

- REVISIONS:
- 4-3-12 DRB 3-21-12 COMMENTS & EASEMENT REVISIONS
  - 5-11-12 ENTRY DRIVE RELOCATION & ASSOCIATED REVISIONS
  - 6-13-12 MEDIAN CLARIFICATIONS, DRAINAGE EASEMENT MAINTENANCE & BENEFICIARIES CLARIFICATION, REPEAT COORDINATION
  - 6-18-12 DRB COMMENTS ZONING & BOLLARD DETAIL
  - 10-16-12 ADMINISTRATIVE AMENDMENT - NEW RETAINING GARDEN WALLS

SCALE:  
1" = 20'-0"

PLAN DATE:  
FEB 23, 2012

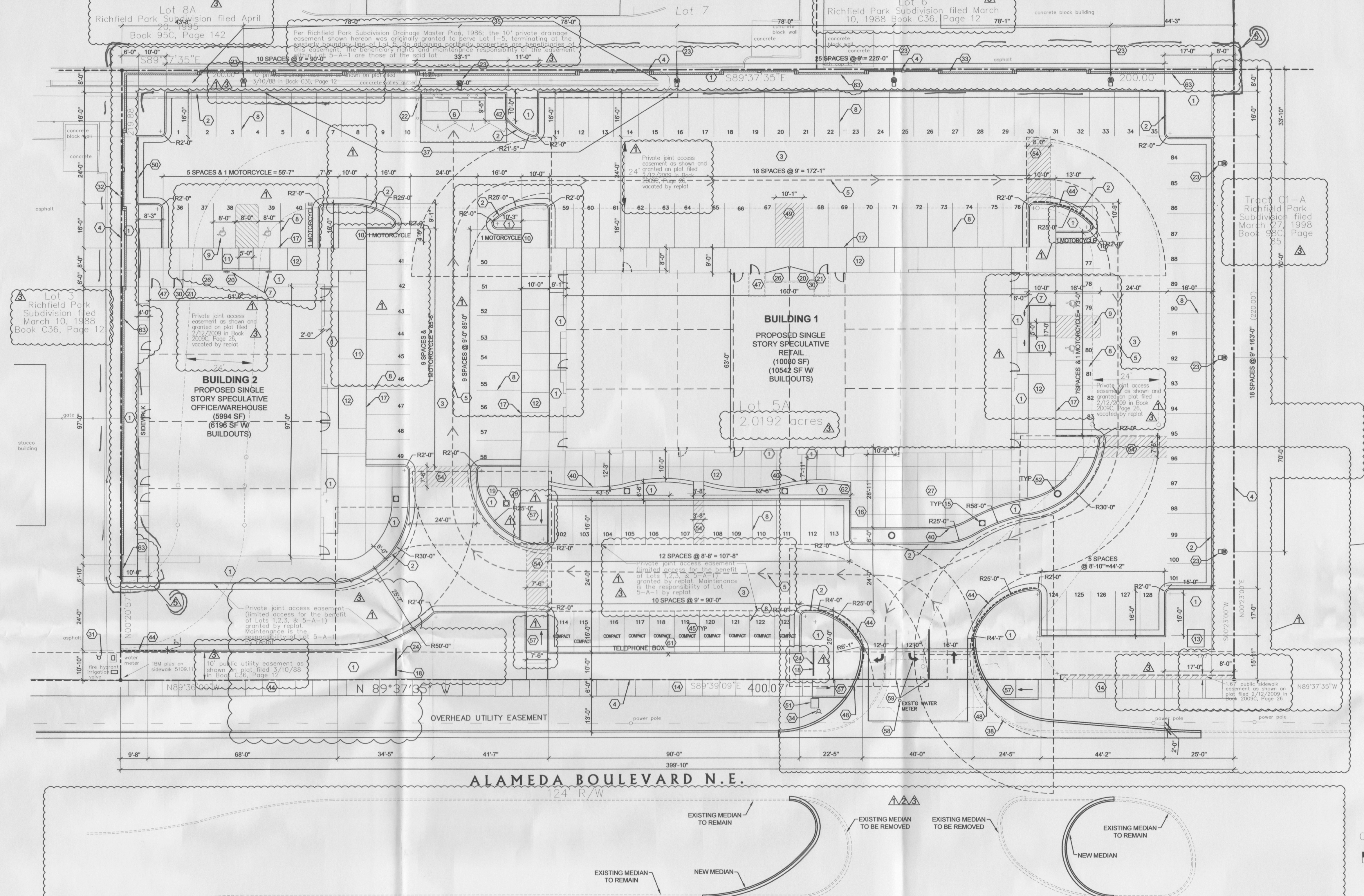
FILENAME:  
SITE

DRAWN BY:  
L. KUENN

PROPOSED RETAIL/OFFICE BUILDINGS  
LOT 5A RICHFIELD PARK SUBDIVISION  
4545 ALAMEDA BLVD NE  
ALBUQUERQUE, NEW MEXICO 87113

**MECHENBIE**  
CONSTRUCTION INC.  
8600 WASHINGTON ST. NE SUITE 4-5  
ALBUQUERQUE, NM 87117  
TEL: (505) 914-7774  
WWW.MECHENBIE.COM

- KEY NOTES:**
- LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
  - STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
  - ASPHALT PAVING @ DRIVE LINES AND AT PARKING STALLS.
  - PROPERTY LINE.
  - WASTE COLLECTION ROUTE.
  - REFUSE PAD, APRON, AND ENCLOSURE WITH RECYCLING AREA, WITH GREASE TRAP & FROST PROOF YARD POST HYDRANT, PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAILS B/S1.2 THROUGH E/S1.1.
  - POLE MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE NS1.2.
  - PARKING STALL STRIPING, TYPICAL.
  - PAINTED HANDICAP PARKING SYMBOL.
  - MOTORCYCLE/MOPED PARKING AREA.
  - HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
  - NEW CONCRETE SIDEWALK. WIDTH AS DENOTED. MINIMUM UNOBSTRUCTED WIDTH SHALL BE 6'-0".
  - TRANSFORMER LOCATION PAD MOUNTED, PER PNM SPECIFICATIONS.
  - EXISTING 6" CITY SIDEWALK.
  - DECORATIVE POLE LIGHTING OR LIGHT BOLLARDS ALONG SOUTHWEST FRONT OF BUILDING ALONG THE SIDEWALK NOT EXCEEDING 16 FT. HT. SEE DETAIL G/S1.2.
  - BIKE RACK. SEE DETAIL L/S1.2.
  - TURNDOWN SIDEWALK.
  - MONUMENT SIGN. SEE DETAIL K/S1.2.
  - FLAGPOLE 20' HIGH POLE W/BRUSHED ALUMINUM FINISH.
  - GAS METER LOCATIONS (12 TOTAL - 8 AT BLDG 1, 4 AT BLDG 2).
  - ROOF ACCESS HATCH & LADDER LOCATION.
  - 6" STEEL BOLLARDS, FILLED W/ CONCRETE. SEE DETAIL F/S1.2.
  - POLE LIGHT SEE DETAIL G/S1.2. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING. ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE ORDINANCES.
  - DIRECTIONAL SIGNAGE - SEE M/S1.2.
  - ELECTRICAL METERS LOCATION.
  - TENANT SHARED OUTDOOR DINING AREA.
  - EXISTING HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
  - MAIL BOX LOCATION.
  - TELEPHONE DEMARCATION PANEL ROOM.
  - EXISTING FIRE HYDRANT.
  - EXISTING CHAIN LINK FENCE TO BE REMOVED AND REPLACED. SEE KEYED NOTE 63.
  - EXISTING WOOD FENCE TO BE REMOVED AND REPLACED. SEE KEYED NOTE 63.
  - NEW FIRE HYDRANT.
  - DEMO DRAINAGE SWALE - REPLACE WITH LANDSCAPING.
  - CURE CUTS AT 15' C.C. TO PASS FLOW TO PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
  - EXISTING DRIVE CUT.
  - NOT USED.
  - 3'-6" HIGH SCREEN WALL. STUCCO COLOR TO MATCH BUILDING.
  - SEATING WALL. TOP OF WALL AT 20' ABOVE GROUND LEVEL; WALL DEPTH 16". STUCCO COLOR TO MATCH BUILDING.
  - NO PARKING. CURBS TO BE PAINTED DENOTED AS SUCH (LOCATION DENOTED BY DASHED LINE ON PLAN).
  - NEW HANDICAP TOB PER CITY STANDARDS. 1:12 MAX. SLOPE.
  - ALL COMPACT SPACES TO BE STAMPED WITH THE WORD "COMPACT" ON THE PAVEMENT.
  - NOT USED.
  - FIRE SPRINKLER RISER AND POTABLE WATER BACKFLOW PREVENTER ROOM.
  - RELOCATED ENTRY DRIVE.
  - STAMP PAVEMENT "NO PARKING" FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
  - NO PARKING. CURBS TO BE PAINTED YELLOW TO DESIGNATE AS SUCH.
  - NEW WATER METER, 1" SERVICE, 3/4" METER.
  - LIGHTING BOLLARD.
  - NOT USED.
  - PAINT STRIPING ON PAVEMENT FOR PEDESTRIAN CROSSWALK.
  - NOT USED.
  - NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE. ALL RAMP LOCATED IN WITHIN CITY RIGHT OF WAY TO HAVE TRUNCATED DOMES.
  - CAP OFF EXISTING WATER METER. SEE DETAIL P/S1.2 SITE UTILITY PLAN.
  - NEW LANE STRIPING AND DIRECTIONAL ARROWS AT ACCESS POINT PER C.O.A. STANDARDS.
  - NOT USED.
  - RELOCATE EXISTING TELEPHONE BOX.
  - EXTEND LOCKERS FOR BIKE HELMETS, GEAR, ETC.
  - NEW DESERT TAN SPLIT FACE STUCCO CMU RETAINING GARDEN WALL ALONG NORTH AND WEST PROPERTY LINES. SEE RETAINING WALL PERMIT SET SHEETS 1 AND 2. MAXIMUM HEIGHT ON EXTERIOR SIDE OF WALL FROM NEIGHBORING PROPERTY IS 6'-0" EXPOSED ON NORTH SIDE AND 8'-8" ON WEST SIDE.



DRB ADMINISTRATIVE  
SITE PLAN AMENDMENT

PROJECT NO. 1005410  
APPLICATION NO. 12DRB-70062

1/23/12  
18-1774

PLANNING DIRECTOR DATE

**PROJECT DESCRIPTION:**

ADDRESS: 4545 ALAMEDA BOULEVARD NE  
ALBUQUERQUE, NM 87113

LEGAL DESCRIPTION: LOT 5-A BEING A REPLAT OF LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION JOHN E & CYNTHIA A MECHENBIE 101706430039011104

OWNER: C-17

UPC: SU-2 NC

ZONING: SU-2 NC

TOTAL SITE AREA: 88,004 SF

DEVELOPED AREA: 88,004 SF

CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE, AUTOMATIC SPRINKLER SYSTEM)

REQUIRED PARKING:	RETAIL (M)	PATIO/OUTDOOR DINING AREA:	938 S.F.
RETAIL (M)	10,080/200 = 51	EXTERIOR BENCH SEATING:	
BUSINESS (B)	5,994/200 = 30	TOTAL SEATING REQUIRED	213 LIN FT/ 25 FT = 9
TOTAL PARKING REQUIRED	81	EXTERIOR DINING SEATING (MIN.)	= 16
TOTAL PARKING PROVIDED:	128	BENCH HIGH WALL SEATING	= 52
COMPACT SPACES ALLOWED (33% of 128):	42	TOTAL SEATING PROVIDED	68
COMPACT SPACES PROVIDED:	10		
TOTAL HANDICAP REQUIRED PER 2003 IBC TABLE 1106.1:	4	A MINIMUM OF 25% OF SEATING TO BE SHADED	
TOTAL HANDICAP PROVIDED:	4		
TOTAL MOTORCYCLE/MOPED REQUIRED:	3		
TOTAL MOTORCYCLE/MOPED PROVIDED:	4		
TOTAL BIKE SPACES REQUIRED: 81/20	= 4		
TOTAL BIKE SPACES PROVIDED:	6		

OCCUPANCY GROUPS: M RETAIL, B OFFICE

GROSS BUILDING AREA (INCLUDES OVERHANGS & POPOUTS): 16,738 SF

NET FLOOR AREA: 16,074 SF

NET LOT AREA: 88,004 SF

LESS BUILDING FOOTPRINT AREA: 16,738 SF

NET LOT AREA: 71,226 SF

TOTAL LANDSCAPE PROVIDED: 15,103 SF

LANDSCAPE % NET LOT AREA: 21.2 %

BUILDING USAGE & OCCUPANCY AREAS:  
THE BUILDING WILL BE USED PRIMARILY FOR RETAIL WITH POSSIBLE OFFICE OR MEDICAL USE IN SOME OF THE SPACE. IT IS ESTIMATED THAT APPROXIMATELY 10,080 S.F. SHALL BE RETAIL SPACE (M OCCUPANCY), AND APPROXIMATELY 5,994 S.F. OF THE TOTAL SQUARE FOOTAGE SHALL BE OFFICE/MEDICAL SPACE (B OCCUPANCY).

TRAFFIC CIRCULATION:  
TRAFFIC ENTRY TO THE PROPERTY SHALL BE VIA EAST & WEST-BOUND ALAMEDA BLVD. AT THE EAST END OF THE PROPERTY AND VIA THE SHARED ACCESS EASEMENT WITH LOT 3 RICHFIELD PARK SUBDIVISION AT THE WEST END OF THE PROPERTY. ON-SITE TRAFFIC FLOW IS TWO-WAY THROUGHOUT.

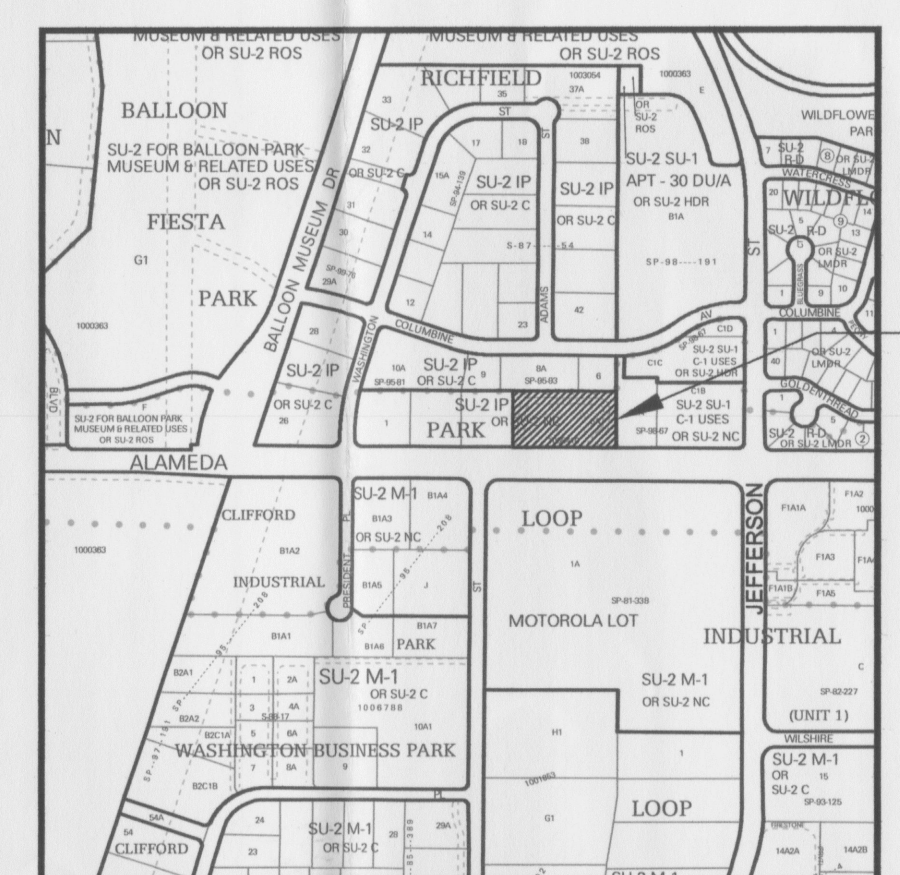
**PROJECT NUMBER: 1005410**

APPLICATION NUMBER: 12DRB-70062

IS AN INFRASTRUCTURE LIST REQUIRED ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	06-20-12	DATE
WATER UTILITY DEPARTMENT	06/20/12	DATE
PARKS AND RECREATION DEPARTMENT	6-20-12	DATE
CITY ENGINEER	8-28-12	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	8-28-12	DATE
SOLID WASTE MANAGEMENT	6-20-2012	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE
ENVIRONMENTAL HEALTH, IF NECESSARY		DATE



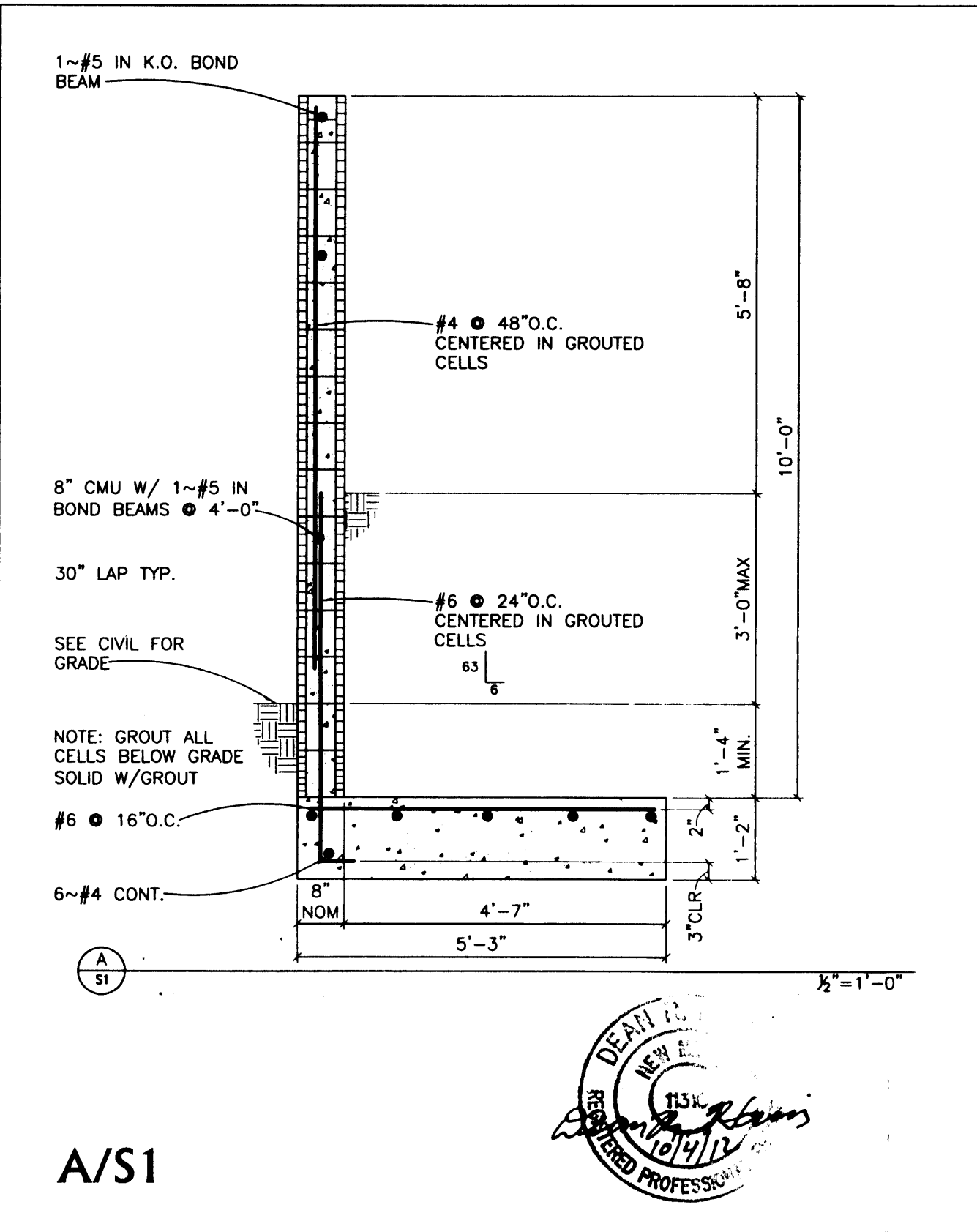
VICINITY MAP: C-17-Z  
**SITE PLAN FOR BUILDING PERMIT**



ADDRESS: 4545 ALAMEDA BOULEVARD NE  
ALBUQUERQUE, NM 87113  
LEGAL DESCRIPTION: LOT 5-A-1 BEING A REPLAT OF LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION  
OWNER: 4545 ALAMEDA N.E., L.L.C.  
UPC: 101706430039011104  
ZONE MAP: C-17  
ZONING: SU-2 (DESCRIPTION: IP OR SU-2 NC)

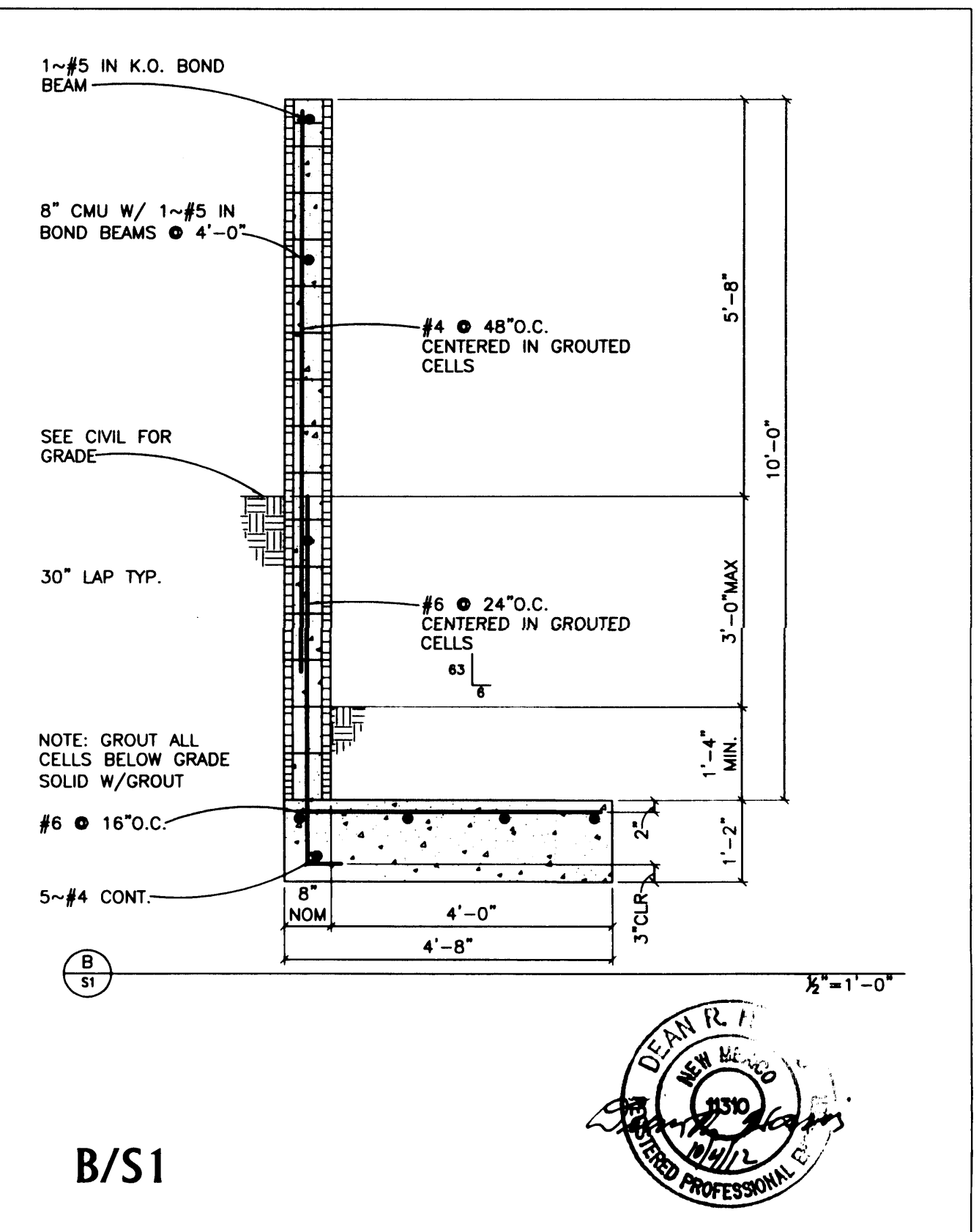
**Desert Eagle Engineering, LLC**  
1200 Prosperity Ave., SE  
Albuquerque, NM 87105  
Ph. (505) 342-0161 Fax (505) 342-0163

Sheet No. 1 of 3 Date: 10/4/12  
Project Name: 4545 ALAMEDA RETAIL  
Subject: SITE WALLS  
Client: MECHENBIER CONSTRUCTION  
Drawn By: DRH



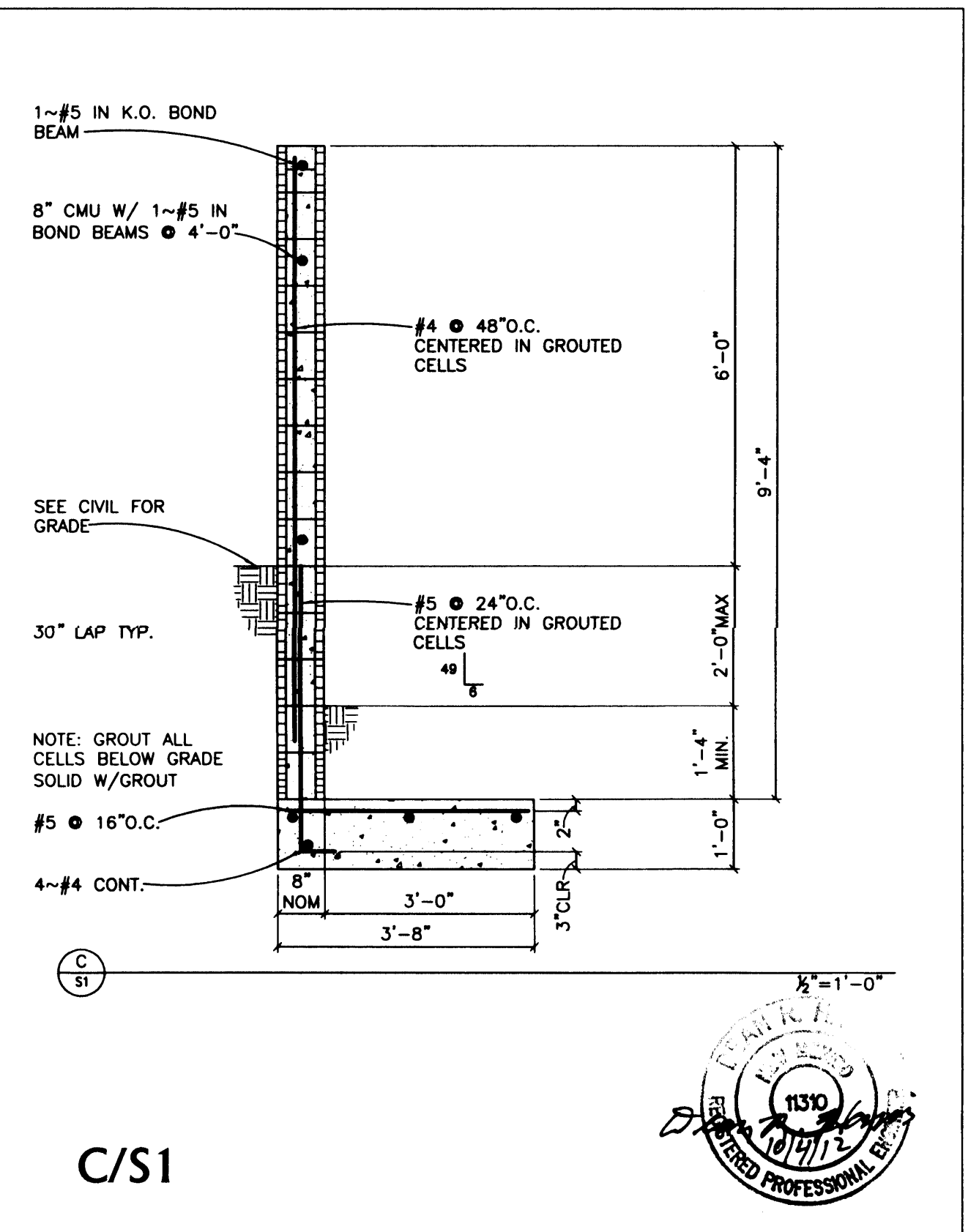
**Desert Eagle Engineering, LLC**  
1200 Prosperity Ave., SE  
Albuquerque, NM 87105  
Ph. (505) 342-0161 Fax (505) 342-0163

Sheet No. 2 of 3 Date: 10/4/12  
Project Name: 4545 ALAMEDA RETAIL  
Subject: SITE WALLS  
Client: MECHENBIER CONSTRUCTION  
Drawn By: DRH



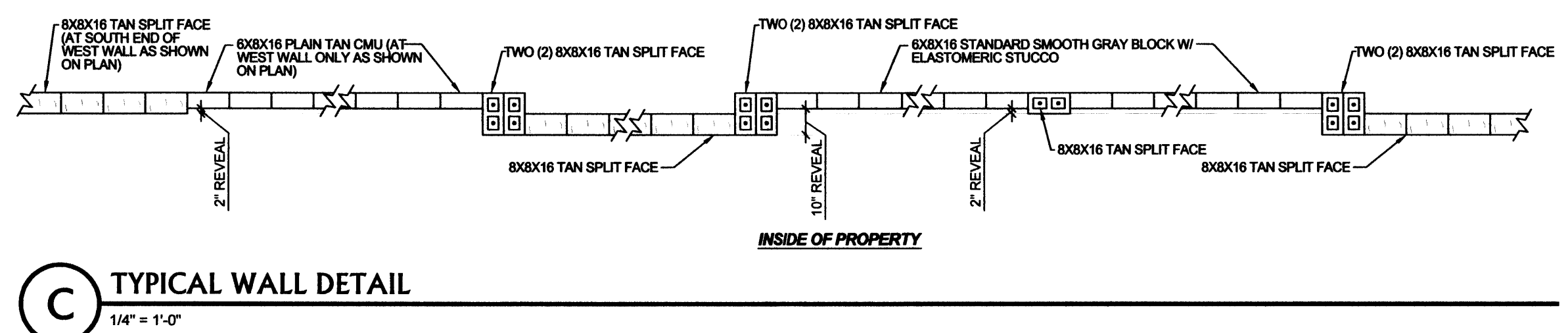
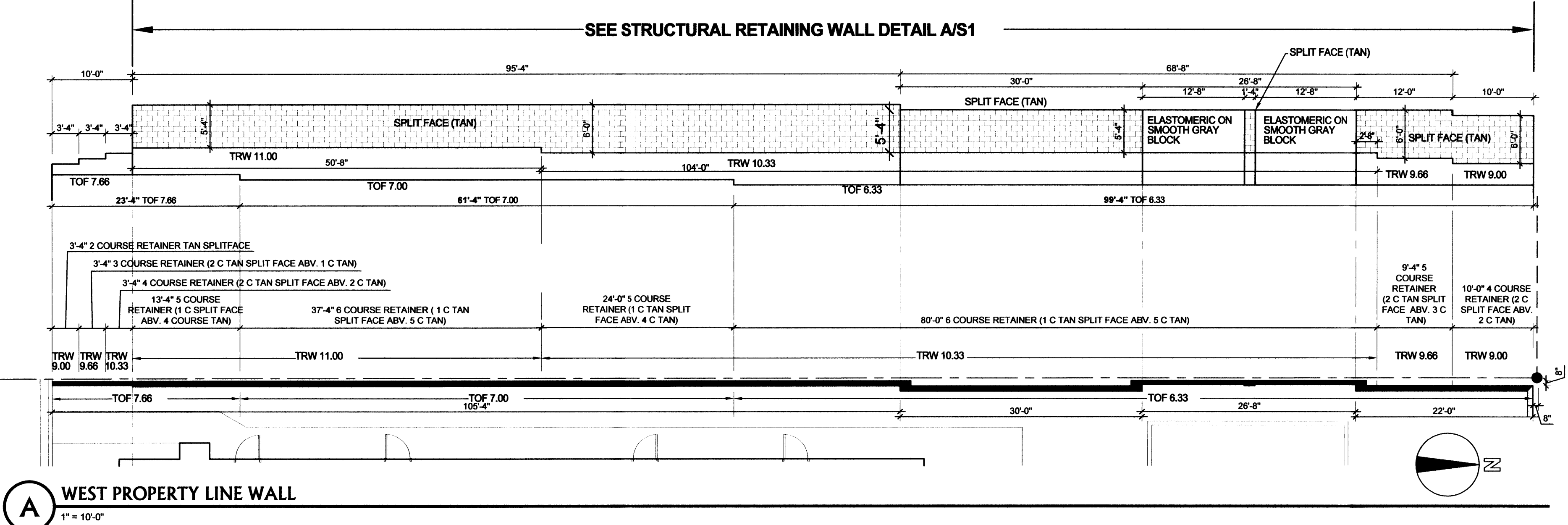
**Desert Eagle Engineering, LLC**  
1200 Prosperity Ave., SE  
Albuquerque, NM 87105  
Ph. (505) 342-0161 Fax (505) 342-0163

Sheet No. 3 of 3 Date: 10/4/12  
Project Name: 4545 ALAMEDA RETAIL  
Subject: SITE WALLS  
Client: MECHENBIER CONSTRUCTION  
Drawn By: DRH



STRUCTURAL DETAILS

- NOTES:**
- RUBBER EXPANSION JOINTS TO BE PLACED NO FURTHER THAN 12'-8" ON CENTER.
  - CONTINUOUS BOND BEAM AT EVERY 6TH COURSE (48" O.C.) & AT TOP OF WALL.
  - 8X8X16 TAN SPLIT FACE BLOCKS BETWEEN COLORED PANELS TO BE POURED FULL VERTICAL HEIGHT WITH A CONTINUOUS VERTICAL REBAR IN BOTH CELLS
  - TWO 8X8X16 BACK TO BACK BLOCKS AT COLOR/ELASTOMERIC TO SPLIT FACE TRANSITION TO BE POURED FULL VERTICAL HEIGHT WITH A CONTINUOUS VERTICAL REBAR IN EACH BLOCK
  - MAXIMUM DISTANCE OF 4'-0" (48") O.C. IN GARDEN WALL SECTIONS/PANELS BETWEEN POURED VERTICAL REINFORCEMENT CELLS WITH A CONTINUOUS REBAR
- LEGEND:**
- TRW TOP OF RETAINING WALL  
TOF TOP OF FOOTING





Desert Eagle Engineering, LLC  
 1200 Prosperity Ave., SE  
 Albuquerque, NM 87105  
 Ph. (505) 342-0161 Fax (505) 342-0163

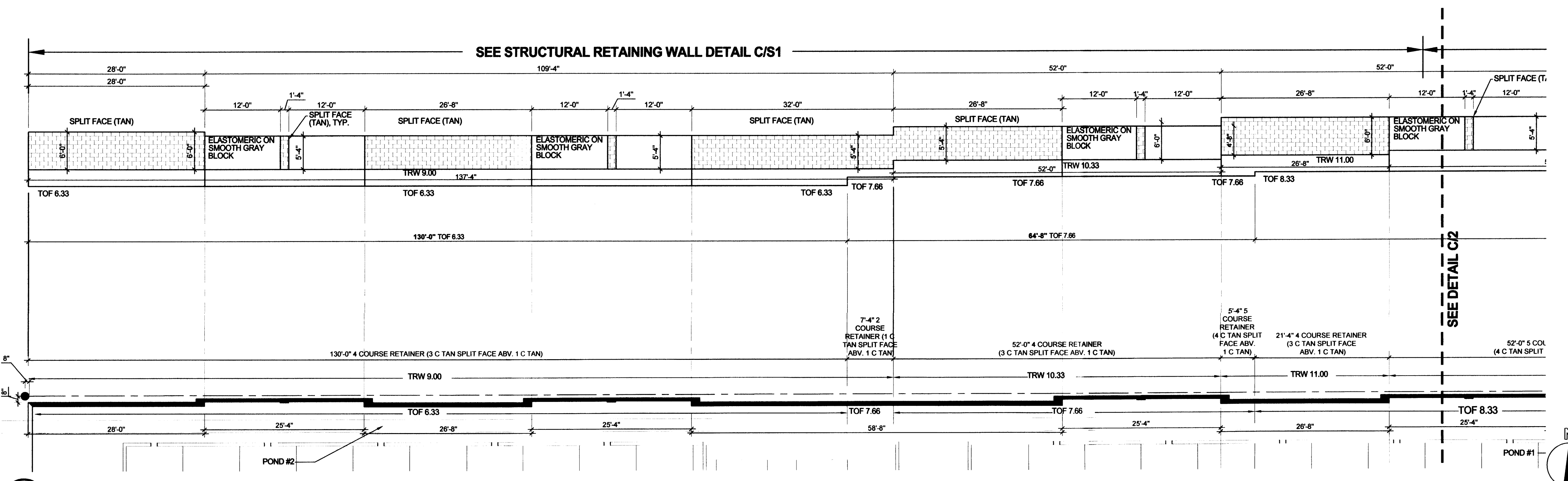
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 Project Name: 4545 ALAMEDA RETAIL  
 Subject: SITE WALLS  
 Client: MECHEMBIER CONSTRUCTION  
 Drawn By: DRH

SHEET NO. 2

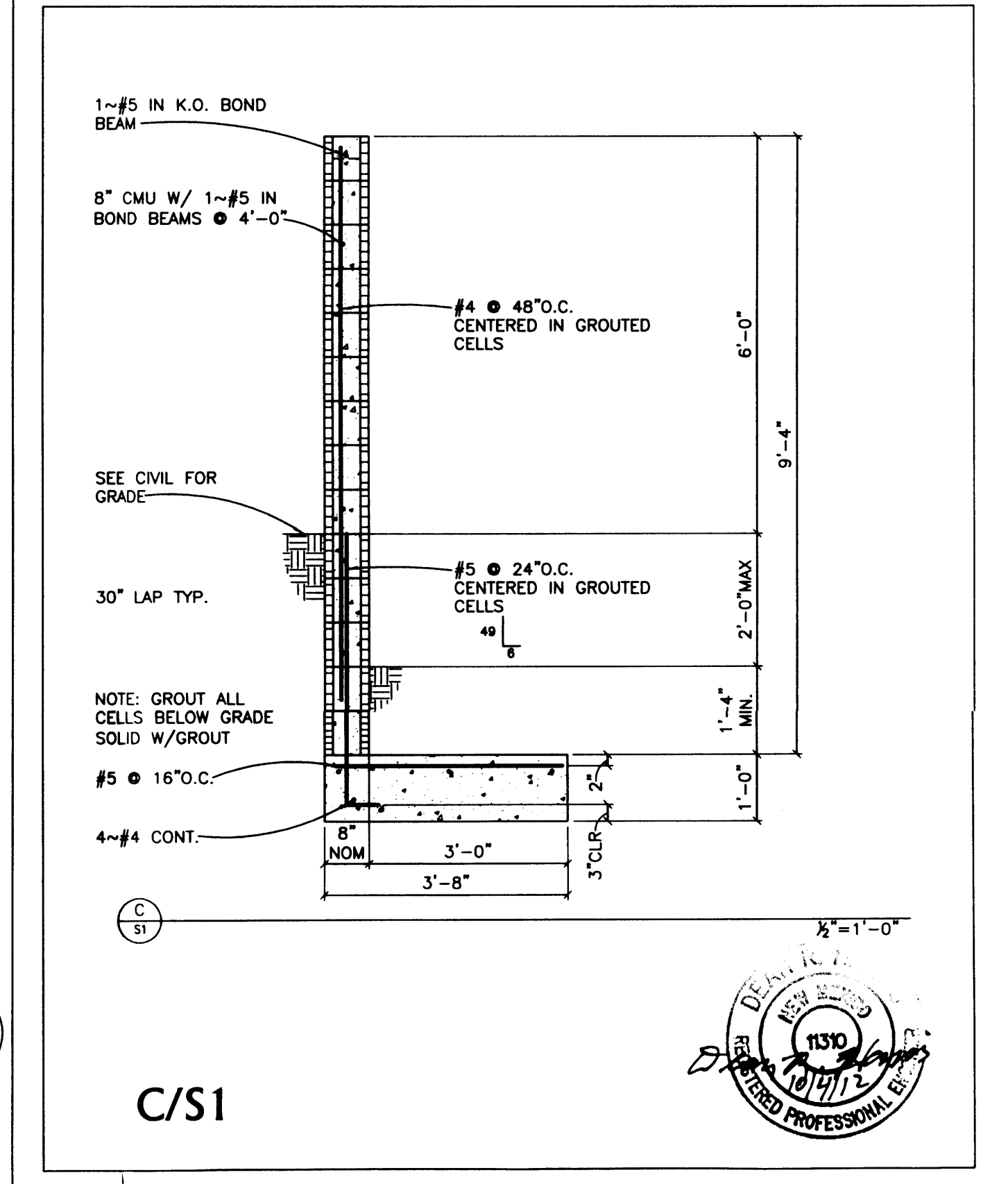
REVISED OCT 11, 2012

DRAWN BY: L. KUENN

FILE: ALAMEDA



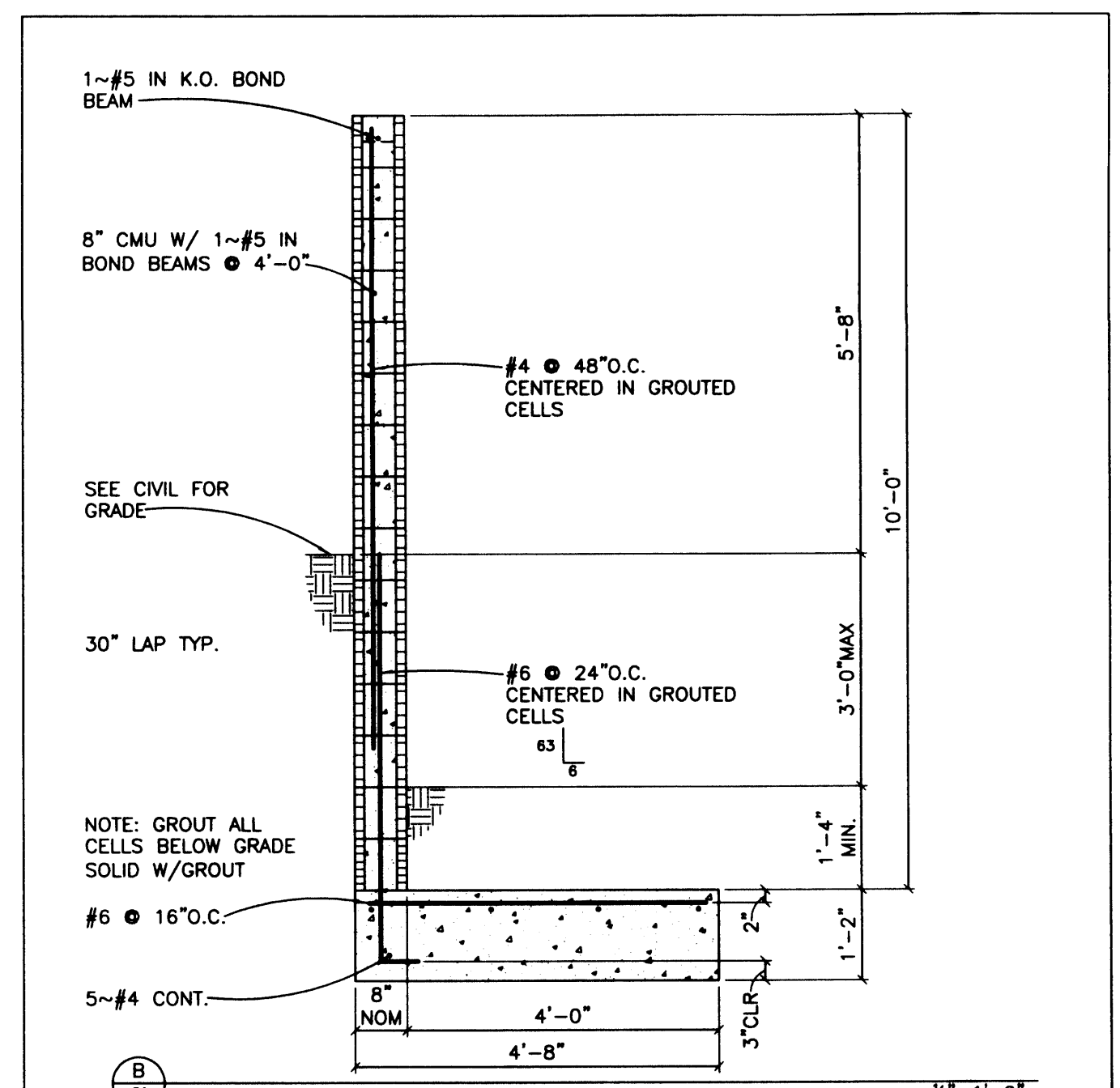
**B** NORTH PROPERTY LINE WALL  
 1" = 10'-0"



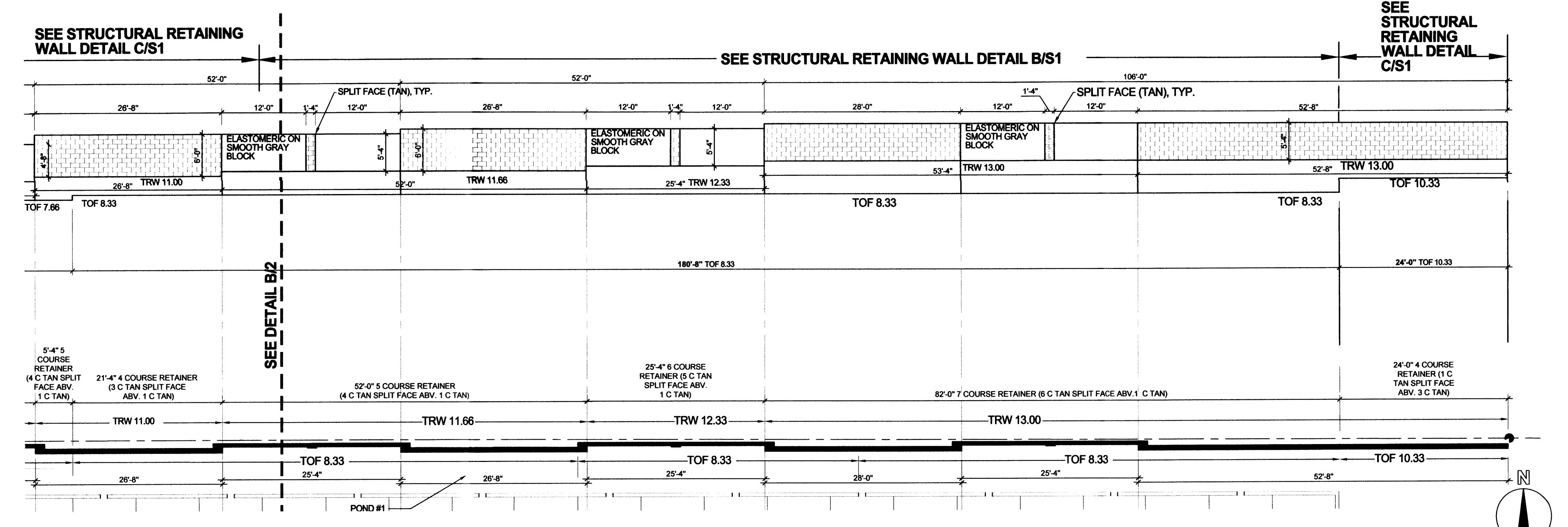
C/S1

Desert Eagle Engineering, LLC  
 1200 Prosperity Ave., SE  
 Albuquerque, NM 87105  
 Ph. (505) 342-0161 Fax (505) 342-0163

Sheet No. 2 of 3 Date: 10/4/12  
 Project Name: 4545 ALAMEDA RETAIL  
 Subject: SITE WALLS  
 Client: MECHEMBIER CONSTRUCTION  
 Drawn By: DRH



B/S1



**C** NORTH PROPERTY LINE WALL  
 1" = 10'-0"

RETAINING / GARDEN WALL ELEVATIONS/ BLOCK TYPE  
 4545 ALAMEDA BLVD NE  
 ALBUQUERQUE NM 87113



- REVISIONS:
- 4-3-12 DRB 3-21-12 COMMENTS & EASEMENT REVISIONS
  - 5-11-12 ENTRY DRIVE, RELOCATION & ASSOCIATED REVISIONS
  - 6-13-12 MEDIAN CLARIFICATIONS, DRAINAGE EASEMENT MAINTENANCE & REVISIONS, CLARIFICATION, REPLAT COORDINATION
  - 6-18-12 DRB COMMENTS - ZONING & BOLLARD DETAIL
  - 10-16-12 ADMINISTRATIVE AMENDMENT - NEW RETAINING GARDEN WALLS

SCALE:  
1" = 20'-0"  
PLAN DATE:  
FEB 23, 2012

FILENAME:  
SITE  
DRAWN BY:  
L. KUENN

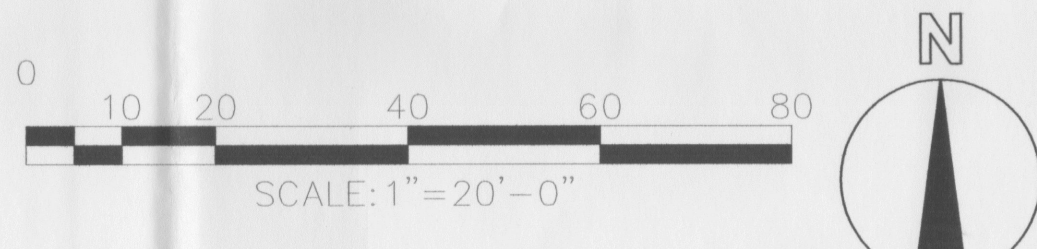
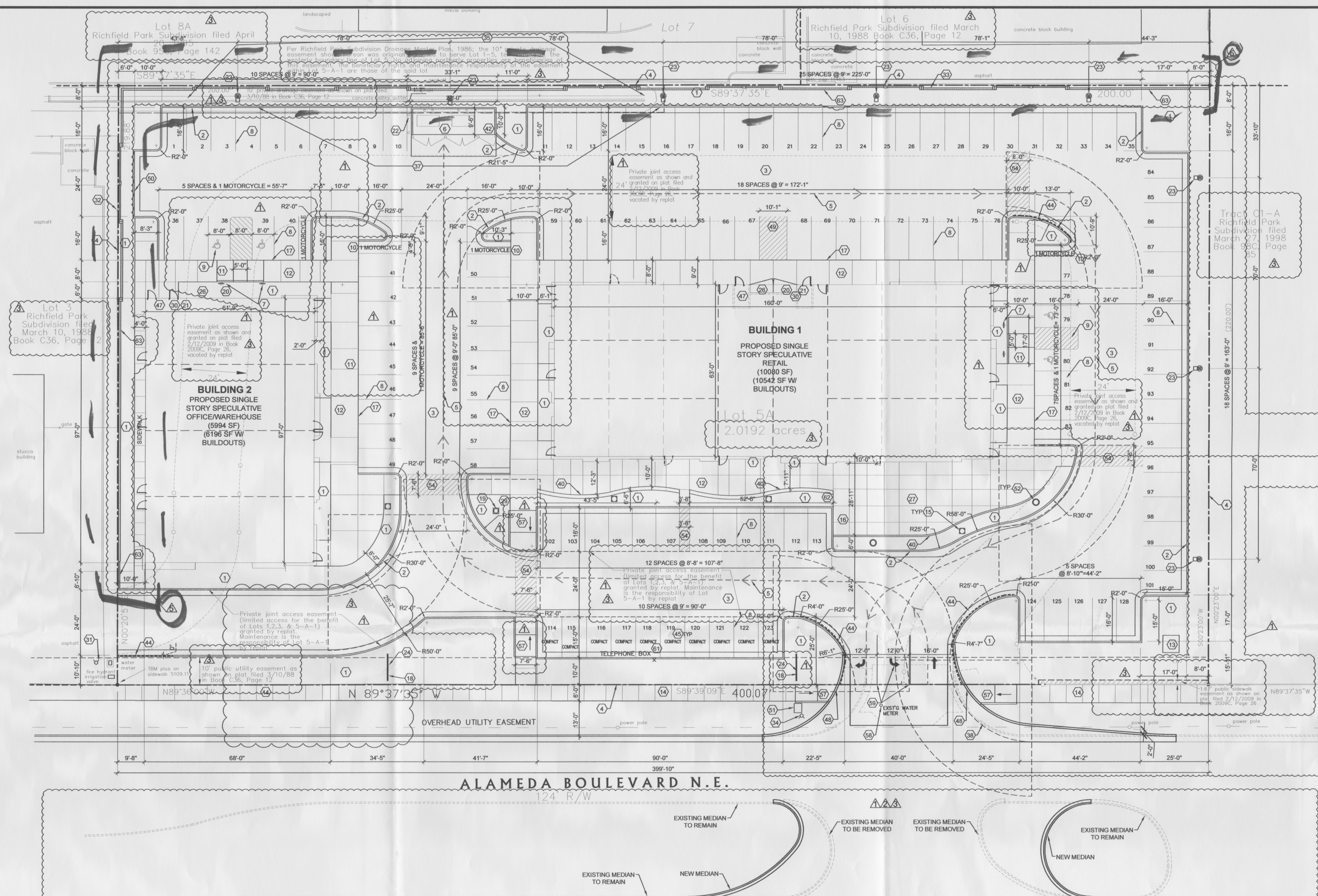
PROPOSED RETAIL/OFFICE BUILDINGS  
LOT 5A RICHFIELD PARK SUBDIVISION  
4545 ALAMEDA BLVD NE  
ALBUQUERQUE, NEW MEXICO 87113

MECHENBIE  
CONSTRUCTION INC.  
4500 WASHINGTON ST. NE SUITE 455  
ALBUQUERQUE, NM 87110  
TEL: (505) 341-7774  
WWW.MEACHENBIE.COM

SITE PLAN FOR BUILDING PERMIT

**KEYED NOTES:**

1. LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1
2. STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
3. ASPHALT PAVING @ DRIVEWAYS AND AT PARKING STALLS.
4. PROPERTY LINE.
5. WASTE COLLECTION ROUTE.
6. REFUSE PAD, APRON, AND ENCLOSURE WITH RECYCLING AREA, WITH GREASE TRAP & FROST PROTECT FROST HYDRANT, PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAILS B1S1.2 THROUGH E1S1.2.
7. POLE MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE NWS1.2.
8. PARKING STALL STRIPING, TYPICAL.
9. PAINTED HANDICAP PARKING SYMBOL.
10. MOTORCYCLE/MOPED PARKING AREA.
11. HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
12. NEW CONCRETE SIDEWALK, WIDTH AS NOTED. MINIMUM UNOBSTRUCTED WIDTH SHALL BE 6'-0".
13. TRANSFORMER LOCATION PAID MOUNTED, PER FPM SPECIFICATIONS.
14. EXISTING 6" CITY SIDEWALK.
15. DECORATIVE POLE LIGHTING OR LIGHT BOLLARDS ALONG SOUTHFRONT OF BUILDING ALONG THE SIDEWALK NOT EXCEEDING 18 FT. HT. SEE DETAIL Q1S1.2.
16. BIKE RACK. SEE DETAIL L1S1.2.
17. TURNDOWN SIDEWALK.
18. MONUMENT SIGN. SEE DETAIL K1S1.2.
19. FLAGPOLE, 25' HIGH POLE WRUSHED ALUMINUM FINISH.
20. GAS METER LOCATIONS, (12 TOTAL - 8 AT BLDG 1, 4 AT BLDG 2).
21. ROOF ACCESS HATCH & LADDER LOCATION.
22. 6" STEEL BOLLARDS, FILLED W/ CONCRETE. SEE DETAIL F1S1.2.
23. POLE LIGHT SEE DETAIL G1S1.2. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING. ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE ORDINANCES.
24. MONUMENT SIGN DOWN LIGHTING MOUNTED ON TOP OF MONUMENT SIGN.
25. DIRECTIONAL SIGNAGE. SEE M1S1.2.
26. ELECTRICAL METERS LOCATION.
27. TENANT SHARED OUTDOOR DINING AREA.
28. EXISTING HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
29. MAIL BOX LOCATION.
30. TELEPHONE DEMARCATION PANEL ROOM.
31. EXISTING FIRE RISER ROOM.
32. EXISTING CHAIN LINK FENCE TO BE REMOVED AND REPLACED. SEE KEYED NOTE 63.
33. EXISTING WOOD FENCE TO BE REMOVED AND REPLACED. SEE KEYED NOTE 63.
34. NEW RUBBER-FIRE HYDRANT.
35. DEMO DRAINAGE SWALE. REPLACE WITH LANDSCAPING.
36. NOT USED.
37. CURB CUTS AT 18" TO 24" TO PASS FLOW TO PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
38. EXISTING DRIVE CUT.
39. NOT USED.
40. 3'-0" HIGH SCREEN WALL. STUCCO COLOR TO MATCH BUILDING.
41. SEATING WALL. TOP OF WALL AT 20" ABOVE GROUND LEVEL. WALL DEPTH 16". STUCCO COLOR TO MATCH BUILDING.
42. NOT USED.
43. NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
44. NO PARKING, FIRE LANE. CURB TO BE PAINTED/DENOTED AS SUCH (LOCATION DENOTED BY DASHED LINE ON PLAN).
45. ALL COMPACT SPACES TO BE STAMPED WITH THE WORD "COMPACT" ON THE PAVEMENT.
46. NOT USED.
47. FIRE SPRINKLER RISER AND POTABLE WATER BACKFLOW PREVENTER ROOM.
48. RELOCATED ENTRY DRIVE.
49. STAMP PAVEMENT "NO PARKING" FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
50. NO PARKING. CURB TO BE PAINTED YELLOW TO DESIGNATE AS SUCH.
51. NEW WATER METER. SERVICE, 3/4" METER.
52. LIGHTING BOLLARD.
53. NOT USED.
54. STRAIN BULBING ON PAVEMENT FOR PEDESTRIAN CROSSWALK.
55. NOT USED.
56. NOT USED.
57. NEW HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE. ALL RAMPS LOCATED IN WITHIN CITY FRONT OF WAY TO HAVE TRUNCATED DOMES.
58. STOP EXISTING WATER METER. SEE CONCEPTUAL SITE UTILITY PLAN.
59. NEW LANE STRIPING AND DIRECTIONAL ARROWS AT ACCESS POINT PER C.O.A. STANDARDS.
60. NOT USED.
61. RELOCATE EXISTING TELEPHONE BOX.
62. EXISTING LOCKERS FOR BIKES, HELMETS, GEAR, ETC.
63. NEW DESERT TAN SPLITFACE STUCCO CMU RETAINING GARDEN WALL ALONG NORTH AND WEST PROPERTY LINES. SEE RETAINING WALL PERMIT SET SHEETS 1 AND 2. MAXIMUM HEIGHT ON EXTERIOR SIDE OF WALL FROM NEIGHBORING PROPERTY IS 6'-0" EXPOSED ON NORTH SIDE AND 6'-8" ON WEST SIDE.



**PROJECT DESCRIPTION:**

ADDRESS: 4545 ALAMEDA BOULEVARD NE ALBUQUERQUE, NM 87113  
 LEGAL DESCRIPTION: LOT 5-A BEING A REPLAT OF LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION JOHN E & CYNTHIA A MECHENBIE 101706430039011104  
 OWNER: JOHN E & CYNTHIA A MECHENBIE  
 UPC: 101706430039011104  
 ZONE MAP: SU-2 NC  
 TOTAL SITE AREA: 88,004 SF  
 DEVELOPED AREA: 88,004 SF  
 CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE, AUTOMATIC SPRINKLER SYSTEM)  
 OCCUPANCY GROUPS: M RETAIL, B OFFICE  
 GROSS BUILDING AREA (INCLUDES OVERHANGS & POPOUTS): 16,738 SF  
 NET FLOOR AREA: 16,074 SF  
 NET LOT AREA: 88,004 SF  
 LESS BUILDING FOOTPRINT AREA: 16,738 SF  
 NET LOT AREA: 71,226 SF  
 TOTAL LANDSCAPE PROVIDED: 15,103 SF  
 LANDSCAPE % NET LOT AREA: 21.2 %

REQUIRED PARKING:	PATIO/OUTDOOR DINING AREA:
RETAIL (M) 10,080/200 = 51	938 S.F.
BUSINESS (B) 5,994/200 = 30	EXTERIOR BENCH SEATING: TOTAL SEATING REQUIRED (213 LIN FT/25 FT) = 9
TOTAL PARKING REQUIRED = 81	EXTERIOR DINING SEATING (MIN.) = 16
TOTAL PARKING PROVIDED = 128	BENCH HIGH WALL SEATING (104 LIN FT/24) = 52
COMPACT SPACES ALLOWED (33% OF 128): 42	TOTAL SEATING PROVIDED = 68
COMPACT SPACES PROVIDED = 10	A MINIMUM OF 25% OF SEATING TO BE SHADED
TOTAL HANDICAP REQUIRED PER 2003 IBC TABLE 1106.1: 4	
TOTAL HANDICAP PROVIDED: 4	
TOTAL MOTORCYCLE/MOPED REQUIRED: 3	
TOTAL MOTORCYCLE/MOPED PROVIDED: 4	
TOTAL BIKE SPACES REQUIRED: 81/20 = 4	
TOTAL BIKE SPACES PROVIDED = 6	

BUILDING USAGE & OCCUPANCY AREAS:  
 THE BUILDING WILL BE USED PRIMARILY FOR RETAIL WITH POSSIBLE OFFICE OR MEDICAL USE IN SOME OF THE SPACE. IT IS ESTIMATED THAT APPROXIMATELY 10,080 S.F. SHALL BE RETAIL SPACE (M OCCUPANCY), AND APPROXIMATELY 5,994 S.F. OF THE TOTAL SQUARE FOOTAGE SHALL BE OFFICE/MEDICAL SPACE (B OCCUPANCY).  
 TRAFFIC CIRCULATION:  
 TRAFFIC ENTRY TO THE PROPERTY SHALL BE VIA EAST & WEST-BOUND ALAMEDA BLVD. AT THE EAST END OF THE PROPERTY AND VIA THE SHARED ACCESS EASEMENT WITH LOT 3 RICHFIELD PARK SUBDIVISION AT THE WEST END OF THE PROPERTY. ON-SITE TRAFFIC FLOW IS TWO-WAY THROUGHOUT.

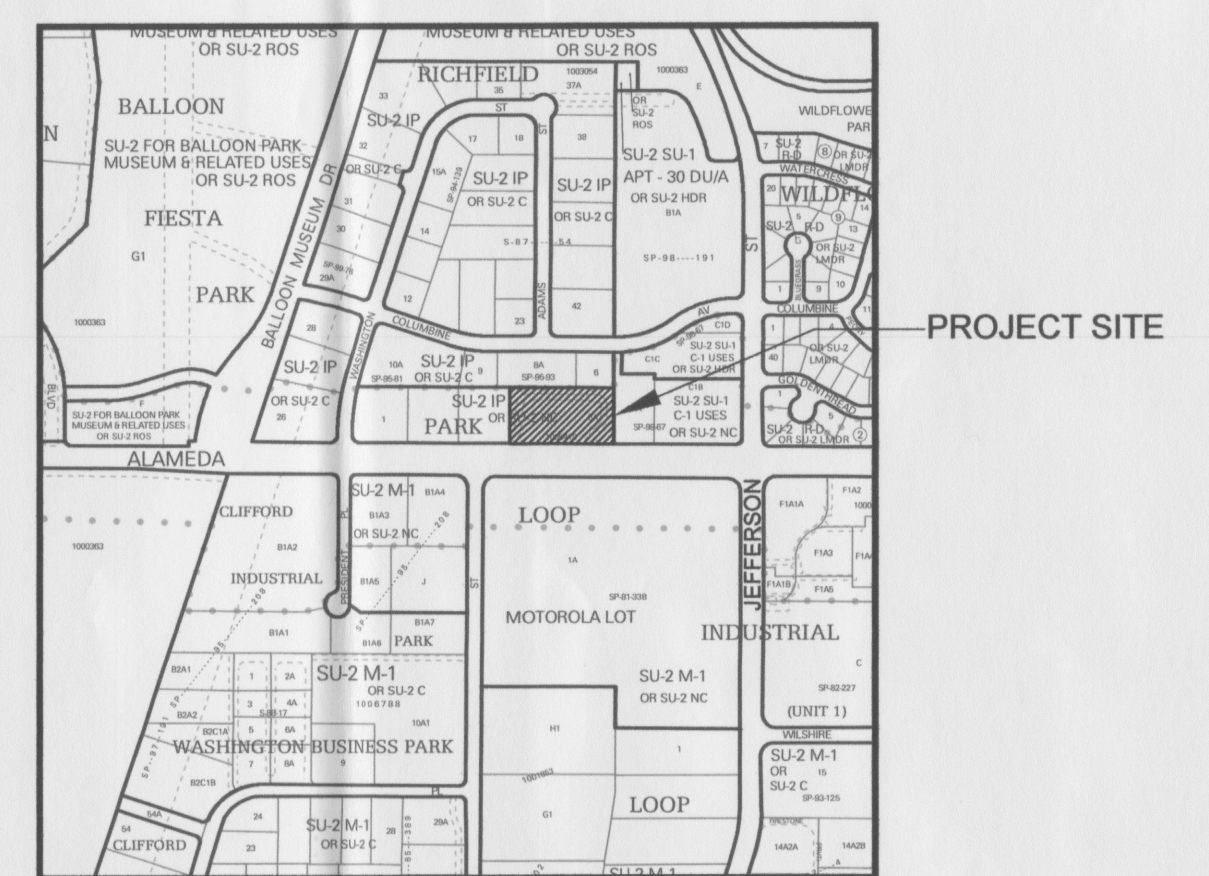
**PROJECT NUMBER: 1005410**

APPLICATION NUMBER: 12DRB-70062

IS AN INFRASTRUCTURE LIST REQUIRED ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	
WATER UTILITY DEPARTMENT	
PARKS AND RECREATION DEPARTMENT	
CITY ENGINEER	
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
SOLID WASTE MANAGEMENT	
DRB CHAIRPERSON, PLANNING DEPARTMENT	
*ENVIRONMENTAL HEALTH, IF NECESSARY	



VICINITY MAP: C-17-Z  
**SITE PLAN FOR BUILDING PERMIT**



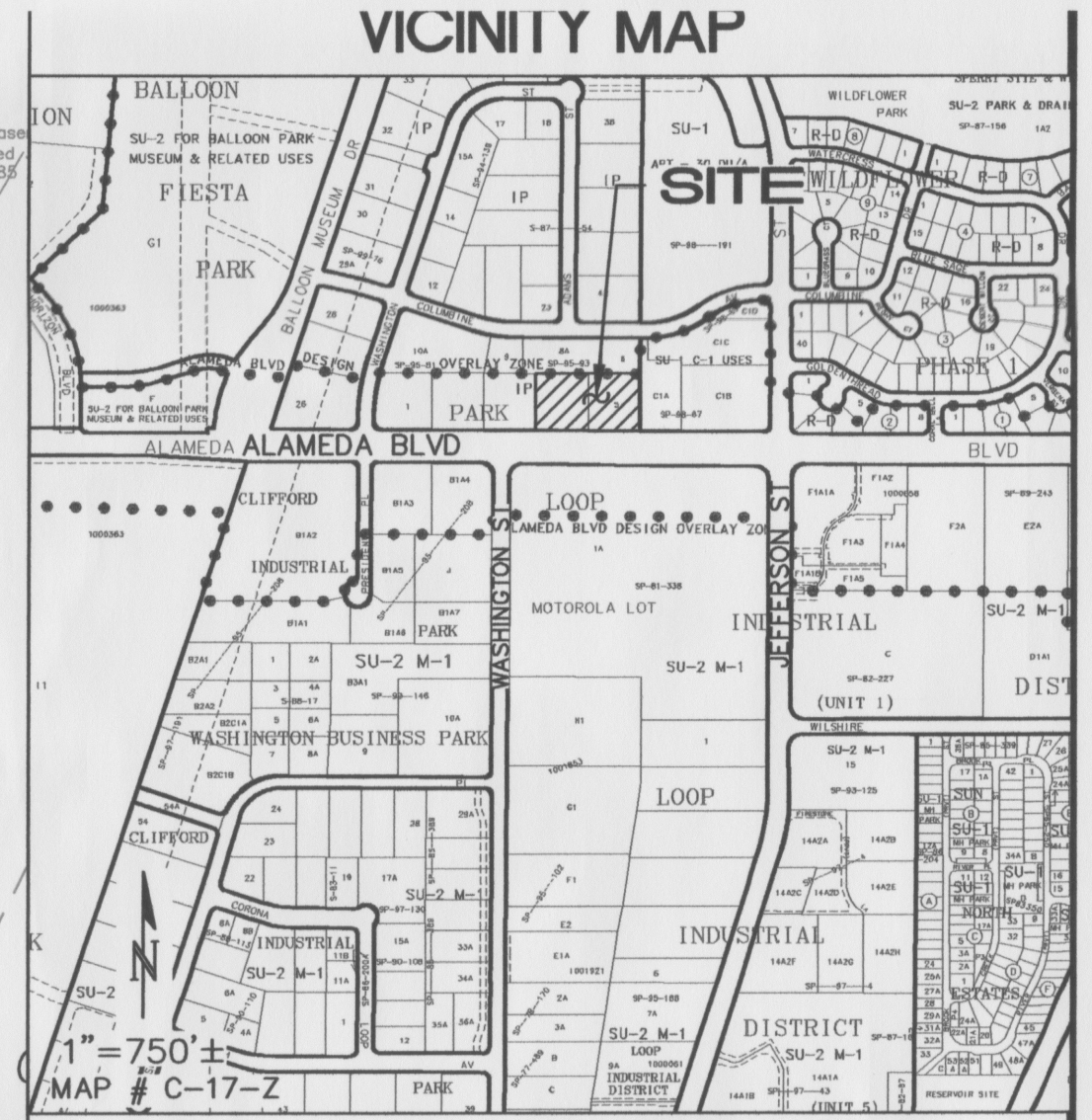
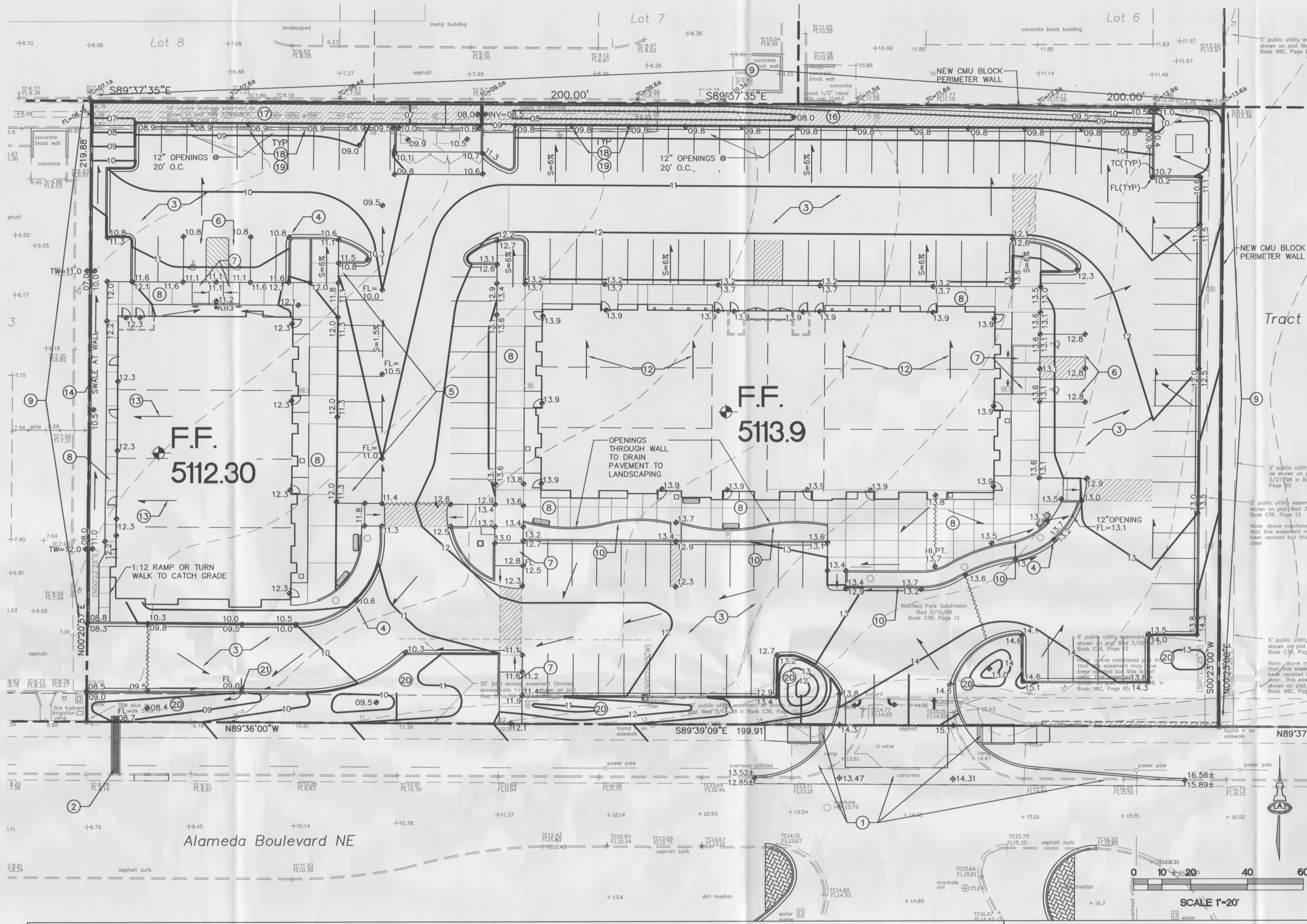
REVISIONS:

SCALE:  
1"=20'  
PLAN DATE:  
MAY 21, 2012  
FILENAME:  
1918 CG-101  
DRAWN BY:  
B.J.B.

PROPOSED RETAIL/OFFICE BUILDINGS  
LOT 5A RICHFIELD PARK SUBDIVISION  
4545 ALAMEDA BLVD NE  
ALBUQUERQUE, NEW MEXICO 87113

MECHENBER  
CONSTRUCTION INC.  
8500 WASHINGTON ST. NE SUITE 11-500 OFFICE (505) 314-7700  
ALBUQUERQUE, NM 87113 (505) 314-7799  
WEB: WWW.MECHENBER.COM

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KEYED NOTES

1. NEW SITE ACCESS, ADA RAMPS, ETC. WITHIN R.O.W. TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
2. NEW COVERED SIDEWALK CULVERT (24" WIDE BOTTOM WIDTH) WITHIN R.O.W. TO BE CONSTRUCTED BY PUBLIC WORK ORDER.
3. CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION WHEN MATCHING EXISTING PAVEMENT.
4. SPOT ELEVATIONS WITHIN GUTTER AREA REPRESENT FLOWLINE. ADD 0.5' TYPICAL FOR TOP OF ADJACENT CURB OR WALK ELEVATIONS. SEE KEYED NOTE (4) FOR EXPLANATION.
5. CONSTRUCT 8" HIGH TURNED-DOWN WALK THIS AREA TO ACHIEVE GRADES SHOWN.
6. CONSTRUCT HANDICAP PARKING AREA AT ELEVATIONS SHOWN. SLOPE WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
7. CONSTRUCT 1:12 (MAX.) SIDEWALK RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
8. CONSTRUCT CONCRETE PEDESTRIAN WALKS AND PATIOS AT ELEVATIONS SHOWN.
9. CONSTRUCT PERIMETER CMU WALL (MAXIMUM RETAINING = 30") WITHIN PROPERTY TO ACHIEVE GRADES SHOWN. TOP OF RETAINING PORTION OF WALL SHOWN ON PLAN. TOP OF PRIVACY WALL VARIES (MAXIMUM HEIGHT = 6' ABOVE HIGH-SIDE GRADE). SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
10. CONSTRUCT GARDEN WALL / HIGH CURB (MAXIMUM RETAINING = 12") TO ACHIEVE GRADES SHOWN. SLOPE PAVEMENT TO DRAIN TO SIDES OR TO 4" DIA. PIPES PLACED THROUGH WALL/CURB AT LOW POINTS.
11. NOT USED
12. EAST BUILDING ROOF TO DISCHARGE NORTH THROUGH WALK DIRECTLY TO ASPHALT PAVEMENT. OWNER'S OPTION TO UTILIZE EITHER PIPES OR SIDEWALK TRENCH DRAINS. SEE ARCHITECTURAL AND PLUMBING PLAN(S) FOR ROOF DRAIN LOCATIONS AND SIZES.
13. WEST BUILDING ROOF TO BE COLLECTED WITHIN A DRAIN SYSTEM AND RELEASED TO THE WEST SWALE. SEE ARCHITECTURAL AND PLUMBING PLAN(S) FOR ROOF DRAIN LOCATIONS AND SIZES.
14. CONSTRUCT 4' WIDE X 12" DEEP X 6" DEPRESSED SHALLOW F.F. ROCK SWALE WITHIN LANDSCAPING THIS AREA TO DIRECT ROOF FLOW TO POND 2. SEE GENERAL NOTE 1.
15. CONSTRUCT 25 LF OF 18" WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL TO PASS CONCENTRATED FLOW TO POND 'A'.
16. DETENTION POND 1. SEE SHEET CG-501 FOR DETAIL.
17. DETENTION POND 2. SEE SHEET CG-501 FOR DETAIL.
18. PROVIDE 12" WIDE OPENING(S) IN CURB.
19. CONSTRUCT 3.0' X 3.0' X 12" DEEP F.F. ROCK EROSION PROTECTION AT EACH CURB OPENING. SEE GENERAL NOTE '1' ON SHEET CG-501.
20. DEPRESS LANDSCAPING TO ELEVATIONS SHOWN TO PROVIDE SHALLOW WATER HARVESTING AREA TO COLLECT MINOR FLOW. UTILIZE FOR LANDSCAPING AND RELEASE EXCESS TO PAVEMENT.
21. PROVIDE 24" WIDE OPENING IN CURB AT LOW POINT.

PROJECT NOTES

PROPERTY: THE PROPERTY, APPROXIMATELY 2.0 ACRES, IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED IN ALBUQUERQUE (ZONE ATLAS PAGE C-17-Z) ON THE NORTH SIDE OF ALAMEDA BLVD., WEST OF WASHINGTON ST. NE. ALAMEDA BLVD. BORDERS THE PROPERTY TO THE SOUTH, DEVELOPED COMMERCIAL PROPERTY BORDERS THE PROPERTY TO THE NORTH AND WEST, UNDEVELOPED PROPERTY (TEMPORARY OVERFLOW PARKING FOR ADJACENT PROPERTY) BORDERS THE PROPERTY TO THE EAST. THE PROPERTY, WHICH SLOPES TO THE NORTHWEST AT APPROX. 2%, IS SPARSELY COVERED WITH NATIVE VEGETATION.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS CONSIST OF TWO COMMERCIAL BUILDINGS WITH ASSOCIATED PAVED PARKING AND LANDSCAPING.

LEGAL: LOTS 5A, RICHFIELD PARK SUBDIVISION, ALBUQUERQUE, NEW MEXICO.  
ADDRESS: 4545 ALAMEDA BLVD. NE  
ZONE MAP: C-17  
FLOOD ZONE: PER BERNALILLO COUNTY FIRM MAP #35001C01366 DATED SEPTEMBER 26, 2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.

BENCHMARK: CITY OF ALBUQUERQUE 12-C17. AN ALUMINUM DISK LOCATED AT THE NNW QUADRANT OF THE INTERSECTION OF WASHINGTON ST. AND WASHINGTON PL. NE ELEVATION: 5110.62 NAVD 1988.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

DRAINAGE - EXISTING:  
CURRENTLY, UNDEVELOPED FLOW DRAINS AS SHEETFLOW TO THE

NORTHWEST CORNER AND PASSES INTO THE ADJACENT DEVELOPED PROPERTY VIA AN EXISTING ASPHALT DRAINAGE CHANNEL WITH CONCRETE VALLEY GUTTER (DRAINAGE EASEMENT). FLOW IS THEN DIRECTED WEST TO OUTLET TO WASHINGTON STREET AND PASSES INTO EXISTING IMPROVED CHANNELS WHICH DIRECT FLOW TO AN AMAFCA CHANNEL.

DRAINAGE - PROPOSED:  
PER THE MASTER DRAINAGE PLAN FOR THE RICHFIELD PARK SUBDIVISION PREPARED BY ESPEY, HUSTON & ASSOC. (1986), LOTS ARE TO FREE DISCHARGE INTO THE PUBLIC STREET SYSTEM WHICH CONVEYS RUNOFF TO THE EXISTING AMAFCA CHANNEL LOCATED ALONG THE WEST BOUNDARY OF RICHFIELD PARK, TRACT D-1. AN EXCEPTION TO THE FREE DISCHARGE LIMITS THE PEAK DISCHARGE FOR LOTS 4 AND 5 TO 2.11 CFS PER ACRE (4.22 CFS TOTAL ALLOWABLE DISCHARGE FOR THIS PROPERTY) DUE TO THE CAPACITY LIMITATIONS OF THE EXISTING DRAINAGE CHANNEL AT THE NORTHWEST CORNER OF THE PROPERTY.

AS SHOWN ON THE BASIN EXHIBIT, THE PROPERTY WILL BE DIVIDED INTO THE FOLLOWING SUB-BASINS:

SUB-BASINS LA1, LA2 AND LA3 ARE LANDSCAPED AREAS WITH WATER HARVESTING PROVIDED TO ACCOMMODATE THE 100-YEAR STORM FOR EACH AREA.

SUB-BASIN O1 WILL GENERATE 0.1 CFS TO PASS TO THE ADJACENT PROPERTY TO THE WEST TO FOLLOW HISTORIC FLOWPATHS.

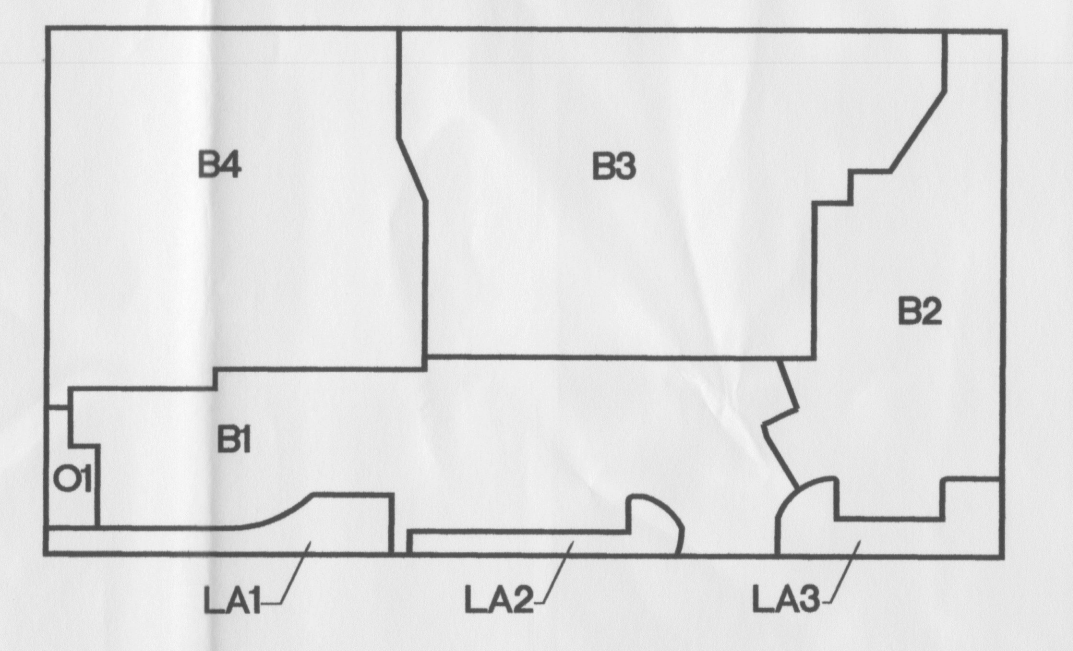
SUB-BASIN B1 WILL DISCHARGE APPROXIMATELY 1.9 CFS TO ALAMEDA BLVD. AS APPROVED BY COA (SEE CONCEPTUAL

GRADING PLAN LETTER OF APPROVAL DATED JUNE 5, 2012.

SUB-BASINS B2 AND B3 WILL BE ROUTED THROUGH DETENTION POND 1 WHICH WILL DISCHARGE AT A PEAK RATE OF 2.9 CFS TO POND 2.

SUB-BASIN B4 WILL JOIN WITH THE DISCHARGE FROM POND 2 TO DISCHARGE AT A PEAK RATE OF 4.0 CFS TO THE EXISTING DRAINAGE EASEMENT (4.22 ALLOWABLE). SEE SHEET CG-501 FOR AHYMO SUMMARY.

PROPOSED BASINS



LEGEND

- +8.63 EXISTING SPOT ELEVATION
- 5110 EXISTING CONTOUR
- ◆ 13.5 PROPOSED SPOT ELEVATION
- 13 PROPOSED CONTOUR
- FL FLOW LINE
- FF FINISHED FLOOR
- ◆ 78.3± EXISTING ELEVATION (±) TO MATCH. PROVIDE SMOOTH TRANSITION.
- PROPOSED RETAINING WALL
- ~~~~ GRADE BREAK

GRADING AND DRAINAGE PLAN

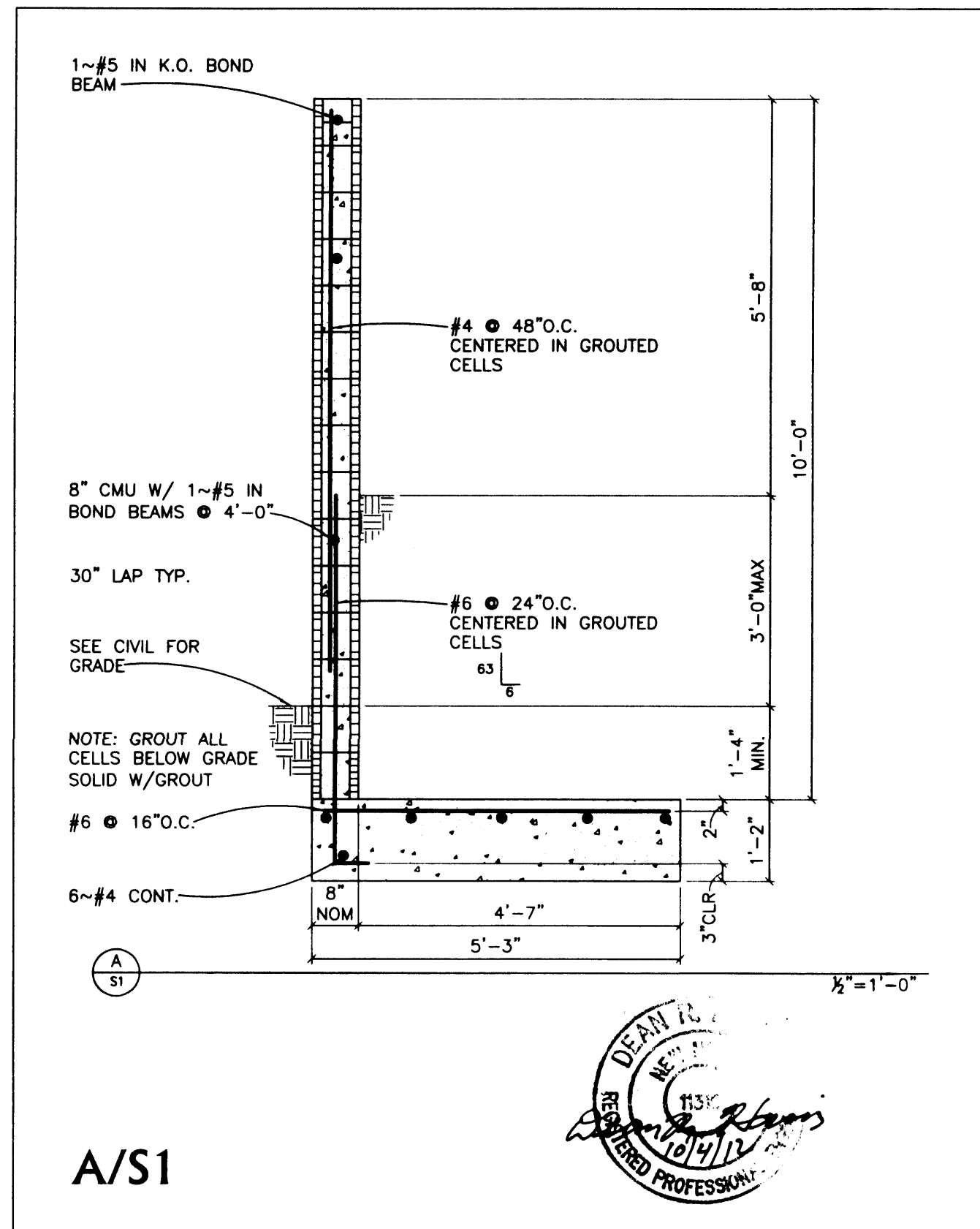
ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iaacivil.com  
1918 CG-101.dwg Aug 30, 2012



ADDRESS: 4545 ALAMEDA BOULEVARD NE  
ALBUQUERQUE, NM 87113  
LEGAL DESCRIPTION: LOT 5-A-1 BEING A REPLAT OF LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION  
OWNER: 4545 ALAMEDA N.E., L.L.C.  
UPC: 101706430039011104  
ZONE MAP: C-17  
ZONING: SU-2 (DESCRIPTION: IP OR SU-2 NC)

**Desert Eagle Engineering, LLC**  
1200 Prosperity Ave., SE  
Albuquerque, NM 87105  
Ph. (505) 342-0161 Fax (505) 342-0163

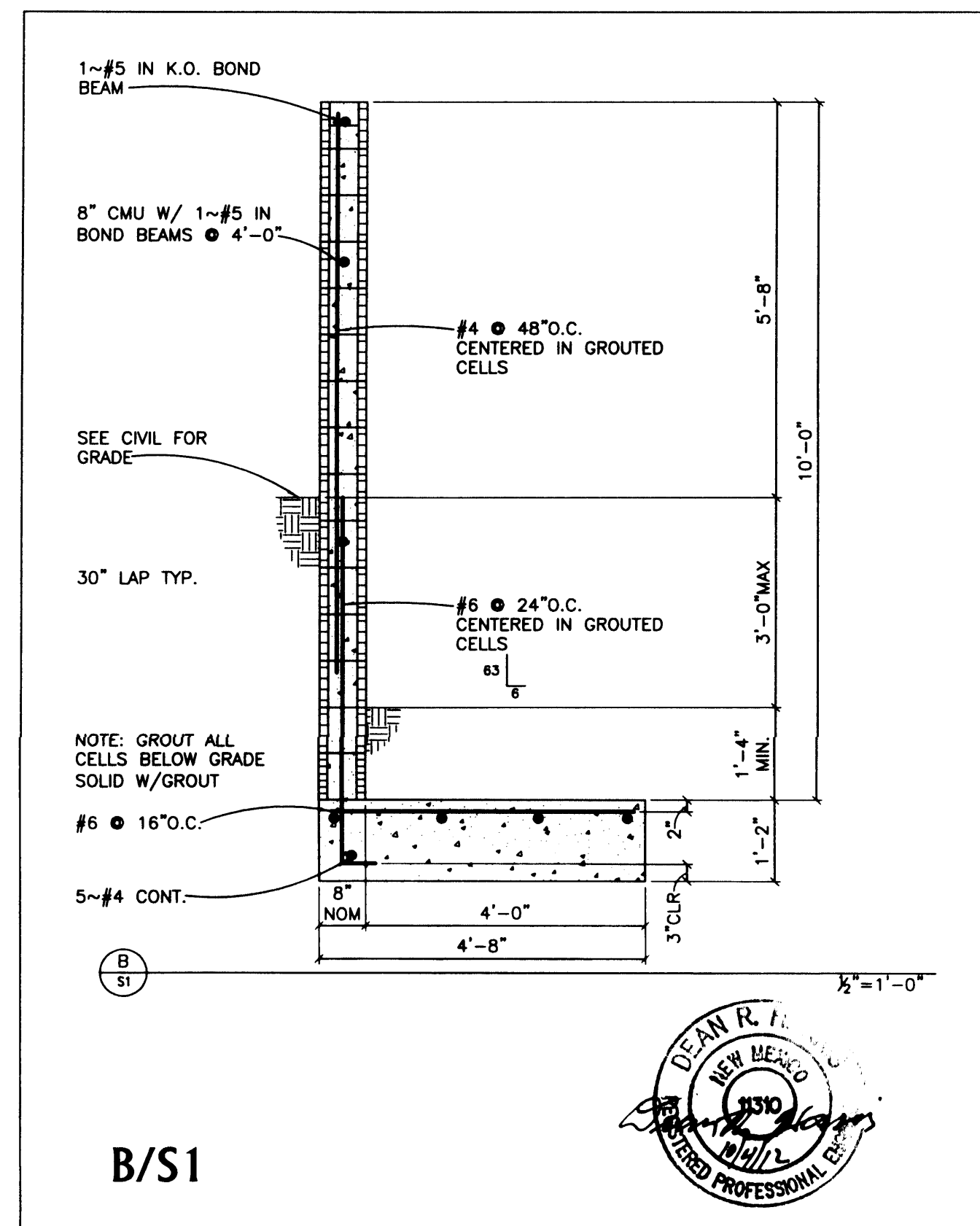
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Project Name: 4545 ALAMEDA RETAIL  
Subject: SITE WALLS  
Client: MECHENBIER CONSTRUCTION  
Drawn By: DRH



A/S1

**Desert Eagle Engineering, LLC**  
1200 Prosperity Ave., SE  
Albuquerque, NM 87105  
Ph. (505) 342-0161 Fax (505) 342-0163

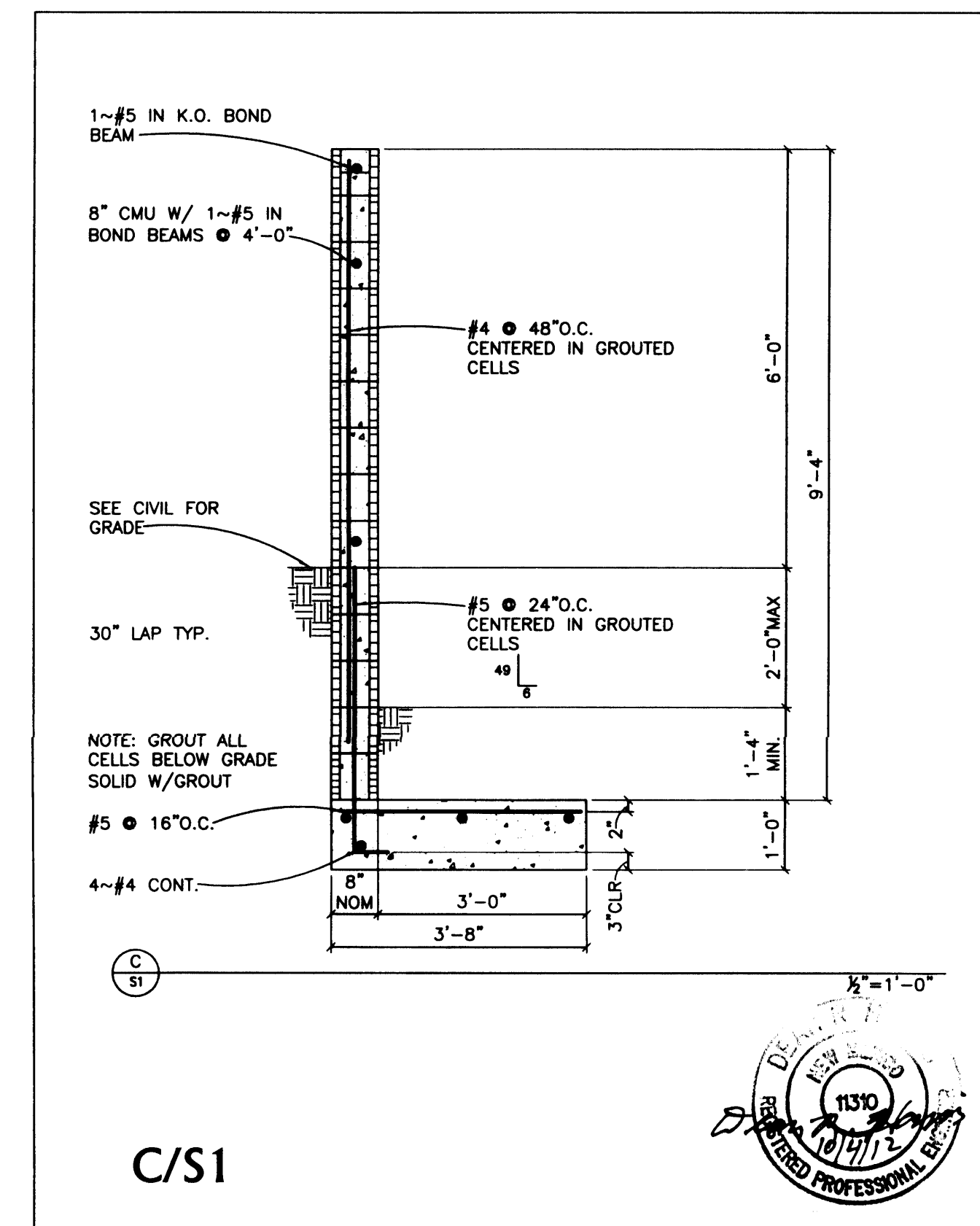
Sheet No. 2 of 3 Date: 10/4/12  
Project Name: 4545 ALAMEDA RETAIL  
Subject: SITE WALLS  
Client: MECHENBIER CONSTRUCTION  
Drawn By: DRH



B/S1

**Desert Eagle Engineering, LLC**  
1200 Prosperity Ave., SE  
Albuquerque, NM 87105  
Ph. (505) 342-0161 Fax (505) 342-0163

Sheet No. 3 of 3 Date: 10/4/12  
Project Name: 4545 ALAMEDA RETAIL  
Subject: SITE WALLS  
Client: MECHENBIER CONSTRUCTION  
Drawn By: DRH



C/S1

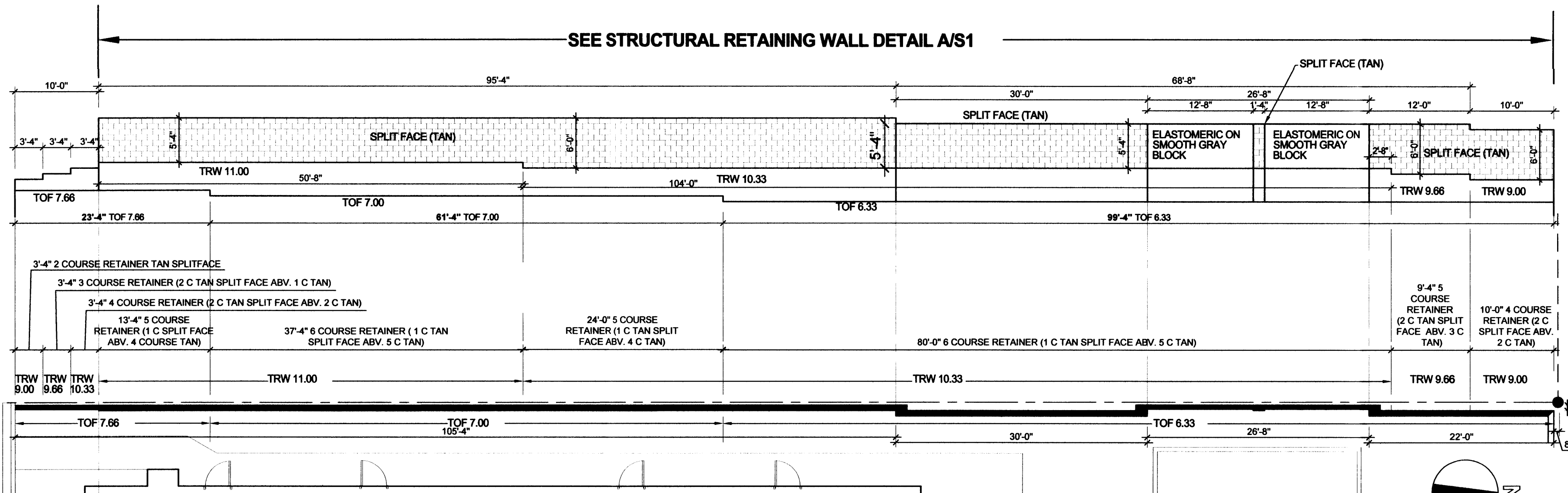
STRUCTURAL DETAILS

NOTES:

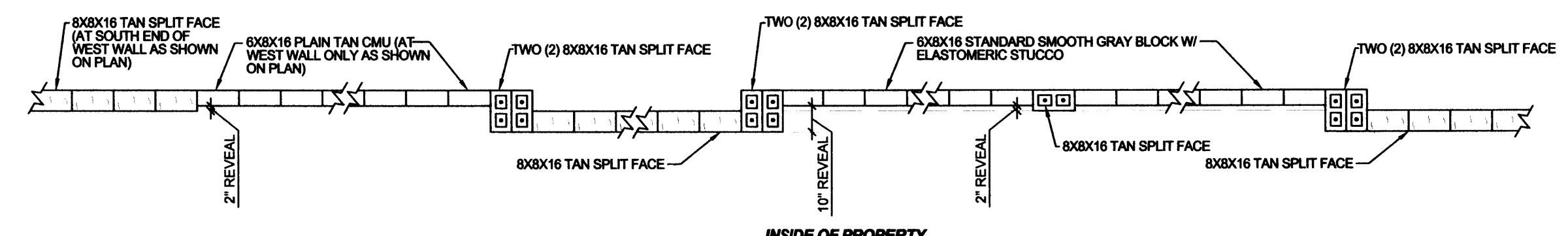
- RUBBER EXPANSION JOINTS TO BE PLACED NO FURTHER THAN 12'-8" ON CENTER.
- CONTINUOUS BOND BEAM AT EVERY 6TH COURSE (48" O.C.) & AT TOP OF WALL.
- 8X8X16 TAN SPLIT FACE BLOCKS BETWEEN COLORED PANELS TO BE POURED FULL VERTICAL HEIGHT WITH A CONTINUOUS VERTICAL REBAR IN BOTH CELLS
- TWO 8X8X16 BACK TO BACK BLOCKS AT COLOR/ELASTOMERIC TO SPLIT FACE TRANSITION TO BE POURED FULL VERTICAL HEIGHT WITH A CONTINUOUS VERTICAL REBAR IN EACH BLOCK
- MAXIMUM DISTANCE OF 4'-0" (48") O.C. IN GARDEN WALL SECTIONS/PANELS BETWEEN POURED VERTICAL REINFORCEMENT CELLS WITH A CONTINUOUS REBAR

LEGEND:

TRW TOP OF RETAINING WALL  
TOF TOP OF FOOTING



A WEST PROPERTY LINE WALL  
1" = 10'-0"



C TYPICAL WALL DETAIL  
1/4" = 1'-0"

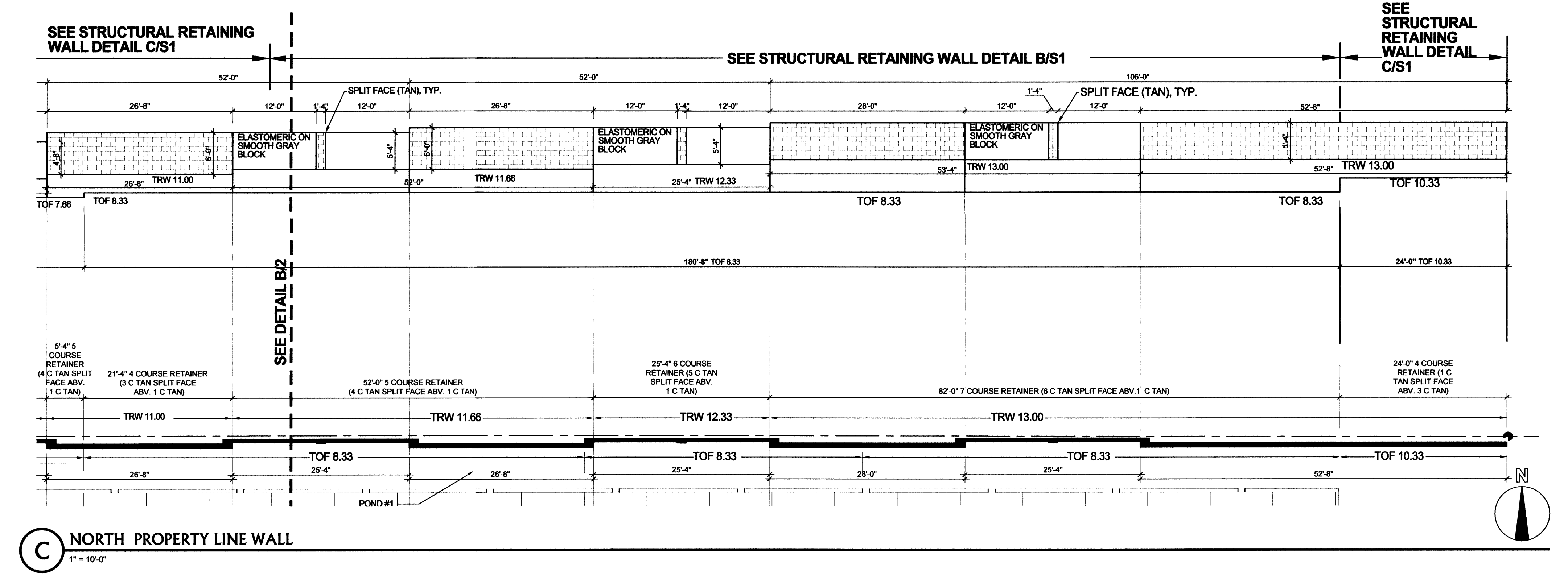
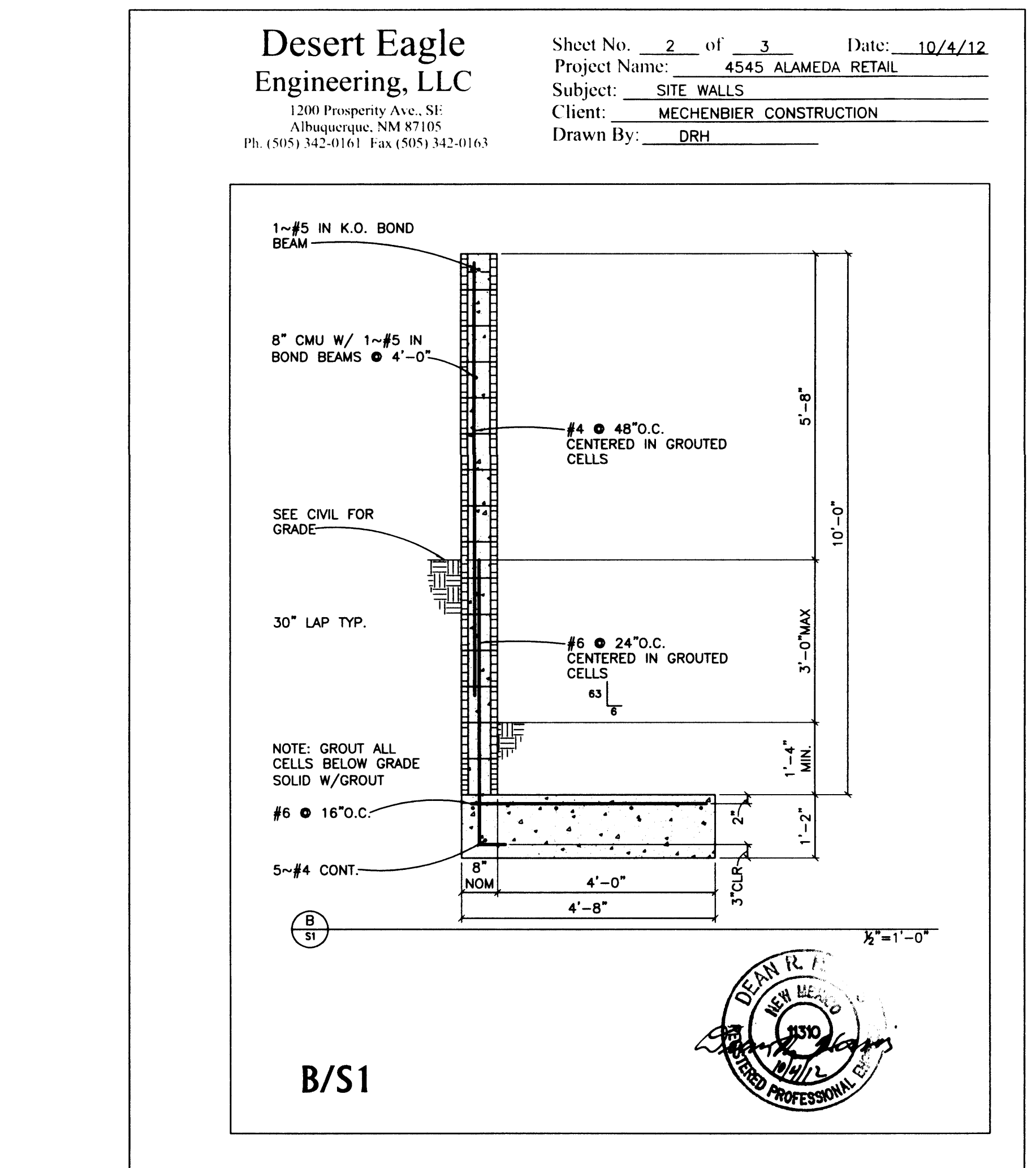
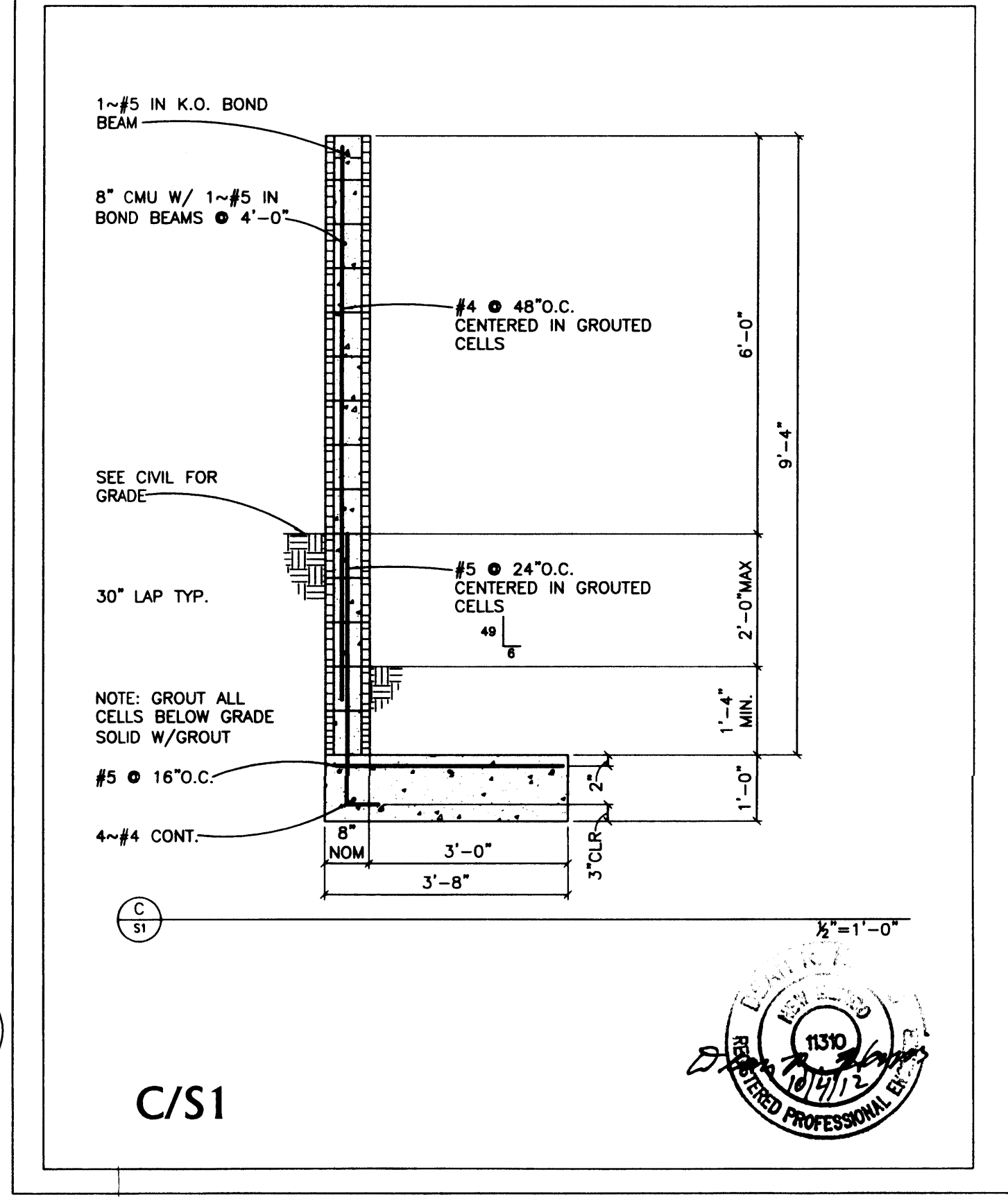
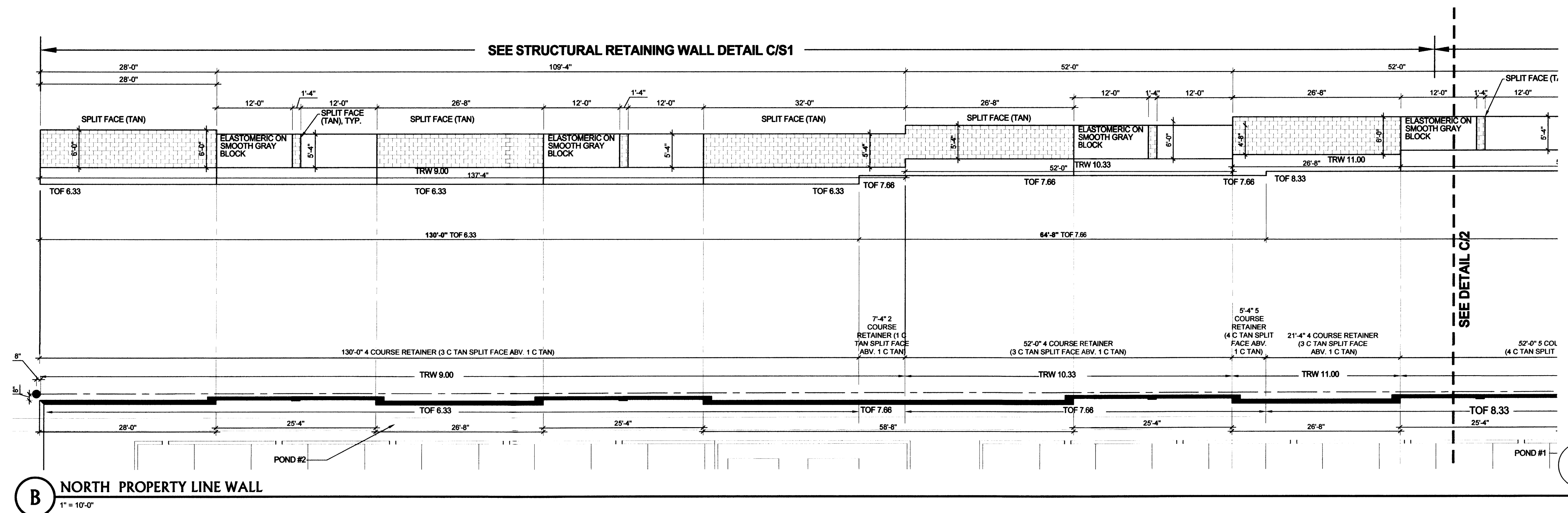


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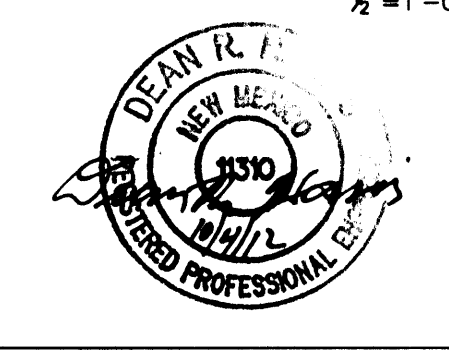
Sheet No. 3 of 3 Date: 10/4/12  
 Project Name: 4545 ALAMEDA RETAIL  
 Subject: SITE WALLS  
 Client: MECHENBIER CONSTRUCTION  
 Drawn By: DRH

SHEET NO. **2**

REVISED OCT 11, 2012  
 DRAWN BY: L. KUENN  
 FILE: ALAMEDA



**RETAINING / GARDEN WALL ELEVATIONS/ BLOCK TYPE**  
 4545 ALAMEDA BLVD NE  
 ALBUQUERQUE NM 87113





REVISIONS:  
 4-13-12 DRB 3-21-12 COMMENTS & EASEMENT REVISIONS  
 5-11-12 ENTRY DRIVE RELOCATION & ASSOCIATED REVISIONS  
 6-13-12 MEDIAN CLARIFICATIONS, DRAINAGE EASEMENT MAINTENANCE & BENEFICIARIES CLARIFICATION, REPLAT COORDINATION  
 6-18-12 DRB COMMENTS - ZONING & BOLLARD DETAIL

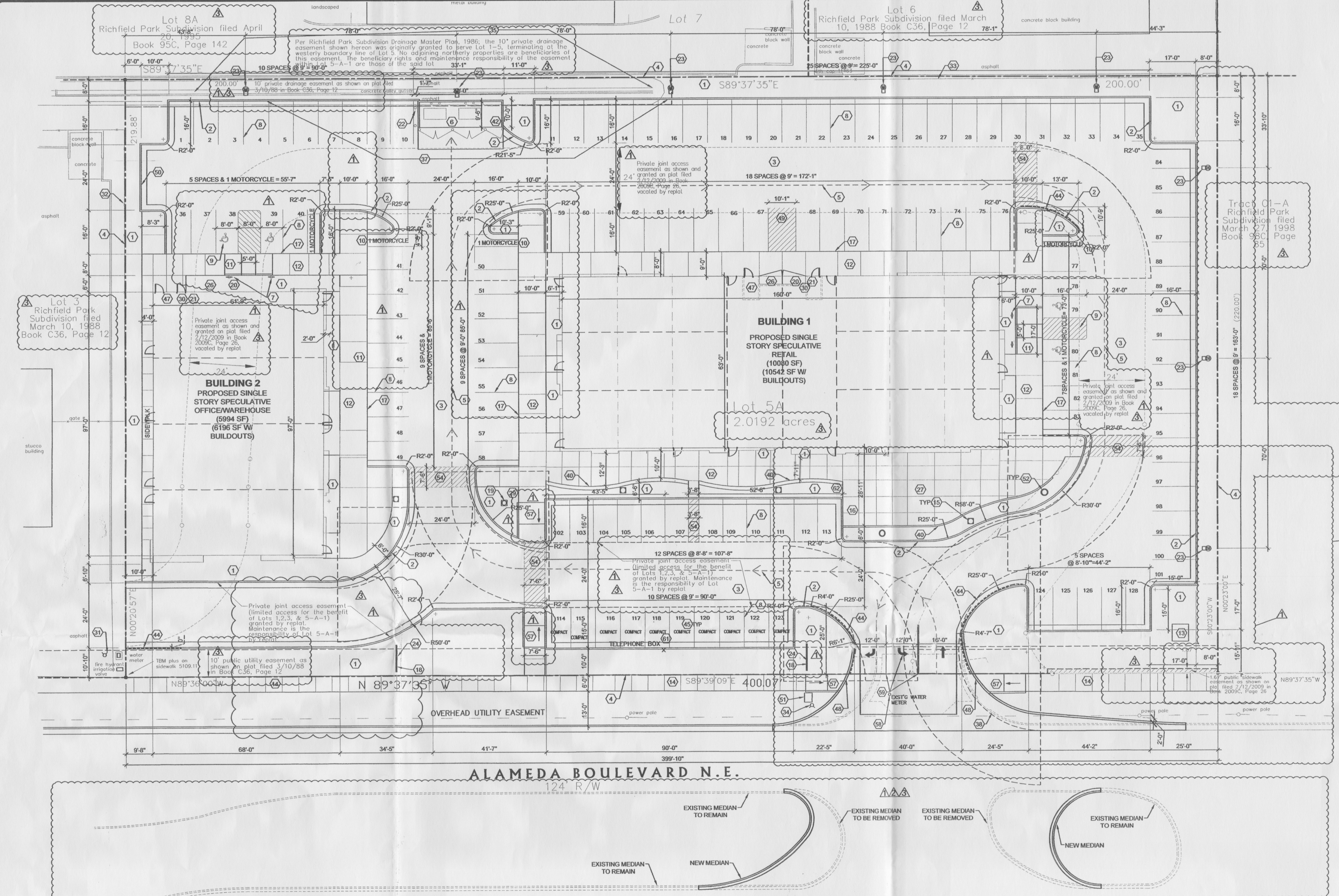
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 1" = 20'-0"  
 PLAN DATE:  
 FEB 23, 2012  
 FILENAME:  
 SITE  
 DRAWN BY:  
 L. KUENN

PROPOSED RETAIL/OFFICE BUILDINGS  
 LOT 5A RICHFIELD PARK SUBDIVISION  
 4545 ALAMEDA BLVD NE  
 ALBUQUERQUE, NEW MEXICO 87113

MECHENBER CONSTRUCTION INC.  
 8800 WASHINGTON ST. NE SUITE A-5  
 ALBUQUERQUE, NM 87110  
 TEL: 505.764.7999  
 WWW.MECHENBER.COM  
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**KEYED NOTES:**

- LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
- STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- ASPHALT PAVING @ DRIVEWAYS AND AT PARKING STALLS.
- PROPERTY LINE.
- WASTE COLLECTION ROUTE.
- REFUSE PAD, APRON, AND ENCLOSURE WITH RECYCLING AREA, WITH GREASE TRAP & FROST PROOF HARD POST HYDRANT, PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAILS BS1.2 THROUGH ES1.2.
- POLE MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE NS1.2.
- PARKING STALL STRIPING, TYPICAL.
- PAINTED HANDICAP PARKING SYMBOL.
- MOTORCYCLE/MOPED PARKING AREA.
- HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
- NEW CONCRETE SIDEWALK WIDTH AS DENOTED. MINIMUM UNOBSTRUCTED WIDTH SHALL BE 6'-0".
- TRANSFORMER LOCATION PAD MOUNTED, PER PNM SPECIFICATIONS.
- EXISTING 6'-0" CITY SIDEWALK.
- DECORATIVE BOLLARD OR LIGHT BOLLARDS ALONG SOUTH FRONT OF BUILDING ALONG THE SIDEWALK NOT EXCEEDING 16 FT. HT. SEE DETAIL GS1.2.
- BIKE RACK. SEE DETAIL LS1.2.
- TURNDOWN SIDEWALK.
- MONUMENT SIGN. SEE DETAIL NS1.2.
- FLAGPOLE 25' HIGH POLE BRUSHED ALUMINUM FINISH.
- GAS METER LOCATIONS. (12 TOTAL - 8 AT BLDG 1, 4 AT BLDG 2).
- ROOF ACCESS HATCH & LADDER LOCATION.
- ALL LIGHTING IS ELECTRICAL TO CORRECT ALL ELECTRICAL OBSTACLES.
- POLE LIGHT SEE DETAIL GS1.2. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING.
- MONUMENT SIGN DOWN LIGHTING MOUNTED ON TOP OF MONUMENT SIGN.
- DIRECTIONAL SIGNAGE - SEE M1.2.
- EXISTING SIGNAGE LOCATION.
- TENANT SHARED OUTDOOR DINING AREA.
- EXISTING HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
- MAIL BOX LOCATION.
- TELEPHONE DEMARCATION PANEL ROOM.
- EXISTING FIRE HYDRANT.
- EXISTING CHAIN LINK FENCE TO REMAIN - ON ADJACENT PROPERTY.
- EXISTING WOOD FENCE TO REMAIN - ON ADJACENT PROPERTY.
- NEW PUBLIC FIRE HYDRANT.
- DEMCO DRAINAGE SWALE. REPLACE WITH LANDSCAPING.
- NOT USED.
- CURB CUTS AT 15' TO 20' TO PASS FLOW TO PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
- EXISTING DRIVE CUT.
- NOT USED.
- 3'-6" HIGH SCREEN WALL. STUCCO COLOR TO MATCH BUILDING.
- SCAFFOLD WALL. TOP OF WALL AT 20' ABOVE GROUND LEVEL. WALL DEPTH 16". STUCCO COLOR TO MATCH BUILDING.
- NOT USED.
- NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
- NO PARKING, FIRE LANE. CURB TO BE PAINTED/IDENTIFIED AS SUCH (LOCATION DENOTED BY DASHED LINE ON PLAN).
- ALL COMPACT SPACES TO BE STAMPED WITH THE WORD "COMPACT" ON THE PAVEMENT.
- NOT USED.
- FIRE SPRINKLER RISER AND POTABLE WATER BACKFLOW PREVENTER ROOM.
- RELOCATED ENTRY DRIVE.
- STAMP PAVEMENT "NO PARKING" FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
- NO PARKING. CURB TO BE PAINTED YELLOW TO DESIGNATE AS SUCH.
- NEW WATER METER, 1" SERVICE, 3/4" METER.
- LIGHTING BOLLARD.
- NOT USED.
- RAMP STRIPING ON PAVEMENT FOR PEDESTRIAN CROSSWALK.
- NOT USED.
- NOT USED.
- NEW HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE. ALL RAMPS LOCATED IN WITHIN CITY RIGHT OF WAY TO HAVE TRUNCATED DOMES.
- COMP OFF EXISTING WATER METER. SEE CONCEPTUAL SITE UTILITY PLAN.
- NEW LANE STRIPING AND DIRECTIONAL ARROWS AT ACCESS POINT PER C.O.A. STANDARDS.
- NOT USED.
- RELOCATE EXISTING TELEPHONE BOX.
- EXTERIOR LOCKERS FOR BIKE HELMETS, GEAR, ETC.



SITE PLAN FOR BUILDING PERMIT

**PROJECT DESCRIPTION:**

ADDRESS: 4545 ALAMEDA BOULEVARD NE ALBUQUERQUE, NM 87113  
 LEGAL DESCRIPTION: LOT 5-A BEING A REPLAT OF LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION  
 OWNER: JOHN E & CYNTHIA A MECHENBER  
 UPC: 101706430039011104  
 ZONE MAP: C-17  
 ZONING: SU-2 NC  
 TOTAL SITE AREA: 88,004 SF  
 DEVELOPED AREA: 88,004 SF  
 CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE, AUTOMATIC SPRINKLER SYSTEM)

REQUIRED PARKING:	PATIO/OUTDOOR DINING AREA:	938 S.F.
RETAIL (M) 10,080/200 = 51	EXTERIOR BENCH SEATING: TOTAL SEATING REQUIRED (213 LIN FT/ 25 FT) = 9	
BUSINESS (B) 5,994/200 = 30	EXTERIOR DINING SEATING (MIN.) = 16	
TOTAL PARKING PROVIDED: 128	BENCH HIGH WALL SEATING (104 LIN FT/24) = 52	
COMPACT SPACES ALLOWED (33% of 128): 42	TOTAL SEATING PROVIDED: 68	
COMPACT SPACES PROVIDED: 10	A MINIMUM OF 25% OF SEATING TO BE SHADED	
TOTAL HANDICAP REQUIRED PER 2003 IBC TABLE 1106.1: 4		
TOTAL HANDICAP PROVIDED: 4		
TOTAL MOTORCYCLE/MOPED REQUIRED: 3		
TOTAL MOTORCYCLE/MOPED PROVIDED: 4		
TOTAL BIKE SPACES REQUIRED: 81/20 = 4		
TOTAL BIKE SPACES PROVIDED: 6		

OCCUPANCY GROUPS:	M RETAIL	B OFFICE
GROSS BUILDING AREA (INCLUDES OVERHANGS & POPOUTS):	16,738 SF	
NET FLOOR AREA:	16,074 SF	
NET LOT AREA:	88,004 SF	
LESS BUILDING FOOTPRINT AREA:	16,738 SF	
NET LOT AREA:	71,226 SF	
TOTAL LANDSCAPE PROVIDED:	15,103 SF	
LANDSCAPE % NET LOT AREA:	21.2 %	

BUILDING USAGE & OCCUPANCY AREAS:  
 THE BUILDING WILL BE USED PRIMARILY FOR RETAIL WITH POSSIBLE OFFICE OR MEDICAL USE IN SOME OF THE SPACE. IT IS ESTIMATED THAT APPROXIMATELY 10,080 S.F. SHALL BE RETAIL SPACE (M OCCUPANCY), AND APPROXIMATELY 5,994 S.F. OF THE TOTAL SQUARE FOOTAGE SHALL BE OFFICE/MEDICAL SPACE (B OCCUPANCY).

TRAFFIC CIRCULATION:  
 TRAFFIC ENTRY TO THE PROPERTY SHALL BE VIA EAST & WEST-BOUND ALAMEDA BLVD. AT THE EAST END OF THE PROPERTY AND VIA THE SHARED ACCESS EASEMENT WITH LOT 3 RICHFIELD PARK SUBDIVISION AT THE WEST END OF THE PROPERTY. ON-SITE TRAFFIC FLOW IS TWO-WAY THROUGHOUT.

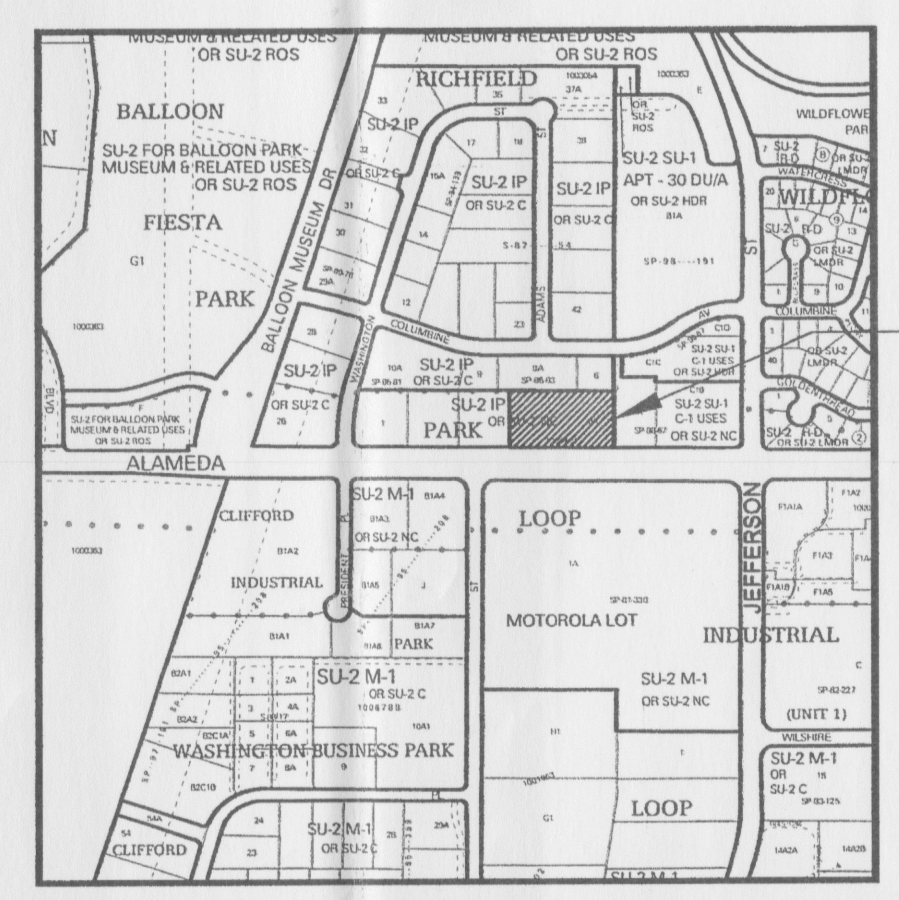
**PROJECT NUMBER: 1005410**

APPLICATION NUMBER: 12DRB-70062

IS AN INFRASTRUCTURE LIST REQUIRED ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	06-20-12	DATE
WATER UTILITY DEPARTMENT	06/20/12	DATE
PARKS AND RECREATION DEPARTMENT	6-20-12	DATE
CITY ENGINEER	8-28-12	DATE
"ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	8-28-12	DATE
SOLID WASTE MANAGEMENT	6-20-2012	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE
"ENVIRONMENTAL HEALTH, IF NECESSARY		



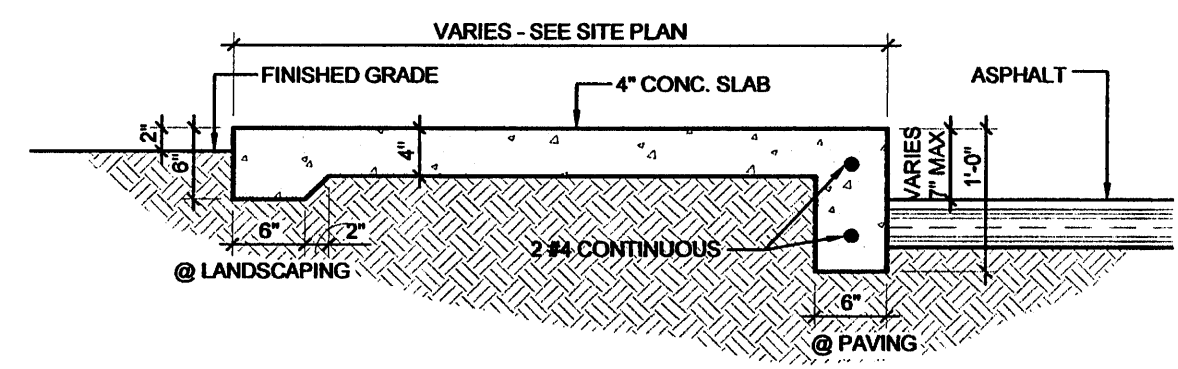
VICINITY MAP: C-17-Z

**SITE PLAN FOR BUILDING PERMIT**

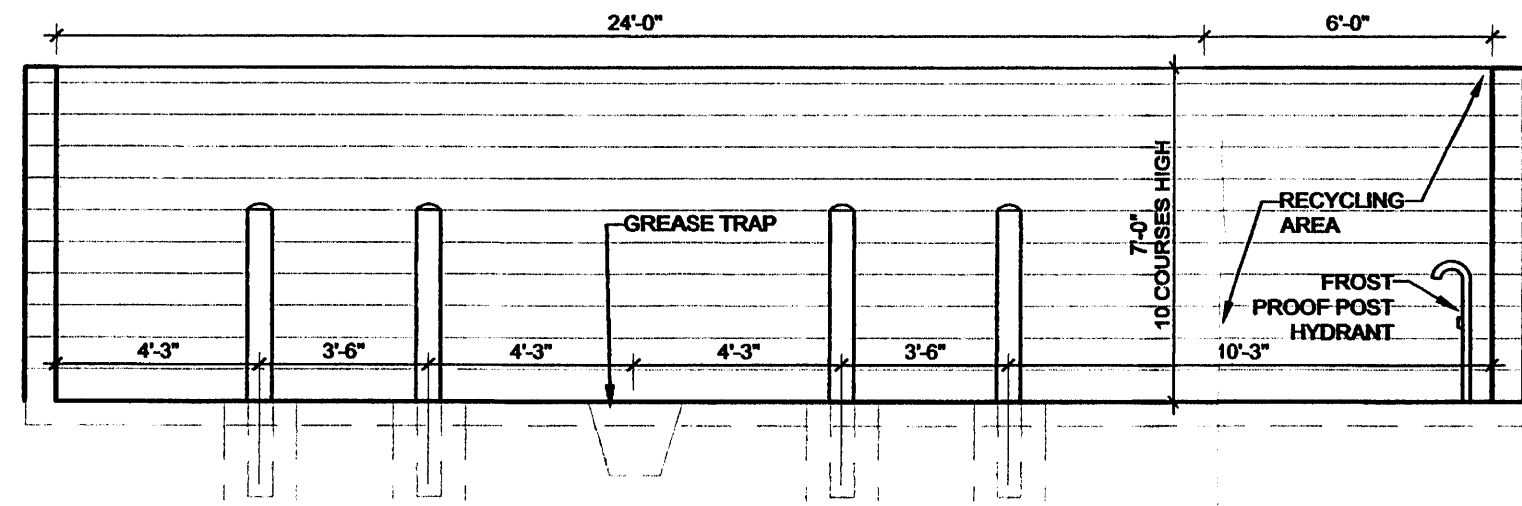


**REVISIONS:**  
 4-3-12 DRB 3-21-12 COMMENTS & EASEMENT REVISIONS  
 6-18-12 DRB COMMENTS - ZONING & BOLLARD DETAIL

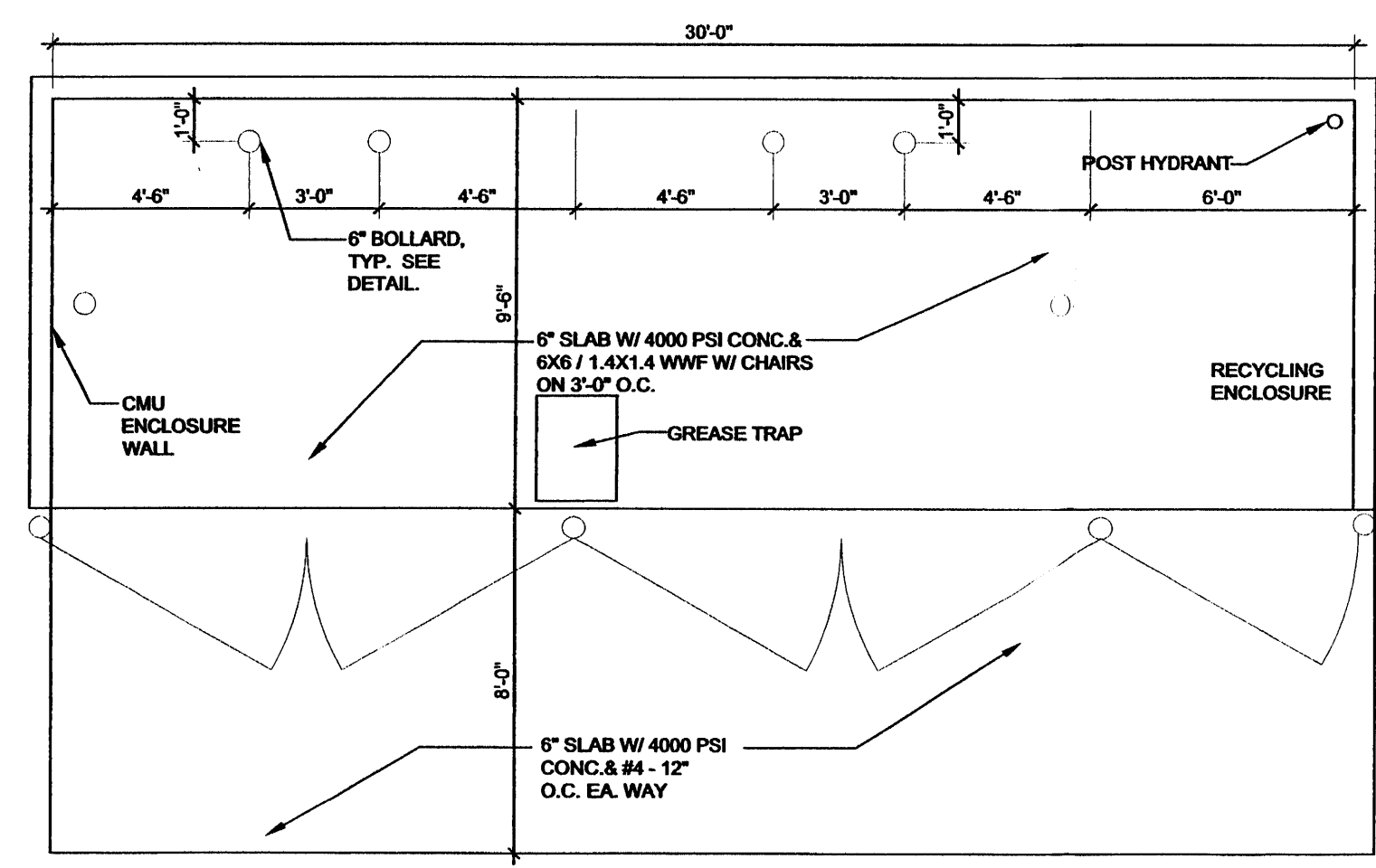
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 1" = 20'-0"  
**PLAN DATE:**  
 FEB 23, 2012  
**FILENAME:**  
 SITE  
**DRAWN BY:**  
 L. KUENN



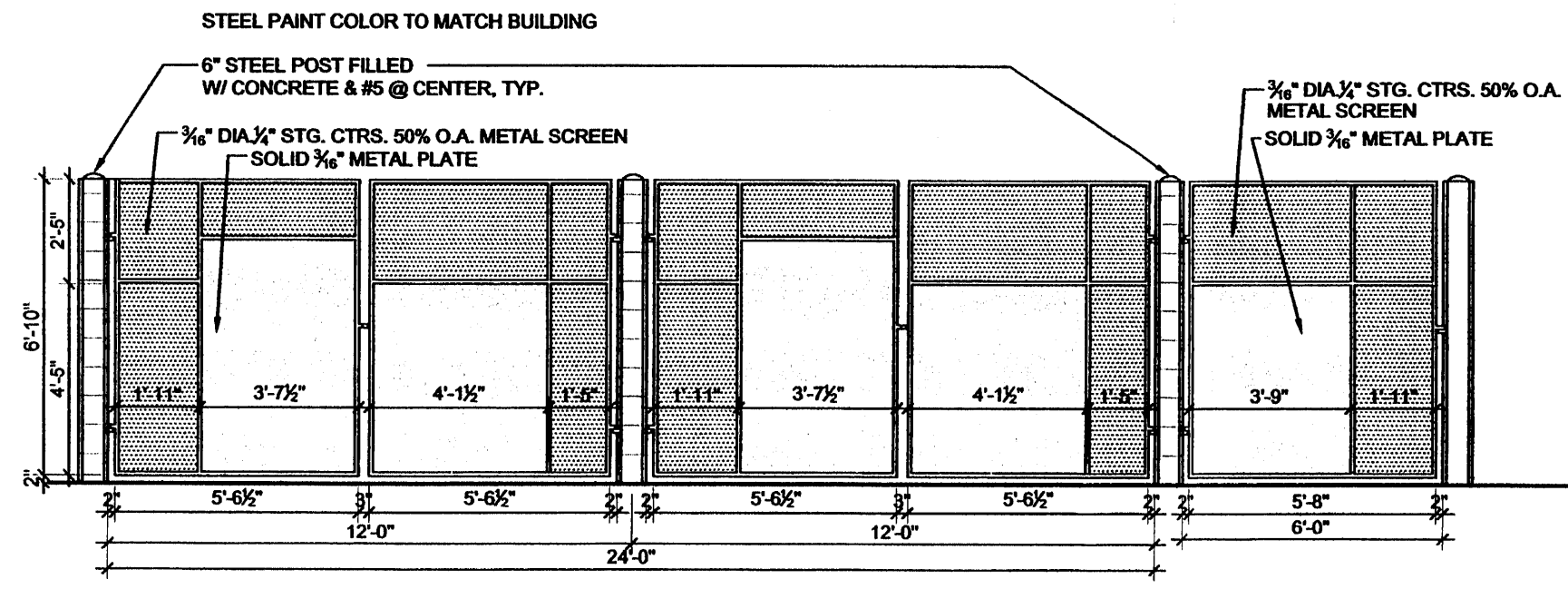
**A** **SIDEWALK SECTION**  
3/4" = 1'-0"



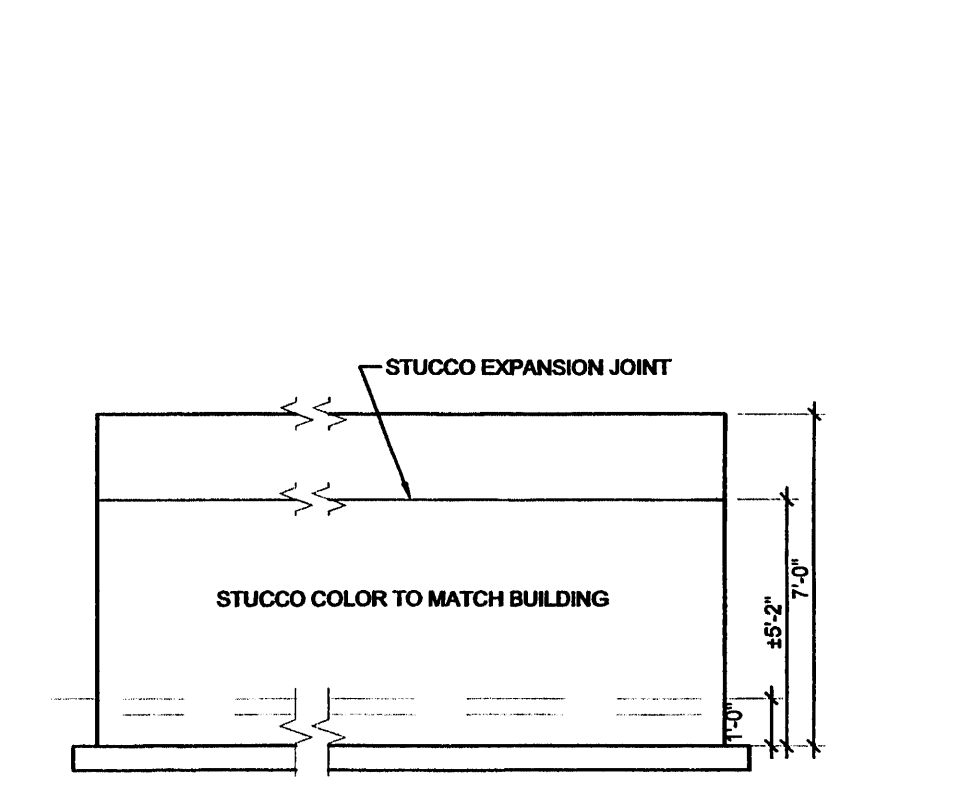
**B** **DUMPSTER ENCLOSURE**  
1/4" = 1'-0"



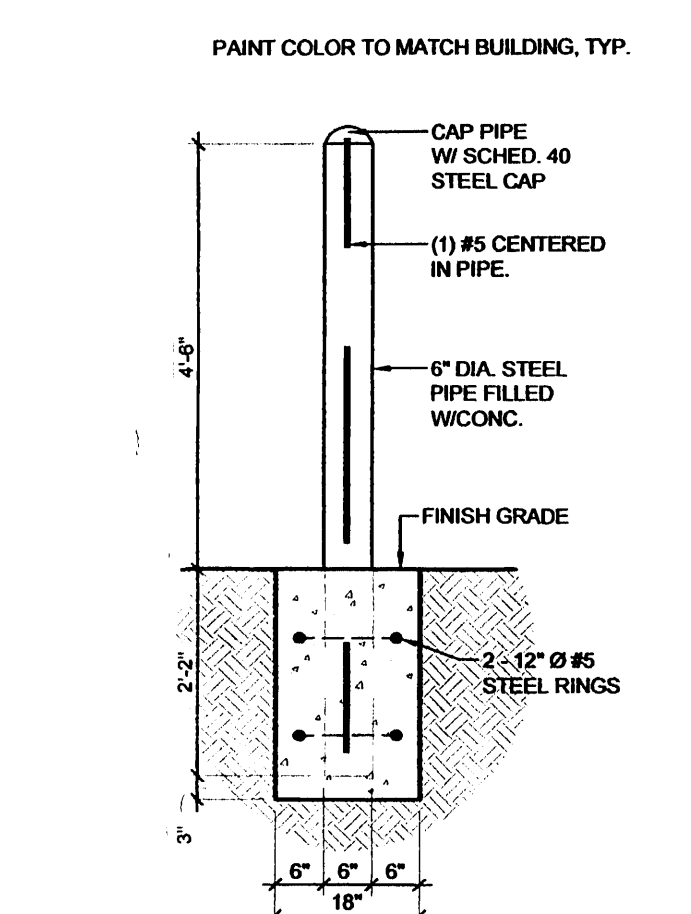
**C** **REFUSE ENCLOSURE PLAN**  
1/4" = 1'-0"



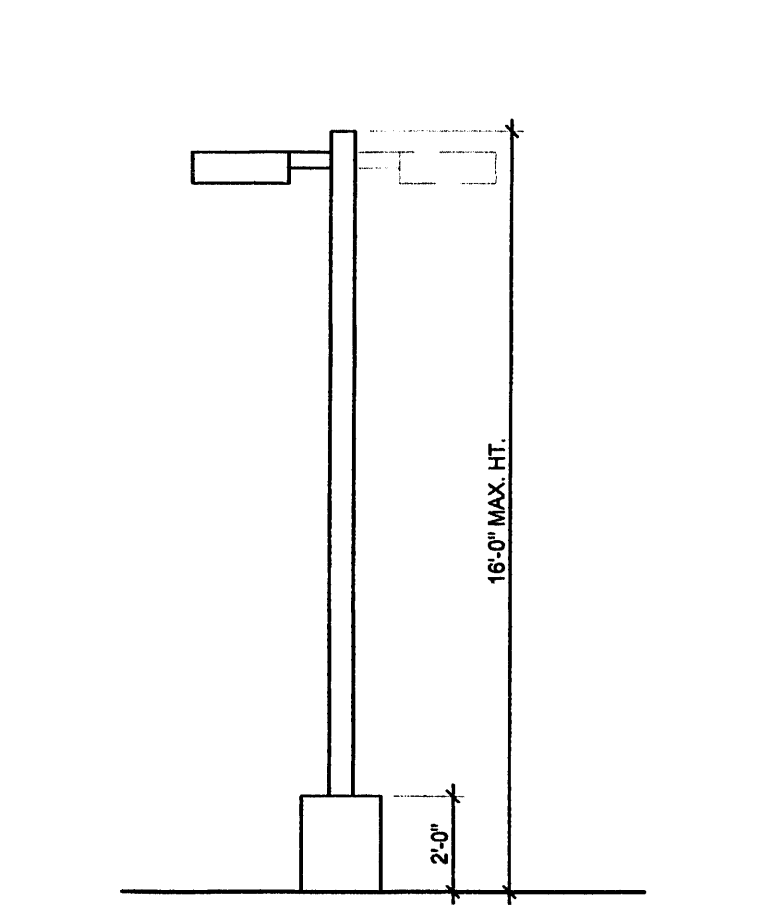
**D** **FRONT ELEVATION REFUSE & RECYCLING ENCLOSURE**  
1/4" = 1'-0"



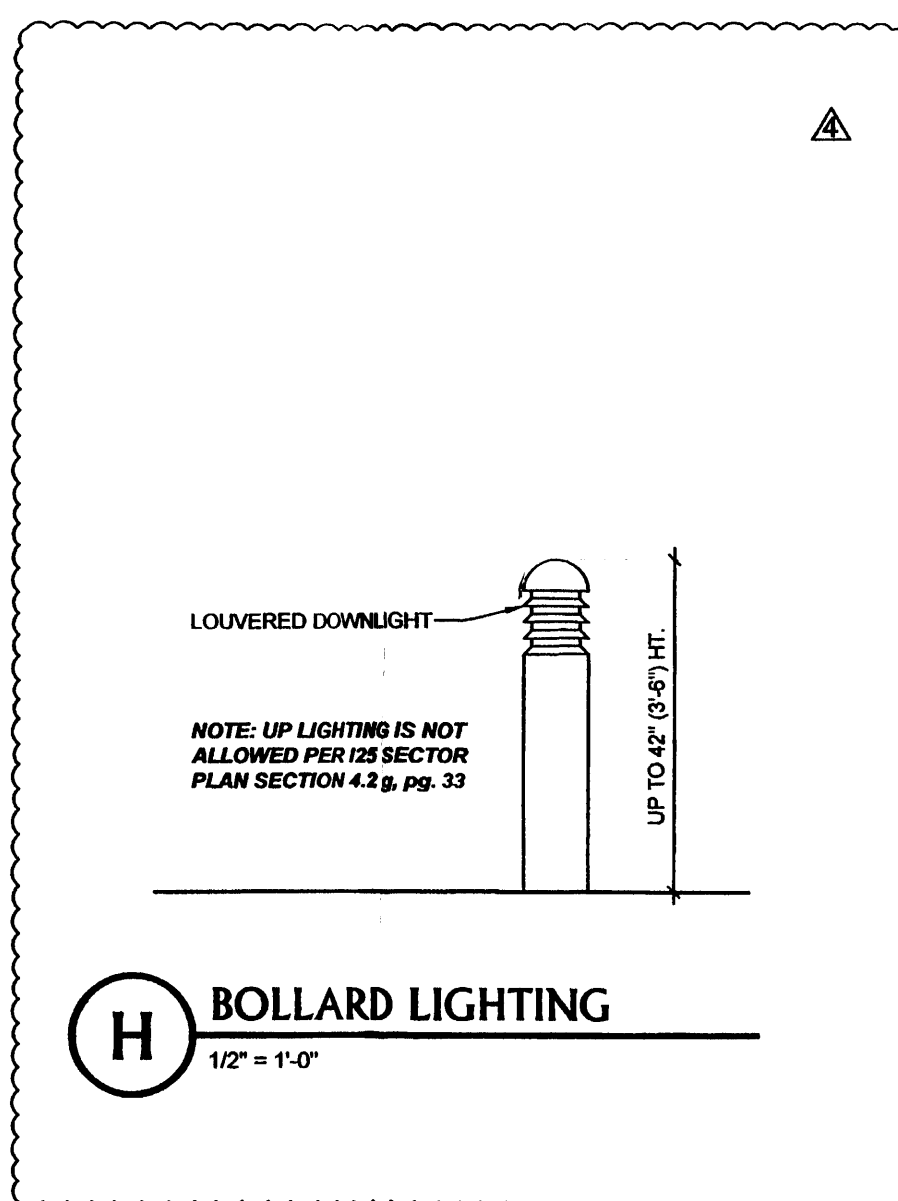
**E** **REAR ELEVATION REFUSE & RECYCLE ENCLOSURES**  
1/4" = 1'-0"



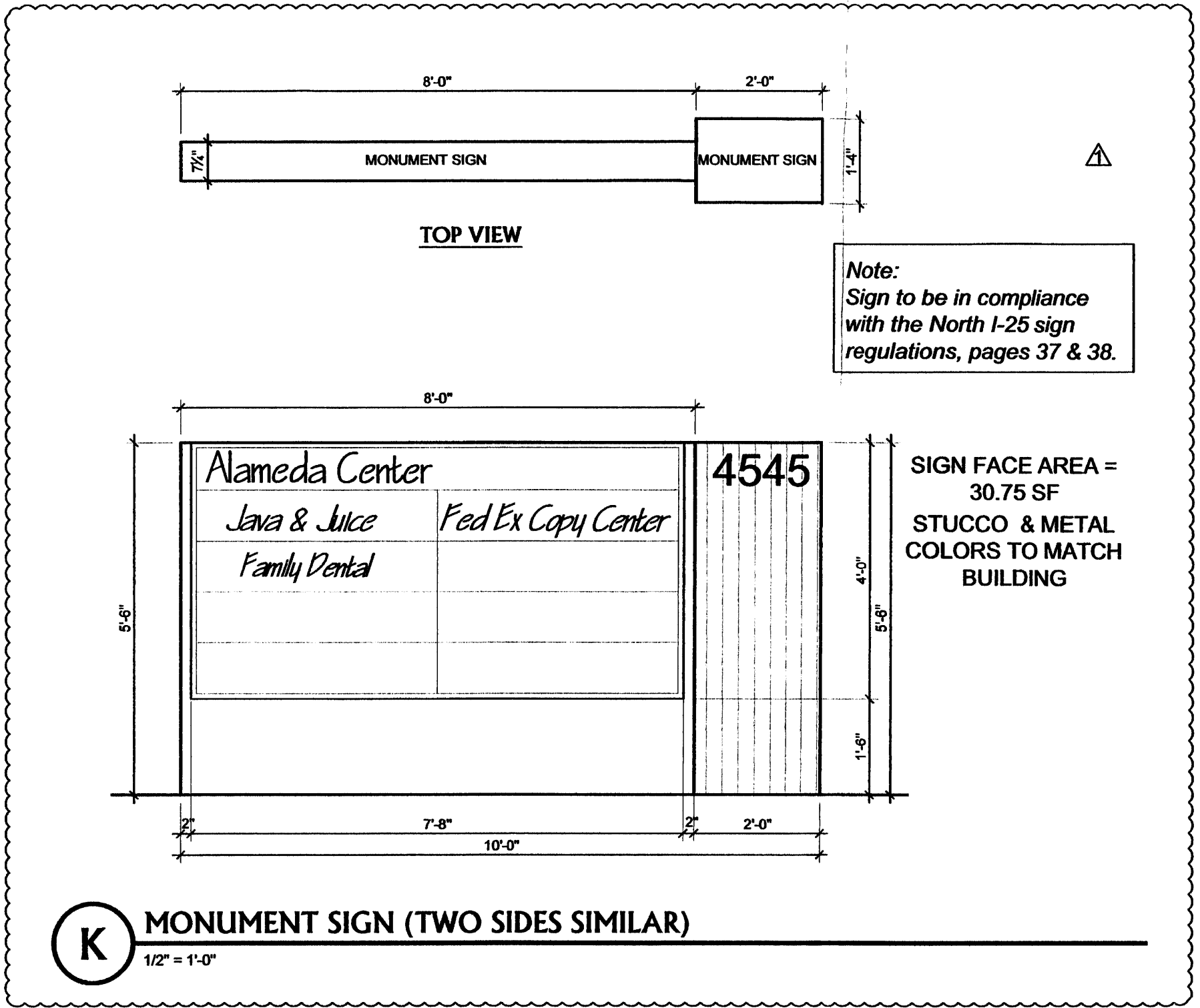
**F** **6" BOLLARD**  
1/2" = 1'-0"



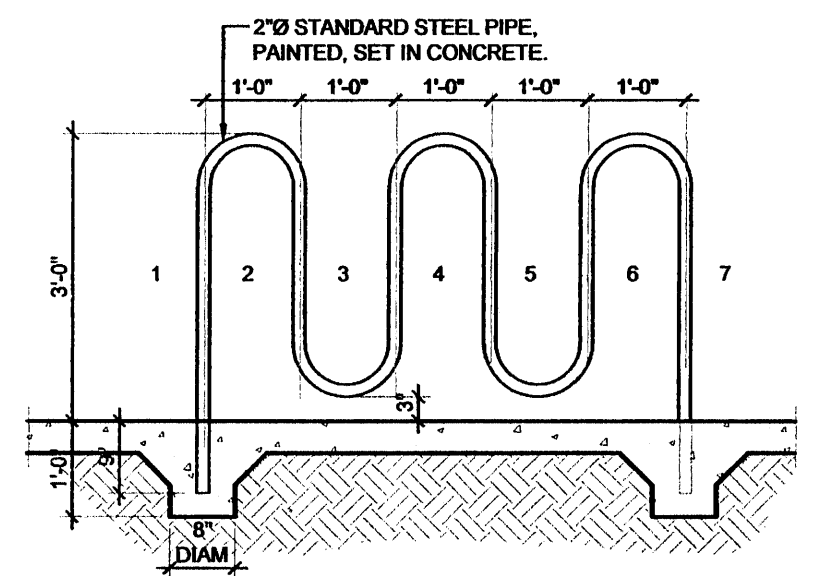
**G** **LIGHT POLE**  
1/4" = 1'-0"



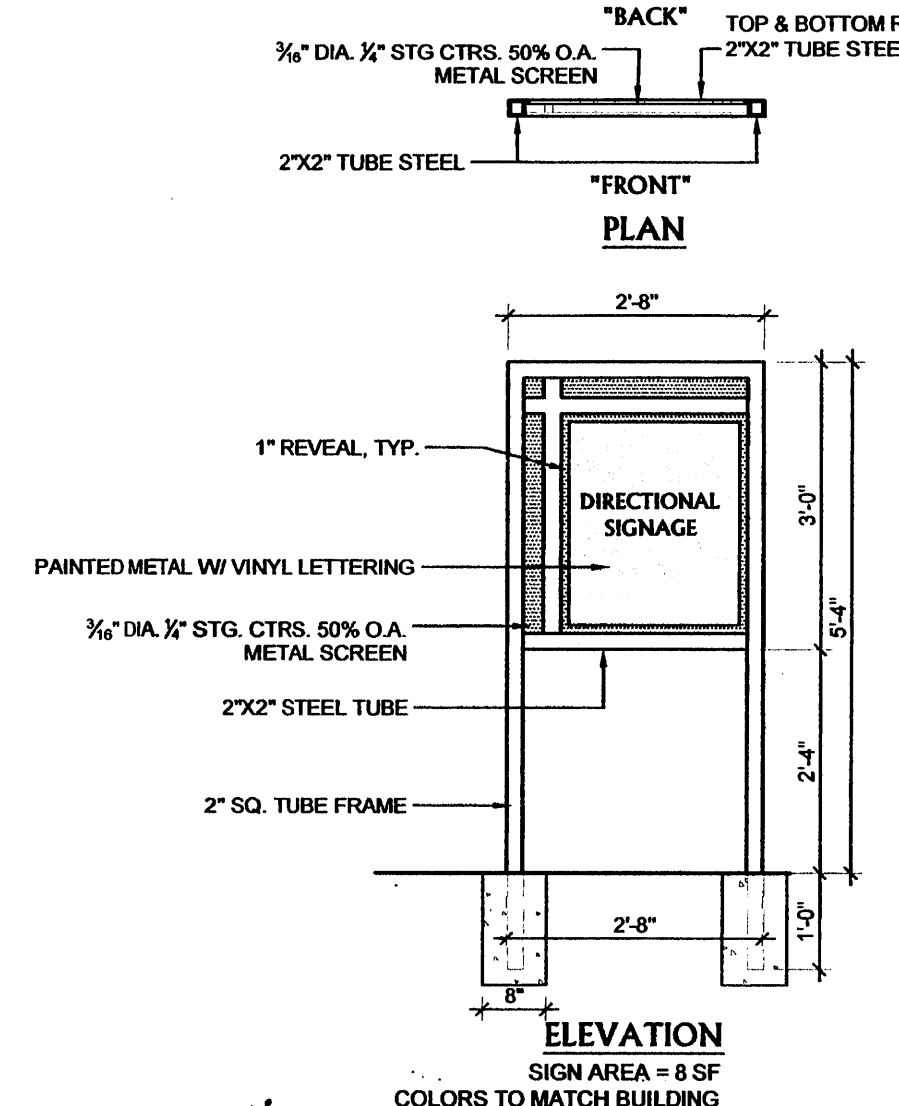
**H** **BOLLARD LIGHTING**  
1/2" = 1'-0"



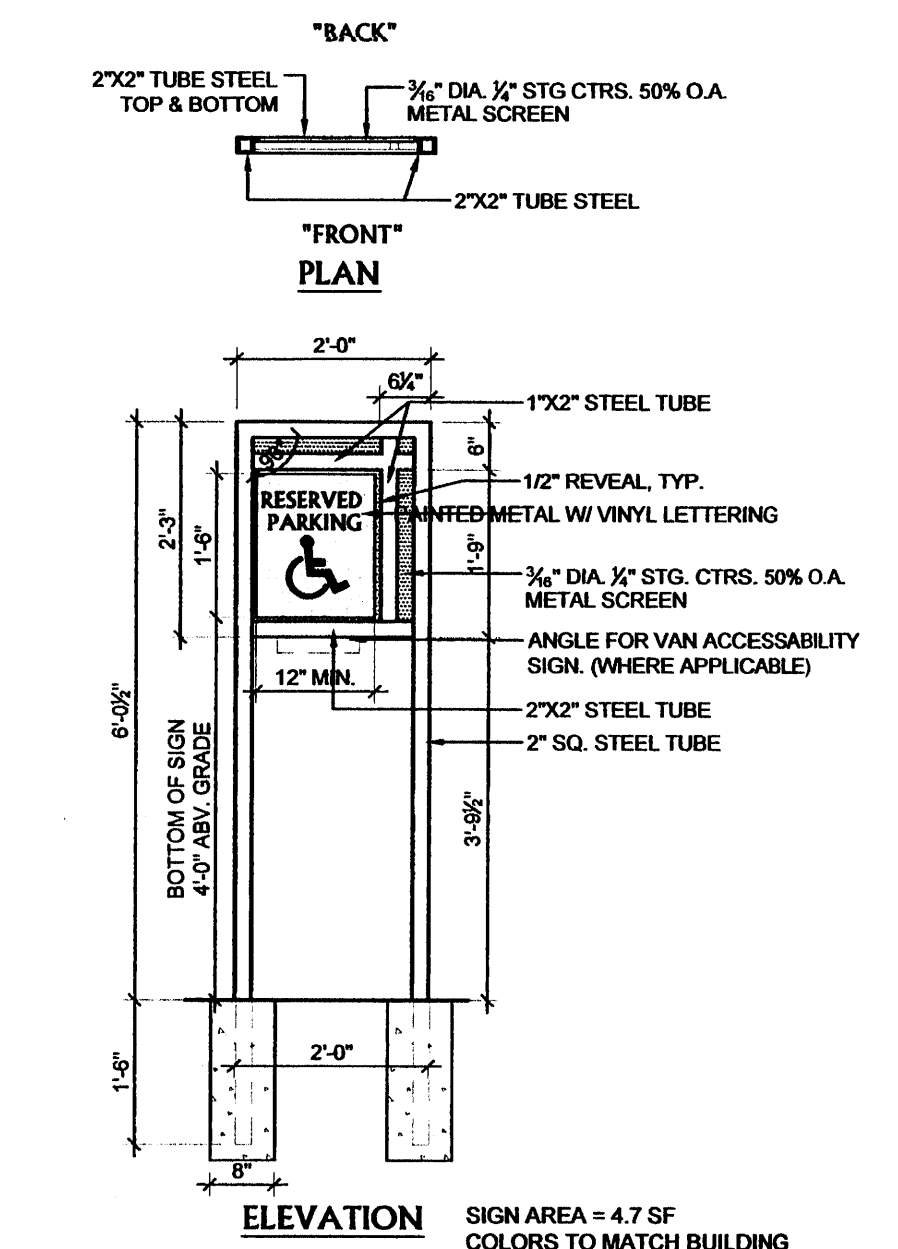
**K** **MONUMENT SIGN (TWO SIDES SIMILAR)**  
1/2" = 1'-0"



**L** **BIKE RACK**  
1/2" = 1'-0"



**M** **DIRECTIONAL SIGNAGE**  
1/2" = 1'-0"



**N** **HANDICAP SIGNAGE**  
1/2" = 1'-0"

SITE DETAILS

**PROPOSED RETAIL/OFFICE BUILDINGS**  
**LOT 5A RICHFIELD PARK SUBDIVISION**  
**4545 ALAMEDA BLVD NE**  
**ALBUQUERQUE, NEW MEXICO 87113**

**MECHENBIE**  
**CONSTRUCTION INC.**  
 880 WASHINGTON ST. SUITE A-3  
 ALBUQUERQUE, NM 87102  
 TEL: (505) 341-7779  
 FAX: (505) 341-7779  
 WWW.MECHENBIE.COM

**SITE DETAILS**