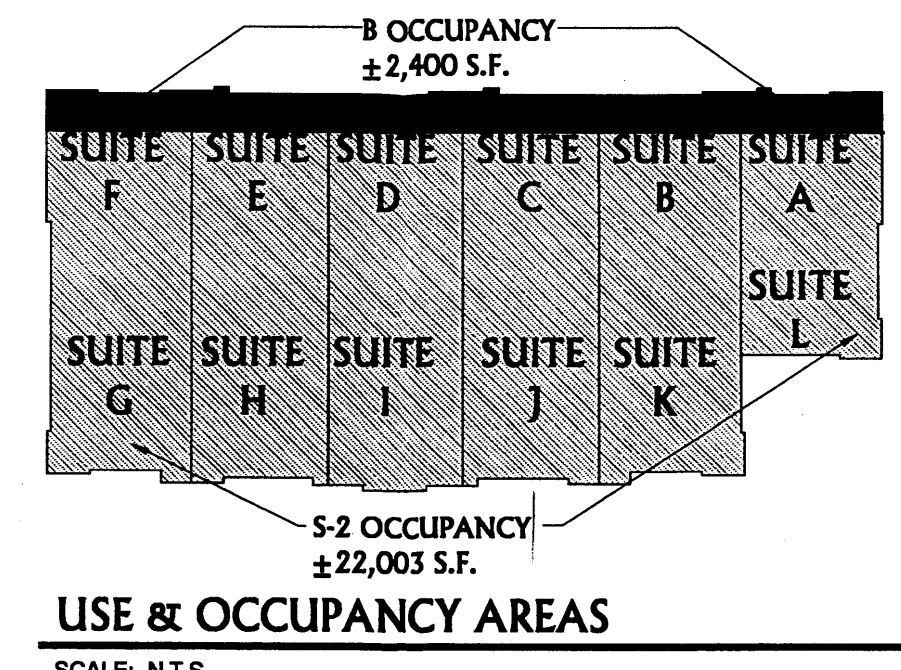


- KEYED NOTES:**
- LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
  - STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
  - 3" ASPHALT PAVING @ DRIVE LINES AND AT PARKING STALLS.
  - PROPERTY LINE.
  - TRUCK LOADING/UNLOADING AREA WITH GUARDRAIL. SEE J/S1.2.
  - REFUSE PAD, APRON, AND ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAILS B/S1.2 THROUGH E/S1.2.
  - POLE MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE N/S1.2.
  - PARKING STALL STRIPING, TYPICAL.
  - PAINTED HANDICAP PARKING SYMBOL.
  - MOTORCYCLE/MOPED PARKING AREA.
  - HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
  - NEW CONCRETE SIDEWALK. WIDTH AS DENOTED. MINIMUM UNOBSTRUCTED WIDTH SHALL BE 6'-0".
  - TRANSFORMER LOCATION PAD MOUNTED, PER PNM SPECIFICATIONS.
  - EXISTING 6'-0" CITY SIDEWALK.
  - DECORATIVE POLE LIGHTING ALONG SOUTHWEST FRONT OF BUILDING ALONG THE SIDEWALK NOT EXCEEDING 16 FT. HT. SEE DETAIL G/S1.2.
  - BIKE RACK. SEE DETAIL L/S1.2.
  - TURNDOWN SIDEWALK.
  - MONUMENT SIGN, SEE DETAIL K/S1.2.
  - FLAGPOLE, 25' HIGH POLE W/BRUSHED ALUMINUM FINISH.
  - GAS METER LOCATIONS. (12 TOTAL- 6 AT EACH OF 2 LOCATIONS).
  - ROOF ACCESS LADDER LOCATION.
  - 6" STEEL BOLLARDS. FILLED W/ CONCRETE. SEE DETAIL F/S1.2.
  - POLE LIGHT SEE DETAIL G/S1.2. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING. ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE ORDINANCES.
  - MONUMENT SIGN LIGHTING, GROUND MOUNTED WITH DEFLECTOR.
  - DIRECTIONAL SIGNAGE. SEE M/S1.2.
  - ELECTRICAL METERS LOCATION, 5 HIGH, 3 WIDE.
  - CONC. PAD FOR PICNIC TABLE. TWO (2) 7' LONG BENCHES PROVIDE TO ACCOMMODATE 6 PEOPLE.
  - EXISTING HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
  - MAIL BOXES ON 3' X 5' CONCRETE PAD.
  - TELEPHONE DEMARCATION PANEL ROOM.
  - EXISTING FIRE HYDRANT.
  - EXISTING CHAIN LINK FENCE TO REMAIN.
  - EXISTING WOOD FENCE TO REMAIN.
  - NEW FIRE HYDRANT.
  - DEMO DRAINAGE SWALE. REPLACE WITH LANDSCAPING.
  - 30' JOINT ACCESS EASEMENT TO MIDPOINT TO REMAIN.
  - CURB CUTS AT 15' O.C. TO PASS FLOW TO PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
  - EXISTING DRIVE CUT.
  - DRY RIVERBED LANDSCAPE FEATURE FOR TEMPORARY WATER RETENTION. REFER TO GRADING AND DRAINAGE PLAN AND LANDSCAPE PLAN.
  - 3'-6" HIGH SCREEN WALL. STUCCO COLOR TO MATCH BUILDING.
  - BENCH, 6' WIDE. ACCOMMODATES 3 PEOPLE.
  - RECYCLING AREA ENCLOSURE. SEE DETAILS E & H/S1.2.
  - NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
  - NO PARKING, FIRE LANE. CURB TO BE PAINTED/DENOTED AS SUCH (LOCATION DENOTED BY DASHED LINE ON PLAN).
  - ALL COMPACT SPACES TO BE STAMPED WITH THE WORD "COMPACT" ON THE PAVEMENT.
  - RELOCATE EXISTING POWER POLE WITHIN UTILITY EASEMENT.
  - FIRE SPRINKLER RISER AND POTABLE WATER BACKFLOW PREVENTER ROOM.
  - RELOCATED ENTRY DRIVE.
  - STAMP PAVEMENT "NO PARKING" FOR HANDICAP ACCESS AND FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
  - NO PARKING - LOADING ZONE. CURB TO BE PAINTED YELLOW TO DESIGNATE AS SUCH.
  - NEW WATER METER; 1" SERVICE, 3/4" METER.
  - STEPS. REFER TO GRADING & DRAINAGE PLAN.
  - RAILING AS REQUIRED PER CODE AT DRAINAGE PONDING AREA, TYP.
  - PAINT STRIPING ON PAVEMENT FOR PEDESTRIAN CROSSWALK.
  - NEW DECELERATION LANE AND BIKE LANE.
  - NEW 6'-0" CITY SIDEWALK PER CITY STANDARDS.
  - NEW HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
  - CAP OFF EXISTING WATER METER. SEE CONCEPTUAL SITE UTILITY PLAN.
  - NEW Striping at access point

**PROJECT DESCRIPTION:**

ADDRESS:	4545 ALAMEDA BOULEVARD NE ALBUQUERQUE, NM 87113	REQUIRED PARKING:	
LEGAL DESCRIPTION:	LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION	RETAIL (M)	12,533/200 = 63
ZONE MAP:	C-17	BUSINESS (B)	8,595/200 = 43
ZONING:	IP	WAREHOUSE/STORAGE (S-2)	3,275/2,000 = 2
TOTAL SITE AREA:	88,004 SF	TOTAL PARKING REQUIRED	108
DEVELOPED AREA:	88,004 SF		
CONSTRUCTION TYPE:	II-B (NON COMBUSTIBLE, AUTOMATIC SPRINKLER SYSTEM)	TOTAL PARKING PROVIDED:	111
OCCUPANCY GROUPS:	M RETAIL B OFFICE S-2 LOW-HAZARD STORAGE	COMPACT SPACES ALLOWED (25% OF 111):	27
		COMPACT SPACES PROVIDED:	9
GROSS BUILDING AREA (INCLUDES OVERHANGS & POPOUTS):	25,256 SF	TOTAL HANDICAP REQUIRED PER 2003 IBC TABLE 1106.1:	5
NET FLOOR AREA:	24,403 SF	TOTAL HANDICAP PROVIDED:	5
REQUIRED STREETYARD ALONG ALAMEDA: (30'X400') =	12,000 SF	TOTAL MOTORCYCLE/MOPED REQUIRED:	4
NET LOT AREA (88,004 - 25,256-12,000):	50,748 SF	TOTAL MOTORCYCLE/MOPED PROVIDED:	4
REQUIRED LANDSCAPING (15% OF 50748):	7,612 SF	TOTAL BIKE SPACES REQUIRED: 112/20 =	6
LANDSCAPING AREA PROVIDED:	8,631 SF	TOTAL BIKE SPACES PROVIDED:	7
TOTAL LANDSCAPE - STREETYARD & REMAINDER OF LOT:	15,434 SF		
BUILDING USAGE & OCCUPANCY AREAS:		EXTERIOR BENCH SEATING:	
THE BUILDING WILL BE USED FOR RETAIL AND OFFICE PURPOSES, WITH ASSOCIATED WAREHOUSE/STORAGE. IT IS ESTIMATED THAT APPROXIMATELY 12,508 S.F. SHALL BE RETAIL SPACE (M OCCUPANCY), AND APPROXIMATELY 8,620 S.F. OF THE TOTAL SQUARE FOOTAGE SHALL BE OFFICE SPACE (B OCCUPANCY). APPROXIMATELY 3,275 S.F. SHALL BE WAREHOUSE/STORAGE (S-1 OCCUPANCY).		TOTAL SEATING REQUIRED (200 FT/ 25 FT)	8
		PICNIC TABLE (7' / 2') X 2	6
		TWO(2) 6' BENCHES (12' / 2')	6
		TOTAL SEATING PROVIDED	12
TRAFFIC CIRCULATION:		A MINIMUM OF 25% OF SEATING TO BE SHADED	
TRAFFIC ENTRY TO THE PROPERTY SHALL BE VIA EAST & WEST-BOUND ALAMEDA BLVD. AT THE EAST END OF THE PROPERTY AND VIA THE SHARED ACCESS EASEMENT WITH LOT 3 RICHFIELD PARK SUBDIVISION AT THE WEST END OF THE PROPERTY. ON-SITE TRAFFIC FLOW IS TWO-WAY THROUGHOUT.			



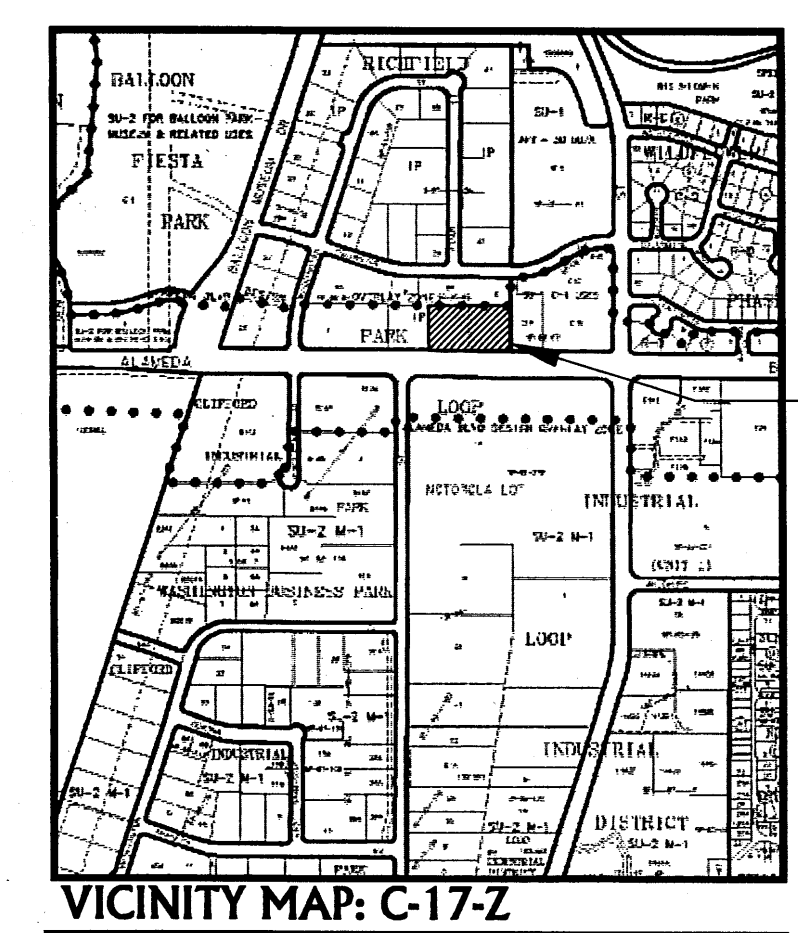
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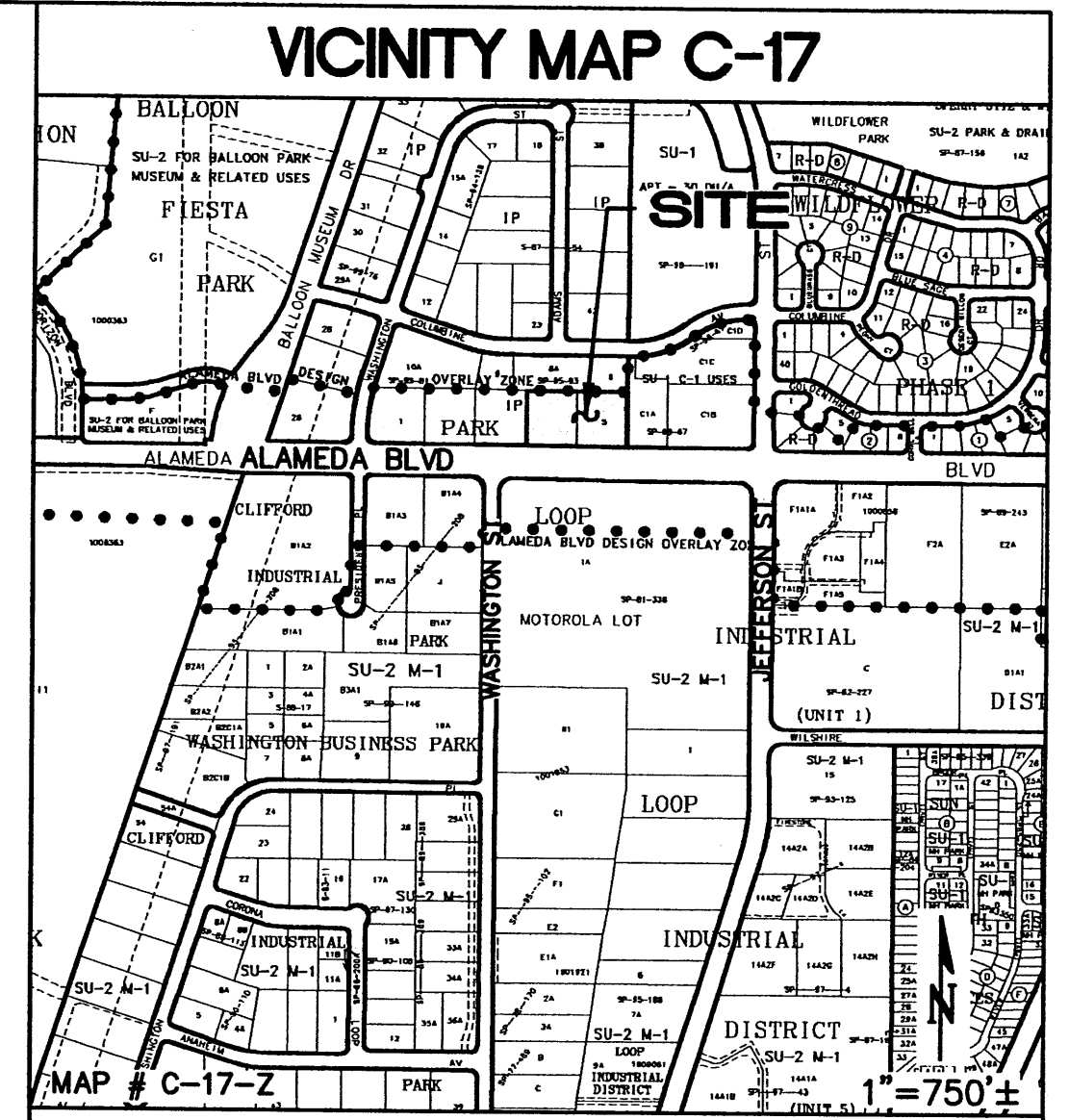
APPLICATION NUMBER: 07-70292

IS AN INFRASTRUCTURE LIST REQUIRED ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	9/17/08	DATE
<i>[Signature]</i>	9-19-08	DATE
WATER UTILITIES DEPARTMENT	9/17/08	DATE
<i>[Signature]</i>	9-17-08	DATE
PARKS AND RECREATION DEPARTMENT		
<i>[Signature]</i>		
CITY ENGINEER		
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)		
<i>[Signature]</i>	9/17/08	DATE
SOLID WASTE MANAGEMENT		
DRB CHAIRPERSON, PLANNING DEPARTMENT		
*ENVIRONMENTAL HEALTH, IF NECESSARY		





**KEYED NOTES**

- 1 NEW PRIVATE ENTRANCE TO BE CONSTRUCTED AS PART OF SEPARATE WORK ORDER. MATCH EXISTING TOP OF CURB AND FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. TRANSITION CURB HEIGHT FROM 8" (AT ROW) TO 6" (ON-SITE) OVER 10.0'.
- 2 CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
- 3 CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. 2415 (TYPICAL) UNLESS NOTED OTHERWISE.
- 4 TOP OF WALL ADJACENT TO PROPOSED PONDING AREA TO BE CONSTRUCTED AT 08.5 TYPICAL OR 6" ABOVE ADJ. GRADE (WHICHEVER IS HIGHER). SEE DETAIL THIS SHEET FOR ORIFICE AND CONTROLLED SPILLWAY THROUGH CURB.
- 5 CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. TOP OF WALK TO BE 6" ABOVE TOP OF ADJACENT PAVEMENT (TYPICAL). SEE ARCHITECTURAL FOR RAMP LOCATIONS AND DETAILS.
- 6 CONSTRUCT STEPS AS REQUIRED TO TRANSITION BETWEEN EXISTING AND PROPOSED WALKS THIS AREA. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
- 7 CONCENTRATED ROOF FLOW TO BE RELEASED VIA DOWNSPOUTS AT FACE OF BUILDING. SEE KEYED NOTE #8. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
- 8 INSTALL 1" WIDE SIDEWALK TRENCH DRAINS LOCATED AT EACH ROOF DRAIN OUTLET AND AT SOUTH SIDEWALK TO PASS CONCENTRATED FLOW.
- 9 CONSTRUCT 18" DEEP WATER HARVESTING POND TO FULL EXTENTS OF LANDSCAPED AREA. POND SIDE SLOPES TO BE 3:1 MAXIMUM TO ACHIEVE REQUIRED VOLUME.
- 10 CONSTRUCT VERTICAL WALLED POND TO ELEVATIONS SHOWN TO ACHIEVE REQUIRED PONDING. SEE DETAIL THIS SHEET.
- 11 PROVIDE 1" WIDE (BOTTOM WIDTH) OPENINGS IN WALL / CURB AT FLOWLINE ELEVATION (15' O.C.) TO PASS FLOW TO POND. DIRECT ALL SURFACE FLOW TO OPENINGS.

**LEGEND**

- + 93.7 EXISTING SPOT ELEVATION
- - - 5093 EXISTING CONTOUR
- Φ 54.5 PROPOSED SPOT ELEVATION
- 55 — PROPOSED CONTOUR
- FL FLOW LINE
- FF FINISHED FLOOR
- FH PROPOSED FIRE HYDRANT
- [Hatched Box] LIMITS OF PROPOSED POND

**FOR INFORMATION ONLY**

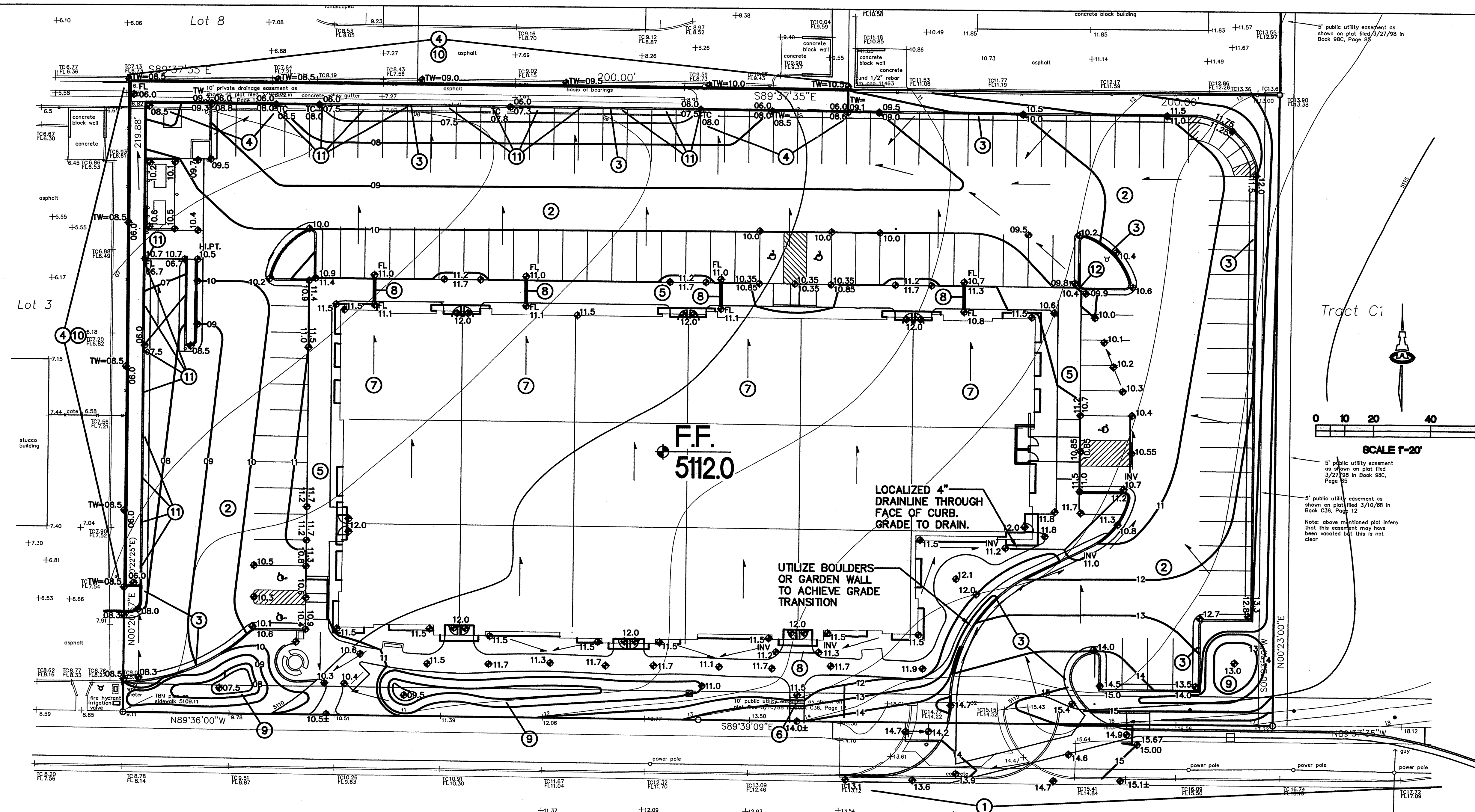
**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph: 505-268-8828 Fax: 505-268-2632  
 1997/080.dwg Sep 10, 2008

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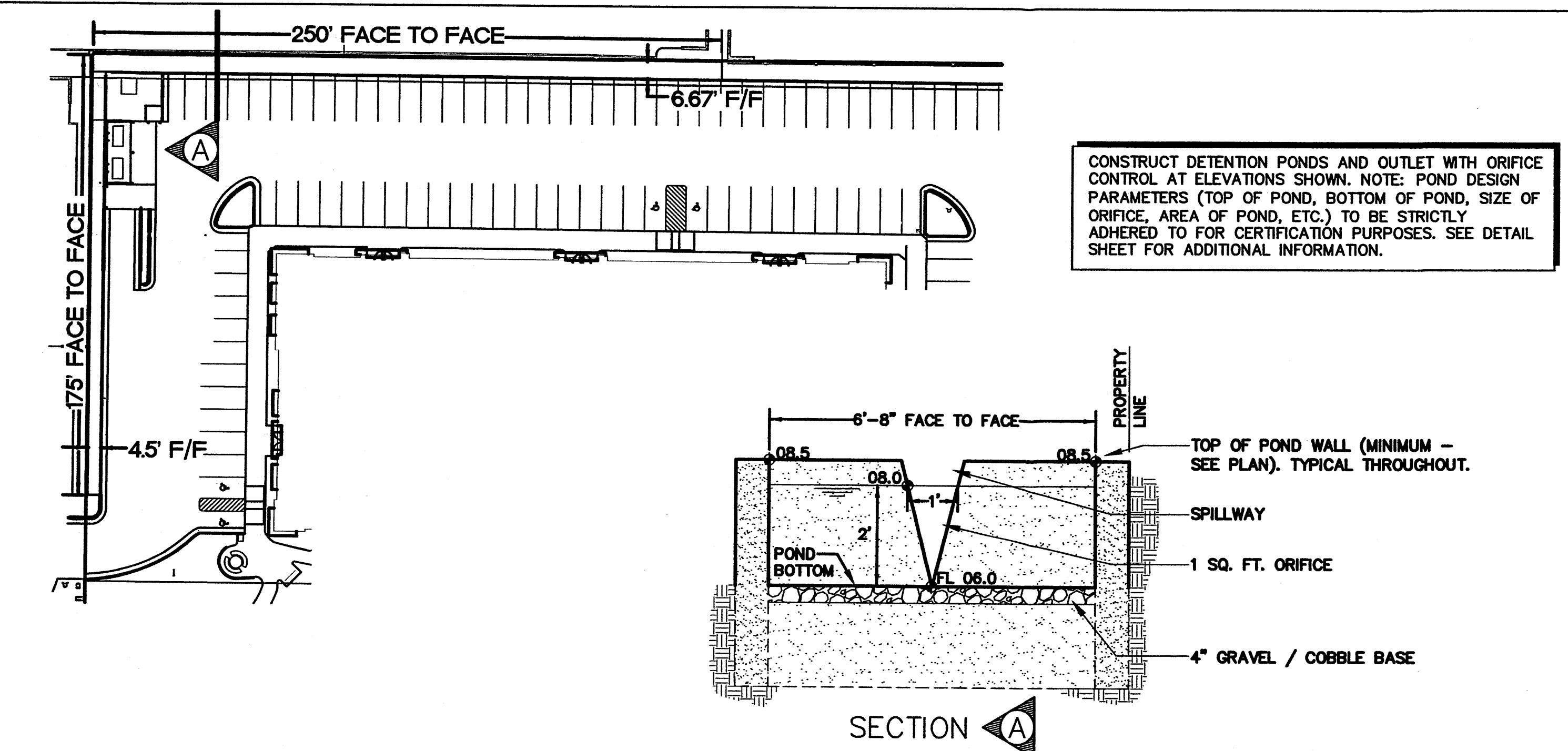
**Richfield Park Subdivision  
 Lots 4 and 5  
 Meehan Const.**

**GRADING AND DRAINAGE PLAN**

Date:	No. / Revision:	Date:	Job No.:
SEPT 07			1597
Drawn By:	BJB		<b>C001</b>
Ckd By:	FCA		SH-1 OF 13



**MAIN POND DIMENSIONS**



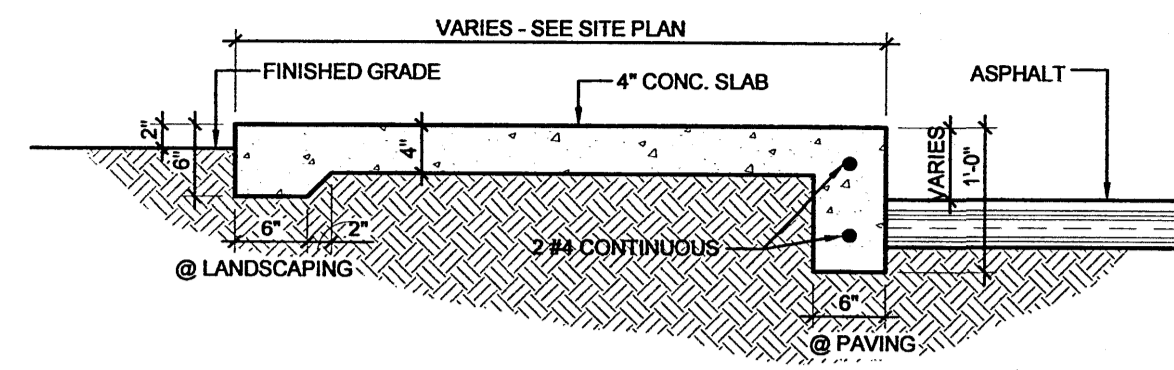
**GENERAL NOTES**

- A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL. CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- D. WHERE NEW GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- E. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- F. ALL COBBLES TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING COBBLE EROSION PROTECTION.
- G. ALL SIDESLOPES > / = 3:1 MUST HAVE PERMANENT EROSION CONTROL (COBBLES OR LANDLOK TRM 450 O.E.) INSTALLED. TYPICAL.

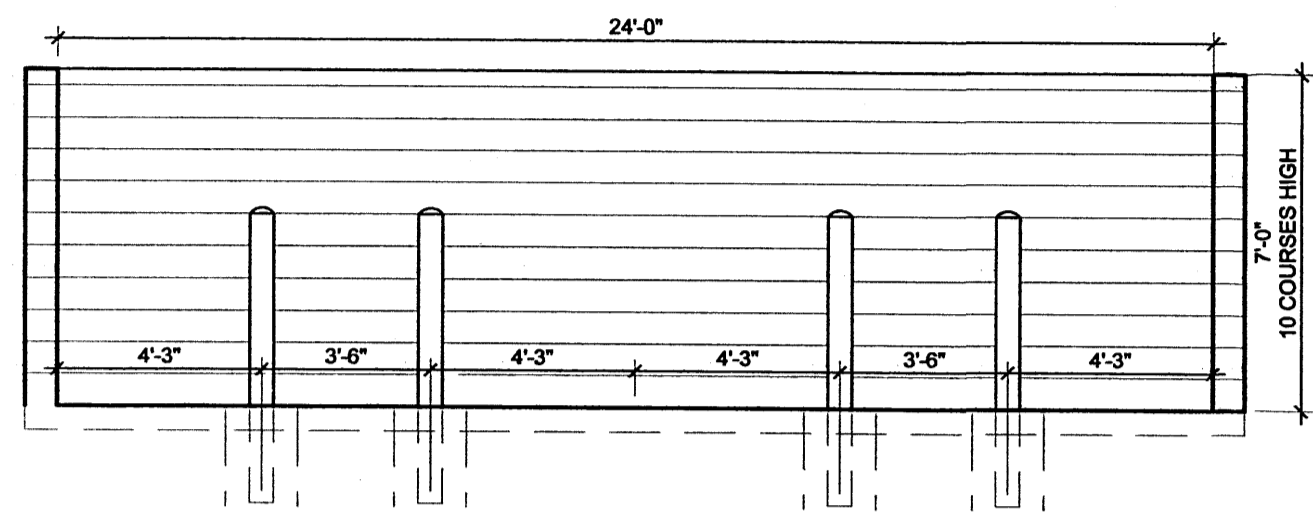
**SECTION A**

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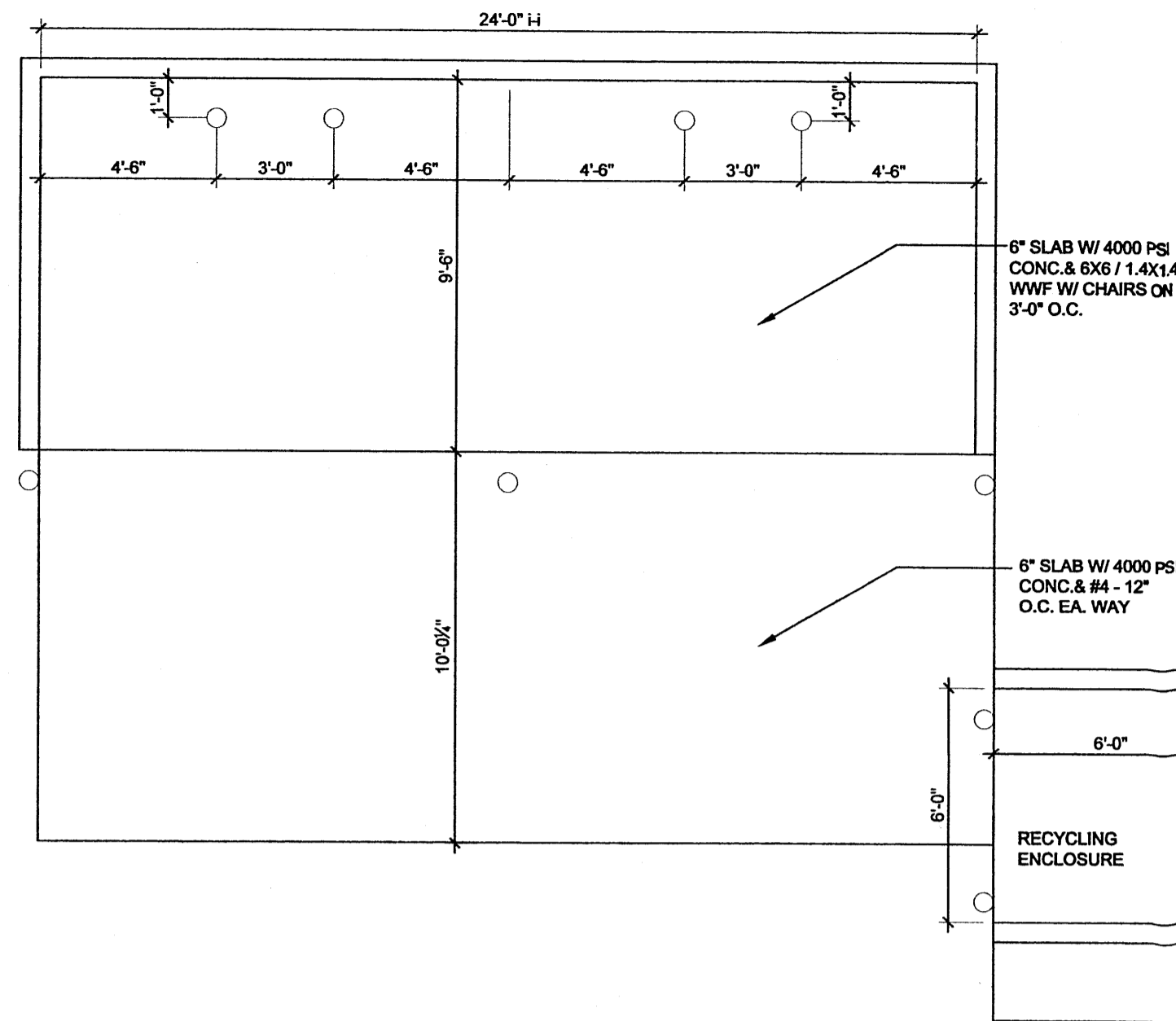
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SITE:  
DRAWN BY:  
L. KUENN



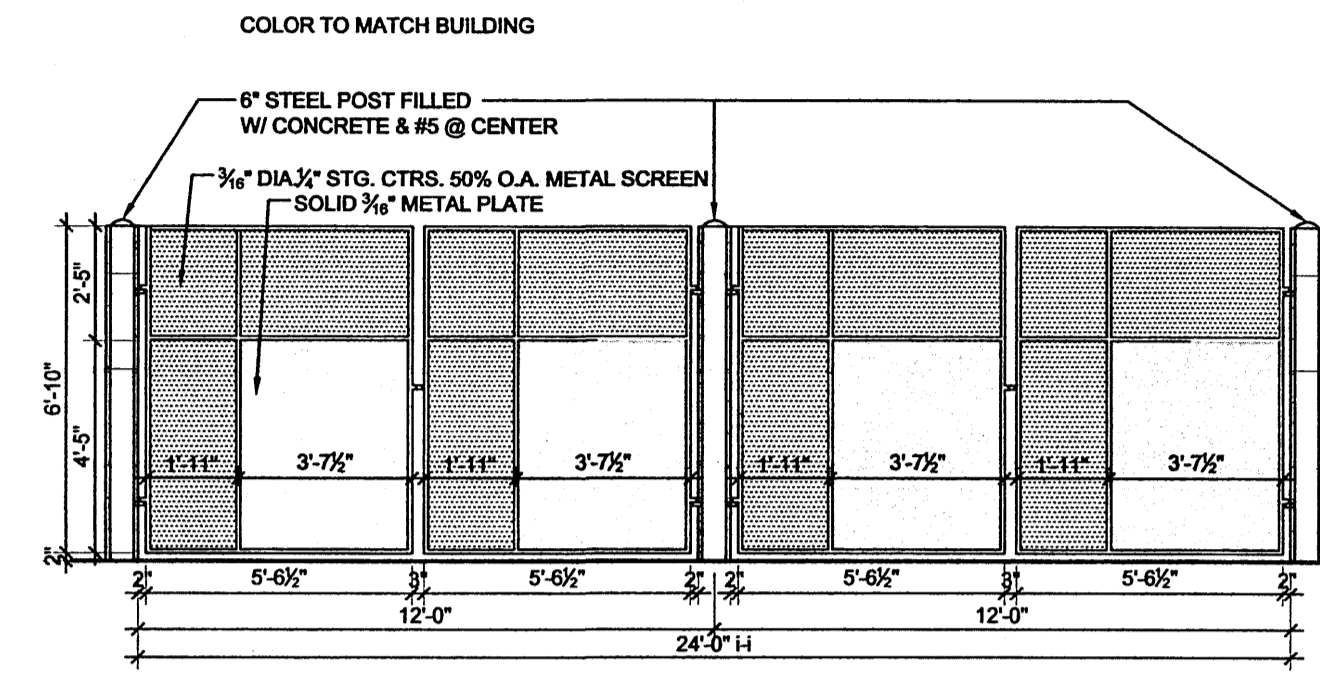
**A** SIDEWALK SECTION  
3/4" = 1'-0"



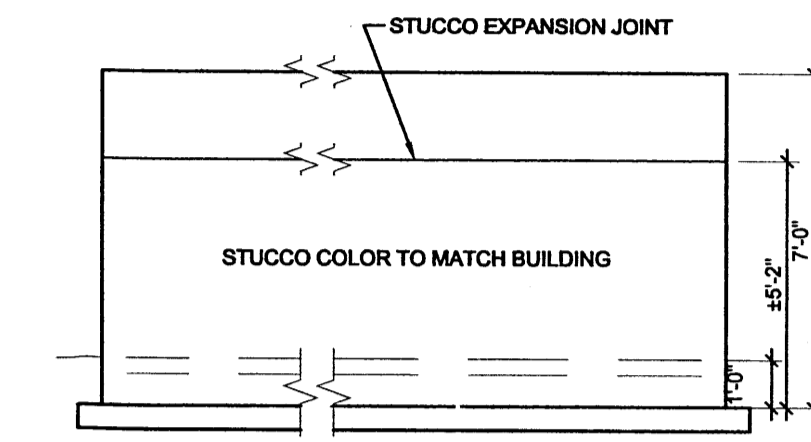
**B** DUMPSTER ENCLOSURE  
1/4" = 1'-0"



**C** REFUSE ENCLOSURE PLAN  
1/4" = 1'-0"

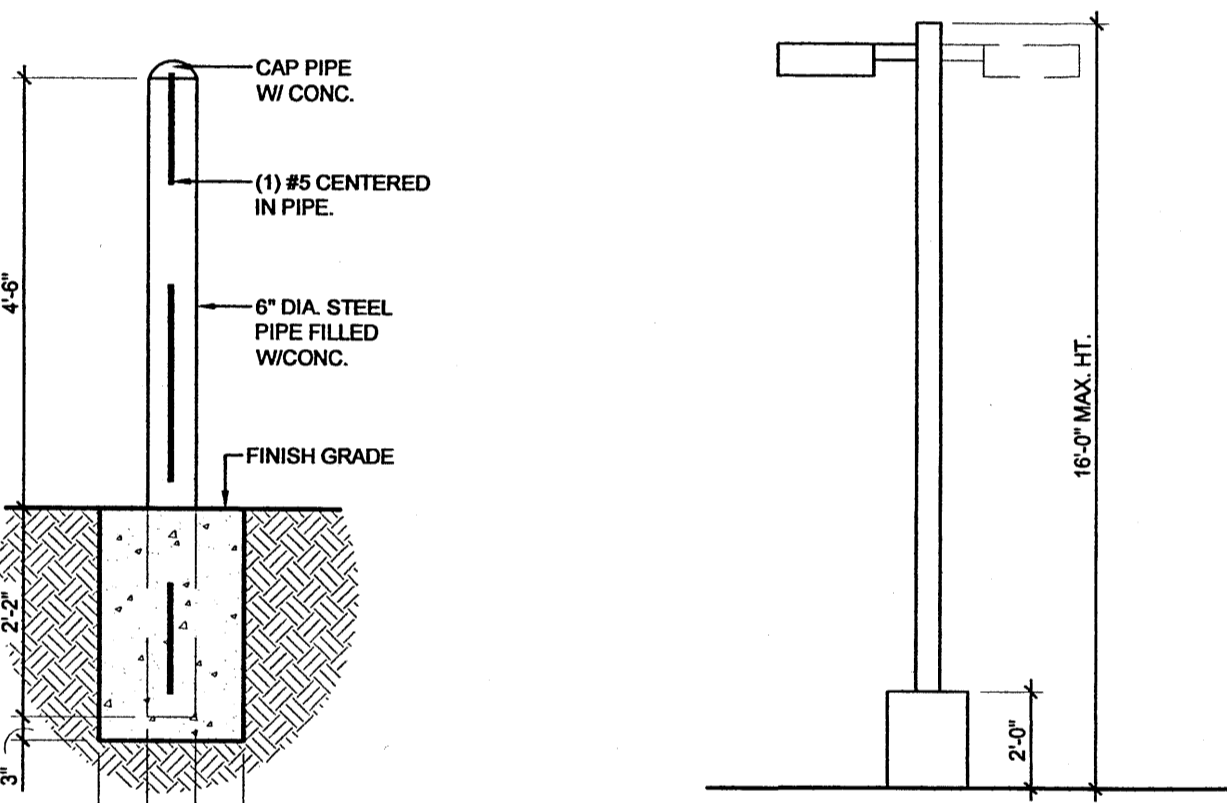


**D** FRONT ELEVATION REFUSE ENCLOSURE  
1/4" = 1'-0"



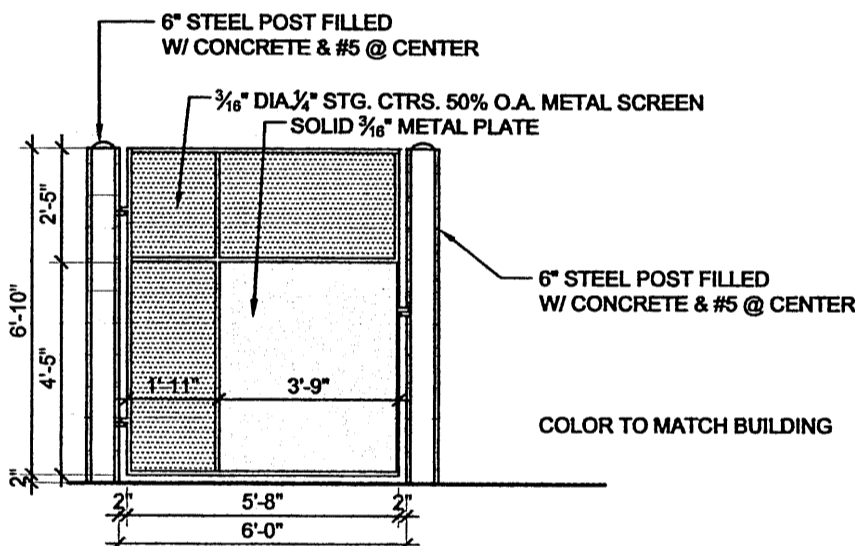
**E** REAR ELEVATION REFUSE & RECYCLE ENCLOSURES  
1/4" = 1'-0"

PAINT COLOR TO MATCH BUILDING, TYP.

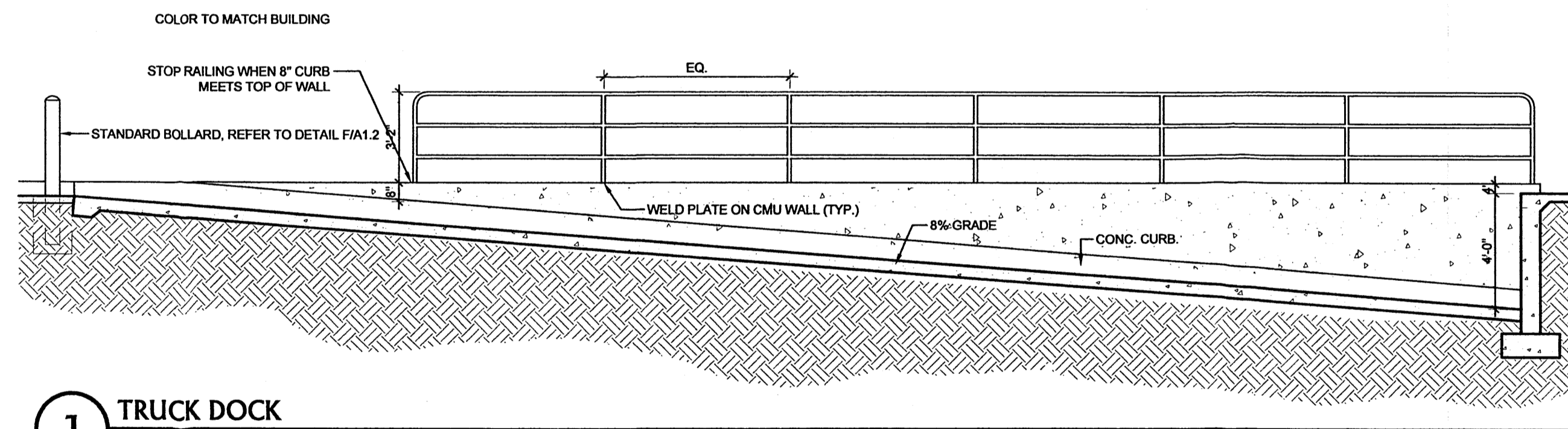


**F** 6" BOLLARD  
1/2" = 1'-0"

**G** LIGHT POLE  
1/4" = 1'-0"

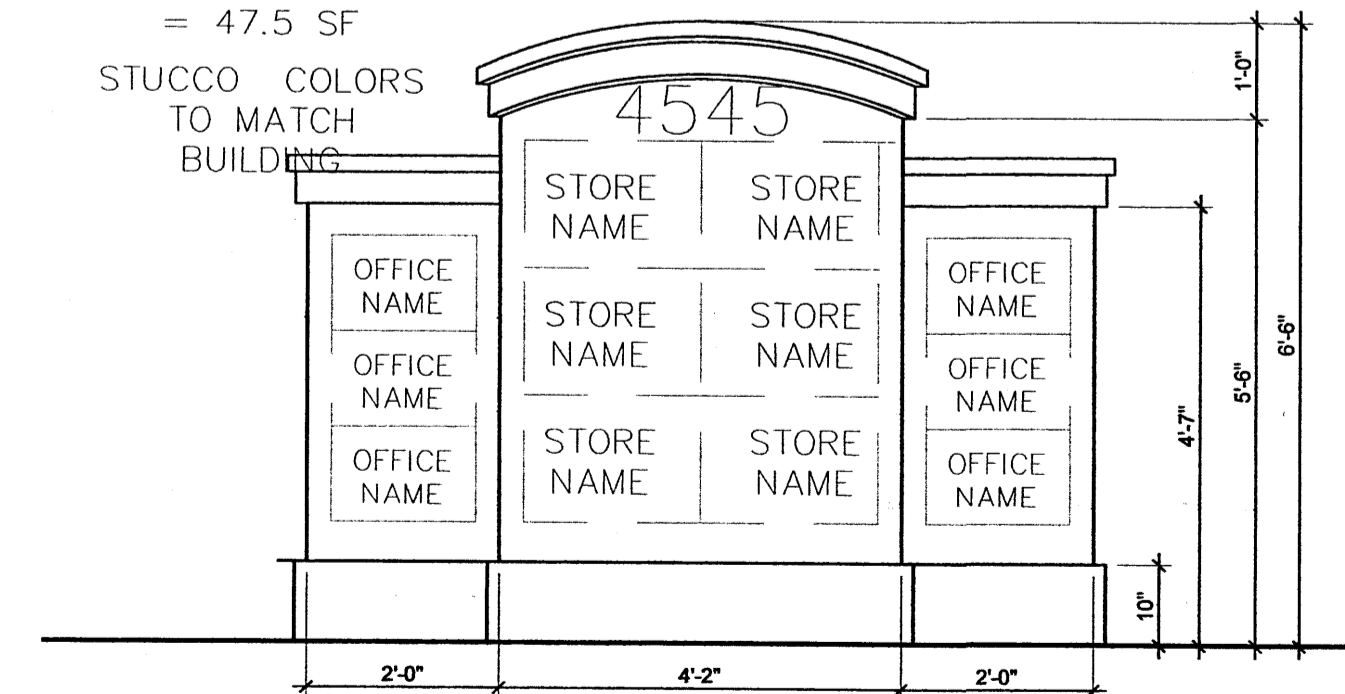


**H** FRONT ELEVATION RECYCLE ENCLOSURE  
1/4" = 1'-0"

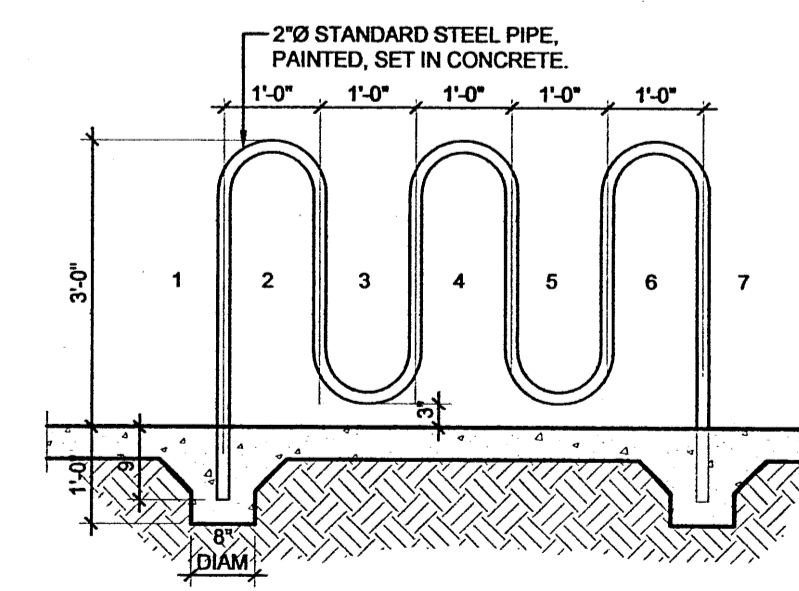


**J** TRUCK DOCK  
N.T.S.

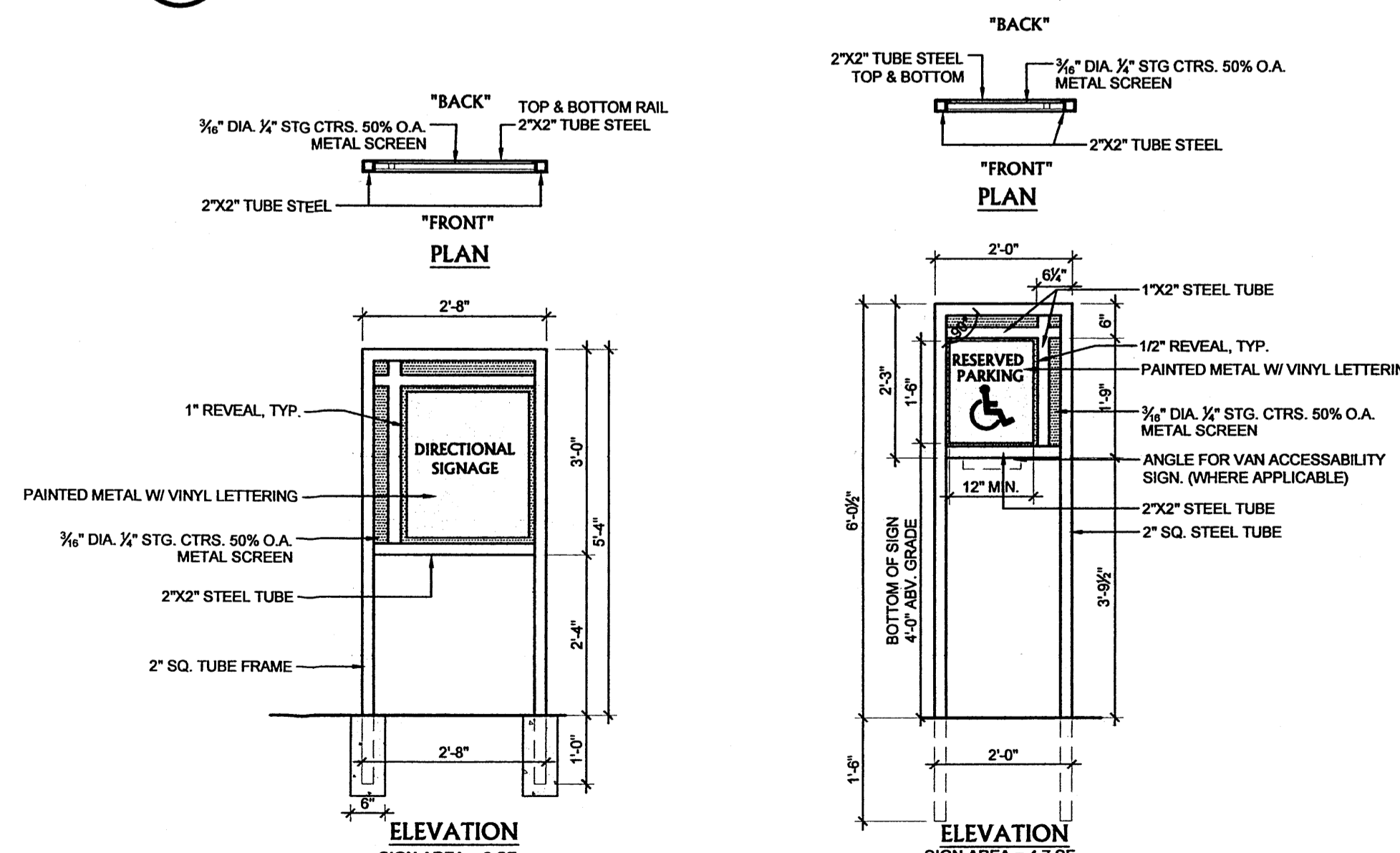
SIGN FACE AREA = 47.5 SF  
STUCCO COLORS TO MATCH BUILDING



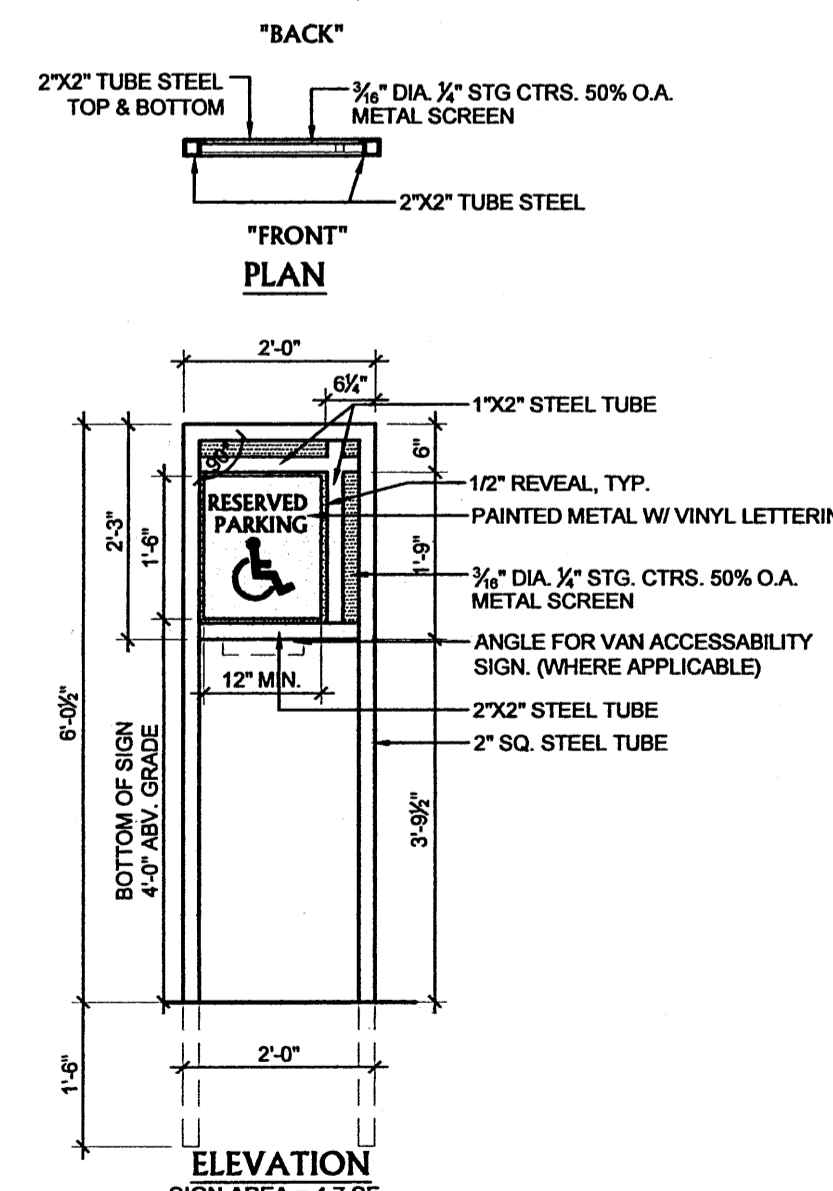
**K** MONUMENT SIGN (TWO SIDES SIMILAR)  
1/2" = 1'-0"



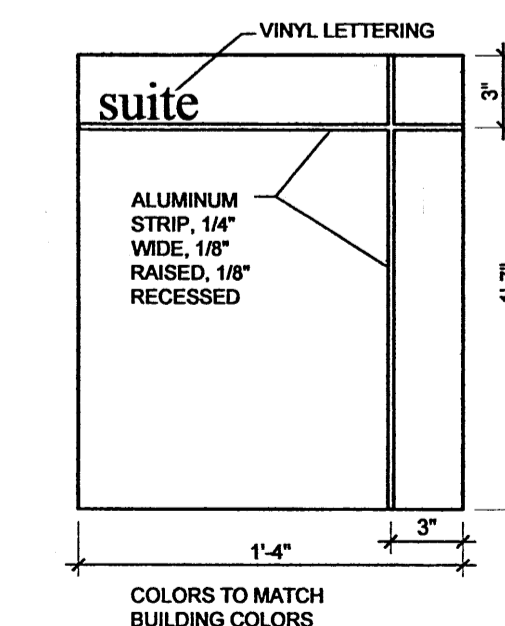
**L** BIKE RACK  
1/2" = 1'-0"



**M** DIRECTIONAL SIGNAGE  
1/2" = 1'-0"



**N** HANDICAP SIGNAGE  
1/2" = 1'-0"



**O** SUITE SIGNS  
1/4" = 1'-0"

PROPOSED RETAIL/OFFICE BUILDING  
LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION  
4545 ALAMEDA BLVD., NE  
ALBUQUERQUE, NEW MEXICO 87113

**MECHENBER**  
CONSTRUCTION INC.  
8804 WASHINGTON N.E. SUITE A  
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FAX: (505) 823-1516  
WEB: WWW.MECHENBER.COM

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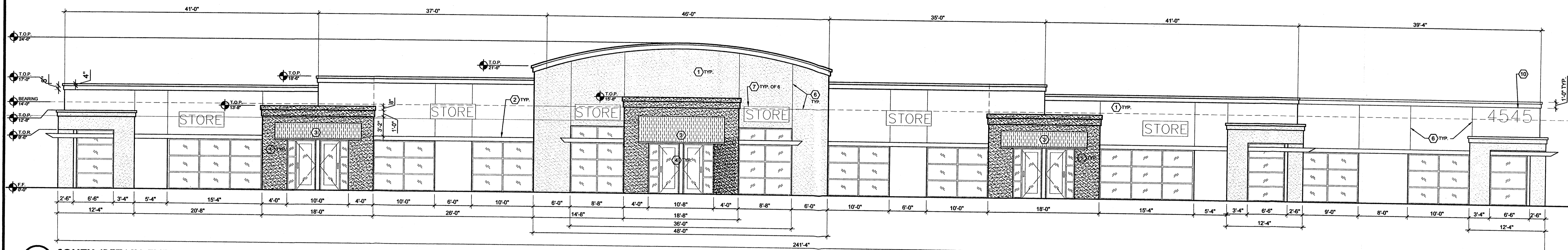
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L. KUENN

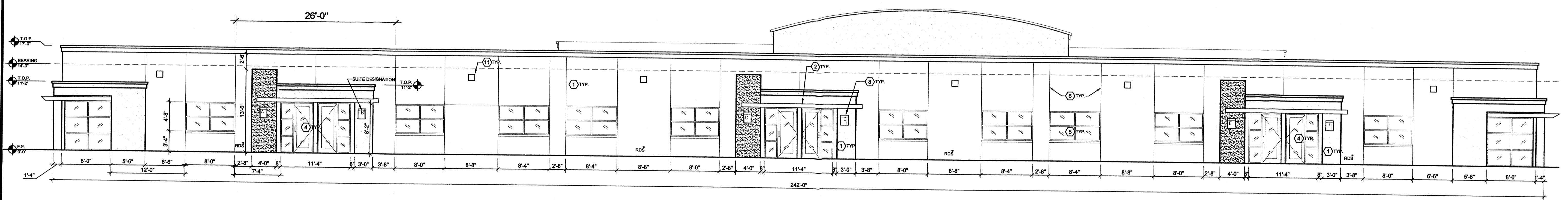
PROPOSED RETAIL/OFFICE BUILDING  
LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION  
4545 ALAMEDA BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87113

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8804 WASHINGTON N.E. SUITE A OFFICE: (505) 828-4676  
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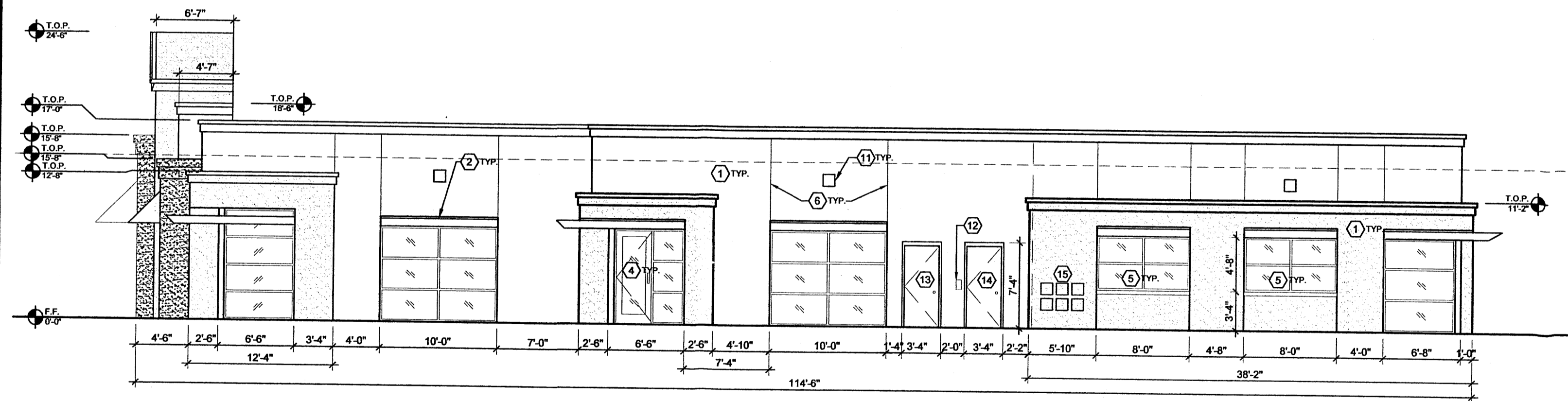
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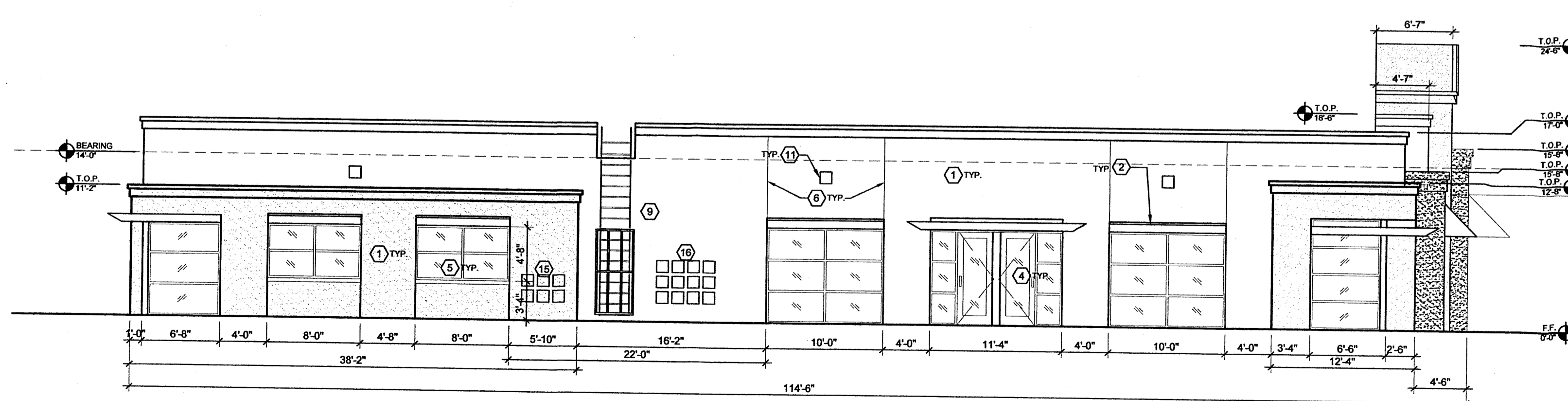
**A** SOUTH (RETAIL) ELEVATION  
1/18" = 1'-0"



**B** SOUTH (RETAIL) ELEVATION  
1/18" = 1'-0"



**C** EAST ELEVATION  
1/18" = 1'-0"

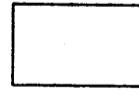
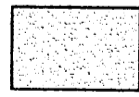



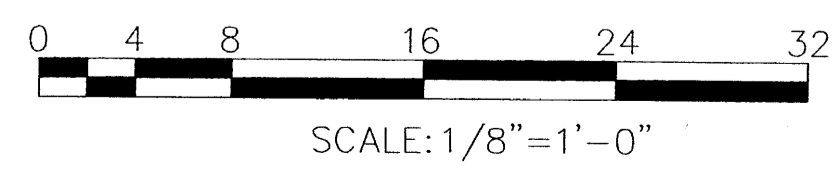
**D** WEST ELEVATION  
1/18" = 1'-0"

**KEYED NOTES:**

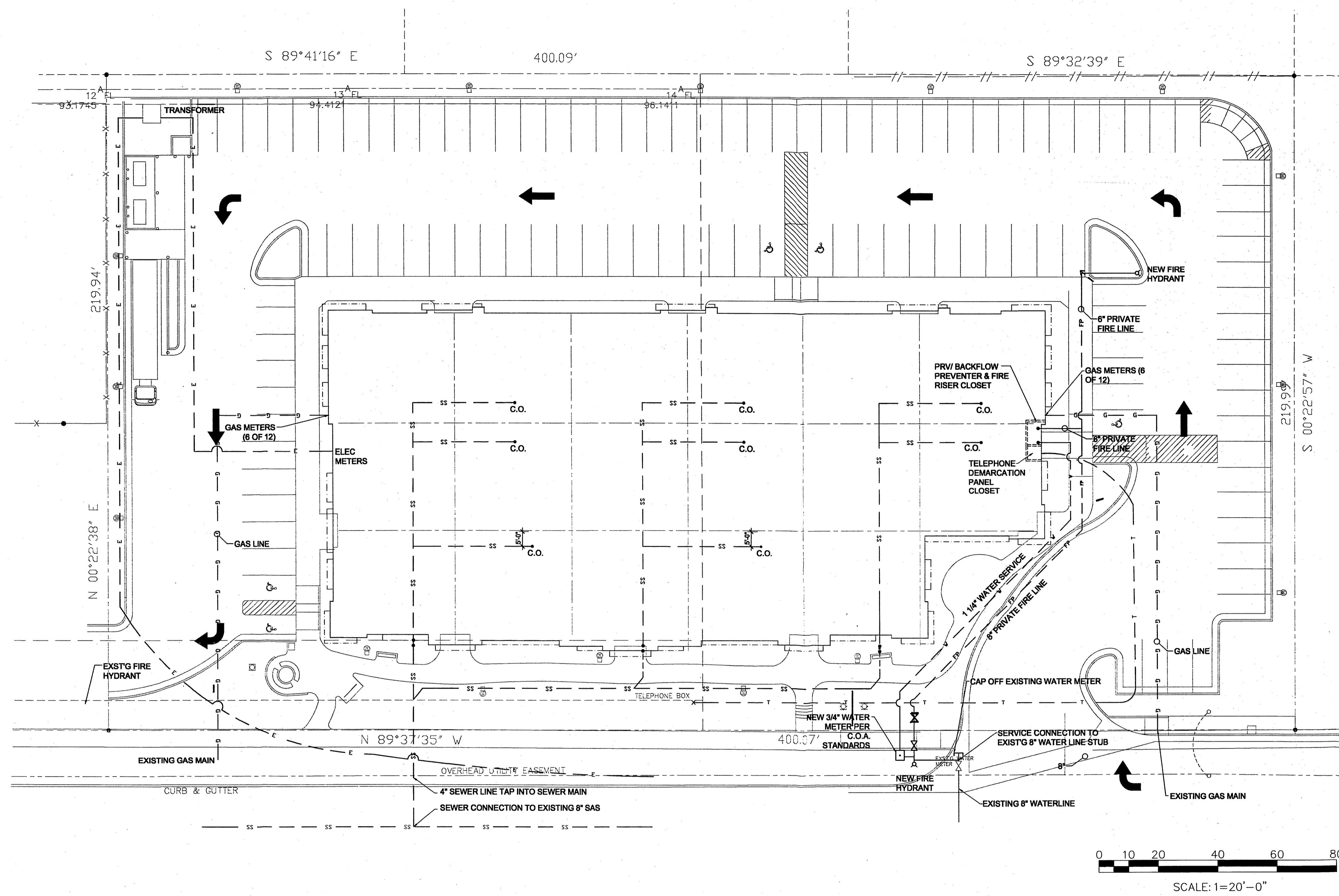
- 1) ELASTOMERIC STUCCO SYSTEM; REFER TO EXTERIOR FINISH LEGEND.
- 2) CLEAR ANODIZED ALUMINUM SHADE STRUCTURE.
- 3) FABRIC AWNING. ACCENT COLOR TO COORDINATE WITH STUCCO.
- 4) CLEAR ANODIZED ALUMINUM STORE FRONT WITH BRONZE TINTED GLASS.
- 5) CLEAR ANODIZED ALUMINUM WINDOW.
- 6) STUCCO EXPANSION JOINT.
- 7) STOREFRONT SIGN WITH CAST CUT LETTERS. SIGN AREA 18 S.F.
- 8) OFFICE SIGN. SEE SHEET OIS1.2.
- 9) ROOF ACCESS LADDER WITH LOCKED COVER.
- 10) BUILDING ADDRESS LETTERS, VISIBLE FROM STREET, MIN. 18" HIGH.
- 11) WALL PACK.
- 12) FIRE DEPARTMENT KNOX BOX.
- 13) ENTRY TO TELEPHONE DEMARCATION PANEL ROOM.
- 14) ENTRY TO FIRE RISER & POTABLE WATER BACKFLOW PREVENTER ROOM.
- 15) GAS METERS.
- 16) ELECTRIC METERS.

**EXTERIOR FINISH LEGEND:**

-  ELASTOMERIC STUCCO SYSTEM; COLOR BEIGE SAND  
SEE RENDERING FOR APPROXIMATE COLOR
-  ELASTOMERIC STUCCO SYSTEM; COLOR MEDIUM BEIGE SAND  
SEE RENDERING FOR APPROXIMATE COLOR
-  ELASTOMERIC STUCCO SYSTEM; COLOR BRICK  
SEE RENDERING FOR APPROXIMATE COLOR



**EXTERIOR ELEVATIONS**



DESIGN DATA:

X SQ. FT. X SQ. FT. X SQ. FT. X SQ. FT. X SQ. FT. X SQ. FT.

HEATED AREA: BASEMENT: TOTAL HEATED: GARAGE: FRONT PORCH: BACK PATIO:

SCALE:

1" = 20'-0"

PLOT DATE:

FEB. 21, 2007

FILENAME:

LANDSCAPE

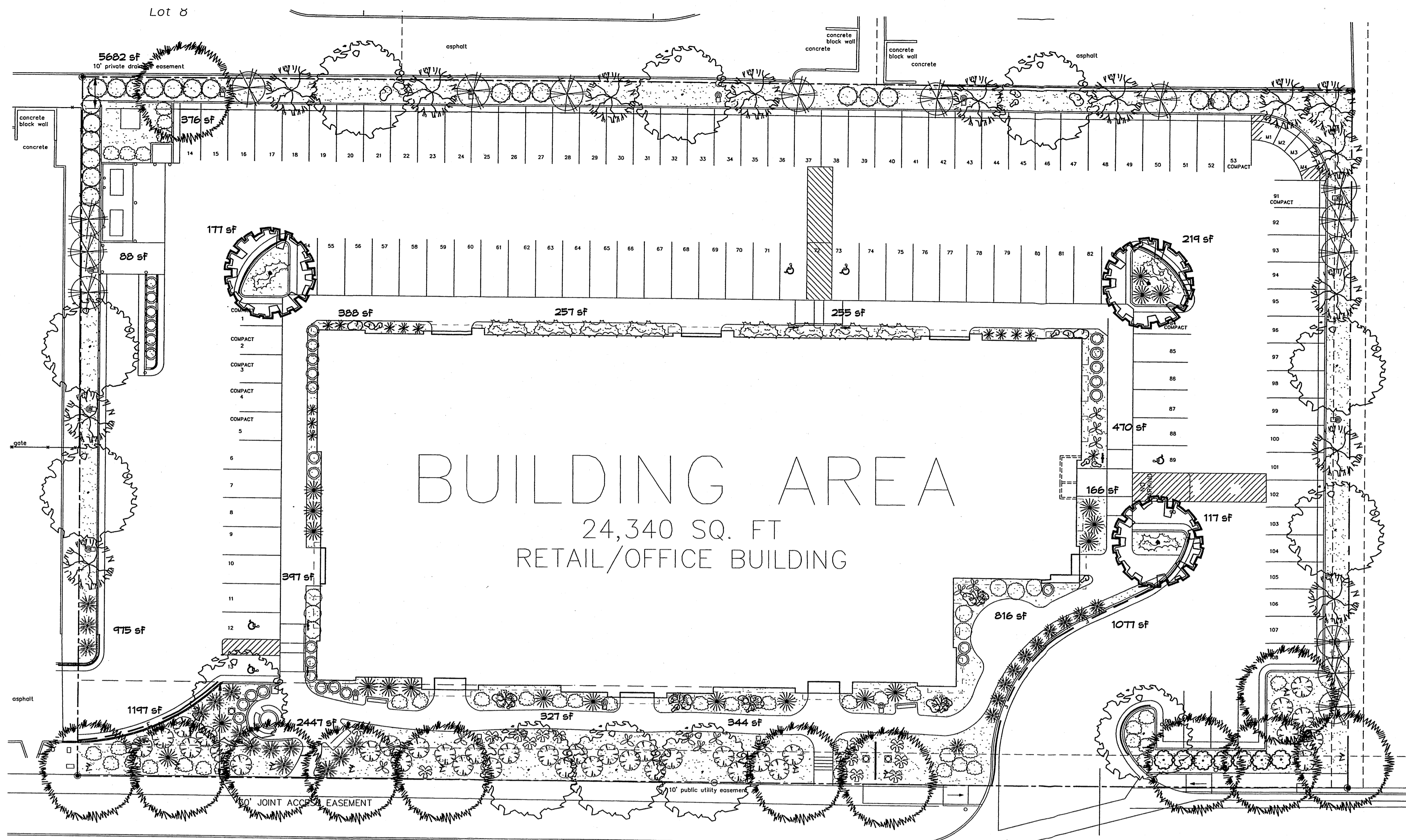
DRAWN BY:

RMM

PROPOSED RETAIL/OFFICE BUILDING  
LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION  
ALAMEDA BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87113

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WEB: WWW.MECHENBIE.COM

8804 WASHINGTON N.E., SUITE A  
ALBUQUERQUE, NM 87113



**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	87966	square feet
TOTAL BUILDINGS AREA	24340	square feet
NET LOT AREA	63626	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	9544	square feet
TOTAL BED PROVIDED	15775	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	11831	square feet
TOTAL GROUND COVER PROVIDED	11835 (75%)	square feet
TOTAL LANDSCAPE PROVIDED	15775 (25%)	square feet

**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Alameda Blvd.  
Required # 14 Provided # 14

**PARKING LOT TREE REQUIREMENTS**

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 12 Provided # 13

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netfim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netfim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

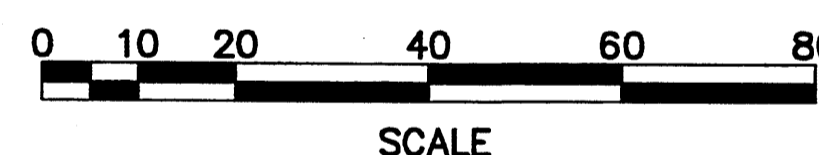
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



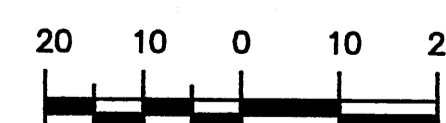
**NOTE TO CLIENT:**

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

- SEEDLESS HONEY LOCUST (M) 12  
*Gleditsia triacanthos*  
2' Cal.
- RAYWOOD ASH (M+) 12  
*Fraxinus oxycarpa*  
2' Cal.
- CHITALPA (M) 3  
*Chilopsis x Catalpa*  
2' Cal.
- VITEX (M) 14  
*Vitex agnus-castus*  
15 Gal. 225 sf
- OCOTILLO (L) 5  
*Fouquieria splendens*
- RED YUCCA (L) 25  
*Hesperaloe parviflora*  
5 Gal. 45sf
- PRICKLY PEAR (L) 12  
*Opuntia macrocentra*  
4 sf
- BEARGRASS (L+) 20  
*Nolina microcarpa*  
5 Gal. 36sf
- NATIVE YUCCA 13  
*Yucca spp.*  
5 Gal. 45sf
- AGAVE (L) 13  
*Agave spp.*  
16 sf
- PARNEY COTONEASTER (L) 15  
*Cotoneaster lacteus*  
5 Gal. 144sf
- THREE-LEAF SUMAC (L) 22  
*Rhus trilobata*  
5 Gal. 36sf
- APACHE PLUME (L) 8  
*Fallugia paradoxa*  
5 Gal. 25sf
- NANDINA (M) 7  
*Nandina domestica*  
5 Gal. 25sf
- CHAMISA (L) 36  
*Chrysothamnus nauseosus*  
1 Gal. 25sf
- POWIS CASTLE SAGE (L+) 40  
*Artemisia x Fowis Castle*  
1 Gal. 25sf
- TURFENTINE BUSH (L+) 31  
*Ericameria laricifolia*  
1 Gal. 16sf
- WINTER JASMINE (L+) 11  
*Jasminum nudiflorum*  
1 Gal. 144sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"
- 24 BOLDERS



**GRAPHIC SCALE**



SCALE: 1"=20'



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

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- 4-10-08 SITE REVISION & COMMENTS RMC
- 4-27-07 SITE REVISION RMM

**LANDSCAPE PLAN**

PRELIMINARY SET

DESIGN DATA:

X SQ. FT.  
X SQ. FT.  
X SQ. FT.  
X SQ. FT.

HEATED AREA:  
BASEMENT:  
TOTAL HEATED:  
GARAGE:  
FRONT PORCH:  
BACK PATIO:

SCALE:  
1" = 20'-0"

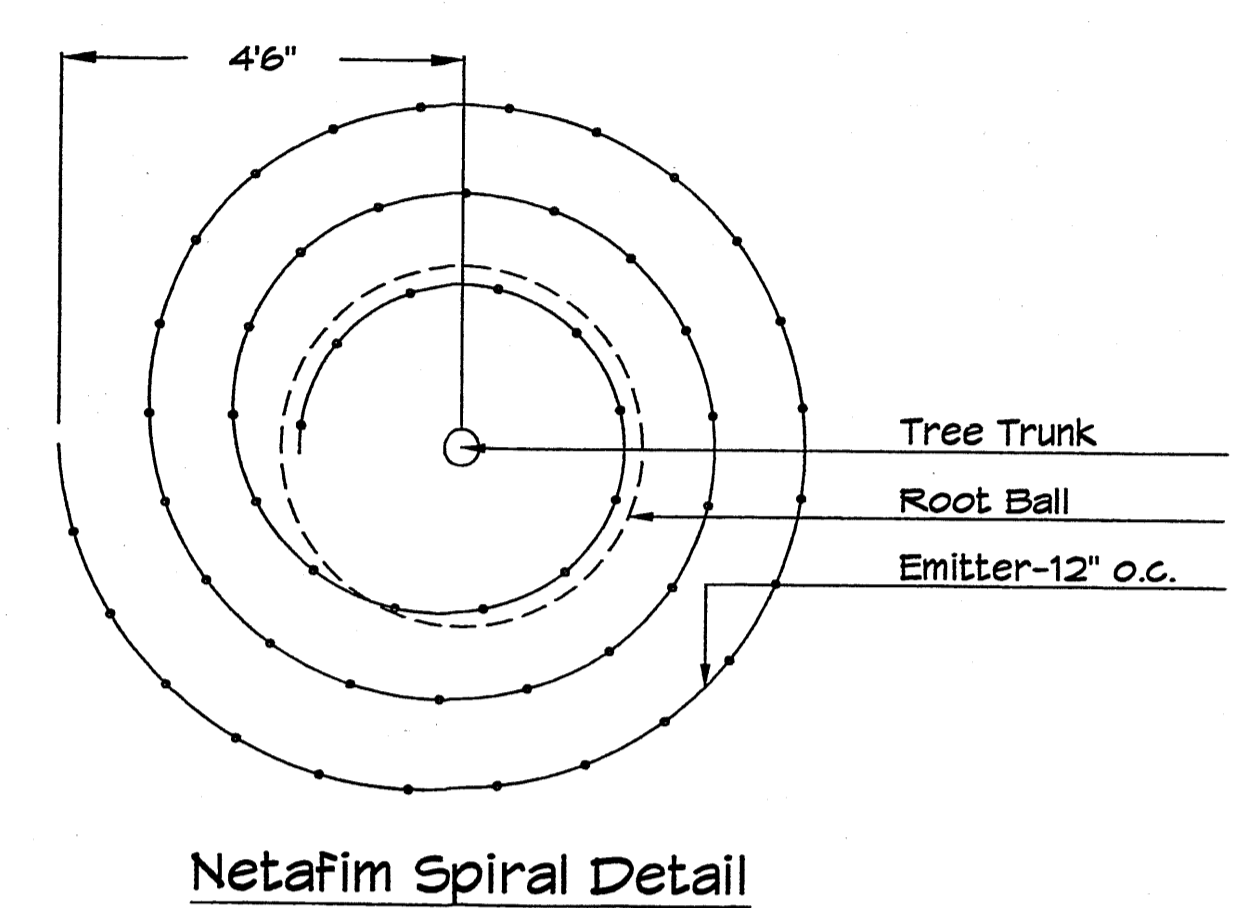
PLOT DATE:  
FEB. 21, 2007

FILENAME:  
LANDSCAPE

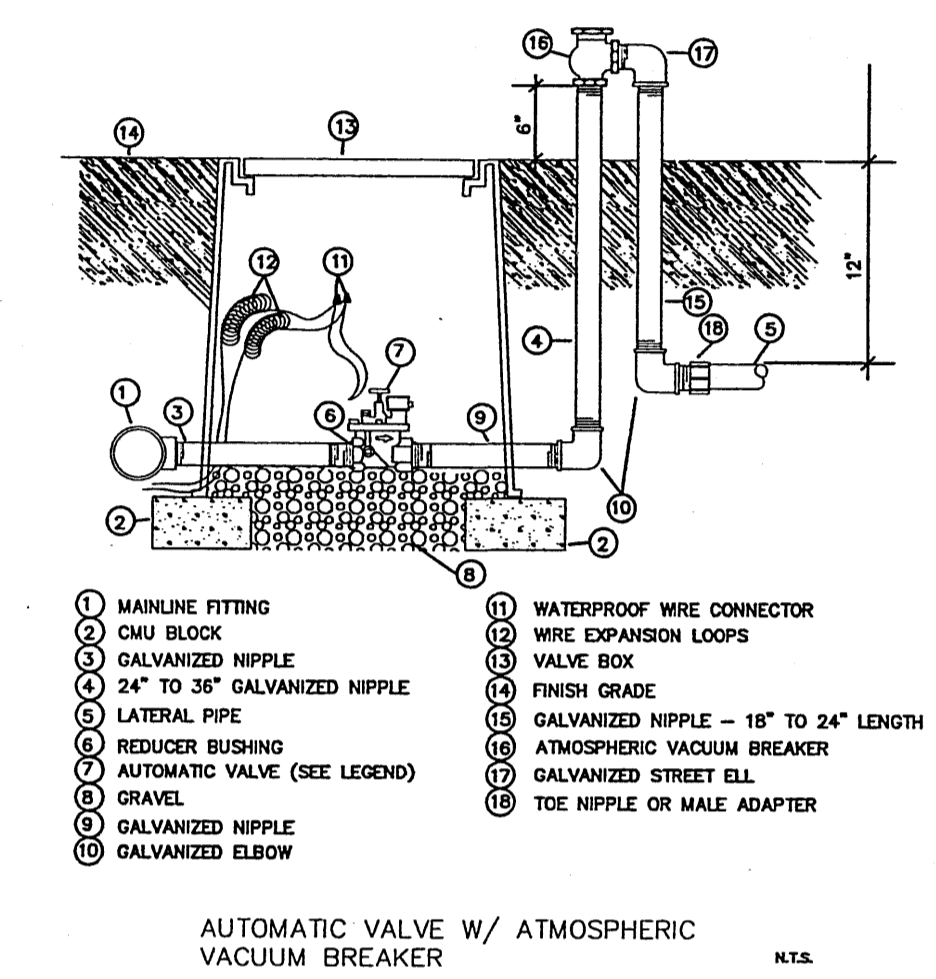
DRAWN BY:  
RMM

PRELIMINARY SET

PROPOSED RETAIL/OFFICE BUILDING  
LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION  
ALAMEDA BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87113

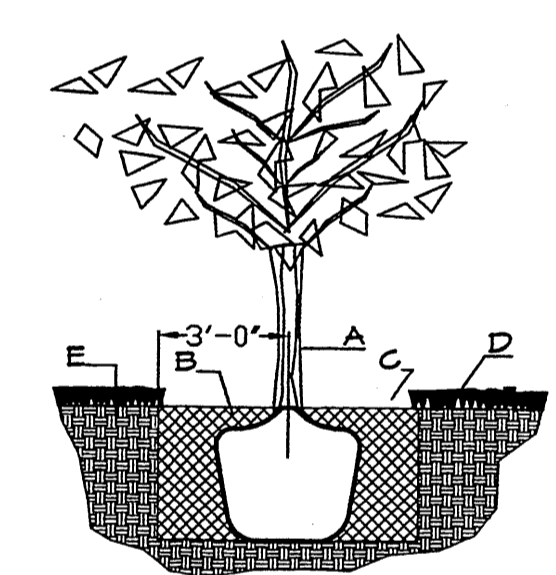


Netafim Spiral Detail



- |                                |  |
|--------------------------------|--|
| 1 MAINLINE FITTING             | 17 WATERPROOF WIRE CONNECTOR             |
| 2 GRU BLOCK                    | 18 WIRE EXPANSION LOOPS                  |
| 3 GALVANIZED NIPPLE            | 19 VALVE BOX                             |
| 4 24" TO 36" GALVANIZED NIPPLE | 20 FINISH GRADE                          |
| 5 LATERAL PIPE                 | 21 GALVANIZED NIPPLE - 18" TO 24" LENGTH |
| 6 REDUCER BUSHING              | 22 ATMOSPHERIC VACUUM BREAKER            |
| 7 AUTOMATIC VALVE (SEE LEGEND) | 23 GALVANIZED STREET ELL                 |
| 8 GRAVEL                       | 24 TOE NIPPLE OR MALE ADAPTER            |
| 9 GALVANIZED NIPPLE            |  |
| 10 GALVANIZED ELBOW            |  |

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N.T.S.



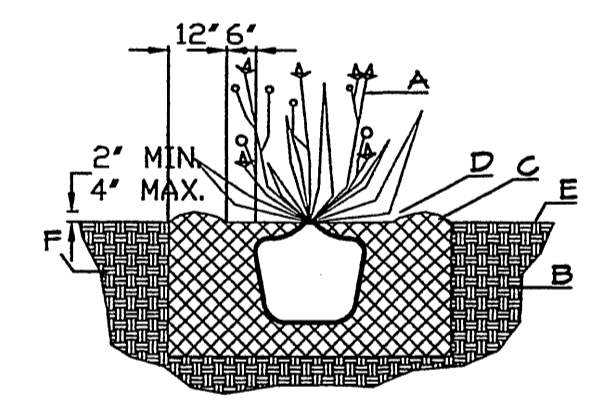
CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.



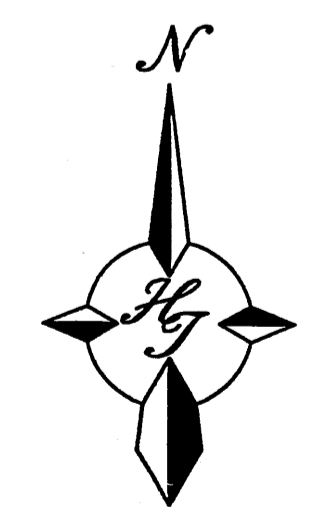
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

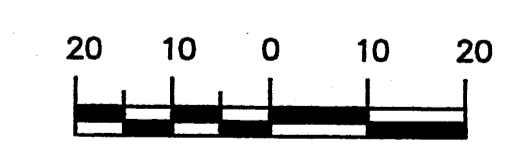
SHRUB PLANTING DETAIL NTS

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



GRAPHIC SCALE



SCALE: 1"=20'



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- △ 9-27-07 SITE REVISION RMM

LANDSCAPE PLAN

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