

PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
4/4/07	MRYCK Map 38	Sketch	Comments Given
	Proj. 1005467		



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005467

AGENDA ITEM NO: 25

SUBJECT:

Sketch Plat

ACTION REQUESTED:

REV/CMT: (X) APPROVAL: () SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: APRIL 4, 2007

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1005467 Item No. 25 Zone Atlas J-13
DATE ON AGENDA 4-4-07
INFRASTRUCTURE REQUIRED (X)YES ()NO
CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- (X) SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
() SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
() SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
1)	Sight lines will need to be evaluated for a new curb cut on Mountain.
2)	Due to the lot split, dedication and improvements may be required along both streets. Cross-sections of both Mountain and Consuelo are needed for evaluation.
3)	Mountain road is a proposed bikelane facility.
4)	

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

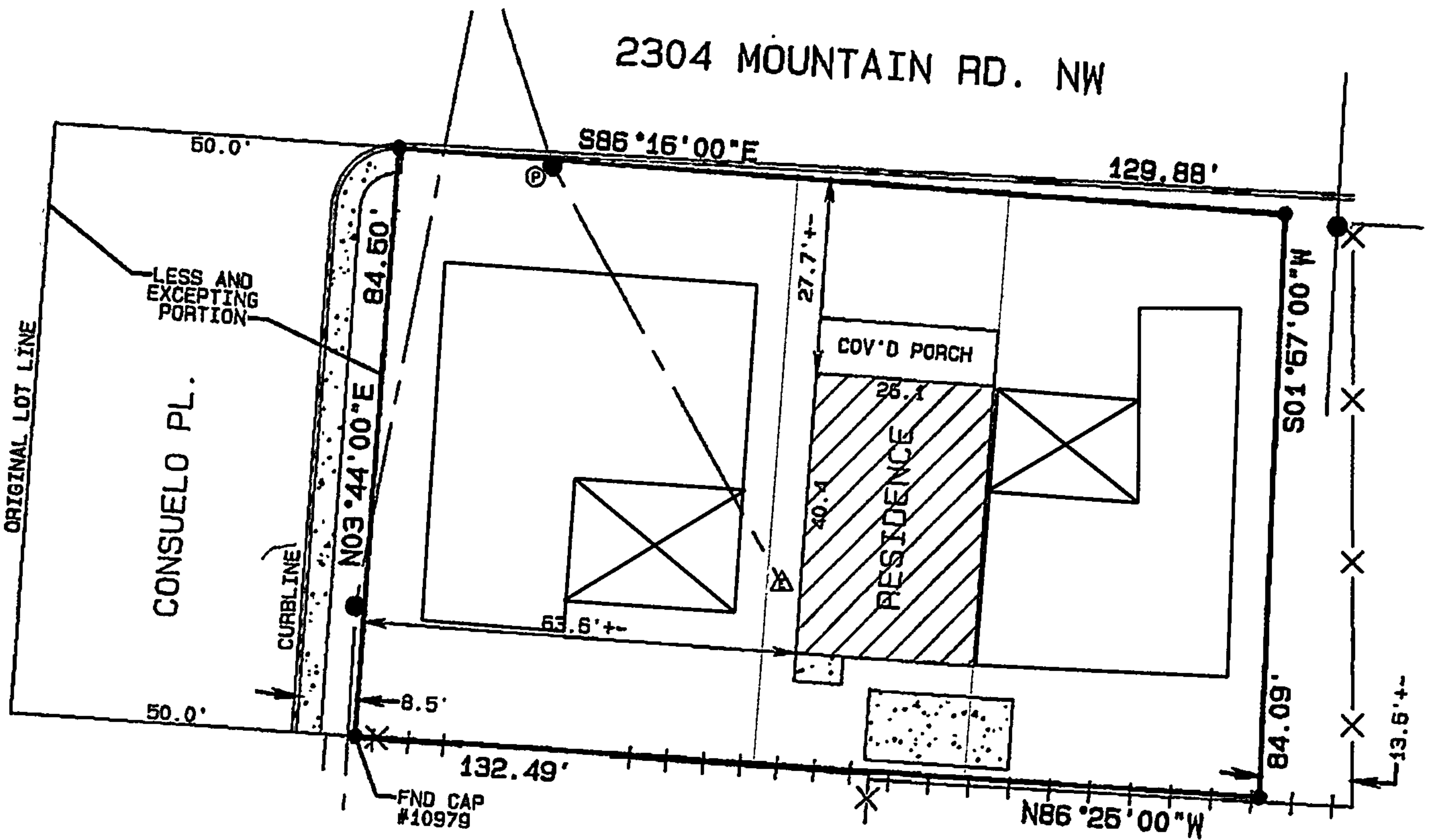
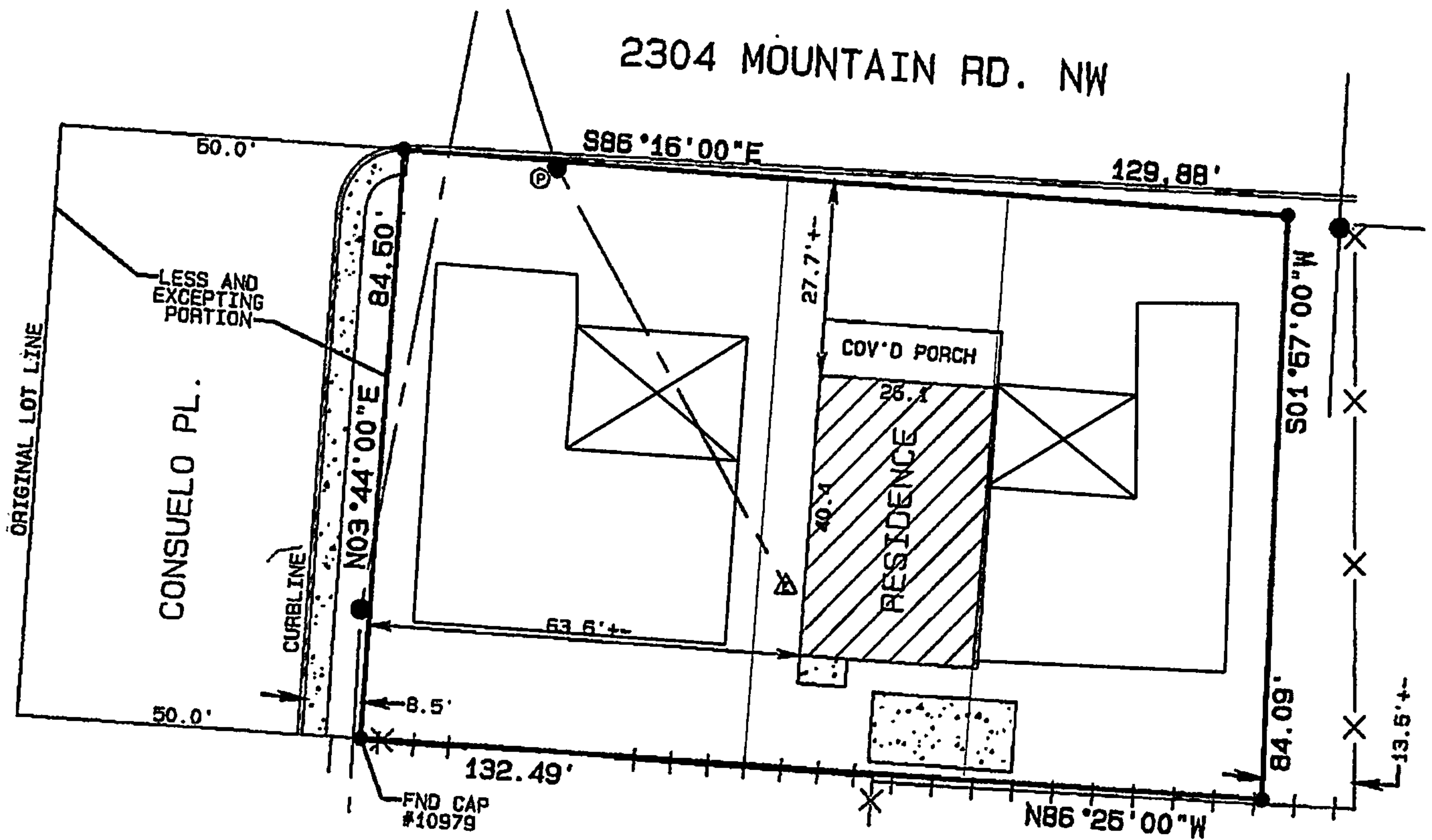
PROJECT #

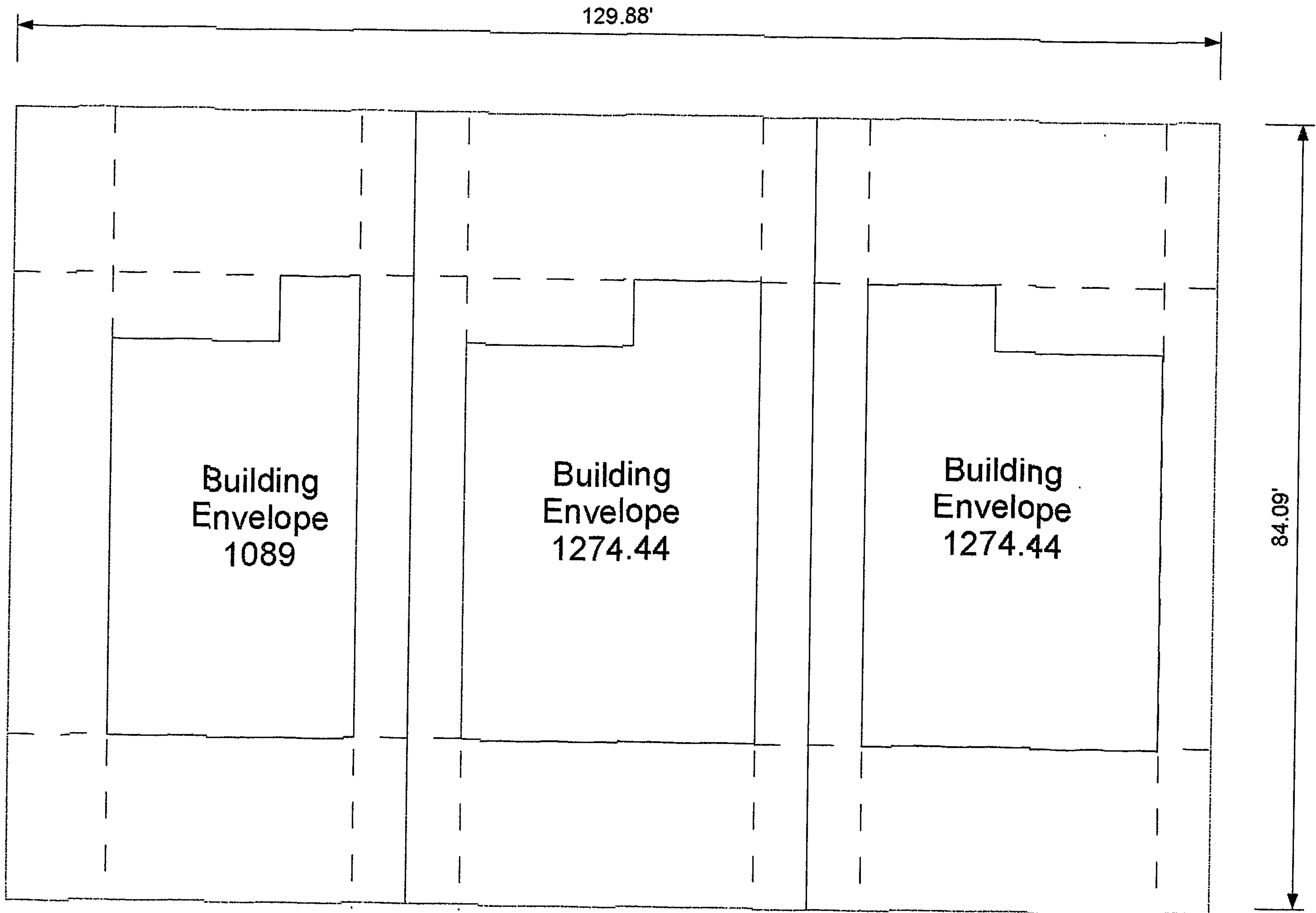
1005467

APRIL 8. 2015

SK

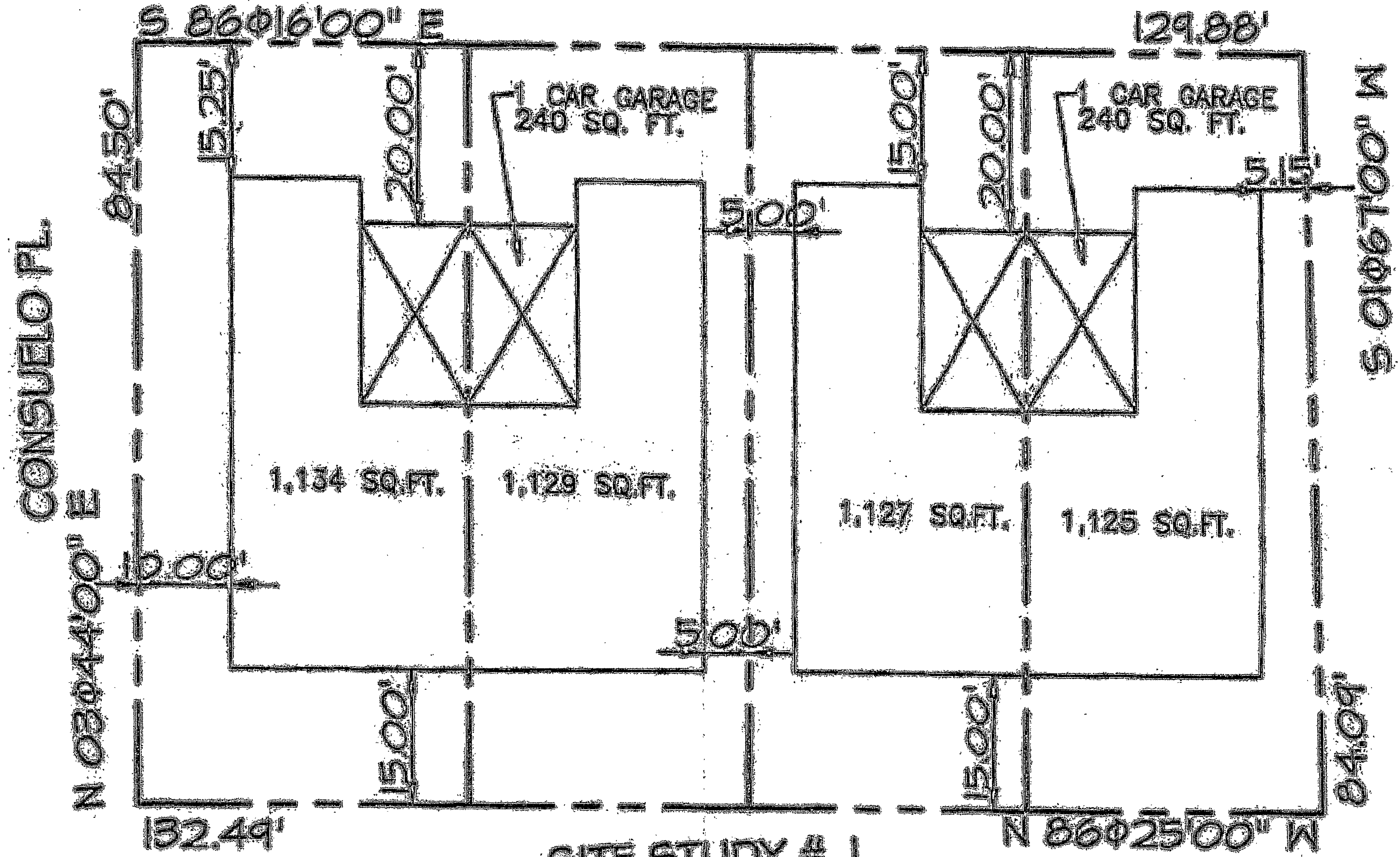
- Proposed lot lines
- Proposed new structures





Building envelope based on R-T zoning setbacks for detached homes.
Includes 2 car garage 400sqft not included in building envelope sqft.
Lot size ~ 3600sqft

MOUNTAIN ROAD



SITE STUDY # 1

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**April 8, 2015
DRB Comments**

ITEM # 14

PROJECT # 1005467


APPLICATION # 15DRB-70127

RE: Tract 283A, MRGCD MAP #38

The sketch plat proposals showing three new detached houses or four new townhouses meet minimum requirements of the R-T zone; however, the original sketch with existing house/ three lots does not show square footage of lots. Any proposal involving existing structure would have to comply with all code requirements, which would include minimum R-T lot sizes, widths, and setbacks as well as building code requirements for a common wall/ townhouse.

Randall Falkner
600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
t 505-924-3933
f 505-924-3339

jcloud@cabq.gov
vsegura@cabq.gov

City of Albuquerque  **DEVELOPMENT/ PLAN REVIEW APPLICATION**

Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): ROBERT DEVINE PHONE: 505-515-5800
 ADDRESS: 2323 MOUNTAIN RD NW, #1 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: ROBERT@SWITCHREALTY.COM

APPLICANT: MAXINE NELSON PHONE: 505 306-4714
 ADDRESS: 2323 MOUNTAIN RD NW, #6 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: MAXINE10M@GMAIL.COM

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: Subdividing lot

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 283A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: _____
 Existing Zoning: R-T Proposed zoning: _____ MRGCD Map No 38
 Zone Atlas page(s): J13 UPC Code: 101305806841121739

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 3 Total site area (acres): 0.2534

LOCATION OF PROPERTY BY STREETS: On or Near: MOUNTAIN
 Between: CONSUELO and RIO GRANDE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE RD DATE _____
 (Print Name) ROBERT DEVINE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>15DRB 70127</u>	<u>SK</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #'s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #'s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>April 8, 2015</u>				Total
				\$ <u>0</u>

[Signature] 3-23-15
 Staff signature & Date

Project # 1005467

FORM S(3): SUBDIVISION - D.R. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

required.

 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ROBERT DEVINE
Applicant name (print)

RAA
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
15DRB-70127


Form revised **October 2007**

[Signature] **3-23-15**
Planner signature / date

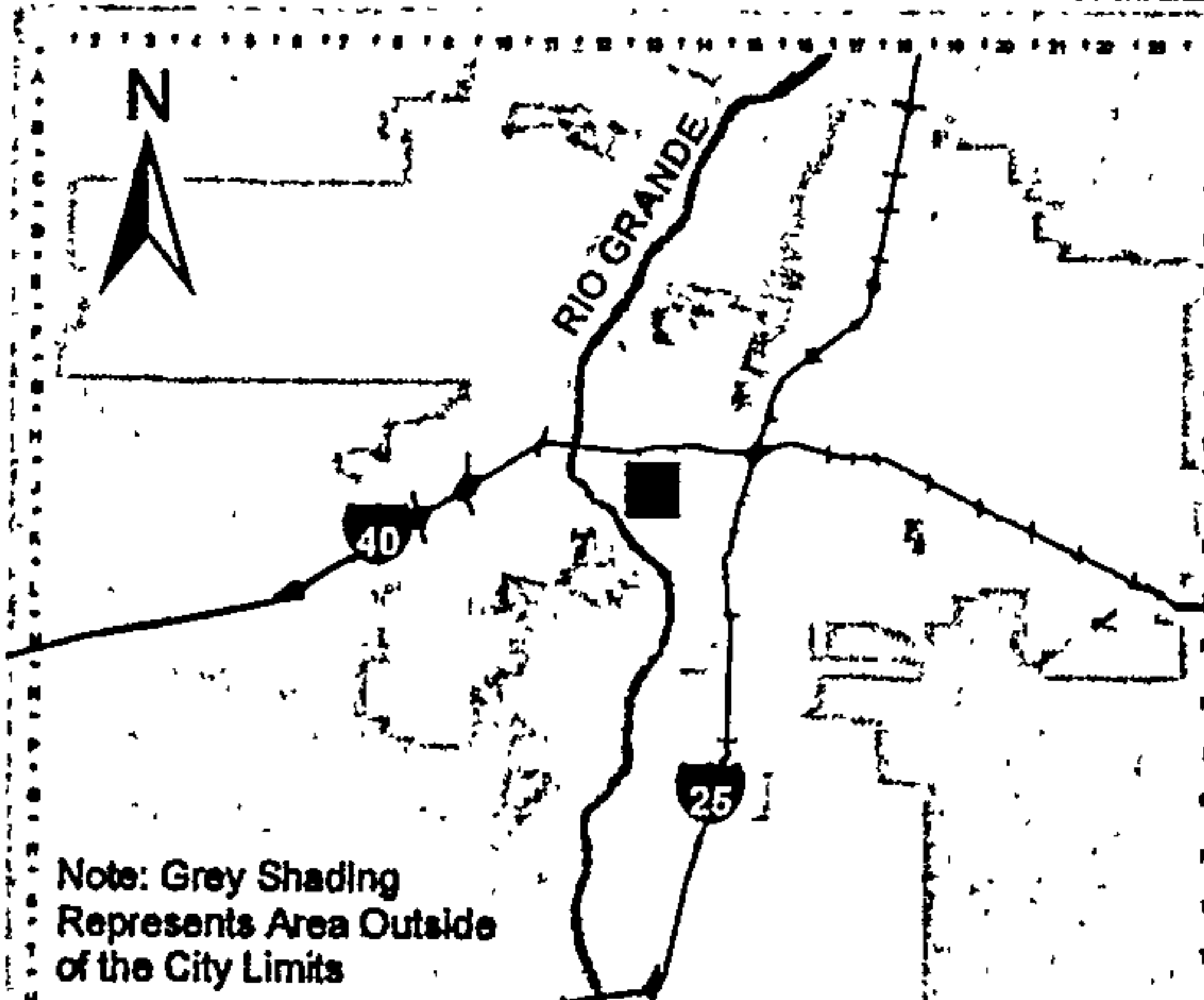
Project # **1005467**



For more current information and details visit: <http://www.cabq.gov/gis>












Map amended through: 9/2/2014



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-13-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

DRB22

Prepared by Robert Devine (Agent) on behalf of Maxine Nelson (Owner)

MAP 38 LOT 238A

This purpose of this review is to validate the way we would like to subdivide the lot.

In order to preserve the original building, we wish to incorporate it into a two unit building of town homes on the Eastern portion of the property and have left over a lot large enough lot to build a detached home on the Western portion bordering Consuelo.

The original structure is (40'x25') 1,000 sqft with parking on the front and would have another two story town home attached to a portion of its Eastern wall, but we haven't finalized a specific size for this addition at this point.

The remaining portion of the original lot bordering Consuelo would then be for a detached home, with the front facing Mountain. Here we are considering two different scenarios, with driveway at the back of the property or driveway at the front.

Thank you for your time and looking forward to the board's valuable input.



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: MATTHEW COHEN PHONE: 505 977.6509
 ADDRESS: 2452 CONSUELO LN, NW FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: _____
 Proprietary interest in site: PURCHASE + DEV. List all owners: ISABELLE & ABRAHAM BRITO
 AGENT (if any): _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: ZONE & MAP AMENDMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes, No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 283A Block: _____ Unit: _____
 Subdiv. / Addn. _____
 Current Zoning: R-1 Proposed zoning: R-1 + SU-1
 Zone Atlas page(s): 5-13-2 No. of existing lots: 1 No. of proposed lots: 2
 Total area of site (acres): .295 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No Within 1000FT of a landfill? _____
 UPC No. 101305806841121739 MRGCD Map No. ~~8362~~ 38
 LOCATION OF PROPERTY BY STREETS: On or Near: MOUNTAIN ROAD NW
 Between: CONSUELO PLACE NW and RIO GRANDE BLVD. NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 3/27/07
 (Print) MATTHEW M. COHEN Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04, 3/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB-00392</u>	<u>SK</u>	<u>5(3)</u>	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 0.00</u>

Hearing date 04/04/07

Sandy Handley 03/27/07
 Planner signature / date

Project # 1005467

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MATTHEW COHEN

 Applicant name (print)

 Applicant signature / date



Form revised 8/04, 1/05, 10/05 & NOV 06

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07 DEB - -00392

Sandy Landley 03/27/07

 Planner signature / date
Project # 1005467



For more current information and more details visit: <http://www.cabq.gov/gis>

City of Albuquerque
AGIS
Albuquerque Geographic Information System

Map amended through: 2/18/2007

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-13-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

From: Matthew Cohen
2452 Consuelo Lane NW
Albuquerque NM 87104
(505) 977. 6509
3/27/07

To: Sketch Plat Review Board
RE: Zone + Map Changes to Lot 283A, 2304 Mountain Rd. NW

Dear Sketch-Plat Review Committee:

I am submitting three maps that outline the changes to a parcel of land I am considering purchasing. I look forward to your feedback.

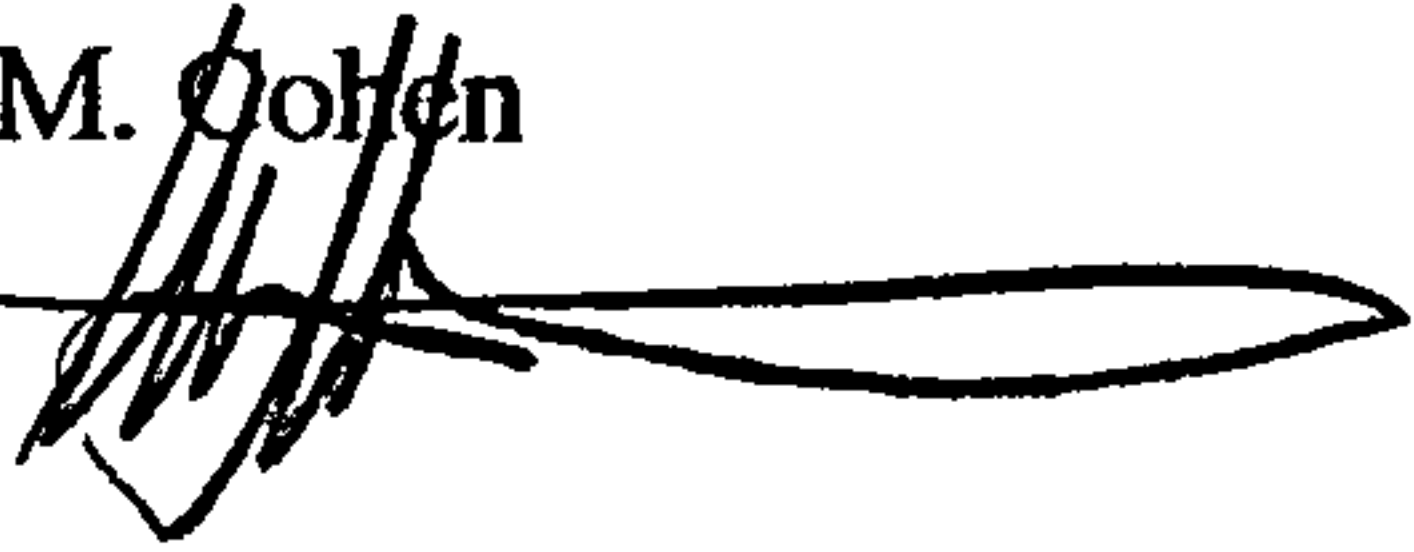
(↻ 6 copies)

The basic changes as I have outlined and hope to make, are:

1. To divide the property into two parcels (plat/map amendment)
2. Make a new curb-cut/entrance, on the NW corner of the new lot/property "A".
3. Rezone new Parcel "A" from R-1 to SU-1 for the purpose of making an Art Studio. I am an artist and photographer, and I live in this neighborhood. This studio will not function as a gallery, but it will be a place to make art and meet with potential clients (I may put a sign up). I would hope the city would look favorably on this zone request because looking at the existing Zone map lot 283A already boards a "commercial service" zoned property to the East, and is contained buy a natural street buffer to the North and West: Consuelo Place, and maintain Rd .
4. Re-orient Front/back/sides of new lots, so the north sides of the residence(s) become the "Front".

Thank you for considering my Sketch Plat,

Sincerely,
Matthew M. Cohen



2304 MOUNTAIN RD NW

LOT 283A

MAP 1.

MATTHEW COHEN

CITY OF ALBUQUERQUE
www.cabq.gov

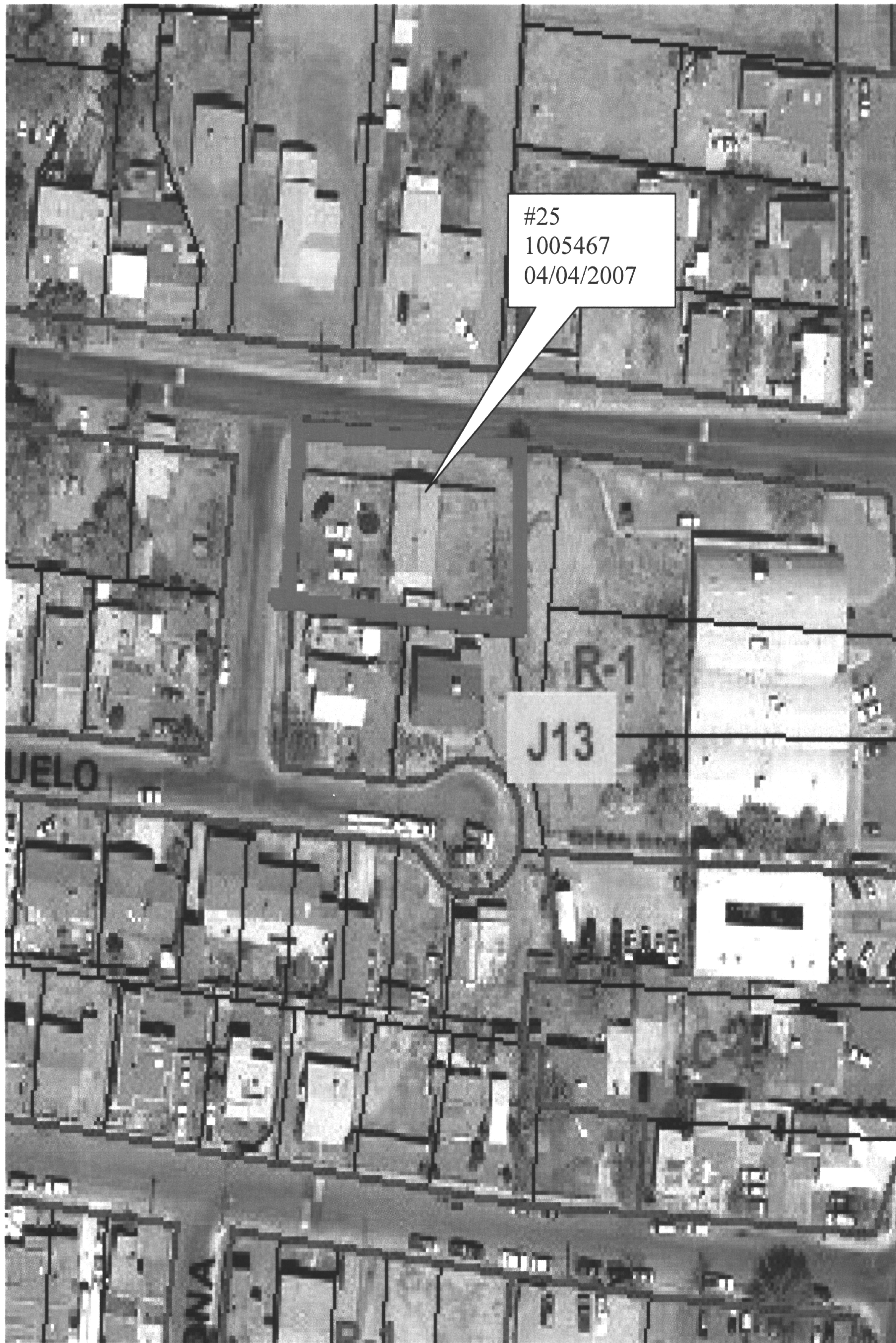
ALBUQUERQUE GIS DATA WEBSITE



LANDUSE is now the Active Layer

printed 3/27/07

5-13-2



#25
1005467
04/04/2007

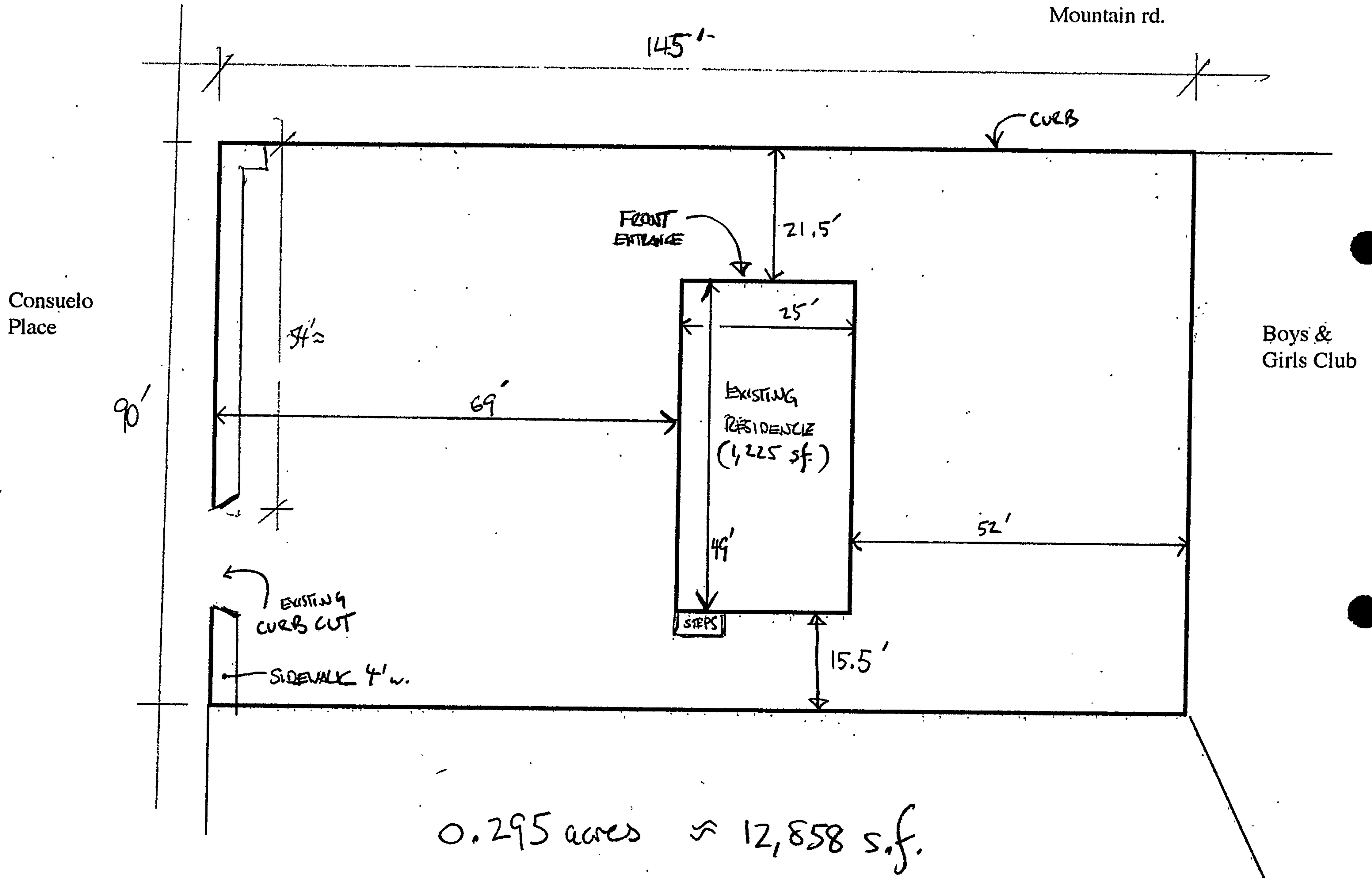
R-1
J13

UELO

DNA

Submitted by: Matthew Cohen, 3/27/07
(505. 977. 6509)
Map: Existing lot,

MAP 2
MATTHEW COHEN



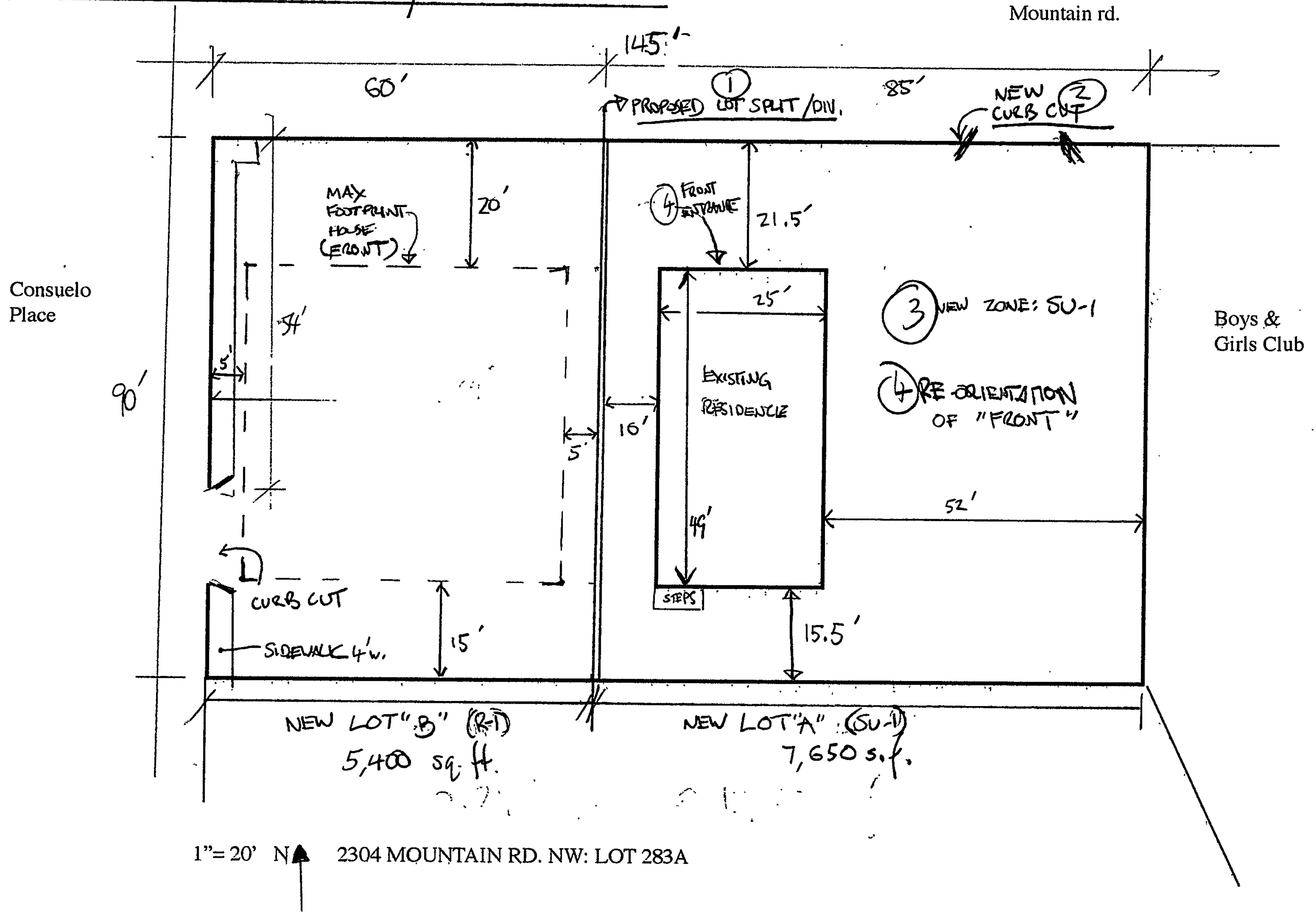
1" = 20' N ↑ 2304 MOUNTAIN RD. NW: LOT 283A

Submitted by: Matthew Cohen, 3/27/07

(505. 977. 6509)

Map: ~~XXXXXX~~ PROPOSED ZONE & MAP/PLAT AMENDMENTS

MAP 3
MATTHEW COHEN



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
April 4, 2007
DRB Comments**

ITEM # 25

PROJECT # 1005467

APPLICATION # 07-00392

RE: Tract 283A, M.R.G.C.D. Map #38

The residential subdivider must comply with City Council Resolution R-06-74 regarding the Pre Development Facility Fee Agreement with Albuquerque Public Schools (APS) prior to DRB approval of any residential platting actions.

The lots meet the minimum lot size of 5,000 square feet in the R-1 zone, as described in the City of Albuquerque Comprehensive Zoning Code.

The newly created lot has setback issues. A Special Exception (variance) will be required through the Zoning Office.


Andrew Garcia, Planning Alternate
924-3858 agarcia@cabq.gov



IMPACT FEES – # 1005467

Development Review Board 4/4/07 Agenda Item #25
Sketch Plat: Lots 283A, MRGCD MAP 38

Construction for new art studio will require payment of Impact Fees. Public Safety Fees will be based on every 1,000 square feet of floor area (\$455/ 1,000 sq ft; all other fees are \$0).

JACK CLOUD
IMPACT FEE ADMINISTRATOR