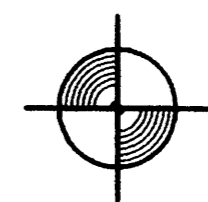
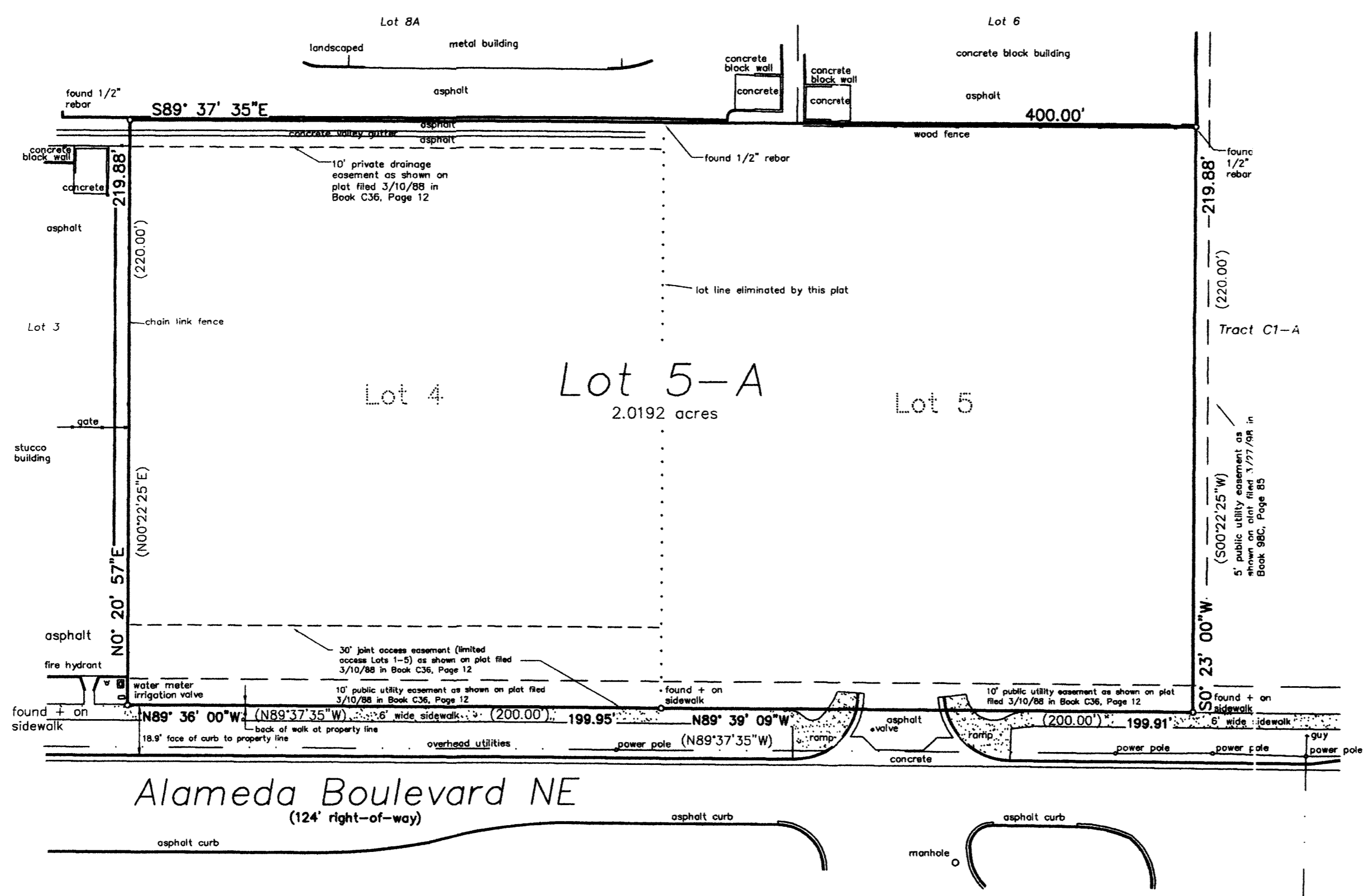
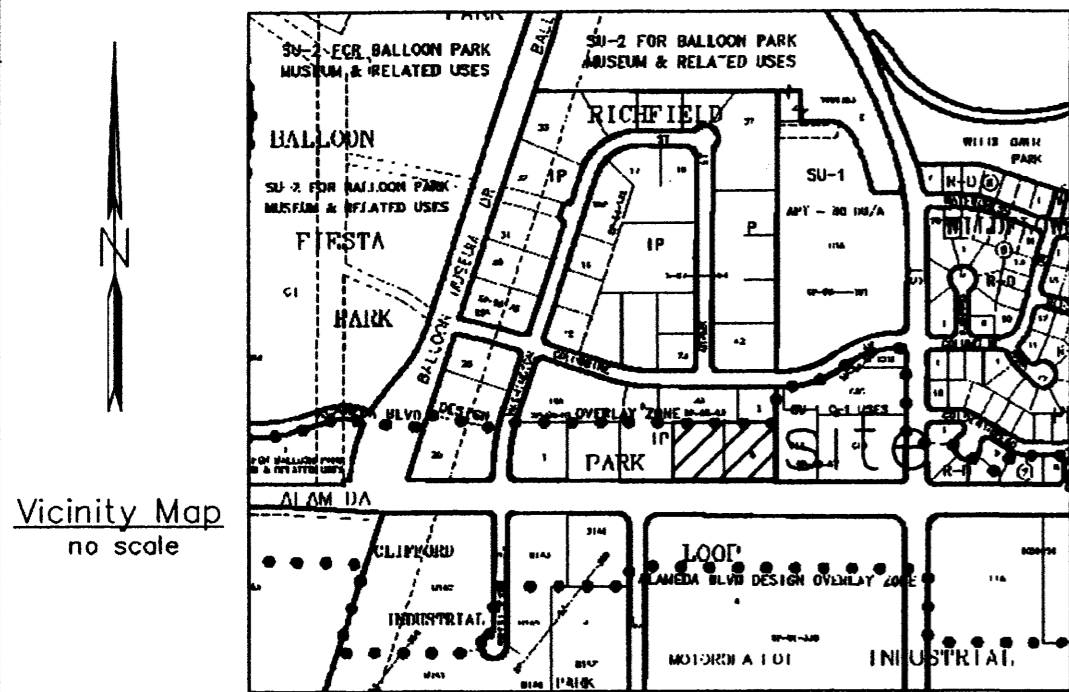


Lot 5-A
 being a replat of
 Lots 4 & 5
 Richfield Park Subdivision
 Elena Gallegos Grant
 Projected Section 14
 T.11N., R.3E. N.M.P.M.
 City of Albuquerque
 Bernalillo County, New Mexico
 August 2008

Improvement Sketch



Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032



Vicinity Map
no scale

Zone Atlas Page Number C-17
 Talos Log Number 2008272886

SUBDIVISION DATA

1. Total gross acreage: 2.0192 acres
2. Total number of existing lots - 2. No additional lots are being created by this plat.
3. Total mileage of streets created - 0.
4. The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone, NAD 83.
5. Where measured bearings and distances differ from record, () indicates record bearings and distances.
6. Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
7. Date of field survey: June, 2008.
8. Documents used in the preparation of this survey:
 - a. Plat of Richfield Park Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 10, 1988, in Plat Book C36, page 12.
 - b. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 250987BB dated February 15, 2005 and documents referenced therein.
 - c. Special Warranty Deed filed 4/05/2005, in Book A84, Page 5812.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.

2. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.

3. Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.

4. Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS

Section 14-14-4-7(B) "No property within the area of this plat shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LEGAL DESCRIPTION

Lots numbered four (4) and five (5), Richfield Park Subdivision as the same are shown and designated on the Plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico on March 10, 1988 in Book C36, Page 12.

FREE CONSENT AND DEDICATION BY OWNERS OF LOTS 4 AND 5

The platting of the land comprising Lot 5-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNERS OF LOTS 4 & 5

John E. Mechenbier JEM. 2/3/09
 John E. Mechenbier

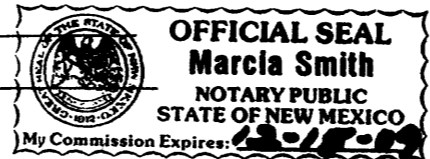
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on October 22 2008, by John E. Mechenbier.

My Commission Expires: 12-15-09

Marcia Smith
 Notary Public



Cynthia A. Mechenbier CAM. 2/3/09
 Cynthia A. Mechenbier

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on October 22 2008, by Cynthia A. Mechenbier.

My Commission Expires: 12-15-09

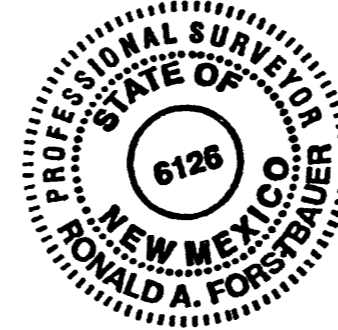
Marcia Smith
 Notary Public



SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitment No. 250987BB, effective February 15, 2005 issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 10/22/08
 Ronald A. Forstbauer Date
 N.M.P.S. No. 6126



Lot 5-A
 being a replat of
 Lots 4 & 5
 Richfield Park Subdivision
 Elena Gallegos Grant
 Projected Section 14
 T.11N., R.3E. N.M.P.M.
 City of Albuquerque
 Bernalillo County, New Mexico
 October 2008

PROJECT NUMBER 1005410

Application Number 08DRB-70456

The purpose of this plat is to consolidate Lots 4 & 5 into one lot, vacate the 30' joint access easement and grant a 24' private joint access easement.

PLAT APPROVAL

Utility Approvals:

<u>N/A</u>	PNM ELECTRIC SERVICES	DATE
<u>N/A</u>	PNM GAS SERVICES	DATE
<u>N/A</u>	QWEST TELECOMMUNICATIONS	DATE
<u>N/A</u>	COMCAST, INC.	DATE

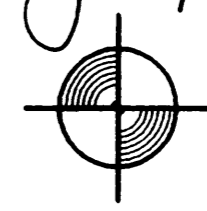
City Approvals:

<i>W.B. Hart</i>	CITY SURVEYOR	<u>10-23-08</u>	DATE
<u>N/A</u>	REAL PROPERTY DIVISION		DATE
<u>N/A</u>	ENVIRONMENTAL HEALTH DEPARTMENT		DATE
<i>W. A. S.</i>	TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<u>02-10-09</u>	DATE
<i>Ronald Green</i>	ABCWUA	<u>11-5-08</u>	DATE
<i>Christina Sandoval</i>	PARKS & RECREATION DEPARTMENT	<u>11/5/08</u>	DATE
<i>Bradley L. Bingham</i>	A.M.A.F.C.A.	<u>11/5/08</u>	DATE
<i>Bradley L. Bingham</i>	CITY ENGINEER	<u>11/5/08</u>	DATE
<i>Jack Clout</i>	DRP CHAIRPERSON, PLANNING DEPARTMENT	<u>02-10-09</u>	DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC #: 1 017-064-308391-111-05 10-17-064287391-111-01
 PROPERTY OWNER OF RECORD: Andrew T. Johnson + Cynthia Mechenbier

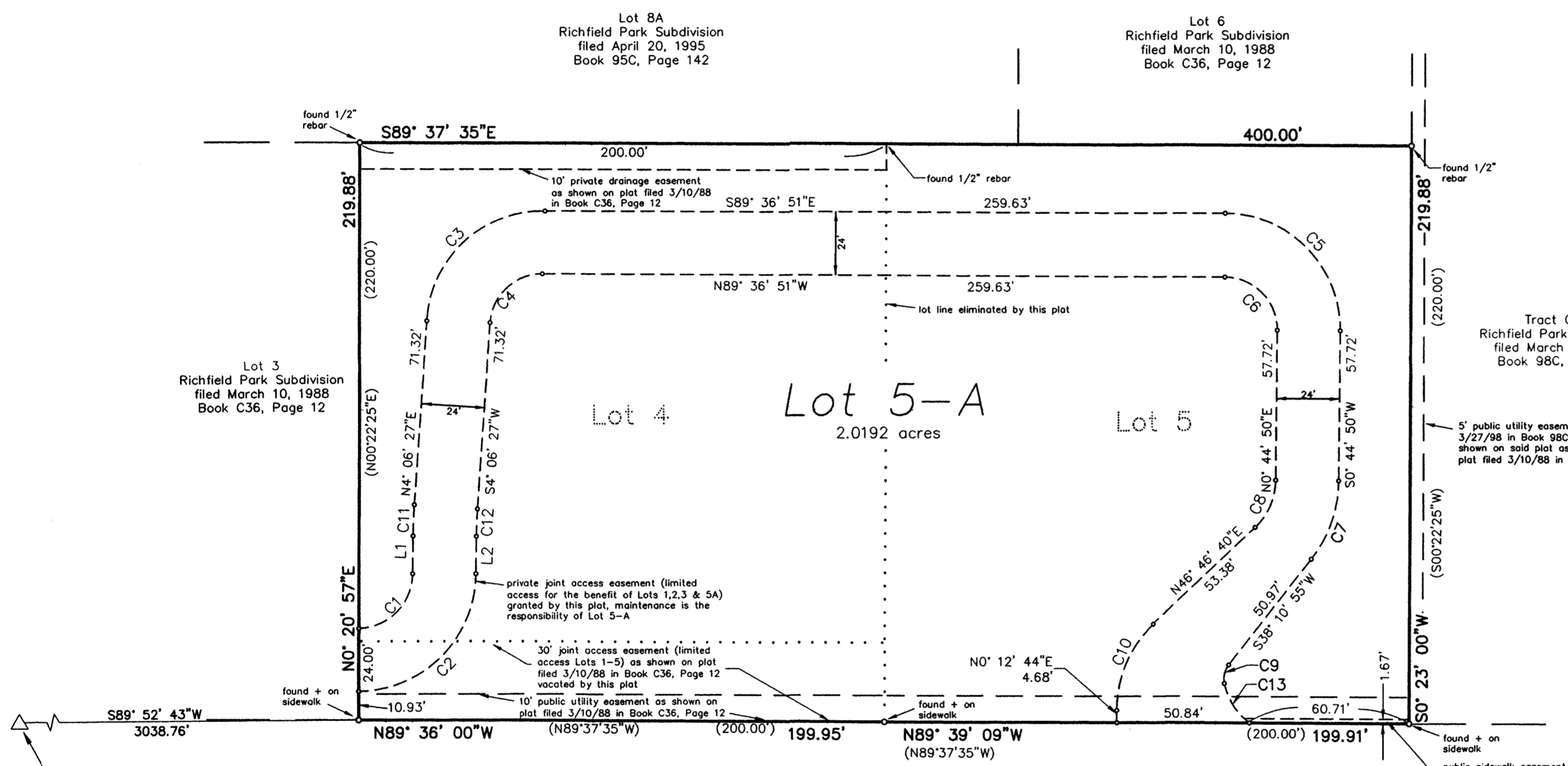
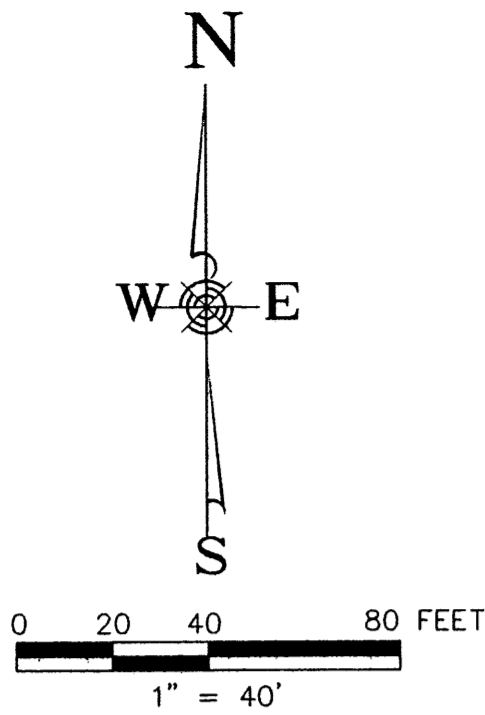
BERNALILLO COUNTY TREASURER'S OFFICE:

Rosemary Spence



Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

Lot 5-A
 being a replat of
 Lots 4 & 5
 Richfield Park Subdivision
 Elena Gallegos Grant
 Projected Section 14
 T.11N., R.3E. N.M.P.M.
 City of Albuquerque
 Bernalillo County, New Mexico
 October 2008

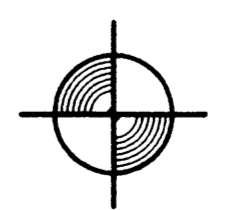


Line Table		
Line No.	Length	Direction
L1	14.30	N0° 44' 50"E
L2	14.18	S0° 44' 50"W

Curve Table					
Curve No.	Length	Radius	Delta	Chord Direction	Chord Length
C1	32.17	20.88	88° 17' 39"	N44° 53' 40"E	29.08
C2	69.77	45.00	88° 50' 24"	S45° 10' 02"W	62.99
C3	66.26	44.00	86° 16' 42"	N47° 14' 48"E	60.17
C4	30.12	20.00	86° 16' 42"	S47° 14' 48"W	27.35
C5	69.39	44.00	90° 21' 41"	S44° 26' 01"E	62.42
C6	31.54	20.00	90° 21' 41"	N44° 26' 01"W	28.37
C7	32.01	49.00	37° 26' 05"	S19° 27' 52"W	31.45
C8	20.08	25.00	46° 01' 51"	N23° 45' 45"E	19.55
C9	7.47	8.60	49° 46' 12"	S13° 17' 13"W	7.24
C10	36.57	45.00	46° 33' 57"	N23° 29' 42"E	35.57
C11	11.73	200.00	3° 21' 37"	N2° 25' 38"E	11.73
C12	10.32	176.00	3° 21' 37"	S2° 25' 38"W	10.32
C13	18.15	25.00	41° 35' 22"	S32° 23' 46"E	17.75

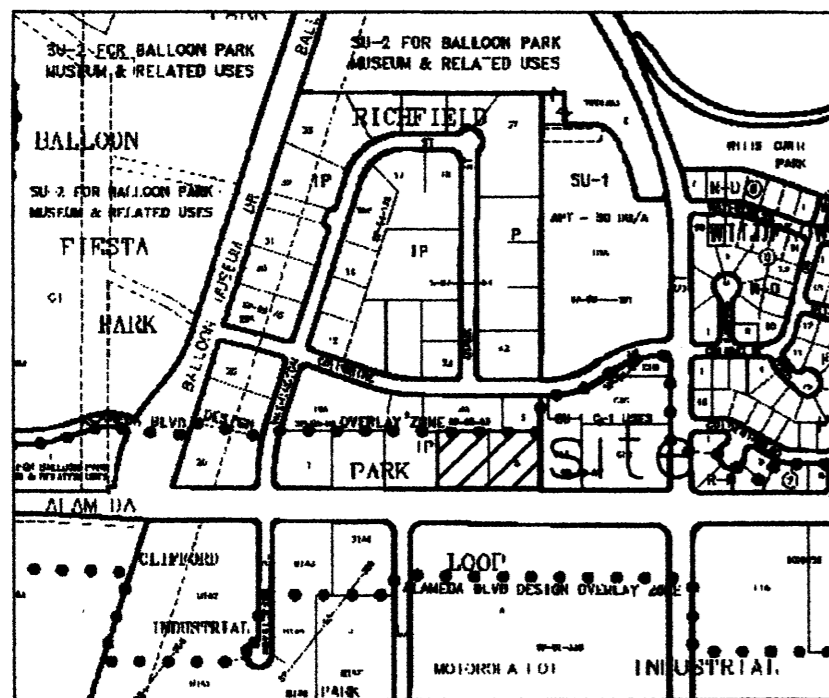
Albuquerque Control Survey Monument "NDC_7"
 Geographic Position (NAD 83)
 N.M. State Plane Coordinates (Central Zone)
 Northing = 1,522,698.249
 Easting = 1,534,340.591
 Ground-to-Grid Factor = 0.999674466
 delta alpha = -00° 12' 16.43"
 NAVD 1988 Elevation = not available

Alameda Boulevard NE
 (124' right-of-way)



Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032
 Sheet 2 of 2

Vicinity Map
no scale



Zone Atlas Page Number C-17
Talos Log Number 2008272886

LEGAL DESCRIPTION

Lots numbered four (4) and five (5), Richfield Park Subdivision as the same are shown and designated on the Plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico on March 10, 1988 in Book C36, Page 12.

FREE CONSENT AND DEDICATION BY OWNERS OF LOTS 4 AND 5

The platting of the land comprising Lot 5-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNERS OF LOTS 4 & 5

John E. Mechenbier

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on _____ 2008,
by John E. Mechenbier.

My Commission Expires: _____

Notary Public

Cynthia A. Mechenbier

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on _____ 2008,
by Cynthia A. Mechenbier.

My Commission Expires: _____

Notary Public

FREE CONSENT BY OWNERS OF LOTS 1, 2 & 3

The vacation of the existing joint access easement and granting of the 20' joint access easement as shown hereon is with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof.

OWNER OF LOT 1

D&T Weaks, LLC a New Mexico limited liability company
By Timothy L. Weaks, managing partner

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on _____ 2008,
by Timothy L. Weaks.

My Commission Expires: _____

Notary Public

OWNERS OF LOT 2

Timothy L. Weaks

O.D. Weaks

Joan M. Weaks

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on _____ 2008,
by Timothy L. Weaks.

My Commission Expires: _____

Notary Public

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on _____ 2008,
by O. D. Weaks.

My Commission Expires: _____

Notary Public

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on _____ 2008,
by Joan M. Weaks.

My Commission Expires: _____

Notary Public

OWNER OF LOT 3

DT Land Development, LLC a New Mexico limited liability company
By Don Vernon, managing partner

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on _____ 2008,
by Don Vernon.

My Commission Expires: _____

Notary Public

Lot 5-A
being a replat of
Lots 4 & 5
Richfield Park Subdivision
Elena Gallegos Grant
Projected Section 14
T.11N., R.3E. N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico
September 2008

PROJECT NUMBER _____
Application Number _____

The purpose of this plat is to consolidate Lots 4 & 5 into one lot, vacate the 30' joint access easement and grant a 20' joint access easement.

PLAT APPROVAL

Utility Approvals:

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST, INC.	DATE

City Approvals:

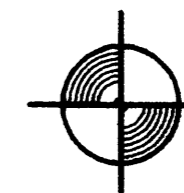
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS & RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC #: _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE:



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

Lot 5-A
being a replat of
Lots 4 & 5
Richfield Park Subdivision
Elena Gallegos Grant
Projected Section 14
T.11N., R.3E. N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico
September 2008

SUBDIVISION DATA

1. Total gross acreage: 2.0192 acres
2. Total number of existing lots - 2. No additional lots are being created by this plat.
3. Total mileage of streets created - 0.
4. The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone.
5. Where measured bearings and distances differ from record, () indicates record bearings and distances.
6. Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
7. Date of field survey: June, 2008.
8. Documents used in the preparation of this survey:
 - a. Plat of Richfield Park Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 10, 1988, in Plat Book C36, page 12.
 - b. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 250987BB dated February 15, 2005 and documents referenced therein.
 - c. Special Warranty Deed filed 4/05/2005, in Book A84, Page 5812.

NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS

Section 14-14-4-7(B) "No property within the area of this plat shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat."

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
3. Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

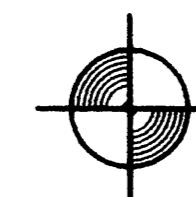
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitment No. 250987BB, effective February 15, 2005 issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
N.M.P.S. No. 6126

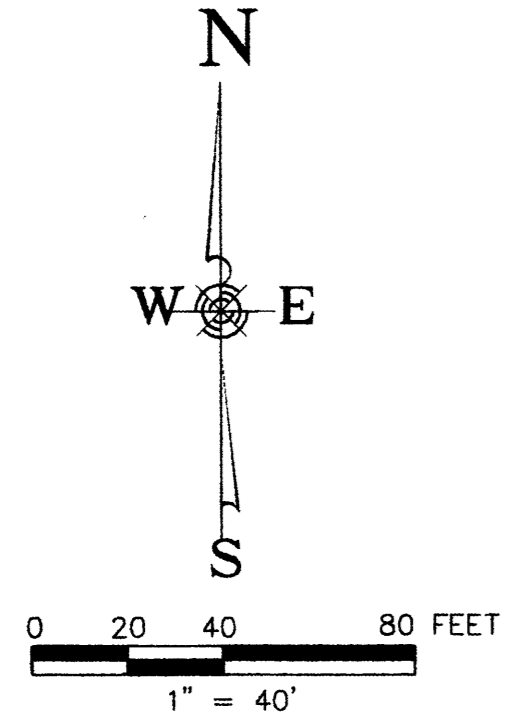
Date



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

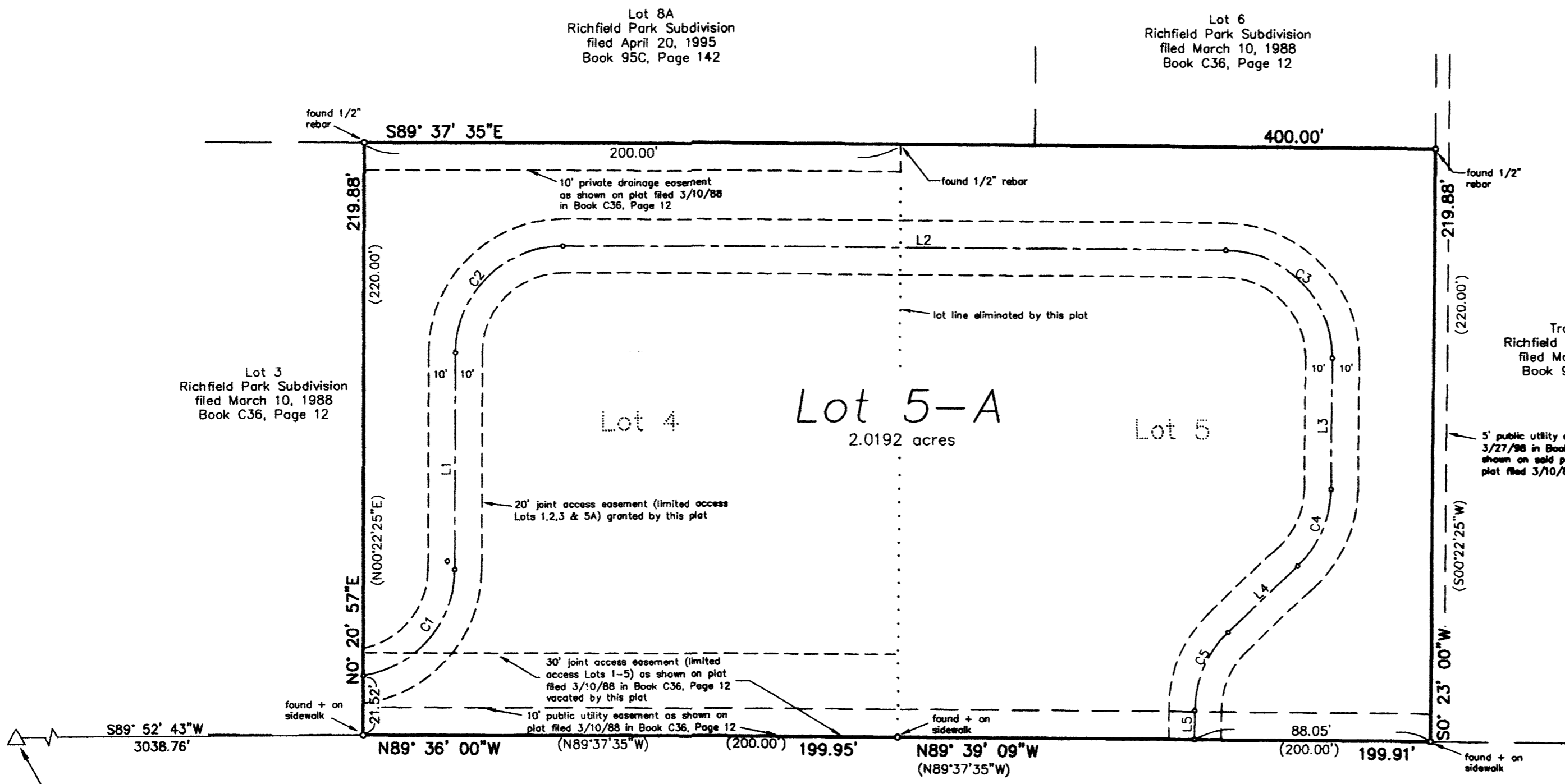
Sheet 2 of 3

Lot 5-A
 being a replat of
 Lots 4 & 5
 Richfield Park Subdivision
 Elena Gallegos Grant
 Projected Section 14
 T.11N., R.3E. N.M.P.M.
 City of Albuquerque
 Bernalillo County, New Mexico
 September 2008



Line Table		
Line No.	Length	Direction
L1	80.83	N0° 22' 25"E
L2	248.07	S89° 40' 01"E
L3	49.20	S0° 22' 25"W
L4	35.69	S46° 29' 13"W
L5	10.52	S0° 22' 25"W

Curve Table					
Curve No.	Length	Radius	Delta	Chord Direction	Chord Length
C1	56.83	40.00	81° 24' 19"	N41° 04' 35"E	52.17
C2	62.80	40.00	89° 57' 34"	N45° 21' 12"E	56.55
C3	62.86	40.00	90° 02' 26"	S44° 38' 48"E	56.59
C4	32.19	40.00	46° 06' 48"	S23° 25' 49"W	31.33
C5	32.19	40.00	46° 06' 48"	S23° 25' 49"W	31.33

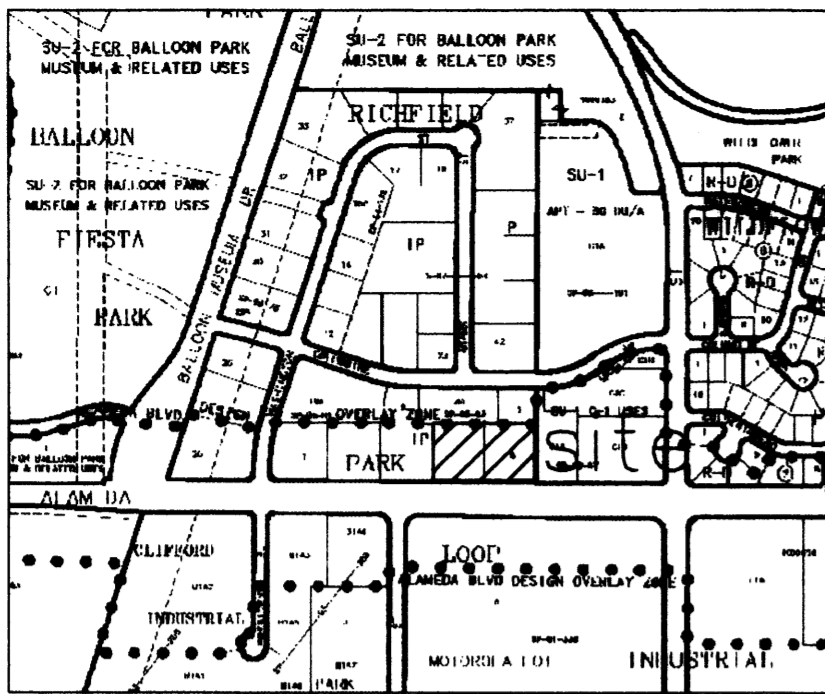


Albuquerque Control Survey Monument "NDC_7"
 Geographic Position (NAD 83)
 N.M. State Plane Coordinates (Central Zone)
 Northing = 1,522,698.249
 Easting = 1,534,340.591
 Ground-to-Grid Factor = 0.999674466
 delta alpha = -00° 12' 16.43"
 NAVD 1988 Elevation = not available

Alameda Boulevard NE
 (124' right-of-way)

Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032
 Sheet 3 of 3

Vicinity Map
no scale



Zone Atlas Page Number C-17
Talos Log Number 2008272886

SUBDIVISION DATA

1. Total gross acreage: 2.0192 acres
2. Total number of existing lots = 2. No additional lots are being created by this plat.
3. Total mileage of streets created = 0.
4. The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone, NAD 83.
5. Where measured bearings and distances differ from record, () indicates record bearings and distances.
6. Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
7. Date of field survey: June, 2008.
8. Documents used in the preparation of this survey:
 - a. Plat of Richfield Park Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 10, 1988, in Plat Book C36, page 12.
 - b. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 2509878B, dated February 15, 2005 and documents referenced therein.
 - c. Special Warranty Deed filed 4/05/2005, in Book A84, Page 5812.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.
3. Qwest Telecommunications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast, Inc. for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS

Section 14-14-4-7(B) "No property within the area of this plat shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LEGAL DESCRIPTION

Lots numbered four (4) and five (5), Richfield Park Subdivision as the same are shown and designated on the Plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico on March 10, 1988 in Book C36, Page 12.

FREE CONSENT AND DEDICATION BY OWNERS OF LOTS 4 AND 5

The platting of the land comprising Lot 5-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNERS OF LOTS 4 & 5

John E. Mechenbier
John E. Mechenbier

ACKNOWLEDGMENT

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 22 2008, by John E. Mechenbier.

My Commission Expires: 12-15-09

Marcia Smith
Notary Public



Cynthia A. Mechenbier
Cynthia A. Mechenbier

ACKNOWLEDGMENT

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 22 2008, by Cynthia A. Mechenbier.

My Commission Expires: 12-15-09

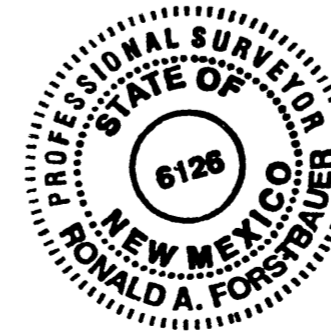
Marcia Smith
Notary Public



SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitment No. 2509878B, effective February 15, 2005 issued by Commonwealth Land Title Insurance Company, countersigned by LandAmerica Albuquerque Title, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
Ronald A. Forstbauer
N.M.P.S. No. 6126
Date 10/22/08



Lot 5-A
being a replat of
Lots 4 & 5
Richfield Park Subdivision
Elena Gallegos Grant
Projected Section 14
T.11N., R.3E. N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico
October 2008

PROJECT NUMBER _____

Application Number _____

The purpose of this plat is to consolidate Lots 4 & 5 into one lot, vacate the 30' joint access easement and grant a 24' private joint access easement.

PLAT APPROVAL

Utility Approvals:

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST, INC. _____ DATE _____

City Approvals:

John B. Hart
CITY SURVEYOR _____ DATE 10-23-08

REAL PROPERTY DIVISION _____ DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

ABCWJA _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

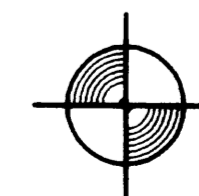
DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC #: _____

PROPERTY OWNER OF RECORD: _____

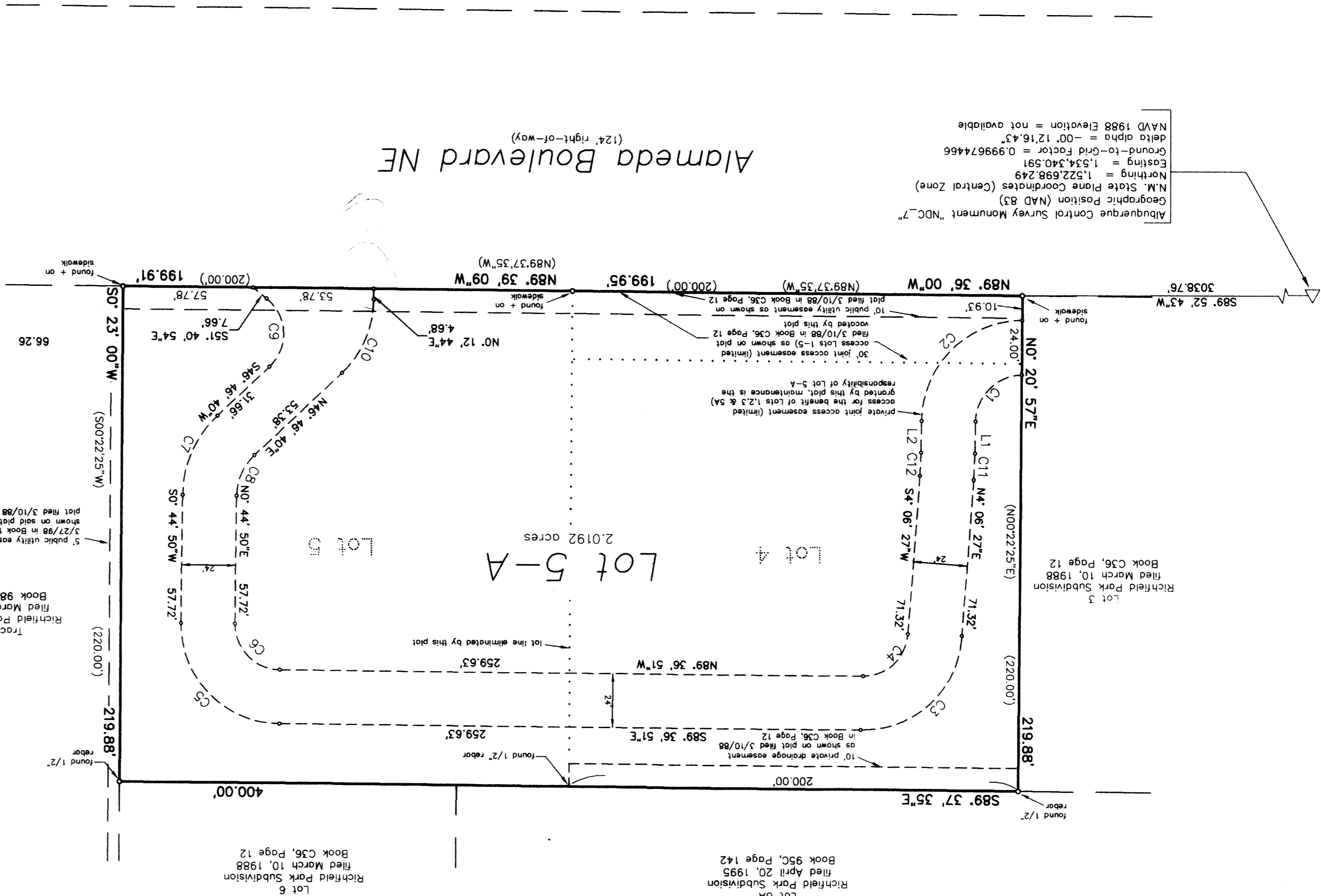
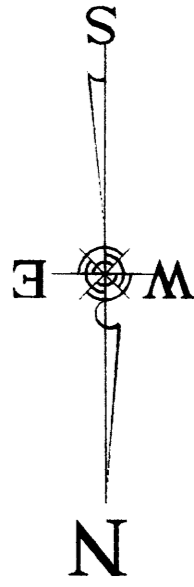
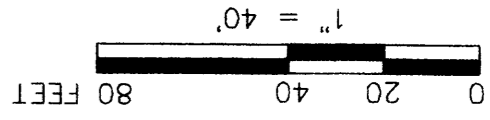
BERNALILLO COUNTY TREASURER'S OFFICE: _____



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

Lot 5-A
being a replat of
Lots 4 & 5

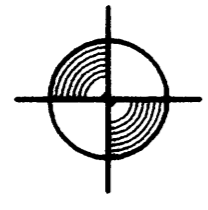
Richfield Park Subdivision
Elena Gallegos Grant
Projected Section 14
T.11N., R.3E., N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico
October 2008



Albuquerque Control Survey Monument "NDC-7"
Geographic Position (NAD 83)
N.M. State Plane Coordinates (Central Zone)
Northing = 1,522,698.249
Easting = 1,534,340.591
Ground-to-Grid Factor = 0.999674466
delta alpha = -00° 12' 16.43"
NAVD 1988 Elevation = not available

Curve No.	Length	Radius	Delta	Chord Direction	Chord Length
C1	32.17	20.88	N44° 53' 40"E	29.08	
C2	69.77	45.00	S45° 10' 02"W	62.99	
C3	66.26	44.00	S47° 14' 48"E	60.17	
C4	30.12	20.00	S47° 14' 48"W	27.35	
C5	69.39	44.00	S44° 26' 01"E	62.42	
C6	31.54	20.00	N44° 26' 01"W	28.37	
C7	39.37	49.00	S23° 45' 45"W	38.32	
C8	20.08	25.00	N23° 45' 45"E	19.55	
C9	34.37	20.00	S2° 27' 07"E	30.29	
C10	36.57	45.00	N23° 29' 42"E	35.57	
C11	11.73	200.00	N2° 25' 38"E	11.73	
C12	10.32	176.00	S2° 25' 38"W	10.32	

Line No.	Length	Direction
L1	14.30	N0° 44' 50"E
L2	14.18	S0° 44' 50"W

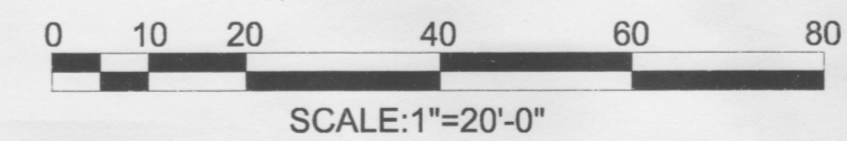
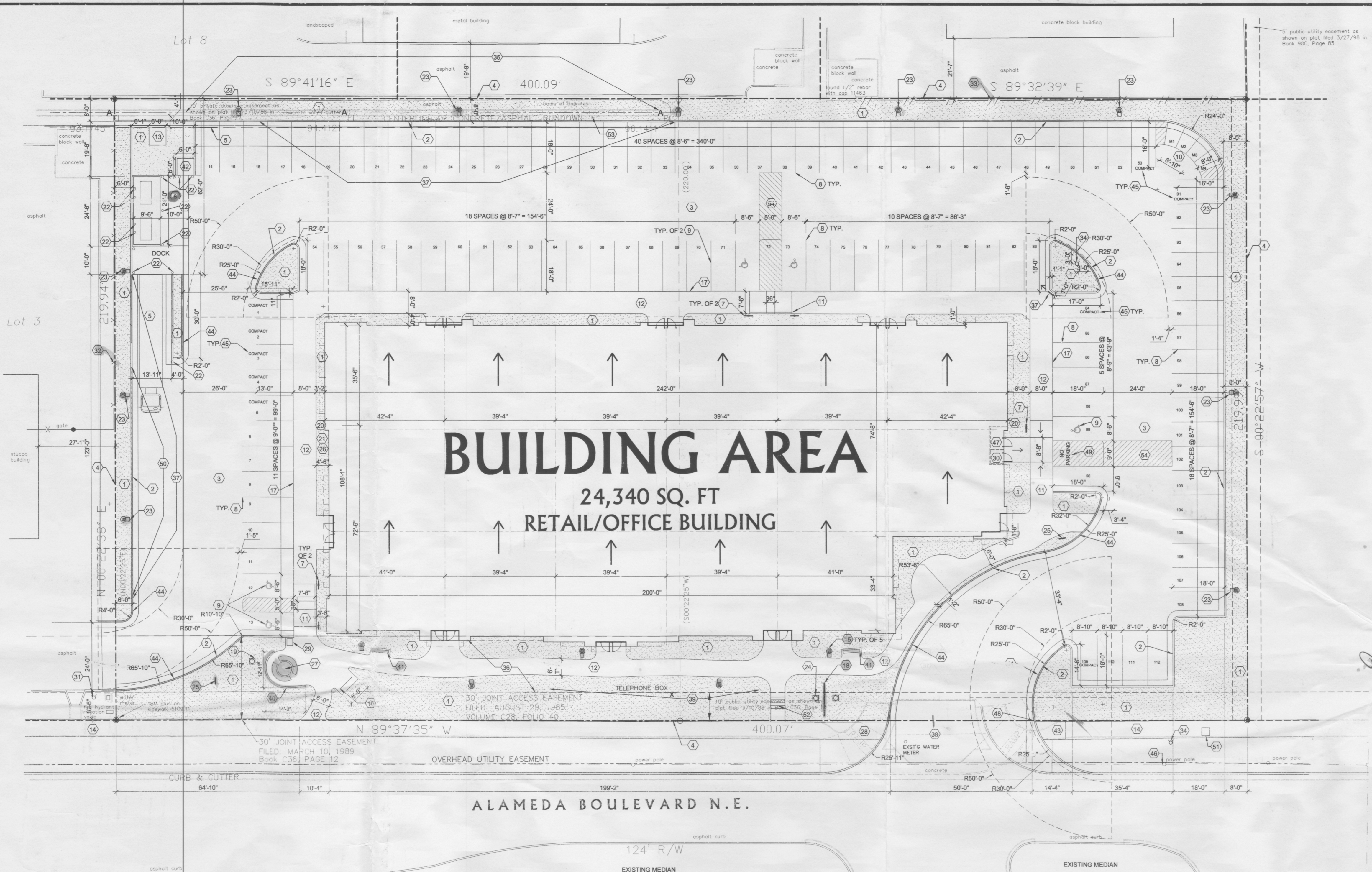


KEYED NOTES:

- 1.) LANDSCAPED AREA REFER TO LANDSCAPE PLAN L1.1.
- 2.) STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 3.) 3" ASPHALT PAVING @ DRIVELANES AND AT PARKING STALLS.
- 4.) PROPERTY LINE.
- 5.) TRUCK LOADING/UNLOADING AREA WITH GUARDRAIL. SEE J51.2.
- 6.) REFUSE PAD, APRON, AND ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAILS B51.2 THROUGH E51.2.
- 7.) POLE MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE NS1.2.
- 8.) PARKING STALL STRIPING, TYPICAL.
- 9.) PAINTED HANDICAP PARKING SYMBOL.
- 10.) MOTORCYCLE/MOPED PARKING AREA.
- 11.) HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
- 12.) NEW CONCRETE SIDEWALK.
- 13.) TRANSFORMER LOCATION PAD MOUNTED, PER PNM SPECIFICATIONS.
- 14.) EXISTING 6'-0" CITY SIDEWALK.
- 15.) DECORATIVE POLE LIGHTING ALONG SOUTHFRONT OF BUILDING ALONG THE SIDEWALK NOT EXCEEDING 16 FT. HT. SEE DETAIL G15.2.
- 16.) BIKE RACK. SEE DETAIL L15.2.
- 17.) TURNDOWN SIDEWALK.
- 18.) MONUMENT SIGN. SEE DETAIL K51.2.
- 19.) FLAGPOLE, 25' HIGH POLE BRUSHED ALUMINUM FINISH.
- 20.) GAS METER LOCATIONS. (12 TOTAL- 6 AT EACH OF 2 LOCATIONS)
- 21.) ROOF ACCESS LADDER LOCATION.
- 22.) 6" STEEL BOLLARDS. FILLED W/ CONCRETE. SEE DETAIL F15.2.
- 23.) POLE LIGHT SEE DETAIL G15.2. ADDITIONAL LIGHTING TO BE WALL PACKS ATTACHED ON BUILDING. ALL LIGHTING ILLUMINATION TO MEET ALL APPLICABLE ORDINANCES.
- 24.) MONUMENT SIGN LIGHTING, GROUND MOUNTED WITH DEFLECTOR.
- 25.) DIRECTIONAL SIGNAGE. SEE M51.2.
- 26.) ELECTRICAL METERS LOCATION, 5 HIGH, 3 WIDE.
- 27.) CONC. PAD FOR PICNIC TABLE. TWO (2) 7' LONG BENCHES PROVIDE TO ACCOMMODATE 6 PEOPLE.
- 28.) EXISTING HANDICAP RAMPS PER CITY STANDARDS. 1:12 MAX. SLOPE.
- 29.) MAIL BOXES ON 3' X 5' CONCRETE PAD.
- 30.) TELEPHONE DEMARCATION PANEL ROOM.
- 31.) EXISTING FIRE HYDRANT.
- 32.) EXISTING CHAIN LINK FENCE.
- 33.) EXISTING WOOD FENCE.
- 34.) NEW FIRE HYDRANT.
- 35.) DEMO DRAINAGE SWALE. REPLACE WITH LANDSCAPING.
- 36.) 30' JOINT ACCESS EASEMENT TO BE VACATED IN THIS AREA WITH THE REPLAT OF LOTS 4 & 5 TOGETHER.
- 37.) CURB CUTS AT 15' O.C. TO PASS FLOW TO PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
- 38.) EXISTING DRIVE CUT.
- 39.) DRY RIVERBED LANDSCAPE FEATURE FOR TEMPORARY WATER RETENTION. REFER TO GRADING AND DRAINAGE PLAN AND LANDSCAPE PLAN.
- 40.) 36" HIGH STUCCO WALL. STUCCO COLOR TO MATCH BUILDING.
- 41.) BENCH, 6' WIDE. ACCOMMODATES 3 PEOPLE.
- 42.) RECYCLING AREA ENCLOSURE. SEE DETAILS E & H51.2.
- 43.) NEW HANDICAP RAMP PER CITY STANDARDS. 1:12 MAX. SLOPE.
- 44.) NO PARKING, FIRE LANE. CURB TO BE PAINTED/DENOTED AS SUCH (DENOTED AS DARKENED CURB ON PLAN).
- 45.) ALL COMPACT SPACES TO BE STAMPED WITH THE WORD 'COMPACT' ON THE PAVEMENT.
- 46.) EXISTING POWER POLE.
- 47.) FIRE SPRINKLER RISER AND POTABLE WATER BACKFLOW PREVENTER ROOM.
- 48.) EXPAND EXISTING DRIVEWAY TO 50'-0".
- 49.) 5' TAMP PAVEMENT "NO PARKING" FOR HANDICAP ACCESS AND FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
- 50.) NO PARKING - LOADING ZONE. CURBS TO BE PAINTED YELLOW TO DESIGNATE AS SUCH.
- 51.) NEW WATER METER, 1" SERVICE, 34" METER.
- 52.) 8' STEPS. REFER TO GRADING & DRAINAGE PLAN.
- 53.) RAILING AS REQUIRED PER CODE AT DRAINAGE PONDING AREA, TYP.
- 54.) PAINT STRIPING ON PAVEMENT FOR PEDESTRIAN CROSSWALK.

3PBP
PRELIMINARY PLAN
APPROVED BY DRB
ON _____

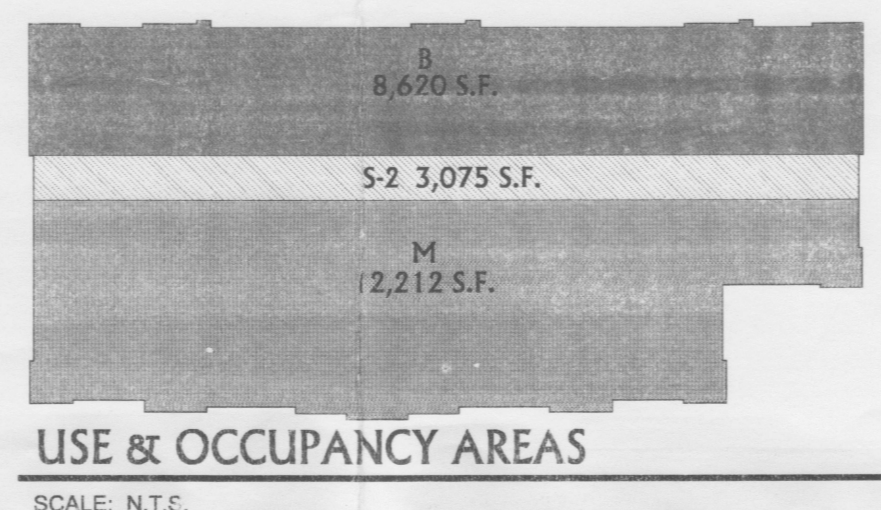
PRELIMINARY SET



PROJECT DESCRIPTION:

ADDRESS: 4545 ALAMEDA BOULEVARD NE ALBUQUERQUE, NM 87113
 LEGAL DESCRIPTION: LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION
 ZONE MAP: C-17
 ZONING: IP
 TOTAL SITE AREA: 88,004 SF
 DEVELOPED AREA: 88,004 SF
 CONSTRUCTION TYPE: II-B (NON COMBUSTIBLE, AUTOMATIC SPRINKLER SYSTEM)
 OCCUPANCY GROUPS:
 M RETAIL
 B OFFICE
 S-2 LOW-HAZARD STORAGE
 GROSS BUILDING AREA (INCLUDES OVERHANGS & POPOUTS): 25,266 SF
 NET FLOOR AREA: 24,340 SF
 REQUIRED STREETYARD ALONG ALAMEDA: (30'X400') = 12,000 SF
 NET LOT AREA (88,004 - 25,256-12,000): 50,748 SF
 REQUIRED LANDSCAPING (15% OF 50748): 7,612 SF
 LANDSCAPING AREA PROVIDED: 8,466 SF
 TOTAL LANDSCAPE - STREETYARD & REMAINDER OF LOT: 15,443 SF
 BUILDING USAGE & OCCUPANCY AREAS:
 THE BUILDING WILL BE USED FOR RETAIL AND OFFICE PURPOSES, WITH ASSOCIATED WAREHOUSE/STORAGE. APPROXIMATELY 12,212 S.F. SHALL BE RETAIL SPACE (M OCCUPANCY), AND APPROXIMATELY 8,620 S.F. OF THE TOTAL SQUARE FOOTAGE SHALL BE OFFICE SPACE (B OCCUPANCY). APPROXIMATELY 3,075 S.F. SHALL BE WAREHOUSE/STORAGE (S-1 OCCUPANCY).
 TRAFFIC CIRCULATION:
 TRAFFIC ENTRY TO THE PROPERTY SHALL BE VIA EAST & WEST-BOUND ALAMEDA BLVD. AT THE EAST END OF THE PROPERTY AND VIA THE SHARED ACCESS EASEMENT WITH LOT 3 RICHFIELD PARK SUBDIVISION AT THE WEST END OF THE PROPERTY. ON-SITE TRAFFIC FLOW IS TWO-WAY THROUGHOUT.

REQUIRED PARKING:		
RETAIL (M)	12,212/200	= 62
BUSINESS (B)	8,620/200	= 44
WAREHOUSE/STORAGE (S-2)	3,075/2,000	= 2
TOTAL PARKING REQUIRED		108
TOTAL PARKING PROVIDED:		= 112
COMPACT SPACES ALLOWED (25% OF 112):		28
COMPACT SPACES PROVIDED:		9
TOTAL HANDICAP REQUIRED PER 2003 IBC TABLE 1106.1:		5
TOTAL HANDICAP PROVIDED:		5
TOTAL MOTORCYCLE/MOPED REQUIRED:		4
TOTAL MOTORCYCLE/MOPED PROVIDED:		4
TOTAL BIKE SPACES REQUIRED: 112/20		6
TOTAL BIKE SPACES PROVIDED		7
EXTERIOR BENCH SEATING:		
TOTAL SEATING REQUIRED (200 FT/ 25 FT)		8
PICNIC TABLE (7' / 2')X2		6
TWO(2) 6' BENCHES (12' / 2')		6
TOTAL SEATING PROVIDED		12
A MINIMUM OF 25% OF SEATING TO BE SHADED		



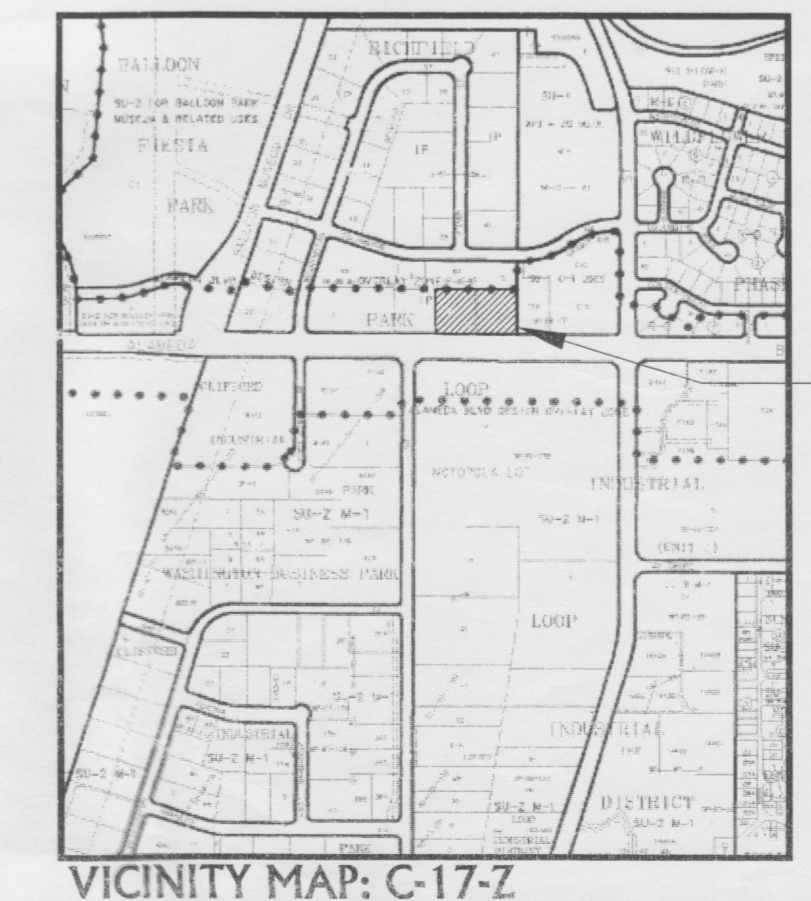
USE & OCCUPANCY AREAS
SCALE: N.T.S.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	



VICINITY MAP: C-17-Z
SCALE: N.T.S.

SITE PLAN & TRAFFIC CIRCULATION LAYOUT

DESIGN DATA:

SCALE:

1" = 20'-0"

PLOT DATE:

OCT. 1, 2007

FILENAME:

SITE

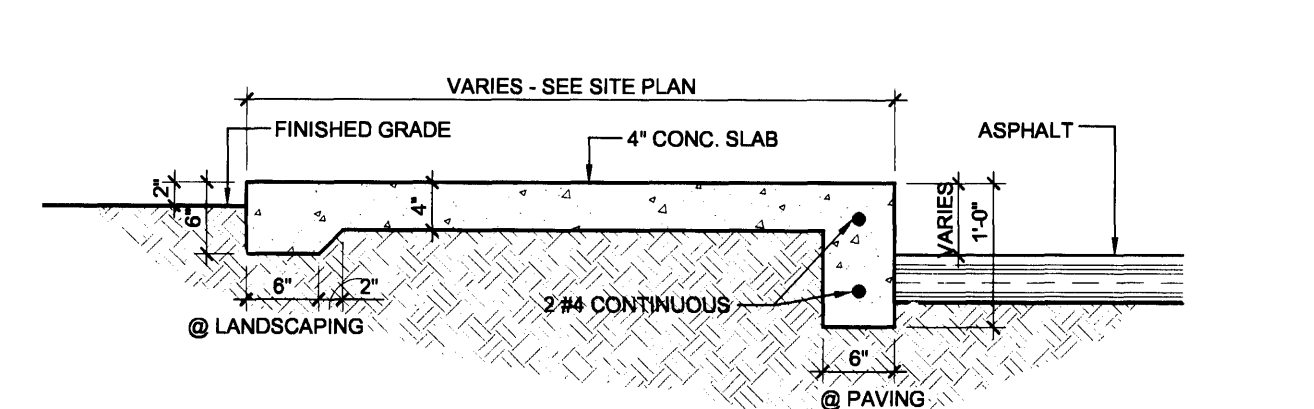
DRAWN BY:

L. KUENN

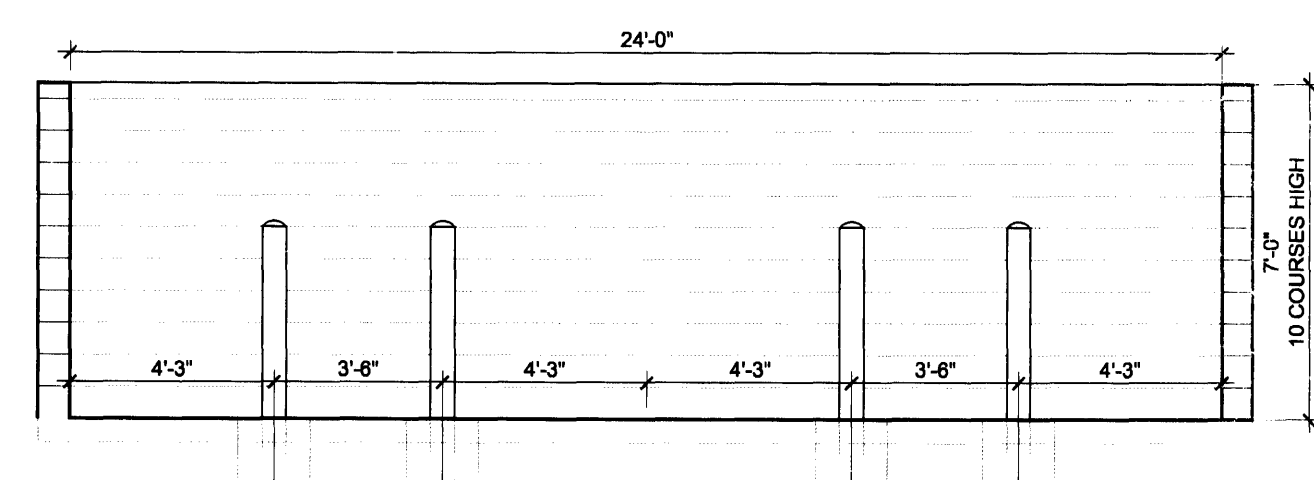
PRELIMINARY SET

PROPOSED RETAIL/OFFICE BUILDING
LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION
4545 ALAMEDA BLVD. NE
ALBUQUERQUE, NEW MEXICO 87113

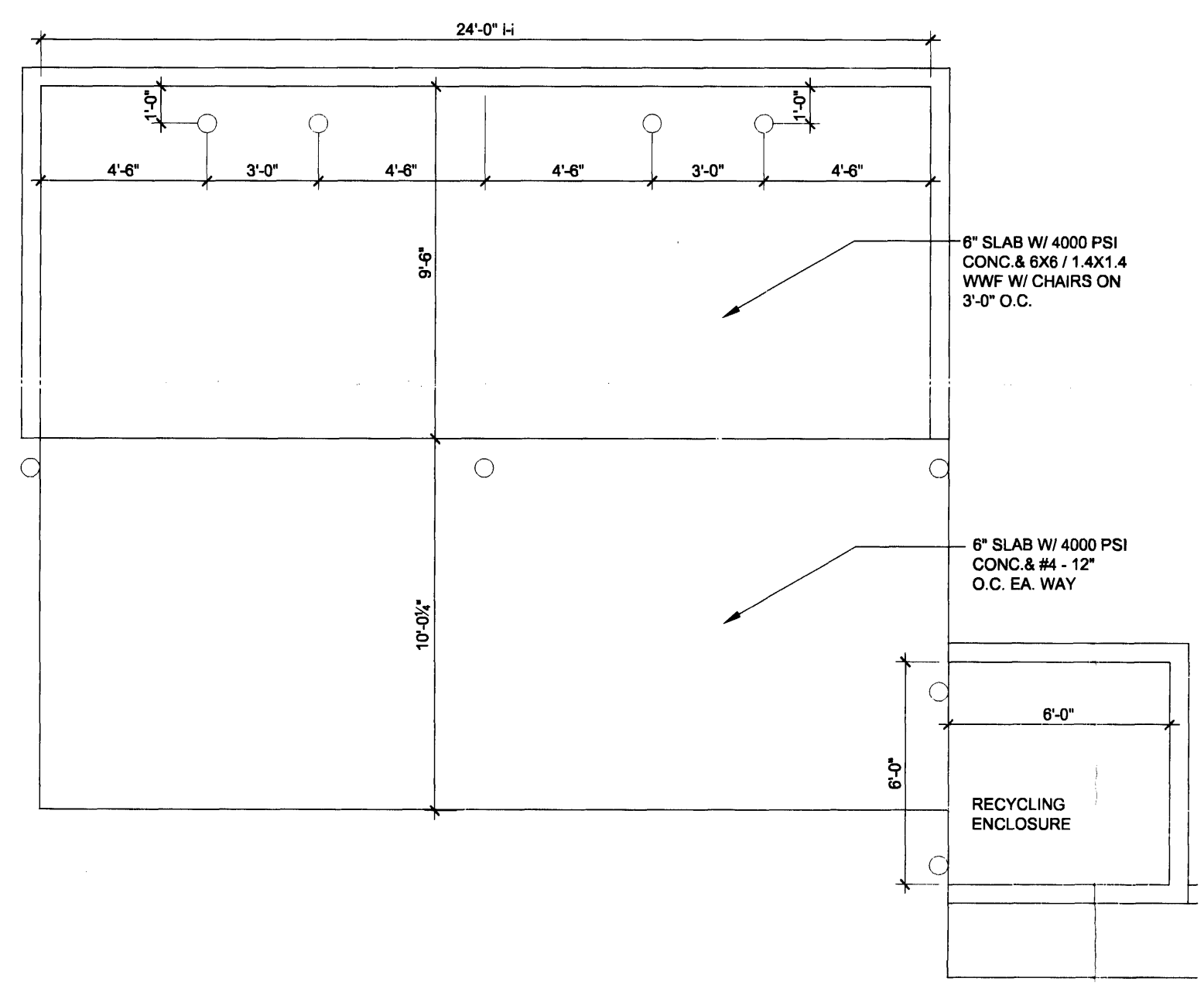
MECHENBER
CONSTRUCTION INC.
1000 WASHINGTON AVE. SUITE 4
ALBUQUERQUE, NM 87113
PHONE: (505) 931-1515
FAX: (505) 931-1516
WEB: WWW.MECHENBER.COM



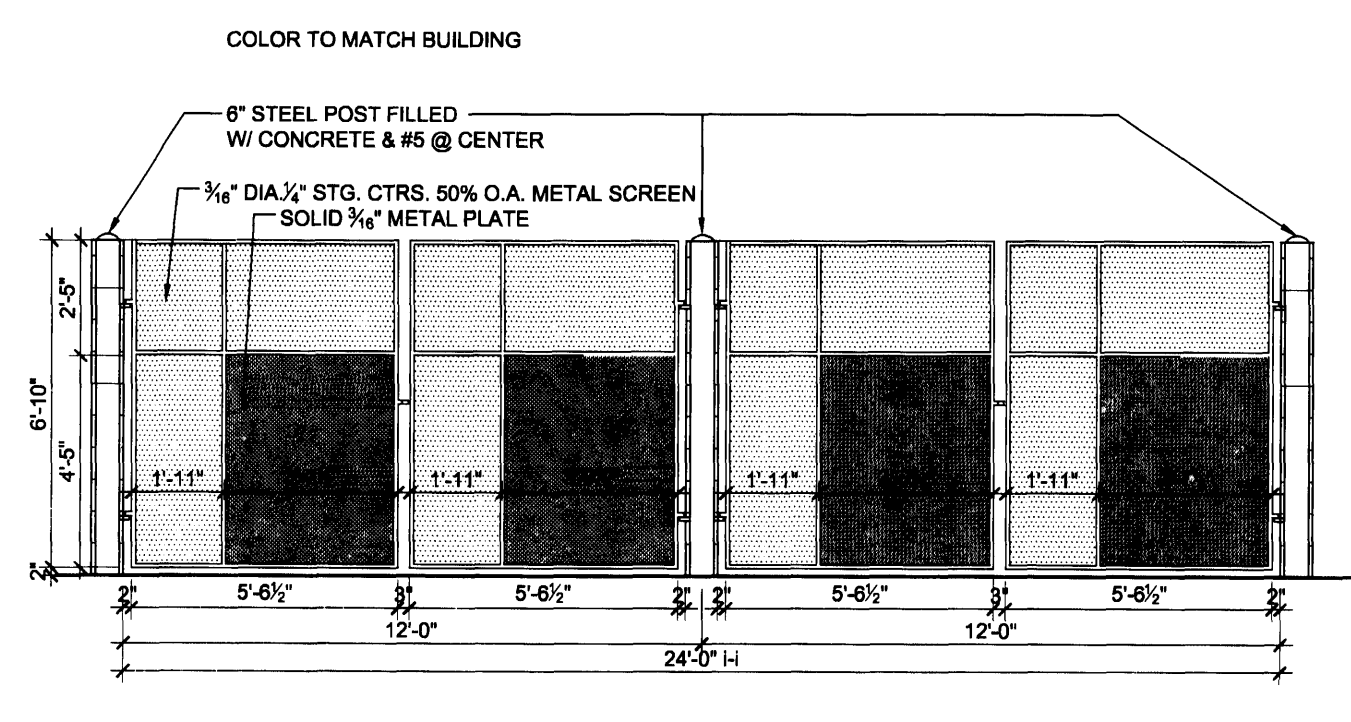
A SIDEWALK SECTION
3/4" = 1'-0"



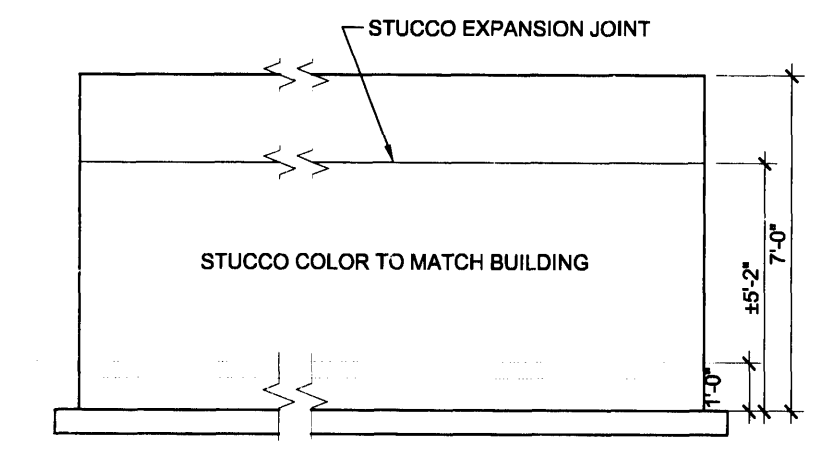
B DUMPSTER ENCLOSURE
1/4" = 1'-0"



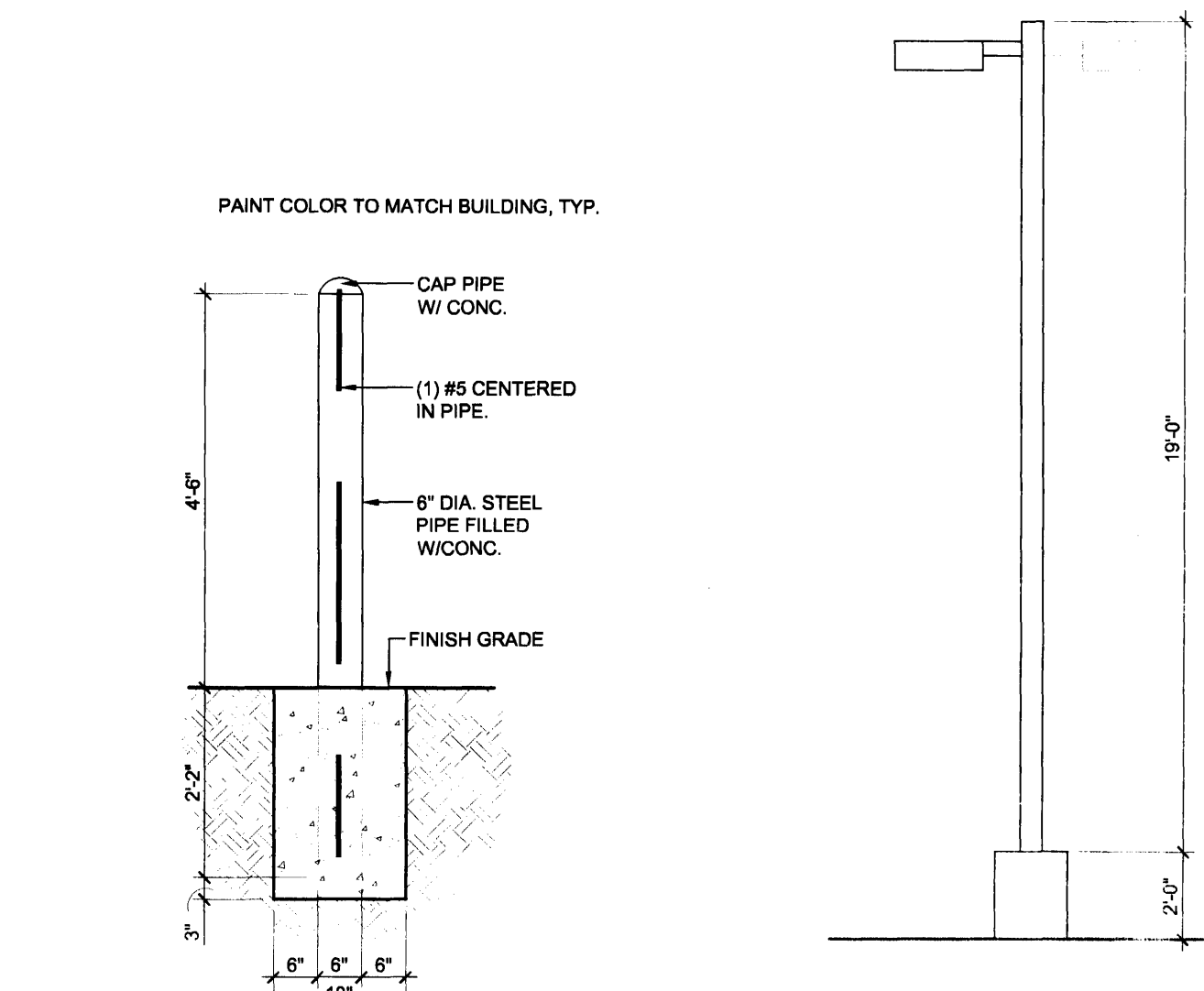
C REFUSE ENCLOSURE PLAN
1/4" = 1'-0"



D FRONT ELEVATION REFUSE ENCLOSURE
1/4" = 1'-0"

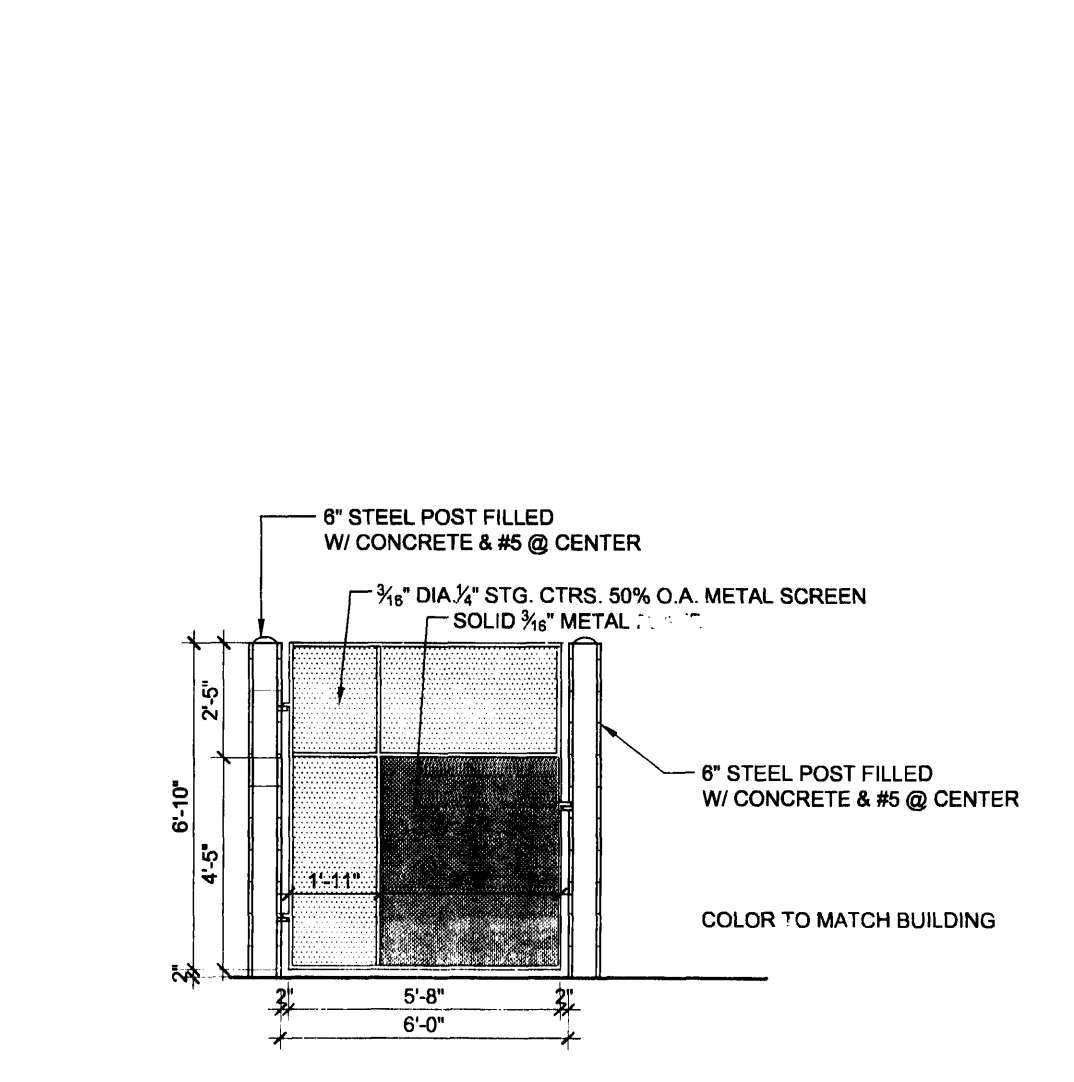


E REAR ELEVATION REFUSE & RECYCLE ENCLOSURES
1/4" = 1'-0"

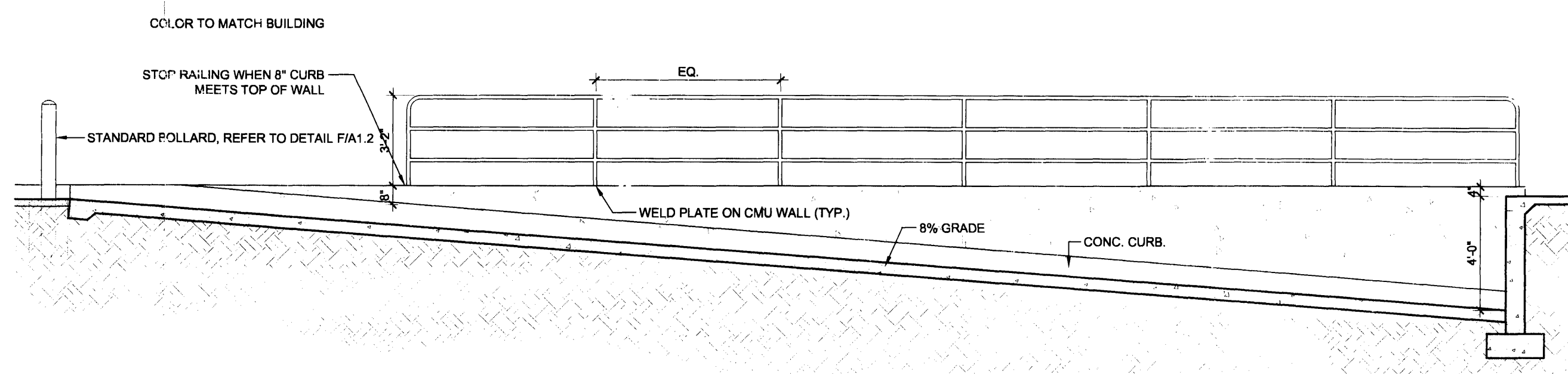


F 6" BOLLARD
1/2" = 1'-0"

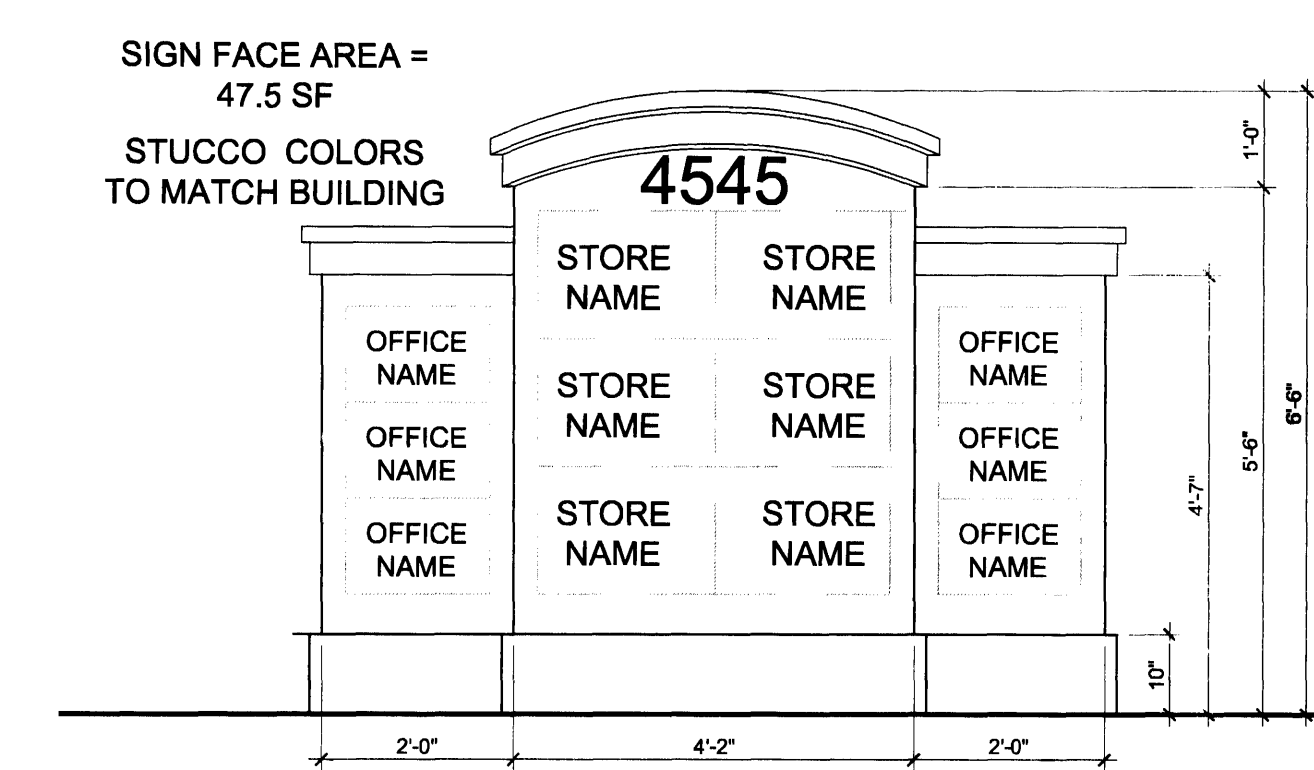
G LIGHT POLE
1/4" = 1'-0"



H FRONT ELEVATION RECYCLE ENCLOSURE
1/4" = 1'-0"



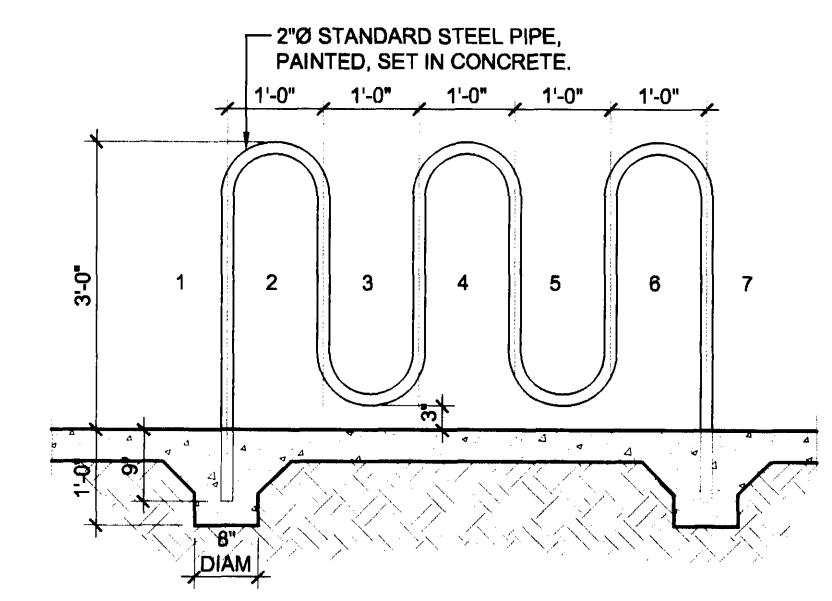
J TRUCK DOCK
N.T.S.



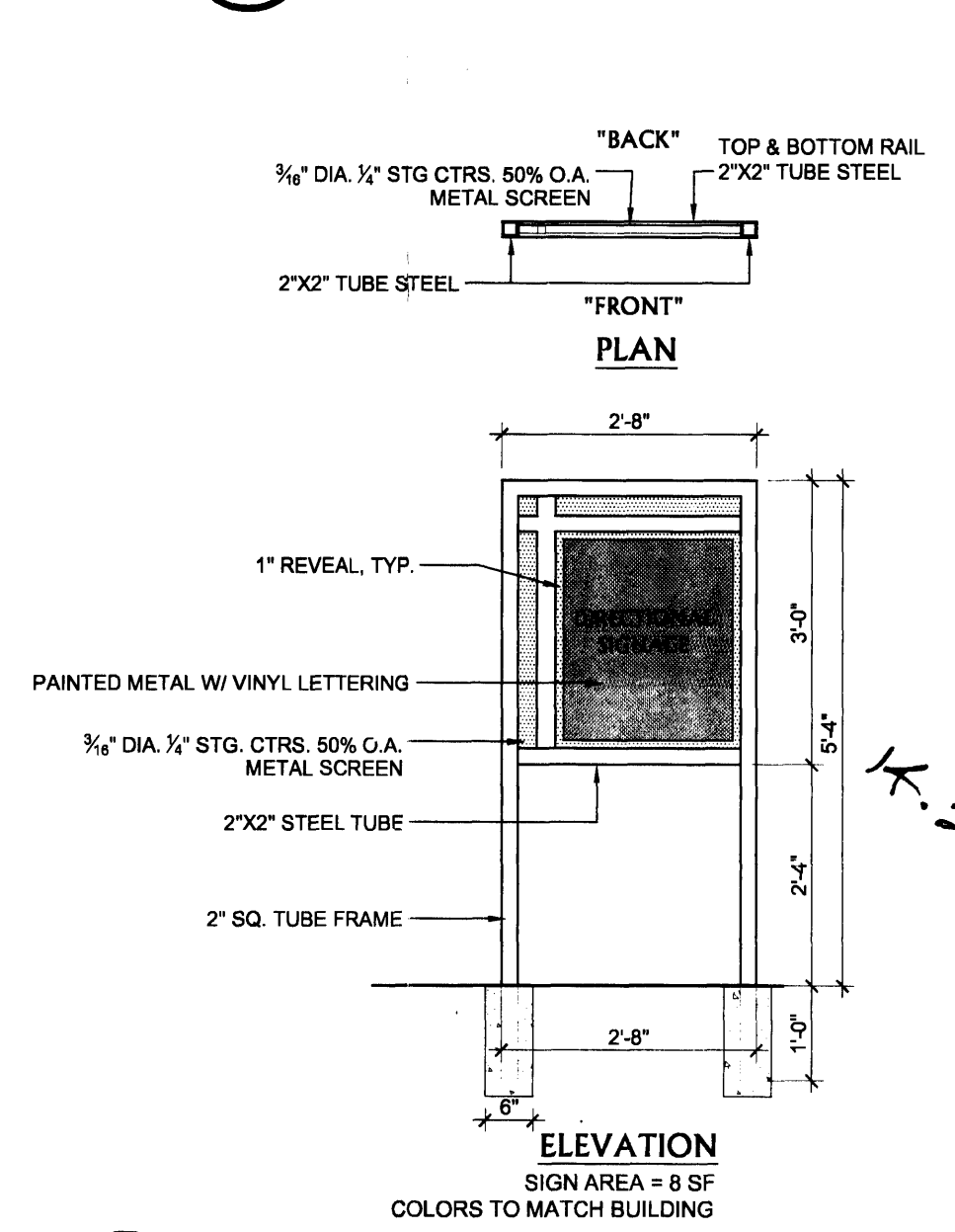
K MONUMENT SIGN (TWO SIDES SIMILAR)
1/2" = 1'-0"

53.114

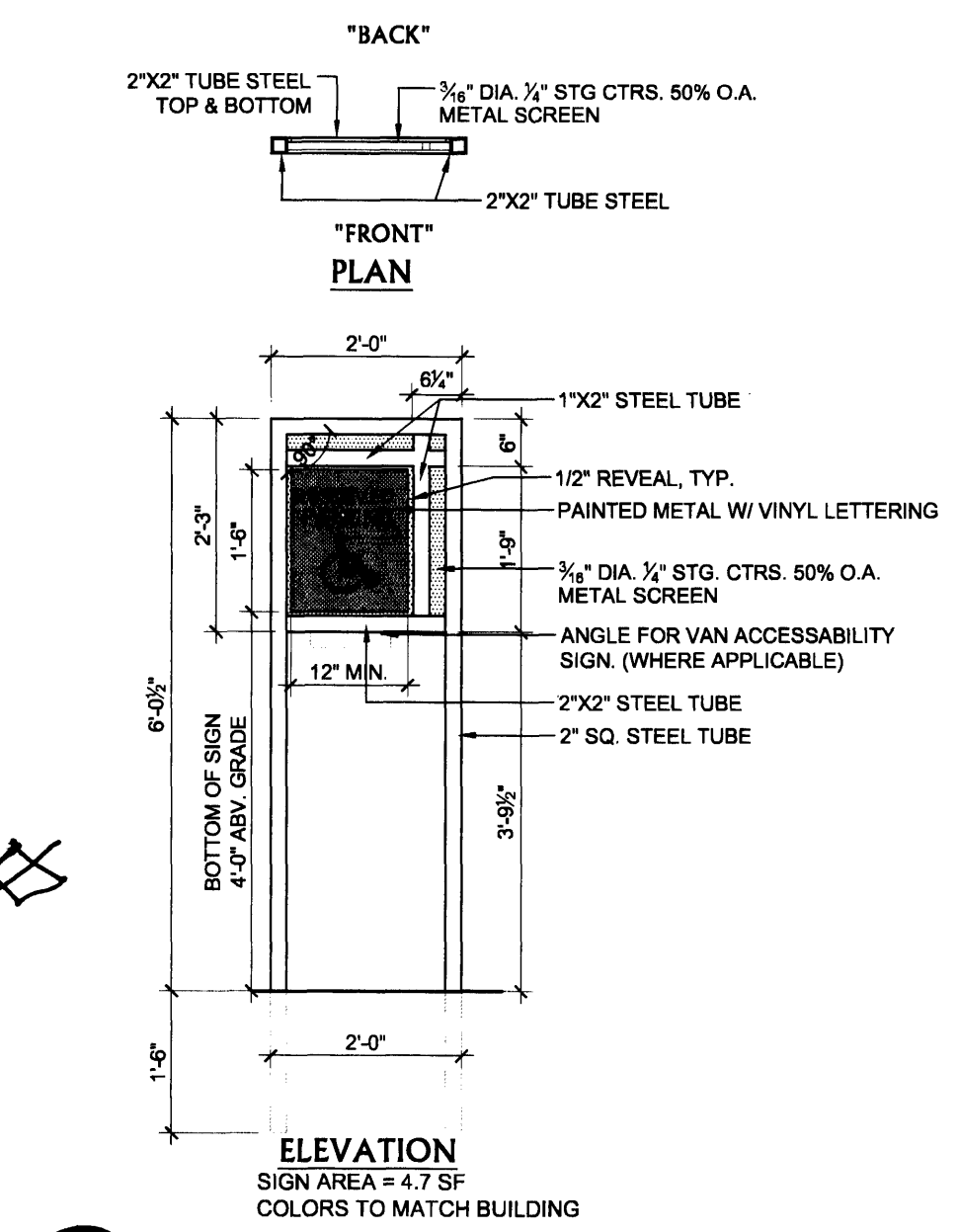
8.17



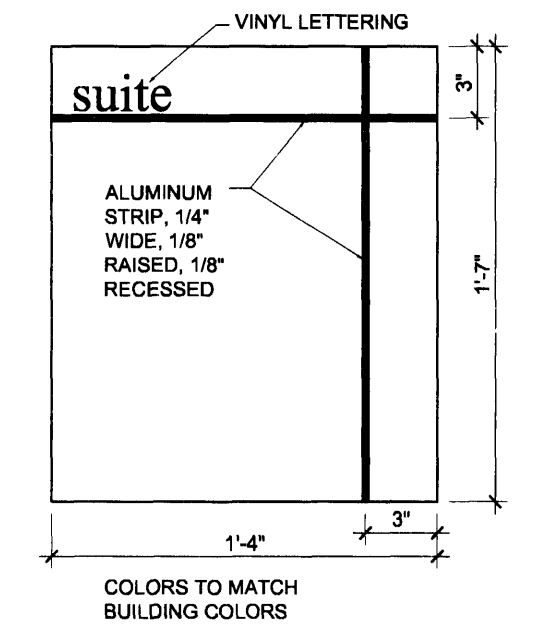
L BIKE RACK
1/2" = 1'-0"



M DIRECTIONAL SIGNAGE
1/2" = 1'-0"



N HANDICAP SIGNAGE
1/2" = 1'-0"



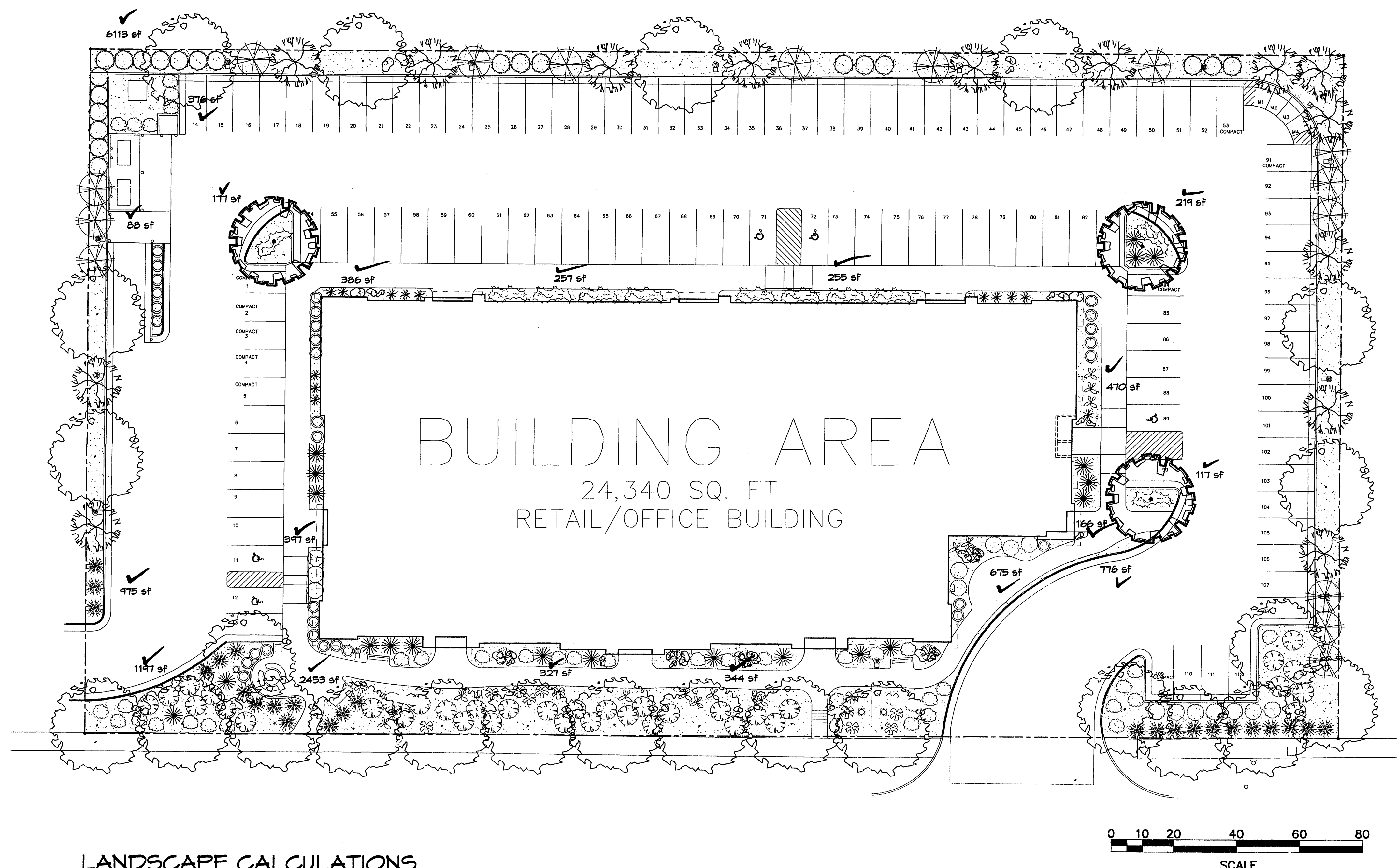
O SUITE SIGNS
1/4" = 1'-0"

SITE DETAILS

PLANT LEGEND

- SEEDLESS HONEY LOCUST (M) 24
Gleditsia triacanthos
2" Cal.
- CHITALPA (M) 3
Chilopsis x Catalpa
2" Cal.
- VITEX (M) 14
Vitex agnus-castus
15 Gal. 225 sf
- OCOTILLO (L) 5
Fouquieria splendens
- RED YUCCA (L) 25
Hesperaloe parviflora
5 Gal. 4sf
- FRICKLY PEAR (L) 12
Opuntia macrocentra
4 sf
- BEARGRASS (L+) 20
Nolina microcarpa
5 Gal. 36sf
- NATIVE YUCCA 13
Yucca spp.
5 Gal. 4sf
- AGAVE (L) 13
Agave spp.
16 sf
- PARNEY COTONEASTER (L) 15
Cotoneaster lacteus
5 Gal. 144sf
- THREE-LEAF SUMAC (L) 22
Rhus trilobata
5 Gal. 36sf
- APACHE PLUME (L) 15
Fallugia paradoxa
5 Gal. 25sf
- CHAMISA (L) 36
Chrysothamnus nauseosus
1 Gal. 25sf
- POWIS CASTLE SAGE (L+) 40
Artemisia x Powis Castle
1 Gal. 25sf
- TURPENTINE BUSH (L+) 31
Ericameria laricifolia
1 Gal. 16sf
- WINTER JASMINE (L+) 11
Jasminum nudiflorum
1 Gal. 144sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- 24 BOULDERS

More variety
Saves



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	87966	square feet
TOTAL BUILDINGS AREA	25333	square feet
NET LOT AREA	62633	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	9395	square feet
TOTAL BED PROVIDED	15768	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	11826	square feet
TOTAL GROUND COVER PROVIDED	11835 (75%)	square feet
TOTAL LANDSCAPE PROVIDED	15768 (25%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Alameda Blvd.
Required # 14 Provided # 14

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 12 Provided # 13

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

3' min. depth

IRRIGATION NOTES:

irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

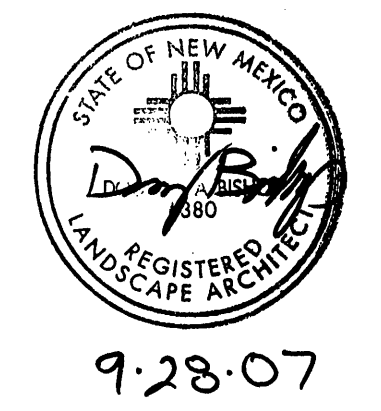
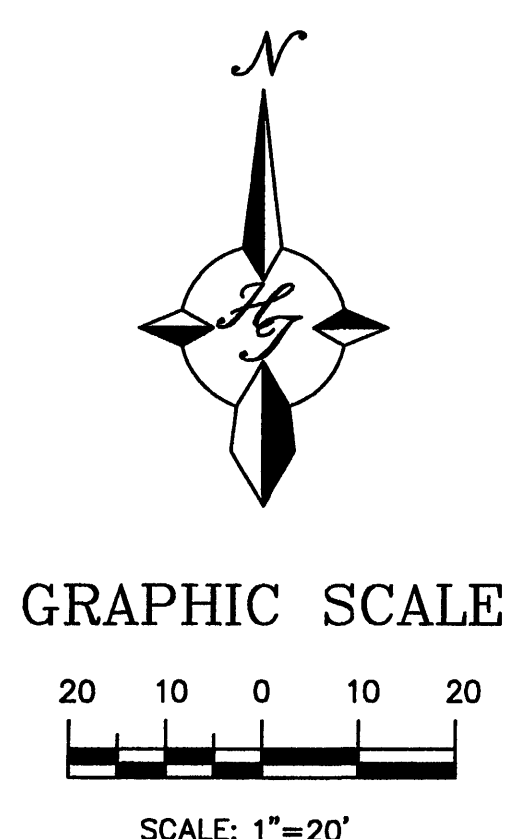
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

SEE SHEET L1.2 FOR DETAILS



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright law. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

DESIGN DATA:

X SQ. FT.	X SQ. FT.	X SQ. FT.	X SQ. FT.
HEATED AREA:	TOTAL HEATED:	GARAGE:	FRONT PORCH:
BACK PATIO:			

SCALE:
1" = 20'-0"
PLOT DATE:
12/11/07
FILENAME:
LANDSCAPE
DRAWN BY:
RMM

PROPOSED RETAIL/OFFICE BUILDING
LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION
ALAMEDA BLVD. NE
ALBUQUERQUE, NEW MEXICO 87113

MECHENBIE
CONSTRUCTION INC.
8804 WASHINGTON N.E. SUITE A OFFICE: (505) 828-1676
ALBUQUERQUE, NM 87117 FAX: (505) 821-1516
WEB: WWW.MECHENBIE.COM

DESIGN DATA:

L'	SC FT.
X	SC FT.
X	SC FT.
X	SC FT.
X	SC FT.
X	SC FT.

HEATED AREA:

BASEMENT:	
TOTAL HEATED:	
FRONT PORCH:	
BACK PATIO:	

SCALE:

1" = 20'-0"

PLOT DATE:

FEB. 21, 2007

FILENAME:

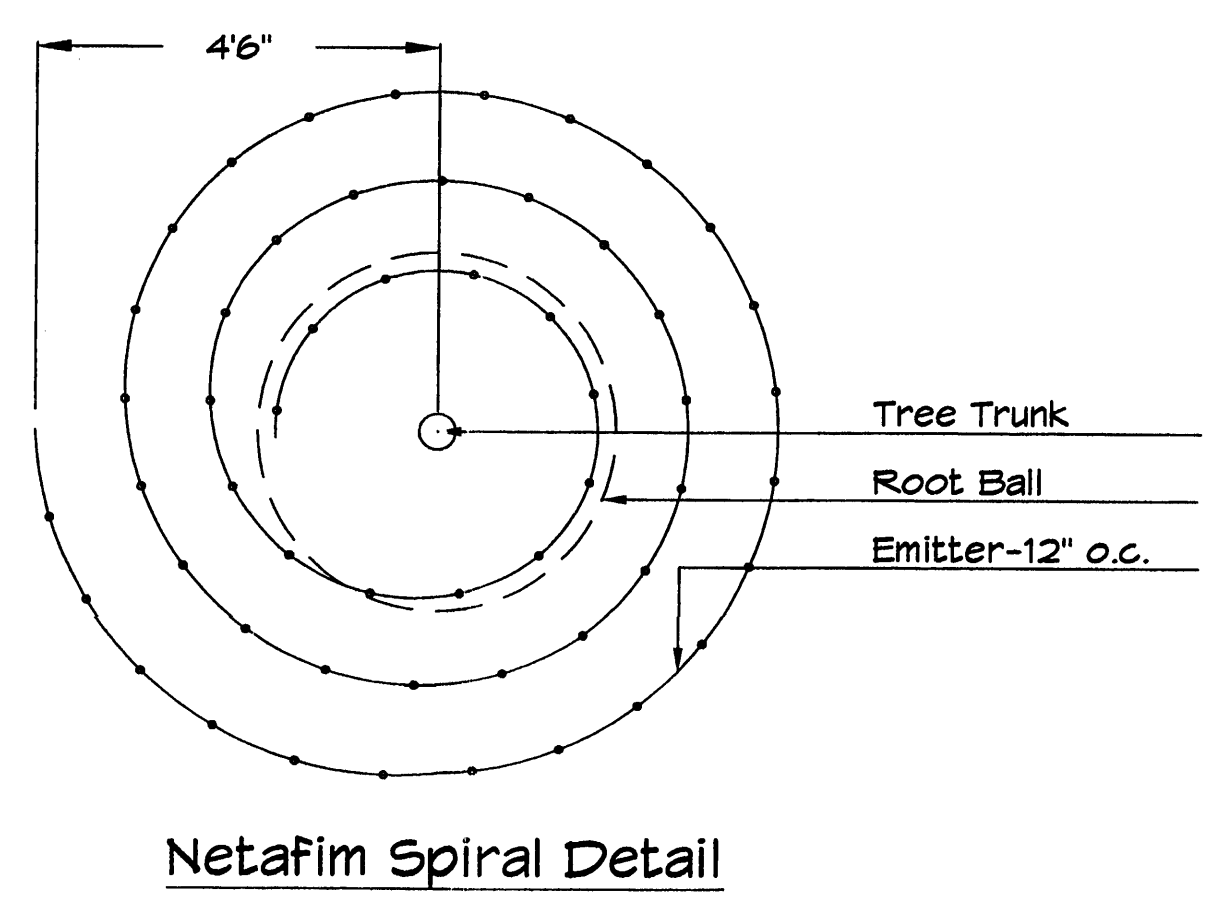
LANDSCAPE

DRAWN BY:

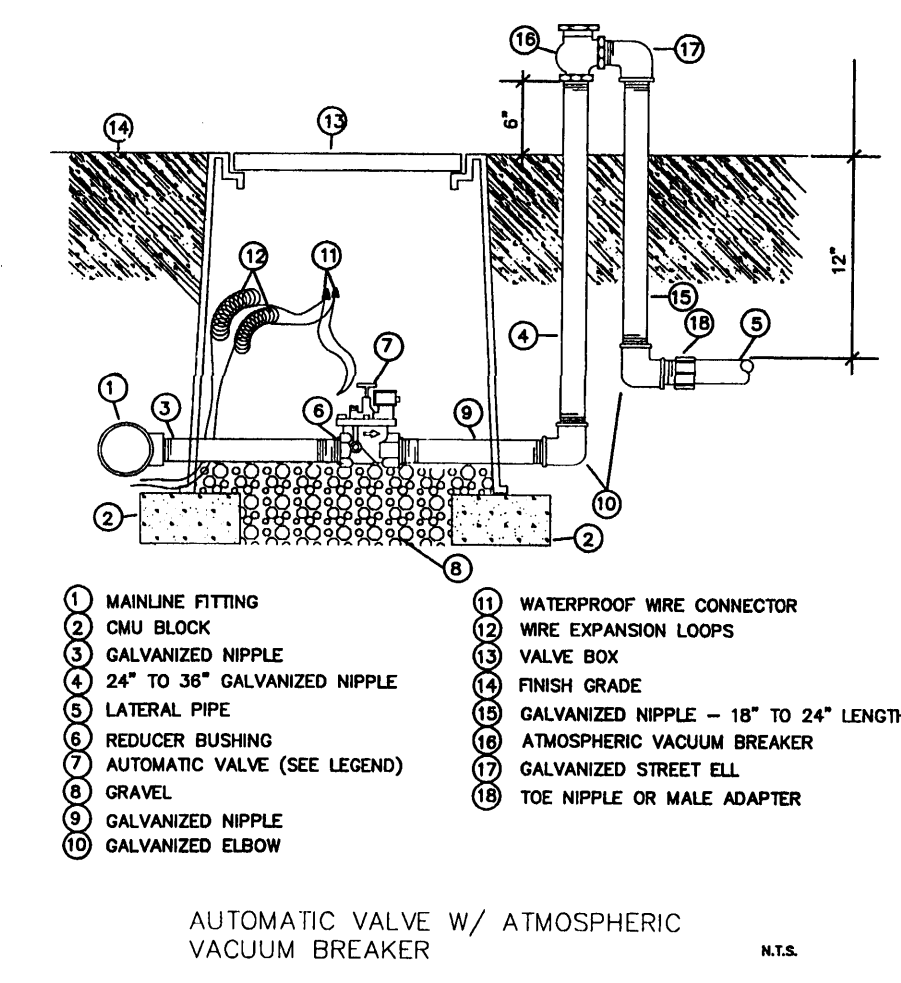
RMM

PRELIMINARY SET

PROPOSED RETAIL/OFFICE BUILDING
LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION
ALAMEDA BLVD. NE
ALBUQUERQUE, NEW MEXICO 87113

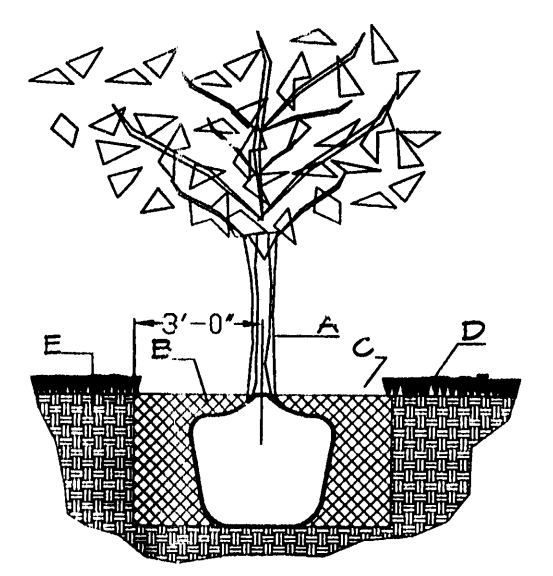


Netafim Spiral Detail



- 1 MAINLINE FITTING
- 2 CMU BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TEE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N.T.A.



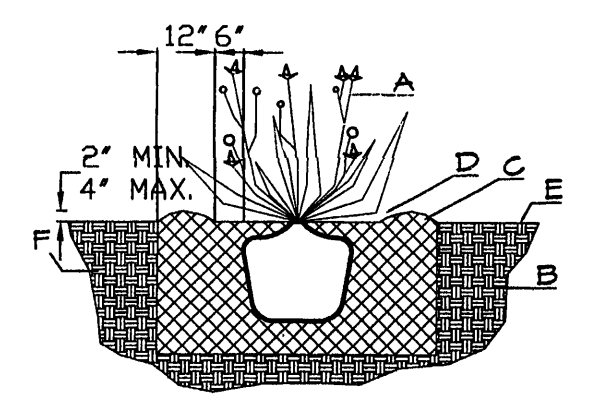
CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTRUBED SOIL.

TREE PLANTING DETAIL NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL...



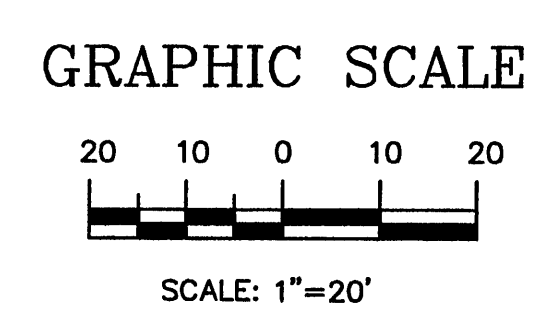
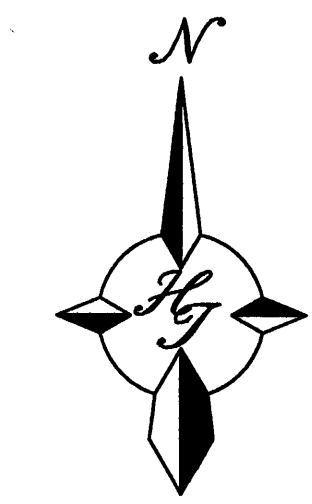
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

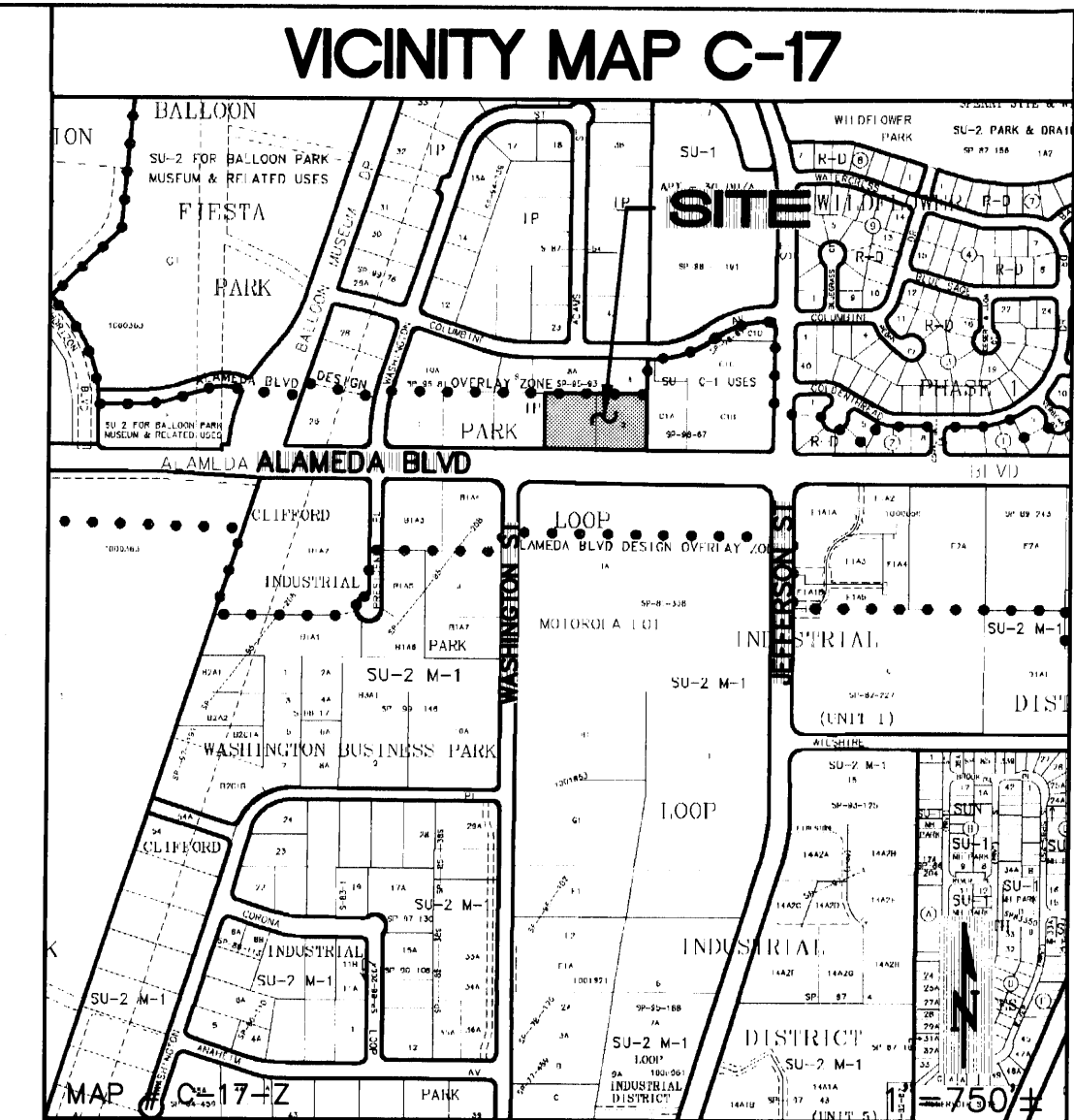
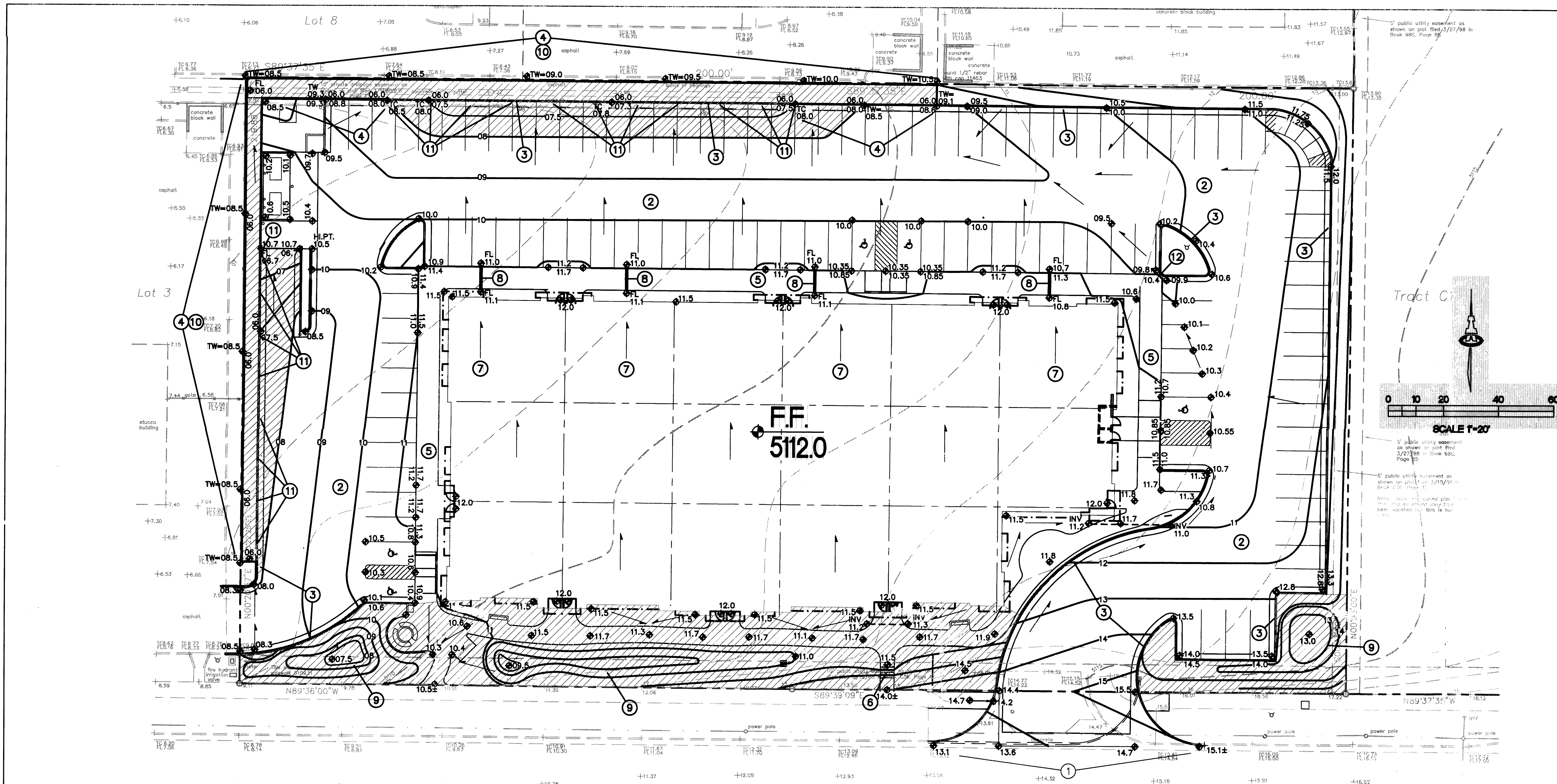
SHRUB PLANTING DETAIL NTS

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



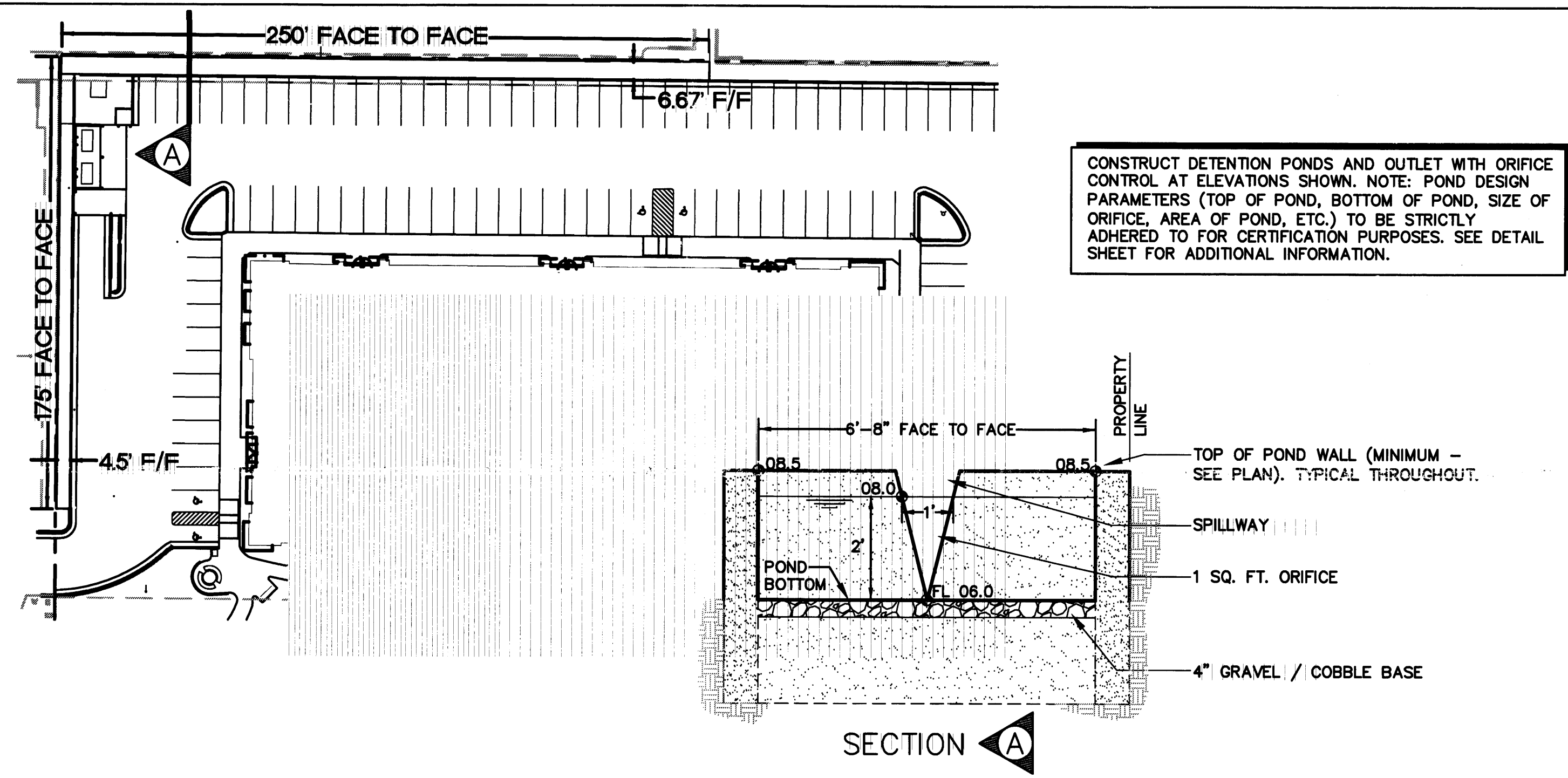
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All creative ideas contained herein remains the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



KEYED NOTES

- 1 CONSTRUCT NEW PRIVATE ENTRANCE PER C.O.A. STD.DWG. 2426. MATCH EXISTING TOP OF CURB AND FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. TRANSITION CURB HEIGHT FROM 8" (AT ROW) TO 6" (ON-SITE) OVER 10.0'. SEE ARCHITECTURAL FOR DIMENSIONS.
- 2 CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
- 3 CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. 2415 (TYPICAL) UNLESS NOTED OTHERWISE.
- 4 TOP OF WALL ADJACENT TO PROPOSED PONDING AREA TO BE CONSTRUCTED AT 08.5 TYPICAL OR 6" ABOVE ADJ. GRADE (WHICHEVER IS HIGHER). SEE DETAIL THIS SHEET FOR ORIFICE AND CONTROLLED SPILLWAY THROUGH CURB.
- 5 CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. TOP OF WALK TO BE 6" ABOVE TOP OF ADJACENT PAVEMENT (TYPICAL). SEE ARCHITECTURAL FOR RAMP LOCATIONS AND DETAILS.
- 6 CONSTRUCT STEPS AS REQUIRED TO TRANSITION BETWEEN EXISTING AND PROPOSED WALKS THIS AREA. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
- 7 CONCENTRATED ROOF FLOW TO BE RELEASED VIA DOWNSPOUTS AT FACE OF BUILDING. SEE KEYED NOTE #8. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
- 8 INSTALL 1' WIDE SIDEWALK TRENCH DRAINS LOCATED AT EACH ROOF DRAIN OUTLET AND AT SOUTH SIDEWALK TO PASS CONCENTRATED FLOW.
- 9 CONSTRUCT 18" DEEP WATER HARVESTING POND TO FULL EXTENTS OF LANDSCAPED AREA. POND SIDE SLOPES TO BE 3:1 MAXIMUM TO ACHIEVE REQUIRED VOLUME.
- 10 CONSTRUCT VERTICAL WALLED POND TO ELEVATIONS SHOWN TO ACHIEVE REQUIRED PONDING. SEE DETAIL THIS SHEET.
- 11 PROVIDE 1' WIDE (BOTTOM WIDTH) OPENING IN WALL / CURB AT FLOWLINE ELEVATION (15' O.C.) TO PASS FLOW TO POND. DIRECT ALL SURFACE FLOW TO OPENINGS.

MAIN POND DIMENSIONS



GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- D. WHERE NEW GRADES ARE SHOWN AS '+', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- E. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- F. ALL COBBLES TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING COBBLE EROSION PROTECTION.
- G. ALL SIDESLOPES > / = 3:1 MUST HAVE PERMANENT EROSION CONTROL (COBBLES OR LANDLOK TRM 450 O.E.) INSTALLED. TYPICAL.

S.O.19 : NOTICE TO CONTRACTORS

- 1 AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- 2 ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- 3 TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- 4 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5 BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- 6 MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7 WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

LEGEND

- + 93.7 EXISTING SPOT ELEVATION
- 509.3 EXISTING CONTOUR
- ◆ 54.5 PROPOSED SPOT ELEVATION
- 55 — PROPOSED CONTOUR
- FL FLOW LINE
- FF FINISHED FLOOR
- FH PROPOSED FIRE HYDRANT
- [Hatched Box] LIMITS OF PROPOSED POND

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph: 505-268-6828 Fax: 505-268-2632
 1597GRD.dwg Date: 7.25.07

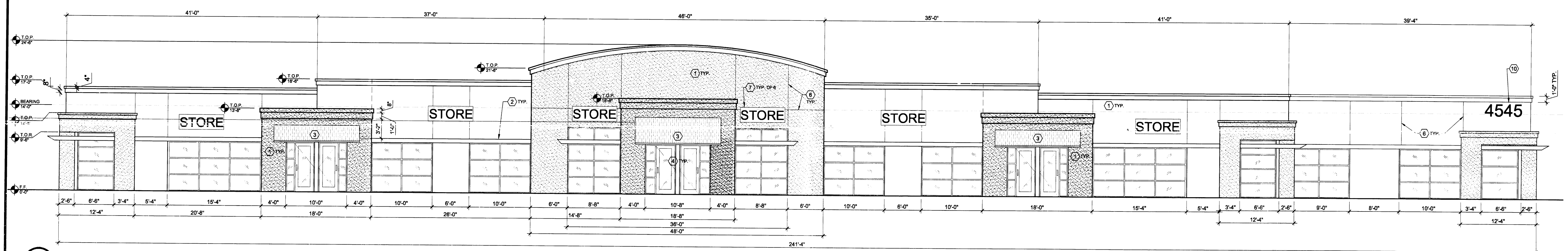
Richfield Park Subdivision
 Lots 4 and 5
 Mechenbier Const.

GRADING AND DRAINAGE PLAN

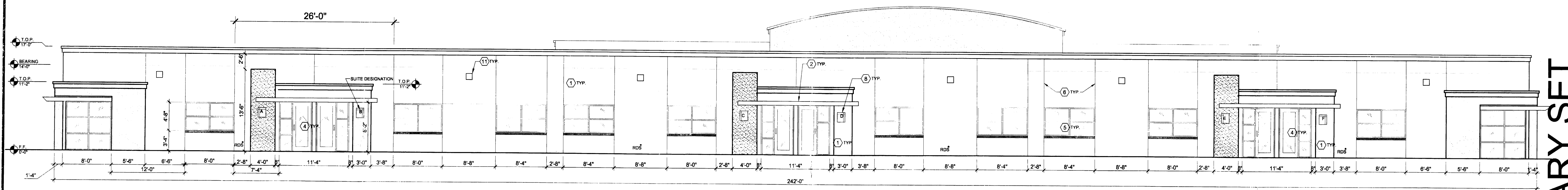
Date:	No.:	Revised:	Date:	Job No.:
SEPT 07				1597
Drawn By:				C001
Chk By:				SH OF

M:\VUL\156\2006\1029\NMS\109\1000.DWG, 10/20/11, 9/27/2011, 9:15:16 AM

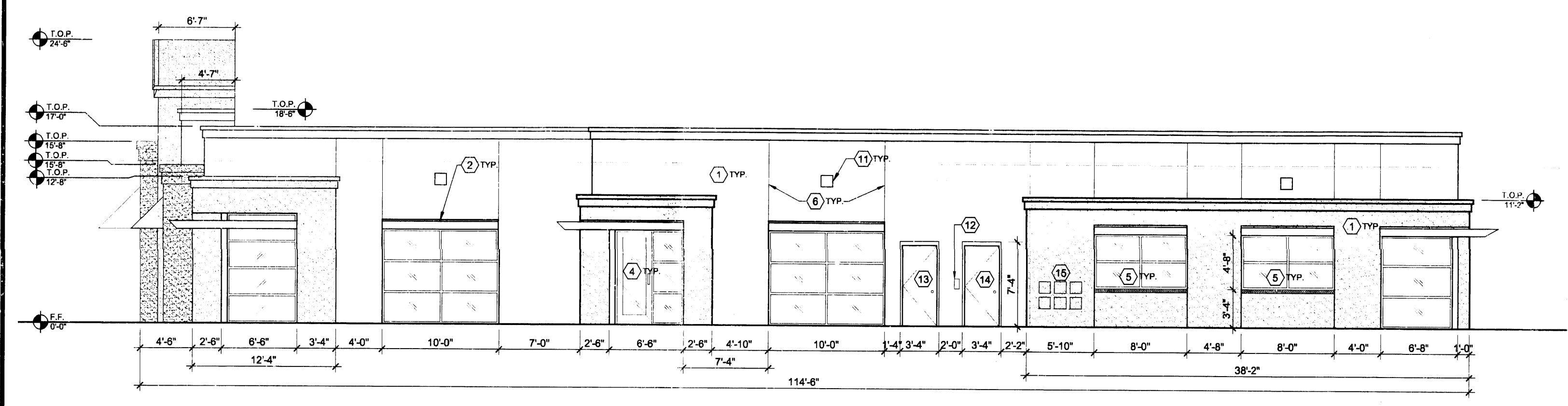
PRELIMINARY SET



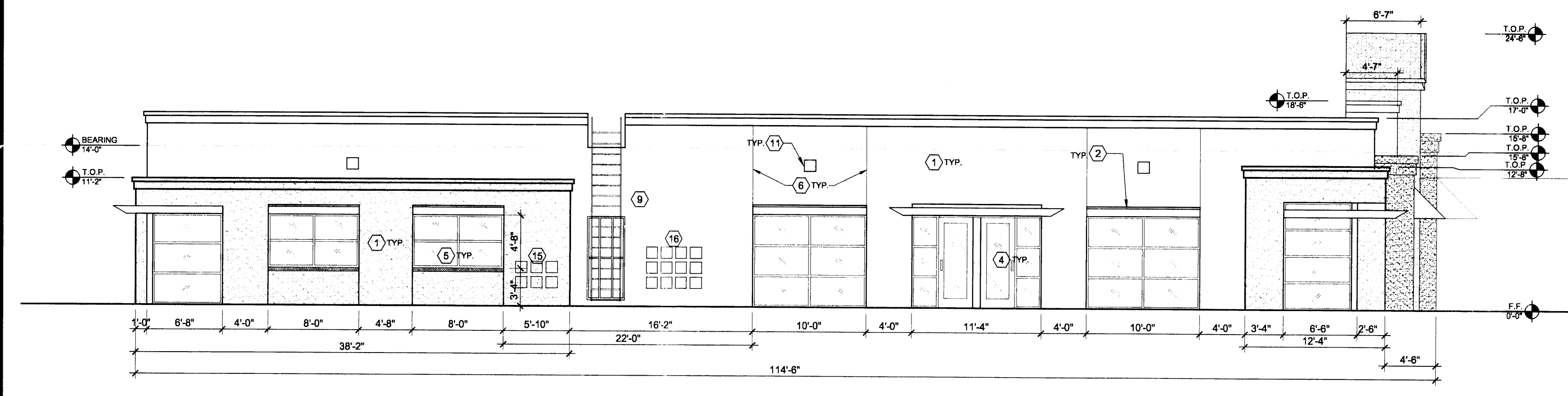
A SOUTH (RETAIL) ELEVATION
1/18" = 1'-0"



B SOUTH (RETAIL) ELEVATION
1/18" = 1'-0"



C EAST ELEVATION
1/18" = 1'-0"


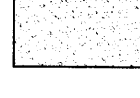
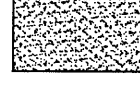


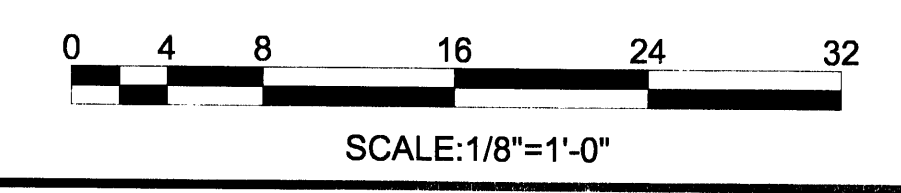
D WEST ELEVATION
1/18" = 1'-0"

KEYED NOTES:

- 1) ELASTOMERIC STUCCO SYSTEM; REFER TO EXTERIOR FINISH LEGEND.
- 2) CLEAR ANODIZED ALUMINUM SHADE STRUCTURE.
- 3) FABRIC AWNING, ACCENT COLOR TO COORDINATE WITH STUCCO.
- 4) CLEAR ANODIZED ALUMINUM STORE FRONT WITH BRONZE TINTED GLASS.
- 5) CLEAR ANODIZED ALUMINUM WINDOW.
- 6) STUCCO EXPANSION JOINT.
- 7) STOREFRONT SIGN WITH CAST CUT LETTERS. SIGN AREA 18 S.F.
- 8) OFFICE SIGN. SEE SHEET O/S1.2.
- 9) ROOF ACCESS LADDER WITH LOCKED COVER.
- 10) BUILDING ADDRESS LETTERS, VISIBLE FROM STREET, MIN. 18" HIGH.
- 11) WALL PACK.
- 12) FIRE DEPARTMENT KNOX BOX.
- 13) ENTRY TO TELEPHONE DEMARCATION PANEL ROOM.
- 14) ENTRY TO FIRE RISER & POTABLE WATER BACKFLOW PREVENTER ROOM.
- 15) GAS METERS.
- 16) ELECTRIC METERS.

EXTERIOR FINISH LEGEND:

-  ELASTOMERIC STUCCO SYSTEM; COLOR BEIGE SAND
SEE RENDERING FOR APPROXIMATE COLOR
-  ELASTOMERIC STUCCO SYSTEM; COLOR MEDIUM BEIGE SAND
SEE RENDERING FOR APPROXIMATE COLOR
-  ELASTOMERIC STUCCO SYSTEM; COLOR BRICK
SEE RENDERING FOR APPROXIMATE COLOR

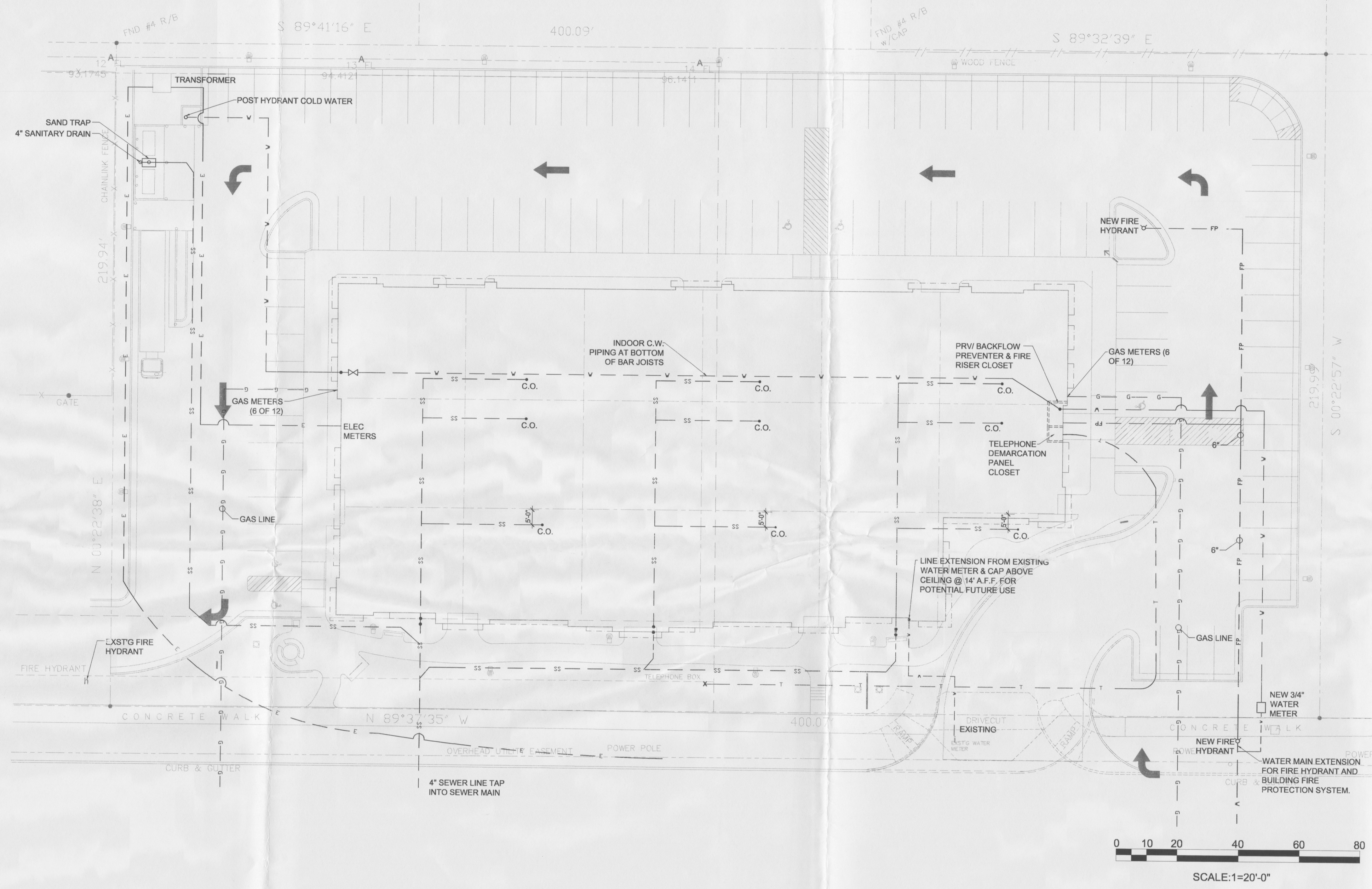


PRELIMINARY ELEVATIONS

PROPOSED RETAIL/OFFICE BUILDING
LOTS 4 AND 5, RICHFIELD PARK SUBDIVISION
4545 ALAMEDA BLVD. NE
ALBUQUERQUE, NEW MEXICO 87113

MECHENBIE
CONSTRUCTION INC.
8804 WASHINGTON AVE. SUITE 4
ALBUQUERQUE, NM 87113
OFFICE: (505) 858-1626
FAX: (505) 823-1516
WEB: WWW.MECHENBIE.COM

PRELIMINARY SET



CONCEPTUAL SITE UTILITY PLAN