



DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70456

Project # 1005410

Project Name: RICHFIELD PARK

Agent: FORSTBAUER SURVEYING CO LLC

Phone No.: 268-2112

Your request was approved on 11-05-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - comments / easement location

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

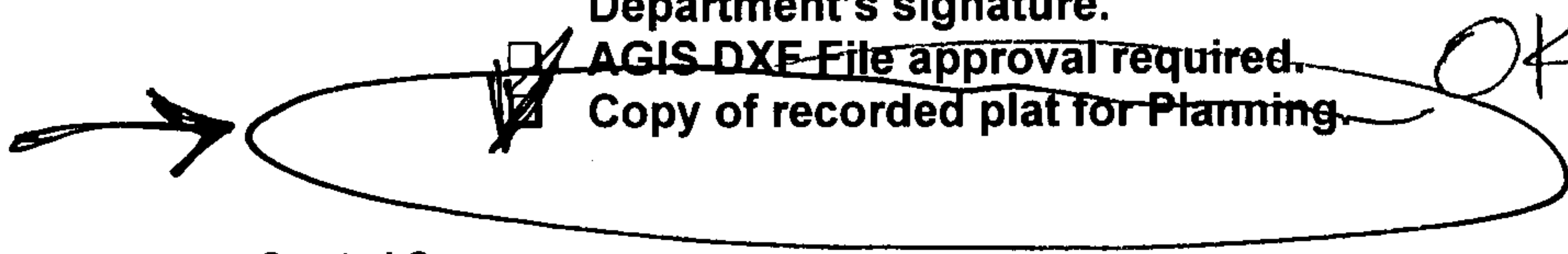
PLANNING (Last to sign): - comments / easement location

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**

- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.** OK



Created On:



DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70456

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Project Name: RICHFIELD PARK

Agent: FORSTBAUER SURVEYING CO LLC

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Your request was approved on 11-05-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - comments / easement location

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - comments / easement location

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____

-Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required. *OK*

Copy of recorded plat for Planning.

Created On:

5410

DXF Electronic Approval Form

DRB Project Case #: 1005410

Subdivision Name: RICHFIELD PARK LOT 5A

Surveyor: RONALD A FORSTBAUER

Contact Person: RONALD A FORSTBAUER

Contact Information: 268-2112

DXF Received: 10/27/2008

Hard Copy Received: 10/27/2008

Coordinate System: Ground rotated to NMSP Grid


Approved

10-28-2008
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc 5410 to agiscov on 10/28/2008 Contact person notified on 10/28/2008

13. **Project# 1005349**
08DRB-70451 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- ROLANDO PEREZ request(s) the above action(s) for all or a portion of Lot(s) 9 & 10, Block(s) 8, **LOMA VERDE** zoned R-2, located on SAN PABLO NE BETWEEN DOMINGO NE AND CHICO NE containing approximately 2 acre(s). (K-19) *[Deferred from 10/29/08]* **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR TALOR LOG NUMBER OR UTILITY SIGNATURE.**
14. **Project#-1005410**
08DRB-70456 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- FORSTBAUER SURVEYING CO LLC agent(s) for JOHN & CYNTHIA MECHENBIER request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, **RICHFIELD PARK** zoned IP, located on ALAMEDA BLD NE BETWEEN WASHINGTON ST NE AND JEFFERSON ST NE containing approximately 2.0192 acre(s). (C-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION AND PLANNING FOR COMMENTS AND EASEMENT LOCATION**
15. **Project# 1007490**
08DRB-70466 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- CONSENSUS PLANNING agent(s) for C&S EQUITIES LLC request(s) the above action(s) for all or a portion of Tract(s) 3B, **LANDS OF IHS ACQUISITION NO. 120, INC** zoned SU-2 FOR HOSPITAL AND MEDICAL, located on HORIZON BLVD NW BETWEEN NORTH DIVISION CHANNEL AND BALLOON FIESTA PARK NW containing approximately 18.7 acre(s). (B-17 & C-17) **DEFERRED TO 11/19/08 AT THE AGENT'S REQUEST.**
16. **Project# 1007545**
08DRB-70462 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- TIERRA WEST LLC agent(s) for MANUEL LUJAN request(s) the above action(s) for all or a portion of Lot(s) 3, Tract(s) O, **LANDS OF RABADI & / SCHWARTZMAN PACKING CO** zoned IP/SU-1 IP, located on MULBERRY SE BETWEEN GIBSON BLVD SE AND SUNPORT BLVD SE containing approximately 16.6575 acre(s). (M-15) **DEFERRED TO 11/12/08 AT THE AGENT'S REQUEST.**

17. **Project# 1007547**
08DRB-70465 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for LARRY P AND JANE H GUTIERREZ request(s) the above action(s) for all or a portion of Lot(s) A & B, Tract(s) 238, FRANCIS zoned C-2, located on RIO GRANDE BLVD NW BETWEEN MOUNTAIN RD NW AND BELLAMAH NW containing approximately 1.664 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND DIMENSIONAL EXHIBIT AND TO CITY ENGINEER FOR RECIPROCAL EASEMENTS, AGIS DXF FILE, AND A COPY OF THE RECORDED PLAT PROVIDED TO PLANNING.**

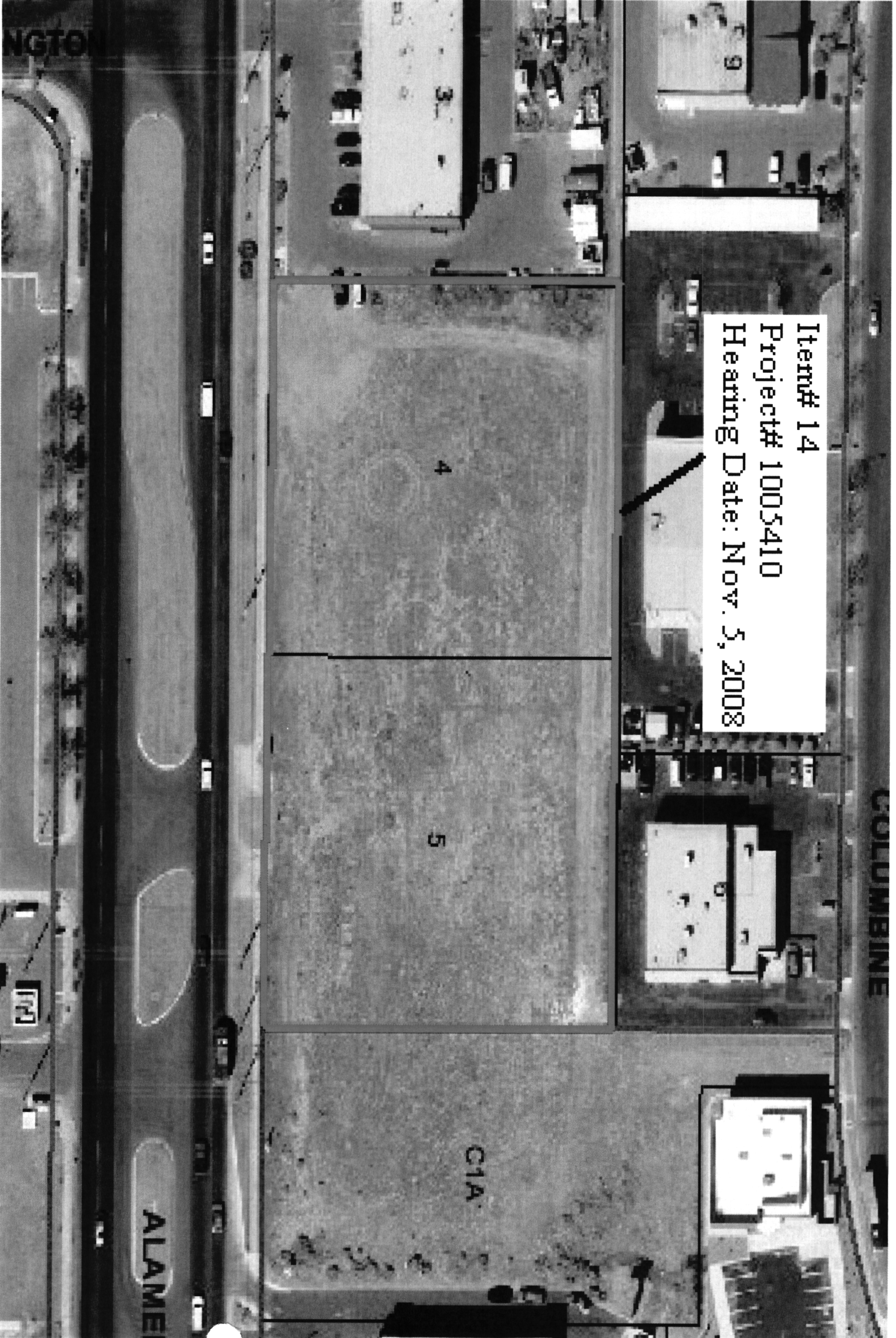
NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

18. **Project# 1005458**
08DRB-70458 SKETCH PLAT REVIEW
AND COMMENT

HARRIS SURVEYING INC agent(s) for CENTRO PROPERTIES GROUP request(s) the above action(s) for all or a portion of Tract(s) Q, **TOWN OF ATRISCO GRANT Unit(s) NORTHEAST**, zoned C-1, I-P, located on COORS RD NW BETWEEN REDLANDS RD NW AND ATRISCO DR NW containing approximately 3.7951 acre(s). (G-11)**THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Other Matters: None

ADJOURNED: 10:25



Item# 14
Project# 1005410
Hearing Date: Nov. 5, 2008

4

5

C1A

COLUMBINE

ALAMEIDA

NGTON

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

November 5, 2008

DRB Comments

ITEM # 14

PROJECT # 1005410

APPLICATION # 08-70456

RE: Lots 4 & 5, Richfield Park Subdvision

The new easement does not appear to align with the site development plan or the median break in Alameda – it needs to be shifted approximately 50 feet west (centerline to be where the western edge is now).



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 1, 2008

Project# 1005410
08DRB-70416 VACATION OF PRIVATE EASEMENT
08DRB-70418 SKETCH PLAT REVIEW AND COMMENT

FORSTBAUER SURVEYING, LLC agent(s) for JOHN & CYNTHIA MECHENBIER request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, **RICHFIELD PARK**, zoned IP, located on ALAMEDA BLVD NE BETWEEN WASHINGTON ST NE AND JEFFERSON ST NE containing approximately 2.0192 acre(s). (C-17)

At the October 1, 2008 Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance. The sketch plat was reviewed and comments were given.

(A)(1) The private easement vacation request was filed by the owners of a majority of the rear footage of land abutting the proposed vacation.

(B)(1) The public welfare is in no way served by retaining the private easement.

(B)(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by October 16, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, AICP, DRB Chair

Cc: Forstbauer Surveying LLC – 4116 Lomas Blvd. NE – Albuquerque, NM
87110

Cc: John & Cynthia Mechenbier – 8500 Washington NE Ste A6 – Albuquerque,
NM 87113

Scott Howell

Marilyn Maldonado

File

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. ~~Project# 1005410~~
08DRB-70416 VACATION OF PRIVATE EASEMENT
08DRB-70418 SKETCH PLAT REVIEW AND COMMENT

FORSTBAUER SURVEYING, LLC agent(s) for JOHN & CYNTHIA MECHENBIER request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, **RICHFIELD PARK**, zoned IP, located on ALAMEDA BLVD NE BETWEEN WASHINGTON ST NE AND JEFFERSON ST NE containing approximately 2.0192 acre(s). (C-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN.**
8. **Project# 1006845**
08DRB-70415 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

NMQC agent(s) for CARLOS MATA request(s) the above action(s) for all or a portion of Tract(s) 3, **GARDEN ACRES ADDITION**, zoned R-1, located on GRIEGOS RD NW BETWEEN GUADALUPE TR NW AND GRANDE DR NW containing approximately .7452 acre(s). (F-14) **DEFERRED TO 10/8/08 AT THE AGENT'S REQUEST.**
9. **Project# 1006936**
08DRB-70426 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

RIO GRANDE SURVEYING CO. agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Block(s) 29 & **PARK SITE, TRANSPORTATION CENTRAL (TO BE KNOWN AS SILVER GARDENS)**, zoned SU-3, located on 2ND ST SW BETWEEN LEAD SW AND GOLD SW containing approximately 3.3 acre(s). (K-14) **DEFERRED TO 10/8/08 AT THE AGENT'S REQUEST.**
10. **Project# 1007296**
08DRB-70424 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JERRY P CULAK agent(s) for JOSEPH S TRUJILLO request(s) the above action(s) for all or a portion of zoned R-1, located on SAWMILL RD NW BETWEEN 12TH ST NW AND ARIAS AVE NW containing approximately 1.4883 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA TO VERIFY ACCOUNTS AND TO PLANNING FOR EXHIBIT INDICATING LOCATION OF SIDEWALK AND DISTANCE OF FACE OF CURB TO PROPERTY LINE AND TO RECORD.**

11. **Project# 1007402**
08DRB-70420 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for TOM and AGNEDA C DE BACA request the above action(s) for all or a portion of Lot(s) 7, **PALMS ADDITION**, zoned C-2, located on 59TH ST SW BETWEEN CENTRAL AVE SW AND LUCCA AVE SW containing approximately .4591 acre(s). (K-11) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR VERIFICATION OF RIGHT-OF-WAY, AGIS DXF FILE, AND A COPY OF THE RECORDED PLAT.**

12. **Project# 1007449**
08DRB-70423 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JOHN DELMON request(s) the above action(s) for all or a portion of Lot(s) 13-18, Block(s) 1, **WAGGOMAN-DENISON ADDITION**, zoned C-2, located on GENERAL MARSHALL NE BETWEEN CHICO NE AND CENTRAL AVE NE containing approximately .99 acre(s). (K-2010200570229130707) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PUBLIC UTILITY EASEMENTS, AGIS DXF FILE, AND A COPY OF THE RECORDED PLAT.**

13. **Project# 1006833**
08DRB-70398 TEMP DEFR SDWK
CONST

WEBER CO request(s) the above action(s) for all or a portion of Lot(s) 1-15, **UNSER TOWNE CROSSING**, zoned IP W/ CONDITIONAL USE FOR RETAIL, located on TOWNE CROSSING AVE NW BETWEEN UNSER BLVD NW AND GALLETINI PL NW containing approximately 52.5 acre(s). (J-9/10) *[Deferred from 9/24/08]* **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT 'C' IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project# 1004564**
08DRB-70417 SKETCH PLAT REVIEW
AND COMMENT

FORSTBAUER SURVEYING CO LLC agent(s) for PALOMA LANDING RETIREMENT RESIDENCE request(s) the above action(s) for all or a portion of Lot(s) 22-A & 11-14, Block(s) 21, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) A**, zoned SU-2 O-1, located on PALOMAS AVE NE BETWEEN WYOMING BLVD NE AND BARSTOW ST NE containing approximately 3.8423 acre(s). (D-19) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**



DRB CASE ACTION LOG (SDP – BUILDING P.)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70292

Project # 1005410

Project Name: RICHFIELD PARK SUBDIVISION

Agent: MECHENBIER CONSTRUCTION INC.

Phone No.:

314-7700

Your request was approved on 9-17-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:

6. **Project#-1005410**
07DRB-70292 MINOR - SDP FOR
BUILDING PERMIT

MECHENBIER CONSTRUCTION INC. request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, **RICHFIELD PARK SUBDIVISION**, zoned IP, located on ALAMEDA BLVD NE BETWEEN JEFFERSON NE AND WASHINGTON NE containing approximately 2 acre(s). (C-17) *[Deferred from 10/10/07]* **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO ABCWUA FOR REVISED UTILITY PLAN AND TO PLANNING FOR 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project# 1001770**
08DRB-70389 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for JPS, LLC request(s) the above action(s) for all or a portion of Tract(s) 5-A1-B1, **LANDS OF JOEL P. TAYLOR** zoned C-2, located on MONTANO NW BETWEEN WINTERHAVEN NW AND COORS NW containing approximately 3.9 acre(s). (E-12) **DEFERRED TO 9/24/08 AT THE AGENT'S REQUEST.**

8. **Project# 1007451**
08DRB-70384 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for J & E INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 10-A, 11-A, 12-A, 13-A & 14-A, Block(s) 2, **EAST CENTRAL BUSINESS ADDITION** zoned C-2, located on CENTRAL AVE NE BETWEEN ELIZABETH ST NE AND DOROTHY ST NE containing approximately 1.8906 acre(s). (L-21) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR 6 FT SIDEWALK, 6 FT SETBACK, DEDICATED 4 FT RIGHT-OF-WAY, AMAFCA SIGNATURE, AGIS DXF FILE, AND A COPY OF THE RECORDED PLAT FOR PLANNING FILE.**

9. **Project# 1007459**
08DRB-70393 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for CHARLES ABBOT request(s) the above action(s) for all or a portion of Lot(s) 10-15, Block(s) 12, **ALBRIGHT-MOORE ADDITION**, zoned S-R, located on LOS TOMASES NW AND KINLEY AVE NW containing approximately .4864 acre(s). (J-14) **DEFERRED TO 9/24/08 AT THE AGENT'S REQUEST.**

ALAMEDA DESIGN OVERLAY ZONE

✓ 1. Page 26, Item D (1). "All yards facing Alameda Boulevard shall be referred to as landscaped streetyards. A thirty foot landscaped streetyard is required for all properties facing Alameda Boulevard. The streetyard is measured from the right of way line."

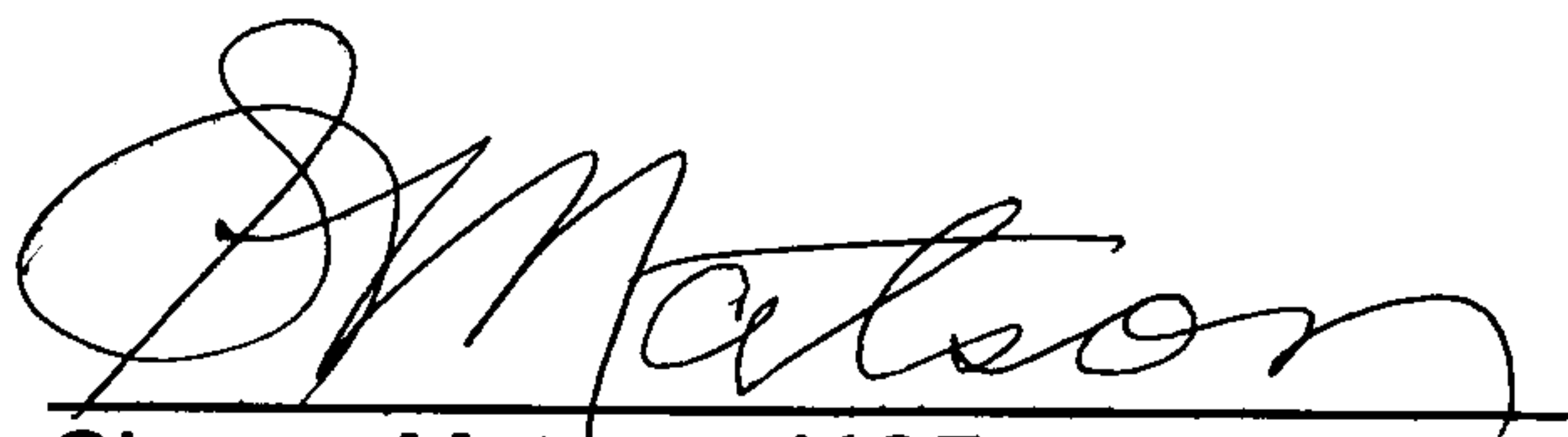
There is about 20 feet from the property line to the right of way line, none of which shows landscaping.

→ The required 30 foot front yard setback must be met. A variance application is possible if the building encroaches on the 30 feet and a correction to the plan can't occur.

✓ 2. Page 27, (E)(2). The building must be separated from off-street parking areas with landscaping and 6 foot wide sidewalks. The sidewalk around the building must be 6 feet. This should be indicated in Note 12 on the site plan sheet.

→ 5. Page 27, (E)(4). All off street parking areas must be screened from all rights of way including Alameda by low walls of a continuous dense hedge. Apache plume does not make a dense hedge. The hedge should be 4 feet high. The red yuccas are too transparent.

✓ 6. Page 29 (2) limits the height of the pole lights to 16 feet.



Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
October 10, 2007
DRB Comments**

ITEM # 7

PROJECT # 1006856

APPLICATION # 07-70292

RE: Lots 4 & 5, Richfield Park Subdivision/spbp

GENERAL COMMENTS

- check*
1. Label the site plan sheet "Site Plan for Building Permit".
 2. Remove the word "signoff" from the title of the signature block. This is a DRB approved site plan rather than EPC approved.
 - OK* 3. Are the existing chain link & wood fences going to be removed?
 4. Landscape Plan:
 - The Santa Fe Brown gravel must have at least a depth of 3 inches. Indicate on the plan.
 - The sizes of the plants are required.
 - Provide at least 2, preferably 3, varieties of street trees. This guards against disease striking one variety.
 - check* 5. Re-label the Preliminary Elevations Sheet as "Elevations".
 - ✓* 6. The existing and proposed easements must be shown on the site plan sheet and the landscape plan if applicable.

#7



DRB CASE ACTION LOG (SITE DEVELOPMENT PLAN)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70292	Project # 1006856
Project Name: RICHFIELD PARK SUBDIVISION	
Agent: MECHENBIER CONSTRUCTION	Phone No.: 314-7700

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): *variance*
 3 copies
 plat
 comments

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 10, 2007 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Angela Gomez, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT ANGELA GOMEZ, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned: 11:30
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1004071**
07DRB-70245 BULK LAND VARIANCE
07DRB-70246 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

HIGH MESA CONSULTING GROUP agent(s) for ALBUQUERQUE PUBLIC SCHOOLS & NEW MEXICO STATE LAND OFFICE request(s) the above action(s) for all or a portion of Tract(s) C, **ANCIENT MESA**, zoned SU-1, SU-2 FOR SCHOOL AND SU-1, SU-2 FOR OPEN SPACE, located on RAINBOW RD NW BETWEEN WOODMONT AVE NW AND ROSA PARKS RD NW containing approximately 143.32 acre(s). [REF: 05DRB-00511, 00512 AND 00513, 07DRB-00367] (C-9) **THE BULK LAND VARIANCE WAS APPROVED FOR TRACT C-2 ONLY. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/10/07, THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. CONDITIONS OF FINAL PLAT: (1) REALIGNMENT OF RAINBOW TO CONFORM TO VHSDP; (2) EXECUTION OF DEVELOPMENT AGREEMENT WITH THE ABCWUA.**

2. **Project# 1004540**
07DRB-70256 VACATION OF PUBLIC
EASEMENT
07DRB-70257 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON AND COMPANY INC agent(s) for KB HOME NEW MEXICO/LONGFORD HOMES INC request(s) the above action(s) for all or a portion of Lot(s) 19, Block(s) 2 Unit 14, Lot(s) 4, 5 & 6, Block(s) 2, Lot(s) 1, Block(s) 5, Unit 25, **VOLCANO CLIFFS** & Tract(s) D, **VISTA VIEJA, Unit 2**, zoned SU-2, SU-1 FOR PARK, located on ATRISCO DR NW BETWEEN UNSER BLVD NW AND SCENIC RD NW containing approximately 23.7 acre(s). (D-9 & D-10) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. CONDITION OF FINAL PLAT: PROVIDE RIGHT OF WAY PER VHSDP.**

3. **Project# 1006833**
07DRB-70254 MAJOR - SDP FOR
SUBDIVISION
07DRB-70255 MAJOR - SDP FOR
BUILDING PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for WEBER AND COMPANY request(s) the above action(s) for all or a portion of Tract(s) S2A2, S2A1 & S1A, **ATRISCO BUSINESS ADDITION (to be known as UNSER TOWNE CROSSING)** zoned IP, located on LOS VOLCANES NW BETWEEN UNSER BLVD NW AND GALATIN NW containing approximately 53 acre(s). (J-9 & J-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/14/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1006801**
07DRB-70240 MINOR - SDP FOR
BUILDING PERMIT
CLAUDIO VIGIL ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT COMPANY, LTD request(s) the above action(s) for all or a portion of Tract(s) C, **BRUNACINI AT ATRISCO BUSINESS PARK**, zoned IP, located on LOS VOLCANES RD NW BETWEEN UNSER BLVD NW AND COORS BLVD NW containing approximately 22.5074 acre(s). (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/24/07.**

5. **Project# 1004873**
07DRB-70283 EPC APPROVED SDP
FOR BUILD PERMIT
DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON NM, LLC request(s) the above action(s) for all or a portion of Tract(s) 23 & 24, **INNOVATION PARK**, zoned PC, located on STRYKER RD SE AND UNIVERSITY BLVD NORTHBOUND AND UNIVERSITY BLVD SOUTHBOUND containing 4.5 acre(s) (R-16, R-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/17/07.**

6. **Project# 1000771**
07DRB-70281 EPC APPROVED SDP
FOR BUILD PERMIT
DEKKER PERICH SABATINI agent(s) for H R RENTAL PROPERTIES INC request(s) the above action(s) for all or a portion of Tract(s) C, **COTTONWOOD POINTE SUBDIVISION to be known as Eagle Vista Apartments**, zoned SU-1 FOR R-2, C-2 AND IP, located on EAGLE RANCH RD NW AND IRVING BLVD NW containing approximately 6.76 acre(s). (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 10/17/07.**

7. ~~Project# 1005410~~
07DRB-70292 MINOR - SDP FOR
BUILDING PERMIT
MECHENBIER CONSTRUCTION INC. request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, **RICHFIELD PARK SUBDIVISION**, zoned IP, located on ALAMEDA BLVD NE BETWEEN JEFFERSON NE AND WASHINGTON NE containing approximately 2 acre(s). (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/24/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project# 1002565**
07DRB-70293 EXT OF SIA FOR TEMP
DEFR SDWK CONST
07DRB-70294 SIDEWALK WAIVER

RONALD BROWN agent(s) for LOS GRIEGOS DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of **VILLA DE LA CAPILLA SUBDIVISION**, zoned SU-1/ PRD, located on GRIEGOS RD NW BETWEEN RIO GRANDE BLVD NW AND SAN ISIDRO NW (F-13) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED. THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
9. **Project# 1002315**
07DRB-70284 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for KEYSTONE HOMES request(s) the above action(s) for all or a portion of Lot(s) 33, **WILDERNESS SUBDIVISION AT HIGH DESERT Unit(s) 2**, zoned SU-2 HD-R-R, located on ALOLA GRANDE PL NE BETWEEN WILDLANDS PL NE AND HIGH DESERT PL NE containing approximately 0.4385 acre(s). (F-23) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD, FOR AGIS DFX AND TO INDICATE APPLICATION NUMBER ON THE PLAT.**
10. **Project# 1003597**
07DRB-70285 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ABQ ENGINEERING INC agent(s) for RON NELSON request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1-D-1-A & 1-E-1-A, **ALBAN HILLS**, zoned SU-1 FOR C-2, located on COORS NW BETWEEN LA ORILLA NW AND BRIAN MEADOWS PL NW containing approximately 4.95 acre(s). (D-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE AND TO RECORD.**
11. **Project # 1000469**
06DRB-01416 Minor-Extension of
Preliminary Plat

ABQ ENGINEERING INC agent(s) for UNSER WEST TENANCY - JACK CLIFFORD request(s) the above action(s) for all or a portion of **Tract(s) L-1-C, ATRISCO BUSINESS PARK**, zoned IP, located on UNSER NW, between BLUEWATER NW and LOS VOLCANES NW containing approximately 2 acre(s). [REF: 05DRB-01556] (K-10) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

12. **Project# 1004414**
07DRB-70286 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for PHILLIP SHEETS request(s) the above action(s) for all or a portion of Lot(s) 1, **GIBSON TRACT A**, zoned R-2, located on SAN CLEMENTE AVE NW BETWEEN 4TH ST NW AND SAN LORENZO NW containing approximately 0.1784 acre(s). (G-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR CROSS ACCESS NOTE.**

13. **Project# 1006855**
07DRB-70291 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for DEBORAH LARNTZ request(s) the above action(s) for all or a portion of Lot(s) E 140' OF LOT 1 & E 140' OF THE N 30' OF LOT 2, Block(s) 17, **MONKBRIDGE ADDITION**, zoned C-3, located on VERANDA RD NW 4TH ST NW AND CANDELARIA NW containing approximately 0.2571 acre(s). (G-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR 20 FOOT RADIUS.**

14. **Project# 1006733**
07DRB-70288 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
07DRB-70290 SIDEWALK WAIVER

SURVEYS SOUTHWEST LTD agent(s) for STEPHAN TAYS request(s) the above action(s) for all or a portion of Tract(s) 242, **OLD TOWN GARDENS ADDITION**, zoned R-1, located on MOUNTAIN RD NW BETWEEN RIO GRANDE BLVD NW AND CONSUELO LANE NW containing approximately 0.72 acre(s). (J-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH NO DELEGATION. SIDEWALK WAIVER WAS DENIED.**

15. **Project# 1005539**
07DRB-70279 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WILSON AND COMPANY INC agent(s) for MGMe DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 5, **VOLCANO CLIFFS SUBDIVISION, Unit(s) 26, (to be known as Tierra Buena Estates)**, zoned SU-2 SRLL, located on KIMMICK DR NW BETWEEN ROSA PARKS RD NW AND VALIENTE RD NW containing approximately 3.62 acre(s). (C-11) **DEFERRED AT THE AGENT'S REQUEST TO 10/17/07.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project# 1006845**
07DRB-70280 SKETCH PLAT REVIEW
AND COMMENT
- RICHARD LOVATO, NMOC agent(s) for CARLOS MATA request(s) the above action(s) for all or a portion of Tract(s) 3, **GARDEN ACRES ADDITION**, zoned R-1, located on GRIEGOS RD NW BETWEEN GUADALUPE TRAIL NW AND GRANDE DR NW containing approximately 0.75 acre(s). [REF: DRB99-272] (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project# 1006853**
07DRB-70287 SKETCH PLAT REVIEW
AND COMMENT
- WAYJOHN SURVEYING INC agent(s) for DON DEAN request(s) the above action(s) for all or a portion of Lot(s) 5-8, Block(s) 54, **RAYNOLD'S ADDITION**, zoned SU-2 FOR R-1, located on IRON AVE SW BETWEEN 12TH ST SW AND 11TH ST SW containing approximately 0.3265 acre(s). (K-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project# 1006854**
PLAT REVIEW
AND COMMENT
- BOHANNAN HUSTON INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 1-4, 0S-1& 2, **THE TRAILS Unit(s) 4**, zoned SU-1 FOR OPEN SPACE & SU-2 - SRLL, SRSL, TC, UC & UR, containing approximately 35.11 acre(s). (C-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

Approval of the Development Review Board Minutes for September 15, 2007 were approved.

ADJOURNED: 11:30

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
October 10, 2007
DRB Comments**

ITEM # 7

PROJECT # 1006856 APPLICATION # 07-70292

RE: Lots 4 & 5, Richfield Park Subdivision/spbp

GENERAL COMMENTS

1. Label the site plan sheet "Site Plan for Building Permit".
2. Remove the word "signoff" from the title of the signature block.
This is a DRB approved site plan rather than EPC approved.
3. Are the existing chain link & wood fences going to be removed?
4. Landscape Plan:
 - The Santa Fe Brown gravel must have at least a depth of 3 inches. Indicate on the plan.
 - The sizes of the plants are required.
 - Provide at least 2, preferably 3, varieties of street trees.
This guards against disease striking one variety.
5. Re-label the Preliminary Elevations Sheet as "Elevations".
6. The existing and proposed easements must be shown on the site plan sheet and the landscape plan if applicable.

ALAMEDA DESIGN OVERLAY ZONE

1. Page 26, Item D (1). "All yards facing Alameda Boulevard shall be referred to as landscaped streetyards. A thirty foot landscaped streetyard is required for all properties facing Alameda Boulevard. The streetyard is measured from the right of way line."

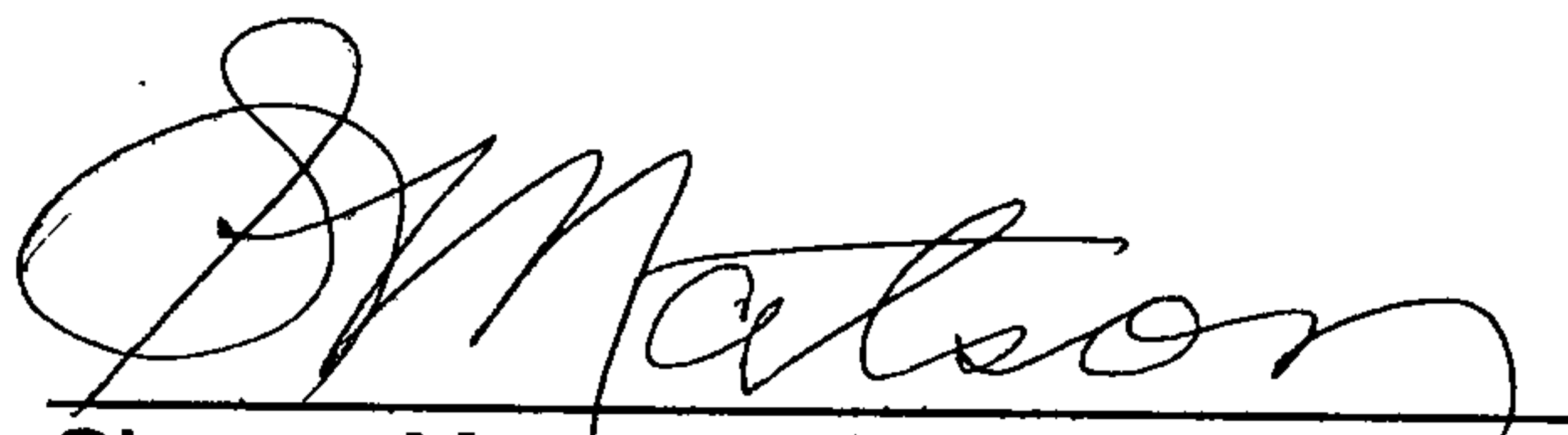
There is about 20 feet from the property line to the right of way line, none of which shows landscaping.

The required 30 foot front yard setback must be met. A variance application is possible if the building encroaches on the 30 feet and a correction to the plan can't occur.

2. Page 27, (E)(2). The building must be separated from off – street parking areas with landscaping and 6 foot wide sidewalks. The sidewalk around the building must be 6 feet. This should be indicated in Note 12 on the site plan sheet.

5. Page 27, (E)(4). All off street parking areas must be screened from all rights of way including Alameda by low walls of a continuous dense hedge. Apache plume does not make a dense hedge. The hedge should be 4 feet high. The red yuccas are too transparent.

6. Page 29 (2) limits the height of the pole lights to 16 feet.



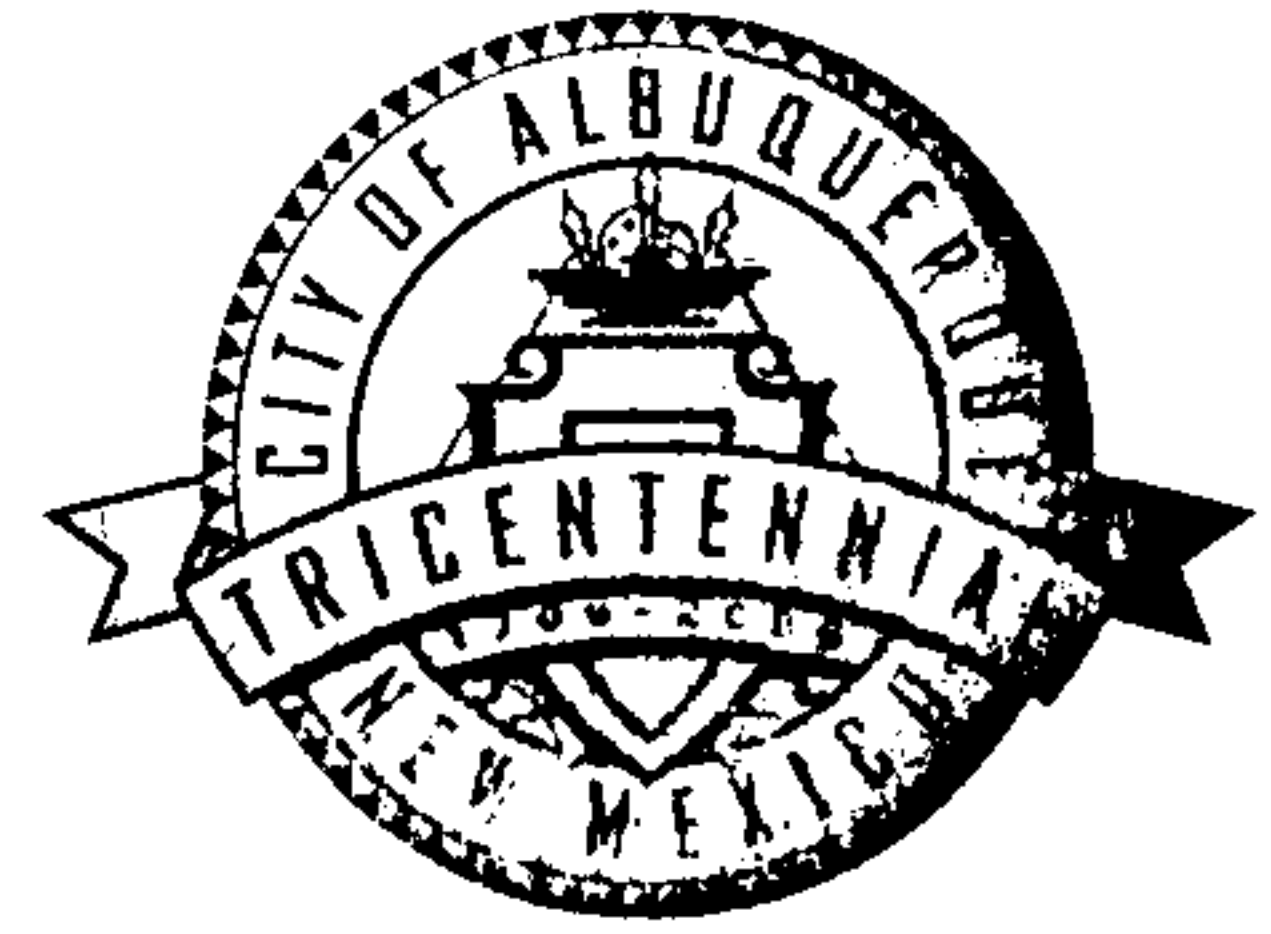
Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 100 ^{SA10} ~~625~~ **AGENDA ITEM NO: 7**

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee 505-924-3986

DATE: OCTOBER 10, 2007

0

TRANSMISSION VERIFICATION REPORT

TIME : 10/05/2007 14:35
NAME :
FAX : 9243864
TEL : 5059243979
SER.# : BROL6J570919

DATE, TIME 10/05 14:34
FAX NO./NAME 93147799
DURATION 00:00:54
PAGE(S) 03
RESULT OK
MODE STANDARD



DEVELOPMENT REVIEW BOARD
FAX FORM

TO: John Mechenier

FAX NUMBER: 314-7799 # PAGES 3

SENT BY: Sheran Matson, DRB Chair DATE: 10/05/07

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 100685L APPLICATION NO: _____

Planning's comments only. Please provide revised site plan by 1:27 pm - 4:30 Monday.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
October 10, 2007
DRB Comments**

ITEM # 7

PROJECT # 1006856

APPLICATION # 07-70292

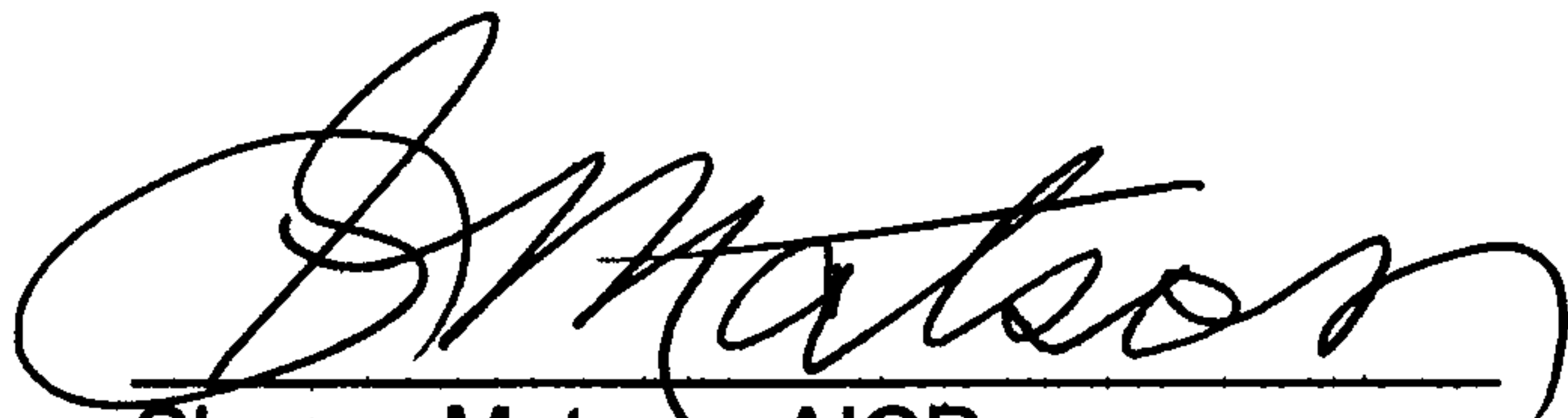
RE: Lots 4 & 5, Richfield Park Subdivision/spbp

GENERAL COMMENTS

1. Label the site plan sheet "Site Plan for Building Permit".
2. Remove the word "signoff" from the title of the signature block. This is a DRB approved site plan rather than EPC approved.
3. Are the existing chain link & wood fences going to be removed?
4. Landscape Plan:
 - The Santa Fe Brown gravel must have at least a depth of 3 inches. Indicate on the plan.
 - The sizes of the plants are required.
 - Provide at least 2, preferably 3, varieties of street trees. This guards against disease striking one variety.
5. Re-label the Preliminary Elevations Sheet as "Elevations".
6. The existing and proposed easements must be shown on the site plan sheet and the landscape plan if applicable.

ALAMEDA DESIGN OVERLAY ZONE

1. Page 24, Item 8. In Character Zone 4, of which this property is a part, the front setback facing Alameda must be 30 feet behind the landscaped streetyard.
2. Page 26, Item D (1). "All yards facing Alameda Boulevard shall be referred to as landscaped streetyards. A thirty foot landscaped streetyard is required for all properties facing Alameda Boulevard. The streetyard is measured from the right of way line."
3. There is about 20 feet from the property line to the right of way line, none of which shows landscaping. The total width from right of way line to building is about 50 feet. So, even if the entire area between the right of way line and the building was landscaped, the setback is not sufficient.
4. Page 27, (E)(2). The building must be separated from off – street parking areas with landscaping and 6 foot wide sidewalks. The sidewalk around the building must be 6 feet. This should be indicated in Note 12 on the site plan sheet.
5. Page 27, (E)(4). All off street parking areas must be screened fro all rights of way including Alameda by low walls of a continuous dense hedge.
6. Page 29 (2) limits the height of the pole lights to 16 feet.



Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov

PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
03/14/07	1005410 RICHFIELD PARK	SKETCH	COMMENT GIVEN

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005410

AGENDA ITEM NO: 20

SUBJECT:

Sketch Plat

ACTION REQUESTED:

REV/CMT: (X) APPROVAL: () SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED *discussed* **X**; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MARCH 14, 2007



IMPACT FEES

Development Review Board 3/14/07

Project Number: 1005410

Agenda Item Number: 20

Site: Richfield Park

Tract: Lots 4 & 5

Zoned: IP

Consolidating these two separate lots into one lot will not require impact fees at this time. However, at the time a permit is issued for a commercial building impact fees will be required. These fees will be assessed according to the size, use and impervious acreage for each building.

**JACK CLOUD
IMPACT FEE ADMINISTRATOR**

CITY OF ALBUQUERQUE
Planning Department
March 14, 2007
DRB Comments

ITEM # 20

Project # 1005410 Application # 07-00265

RE: Lots 4 & 5, Richfield Park/sketch

Follow the North I-25 Sector Development Plan guidelines for development.

A Site Development Plan and Landscape plan are required per the North I-25 Sector Development Plan.



Andrew Garcia, Planning Alternate
924-3858 Fax 924 3864 agarcia@cabq.gov

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

10/27/2008 Issued By: E08375

Permit Number: 2008 070 456 **Category Code 910**

Application Number: 08DRB-70456, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: ALAMEDA BLD NE BETWEEN WASHINGTON ST NE AND JEFFERSON ST NE

Project Number: 1005410

Applicant

John & Cynthia Mechenbier

8500 Washington Ne Suite A8
Albuquerque NM 87113
314-7700

Agent / Contact

Forstbauer Surveying Co Llc
Terese Forstbauer
4116 Lomas Blvd Ne
Albuquerque NM 87110

forstsurv@aol.com

Application Fees

441018/4871000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$215.00
TOTAL:		\$235.00

City Of Albuquerque
Treasury Division

10/27/2008 2:25PM LOC: ANNX
WS# 008 TRANSH# 0023
RECEIPT# 00098165-00098165
PERMIT# 2008070456 TRSCXG
Trans Amt \$235.00
Conflict Manaq. Fee \$20.00
DRB Actions \$215.00
CK \$235.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

09/22/2008 Issued By: E08375

Permit Number: 2008 070 416 **Category Code 910**

Application Number: 08DRB-70416, Vacation Of Private Easement

Address:

Location Description: ALAMEDA BLVD NE BETWEEN WASHINGTON ST NE AND JEFFERSON ST NE

Project Number: 1005410

Applicant

John & Cynthia Mechenbier

8500 Washington Ne Suite A6
Albuquerque NM 87113
314-7700

Agent / Contact

Forstbauer Surveying, Llc

4116 Lomas Bl Ne
Albuquerque NM 87110
288-2112

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$45.00
TOTAL:		\$65.00

City Of Albuquerque
Treasury Division

9/22/2008 2:07PM LOC: ANNX
WSH 006 TRANSH 0013
RECEIPT# 00098015-00098015
PERMITH 2008070416 TRSDMS
Trans Amt \$65.00
Conflict Manag. Fee \$20.00
DRB Actions \$45.00
CK \$65.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

09/04/2008 Issued By: PLNABG

Permit Number: 2007 070 292 **Category Code 910**

Application Number: 07DRB-70292, Minor - Sdp For Building Permit

Address:

Location Description: ALAMEDAA BLVD NE BETWEEN JEFFERSON NE AND WASHINGTON NE

Project Number: 10054 10

Applicant
Mehenbier Construction Inc.

Agent / Contact
Mehenbier Construction Inc.

8500 Washington St Ne
Albuquerque NM 87113
314-7700
jmechenbier@mechenbier.com

8500 Washington St Ne
Albuquerque NM 87113
314-7700
jmechenbier@mechenbier.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB deferral fees	\$100.00
TOTAL:		\$100.00

City Of Albuquerque
Treasury Division

9/4/2008 4:39PM LOC: ANNX
WS# 008 TRANSH 0031
RECEIPT# 00096041-00096041
PERMIT# 2007070292 TRSSVS
Trans Amt \$100.00
DRB Actions \$100.00
CK \$100.00
CHANCE \$0.00

Thank You



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- D L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): FORSTBAUER SURVEYING LLC PHONE: 268-2112
 ADDRESS: 4116 LOMAS BL. NE FAX: 268-2032
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: FORSTSURV@AOL.COM

APPLICANT: JOHN & CYNTHIA MECHENBIER PHONE: 314-7700
 ADDRESS: 8500 WASHINGTON NE, SUITE A6 FAX: 314-7799
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: CONSOLIDATE LOTS 4 & 5 INTO 1 LOT; GRANT NEW ACCESS EASEMENT (PRIVATE) TO REPLACE EASEMENT VACATED AT 10/1/08 HEARING
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 4 & 5 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: RICHFIELD PARK
 Existing Zoning: IP Proposed zoning: _____ MRGCD Map No. _____
 Zone Atlas page(s): C17 UPC Code: 10170642873911104;
10170643083911105

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_V_S, etc.):
PROJECT NO. 1005410; 07 DRB 00265; 08 DRB 70416;
08 DRB 70418

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 2.0192
 LOCATION OF PROPERTY BY STREETS: On or Near: ALAMEDA BL. NE
 Between: WASHINGTON ST NE and JEFFERSON ST NE

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: 10/1/08

SIGNATURE TERRIE C. FORSTBAUER DATE 10/27/08
 (Print) FORSTBAUER SURVEYING LLC Applicant: Agent:
BY TERRIE C. FORSTBAUER

FOR OFFICIAL USE ONLY

Form revised 4/07

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB - 70456</u>	<u>P3F</u>	_____	<u>\$ 215.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>LMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>November 5, 2008</u>				Total <u>\$ 235.00</u>

[Signature] 10.27.08 Project # 1005410
 Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies** *SEE SKETCH PLAT SUBMITTED*
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

- PLEASE NOTE:** There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

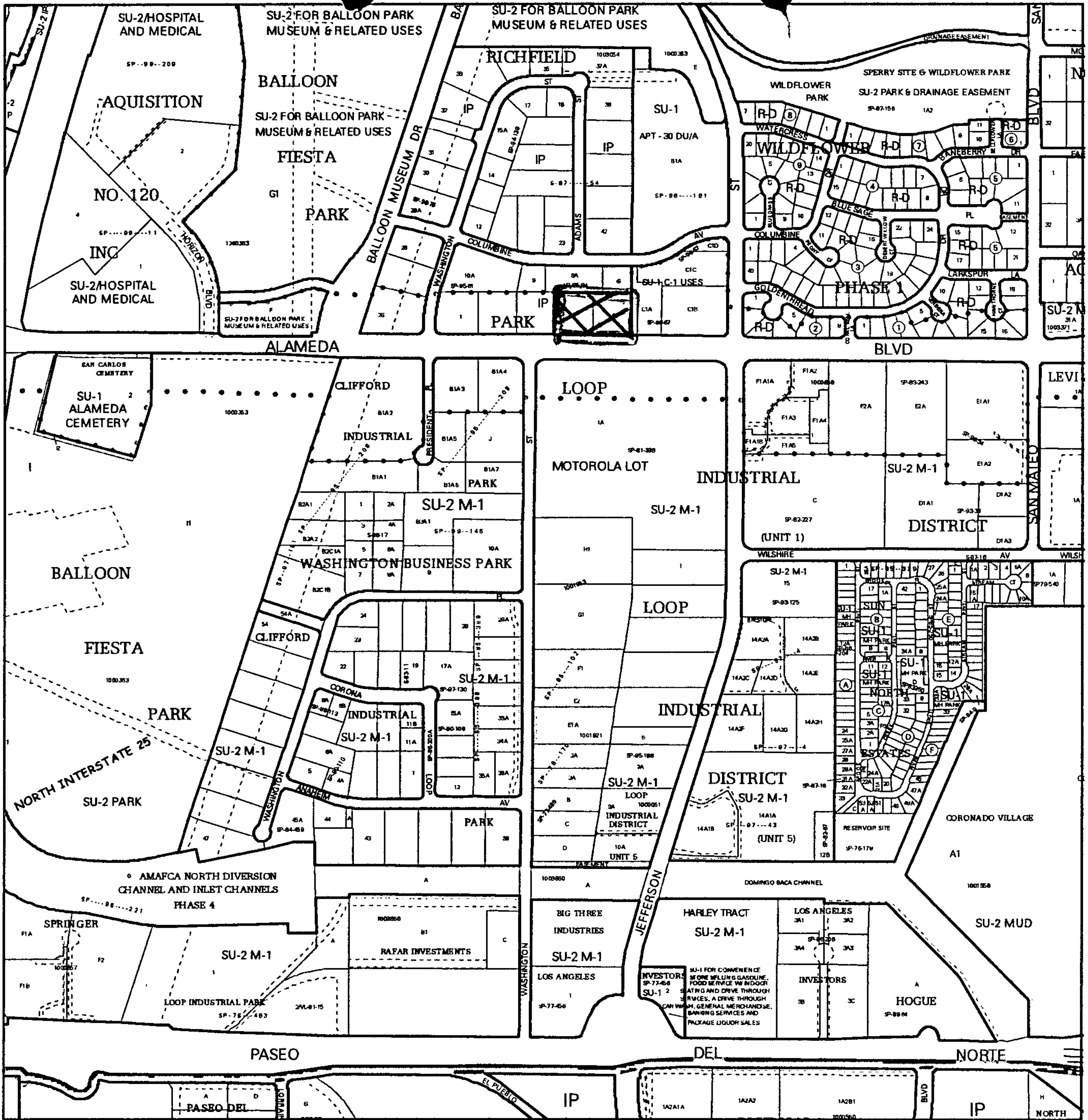
FORSTBAUER SURVEYING LLC
BY TERENCE C. FORSTBAUER
 Applicant name (print)
TERENCE C. FORSTBAUER *10/27/08*
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 08DRB - _____ - *70456*
 _____ - _____ - _____
 _____ - _____ - _____

V. [Signature] *10-27-08*
 Planner signature / date
 Project # *1006410*



For more current information and more details visit <http://www.cabq.gov/gis>

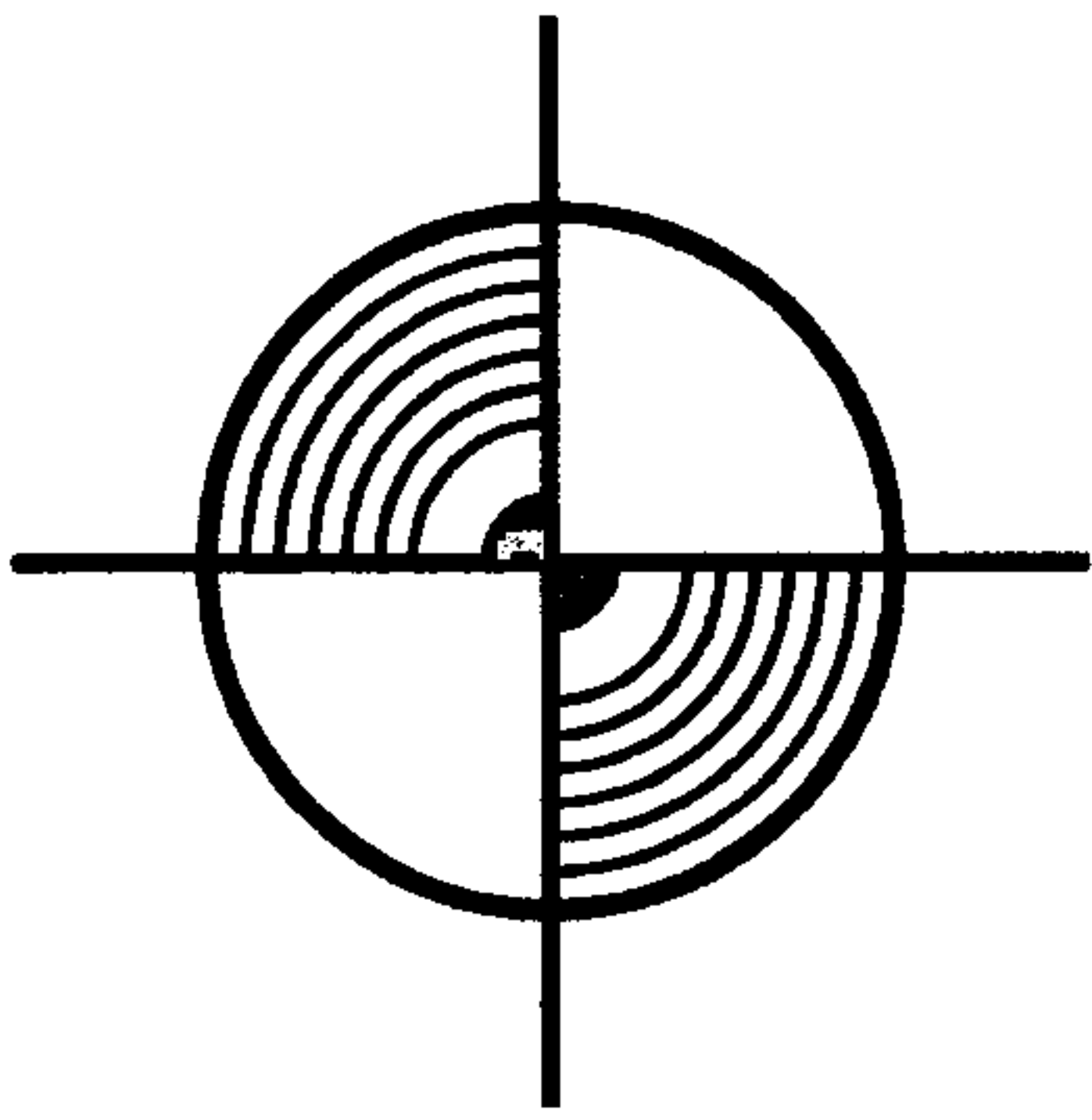
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



Forstbauer Surveying Company, LLC

*Professional Surveyor
New Mexico • Arizona • Colorado
United States Mineral Surveyor*

October 27, 2008

To: Development Review Board

From: Terese C. Forstbauer

Re: Consolidation of Lots 4 and 5, Richfield Park Subdivision into one Lot

Forstbauer Surveying LLC, agent for John and Cynthia Mechenbier requests Preliminary / Final Plat Approval for consolidation of said Lots 4 and 5 into one lot. The replat also vacates an existing private access easement (per DRB hearing 10/1/2008) and grants a new private access easement.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): FORSTBAUER SURVEYING LLC PHONE: 268-2112
 ADDRESS: 4116 LOMAS BL. NE FAX: 268-2032
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: FORSTSURY@AOL.COM

APPLICANT: JOHN & CYNTHIA MECHENBIER PHONE: 314-7700
 ADDRESS: 8500 WASHINGTON NE, SUITE A6 FAX: 314-7799
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: VACATION OF JOINT ACCESS EASEMENT WITHIN LOT 4; CONSOLIDATE LOTS 4 & 5 INTO 1 LOT; GRANT ACCESS EASEMENT
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot of Tract No. 4 & 5 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: RICHFIELD PARK
 Existing Zoning: IP Proposed zoning: _____ MRGCD Map No. _____
 Zone Atlas page(s): C17 UPC Code: 10170642873911104;
10170643083911105;

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): PROJECT
Number 1005410 07 DRB 00265 1007002

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 2.0192
 LOCATION OF PROPERTY BY STREETS: On or Near: ALAMEDA BL. NE
 Between: WASHINGTON ST NE and JEFFERSON ST NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Terese Forstbauer DATE 9/22/08
 (Print) FORSTBAUER SURVEYING LLC by Terese Forstbauer Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

NA <input type="checkbox"/> INTERNAL ROUTING <input checked="" type="checkbox"/> All checklists are complete <input checked="" type="checkbox"/> All fees have been collected <input checked="" type="checkbox"/> All case #s are assigned NA <input type="checkbox"/> AGIS copy has been sent <input checked="" type="checkbox"/> Case history #s are listed NA <input type="checkbox"/> Site is within 1000ft of a landfill <input type="checkbox"/> F.H.D.P. density bonus <input checked="" type="checkbox"/> F.H.D.P. fee rebate	Application case numbers <u>08DRB - 70416</u> <u>08DRB - 70418</u> _____ _____ _____	Action <u>VPRE</u> <u>SK</u> _____ _____ _____	S.F. _____ _____ _____ _____ _____	Fees <u>\$ 45.00</u> <u>\$ 20.00</u> \$ _____ \$ _____ Total <u>\$ 65.00</u>
---	---	---	---	--

Hearing date October 1, 2008

[Signature] 9.22.08
 Planner signature / date

Project # 1005410

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
 - ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
 - ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
 - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

FORSTBAUER SURVEYING LLC
BY TERESE FORSTBAUER

Terese Forstbauer 9/22/08
Applicant name (print)
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08DRB- _____ - 70416

Form revised 4/07

9.22.08
Planner signature / date
Project # 1005410

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

FORSTBAUER SURVEYING LLC
 BY TERESE FORSTBAUER
 Applicant name (print)
 Terese Forstbauer 9/22/08
 Applicant signature / date

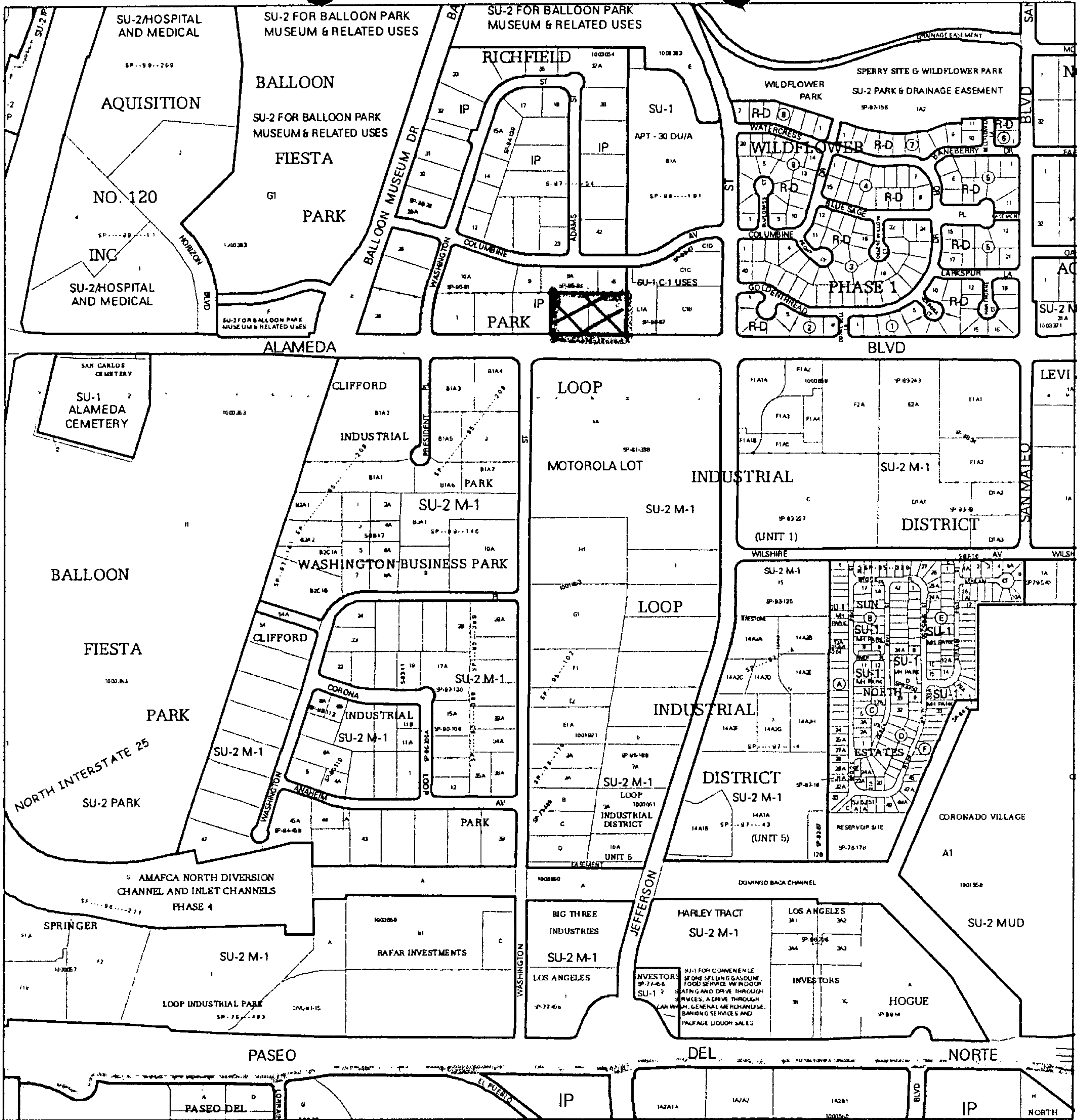


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 08DRB- _____ - 70418
 _____ - _____
 _____ - _____

9.22.08
 Planner signature / date
 Project # 1005410



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/18/2007

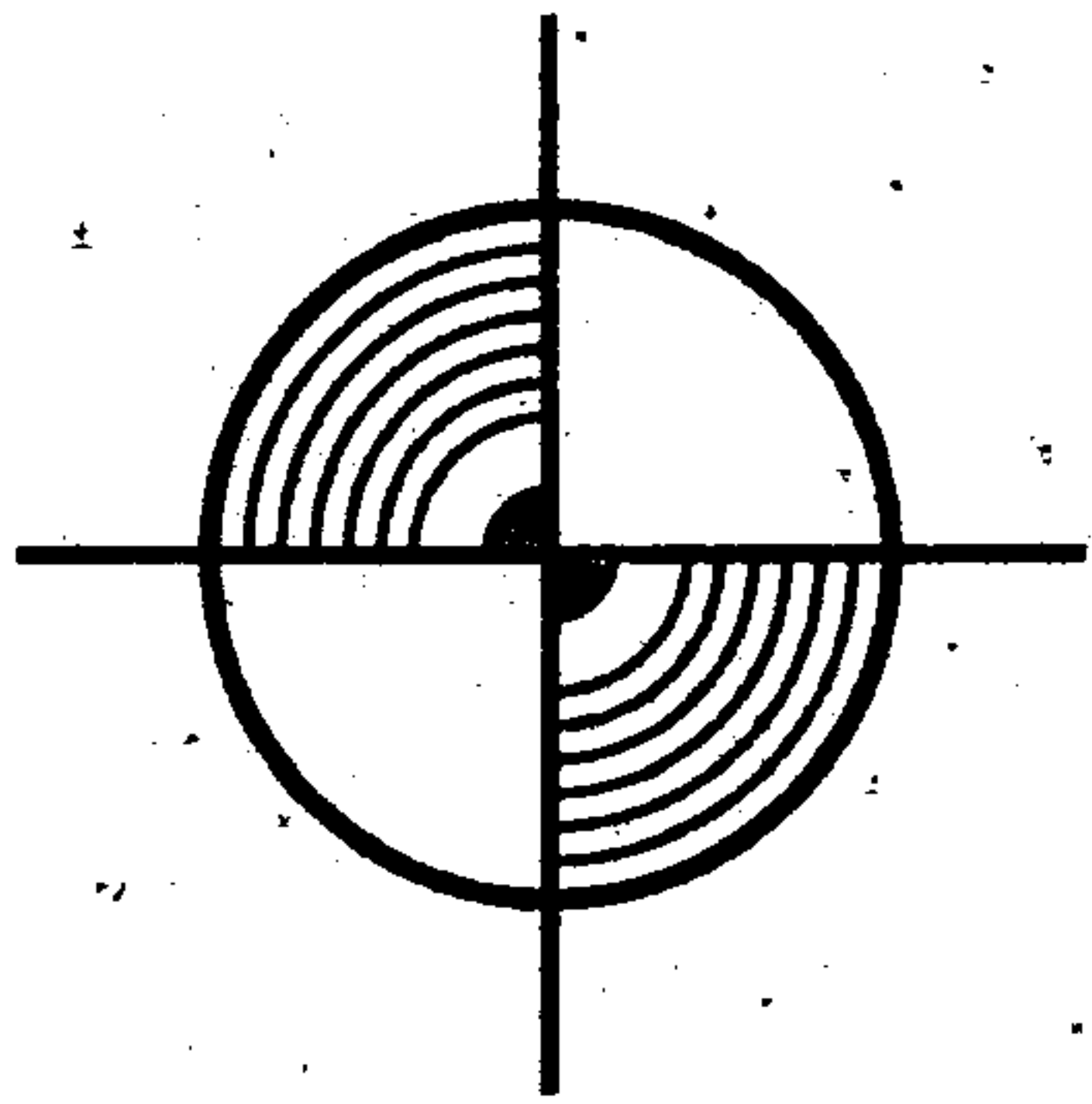
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-17-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



Forstbauer Surveying Company, LLC

*Professional Surveyor
New Mexico • Arizona • Colorado
United States Mineral Surveyor*

September 22, 2008

To: Development Review Board

From: Terese C. Forstbauer

Re: Vacation of the joint access easement within Lot 4; Consolidation of Lots 4 and 5, Richfield Park Subdivision into one Lot

Forstbauer Surveying LLC, agent for John and Cynthia Mechenbier requests vacation of the joint access easement within Lot 4 and sketch plat review and comments for consolidation of said Lots 4 and 5 into one lot. The vacation and consolidation are necessary to allow for future development. The existing easement will be replaced by a new access easement allowing access by the owners of Lots 1 – 5, Richfield Park Subdivision.

DT Land Development LLC

4509 Alameda NE

Albuquerque, NM 87113

.....

August 20, 2008

Development Review Board
City of Albuquerque

Re: Vacation of a joint access easement within Lot 4, Richfield Park Subdivision as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County on March 10, 1988, Book C36, Page 12

Dear Development Review Board:

DT Land Development LLC is the owner of Lot 3, Richfield Park Subdivision., as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County on March 10, 1988, Book C36, Page 12, and is also a beneficiary of a joint access easement (limited access Lots 1-5) granted by said plat.

DT Land Development LLC hereby authorizes Forstbauer Surveying LLC as agent for John and Cynthia Mechenbier (owners of Lots 4 and 5, Richfield Park Subdivision) to submit Development Review Board application for vacation of said joint access easement on said Lot 4 with the understanding that the replat which vacates said private access easement and consolidates Lots 4 and 5 into one lot, will also grant a cross access easement for the benefit of Lots 1, 2 and 3, Maintenance of said cross access easement will be the responsibility of the owner of Lots 4 and 5. Upon approval of said vacation by the Development Review Board, DT Land Development LLC is willing to sign the replat of said Lots 4 and 5, authorizing the vacation of said existing access easement within Lot 4 and approving the granting of said cross access easement for the benefit of Lots 1, 2 and 3.

Sincerely,

DT Land Development LLC

By: 

Title MANG. PARTNER

~~Timothy L. Weaks, Cynthia J. Weaks,~~
O.D. Weaks, Joan M. Weaks
4501 Alameda NE
Albuquerque, NM 87113

August 20, 2008

Development Review Board
City of Albuquerque

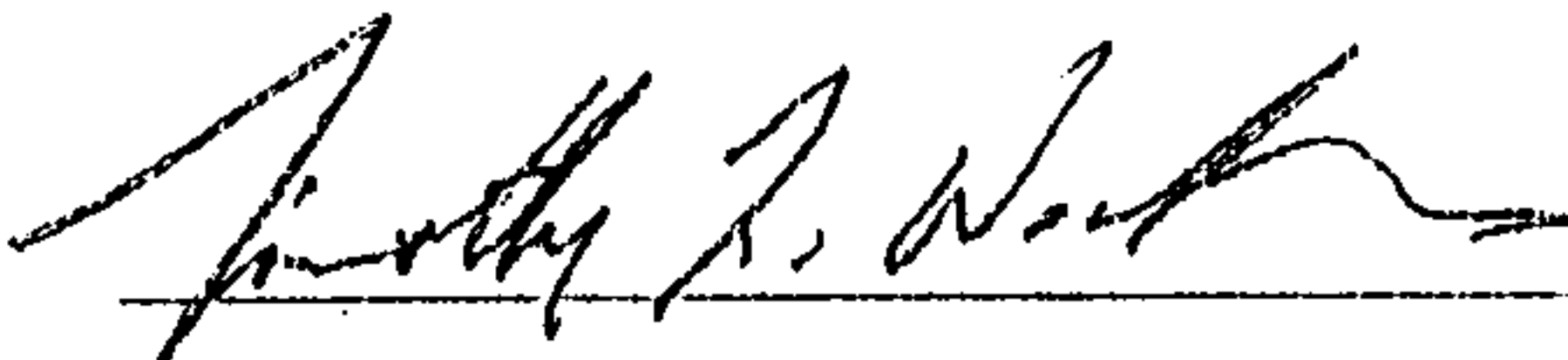
Re: Vacation of a joint access easement within Lot 4, Richfield Park Subdivision as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County on March 10, 1988, Book C36, Page 12

Dear Development Review Board:

We are the owners of Lot 2, Richfield Park Subdivision, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County on March 10, 1988, Book C36, Page 12, and are also a beneficiary of a joint access easement (limited access Lots 1-5) granted by said plat.

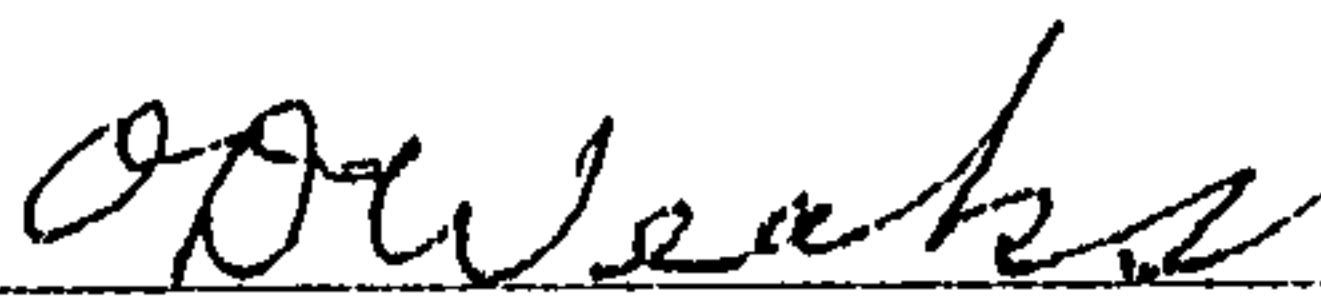
We hereby authorize Forstbauer Surveying LLC as agent for John and Cynthia Mechenbier (owners of Lots 4 and 5, Richfield Park Subdivision) to submit Development Review Board application for vacation of said joint access easement on said Lot 4 with the understanding that the replat which vacates said private access easement and consolidates Lots 4 and 5 into one lot, will also grant a cross access easement for the benefit of Lots 1, 2 and 3. Maintenance of said cross access easement will be the responsibility of the owner of Lots 4 and 5. Upon approval of said vacation by the Development Review Board, we are willing to sign the replat of said Lots 4 and 5, authorizing the vacation of said existing access easement within Lot 4 and approving the granting of said cross access easement for the benefit of Lots 1, 2 and 3.

Sincerely,

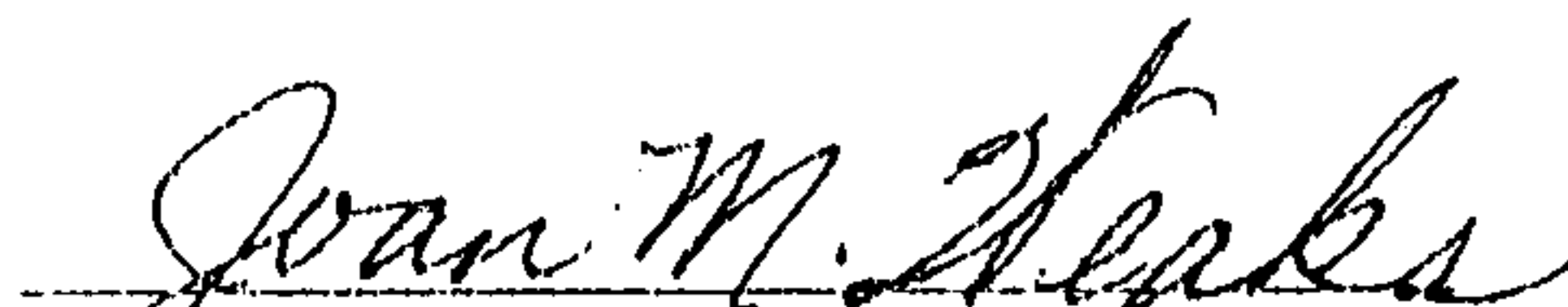


Timothy L. Weaks

~~Cynthia J. Weaks~~



O.D. Weaks



Joan M. Weaks

D & T Weaks LLC
4501 Alameda NE
Albuquerque, NM 87113

August 20, 2008

Development Review Board
City of Albuquerque

Re: Vacation of a joint access easement within Lot 4, Richfield Park Subdivision as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County on March 10, 1988, Book C36, Page 12


Dear Development Review Board:

D & T Weaks LLC is the owner of Lot 1, Richfield Park Subdivision, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County on March 10, 1988, Book C36, Page 12, and is also a beneficiary of a joint access easement (limited access Lots 1-5) granted by said plat.

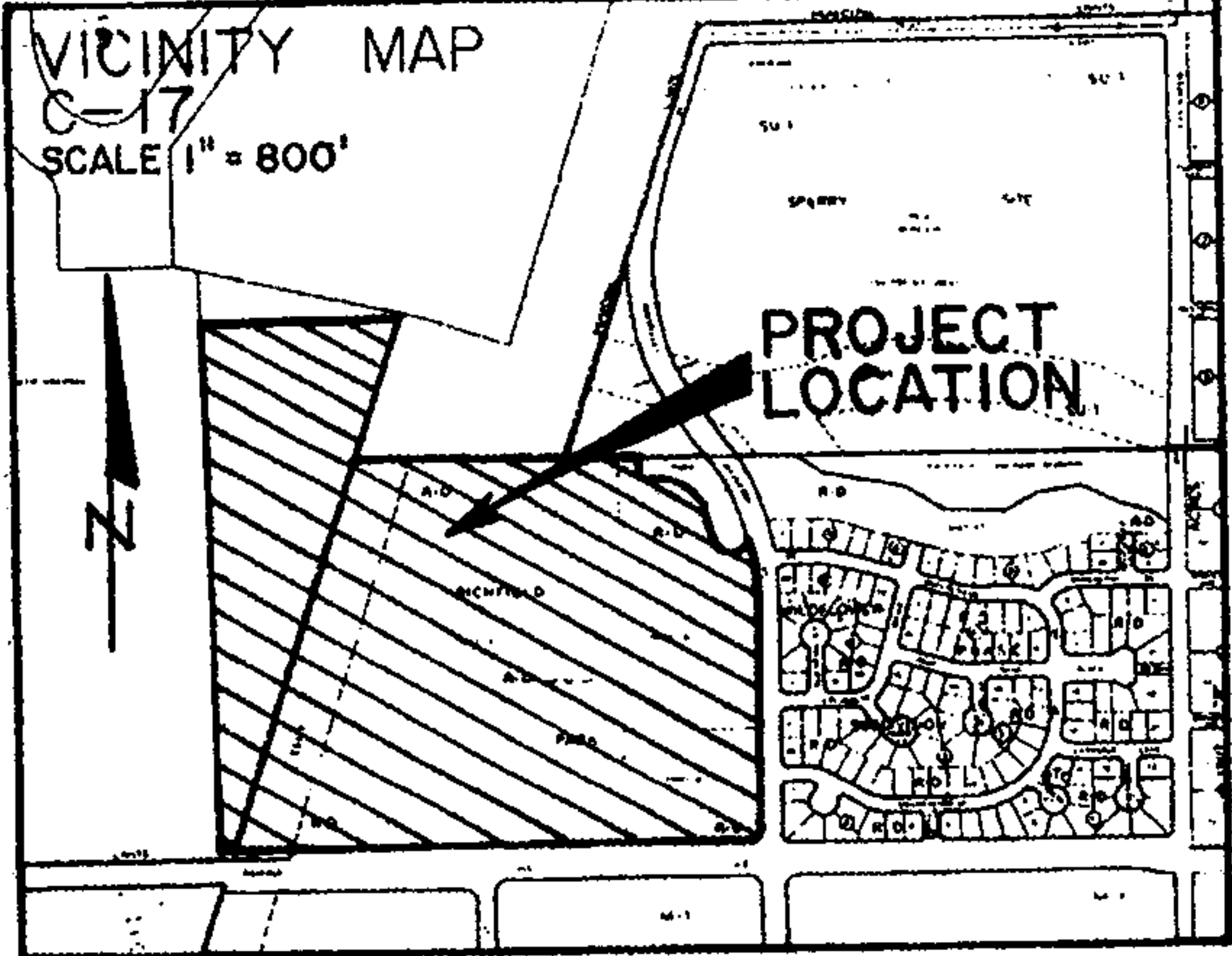
D & T Weaks LLC hereby authorizes Forstbauer Surveying LLC as agent for John and Cynthia Mechenbier (owners of Lots 4 and 5, Richfield Park Subdivision) to submit Development Review Board application for vacation of said joint access easement on said Lot 4 with the understanding that the replat which vacates said private access easement and consolidates Lots 4 and 5 into one lot, will also grant a cross access easement for the benefit of Lots 1, 2 and 3, Maintenance of said cross access easement will be the responsibility of the owner of Lots 4 and 5. Upon approval of said vacation by the Development Review Board, D & T Weaks LLC is willing to sign the replat of said Lots 4 and 5, authorizing the vacation of said existing access easement within Lot 4 and approving the granting of said cross access easement for the benefit of Lots 1, 2 and 3.

Sincerely,

D & T Weaks LLC

By: 
Title: Managing Partner

C36-12(1)



DESCRIPTION

A tract of land situate within projected Sections 11 and 14, Township 11 North, Range 3 East, New Mexico Principal Meridian within the Elena Gallegos Grant, Bernalillo County, New Mexico being TRACTS B and C, RICHFIELD PARK, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 22, 1982 (C20-125(1,2)), together with TRACT A-1, RICHFIELD PARK as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on August 29, 1985 (C28-40), and being more particularly described as follows:

BEGINNING at the southwest corner, a point on the north right-of-way line of Alameda Boulevard NE and further being on an east boundary line of TRACT A, SISTERS OF THE ORDER OF ST. DOMINIC as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on June 26, 1985 (C27-141(1-5)) from whence ACS monument "8-C17" bears N 28° 19' 30" W, 2321.44 feet;

THENCE N 00° 15' 04" E, 2065.09 feet to a point;

THENCE S 89° 45' 07" E, 867.28 feet to a point;

THENCE S 18° 16' 52" W, 600.88 feet to a point;

THENCE S 89° 44' 47" E, 1077.23 feet to a point, said point being common with the northwest corner of PARK SITE, WILD FLOWER SUBDIVISION as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on May 30, 1985 (C27-71);

THENCE along the boundary line of PARK SITE, WILDFLOWER SUBDIVISION, S 00° 15' 13" W, 115.00 feet to a point;

THENCE continuing S 89° 44' 46" E, 105.33 feet to a point of curvature;

THENCE continuing 124.20 feet along a curve to the right, whose radius is 112.50 feet through a central angle of 63° 15' 12" to a point of compound curvature;

THENCE continuing 206.46 feet along a curve to the right, whose radius is 837.00 feet through a central angle of 14° 07' 58" to a point of reverse curvature;

THENCE continuing 33.71 feet along a curve to the left, whose radius is 25.00 feet through a central angle of 77° 15' 59" to a point of tangency;

THENCE continuing S 89° 37' 35" E, 71.63 feet to a point of curvature;

THENCE continuing 44.40 feet along a curve to the left, whose radius is 25.00 feet and whose long chord bears N 39° 29' 32" E, 38.79 feet through a central angle of 101° 45' 47" to a point, said point being on the west right-of-way line of Jefferson Street NE;

THENCE along said right-of-way line 196.48 feet along a curve to the right, whose radius is 957.00 feet and whose long chord bears S 05° 30' 28" E, 196.13 feet through a central angle of 11° 45' 47" to a point of tangency;

THENCE continuing along said right-of-way line S 00° 22' 25" W, 917.78 feet to a point of curvature;

THENCE leaving said right-of-way line 39.27 feet along a curve to the right, whose radius is 25.00 feet through a central angle of 90° 00' 00" to a point of tangency, said point being on the north right-of-way line of Alameda Boulevard NE;

THENCE along said right-of-way line N 89° 37' 35" W, 2146.83 feet to the point of beginning and containing 82.5254 acres more or less.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner and/or proprietor thereof and said owner and/or proprietors do hereby dedicate all public streets shown hereon to the City of Albuquerque in fee simple and do hereby grant Electrical Power and Communication easements reserved for overhead distribution lines for pole type utilities and buried distribution lines, conduits, pipes and other necessary equipment for underground utilities where shown or indicated, and including the right of ingress of egress for construction and maintenance, and the right to trim interfering trees and shrubs. The undersigned owners and/or proprietors do hereby grant public waterline easements for installation, service and maintenance of waterlines, valves, pumps, hydrants and/or other related equipment and facilities reasonably necessary to provide fire protection and potable water to the residents of the subdivision shown hereon in accordance with the plans and procedures of the City of Albuquerque, and said owners and/or proprietors do hereby grant public drainage, public sanitary sewer, sidewalk, pedestrian easements and private drainage easements as shown hereon. The undersigned owners and/or proprietors do hereby consent to the vacation of interior lot lines of TRACTS B and C, TRACT A-1 RICHFIELD PARK, and easements as shown hereon.

CLIFFORD PARTNERSHIP

Jack J. Clifford 7-15-86
 Jack J. Clifford, general partner Date

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

On this 15th day of July, 1986, the foregoing instrument was acknowledged before me. My commission expires 3-14-90.

Marjorie Townsend
 Notary Public

SOUTHWEST NATIONAL BANK

Jack J. Clifford 7-15-86
 Jack J. Clifford, Chairman of the Board Date

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

On this 15th day of July, 1986, the foregoing instrument was acknowledged before me. My commission expires 3-14-90.

Marjorie Townsend
 Notary Public

Frank L. Hines 7/16/86
 Frank L. Hines, Co-Owner TRACT B-1 Date

Dolores H. Hines 7-16-86
 Dolores H. Hines, Co-Owner TRACT B-1 Date

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

On this 14th day of July, 1986, the foregoing instrument was acknowledged before me. My commission expires 7-9-89.

Lawrence A. Hansen
 Notary Public

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements and restrictions as shown on the plat of record and noted in title reports prepared by Lawyers Title Insurance Corporation on June 19, 1984, Policy No. 85-00-156829 and on September 30, 1981, Policy No. 85-81-62258, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 07-14-86
 Timothy Aldrich, N.P.L.S. No. 7719 Date

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

On this 14th day of July, 1986, the SURVEYOR'S CERTIFICATION was acknowledged before me.

Karen R. Lisker
 Notary Public

8820728
PLAT FOR
RICHFIELD PARK SUBDIVISION
ALBUQUERQUE, NEW MEXICO
 JUNE, 1986

State of New Mexico)
 County of Bernalillo)
 This instrument was filed for record on

MAR 10 1988
 Recorded in Vol. C36
 of records of said County Folio 12

APPROVED AND ACCEPTED:

Subdivision Case No. ~~00-42~~, S-87-54, (DRB-87-644)

- Jack Clifford* 7-9-88
 Planning Director, City of Albuquerque, New Mexico Date
- Frank J. Aguirre* 3-8-88
 City Engineer, City of Albuquerque, New Mexico Date
- Frank J. Aguirre* 3-8-88
 Albuquerque Metropolitan Agency Flood Control Authority Date
- Robert H. Tompkins* 8-5-86
 Traffic Engineer, City of Albuquerque, New Mexico Date
- Jon E. Estroff* 3-8-88
 Water Utilities Department, City of Albuquerque, New Mexico Date
- Stephen H. Stone* 8-5-86
 Parks & Recreation Department, City of Albuquerque, New Mexico Date
- Robert White* 07/18/86
 Chief City Surveyor, City of Albuquerque, New Mexico Date
- O. Val Valleria* 7-21-86
 Property Management, City of Albuquerque, New Mexico Date
- M. L. Cohen* 7-16-86
 Gas Company of New Mexico Date
- Wayne H. Stumpp* 10-20-87
 Mountain Bell Telephone Date
- John Myer* 7-16-86
 Public Service Company of New Mexico Date

SUBDIVISION DATA

1. DRB Case No. 86-154
2. Zone Atlas Index No. C-17
3. Total Number Lots Created: 42
4. Total Number Tracts Created: 3
5. Gross Subdivision Acreage: 82.5254 acres
6. Date of Survey: May 20, 1985
7. Total Mileage of Full Width Public Streets Created: 0.7788 miles
8. Total Public Street Right-of-Way Dedicated By This Plat: 5.8172 acres

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Unless otherwise indicated, all points marked with an open circle are set 5/8" rebar with cap "EH&A L.S. 7719".
5. Centerline (in lieu of R/W monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719", indicated thus ▲.
6. Right turn ingress and egress to Tract D-1, Lots 1 through 5 and 26 from the westbound lane of Alameda Boulevard will be permitted. Left turn ingress and egress to Tract D-1, Lots 1 through 5 and 26 to Alameda Boulevard will only be permitted within the median openings marked with an asterisk.
7. Left turn ingress and egress to Tract C-1 will not be permitted at the first median opening north and the first median opening west of the Alameda Boulevard/Jefferson Street intersection.
8. Clifford Partnership, the owner of Tract D-1, and the City of Albuquerque, agree that a well site will be reserved on Tract D-1. The size, location and method of the City's acquisition of the well site is to be determined prior to further subdivision of Tract D-1.

PURPOSE OF PLAT

1. Vacate interior lot lines of Richfield Park Tract B and C and subdivide Richfield Park Tract A-1, and vacate easements as noted.
2. Create Lots 1 through 42 and TRACTS B-1, C-1, and D-1.
3. Dedicate public streets as shown hereon.
4. Grant public drainage, public sanitary sewer, power and communication easements, as shown hereon.

Job No. 7795
 Office TA, OJ
 Draft VVH, GR
 R.B.
 Date 7-14-86

ESPEY, HUSTON & ASSOC., INC.
 Engineering & Environmental Consultants
 4001 PERRY SCHOOL ROAD, N.E., SUITE 204
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 236-1123

C36-12(1)

C36-12(1)

636-12(2)

UTILITY COUNCIL LOCATION SYSTEM LOG No. SP-07-14-1177

8820728

PLAT FOR RICHFIELD PARK SUBDIVISION ALBUQUERQUE, NEW MEXICO JUNE, 1986

SHEET 3

SHEET 4

State of New Mexico County of Bernalillo This instrument was filed for record on

MAR 10 1986 All of which is Recorded in Vol. C36 of records of said County folio 12

ADDITIONAL COURSES

Table with columns REF. NO., BEARING, DISTANCE. Contains 13 rows of survey data.

CURVE DATA

Table with columns CURVE NO., DELTA, RADIUS, LENGTH, CHORD, TAN, CH-BEARING. Contains 64 rows of curve data.

ADDITIONAL COURSES

Table with columns REF. NO., BEARING, DISTANCE. Contains 23 rows of survey data.

CURVE DATA

Table with columns CURVE NO., DELTA, RADIUS, LENGTH, CHORD, TAN, CH-BEARING. Contains 50 rows of curve data.

SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements and restrictions as shown on the plat of record and noted in title reports prepared by Lawyers Title Insurance Corporation on June 19, 1984, Policy No. 85-00-156829 and on September 30, 1981, Policy No. 85-81-62258, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Aldrich, P.L.S. No. 7719 Date 07-14-86

STATE OF NEW MEXICO) SS COUNTY OF BERNALILLO)

On this 14th day of July, 1986, the SURVEYOR'S CERTIFICATION was acknowledged before me.

Notary Public

SHEET 5

ADDITIONAL COURSES

Table with columns REF. NO., BEARING, DISTANCE. Contains 3 rows of survey data.

CURVE DATA

Table with columns CURVE NO., DELTA, RADIUS, LENGTH, CHORD, TAN, CH-BEARING. Contains 4 rows of curve data.

SHEET 2 OF 5

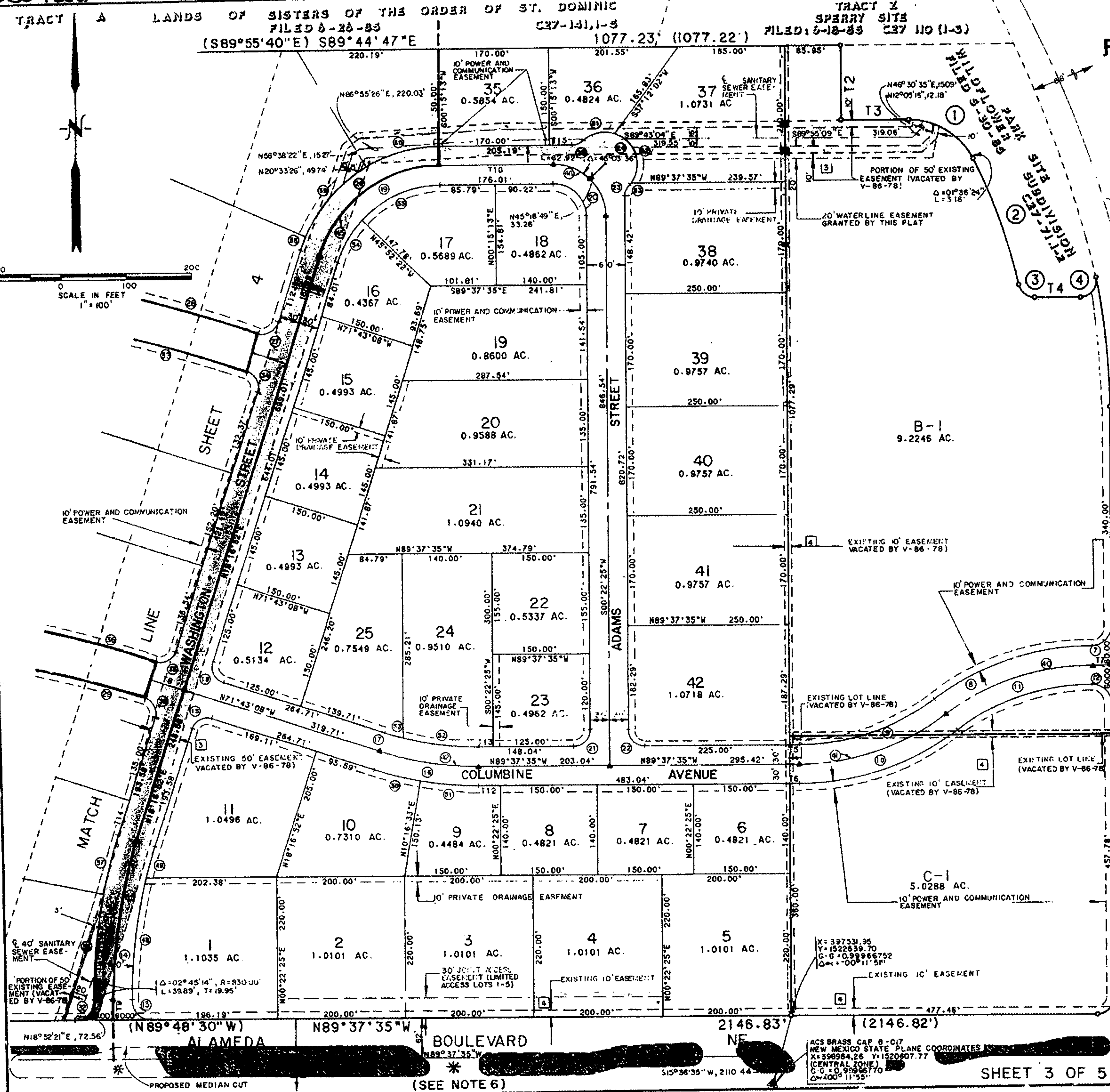
JOB No. 7795 Office TA, DU Drawn VVM, CR E.B. Date 7-14-86

ESPEY, HUSTON & ASSOC., INC. Engineering & Environmental Consultants 4801 NOAN SCHOOL ROAD N.E. SUITE 204 ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 238-1423

C36-12(2)

C36-12(2)

PLAT FOR RICHFIELD PARK SUBDIVISION ALBUQUERQUE, NEW MEXICO JUNE, 1986



State of New Mexico
County of Bernalillo
This information was filed for record on
MAY 10 1986
All other matters are referred to the
minutes of the Surveyors Association
C36-12

SURVEYOR'S CERTIFICATION
I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements and restrictions as shown on the plat of record and noted in title reports prepared by Lawyers Title Insurance Corporation on June 19, 1984, Policy No. 85-00-156829 and on September 30, 1981, Policy No. 85-81-62258, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief.
Timothy Aldrich 07-14-86
Timothy Aldrich, N.M.P.L.S. No. 7719 Date

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
On this 14th day of July, 1986, the SURVEYOR'S CERTIFICATION was acknowledged before me.
Karen L. Nelson
Notary Public

- EASEMENTS**
- 1 EXISTING 25' PRIVATE ROAD ACCESS EASEMENT (MISC. BOOK 126A, PAGES 423-427)
 - 2 EXISTING 200' PUBLIC SERVICE CO. OF NEW MEXICO EASEMENT (DEED BOOK 390, PAGE 99)
 - 3 EXISTING 50' SANITARY SEWER EASEMENT (RICHFIELD PARK TRACT A-1 - BOOK C28, FOLIO 40)
 - 4 EXISTING 10' PUBLIC UTILITY EASEMENT (RICHFIELD PARK TRACT A-1 - BOOK C28, FOLIO 40)
 - 5 EXISTING 100' AMAFCA EASEMENT (MISC. BOOK 89, PAGES 188-197)

Job No. 7795
Office TA, DJ
Draft VVH, CR
R.B.
Date 7-14-86

eh ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 ADAM SCHOOL ROAD N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 238-1825

ACS BRASS CAP 8-C-17
NEW MEXICO STATE PLANE COORDINATES
X=396984.26 Y=1520807.77
(CENTRAL ZONE)
G.C. = 0.999966770
A=4000 11.55"

SHEET 3 OF 5

C36-12(4)

C36-12(4)

UTILITY COUNCIL LOCATION SYSTEM LOG No. SP-07-14-1177 TRACT A LANDS OF SISTERS OF THE ORDER OF ST. DOMINIC

8820728

SISTERS OF ST. DOMINIC OF NAZARETH OF NEW MEXICO REMAINDER

(S89°55'40"E) (1077.22')
(S89°44'47"E) 1077.23'

FILED 8-28-83 C37-141,1-5

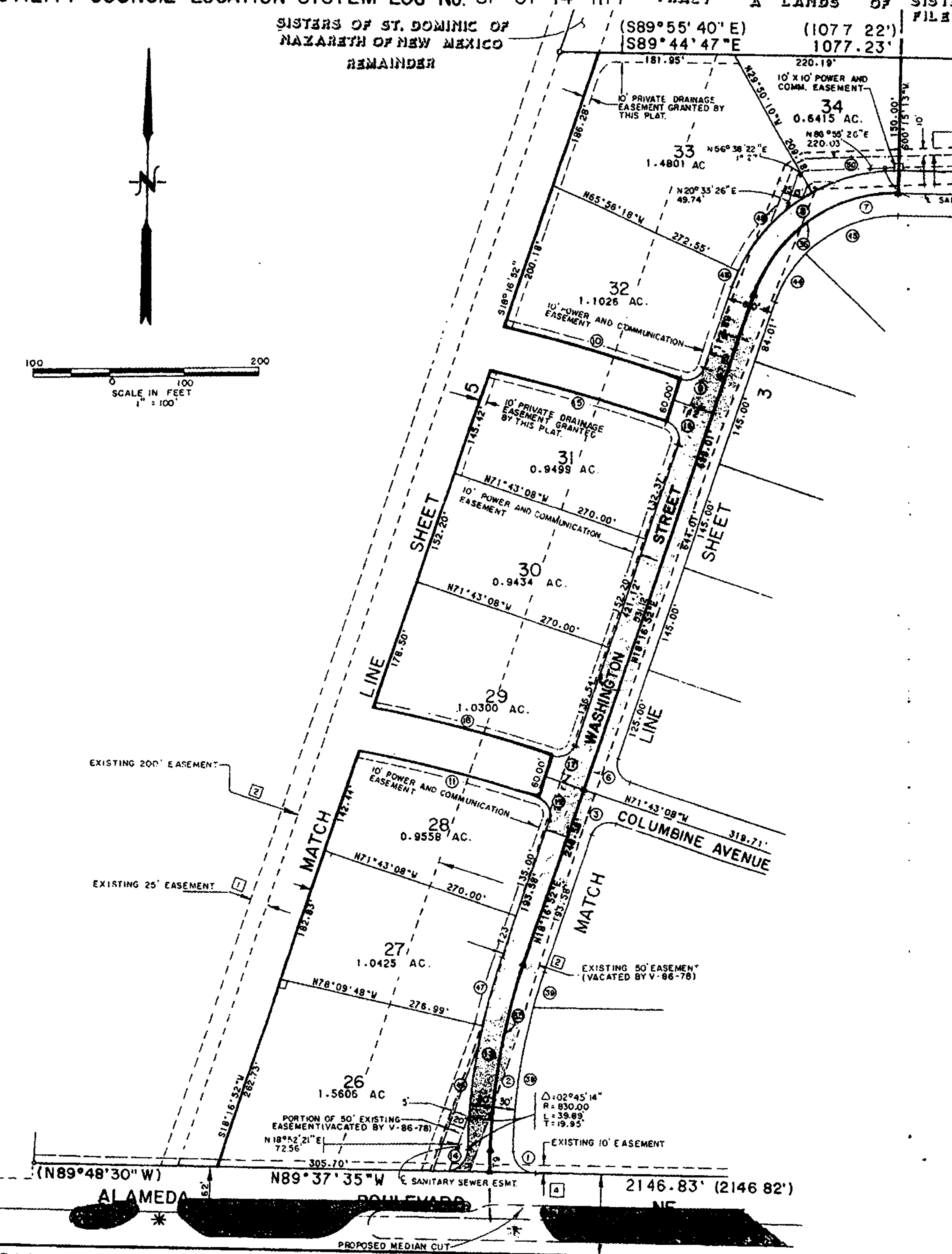
PLAT FOR RICHFIELD PARK SUBDIVISION ALBUQUERQUE, NEW MEXICO

JUNE, 1986



SCALE IN FEET
1" = 100'

State of New Mexico
County of Bernalillo
This instrument was filed for record on
MAR 10 1986
At 10 o'clock in the forenoon at
the records and County Clerk's
Office of Bernalillo County, New Mexico
Timothy Aldrich, Notary Public



EASEMENTS

- 1 EXISTING 25' PRIVATE ROAD ACCESS EASEMENT (MISC. BOOK 126A, PAGES 423-427)
- 2 EXISTING 200' PUBLIC SERVICE CO. OF NEW MEXICO EASEMENT (DEED BOOK 390, PAGE 99)
- 3 EXISTING 90' SANITARY SEWER EASEMENT (RICHFIELD PARK TRACT A-1 - BOOK C28, FOLIO 40)
- 4 EXISTING 10' PUBLIC UTILITY EASEMENT (RICHFIELD PARK TRACT A-1 - BOOK C28, FOLIO 40)
- 5 EXISTING 100' AMAFCA EASEMENT (MISC. BOOK 89, PAGES 188-197)

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements and restrictions as shown on the plat of record and noted in title reports prepared by Lawyers Title Insurance Corporation on June 19, 1984, Policy No. 85-00-156829 and on September 30, 1981, Policy No. 85-81-62258, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich
Timothy Aldrich, N.M. P.L.S. No. 7719
Date 07-14-86

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)
On this 14th day of July, 1986, the SURVEYOR'S CERTIFICATION was acknowledged before me.
Karen B. Gilman
Notary Public

Job No 7795
Office TA, DU
Draft VVH, CR
E.B.
Date 7-14-86

eh ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 NMAN SCHOOL ROAD N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 236-1425

C36-12(4)

C36-12(5)

UTILITY COUNCIL LOCATION SYSTEM LOG NO. SP-07-14-1177

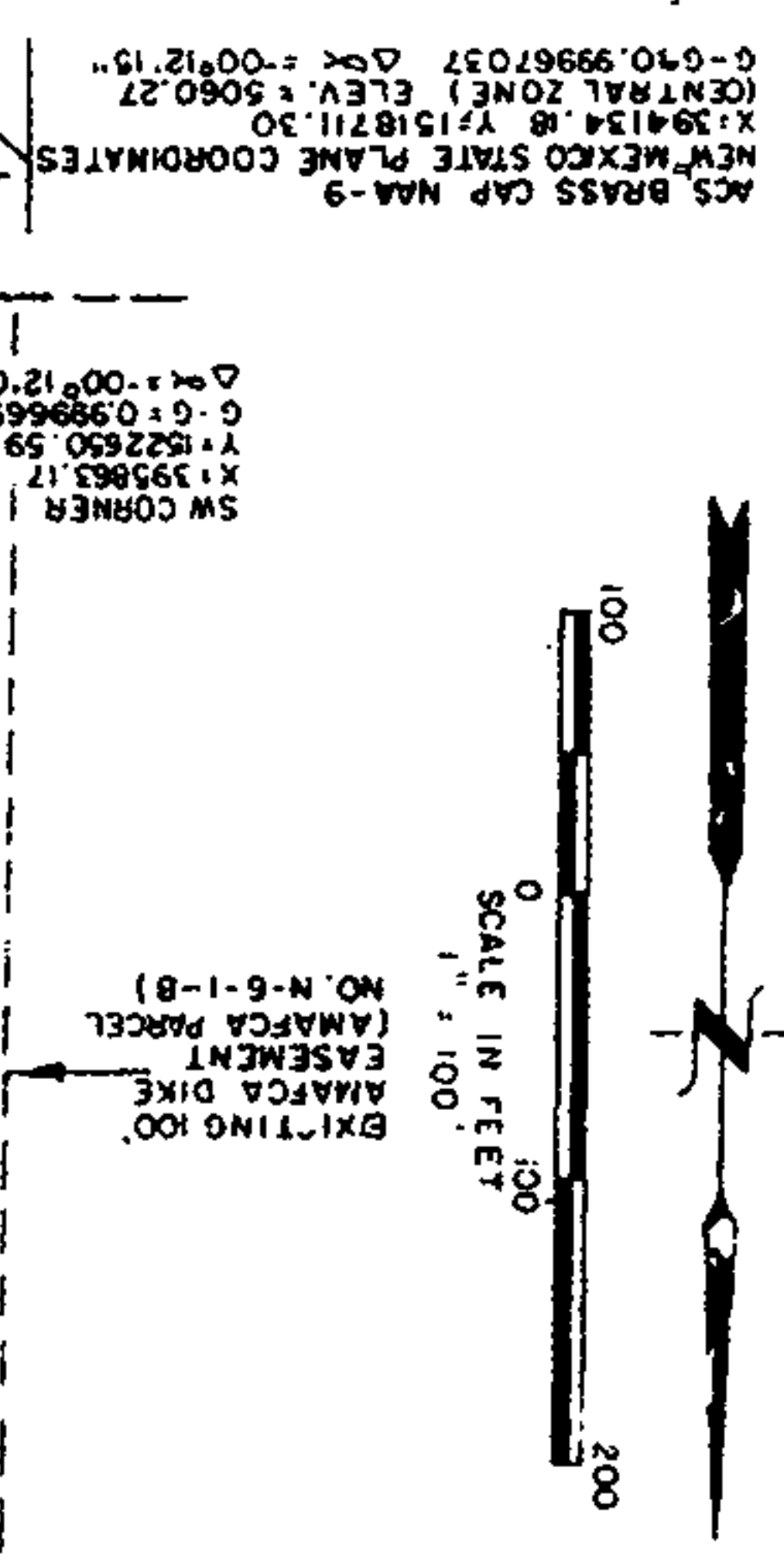
8920728

C36-12(5)

PLAT FOR RICHFIELD PARK SUBDIVISION ALBUQUERQUE, NEW MEXICO

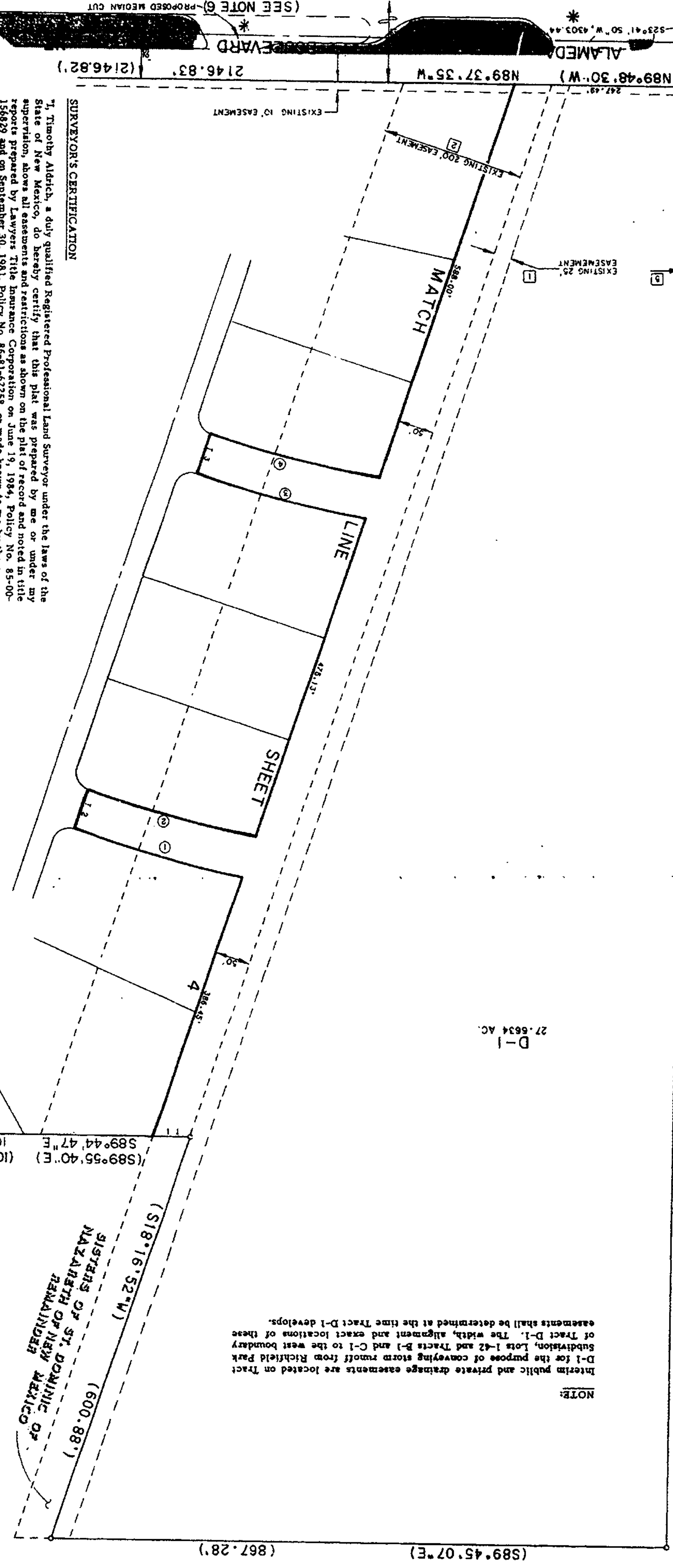
JUNE, 1986

TRACT A
LANDS OF THE ORDER OF ST. DOMINIC
FILED 9-28-85



Sum of 11 sections = 11
City of Bernalillo
This plat complies with the provisions of
Article 17, Section 1, of the Constitution
of the State of New Mexico
FILED 6-18-86
C36
12

(N00°15'04"E) (2065.09')



NOTE:
Interim public and private drainage easements are located on Tract D-1 for the purpose of conveying storm runoff from Richfield Park Subdivision, Lots 1-42 and Tracts B-1 and C-1 to the west boundary of Tract D-1. The width, alignment and exact locations of these easements shall be determined at the time Tract D-1 develops.

SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements and restrictions as shown on the plat of record and noted in title reports prepared by Lawyers Title Insurance Corporation on June 19, 1984, Policy No. 85-00-156829 and on September 30, 1981, Policy No. 85-91-62258, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Aldrich, N.M. L.S. No. 7719
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 Date 02-18-86

On this 18th day of July, 1986, the SURVEYOR'S CERTIFICATION was acknowledged before me.
 Notary Public

- ### EASEMENTS
- 1 EXISTING 25' PRIVATE ROAD ACCESS EASEMENT (MISC. BOOK 128A, PAGES 423-427)
 - 2 EXISTING 200' PUBLIC SERVICE CO. OF NEW MEXICO EASEMENT (TOLIED BOOK 390, PAGE 99)
 - 3 EXISTING 50' SANITARY SEWER EASEMENT (RICHFIELD PARK TRACT A-1 BOOK 628, FOLIO 40)
 - 4 EXISTING 10' PUBLIC UTILITY EASEMENT (RICHFIELD PARK TRACT A-1 - BOOK 628, FOLIO 40)
 - 5 EXISTING 100' AMAFCA EASEMENT (MISC. BOOK 89, PAGES 188-197)

SHEET 5 OF 5

Job No. 7795
 Office TA, DJ
 Draft VWH, CR
 Date 7-18-86

ESPEY HASTON & ASSOC., INC.
 Engineering & Surveying
 400 North Second Street, Suite 204
 Albuquerque, New Mexico 87102
 Phone (505) 224-4222

C36-12(5)

C36-12(5)



Gomez, Angela J.

From: Laura Kuenn [lkuenn@mechenbier.com]
Sent: Tuesday, October 16, 2007 2:02 PM
To: Gomez, Angela J.
Subject: FW: Project #1006856, Lots 4&5 Richfield Park

Hi Angela, we would like to have an indefinite deferral for the above project. If you would please call me and let me know what the total fee is that we need to pay in order to arrange this. We're a bit unclear as to how the fee schedule works. My boss John Mechenbier has informed me that he hasn't paid any deferral fees to date.

Thanks.

Laura Kuenn



Mechenbier Construction Inc.
 8500 Washington St. NE, Ste A-6
 Albuquerque NM 87113
 Ph: 505-314-7700
 Fax.: 505-314-7799
 lkuenn@mechenbier.com

From: Matson, Sheran A. [mailto:SMatson@cabq.gov]
Sent: Tuesday, October 16, 2007 11:35 AM
To: Laura Kuenn
Subject: RE: Project #1006856, Lots 4&5 Richfield Park

If you would e-mail Angela Gomez at agomez@cabq.gov and tell her you wish an indefinite deferral. ~~John will need to pay 2 deferral fees unless he's already paid the first one.~~ The fees are \$50 for each deferral payable before he is on the DRB agenda again.

From: Laura Kuenn [mailto:lkuenn@mechenbier.com]
Sent: Tuesday, October 16, 2007 11:14 AM
To: Matson, Sheran A.
Subject: Project #1006856, Lots 4&5 Richfield Park

Hi Sharan,

John Mechenbier asked that I get in touch with you regarding the deferral on the subject project. He would like to change to an indefinite deferral to allow time to complete the request for a variance. The project was originally deferred for two weeks until Oct. 24.

Please email back to me to let us know that the change to indefinite status has been approved.

Please call if you have any questions. Thanks.

Laura Kuenn

10/16/2007

2 Deferral

~~Fees must be
paid before 11/08
get back on ~~11/08~~~~



Mechenbier Construction Inc.

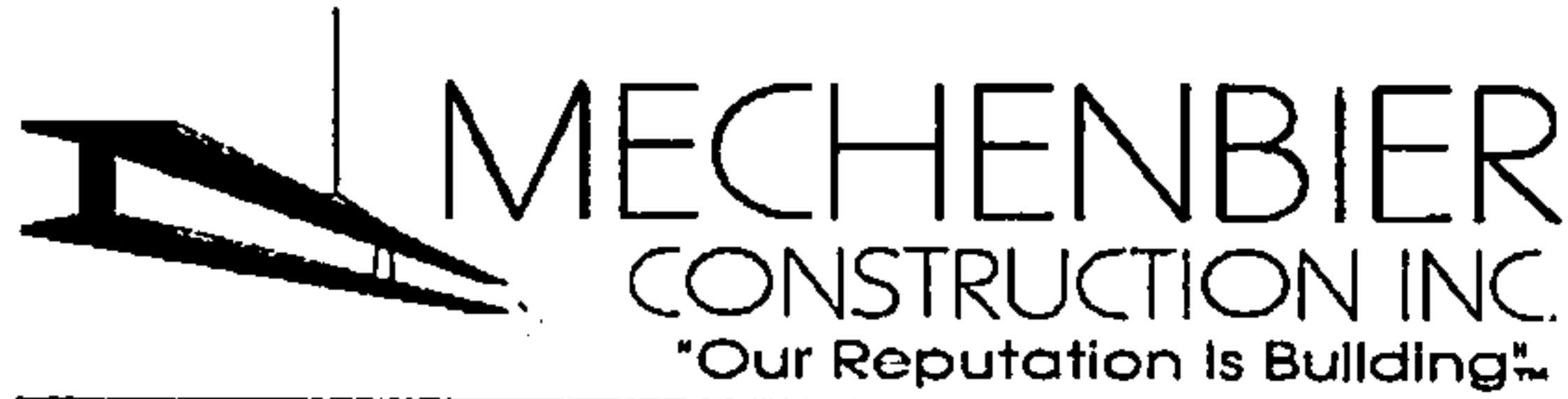
8500 Washington St. NE, Ste A-6

Albuquerque NM 87113

Ph: 505-314-7700

Fax.: 505-314-7799

lkuenn@mechenbier.com



Phone: (505) 314-7700
Fax: (505) 314-7799

FACSIMILE COVER PAGE

To: Sharan Matson	From: Mechenbier Construction Inc.
Fax #: 924-3864	Fax #: 505-314-7799
Company: Design Review Board, COA	Tel #: 505-314-7700
Subject: Project #1006856	
Sent: 10/9/2007 at 10:39:18 AM	Pages: 3 (including cover)

MESSAGE:

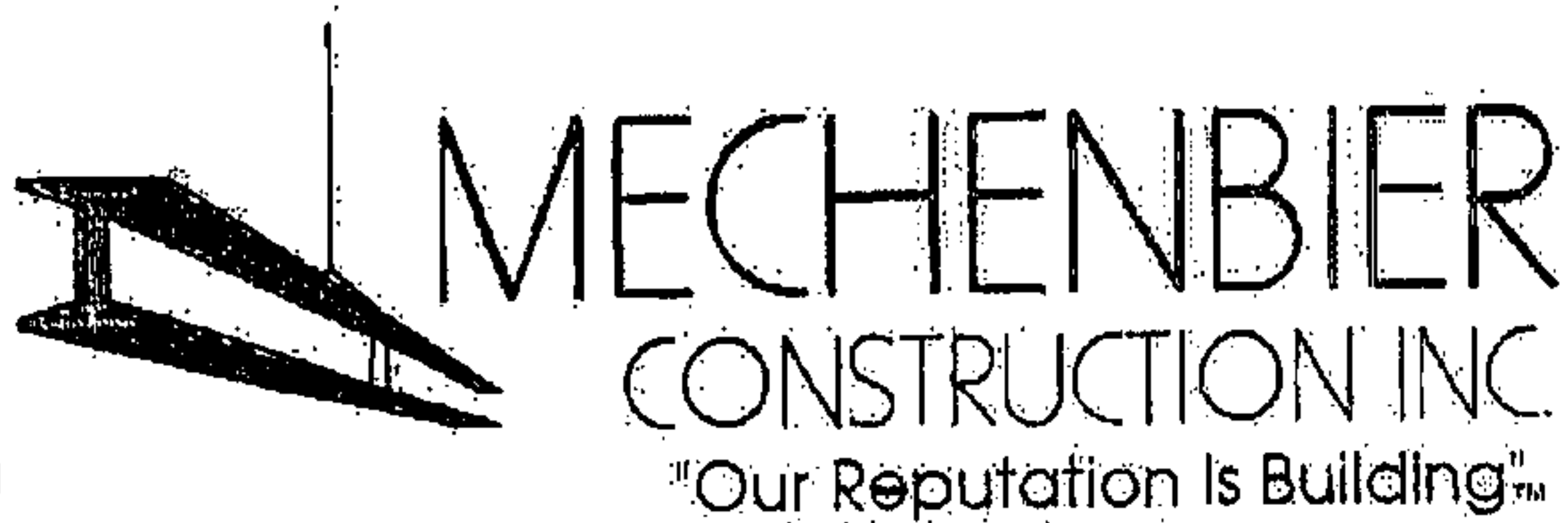
Hello Sharan,

John asked that we fax you a copy of his letter that was emailed to you yesterday.

John will have a paper copy of the revised sheets and mylars for the review meeting tomorrow. Please let us know if you need anything else.

Thanks.

Laura Kuenn
CAD Design



October 8, 2007

Ms. Sheran Matson A.I.C.P.
DRB Chair Person / City of Albuquerque
600 Second Street, NW
Plaza Del Sol
Albuquerque, NM 87102

RE: Project #1006856 Application: #07-70292

Dear Sheran:

Pursuant to your general comments sent via fax on Friday afternoon (10/15/07) applicable to the aforementioned case I make the following rebuttal and comments:

"General Comments"

- 1) The site plan will be relabeled "Site Plan for Building Permit".
- 2) The word "sign off" will be removed from the title of the signature block. We will reference "DRB" and omit any reference to "EPC".
- 3) The existing chain link and wood fences are not on our property and will not be removed.
- 4) We will indicate on our landscape plan that all gravel (i.e.: Santa Fe) will be a minimum depth of three (3") inches.
 - All plant sizes will be listed on this landscape plan.
 - In addition to the locust tree denoted in the landscape legend for street trees we will add a few Raywood ash trees.
- 5) The "Preliminary Elevation" sheet will be relabeled "Elevations".
- 6) No new easements are proposed or intended with our new development. All existing easements are shown and illustrated on the site plan.

"Alameda Design Overlay Zone Comments"

- 1) I do not agree with your comment or interpretation that the building setback is thirty (30') feet behind the thirty (30') feet landscape streetyard setback which would equate to a sixty (60') foot building setback.
 - On page 24 item 8, it states that the front building setback facing Alameda Blvd. shall be 30 feet (behind the landscape street yard). If there were no parentheses around the second part of the statement I would agree with you that the total cumulative setback would be sixty (60') feet. My interpretation of Item 8 is as follows. Since a sentence's structure is independent of the contents within parentheses, Item 8 states that the front building setback facing Alameda Blvd. shall be 30 feet without the phrase in parentheses. The parenthetical phrase "behind the landscape yard" amplifies and provides further clarification of the setback. In other words, I interpret the parenthetical qualifier as equating the 30 foot building setback with the 30 foot landscape yard width rather than adding an additional setback requirement.

8500 Washington St. NE • Suite A-6
Albuquerque, NM 87113

Office: 505-314-7700 • Fax: 505-314-7799

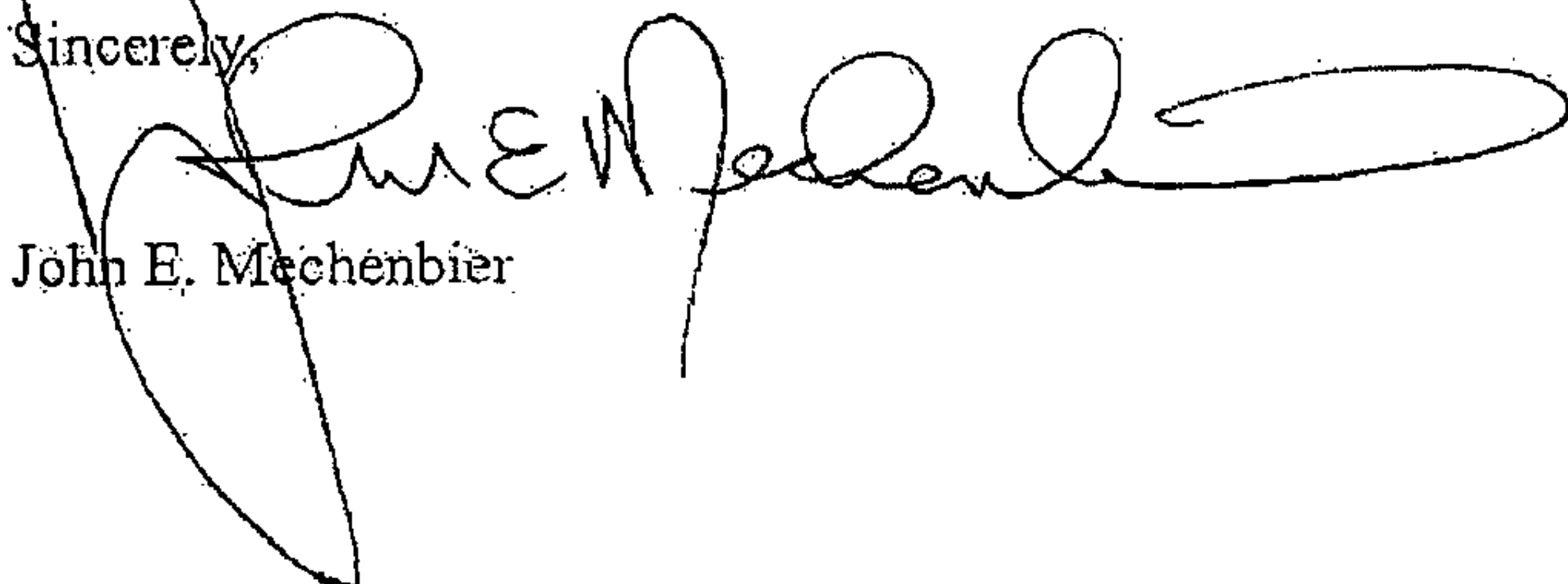
- On page 30 there is a diagram on the bottom of the page illustrating the building set back as being right behind the thirty (30') feet set back. This diagram also depicts the relationship (correlation) between the building height and the landscape streetyard setback from the property line (edge of R.O.W.) as being a 1 to 1 ratio. The diagram illustrates that a thirty (30') foot high building could be directly behind the landscape set back (which is also thirty behind the right of way (property line).
 - Finally, if the total required setback was the sum of the thirty (30') feet landscape street yard plus an additional thirty (30') feet behind that landscape street yard for total of sixty (60') feet behind the property line, the most recently constructed buildings of Otono Plaza, Dwight's Glass, and Balloon Fiesta Headquarters would all be in violation.
- 2) The proposed landscape street yard requirement of thirty (30') feet from the R.O.W. averages thirty (30') feet at our proposed development. The minimum is twenty-eight (28') feet at the middle and two side entries for a total length of eighty-four (84') linear feet. There are two mid point and one side indentions in the building that have a minimum setback of thirty-two (32') feet or greater for a total length of one hundred six (106') linear feet. Our total cumulative weighted average setback is over thirty (30') feet. The variation in front building elevation is intended to improve the architectural aesthetics and make the building a more attractive addition to the Alameda streetfront.
 - 3) In respect to comment #3 our property line is eighteen feet three inches (18'3") from the back of the curb. Our building is set back approximately thirty (30') feet from our property line. If my interpretation in comment #1 is not correct then our total set back from the back of the curb would be almost eighty (80') feet. Again I refer you to the illustration on page 30 of the "Alameda Design Overlay Zone" and the precedence of the most recent projects built in character zone #4.
 - 4) All sidewalks will be denoted as six (6') feet wide minimum in keyed note #6.
 - 5) In respect to comment #5, the off street parking on the east side is screened by an informal hedge of five (5) gallon Apache plum. The off street parking on the west side is screened another informal hedge of over thirty bushes and shrubs and desert accents including chamisa, turpentine bush, red yuccas and bear grass.
 - 6) Our pole length will be reduced in height to sixteen (16') feet to comply.

Thanks you for your time, consideration and review of this proposed development. We want to design aesthetically attractive buildings that meet the needs of the neighborhood and that are harmonious with the neighborhood and intent of all City planning requirements.

Please call or e-mail me with any questions or concerns. Phone: 314-7700. E-mail: jmechenbier@mechenbier.com.

Sincerely,

John E. Mechenbier



TRANSMISSION VERIFICATION REPORT

TIME : 10/09/2007 14:54
NAME :
FAX : 9243864
TEL : 5059243979
SER.# : BR0L6J570919

DATE, TIME	10/09 14:53
FAX NO./NAME	92429028
DURATION	00:00:58
PAGE(S)	03
RESULT	OK
MODE	STANDARD



DEVELOPMENT REVIEW BOARD
FAX FORM

TO: Bill Kraemer

FAX NUMBER: 924-9028 PAGES 3

SENT BY: Sheran Matson, DRB Chair DATE: _____

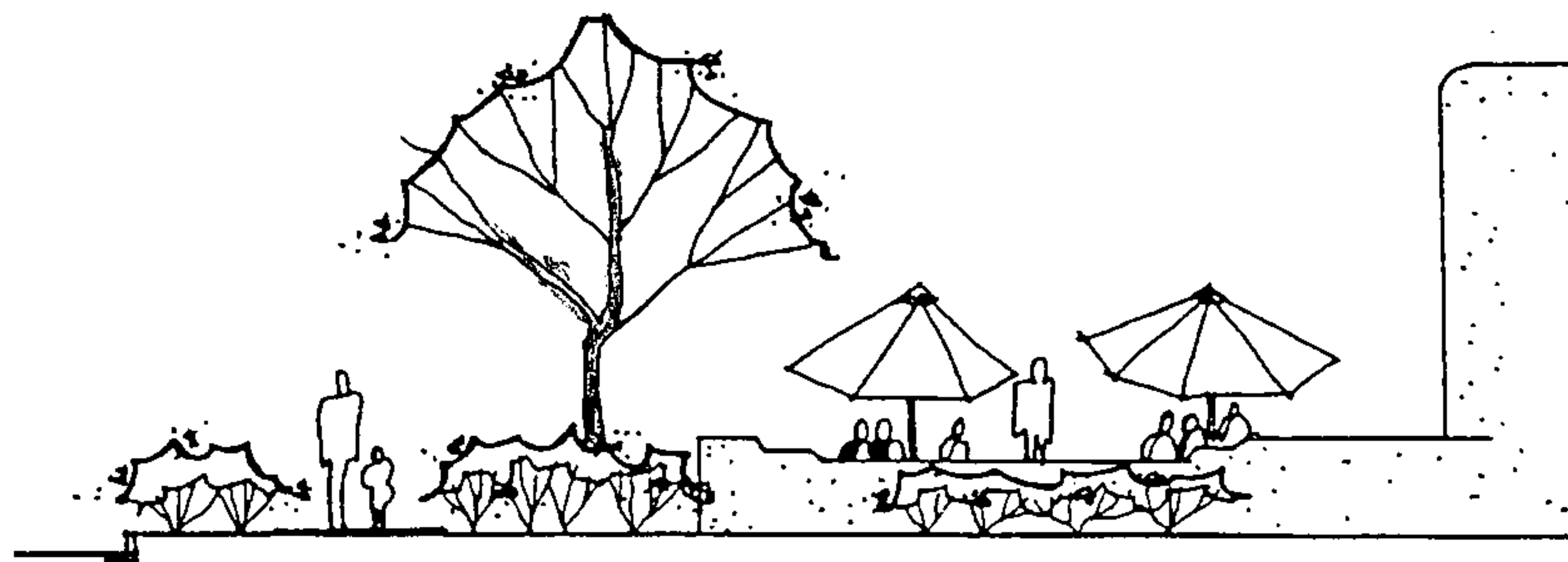
PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: _____ APPLICATION NO: _____

In Character Zone 4, what is the required front yard setback? 30 feet or 60 feet?
The same

Regulations

1. In Character Zones 1, 2, and 3 all facades shall be earth-toned stucco. Earth tones shall include a spectrum of browns, not white or off-white. Other colors will be allowed as accent colors. These shall not comprise more than 10 percent of the building surface.
2. In Character Zones 1, 2, and 3 glazed areas shall be limited to 30 percent of the building surfaces they occupy.
3. Generic franchise exterior design shall not be permitted. Building design and its related materials should be innovative and contextual. In Character Zones 1, 2, and 3 franchise architecture shall be altered to incorporate unique, historic and cultural elements.
4. In Character Zones 1, 2, and 3 all visible sloping roof surfaces shall be metal.
5. All illuminated, building mounted signage shall be channelized lettering. No exposed neon is allowed for signs or building accent lighting. Building mounted signage is limited to 10 percent of the building surface on which it is located.
6. Illuminated canopies are not allowed.
7. Outside storage and display of construction equipment and materials or trucks shall be located at least behind the required streetyard. All outside storage or display of construction equipment and materials must be enclosed on all sides by a minimum six-foot-high solid wall and may not exceed the height of the required wall. The design of the wall shall be consistent with the requirements listed in the section dealing with walls and fences.
8. In Character Zones 1, 2, 3, and 4 the front setback facing Alameda Boulevard shall be 30 feet (behind the landscaped streetyard). Sideyard setbacks shall be the same as underlying zones. In Character Zones 1, 2 and 3 the front setback requirements may be reduced per a site specific design that is exceptional in its rural design character. In no case may it be less than the underlying zone.



Outdoor Dining

6. In Character Zones 1, 2, and 3 the use 4x4" upright posts with hogwire fences planted 10' on-center with grapes/vines are permitted for residential and agricultural uses only.
7. Noise: Traffic and roadway noise is a nuisance to those who live and work near the corridor. Alameda Boulevard projects should be designed and constructed so that noise levels are controlled within acceptable standards.

Bernalillo County Zoning, Building and Planning Department shall review project submissions and analyze noise levels at the time of design. The department may recommend and/or coordinate noise mitigation measures that represent a reasonable balance between project expenditure and social, economical, and environmental values of the community. This can be addressed through means such as walls, fencing, landscaping or other buffering.

D. LANDSCAPING

Regulations

1. All yards facing Alameda Boulevard shall be referred to as landscaped streetyards. A thirty foot landscaped streetyard is required for all properties facing Alameda Boulevard. The streetyard is measured from the right-of-way line.
2. No vehicular circulation or parking areas other than entries may penetrate the required streetyard. Exceptions may be made for existing properties provided that there is no reasonable alternative.
3. The required patio space may be incorporated into the streetyard. The streetyard may also contain wide walkways in front of buildings, low walls, pedestrian scale lighting, bus benches and shelters, and outdoor seating for restaurants.
4. Unless designated as part of a public streetscape project, landscaping between the curb line and property line shall be the responsibility of the developer or property owner and shall contain live landscaping. Landscaping shall be maintained by the property owner.
5. On commercial and non-residential development sites the landscaped streetyards shall contain deciduous trees and any combination of plant materials listed in Appendix A of this booklet.
6. Development of mined areas shall include a plan for landscaping that addresses the edge of adjacent parcels, and views from roadway. Explanatory plaques that convey the importance of eastern Rio Grande bench quarries to the development of Albuquerque should be placed along the right-of-way.

Guideline: Highlight the Village Center with a more refined rural plaza (traditional plaza dimensions are 100' x 150') and low-water gardens. This will heighten the feeling that this is a special place. A 'churtyard' could be created by combining church land with adjacent Alameda Boulevard right-of-way on both sides of 4th Street.

October 8, 2007

Ms. Sheran Matson A.I.C.P.
DRB Chair Person / City of Albuquerque
600 Second Street, NW
Plaza Del Sol
Albuquerque, NM 87102

RE: Project #1006856 Application: #07-70292

Dear Sheran:

Pursuant to your general comments sent via fax on Friday afternoon (10/15/07) applicable to the aforementioned case I make the following rebuttal and comments:

“General Comments”

- 1) The site plan will be relabeled “Site Plan for Building Permit”.
- 2) The word “sign off” will be removed from the title of the signature block. We will reference “DRB” and omit any reference to “EPC”.
- 3) The existing chain link and wood fences are not on our property and will not be removed.
- 4) We will indicate on our landscape plan that all gravel (i.e.: Santa Fe) will be a minimum depth of three (3”) inches.
 - All plant sizes will be listed on this landscape plan.
 - In addition to the locust tree denoted in the landscape legend for street trees we will add a few Raywood ash trees.
- 5) The “Preliminary Elevation” sheet will be relabeled “Elevations”.
- 6) No new easements are proposed or intended with our new development. All existing easements are shown and illustrated on the site plan.

“Alameda Design Overlay Zone Comments”

- 1) I do not agree with your comment or interpretation that the building set back is thirty (30’) feet behind the thirty (30’) feet landscape streetyard step back which would equate to a sixty (60’) foot building setback.
 - On page 24 item 8; it states that the front building setback facing Alameda Blvd. shall be 30 feet (behind the landscape street yard). If there were no parentheses around the second part of the statement I would agree with you that the total cumulative set back would be sixty (60’) feet. My interpretation of Item 8 is as follows. Since a sentence’s structure is independent of the contents within parentheses, Item 8 states that the front building setback facing Alameda Blvd. shall be 30 feet without the phrase in parentheses. The parenthetical phrase “behind the landscape yard” amplifies and provides further clarification of the setback. In other words, I interpret the parenthetical qualifier as equating the 30 foot building setback with the 30 foot landscape yard width rather than adding an additional setback requirement.

- On page 30 there is a diagram on the bottom of the page illustrating the building set back as being right behind the thirty (30') feet set back. This diagram also depicts the relationship (correlation) between the building height and the landscape streetyard setback from the property line (edge of R.O.W.) as being a 1 to 1 ratio. The diagram illustrates that a thirty (30') foot high building could be directly behind the landscape set back (which is also thirty behind the right of way (property line)).
 - Finally, if the total required setback was the sum of the thirty (30') feet landscape street yard plus an additional thirty (30') feet behind that landscape street yard for total of sixty (60') feet behind the property line, the most recently constructed buildings of Otono Plaza, Dwight's Glass, and Balloon Fiesta Headquarters would all be in violation.
- 2) The proposed landscape street yard requirement of thirty (30') feet from the R.O.W. averages thirty (30') feet at our proposed development. The minimum is twenty-eight (28') feet at the middle and two side entries for a total length of eighty-four (84') linear feet. There are two mid point and one side indentions in the building that have a minimum setback of thirty-two (32') feet or greater for a total length of one hundred six (106') linear feet. Our total cumulative weighted average setback is over thirty (30') feet. The variation in front building elevation is intended to improve the architectural aesthetics and make the building a more attractive addition to the Alameda streetfront.
 - 3) In respect to comment #3 our property line is eighteen feet three inches (18'3") from the back of the curb. Our building is set back approximately thirty (30') feet from our property line. If my interpretation in comment #1 is not correct then our total set back from the back of the curb would be almost eighty (80') feet. Again I refer you to the illustration on page 30 of the "Alameda Design Overlay Zone" and the precedence of the most recent projects built in character zone #4.
 - 4) All sidewalks will be denoted as six (6') feet wide minimum in keyed note #6.
 - 5) In respect to comment #5, the off street parking on the east side is screened by an informal hedge of five (5) gallon Apache plume. The off street parking on the west side is screened another informal hedge of over thirty bushes and shrubs and desert accents including chamisa, turpentine bush, red yuccas and bear grass.
 - 6) Our pole length will be reduced in height to sixteen (16') feet to comply.

Thanks you for your time, consideration and review of this proposed development. We want to design aesthetically attractive buildings that meet the needs of the neighborhood and that are harmonious with the neighborhood and intent of all City planning requirements.

Please call or e-mail me with any questions or concerns. Phone: 314-7700. E-mail: jmechenbier@mechenbier.com.

Sincerely,

John E. Mechenbier

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

10/02/2007 Issued By: PLNABG

Permit Number: 2007 070 292 **Category Code 910**

Application Number: 07DRB-70292, Minor - Sdp For Building Permit

Address:

Location Description: ALAMEDAA BLVD NE BETWEEN JEFFERSON NE AND WASHINGTON NE

Project Number: 1008856

Applicant

Mechenbier Construction Inc.

8500 Washington St Ne
Albuquerque, NM 87113
314-7700

jmechenbier@mechenbier.com

Agent / Contact

Mechenbier Construction Inc.

8500 Washington St Ne
Albuquerque, NM 87113
314-7700

jmechenbier@mechenbier.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$405.00

City Of Albuquerque
Treasury Division

10/2/2007 11:16AM LOC: ANNX
WS# 006 TRANS# 0009
RECEIPT# 00082807-00082807
PERMIT# 2007070292 TRSCCS
Trans Amt \$405.00
Conflict Manag. Fee \$20.00
DRB Actions \$385.00
CK \$405.00
CHANGE \$0.00

Thank You

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

[Signature]
Applicant or Agent Signature / Date *INC*

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping *1 phase*

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements *- no temporary improvements*
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 108 provided: 112
 Handicapped spaces required: 5 provided: 5
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 6
 provided: 7
 - 2. Other bicycle facilities, if applicable *- not included*
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities *none*

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required *none*

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping. *one phase*

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Mechenbier Construction Inc PHONE: 314-7700
 ADDRESS: 8500 Washington St NE Ste A-6 FAX: 314-7799
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: jmechenbier@mechenbier.com
 Proprietary interest in site: CONTRACTOR/DEVELOPER List all owners: John E & Cynthia A Mechenbier
 AGENT (if any): N/A PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST:

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 4 & 5 Block: — Unit: —
 Subdiv. / Adn. Richfield Park Subdivision
 Current Zoning: IP Proposed zoning: _____
 Zone Atlas page(s): C-17-2 No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 2 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 10170642873911104 (Lot 4) + 10170643083911105 (Lot 5) MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Alameda Blvd NE
 Between: Jefferson and Washington

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan ? or Pre-application Review Team ? Date of review: _____
 SIGNATURE [Signature] DATE 10/2/07
 (Print) JOHN E. MECHENBIER Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB - 70292</u>	<u>SRP</u>	<u>P(3)</u>	<u>\$ 385.⁰⁰</u>
_____	_____	_____	<u>\$ 20.⁰⁰</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>October 10, 2007</u>			Total <u>\$ 405.⁰⁰</u>

[Signature] 10-2-07
 Planner-signature / date

Project # 1005410
1006856

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - ___ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions:

Jeremy Mechenbier
Applicant name (print)
[Signature] 10/2/07
Applicant signature / date

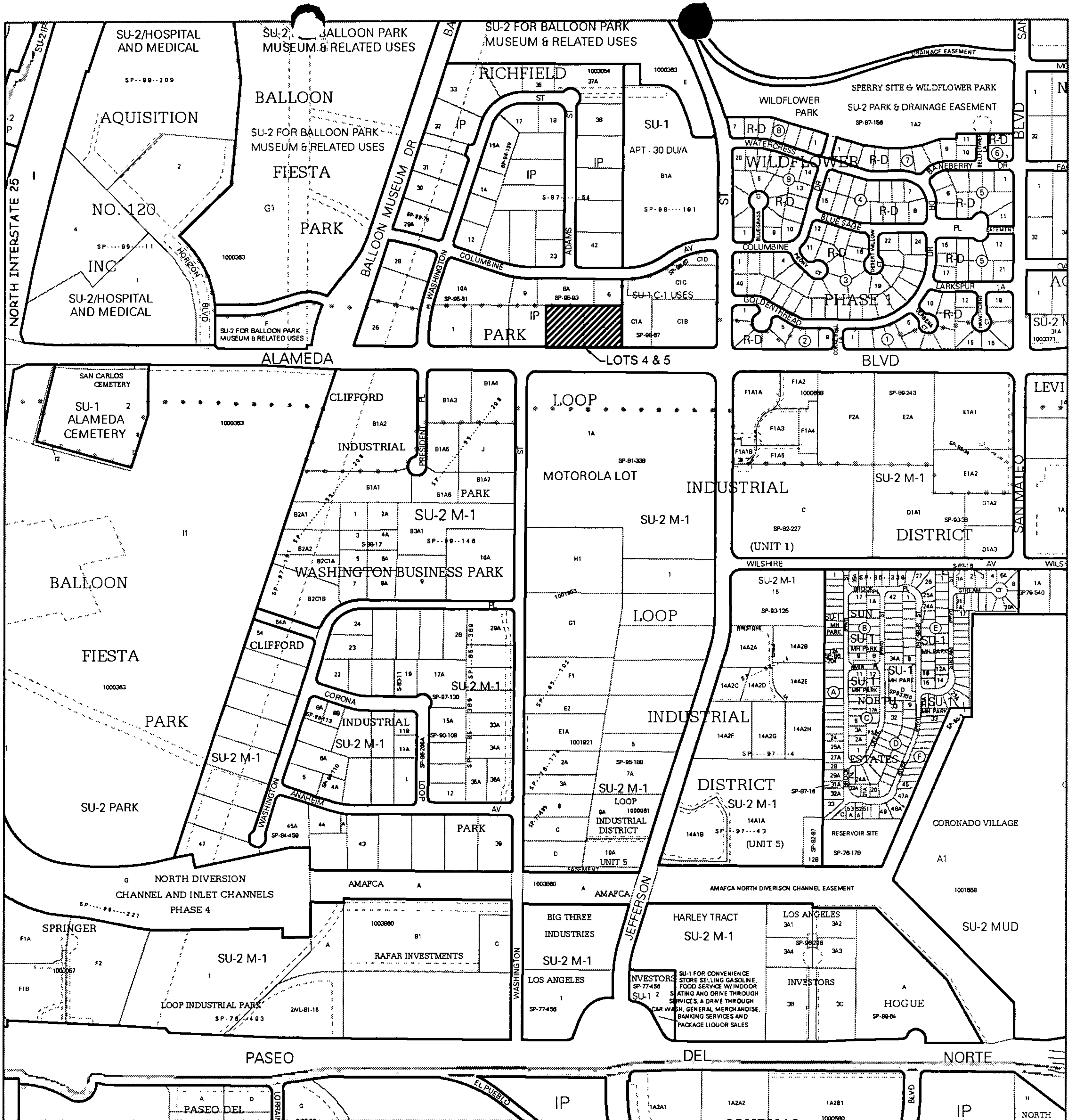


Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
07DRB - 70292

Andrew Jones 10-2-07
Planner signature / date
Project # 1006856
1005410



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 8/1/2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-17-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



March 5, 2007

To Whom It May Concern:

Mechenbier Construction, Inc., the developer and contractor of this proposed project, will be constructing a retail, showroom and office building which will be located at 4545 Alameda Blvd. N.E. This new development will be constructed on lots 4 & 5 of the Richfield Park Subdivision. These lots will be replatted together as one parcel/tract (approximately 2.02 acres) and the building that will be constructed on this site will be approximately 25,256 sq. ft.

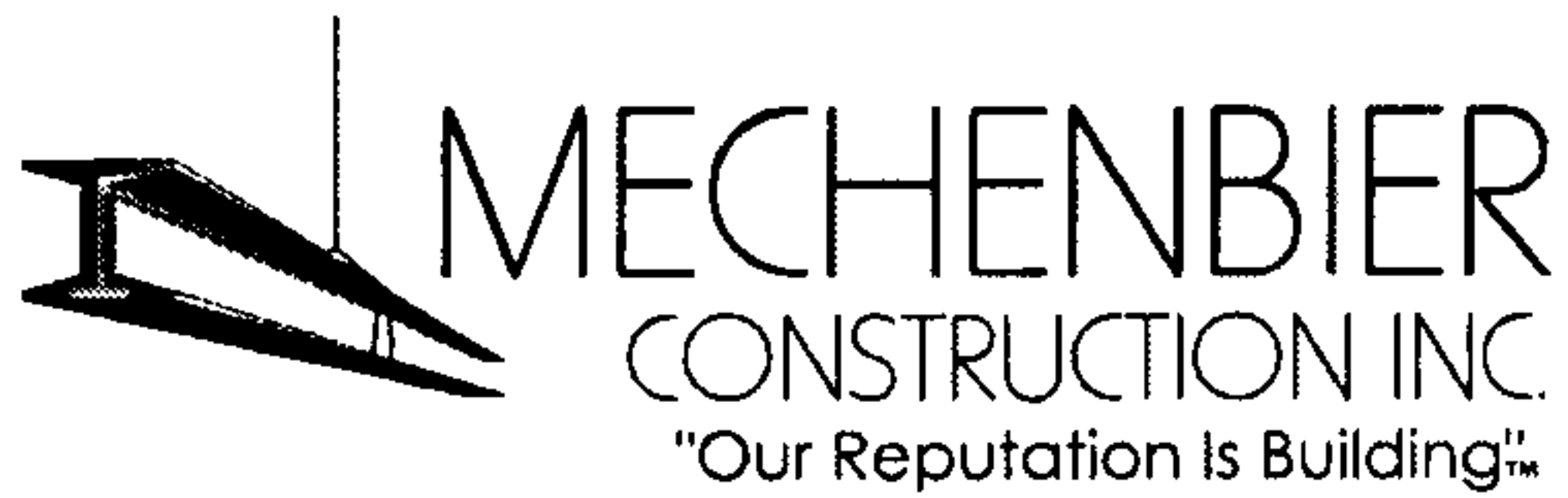
The use of this building will be for retail, showroom and neighborhood office purposes. Approximately 51% of the total square footage (approximately 12,212 sq. ft.) shall be retail space (M Occupancy), approximately 36% of the total square footage (8,620 sq. ft.) shall be office space (B Occupancy) and the remaining 13% of the total square footage (3,075 sq. ft.) shall be associated warehouse/storage space (S-1 Occupancy). The front of our building adjacent to Alameda/State Highway 528 will be targeted towards retail/showroom vendors and their customer base. The back/rear third of the proposed project will be developed for office uses.

Currently, the site plan and elevation meet the current City of Albuquerque zoning code provisions and the "Alameda Boulevard Design Overlay Zone". Please take into account that this proposed building will provide many job opportunities for the surrounding area, will have a significant economic impact on the local north I-25 corridor and will both meet and exceed the expectations of both aesthetics and feasibility.

If there are any questions about this project don't hesitate to give Mechenbier Construction a call at 314-7700. Thank you very much for your consideration.

Sincerely,

Jeremy Mechenbier



Project: 4545 Alameda Blvd. NE

Legal

Description: Lots 4 & 5, Richfield Park Subdivision. These two lots will be replatted together as one parcel/tract.

Developer: Mechenbier Construction Inc.

Contractor: Mechenbier Construction Inc.
8500 Washington St. NE, Suite A-6
Albuquerque, NM 87113

Total Site

Area: As replatted into one parcel/tract, 2.02 acres/88,004 sq. ft.

Building Use

& Occupancy: Retail, showroom and neighborhood office. The front of our building adjacent to Alameda/State Highway 528 will be targeted towards the retail/showroom vendors and their customer base. The back/rear third of the proposed project will be developed for office uses and 3,075 sq. ft. of associated warehouse/storage space.

Building Size: 25,256 sq. ft. equating to a 29% floor/area ratio.

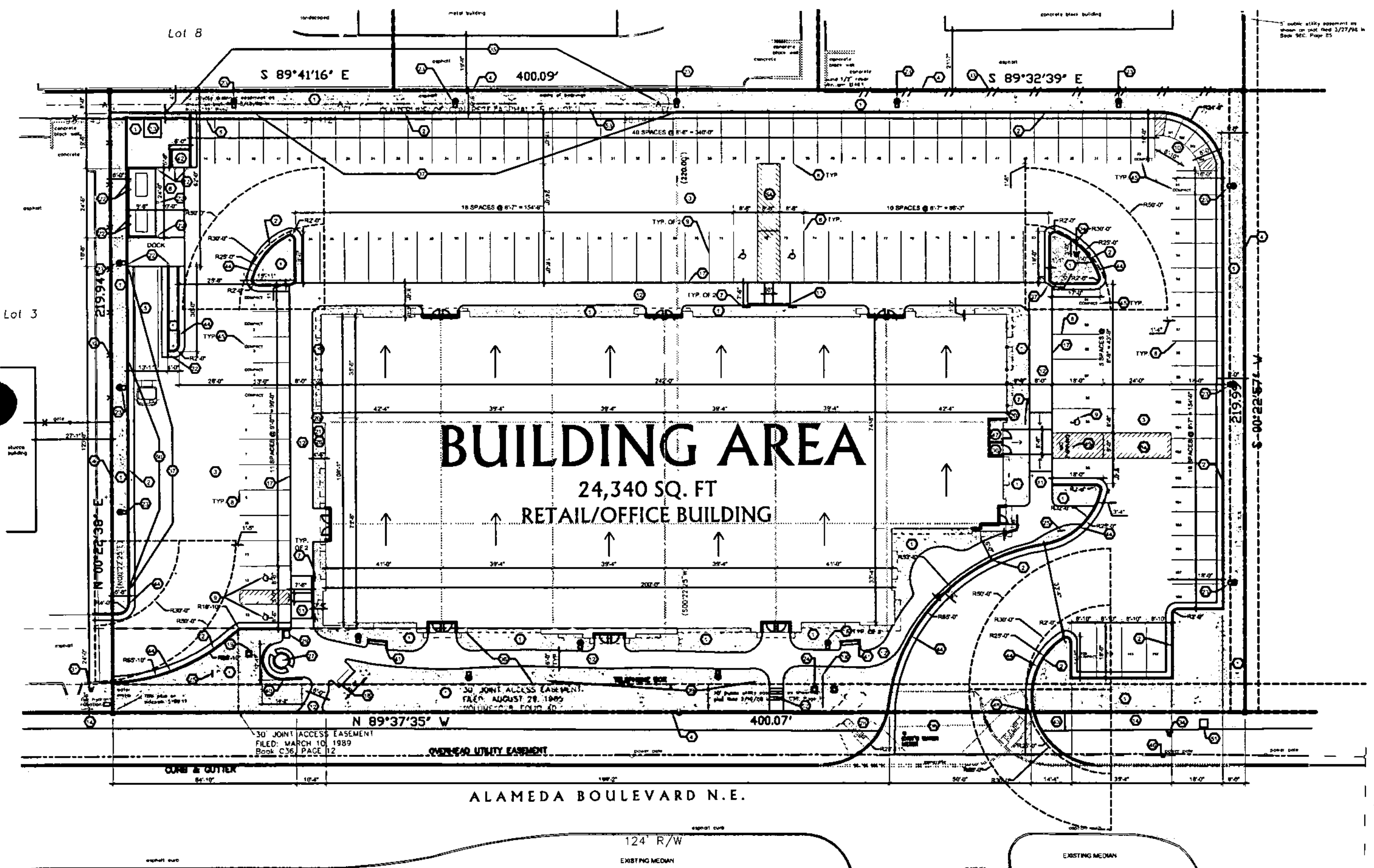
Parking: 112 full size cars includes 9 compact spaces, approximately 8% of total.
4 motorcycles/mopeds
7 bicycles
Ratio: 1:205 sq. ft. (All modes of transportation)
1:226 sq. ft. (Full size & compact cars only)

General: Site Plan and elevation meet the current City of Albuquerque zoning code Provisions and the "Alameda Boulevard Design Overlay Zone".

With this replat of Lots 4 & 5, we will be vacating the 10' wide private drainage easement across the rear portion of Lot 4 that would service and drain Lot 5. All surface drainage will be through the asphalt parking lots and enter the platted/recorded 10' wide private drainage easement at the northwest corner of Lot 4. With the replat of Lots 4 & 5, we will be vacating the 30' joint access easement (filed 3/1/89, Book C36, Page 12). A color rendering attached with our submittal gives an architectural perspective of the proposed construction and of the planned color scheme.

Questions should be directed to John E. Mechenbier at Mechenbier Construction Inc., 314-7700, or jmechenbier@mechenbier.com.

- KEYED NOTES:**
- 1) LANDSCAPED AREA REFER TO LANDSCAPE PLAN 1.1.
 - 2) STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
 - 3) 3" ASPHALT PAVING @ DRIVE LINES AND AT PARKING STALLS.
 - 4) PROPERTY LINE.
 - 5) TRUCK LOADING/UNLOADING AREA WITH GUARDRAIL. SEE DETAIL 8B1.2.
 - 6) REFUSE PAD, APRON, AND ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAILS 8B1.2 THROUGH 8B1.2.
 - 7) POLE MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE 8B1.2.
 - 8) PARKING STALL STRIPING, TYPICAL.
 - 9) PAINTED HANDICAP PARKING SYMBOL.
 - 10) MOTORCYCLE MOPED PARKING AREA.
 - 11) HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
 - 12) NEW CONCRETE SIDEWALK.
 - 13) TRANSFORMER LOCATION PAD MOUNTED, PER PHM SPECIFICATIONS.
 - 14) EXISTING 8" CITY SIDEWALK.
 - 15) DECORATIVE POLE LIGHTING ALONG SOUTH FRONT OF BUILDING ALONG THE SIDEWALK NOT EXCEEDING 18 FT. SEE DETAIL 8B1.2.
 - 16) BIKE RACK. SEE DETAIL 8B1.2.
 - 17) TURNDOWN SIDEWALK.
 - 18) MONUMENT SIGN. SEE DETAIL 8B1.2.
 - 19) FLAGPOLE, 25' HIGH POLE W/BRUSHED ALUMINUM FINISH.
 - 20) GAS METER LOCATIONS (12 TOTAL - 8 AT EACH OF 2 LOCATIONS).
 - 21) ROOF ACCESS LADDER LOCATION.
 - 22) 8" STEEL BOLLARDS, FILLED W/ CONCRETE. SEE DETAIL 8F1.2.
 - 23) POLE LIGHT SEE DETAIL 8B1.2. ADDITIONAL LIGHTING TO BE WALL MOUNTED TO BUILDING. ALL LIGHTING IS TO MEET ALL APPL. CODES & ORDINANCES.
 - 24) MONUMENT SIGN LIGHTING, GROUND MOUNTED WITH DEFLECTOR.
 - 25) DIRECTIONAL SIGNAGE. SEE 8B1.2.
 - 26) ELECTRICAL METERS LOCATION, 5' HIGH, 3" WIDE.
 - 27) CONC. PAD FOR PICNIC TABLE. TWO (2) 7' LONG BENCHES PROVIDE TO ACCOMMODATE 8 PEOPLE.
 - 28) EXISTING HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
 - 29) MAIL BOXES ON 3" X 8" CONCRETE PAD.
 - 30) TELEPHONE DEMARCATION PANEL ROOM.
 - 31) EXISTING FIRE HYDRANT.
 - 32) EXISTING CHAIN LINK FENCE.
 - 33) EXISTING WOOD FENCE.
 - 34) NEW FIRE HYDRANT.
 - 35) DEMO DRAINAGE SWALE. REPLACE WITH LANDSCAPING.
 - 36) 30' JOINT ACCESS EASEMENT TO BE VACATED IN THIS AREA WITH THE REPEAT OF LOTS 4 & 5 TOGETHER.
 - 37) CURB CUTS AT 15' O.C. TO PASS FLOW TO PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
 - 38) EXISTING DRIVE CUT.
 - 39) DRY RIVERBED LANDSCAPE FEATURE FOR TEMPORARY WATER RETENTION. REFER TO GRADING AND DRAINAGE PLAN AND LANDSCAPE PLAN.
 - 40) 3'-4" HIGH BROWN WALL. STUCCO COLOR TO MATCH BUILDING.
 - 41) BENCH, 8' WIDE. ACCOMMODATE 3 PEOPLE.
 - 42) RECYCLING AREA ENCLOSURE. SEE DETAIL 8 & 8B1.2.
 - 43) NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
 - 44) NO PARKING, FIRE LANE. CURB TO BE PAINTED IDENTIFIED AS SUCH (DENOTED AS PARKING CURB ON PLANS).
 - 45) ALL COMPACT SPACES TO BE STAMPED WITH THE WORD 'COMPACT' ON THE PAVEMENT.
 - 46) EXISTING POWER POLE.
 - 47) FIRE SPRINKLER RISER AND POTABLE WATER BACKFLOW PREVENTER ROOM.
 - 48) EXPAND EXISTING DRIVE ENTRY TO 30' FT.
 - 49) STAMP PAVEMENT "NO PARKING" FOR HANDICAP ACCESS AND FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
 - 50) NO PARKING - LOADING ZONE. CURB TO BE PAINTED YELLOW TO DESIGNATE AS SUCH.
 - 51) NEW WATER METER, 1" SERVICE, 3/4" METER.
 - 52) STEPS. REFER TO GRADING & DRAINAGE PLAN.
 - 53) RAILING AS REQUIRED PER CODE AT DRAINAGE PONDING AREA, TYP.
 - 54) PAINT STRIPING ON PAVEMENT FOR PEDESTRIAN CROSSWALK.



PROJECT DESCRIPTION:

ADDRESS: 4545 ALAMEDA BOULEVARD NE
ALBUQUERQUE, NM 87113

LEGAL DESCRIPTION: LOTS 4 AND 5, RICHFIELD PARK
SUBDIVISION

ZONE MAP: C-17
ZONING: UP

TOTAL SITE AREA: 88,004 SF
DEVELOPED AREA: 88,004 SF

CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE, AUTOMATIC
SPRINKLER SYSTEM)

OCCUPANCY GROUPS:
M RETAIL
B OFFICE
S-2 LOW-HAZARD STORAGE

GROSS BUILDING AREA (INCLUDES OVERHANGS & POPOUTS): 25,256 SF
NET FLOOR AREA: 24,340 SF
REQUIRED STREETYARD ALONG ALAMEDA (30'X400') = 12,000 SF
NET LOT AREA (88,004 - 25,256-12,000): 50,748 SF
REQUIRED LANDSCAPING (15% OF 50748): 7,612 SF
LANDSCAPING AREA PROVIDED: 8,466 SF
TOTAL LANDSCAPE - STREETYARD & REMAINDER OF LOT: 15,443 SF

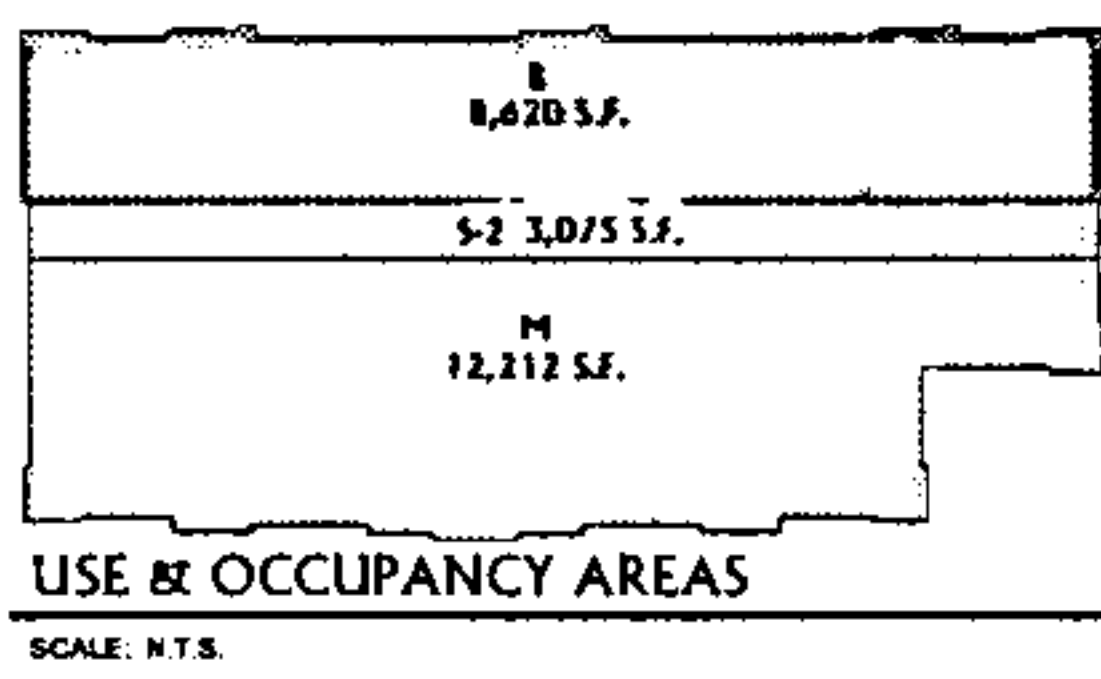
BUILDING USAGE & OCCUPANCY AREAS:
THE BUILDING WILL BE USED FOR RETAIL AND OFFICE PURPOSES, WITH
ASSOCIATED WAREHOUSE/STORAGE. APPROXIMATELY 12,212 S.F.
SHALL BE RETAIL SPACE (M OCCUPANCY), AND APPROXIMATELY 8,620
S.F. OF THE TOTAL SQUARE FOOTAGE SHALL BE OFFICE SPACE (B
OCCUPANCY). APPROXIMATELY 3,075 S.F. SHALL BE
WAREHOUSE/STORAGE (S-1 OCCUPANCY).

TRAFFIC CIRCULATION:
TRAFFIC ENTRY TO THE PROPERTY SHALL BE VIA EAST & WEST-BOUND
ALAMEDA BLVD. AT THE EAST END OF THE PROPERTY AND VIA THE
SHARED ACCESS EASEMENT WITH LOT 3 RICHFIELD PARK SUBDIVISION
AT THE WEST END OF THE PROPERTY. ON-SITE TRAFFIC FLOW IS
TWO-WAY THROUGHOUT.

REQUIRED PARKING:

RETAIL (M)	12,212/200	=	62
BUSINESS (B)	8,620/200	=	44
WAREHOUSE/STORAGE (S-2)	3,075/2,000	=	2
TOTAL PARKING REQUIRED			108
TOTAL PARKING PROVIDED:			112
COMPACT SPACES ALLOWED (25% OF 112):			28
COMPACT SPACES PROVIDED:			9
TOTAL HANDICAP REQUIRED PER 2003 IBC TABLE 1106.1:			5
TOTAL HANDICAP PROVIDED:			5
TOTAL MOTORCYCLE/MOPED REQUIRED:			4
TOTAL MOTORCYCLE/MOPED PROVIDED:			4
TOTAL BIKE SPACES REQUIRED 112/20			8
TOTAL BIKE SPACES PROVIDED			7
EXTERIOR BENCH SEATING TOTAL SEATING REQUIRED (200 FT/25 FT)			8
PICNIC TABLE (7' / 2') X 2			6
TWO(2) 8' BENCHES (12' / 2')			8
TOTAL SEATING PROVIDED			12

A MINIMUM OF 25% OF SEATING TO BE SHADED



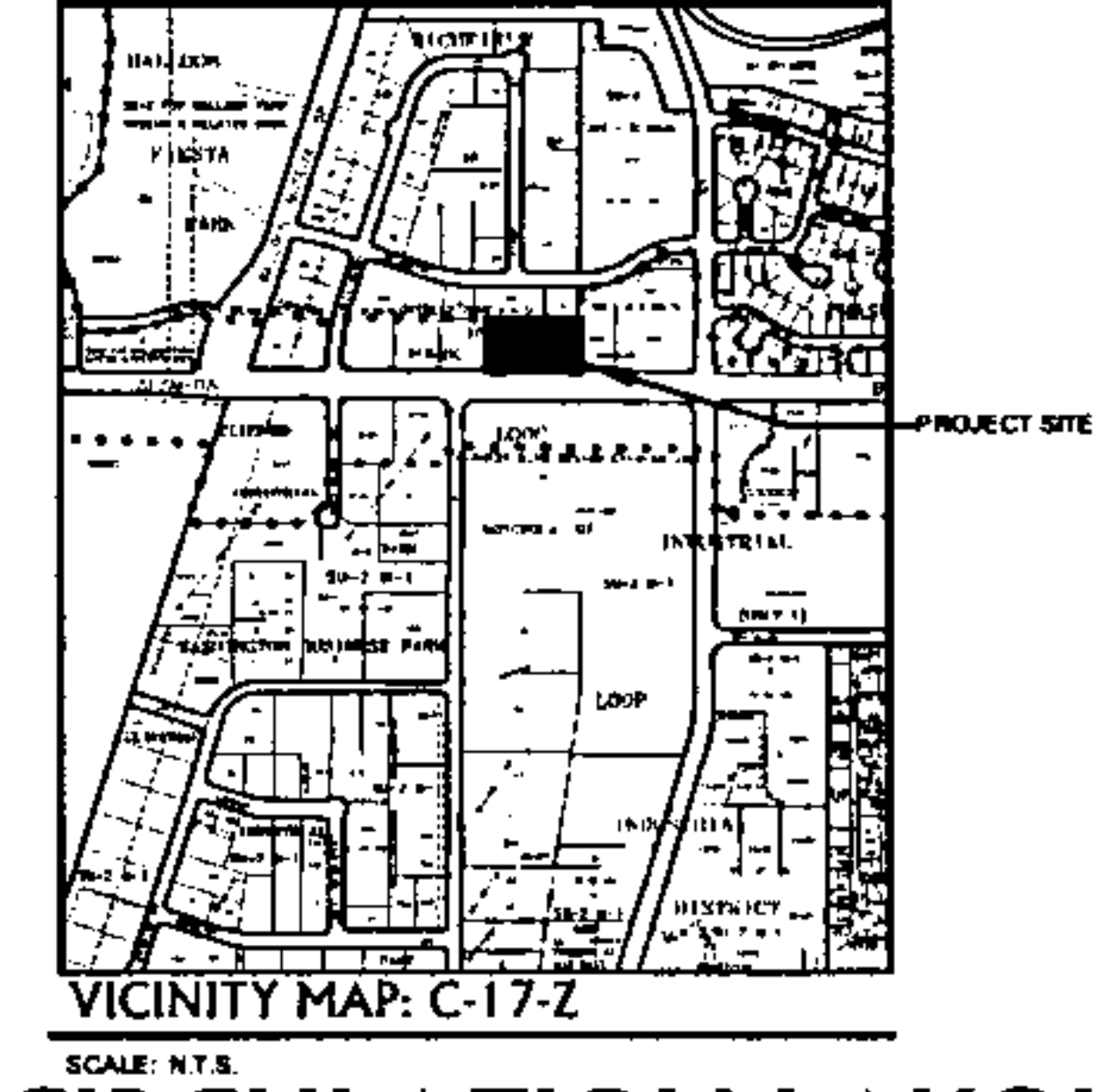
PROJECT NUMBER: _____

APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS
WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR
CONSTRUCTION OF PUBLIC IMPROVEMENTS.

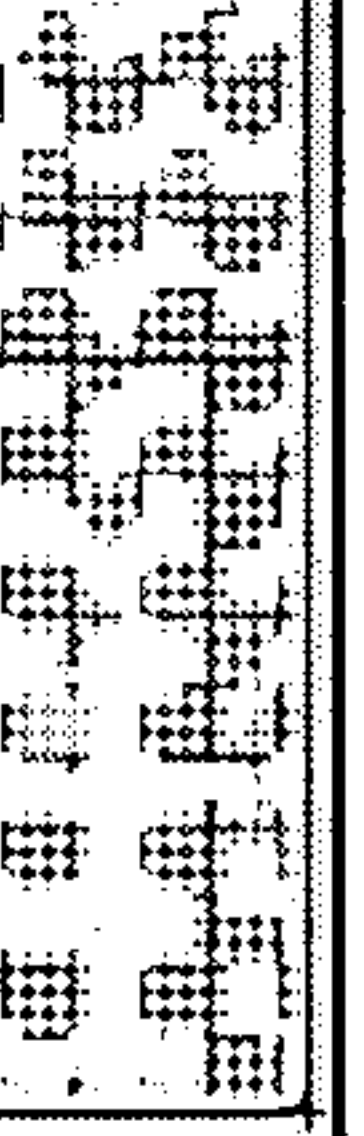
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

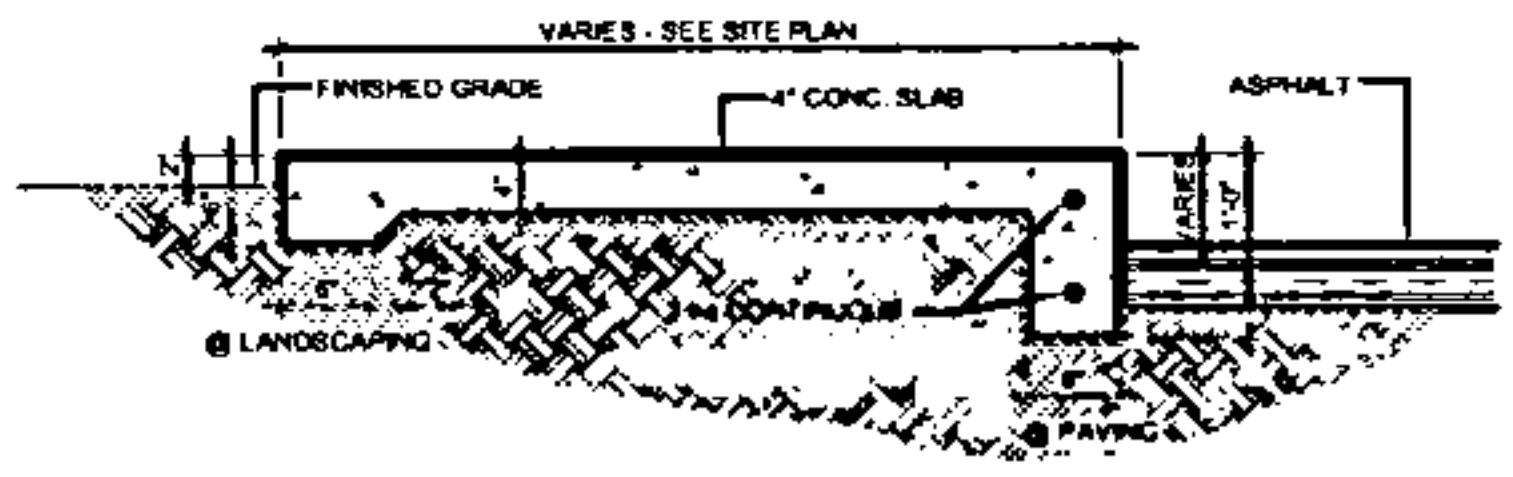


SITE PLAN & TRAFFIC CIRCULATION LAYOUT

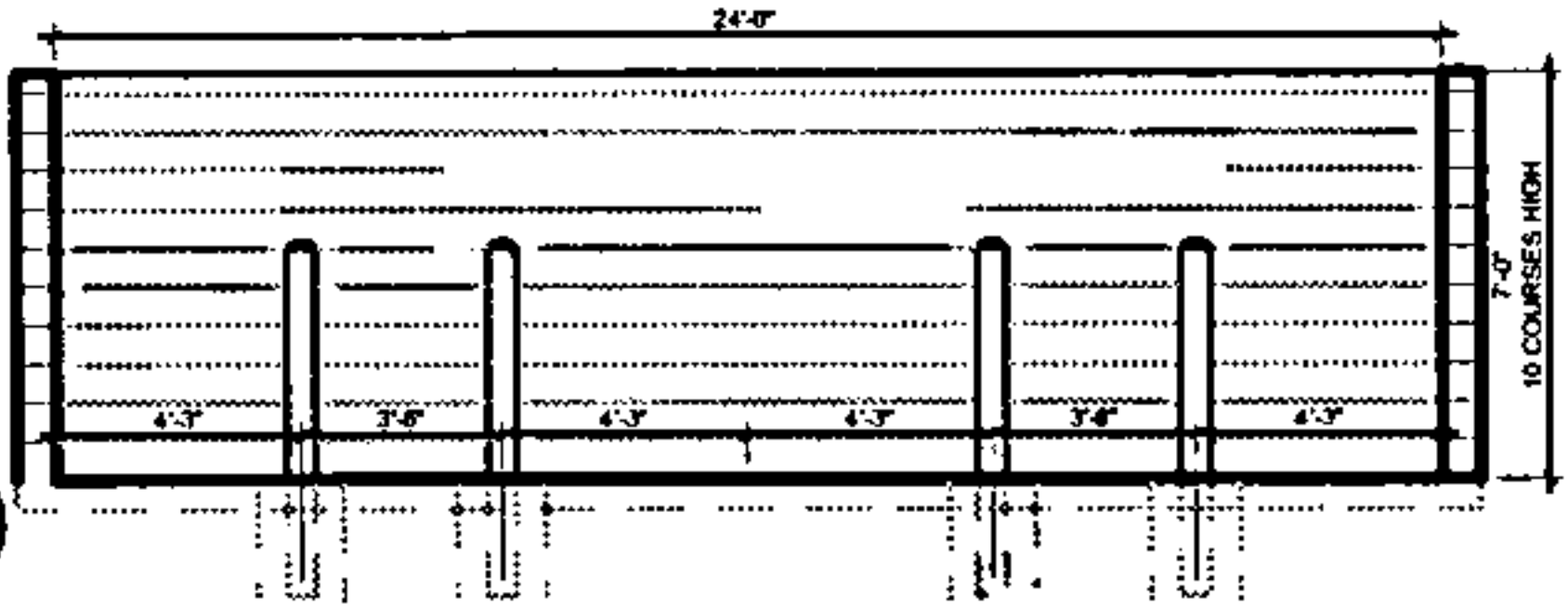
PRELIMINARY SET



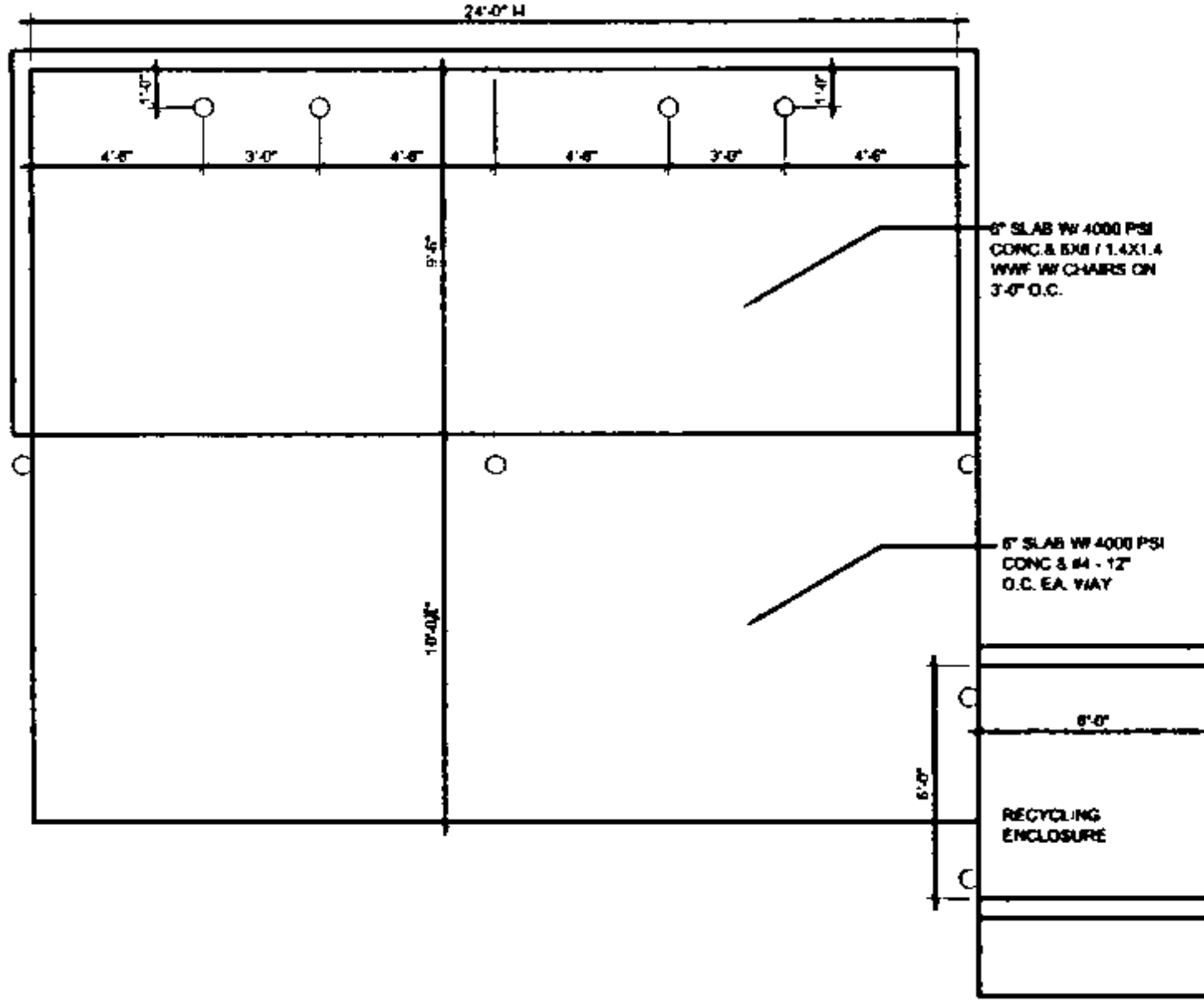
PRELIMINARY SET



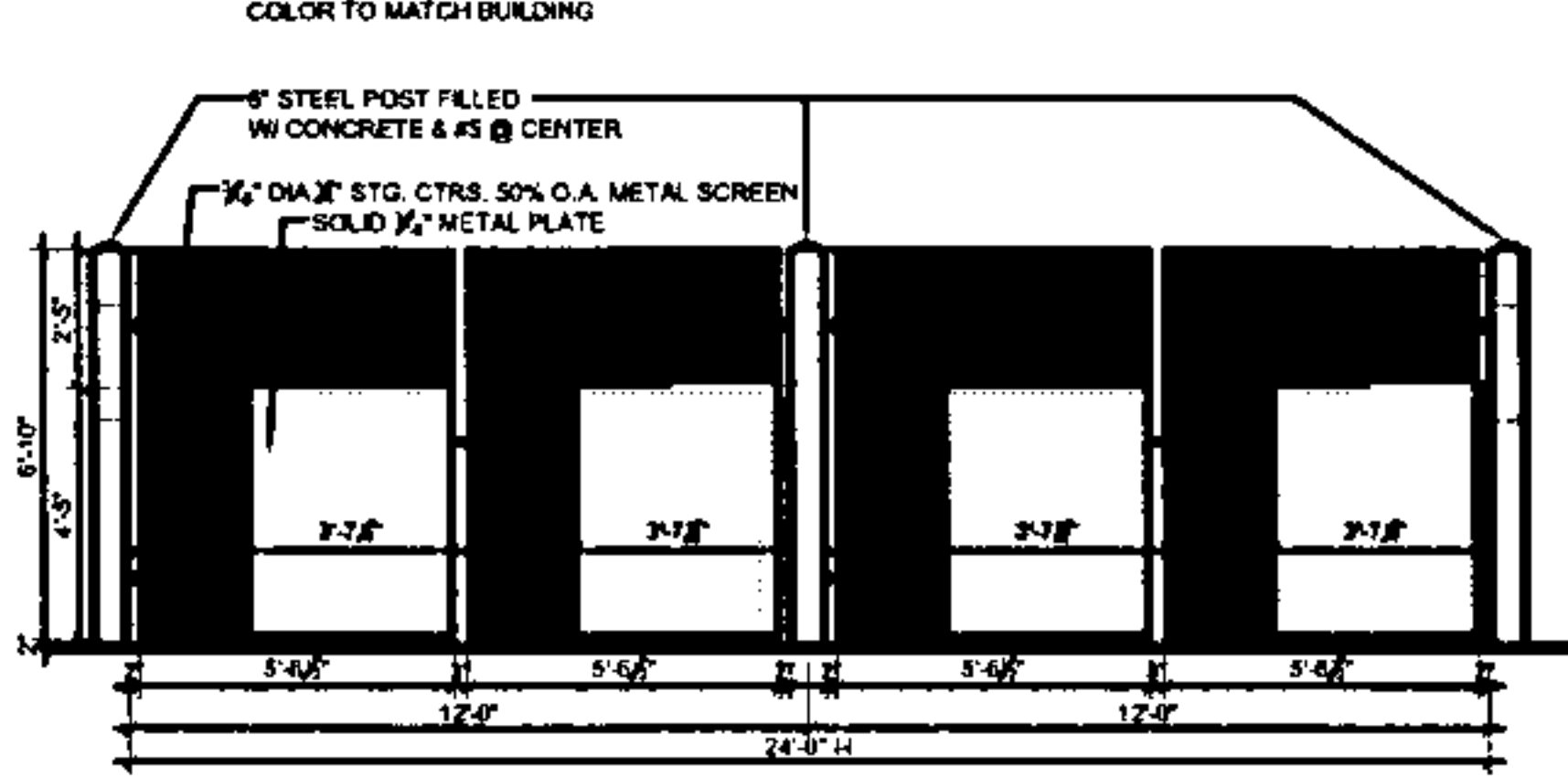
A SIDEWALK SECTION
3/4" = 1'-0"



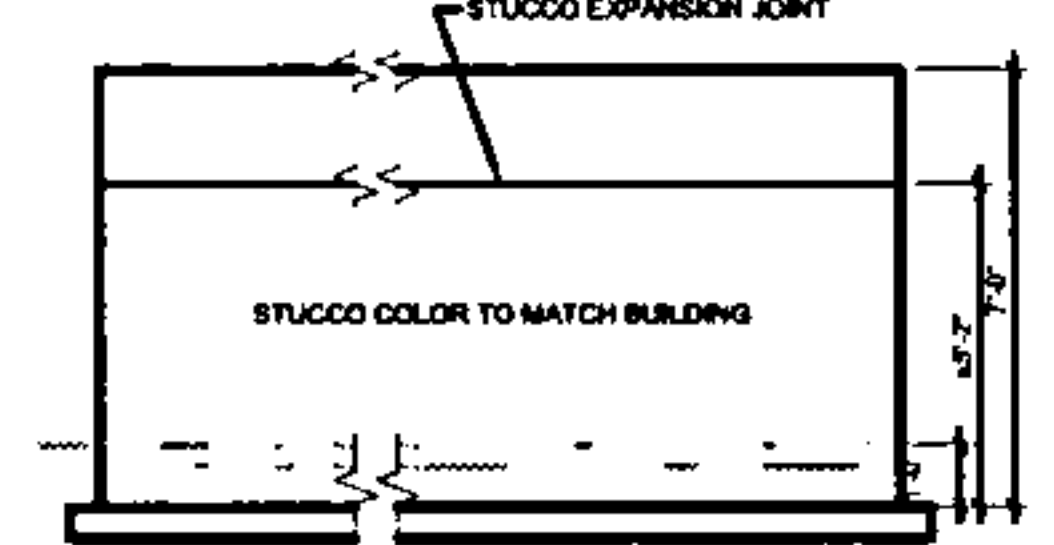
B DUMPSTER ENCLOSURE
1/4" = 1'-0"



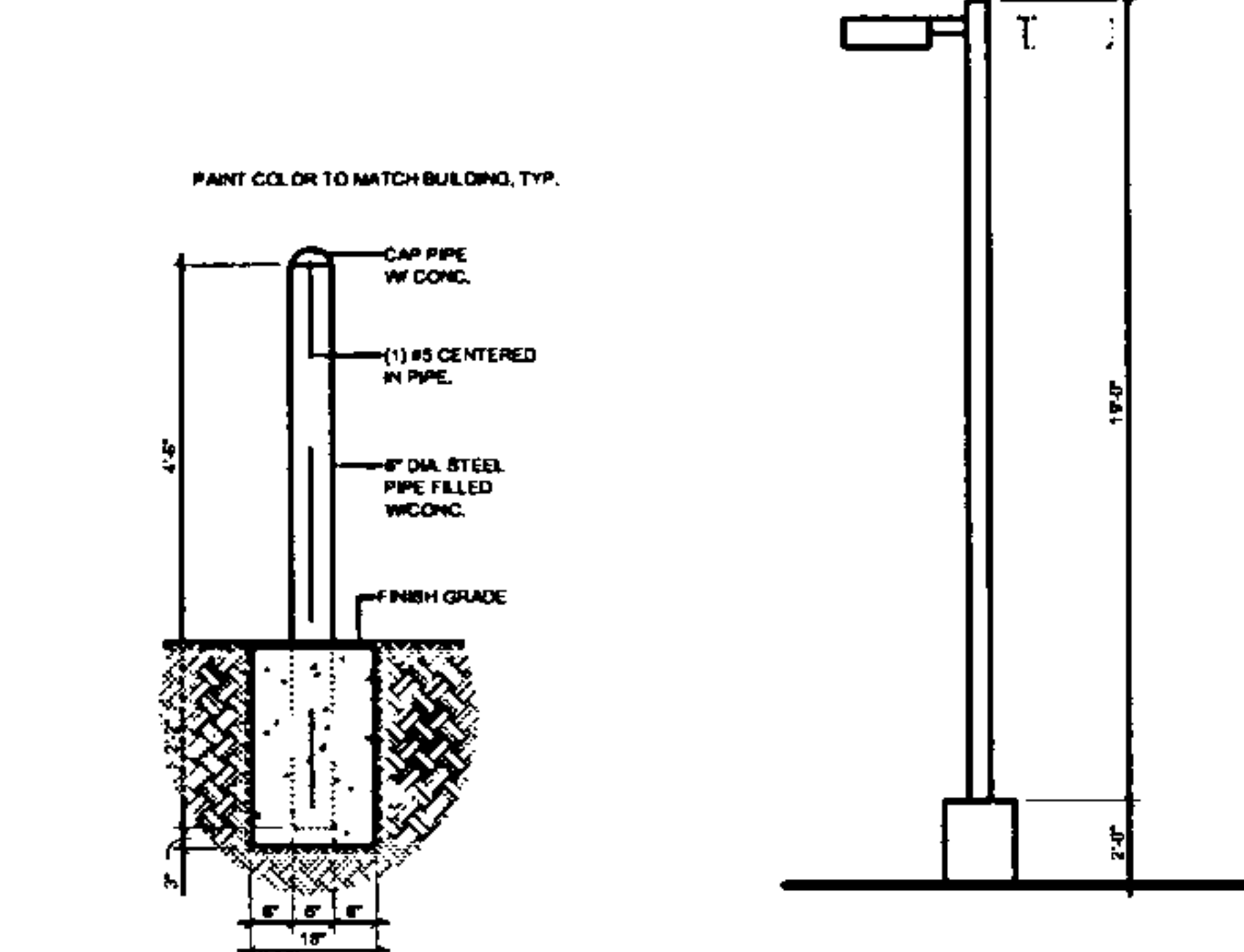
C REFUSE ENCLOSURE PLAN
1/4" = 1'-0"



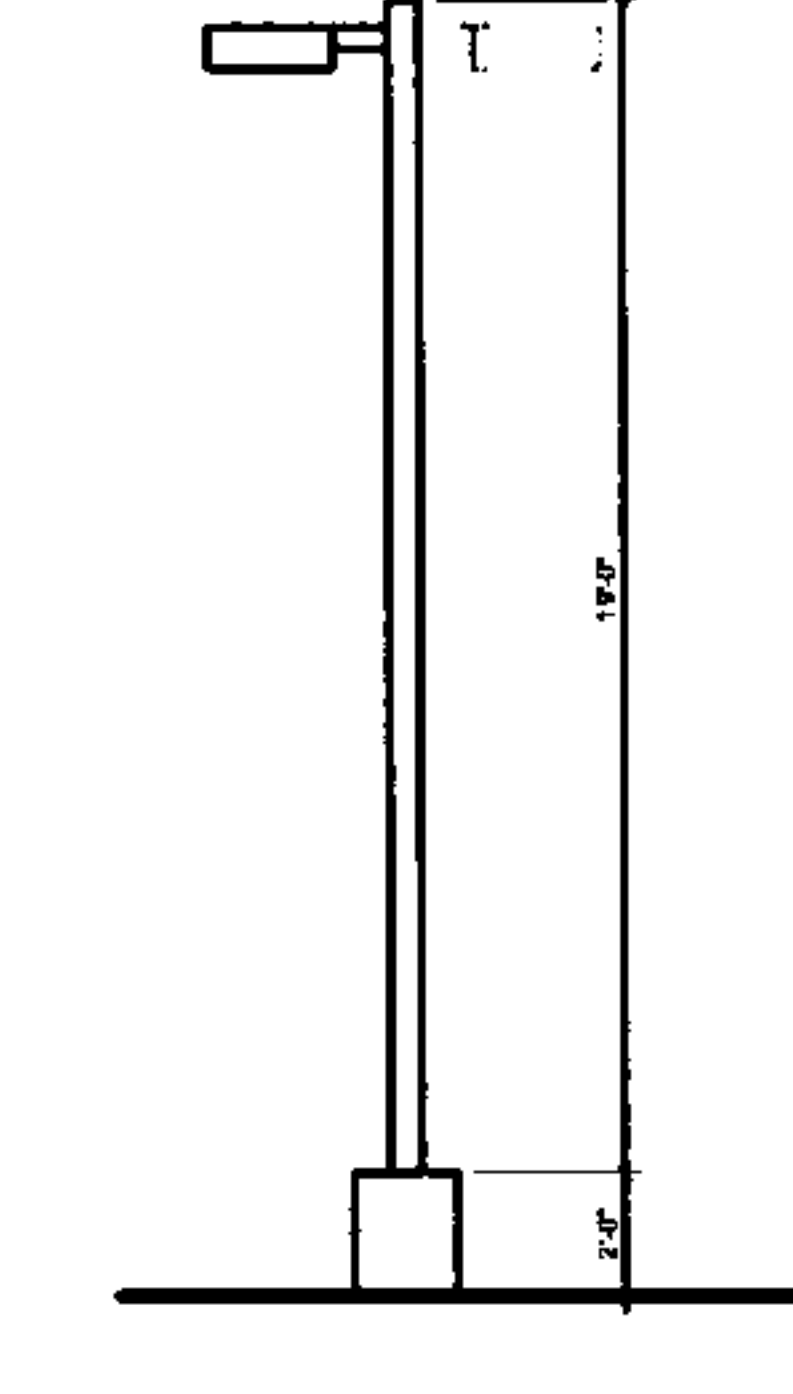
D FRONT ELEVATION REFUSE ENCLOSURE
1/4" = 1'-0"



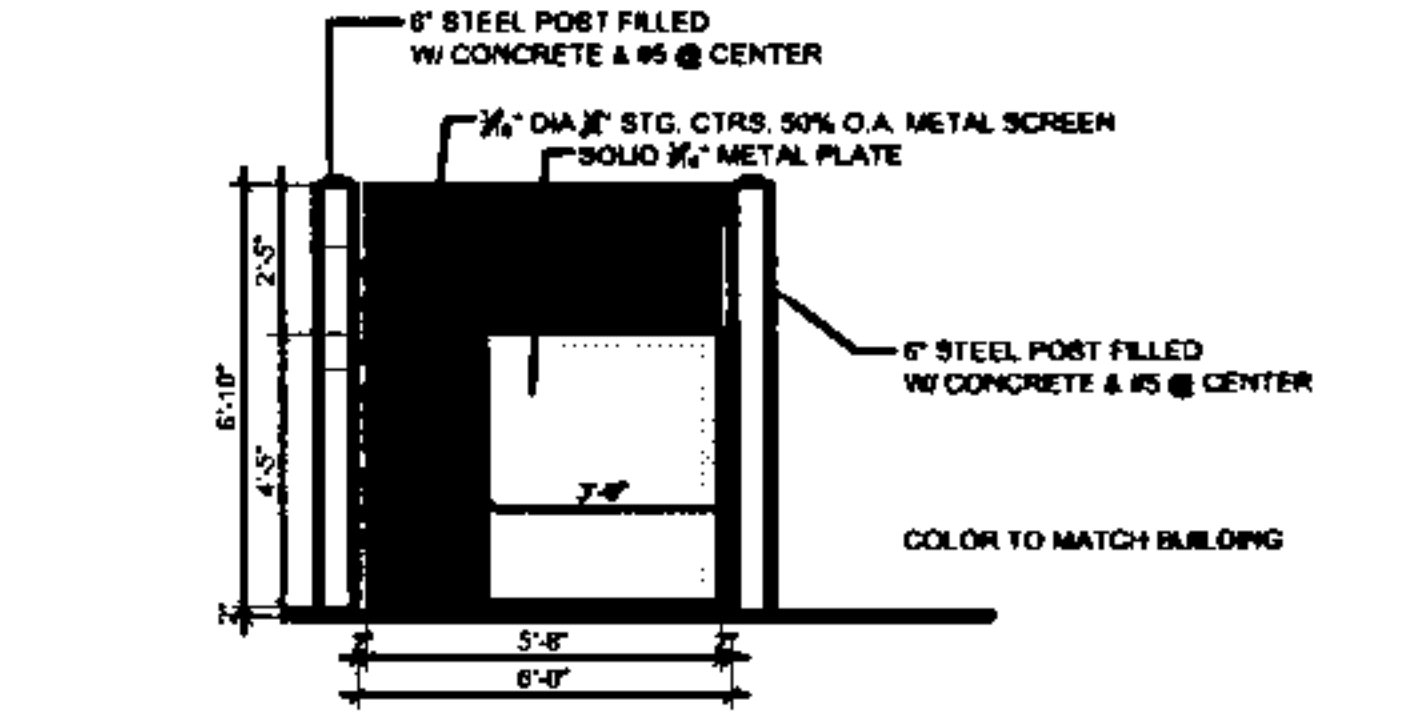
E REAR ELEVATION REFUSE & RECYCLE ENCLOSURES
1/4" = 1'-0"



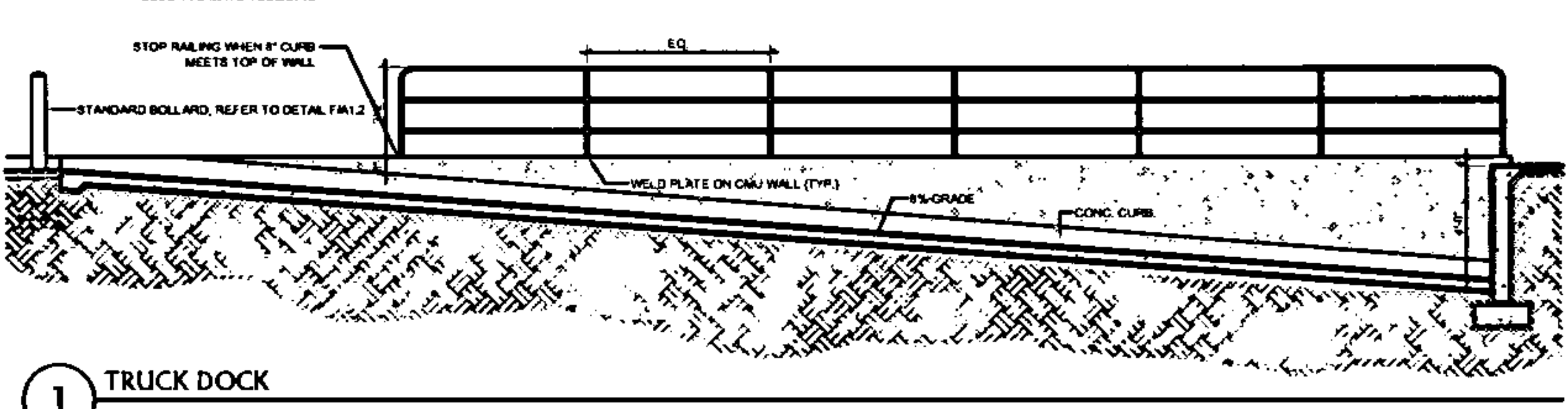
F 6" BOLLARD
1/2" = 1'-0"



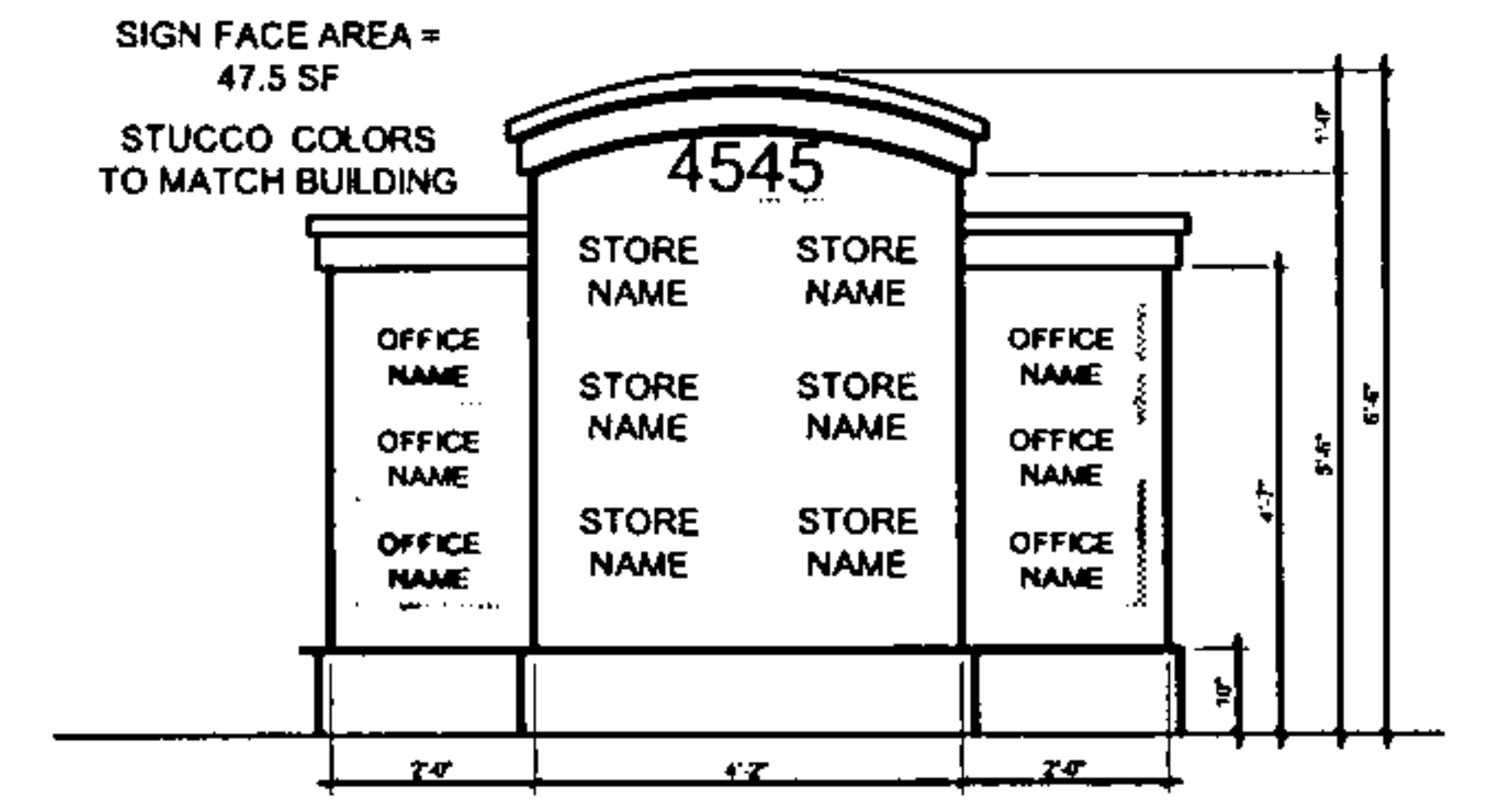
G LIGHT POLE
1/4" = 1'-0"



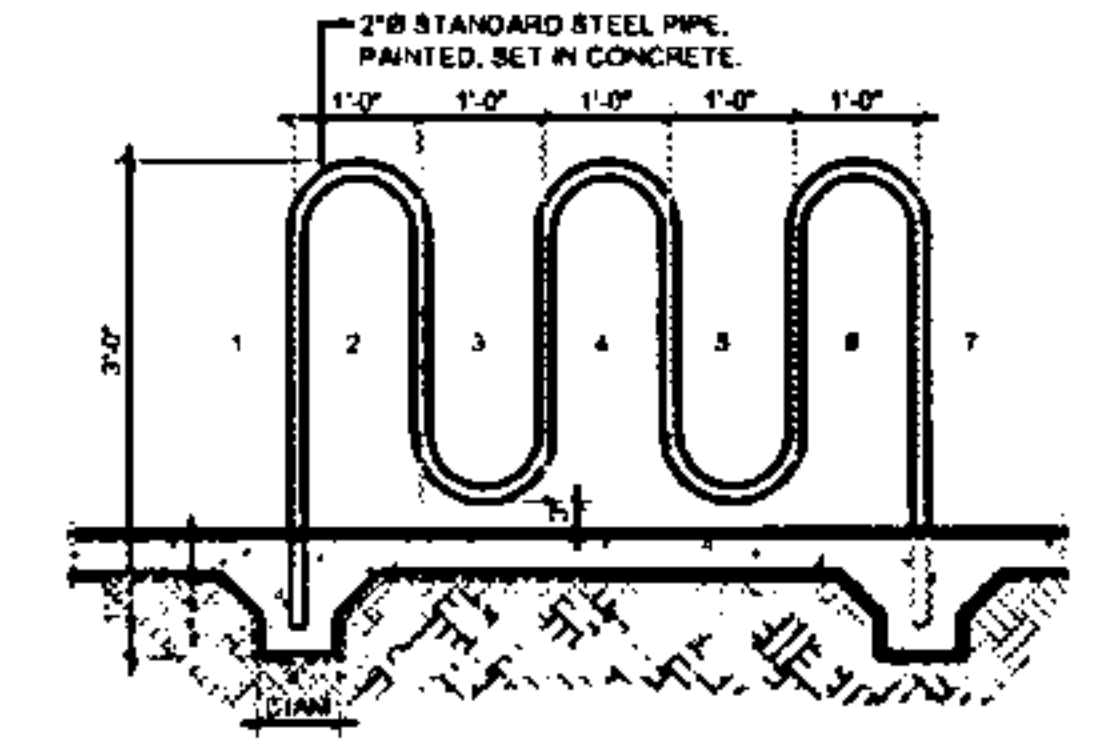
H FRONT ELEVATION RECYCLE ENCLOSURE
1/4" = 1'-0"



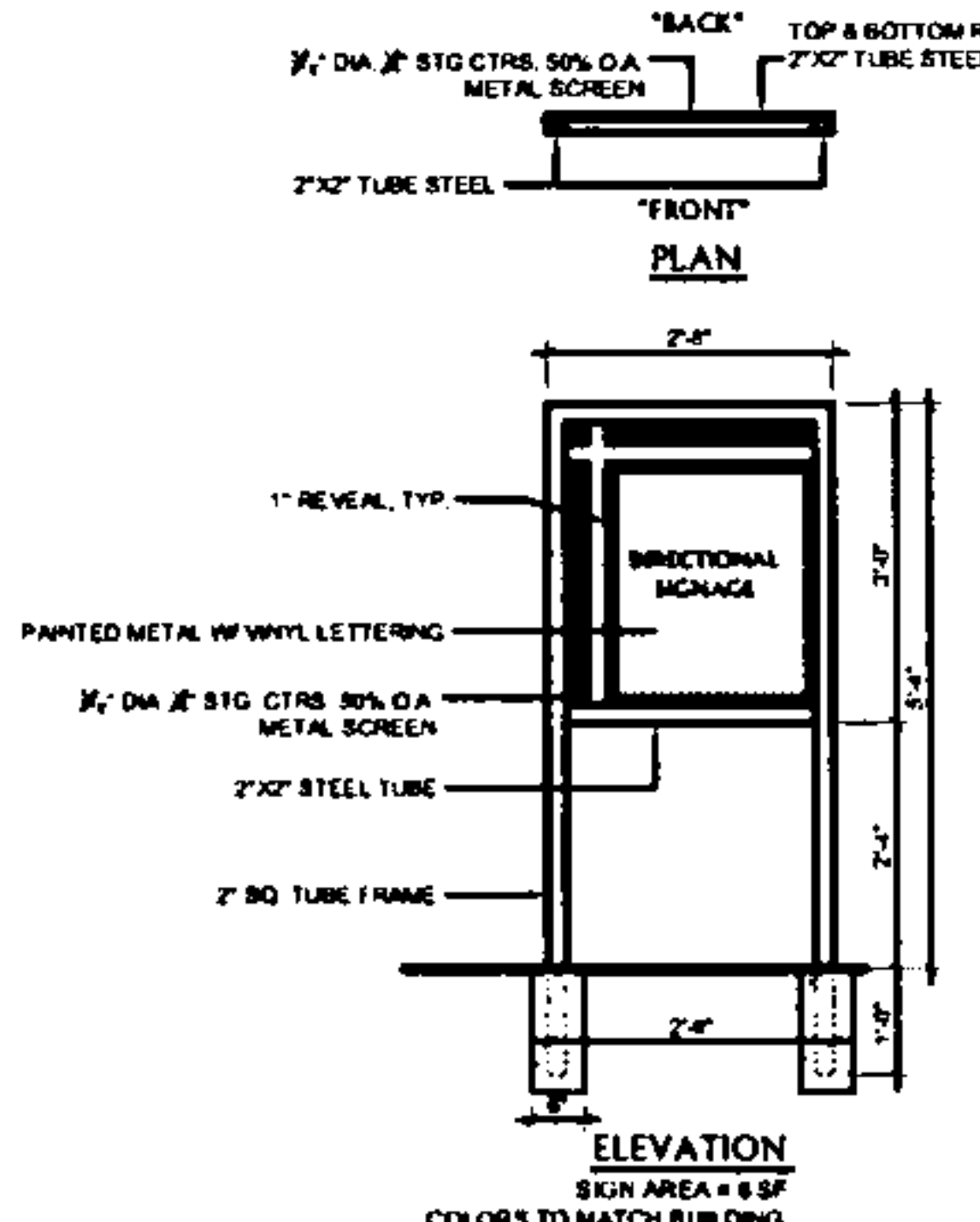
I TRUCK DOCK
N.T.S.



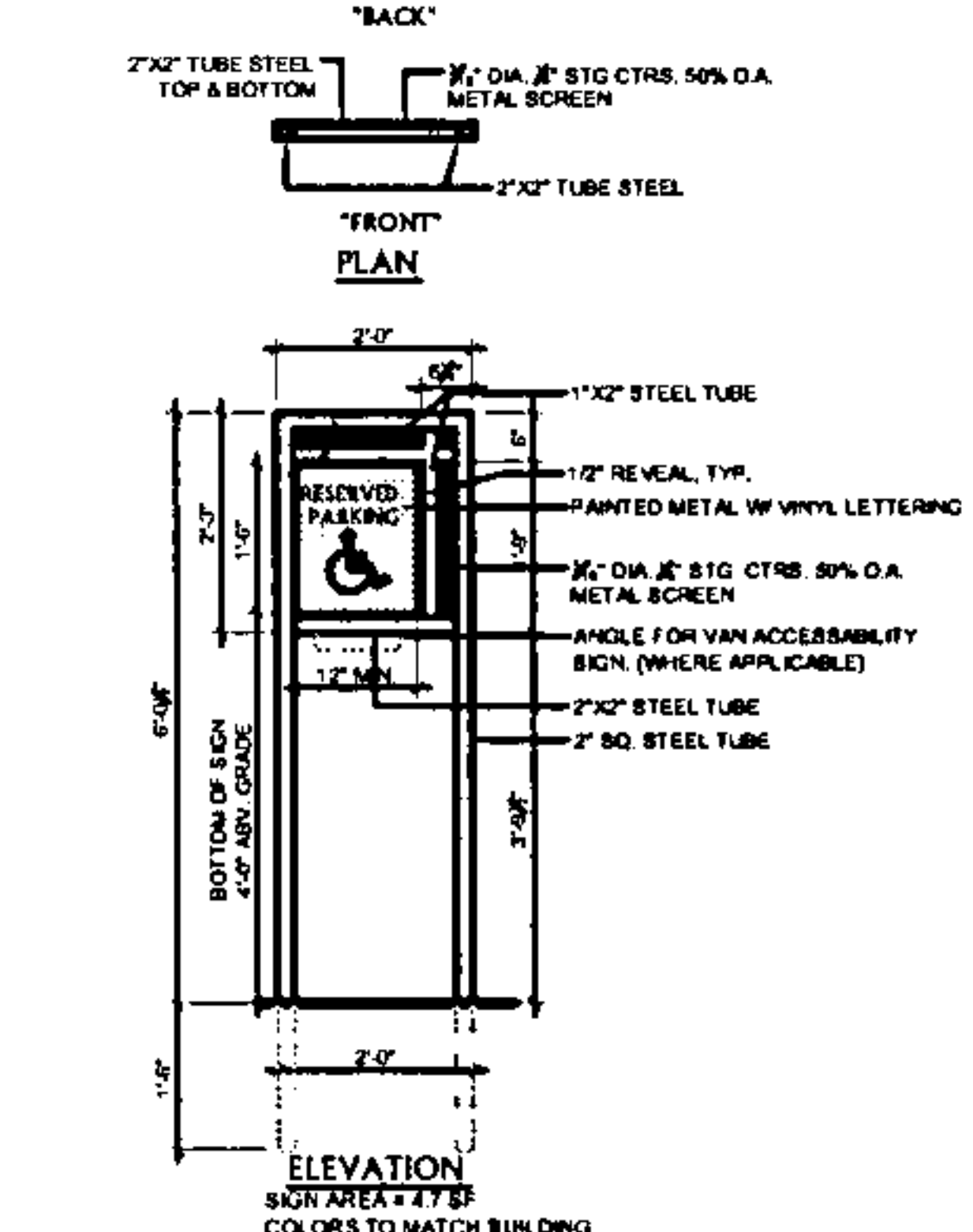
K MONUMENT SIGN (TWO SIDES SIMILAR)
1/2" = 1'-0"



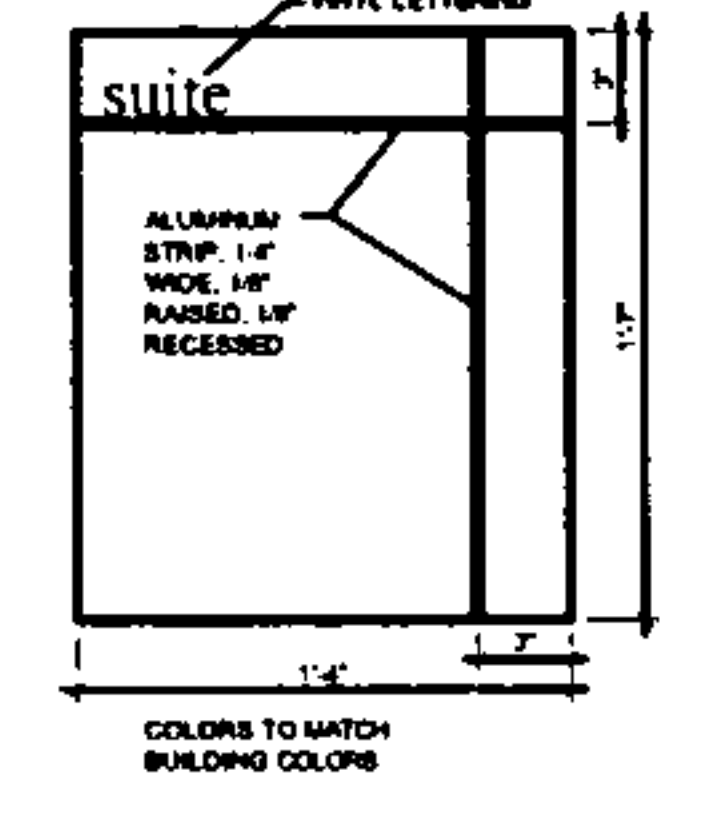
L BIKE RACK
1/2" = 1'-0"



M DIRECTIONAL SIGNAGE
1/2" = 1'-0"

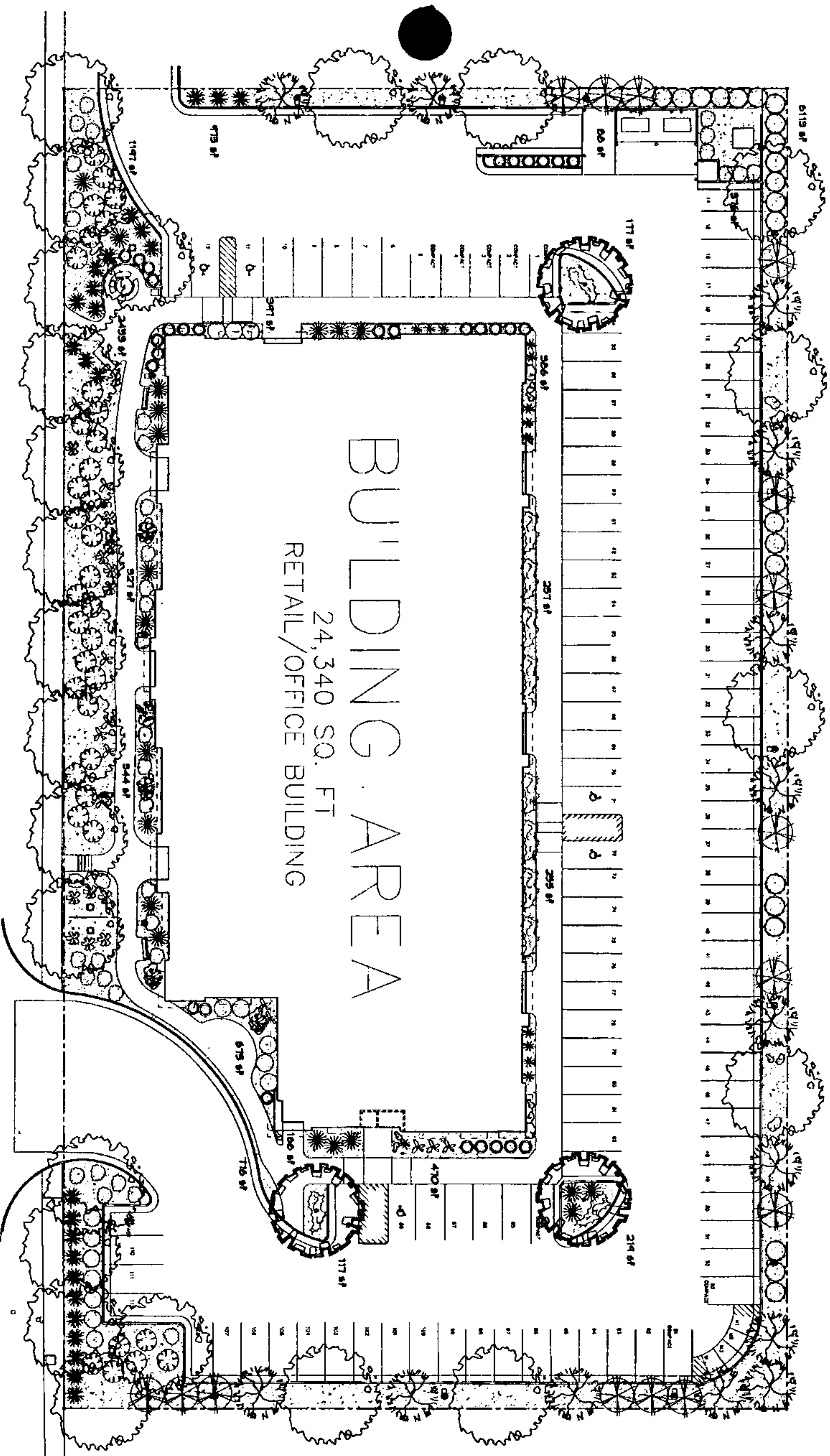


N HANDICAP SIGNAGE
1/2" = 1'-0"



O SUITE SIGNS
1/4" = 1'-0"

SITE DETAILS



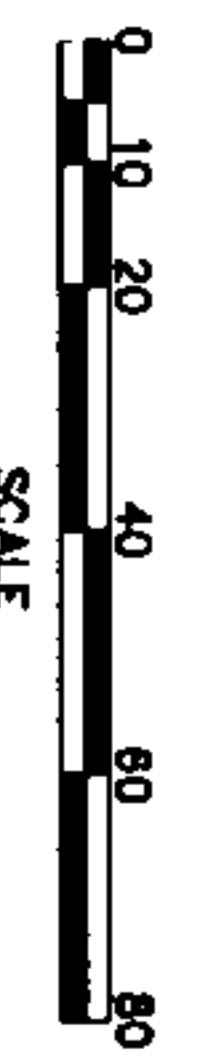
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	67966	square feet
TOTAL BUILDINGS AREA	23333	square feet
NET LOT AREA	62633	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE PROVIDED	13766	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	11826	square feet
TOTAL GROUND COVER PROVIDED	11826 (75%)	square feet
TOTAL LANDSCAPE PROVIDED	13766 (23%)	square feet

STREET TREE REQUIREMENTS
 Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
 Name of Street: Alameda Blvd.
 Required # 1/4 Provided # 1/4

PARKING LOT TREE REQUIREMENTS
 Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:
 1 Shade tree per 10 spaces
 Required # 12 Provided # 15

BUILDING AREA
 24,340 SQ. FT.
 RETAIL/OFFICE BUILDING








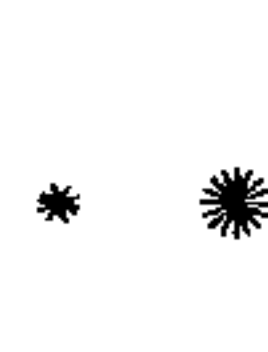


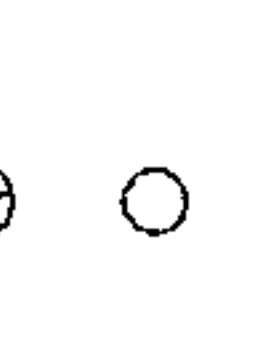


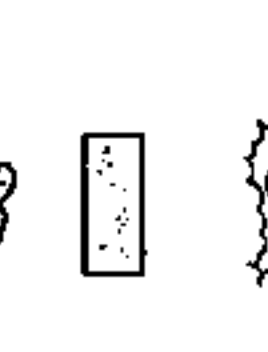






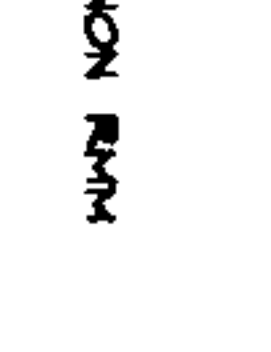
LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the property owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Needs Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation Landscaping and Water Needs Ordinance.
 Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque zoning Code, Street Tree Ordinance, Water Conservation Ordinance, and other applicable laws, rules, regulations, and ordinances. In detail, water saving and water saving landscaping principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Series 16 8" x 8" gravel cover filter fabric shall be placed in all landscape areas which are not designated to receive native seed.

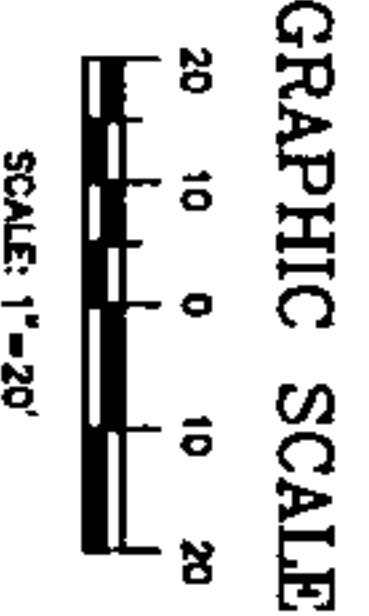
IRRIGATION NOTES:
 Irrigation shall be a complete underground system with trees to receive 1 inch of water (1/2" height) with 5 loops at a final radius of 4.5' from tree trunk, pinned in place. Nozzles shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2" gph Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.
 Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip run time shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in 1/2" field. Irrigation will be operated by automatic controller.
 Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:
 Should the client not receive a grading and drainage plan during the design process or the on-site grades differ from the grading and drainage plan received, the client reserves the right to apply slope stabilization measures where the specified gravel will not stabilize. Gravel smaller than 2" - 4" coarse gravel will not stabilize on a slope greater than 3:1. The gravel will be placed in the field of the specified gravel. To stabilize the slope, all vegetative material shall remain per plan.

SEE SHEET L1.2 FOR DETAILS

PLANT LEGEND

-  SHILOH (M) 24
Shiloh x 24
-  SHILOH (M) 24
Shiloh x 24
-  VITER (M) 14
Viter (M) 14
-  COTTONWOOD (L) 8
Cottonwood (L) 8
-  RED YUCCA (L) 25
Red Yucca (L) 25
-  RED YUCCA (L) 25
Red Yucca (L) 25
-  ROCKLY PEAK (L) 12
Rockly Peak (L) 12
-  BEARDSLEE (L) 20
Beardslee (L) 20
-  NATIVE YUCCA 15
Native Yucca 15
-  AGAVE spp.
Agave spp.
-  PARNER COTTONWOOD (L) 15
Parner Cottonwood (L) 15
-  THREE-LOBE YUCCA (L) 22
Three-Lobe Yucca (L) 22
-  APPLE PLUM (L) 15
Apple Plum (L) 15
-  CHAMAEDA (L) 56
Chamaeda (L) 56
-  POME CASTLE SAGE (L) 40
Pome Castle Sage (L) 40
-  TURPENTINE BUSH (L) 91
Turpentine Bush (L) 91
-  WINTER JASMINE (L) 11
Winter Jasmine (L) 11
-  SANTA FE BEGON SAVANA
Santa Fe Begon Savana
-  24 BOULDERS



The Hilltop
 LANDSCAPE ARCHITECTS & CONSULTANTS
 Cont. Lic. #26458
 7808 Edin N.E.
 Albuquerque, NM 87184
 P.O. Box 1000
 P.O. (505) 898-7720
 on the hilltop-landscape.com



PRELIMINARY SET

4-21-07 SITE REVISION R10M

LANDSCAPE PLAN

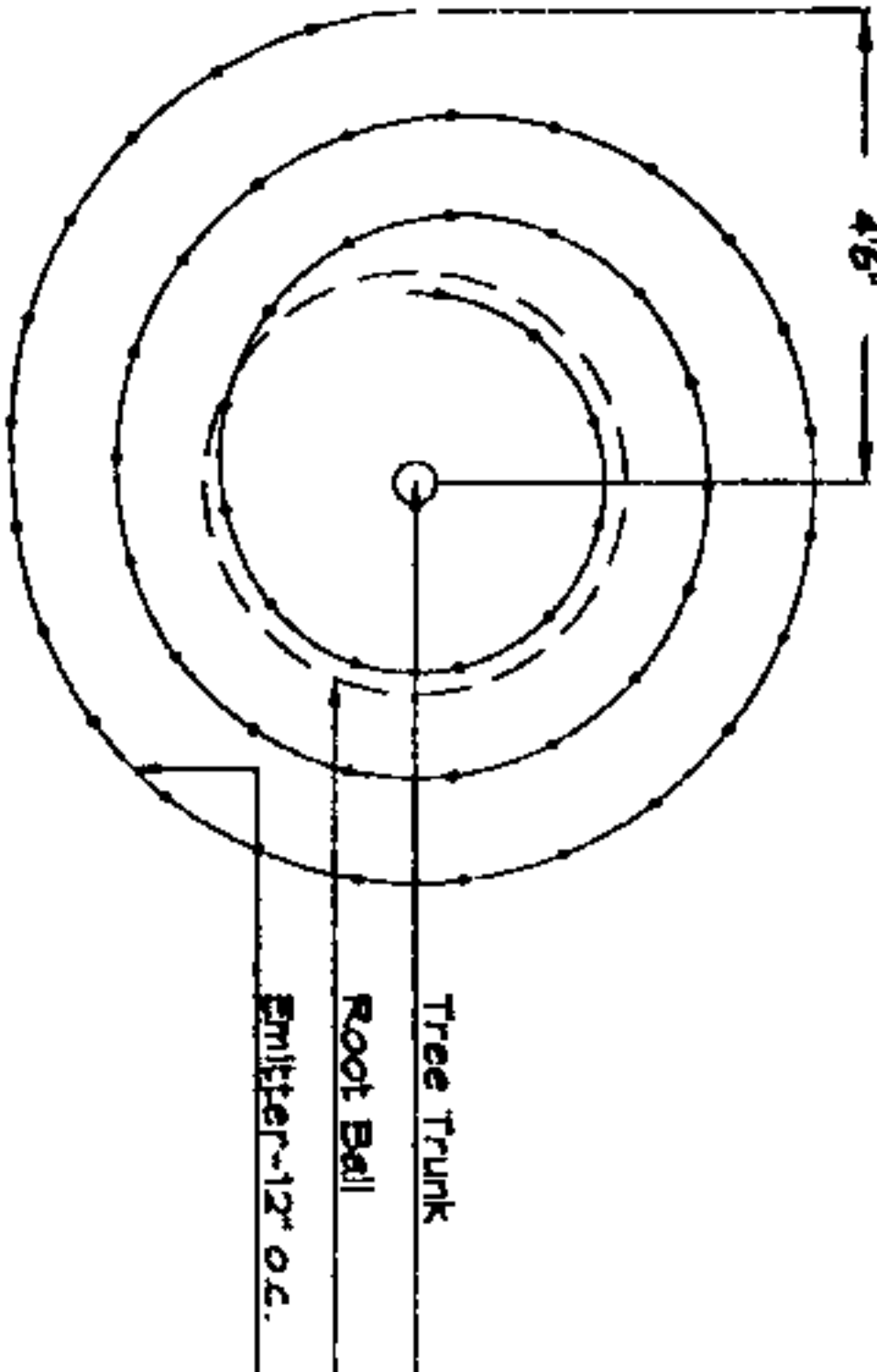
MECHENBIER CONSTRUCTION INC.
 8004 WASHINGTON N.E. SUITE A OFFICE: (505) 826-1676
 ALBUQUERQUE, NM 87113 FAX: (505) 823-1516
 WEB: WWW.MECHENBIER.COM

PROPOSED RETAIL/OFFICE BUILDING
 LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION
 ALAMEDA BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87113

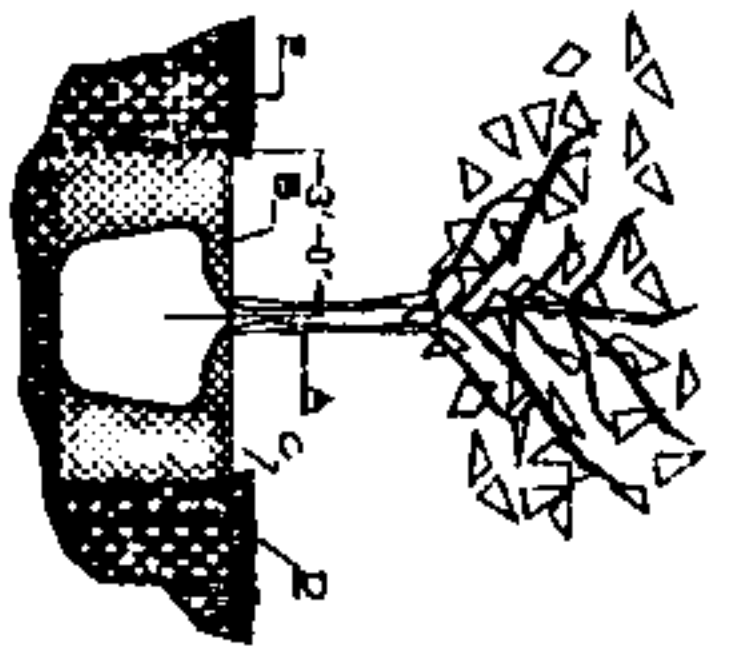
SCALE: 1" = 20'-0"
 PLOT DATE: FEB 21, 2007
 FILENAME: LANDSCAPE
 DRAWN BY: RMM

DESIGN DATA:
 HEATED AREA: X SQ. FT.
 BASEMENT: X SQ. FT.
 TOTAL HEATED: X SQ. FT.
 GARAGE: X SQ. FT.
 FRONT PORCH: X SQ. FT.
 BACK PATIO: X SQ. FT.

SHEET 1 OF 12
 OF: L1.2



Netafim Spiral Detail



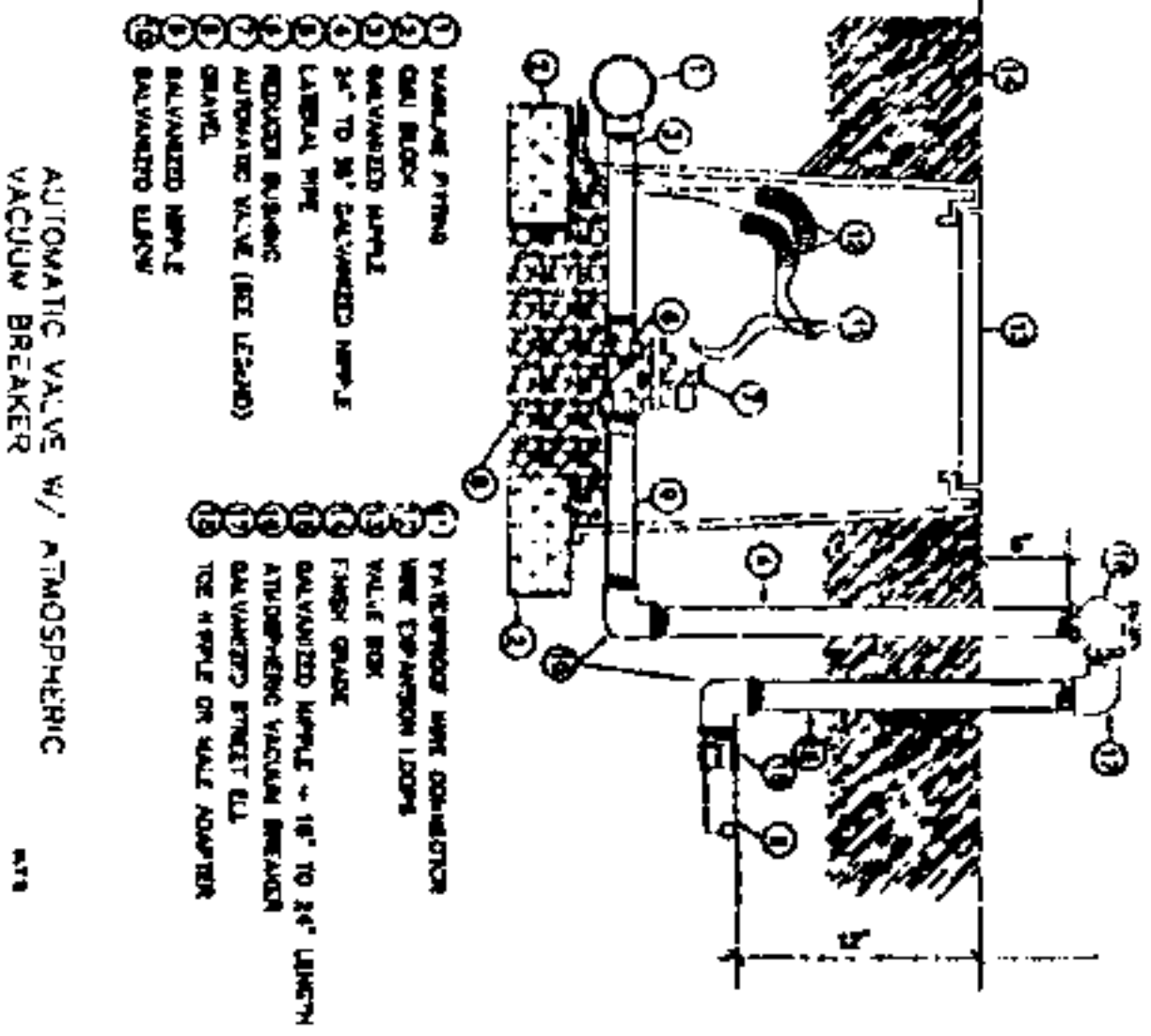
GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DIG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED. THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURIAL SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TIRE AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL
NTS



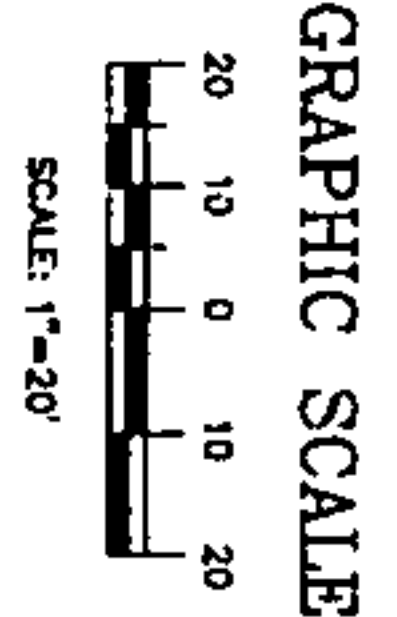
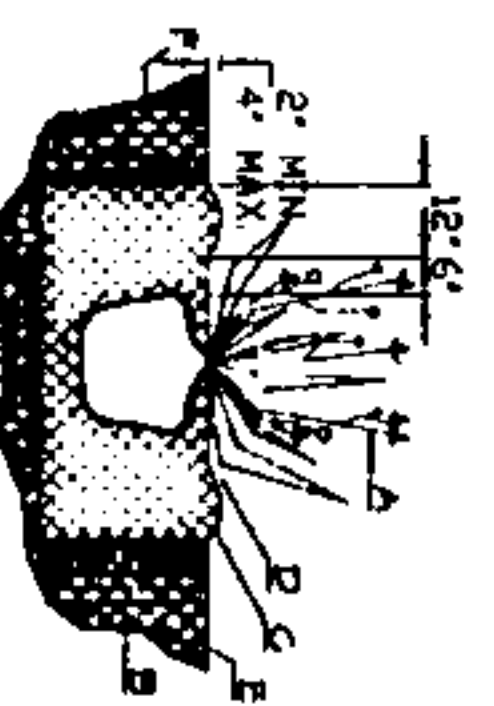
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. DRAIN BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

SHRUB PLANTING DETAIL
NTS



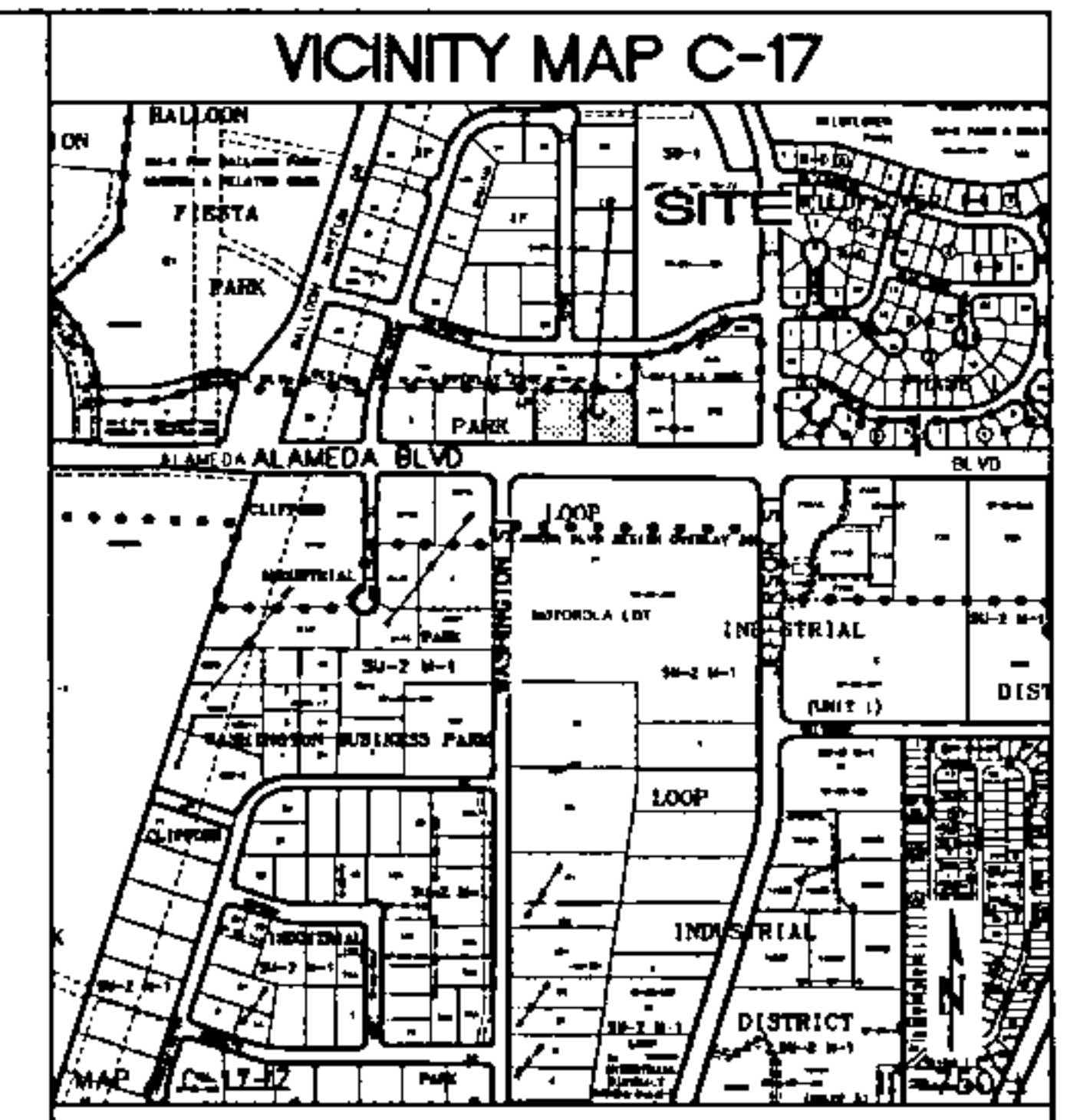
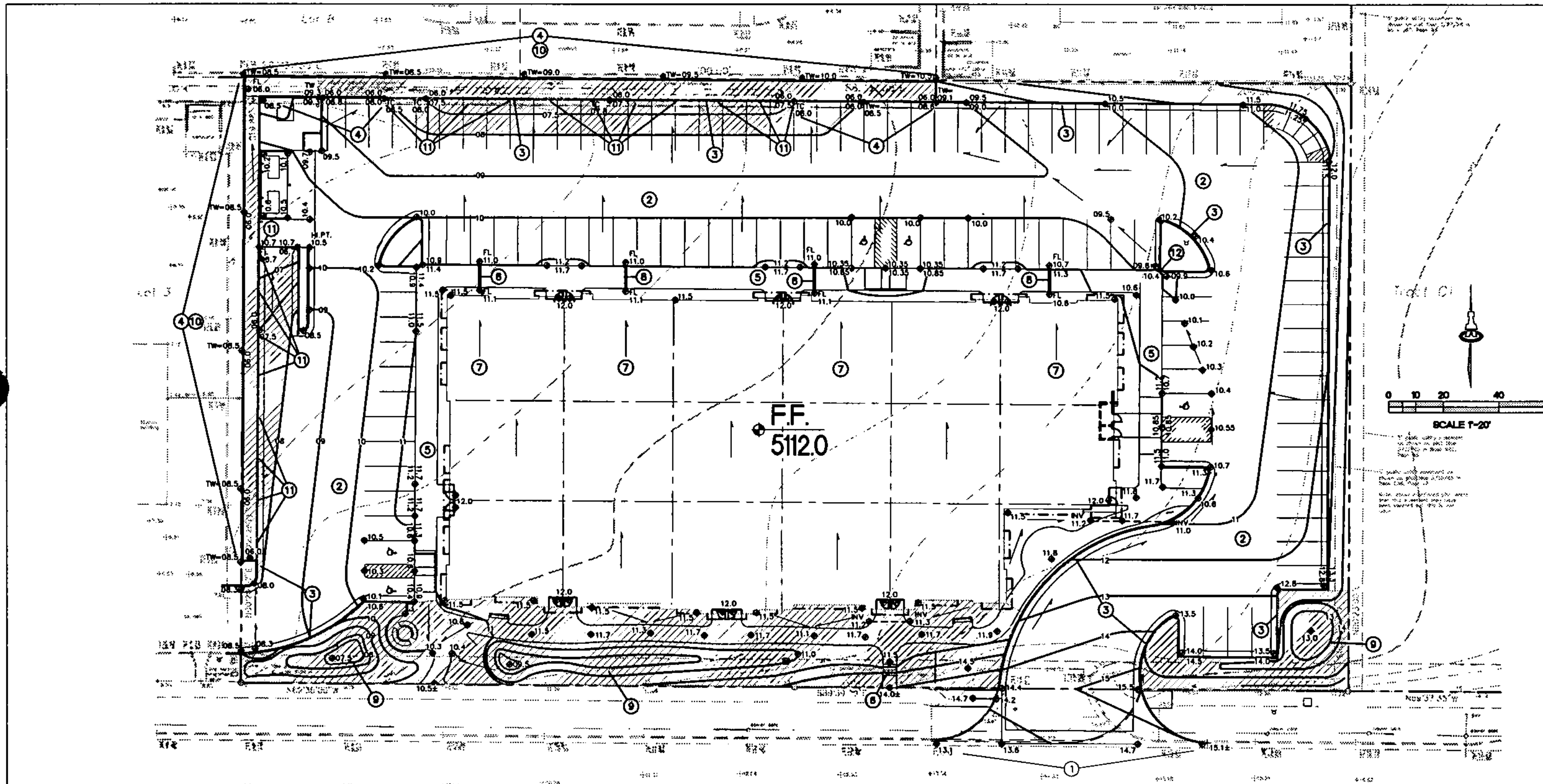
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #25458
7001 LOMA N.W. N.M. 87154
Ph: (505) 898-9890
Fax: (505) 898-7737
e-mail: hilltop@landscap.org.com
A member of The Hilltop Group, Inc.
The Hilltop Group, Inc. is an Equal Opportunity Employer.
The Hilltop Group, Inc. is an Equal Opportunity Employer.

A 4-27-07 SITE REVISION RWH

LANDSCAPE PLAN

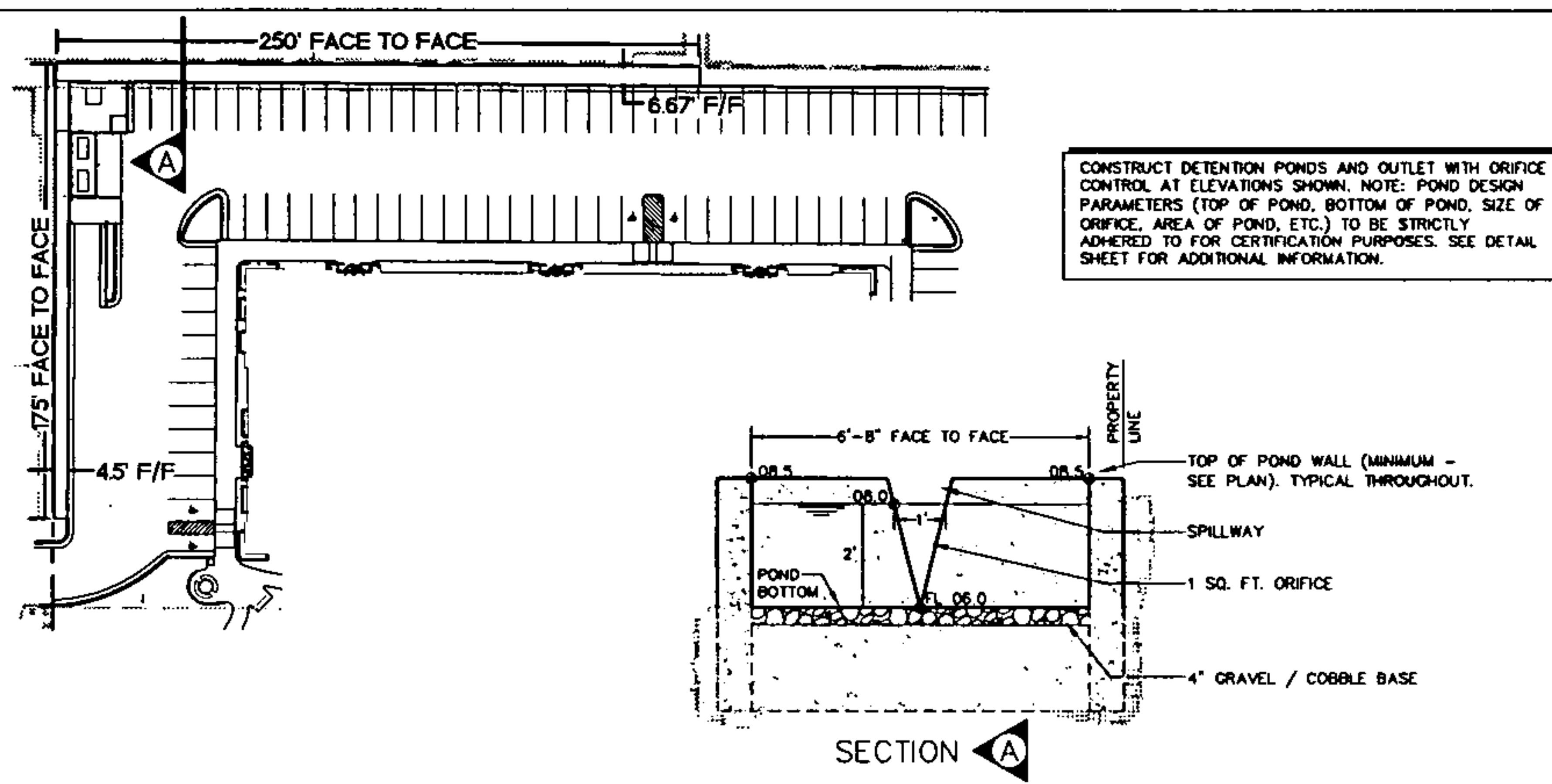
PRELIMINARY SET

 8804 WASHINGTON N.E. SUITE A ALBUQUERQUE, N.M. 87113 TEL: WWW.MECHENBIER.COM	PROPOSED RETAIL/OFFICE BUILDING LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION ALAMEDA BLVD. NE ALBUQUERQUE, NEW MEXICO 87113	SCALE: 1" = 20'-0" PLOT DATE: FEB. 2, 2007 FILENAME: LANDSCAPE DRAWN BY: RWH	HEATED AREA: BASEMENT: TOTAL HEATED: GARAGE: FRONT PORCH: BACK PATIO:	SHEET 1.2 OF 1.12	DESIGN DATA: L.F.L. S.O.S. X.S.O.S. X.S.O.S. X.S.O.S. X.S.O.S. X.S.O.S.
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- ### KEYED NOTES
- CONSTRUCT NEW PRIVATE ENTRANCE PER C.O.A. STD. DWG. 2426. MATCH EXISTING TOP OF CURB AND FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. TRANSITION CURB HEIGHT FROM 6" (AT ROW) TO 6" (ON-SITE) OVER 10.0'. SEE ARCHITECTURAL FOR DIMENSIONS.
 - CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
 - CONSTRUCT 6" HIGH MEDIAN CURB AND OUTER PER C.O.A. STD. DWG. 2415 (TYPICAL) UNLESS NOTED OTHERWISE.
 - TOP OF WALL ADJACENT TO PROPOSED PONDING AREA TO BE CONSTRUCTED AT 08.5 TYPICAL OR 6" ABOVE ADJ. GRADE (WHICHEVER IS HIGHER). SEE DETAIL THIS SHEET FOR ORIFICE AND CONTROLLED SPILLWAY THROUGH CURB.
 - CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. TOP OF WALK TO BE 6" ABOVE TOP OF ADJACENT PAVEMENT (TYPICAL). SEE ARCHITECTURAL FOR RAMP LOCATIONS AND DETAILS.
 - CONSTRUCT STEPS AS REQUIRED TO TRANSITION BETWEEN EXISTING AND PROPOSED WALKS THIS AREA. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
 - CONCENTRATED ROOF FLOW TO BE RELEASED VIA DOWNSPOUTS AT FACE OF BUILDING. SEE KEYED NOTE #8. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
 - INSTALL 1" WIDE SIDEWALK TRENCH DRAINS LOCATED AT EACH ROOF DRAIN OUTLET AND AT SOUTH SIDEWALK TO PASS CONCENTRATED FLOW.
 - CONSTRUCT 18" DEEP WATER HARVESTING POND TO FULL EXTENTS OF LANDSCAPED AREA. POND SIDE SLOPES TO BE 3:1 MAXIMUM TO ACHIEVE REQUIRED VOLUME.
 - CONSTRUCT VERTICAL WALLED POND TO ELEVATIONS SHOWN TO ACHIEVE REQUIRED PONDING. SEE DETAIL THIS SHEET.
 - PROVIDE 1" WIDE (BOTTOM WIDTH) OPENING IN WALL / CURB AT FLOWLINE ELEVATION (15' O.C.) TO PASS FLOW TO POND. DIRECT ALL SURFACE FLOW TO OPENINGS.

MAIN POND DIMENSIONS



GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL. CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- WHERE NEW GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- ALL COBBLES TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING COBBLE EROSION PROTECTION.
- ALL SIDESLOPES > / = 3:1 MUST HAVE PERMANENT EROSION CONTROL (COBBLES OR LANDLOK TRM 450 O.E.) INSTALLED. TYPICAL.

S.O.19 : NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

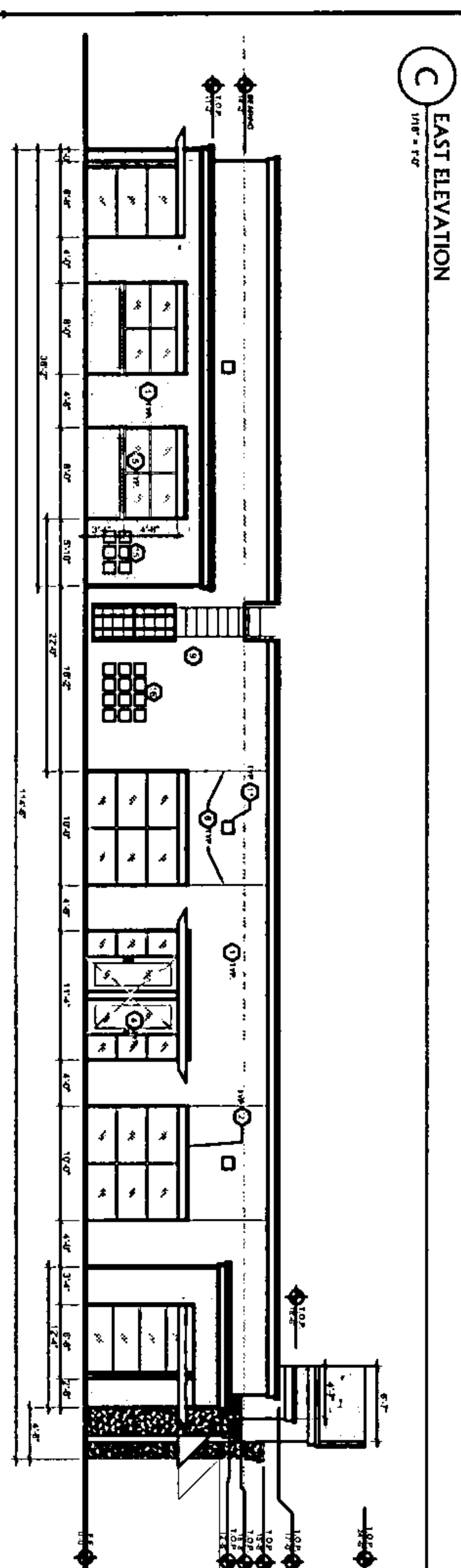
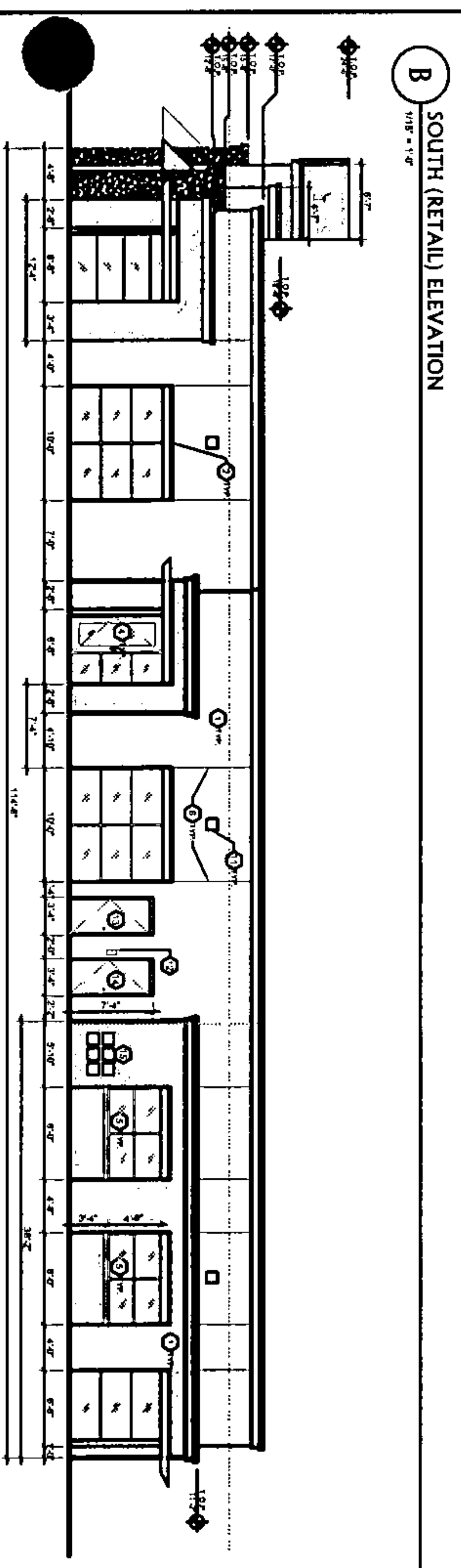
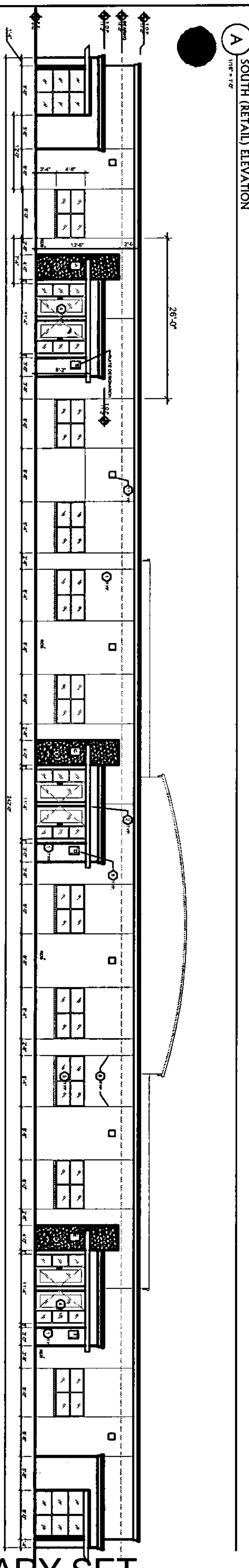
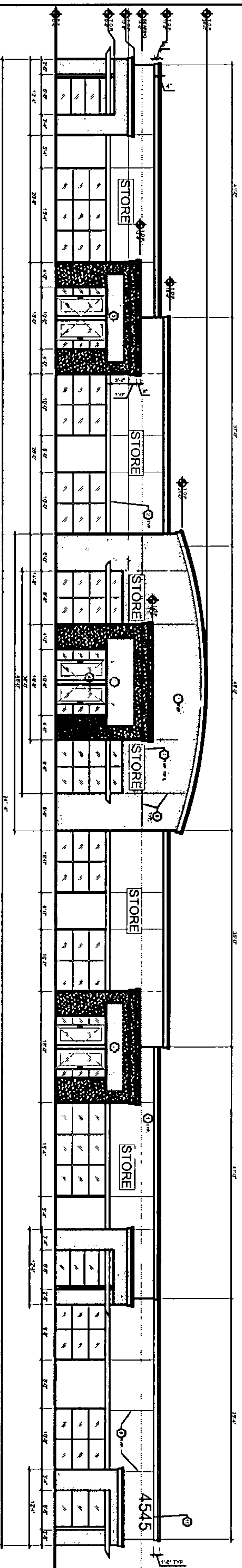
- ± 47.1 EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- 54.5 PROPOSED SPOT ELEVATION
- 55 PROPOSED CONTOUR
- FL FLOW LINE
- FF FINISHED FLOOR
- FN PROPOSED FIRE HYDRANT
- ▨ LIMITS OF PROPOSED POND

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Marquis Street N.E.
 Albuquerque, New Mexico 87106
 Ph: 505-265-8525 Fax: 505-265-2642
 1547980.dwg Sep 26, 2007

Richfield Park Subdivision
 Lots 4 and 5
 Mechenbier Const.

GRADING AND DRAINAGE PLAN

Date	Rev	Revisions	Date	Job No.
SEPT 07				1597
				C001
				SH OF



D WEST ELEVATION
1/16" = 1'-0"

C EAST ELEVATION
1/16" = 1'-0"

B SOUTH (RETAIL) ELEVATION
1/16" = 1'-0"

A SOUTH (RETAIL) ELEVATION
1/16" = 1'-0"



PRELIMINARY ELEVATIONS

PRELIMINARY SET

- KEYED NOTES:**
- 1) EXISTING STUCCO SYSTEM, REFER TO EXTERIOR FINISH LEGEND
 - 2) CLEAN AND REPAIR ALUMINA BRACK STRUCTURE
 - 3) FABRIC FINISH, ACCEPT COLOR TO COORDINATE WITH STUCCO
 - 4) CLEAN AND REPAIR ALUMINA BRACK FRONT WITH BRUSHED TINTED GLASS
 - 5) CLEAN AND REPAIR ALUMINA BRACK
 - 6) STUCCO FINISH, REFER TO EXTERIOR FINISH LEGEND
 - 7) STUCCO FINISH WITH LIGHT CIVIL LETTERING, REFER TO ST. 11
 - 8) STUCCO FINISH WITH LIGHT CIVIL LETTERING, REFER TO ST. 11
 - 9) STUCCO FINISH WITH LIGHT CIVIL LETTERING, REFER TO ST. 11
 - 10) STUCCO FINISH WITH LIGHT CIVIL LETTERING, REFER TO ST. 11
 - 11) WALL FINISH
 - 12) FINISH OF EXTERIOR OF BUILDING
 - 13) ENTRY TO TELEPHONE DEMARKATION PANEL ROOM
 - 14) ENTRY TO THE AREA & ROOMS WITH BROWN PAINTED ROOM
 - 15) GYM ROOM
 - 16) ELECTRICAL

EXTERIOR FINISH LEGEND:

- EXISTING STUCCO SYSTEM, COLOR REFER TO SEE REVISIONS FOR APPROPRIATE COLOR
- EXISTING STUCCO SYSTEM, COLOR REFER TO SEE REVISIONS FOR APPROPRIATE COLOR
- EXISTING STUCCO SYSTEM, COLOR REFER TO SEE REVISIONS FOR APPROPRIATE COLOR
- EXISTING STUCCO SYSTEM, COLOR REFER TO SEE REVISIONS FOR APPROPRIATE COLOR

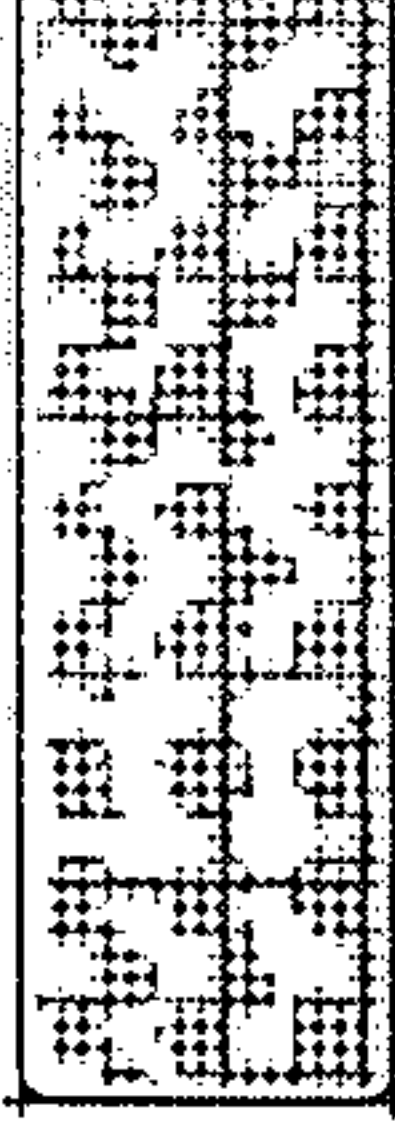
MECHENBIER CONSTRUCTION INC.
 8000 WASHINGTON BLVD. SUITE 100 ALBUQUERQUE, NM 87110
 OFFICE: (505) 262-8800 FAX: (505) 262-8800
 WWW.MECHENBIER.COM

PROPOSED RETAIL/OFFICE BUILDING
 LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION
 4545 ALAMEDA BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87113

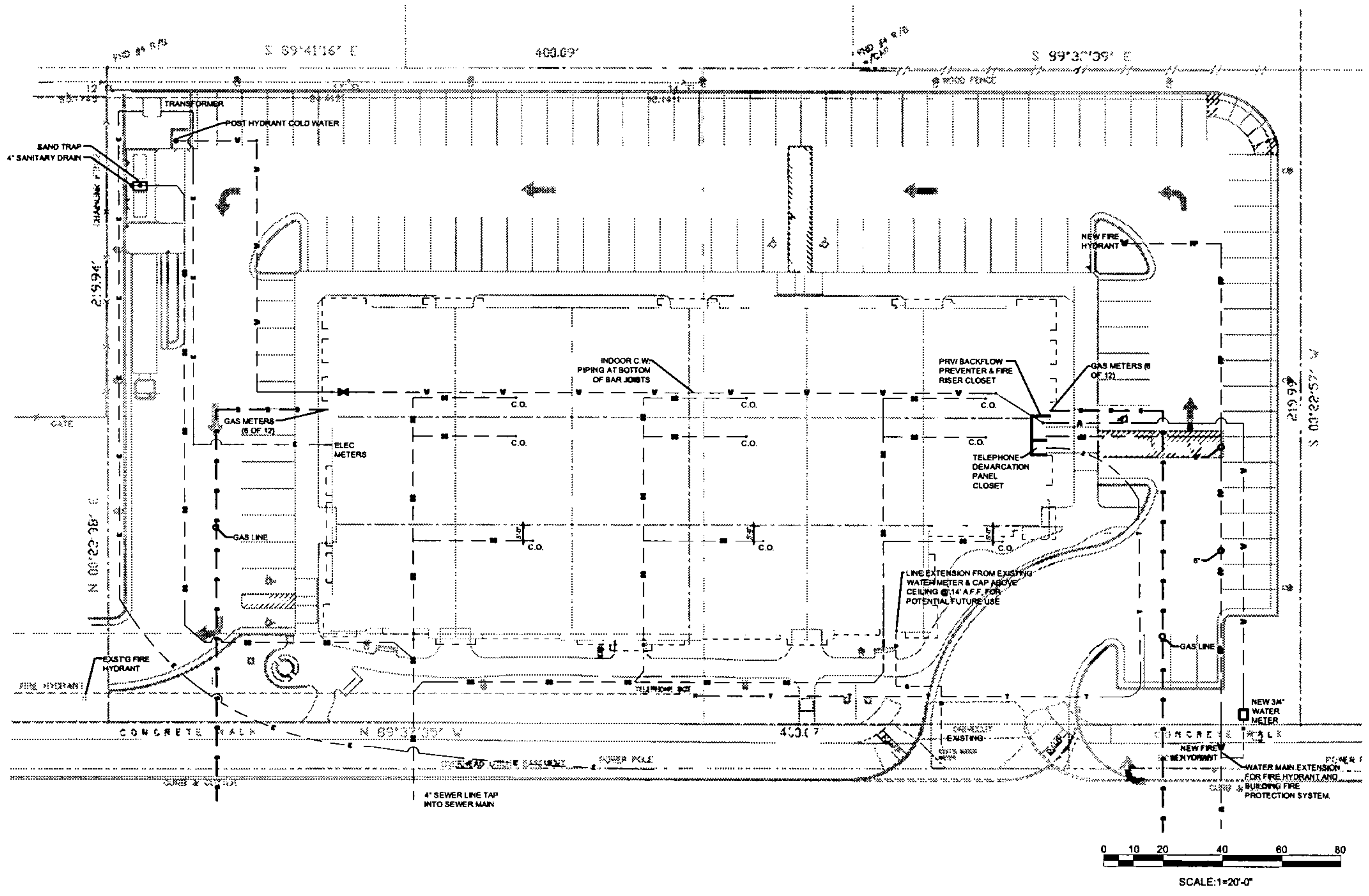
SCALE: 1/8" = 1'-0"
 DATE: 11/15/11
 DRAWN BY: L. HARRIS

DESIGN DATA
 SHEET OF 7

SHEET
 OF 7



PRELIMINARY SET



CONCEPTUAL SITE UTILITY PLAN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form **S**

SUBDIVISION

Major Subdivision action

Minor Subdivision action **SKETCH**

Vacation **V**

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form **Z**

ZONING & PLANNING

Annexation

Zone Map Amendment (Establish or Change Zoning)

Sector Plan (Phase I, II, III)

Amendment to Sector, Area, Facility or Comprehensive Plan

Text Amendment (Zoning Code/Subdivision Regulations)

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JOHN & CYNTHIA MECHENBIER PHONE: 314-7700

ADDRESS: 8500 WASHINGTON NE Suite A-6 FAX: 314-7799

CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): FORSTBAUER SURVEYING LLC PHONE: 268-2112

ADDRESS: 4116 LOMAS BL NE FAX: 268-2032

CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: FORSTBAU@AOL.COM

DESCRIPTION OF REQUEST: LOT CONSOLIDATION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot of Tract No. 455 Block: _____ Unit: _____

Subdiv. Addn. Richfield PARK

Current Zoning: IP Proposed zoning: _____

Zone Atlas page(s): C17 No. of existing lots: 2 No. of proposed lots: 1

Total area of site (acres): 2.0202 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____

UPC No. 101706428739111104; 101706430839111105 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: ALAMEDA BLVD NE

Between: WASHINGTON ST. NE and JEFFERSON ST NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Terese Forstbauer DATE 3/5/07

(Print) Forstbauer Surveying LLC by Terese Forstbauer Applicant Agent

FOR OFFICIAL USE ONLY

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	07 DRB - 00265	SK	513)	\$ 0
<input checked="" type="checkbox"/> All fees have been collected	-	-	-	\$
<input checked="" type="checkbox"/> All case #s are assigned	-	-	-	\$
<input checked="" type="checkbox"/> AGIS copy has been sent	-	-	-	\$
<input checked="" type="checkbox"/> Case history #s are listed	-	-	-	\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	-	-	-	\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus	-	-	-	\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	-	-	-	\$
	Hearing date <u>March 14, 2007</u>			Total \$ 0

Rudew. Gomez 3/5/07
Planner signature / date

Project # 1005410

Form revised 9/01, 3/03

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing. *(on one drawing)*
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Signed** Pre-Annexation Agreement if Annexation required.
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

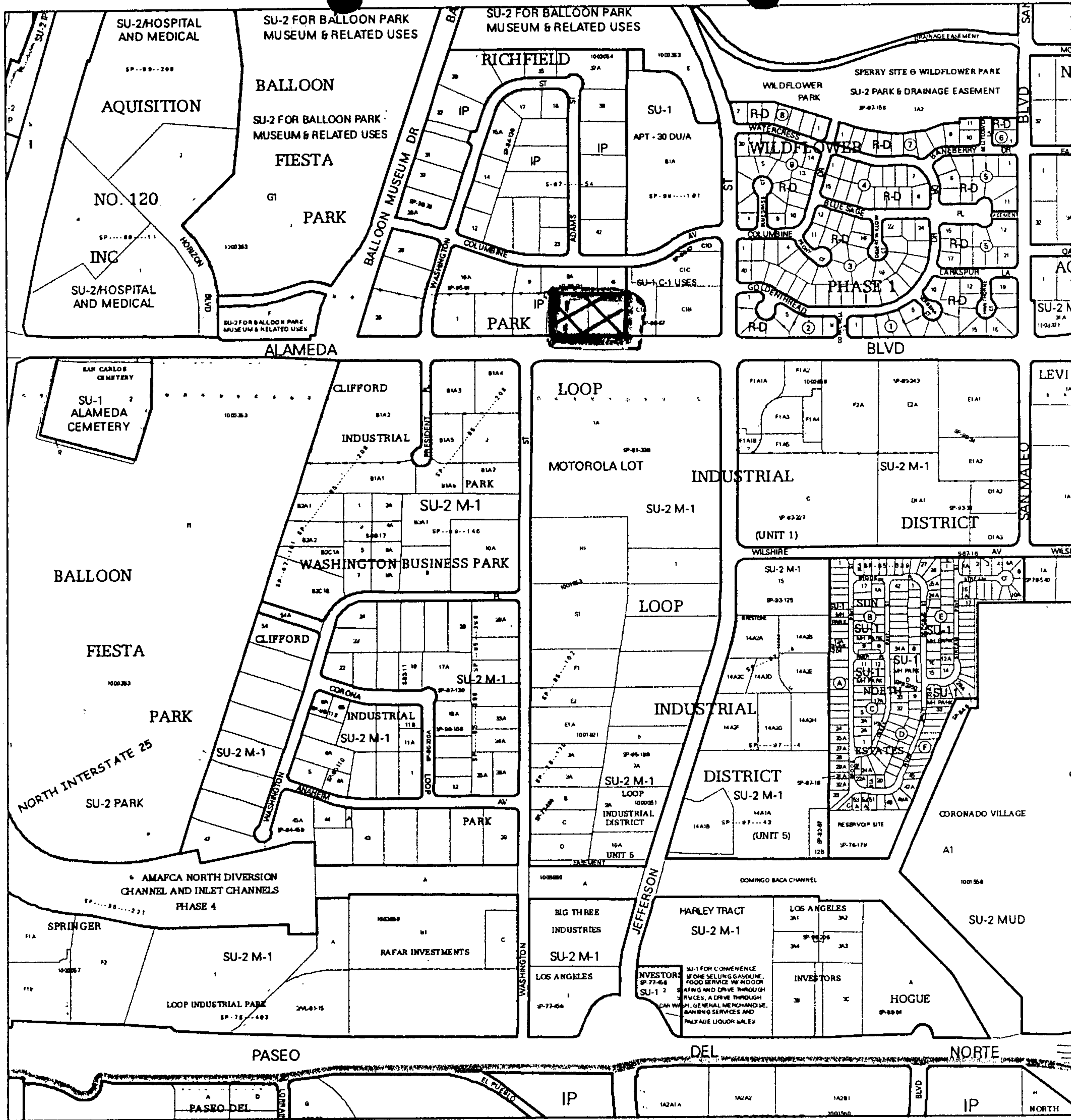
FORSTNER SURVEYING LLC
BY TERESA FORSTNER Applicant name (print)
Teresa For Applicant signature / date
3/5/07



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07 DRB - 00265

Form revised 11/04
Richard Gomez 3/5/07
 Planner signature / date
Project # 1005410



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/18/2007

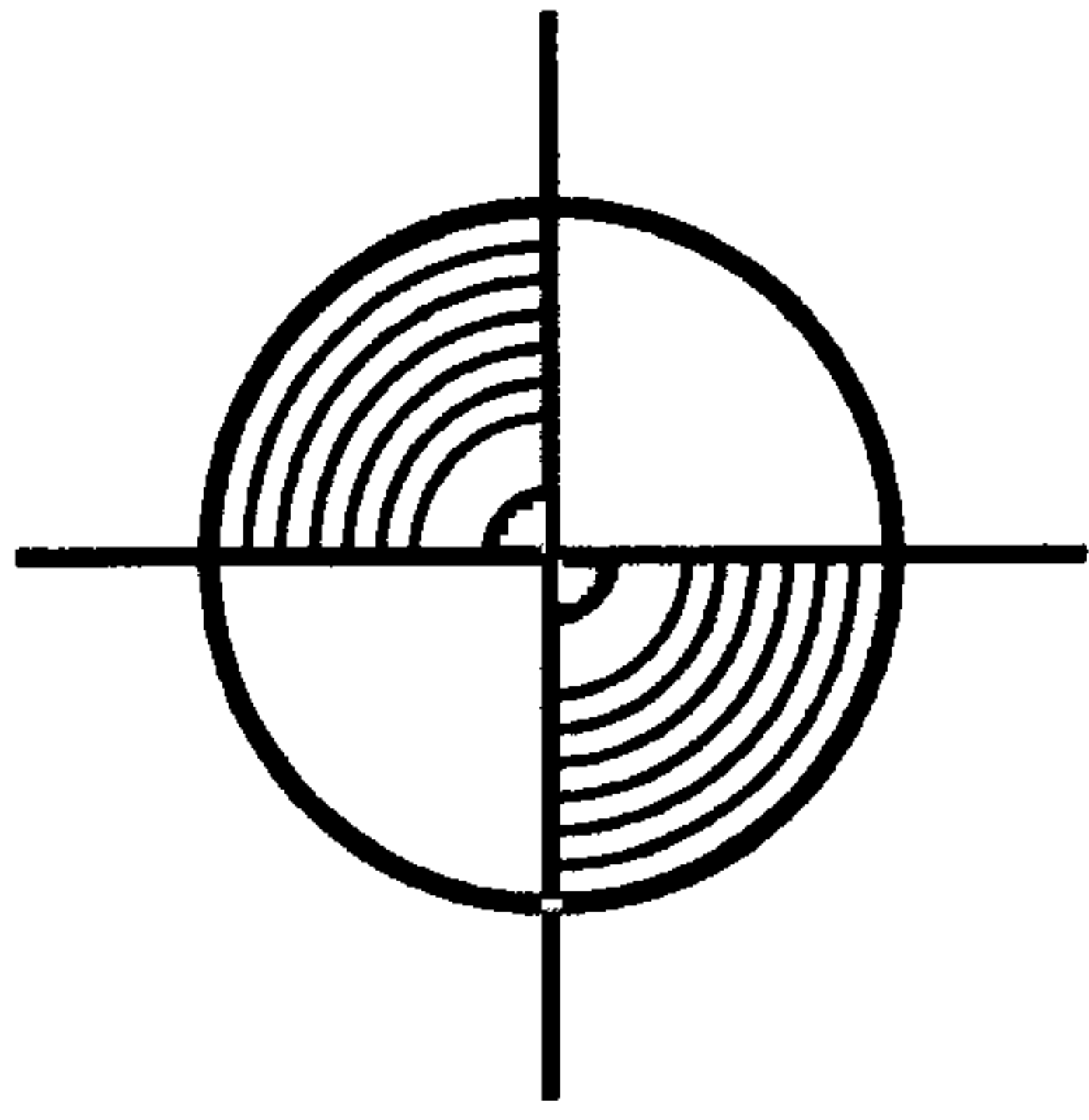
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



**Forstbauer
Surveying
Company, LLC**

March 5, 2007

*Professional Surveyor
New Mexico • Arizona • Colorado
United States Mineral Surveyor*

To: Development Review Board

From: Terese C. Forstbauer

Re: Consolidation of Lots 4 and 5, Richfield Park Subdivision into one Lot.

Forstbauer Surveying LLC, agent for John and Cynthia Mechenbier requests sketch plat review and comments for consolidation of said Lots 4 and 5 into one lot. The consolidation is necessary to allow for future development.