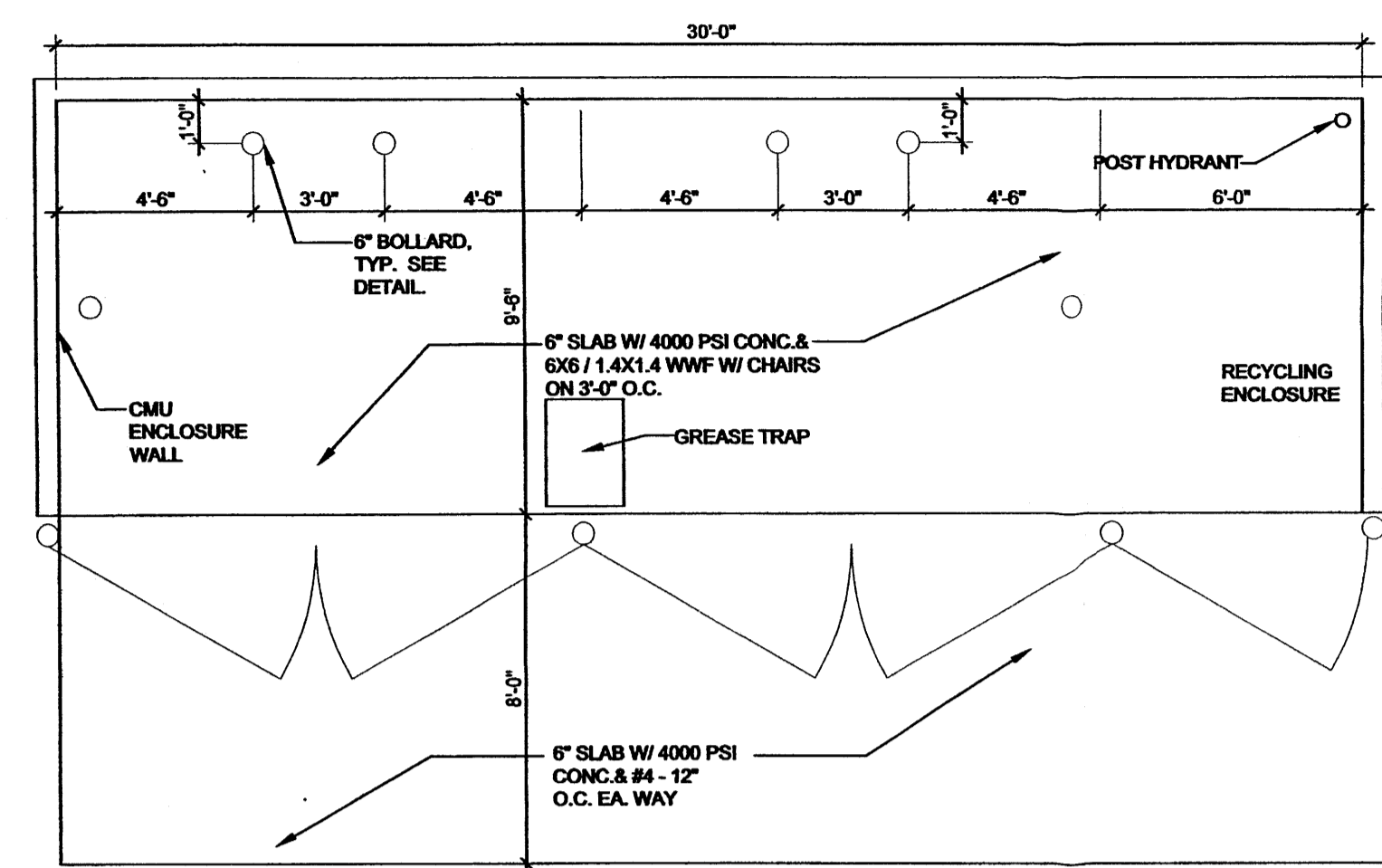
SITE DETAILS



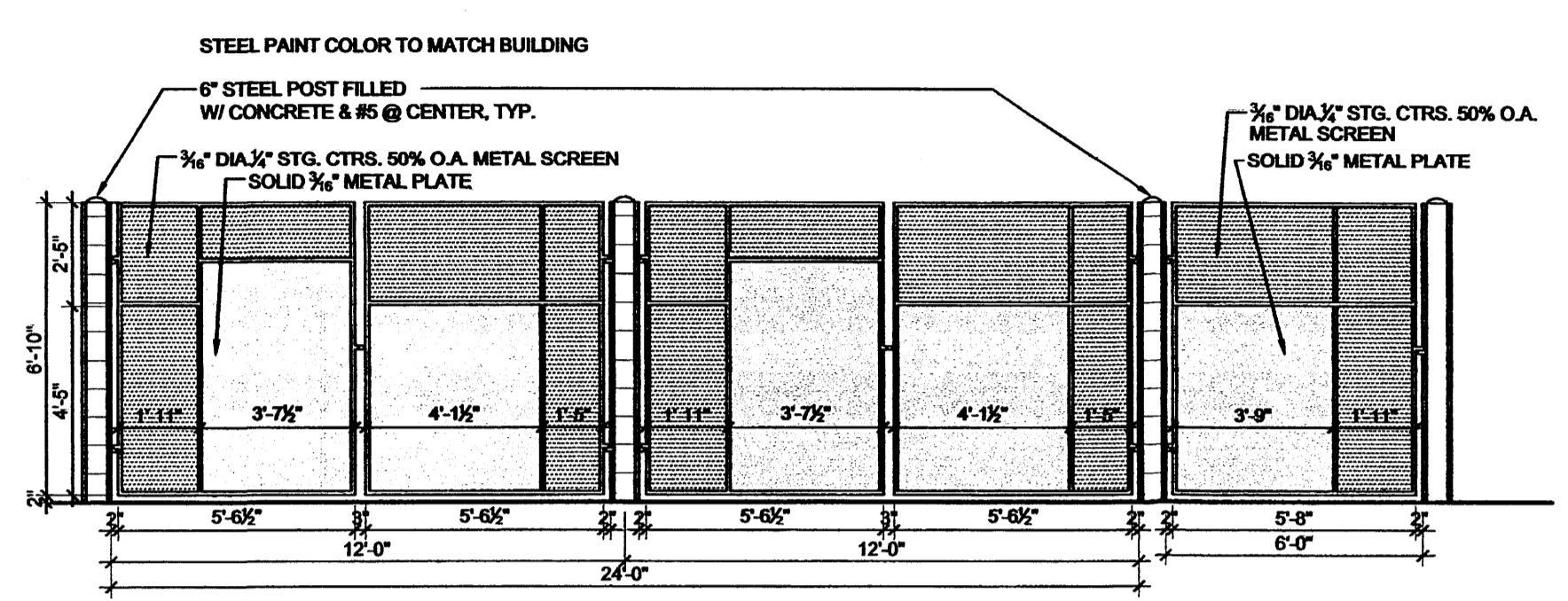
A SIDEWALK SECTION
 3/4" = 1'-0"



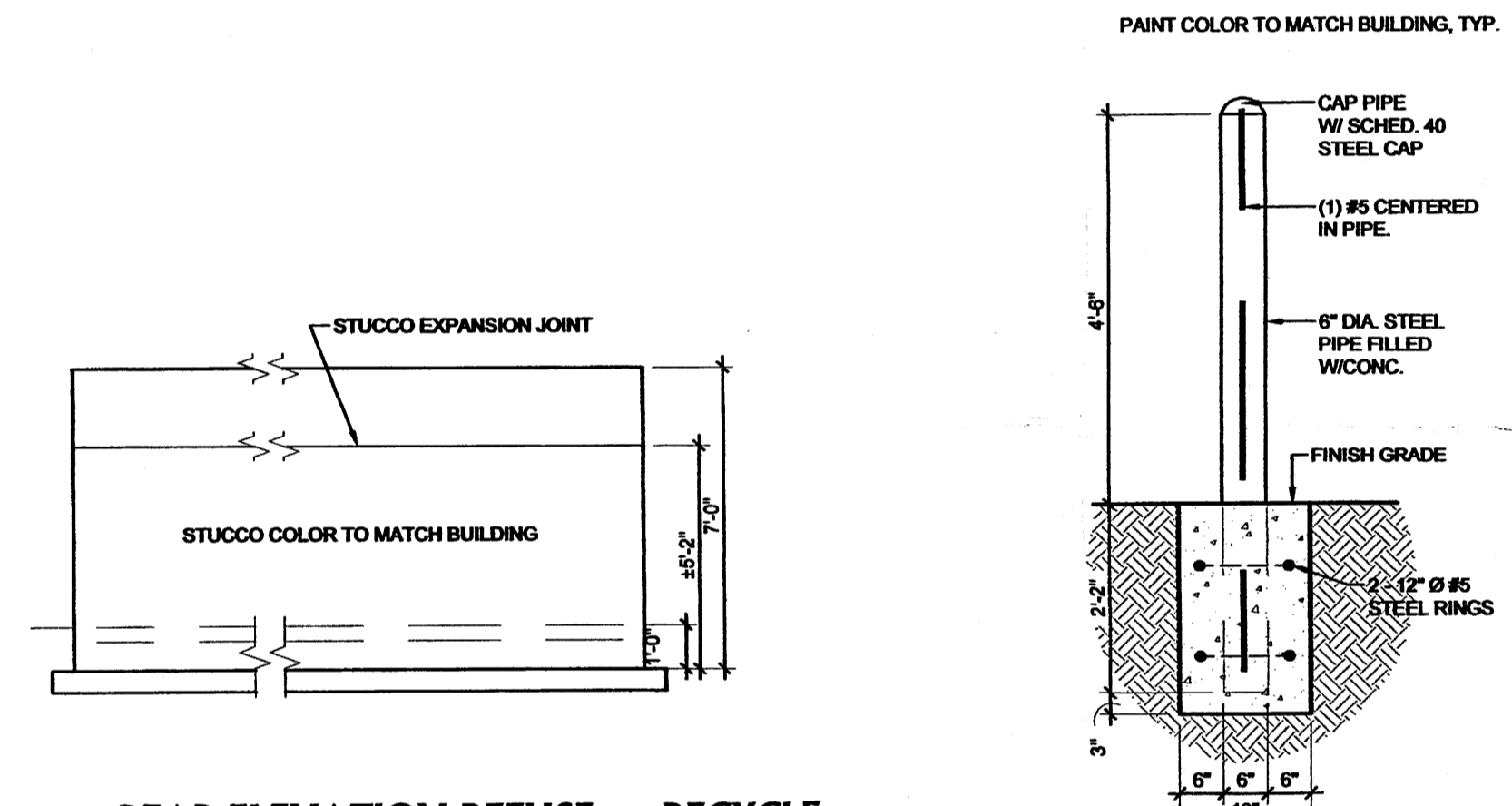
B DUMPSTER ENCLOSURE
 1/4" = 1'-0"



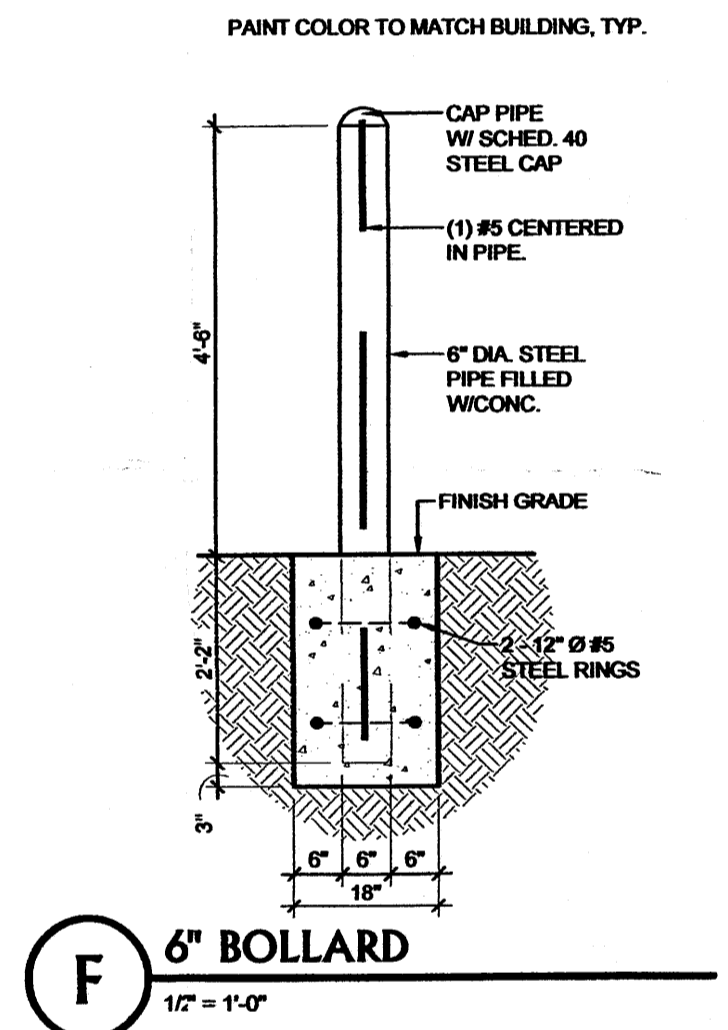
C REFUSE ENCLOSURE PLAN
 1/4" = 1'-0"



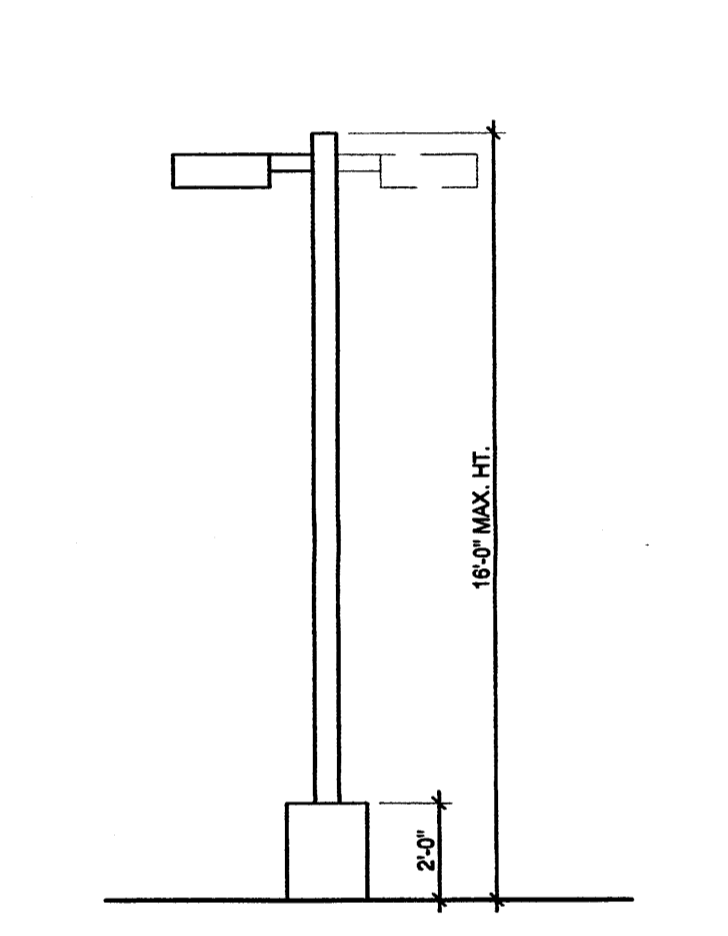
D FRONT ELEVATION REFUSE & RECYCLING ENCLOSURE
 1/4" = 1'-0"



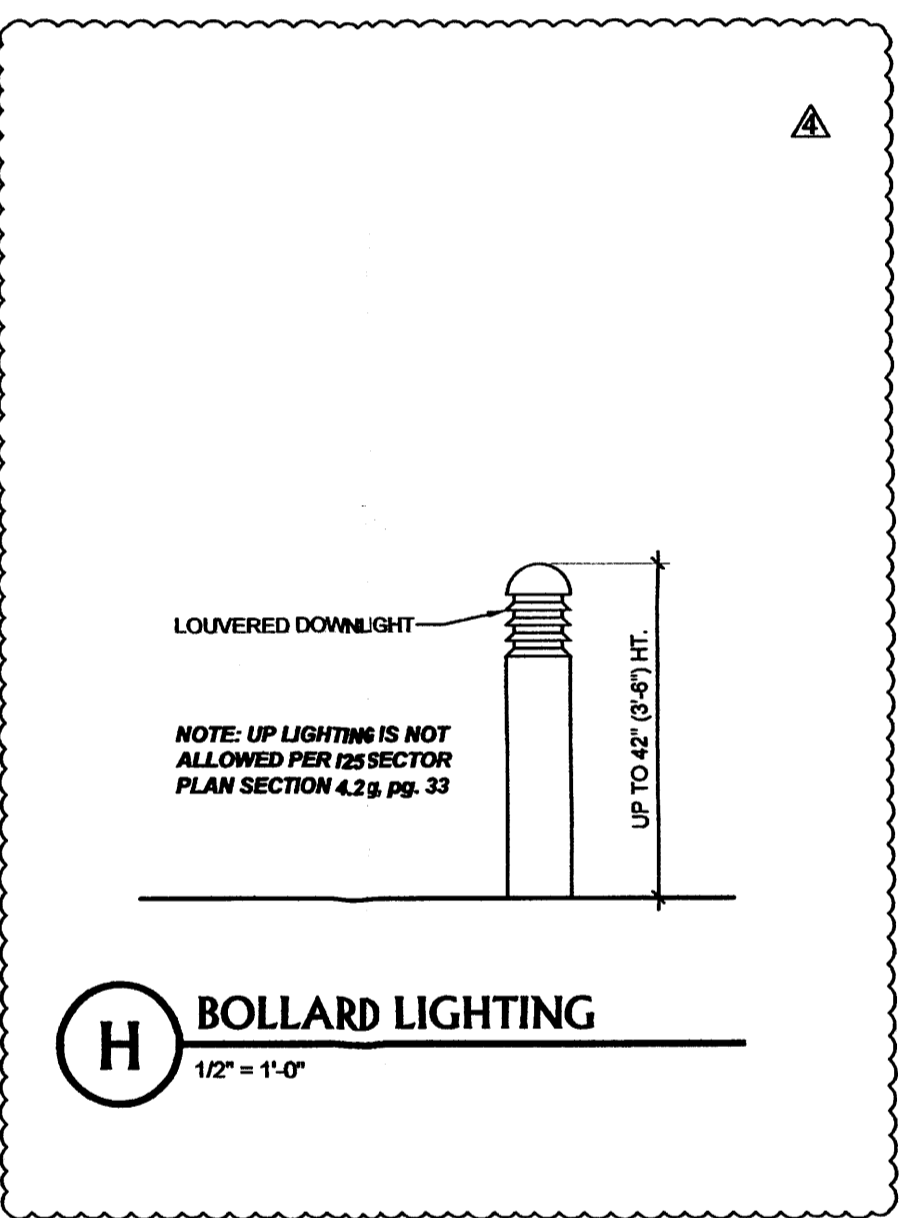
E REAR ELEVATION REFUSE & RECYCLE ENCLOSURES
 1/4" = 1'-0"



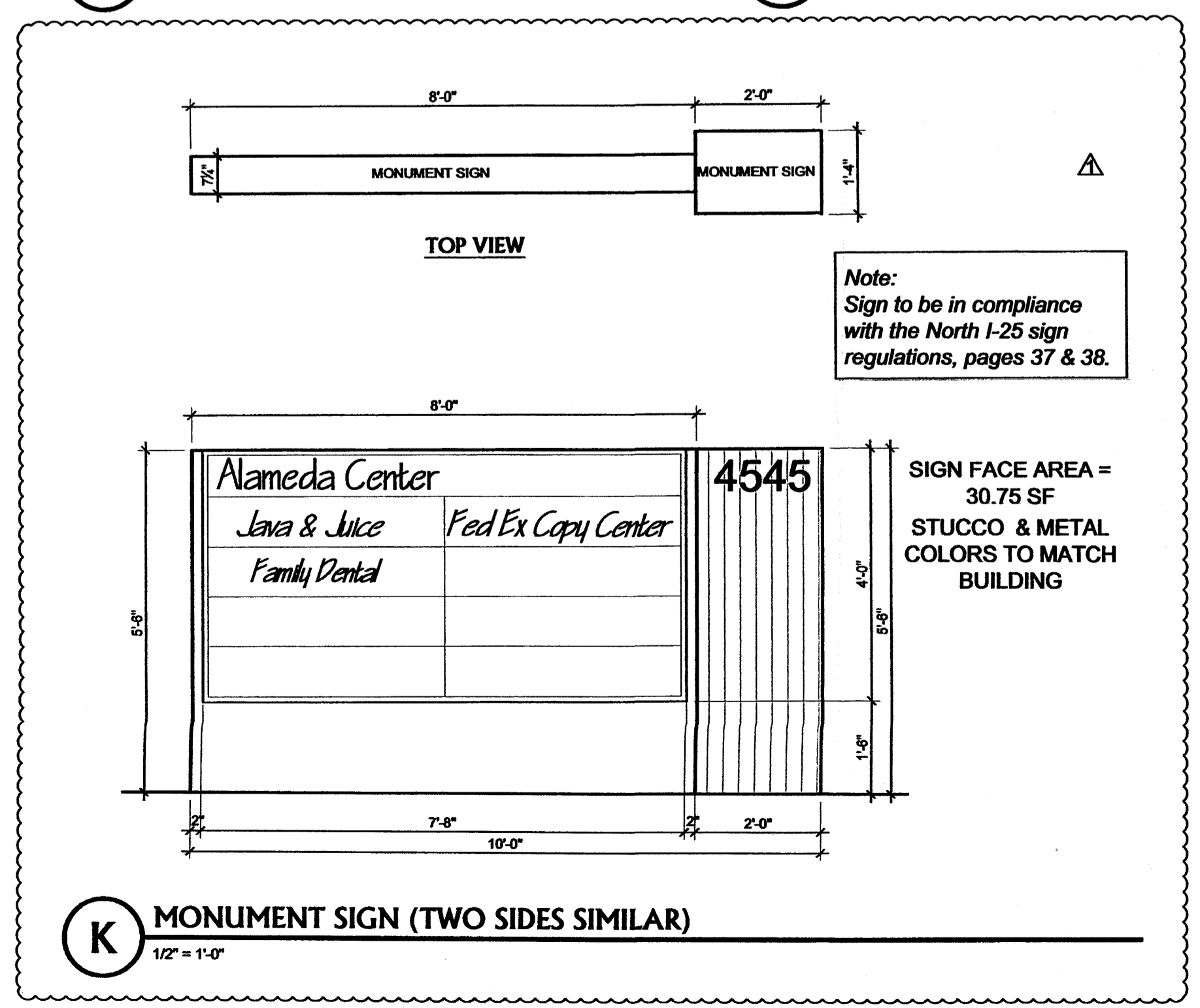
F 6" BOLLARD
 1/2" = 1'-0"



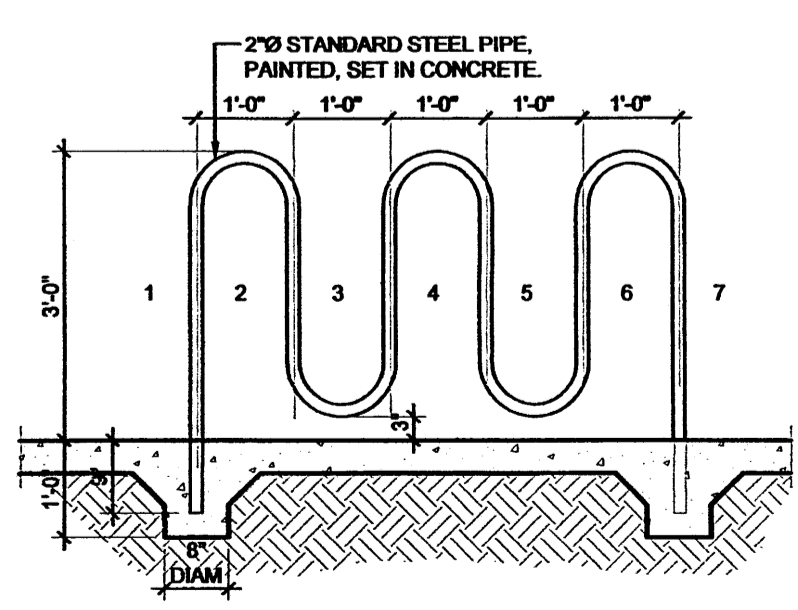
G LIGHT POLE
 1/4" = 1'-0"



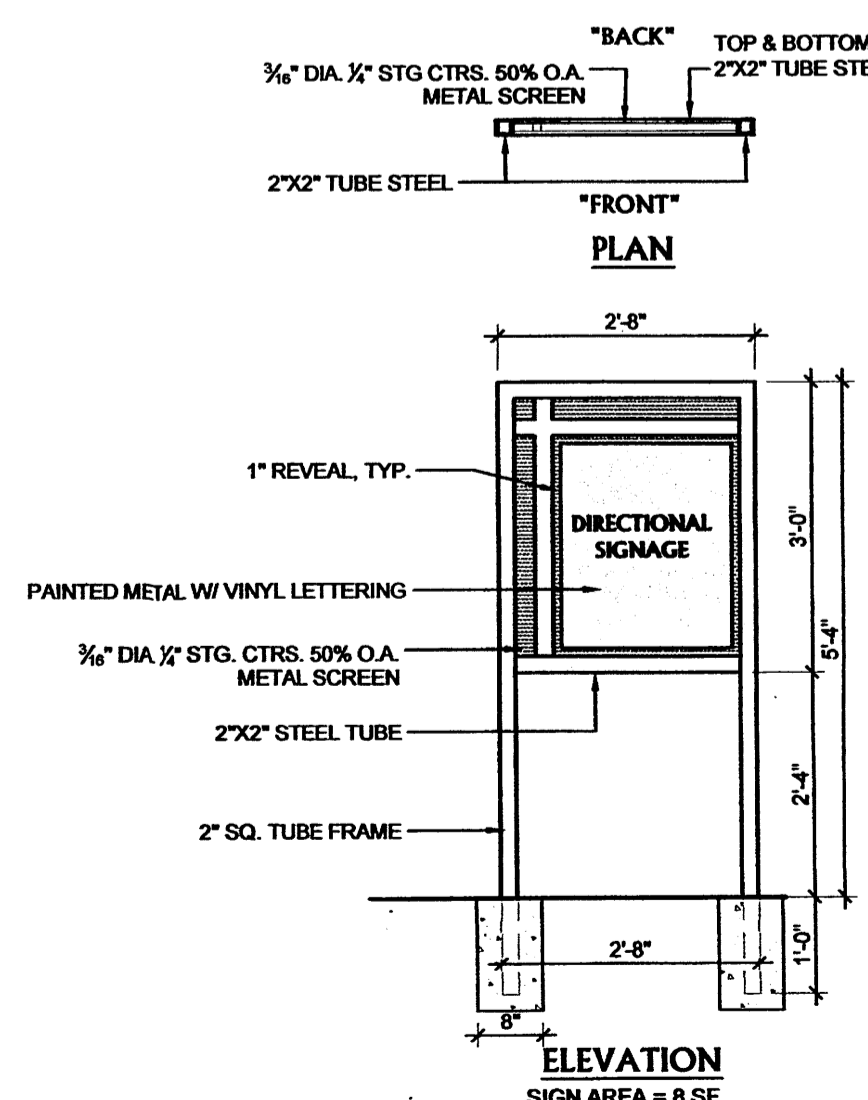
H BOLLARD LIGHTING
 1/2" = 1'-0"



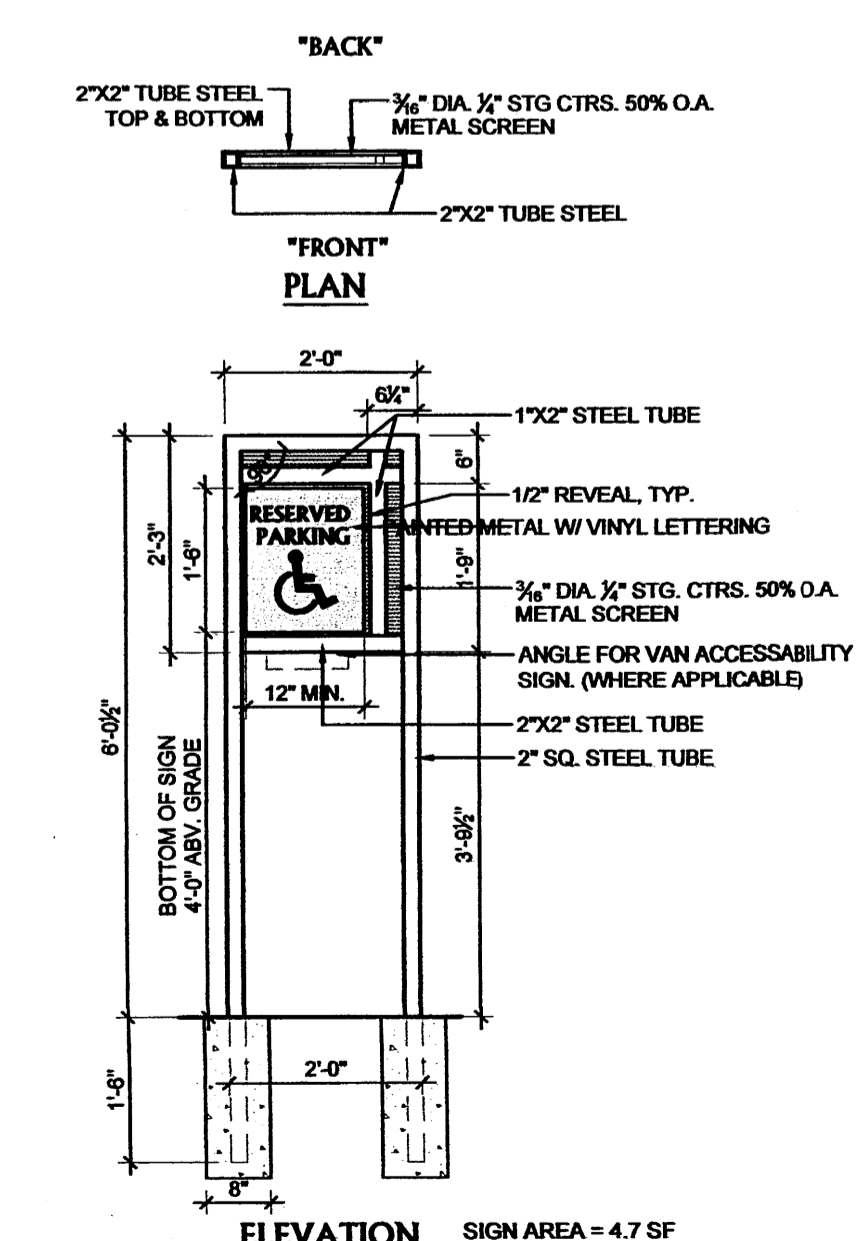
K MONUMENT SIGN (TWO SIDES SIMILAR)
 1/2" = 1'-0"



L BIKE RACK
 1/2" = 1'-0"



M DIRECTIONAL SIGNAGE
 1/2" = 1'-0"



N HANDICAP SIGNAGE
 1/2" = 1'-0"

PLANT LEGEND

| Qty. | Symbol | Scientific Name Common Name | Installed Size | Mature Height/Spread | Landscape Coverage | Water Use | Drip Emitters Per Plant (see note) |
|----------------------------|--------|---|----------------|----------------------|--------------------|-----------|------------------------------------|
| 5 | ☉ | Fraxinus Autumn Purple Ash | 2" B&B | 15/12' | | Medium | 6-2 gph |
| 6 | ☉ | Cercis Redbud | 2" B&B | 40/35' | | Medium | 6-2 gph |
| 12 | ☉ | Gleditsia Seedless Honey Locust | 2" B&B | 40/30' | | Medium | 6-2 gph |
| 5 | ☉ | Pinus nigra Austrian Pine | 2" B&B | 35/25' | | Medium | 6-2 gph |
| 9 | ☉ | Vitex agnus-castus Chaste Tree | 15-Gal | 20/20" | | Medium | 6-2 gph |
| 6 | ☉ | Cedrus atlantica glauca Weeping Blue Atlas Cedar | 15-Gal | 5/8' | | Medium+ | 6-2 gph |
| Shrubs/Groundcovers | | | | | | | |
| 7 | ● | Thymus Thyme | 1-Gal | 1/3' | 5 sf=35 sf | Medium | 2-2 gph |
| 41 | ● | Caryopteris clandonensis Blue Mist | 1-Gal | 3/3' | 15 sf=615 sf | Medium | 2-2 gph |
| 44 | ☼ | Elaeagnus pungens Silverberry | 5-Gal | 10/10' | 30 sf=1320 sf | Medium | 2-2 gph |
| 76 | ☼ | Cotoneaster dammeri Bearberry Cotoneaster | 5-Gal | 1/3' | 30 sf=2280 sf | Medium | 2-2 gph |
| 20 | ☼ | Ericameria nauseosus Chamisa | 1-Gal | 5/5' | 30 sf=600 sf | Low | 2-1 gph |
| 15 | ☼ | Fallugia paradoxa Apache Plume | 5-Gal | 6/7' | 35 sf=525 sf | Low | 2-1 gph |
| 19 | ☼ | Hesperaloe parviflora Red Yucca | 5-Gal | 3/4' | 20 sf=380 sf | Low+ | 2-1 gph |
| 33 | ☼ | Juniperus horizontalis Blue Chip Juniper | 5-Gal | 1/8' | 35 sf=1155 sf | Low + | 2-1 gph |
| 106 | ☼ | Salvia May Night Salvia | 1-Gal | 18/18" | 5 sf=530 sf | Medium | 2-2 gph |
| 21 | ☼ | Pinus mugo Mugo Pine | 5-Gal | 4/4' | 30 sf=630 sf | Medium | 2-2 gph |
| 22 | ☼ | Rhaphiolepis indica India Hawthorn (Blueberry Muffin) | 5-Gal | 3/4' | 20 sf=440 sf | Medium | 2-2 gph |
| 39 | ☼ | Rosmarinus officinalis Arp Rosemary | 5-Gal | 6/6' | 30 sf=1170 sf | Low | 2-1 gph |
| 37 | ☼ | Scabiosa Pincushion Flower | 1-Gal | 18/18" | 10 sf=370 sf | Medium | 2-1 gph |
| 45 | ☼ | Sedum Sedum | 1-Gal | 6/18" | 15 sf=675 sf | Medium | 2-2 gph |
| 55 | ☼ | Nepeta Catmint | 1-Gal | 1/2' | 15 sf=825 sf | Medium | 2-2 gph |
| 21 | ☼ | Yucca schottii Mountain Yucca | 5-Gal | 5/2' | ROW | Medium | 2-2 gph |
| 42 | ☼ | Ericameria Turpentine Bush | 1-Gal | 3/4' | ROW | Medium | 2-2 gph |

Total landscape coverage=11,550 sf

LANDSCAPE DATA

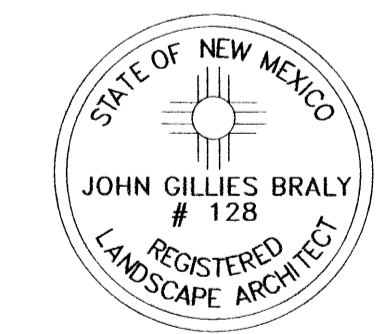
| | |
|--|-----------------|
| GROSS LOT AREA | 88,004 SF |
| LESS BUILDING(S) | 16,738 SF |
| NET LOT AREA | 71,266 SF |
| REQUIRED LANDSCAPE 15% OF NET LOT AREA | 10,690 SF |
| PROPOSED LANDSCAPE PERCENT OF NET LOT AREA | 15,320 SF (21%) |
| HIGH WATER USE TURF | NONE PROPOSED |
| REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING STREET | 12 |
| REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (128 SPACES/10) | 13 |
| TOTAL REQUIRED TREES | 24 |
| TOTAL PROPOSED TREES (2" CAL.) | 28 |
| REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (15,320 SF x 75%) | 11,490 SF MIN. |
| PROVIDED LANDSCAPE COVERAGE | 11,550 SF (75%) |

NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRINGS:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

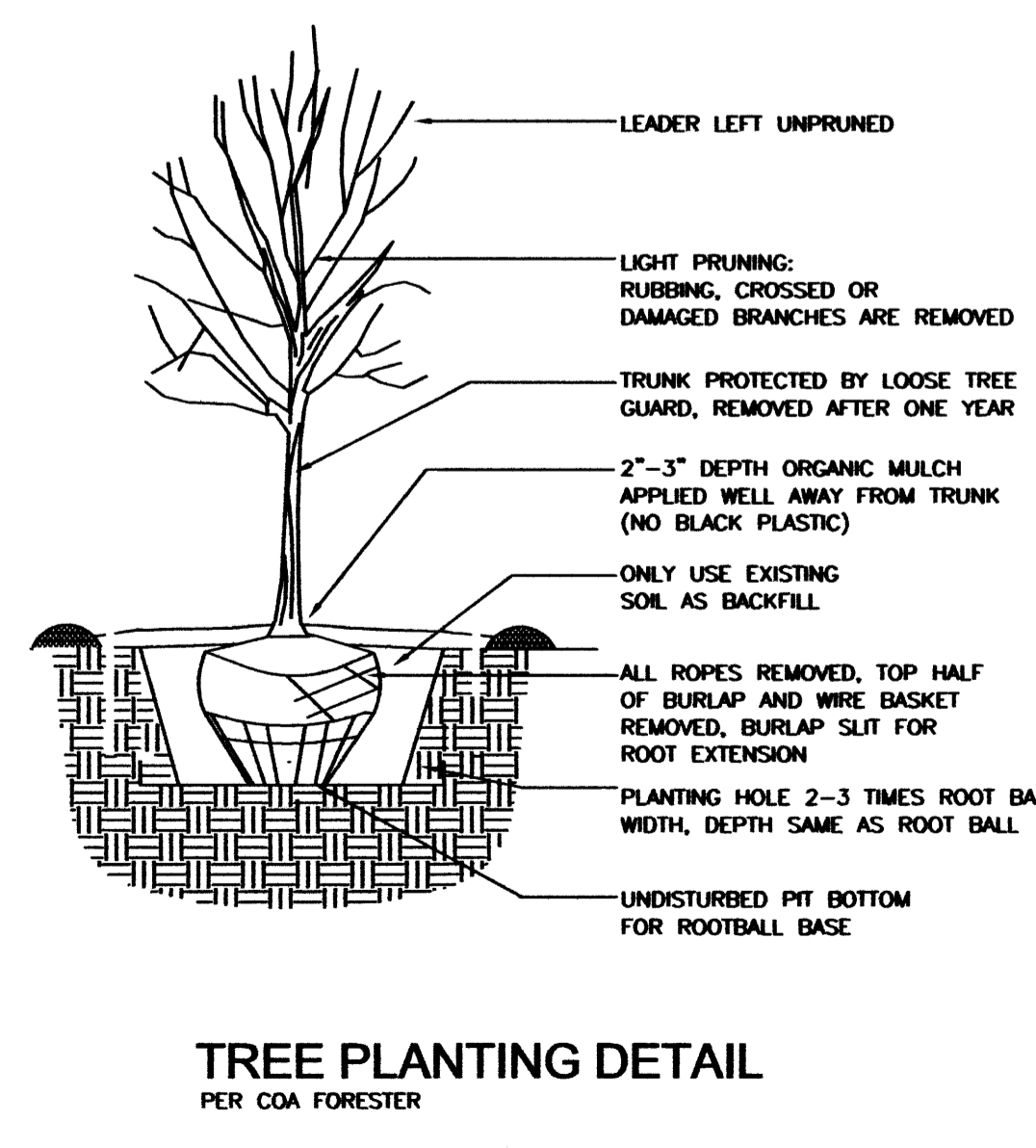
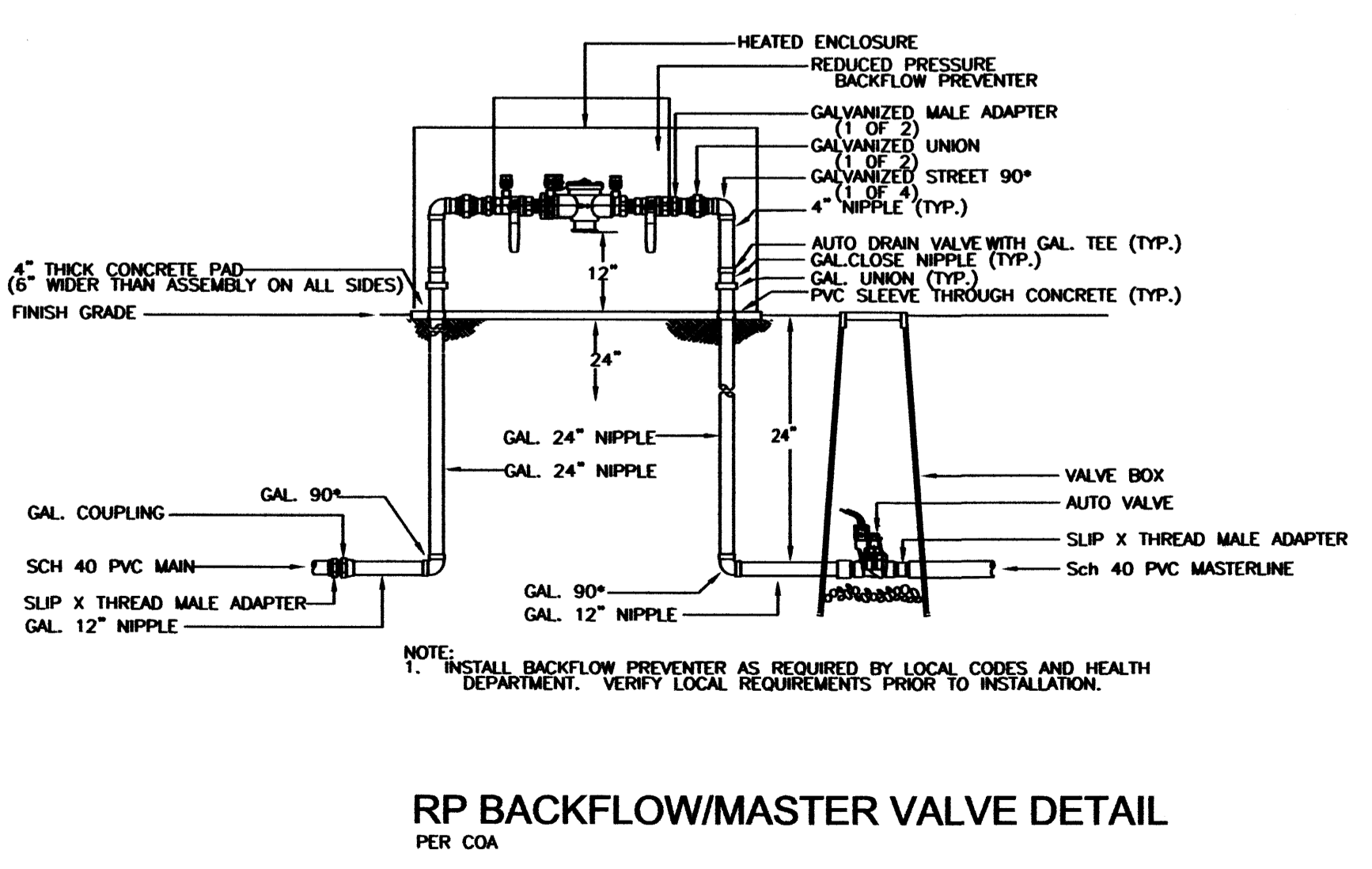
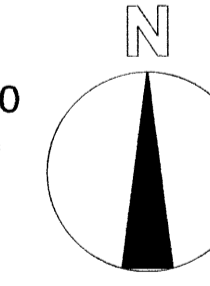
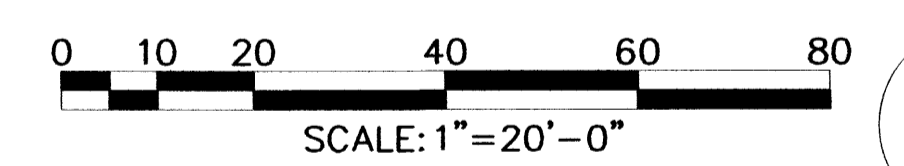
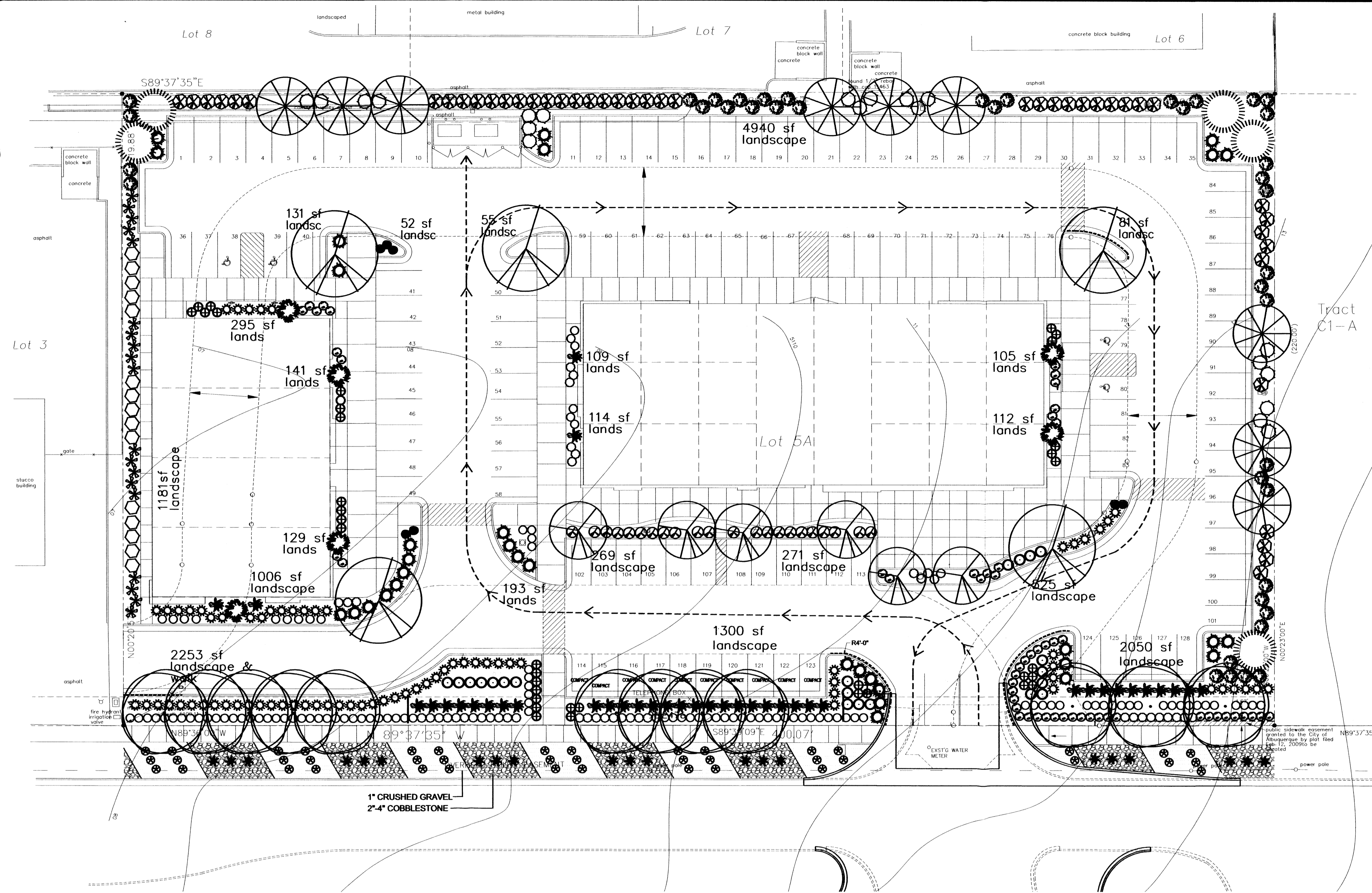
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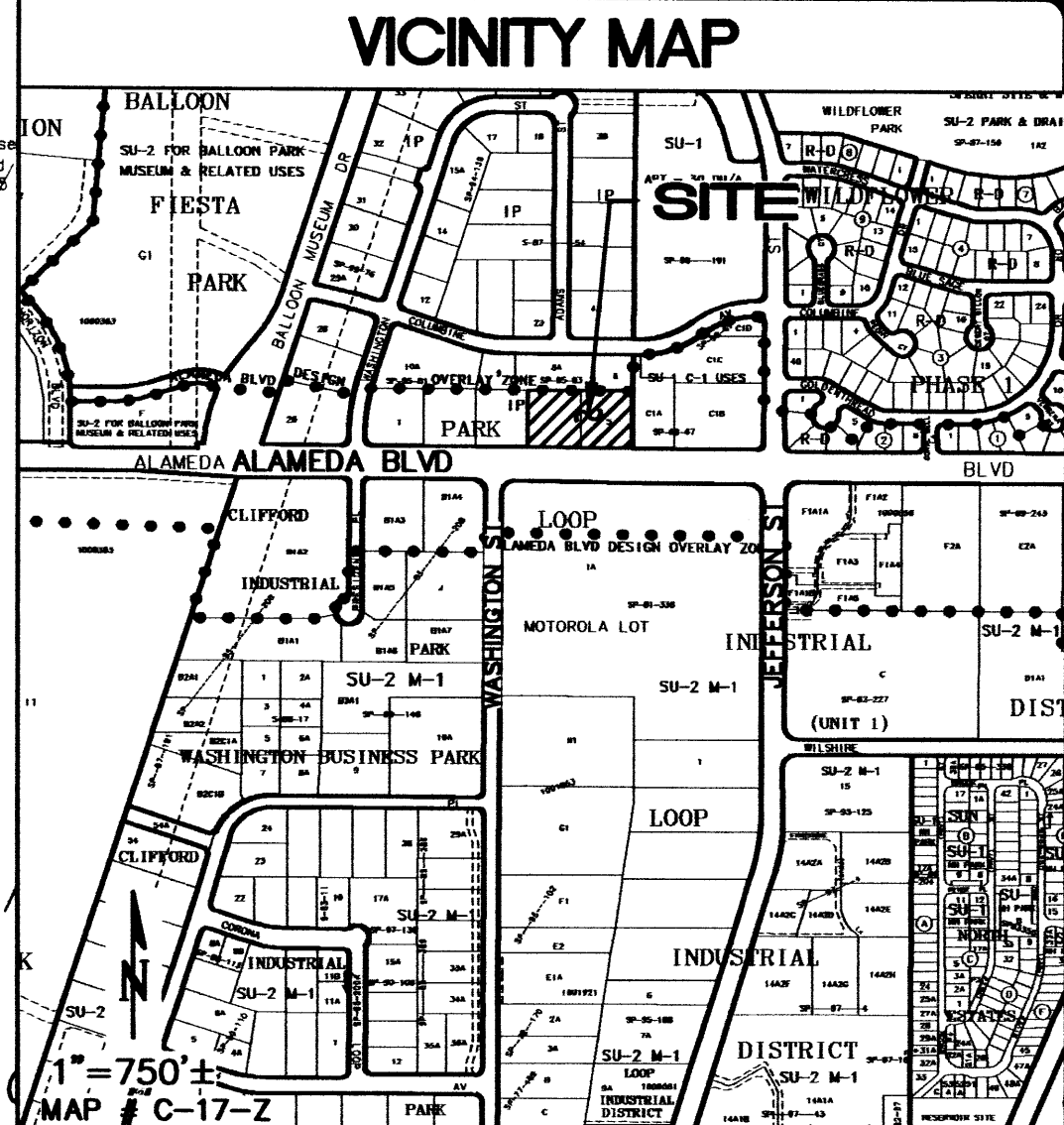
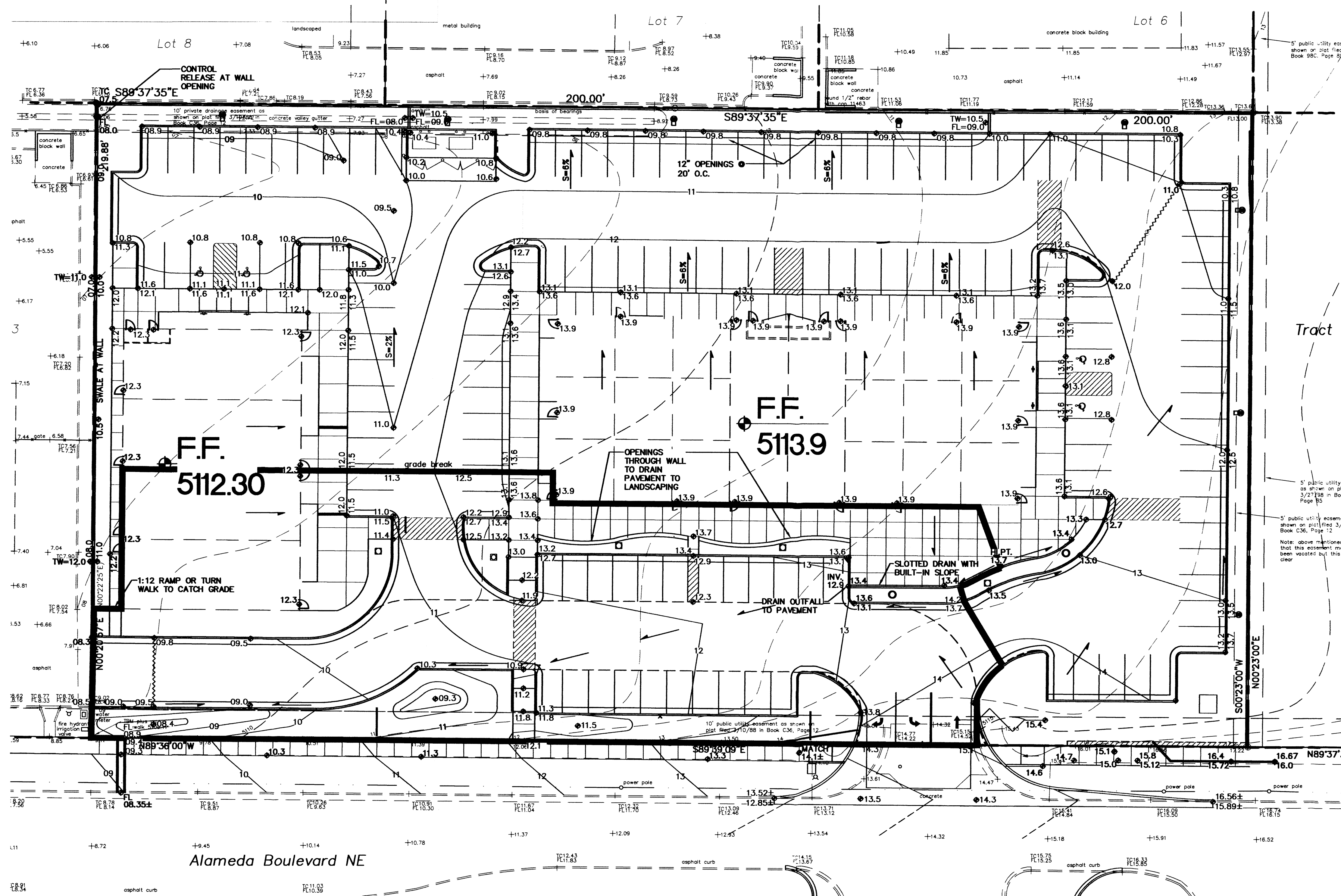
MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE OWNER.
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM PROTECTED WITH REDUCED PRESSURE BACKFLOW PREVENTER (FEBCO MODEL 825) PER CITY OF ALBUQUERQUE.
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE AND POLLEN ORDINANCE.
THIS PLAN SHALL PROVIDE AT MINIMUM 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY.
LANDSCAPE AREAS TO BE MULCHED WITH MOUNTAINAIR BROWN CRUSHER FINES GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE.



growing better
Up HeadsUp
LANDSCAPE CONTRACTORS
www.headsuplandscape.com

P.O. BOX 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com





PROJECT DATA

LEGAL DESCRIPTION:

SITE AREA:

FLOOD ZONE:

ENGINEER: ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR:

TEMPORARY BENCHMARK:

BENCHMARK:

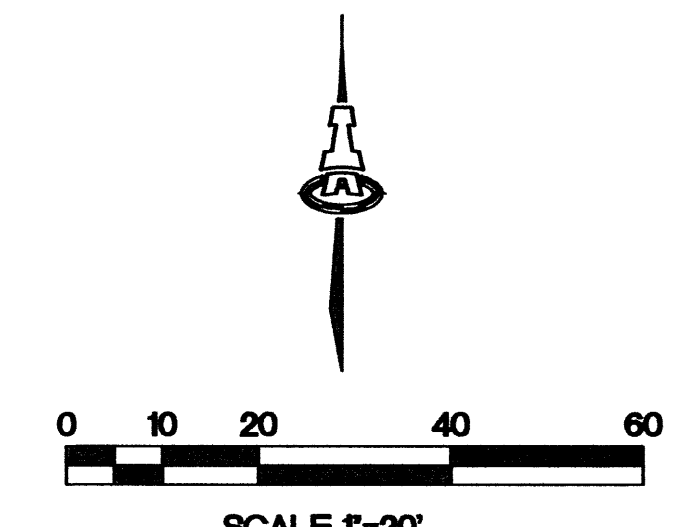
LEGEND

○ KEYED NOTES

1.

2.

3.



GENERAL NOTES

SHEET

OF: X

REVISIONS:

SCALE:

PLAN DATE:

FILENAME:

DRAWN BY:

PROPOSED RETAIL/OFFICE BUILDINGS
LOT 5A RICHFIELD PARK SUBDIVISION
4545 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO 87113

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iactoil.com
1918 CG-101.dwg May 18, 2012

MECHENBER CONSTRUCTION INC.
1900 WASHINGTON ST. NE SUITE A-1000
ALBUQUERQUE, NM 87113
TEL: (505) 314-7799
WWW.MECHENBERCON.COM

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REVISIONS:

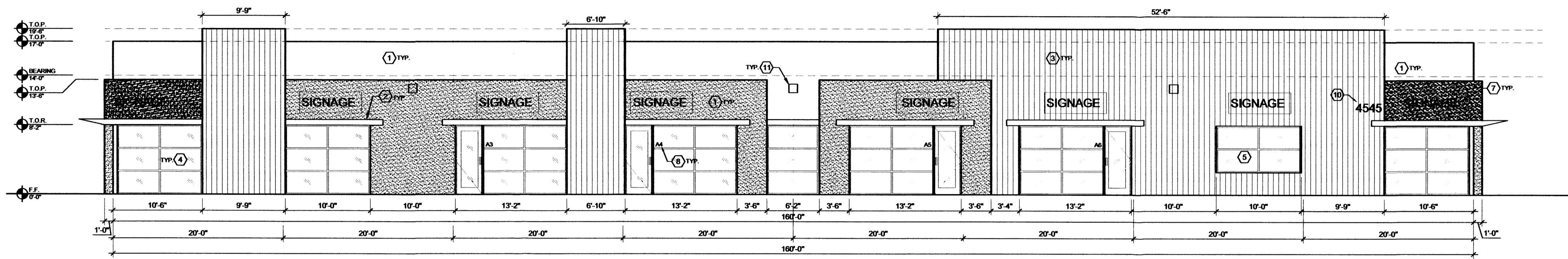
SCALE:

PLAN DATE:
FEB. 23, 2012
FILENAME:
ALAMEDA
DRAWN BY:
L. KUENN

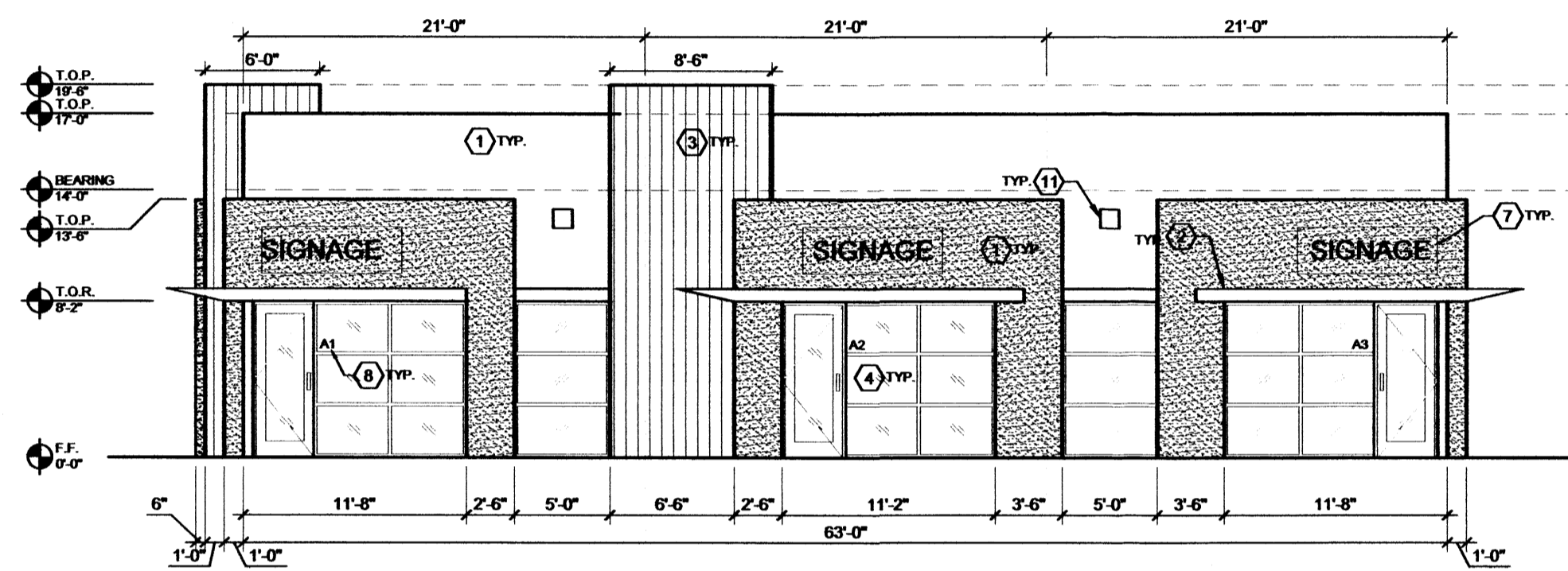
PROPOSED RETAIL/OFFICE BUILDINGS
LOT 5A RICHFIELD PARK SUBDIVISION
4545 ALAMEDA BLVD NE
ALBUQUERQUE, NEW MEXICO 87113

MECHENBIE
CONSTRUCTION INC.
8800 WASHINGTON ST., SUITE 142
ALBUQUERQUE, NM 87113
OFFICE: (505) 341-7700
FAX: (505) 341-7799
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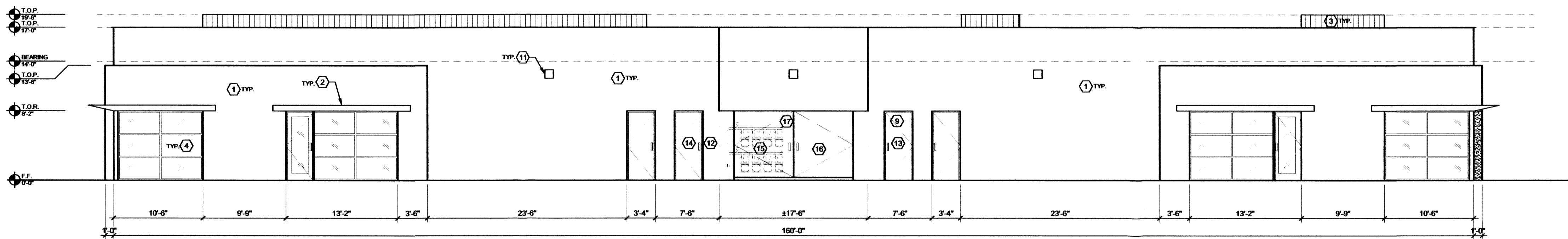
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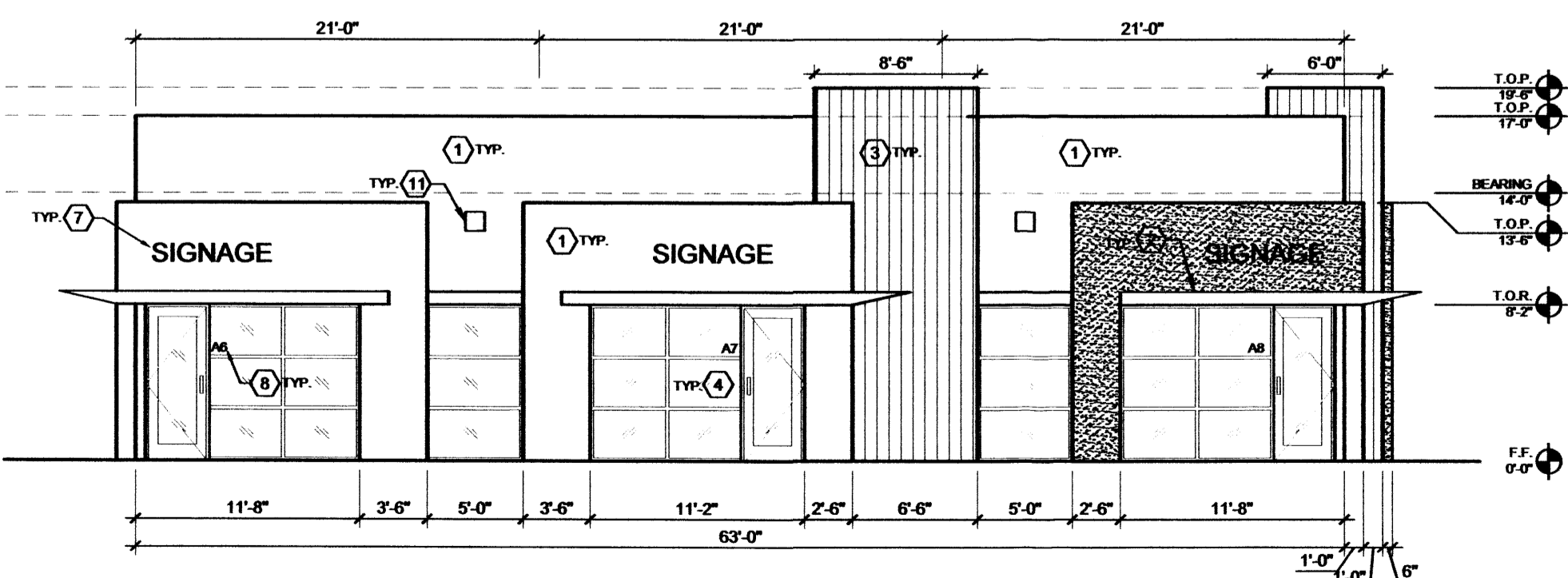
A BUILDING 1 SOUTH ELEVATION
1/8" = 1'-0"



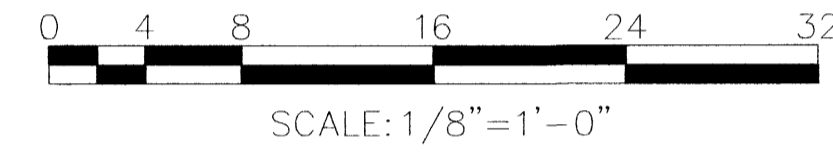
C BUILDING 1 EAST ELEVATION
1/8" = 1'-0"



B BUILDING 1 NORTH ELEVATION
1/8" = 1'-0"




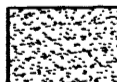

D BUILDING 1 WEST ELEVATION
1/8" = 1'-0"



KEYED NOTES:

1. ELASTOMERIC STUCCO SYSTEM; REFER TO EXTERIOR FINISH LEGEND.
2. CLEAR ANODIZED ALUMINUM SHADE STRUCTURE.
3. METAL FINISH ; REFER TO EXTERIOR FINISH LEGEND.
4. CLEAR ANODIZED ALUMINUM STORE FRONT WITH TINTED GLASS.
5. CLEAR ANODIZED ALUMINUM WINDOW.
6. NOT USED.
7. STOREFRONT SIGN WITH CAST CUT LETTERS. MAX. LETTER HEIGHT 18". LOGO NO LARGER THAN A RECTANGLE OF 8 SQ. FT. MAXIMUM OF 2 SIGNS PER TENANT, MAXIMUM ONE SIGN PER FACADE PER TENANT. TOTAL SIGNAGE AREA TO BE A MAX. 10% OF FACADE.
8. SUITE DESIGNATION ON STOREFRONT. LETTERING 5" HIGH.
9. ROOF HATCH ACCESS TO ROOF LOCATED IN TELEPHONE DEMARCATION PANEL ROOM.
10. BUILDING ADDRESS LETTERS, VISIBLE FROM STREET, MAX. 12" HIGH & MAX. 12' ABOVE GRADE.
11. WALL PACK.
12. FIRE DEPARTMENT KNOX BOX.
13. ENTRY TO TELEPHONE DEMARCATION PANEL ROOM.
14. ENTRY TO FIRE RISER & POTABLE WATER BACKFLOW PREVENTER ROOM.
15. GAS METERS.
16. ELECTRIC SWITCHGEAR, MAIN BREAKER & ELECTRIC METERS.
17. GATED ENCLOSURE FOR ELECTRICAL SWITCHGEAR AND METERS, AND GAS METERS. PAINTED TO MATCH STUCCO.

EXTERIOR FINISH LEGEND:

-  ELASTOMERIC STUCCO SYSTEM; COLOR OFF-WHITE
SEE RENDERING FOR APPROXIMATE COLOR
-  ELASTOMERIC STUCCO SYSTEM; COLOR LIGHT/MEDIUM BEIGE SAND
SEE RENDERING FOR APPROXIMATE COLOR
-  SILVER - GREY METAL (NONLOW REFLECTIVE)
SEE RENDERING FOR APPROXIMATE COLOR

BUILDING 1 EXTERIOR ELEVATIONS

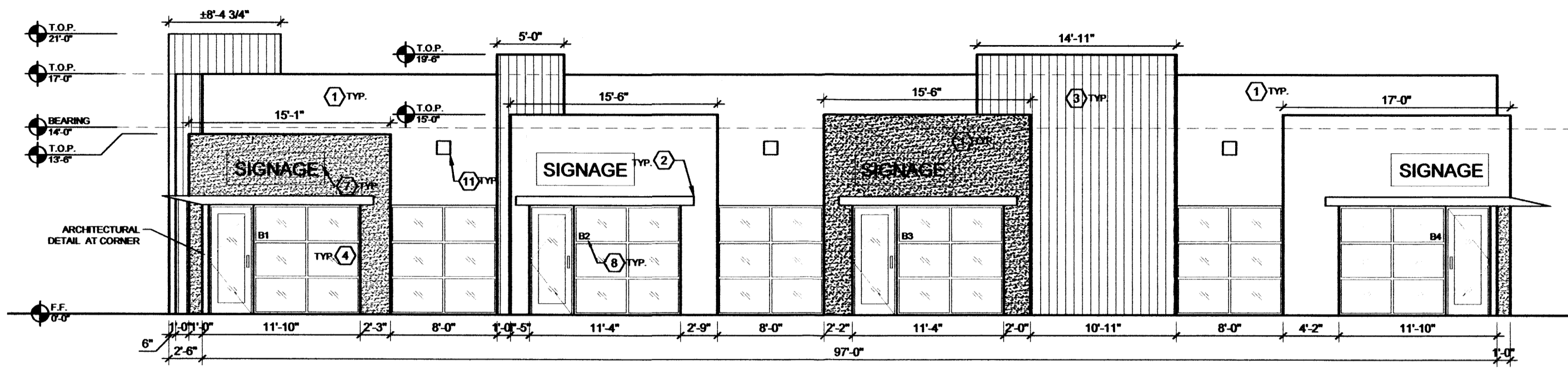
REVISIONS:

SCALE:

PLAN DATE:
 FEB. 23, 2012
 FILENAME:
 ALAMEDA
 DRAWN BY:
 L. KUENN

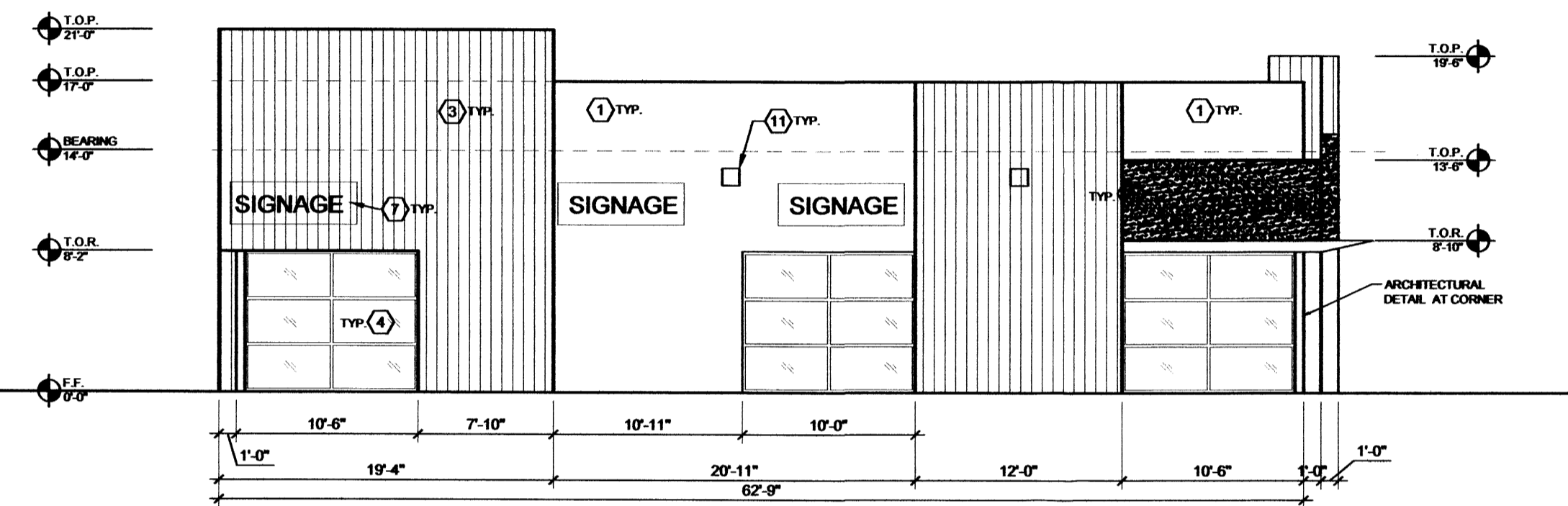
PROPOSED RETAIL/OFFICE BUILDINGS
 LOT 5A RICHFIELD PARK SUBDIVISION
 4545 ALAMEDA BLVD NE
 ALBUQUERQUE, NEW MEXICO 87113

MECHENBIE
 CONSTRUCTION INC.
 8800 WASHINGTON ST., SUITE A-9
 ALBUQUERQUE, NM 87120
 TEL: (505) 243-7777
 WWW.MECHENBIE.COM



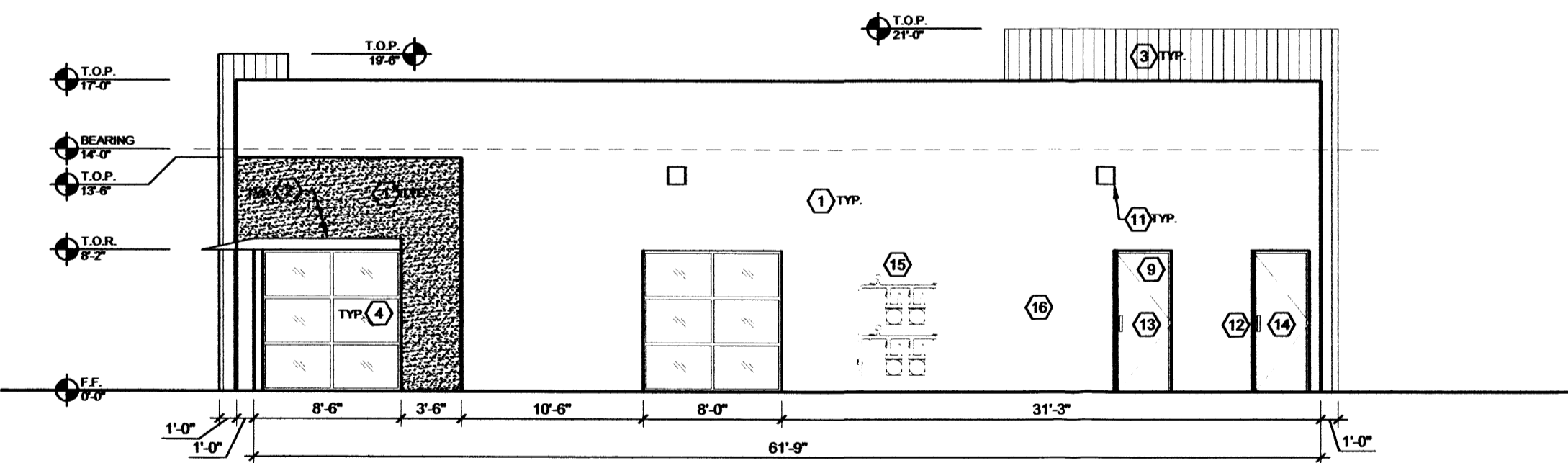
A BUILDING 2 EAST ELEVATION

1/16" = 1'-0"



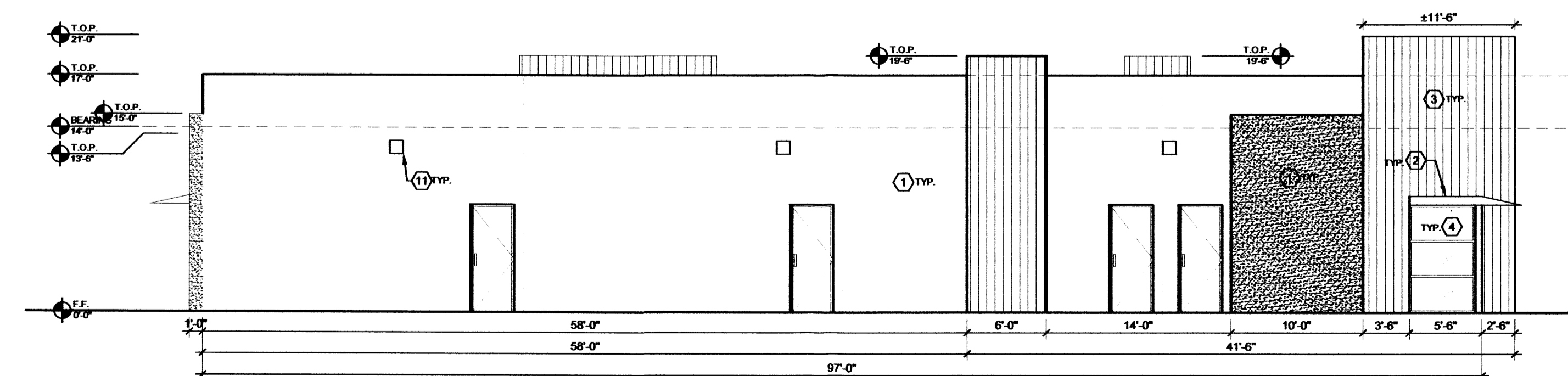
B BUILDING 2 SOUTH ELEVATION

1/16" = 1'-0"



C BUILDING 2 NORTH ELEVATION

1/16" = 1'-0"



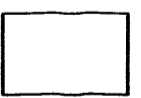
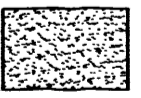

D BUILDING 2 WEST ELEVATION

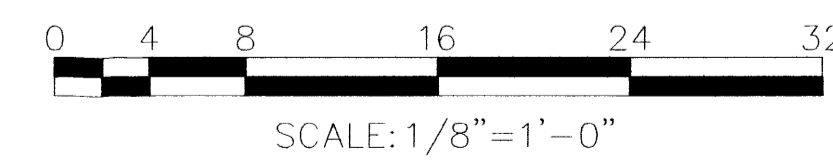
1/16" = 1'-0"

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BUILDING 2 EXTERIOR ELEVATIONS

REVISIONS:

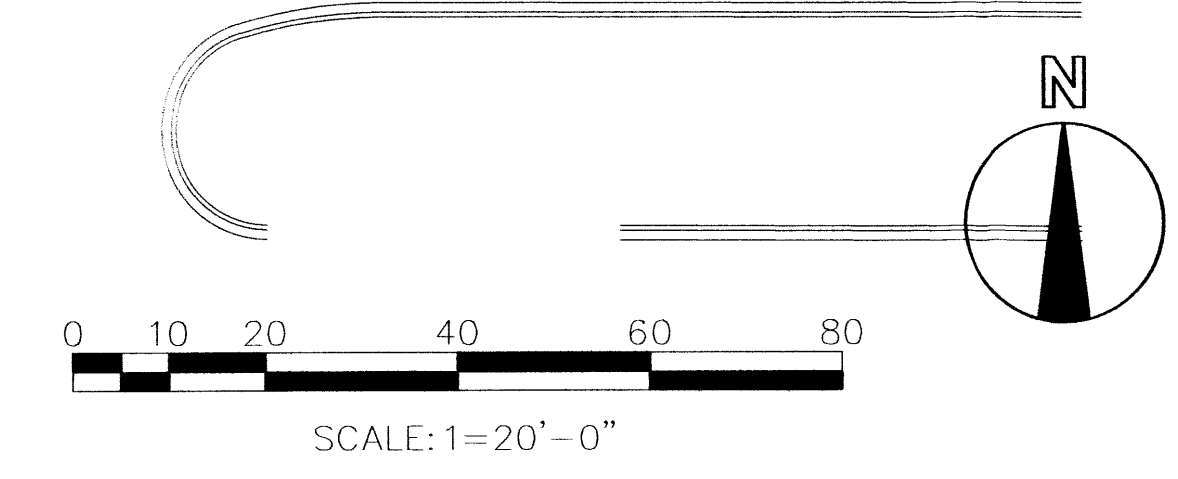
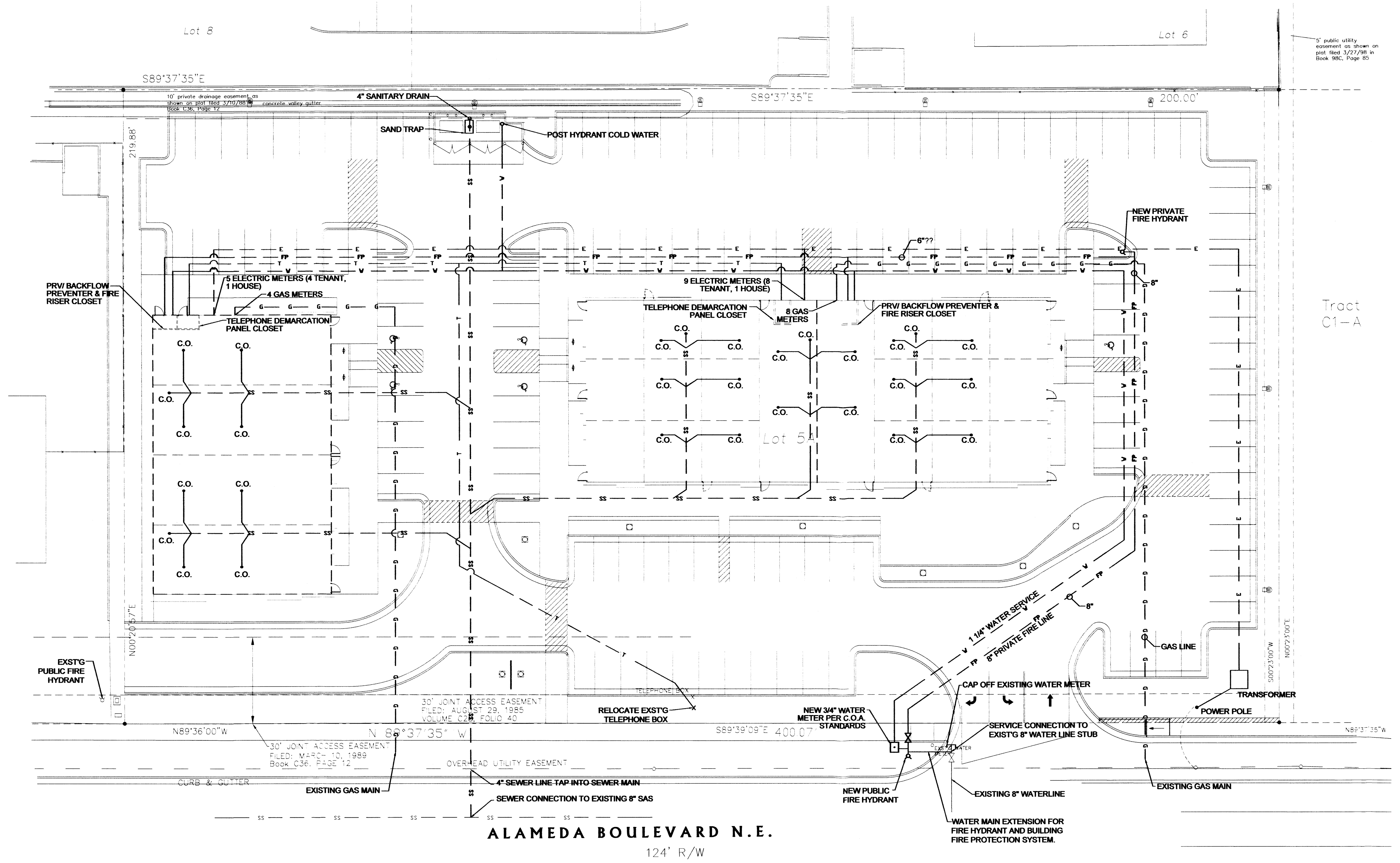
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