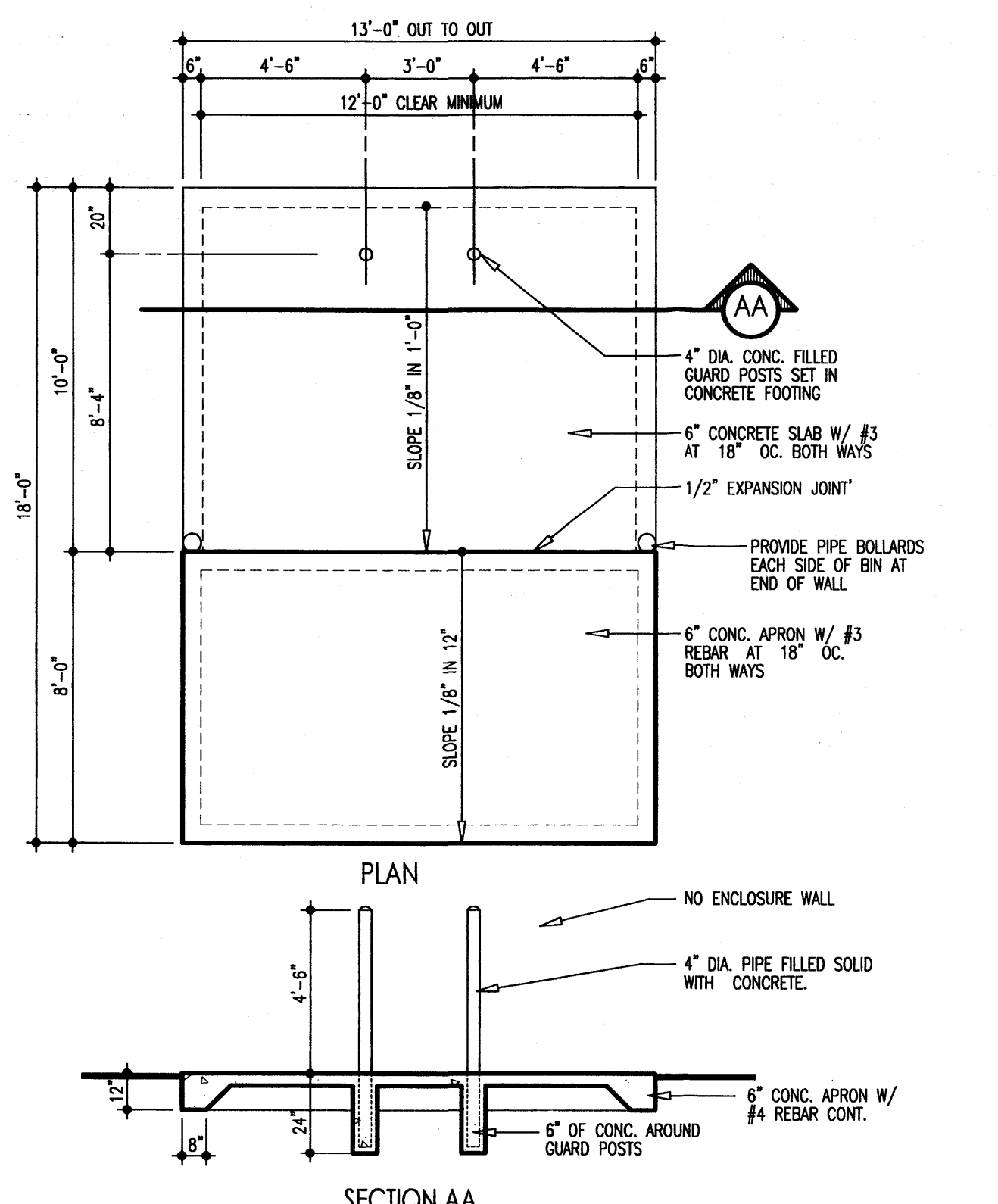


SITE PLAN
1" = 20.00'

REFUSE BIN LOCATION
1" = 20.00'

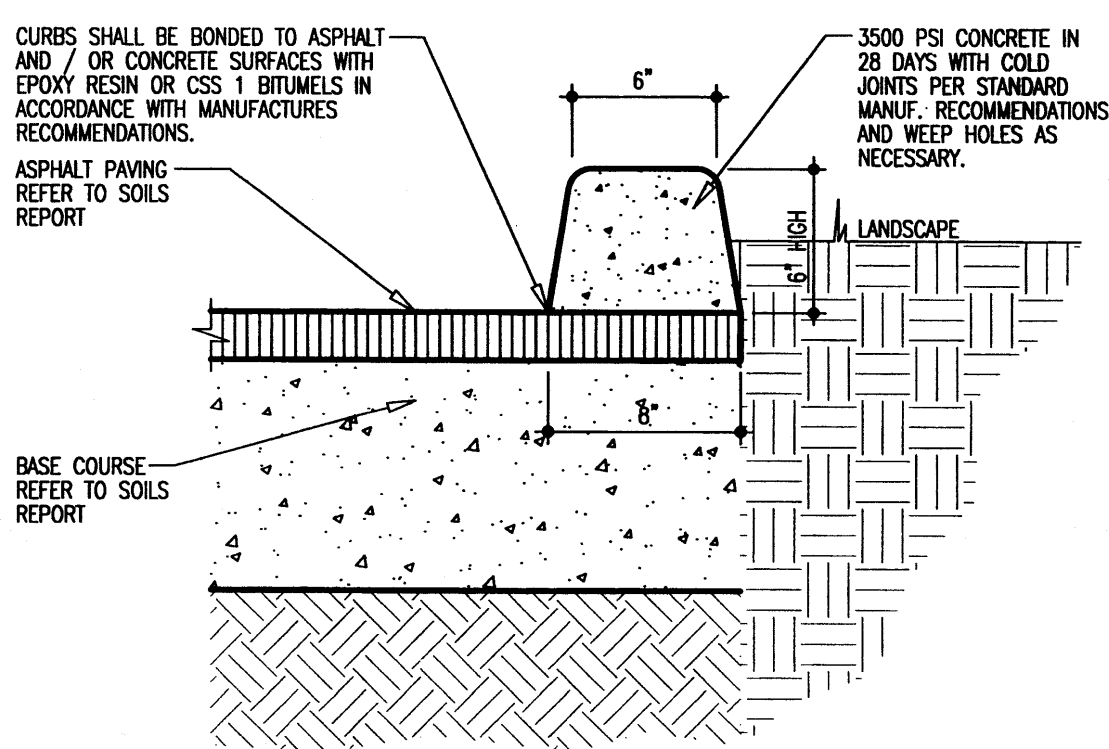
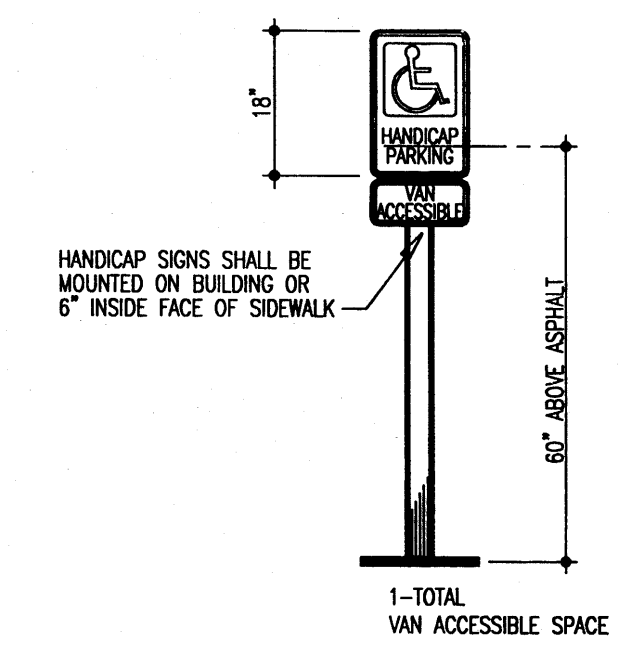
EXTERIOR LIGHTING FIXTURE SCHEDULE:

MARK	FIXTURE TYPE	INSTALLATION	LAMPS	DESCRIPTION
A	METAL HALIDE	EXTERIOR WALL	1-200W	"LITHONIA" TMH 200M 277 WITH DOWN LIGHT CUT OFF SHIELD.
B	METAL HALIDE	RECESSED SOFFIT	1-100W	"LITHONIA" LPH8 100M 277/84 WITH LAMP



REFUSE BIN ENCLOSURE DETAIL
1/4" = 1'-0"

HC SIGN DETAIL
1/2" = 1'-0"



EXTRUDED CURB DETAIL
1/2" = 1'-0"

PROJECT INFORMATION

PROJECT NAME: RAY CRAVEY LEASE BUILDING
 PROJECT ADDRESS: 8504 CALLE ALAMEDA N.W. ALBUQUERQUE, NM. 87113
 LEGAL DESCRIPTION: LOT 40, ALAMEDA BUSINESS PARK, CITY OF ALBUQUERQUE, NEW MEXICO.
 ZONE MAP PAGE: C-16-2
 PROJECT DESCRIPTION: BUSINESS - OFFICE BUILDING
 OWNER: RAY CRAVEY
 GENERAL CONTRACTOR: OOOO
 ARCHITECT: HJR ARCHITECTURE, LLC
 SOILS ENGINEER: VINYARD AND ASSOCIATES, MARTIN VINYARD
 CIVIL ENGINEER: BERNE MONTOYA CONSULTING
 STRUCTURAL ENGINEER: ROBERT PLATT
 PLUMBING ENGINEER: WALKER ENGINEERING-TERRY WALKER
 MECHANICAL ENGINEER: WALKER ENGINEERING-TERRY WALKER
 ELECTRICAL ENGINEER: THE GROUP - FREDERICK J. TELCK

PERMIT DATA

APPLICABLE CODES:
 2003 INTERNATIONAL BUILDING CODE
 2003 INTERNATIONAL FIRE CODE
 2003 UNIFORM PLUMBING CODE
 2003 UNIFORM MECHANICAL CODE
 2003 NATIONAL ELECTRIC CODE
 NEW MEXICO BUILDING CODE
 1998 AMERICAN NATIONAL STANDARDS (ANSI)
 CITY OF ALBUQUERQUE ZONING ORDINANCE
 NORTH 1-25 SECTOR DEVELOPMENT PLAN

ROOM CLASSIFICATION AND DESCRIPTION
 ROOM AND OCCUPANCY CLASSIFICATION: DESCRIPTION:
 OFFICE AREA: OFFICE AREA WILL BE FOR GENERAL BUSINESS.
 WAREHOUSE AREA: WAREHOUSE AREA WILL BE USED FOR THE STORAGE OF ELECTRICAL EQUIPMENT, TESTING EQUIPMENT, AND METAL HARDWARE AND COMPONENTS.

PROPERTY AREA:
 LOT SIZE: 22,638.13 SQ. FT. .5197 ACRES
 GROSS BUILDING AREA: 8,000.00 SQ. FT.
 OFFICE: 2,600.00 SQ. FT.
 WAREHOUSE AREA: 5,400.00 SQ. FT.
 TOTAL BUILDING AREA: 8,000.00 SQ. FT.

TYPE OF CONSTRUCTION: TYPE IIB NON SPRINKLED
 OCCUPANCY GROUP PER IBC CHAPTER 3:
 OFFICE: GROUP B
 WAREHOUSE AREA: GROUP S-2
 PROPERTY TO SITE RATIO: 35%

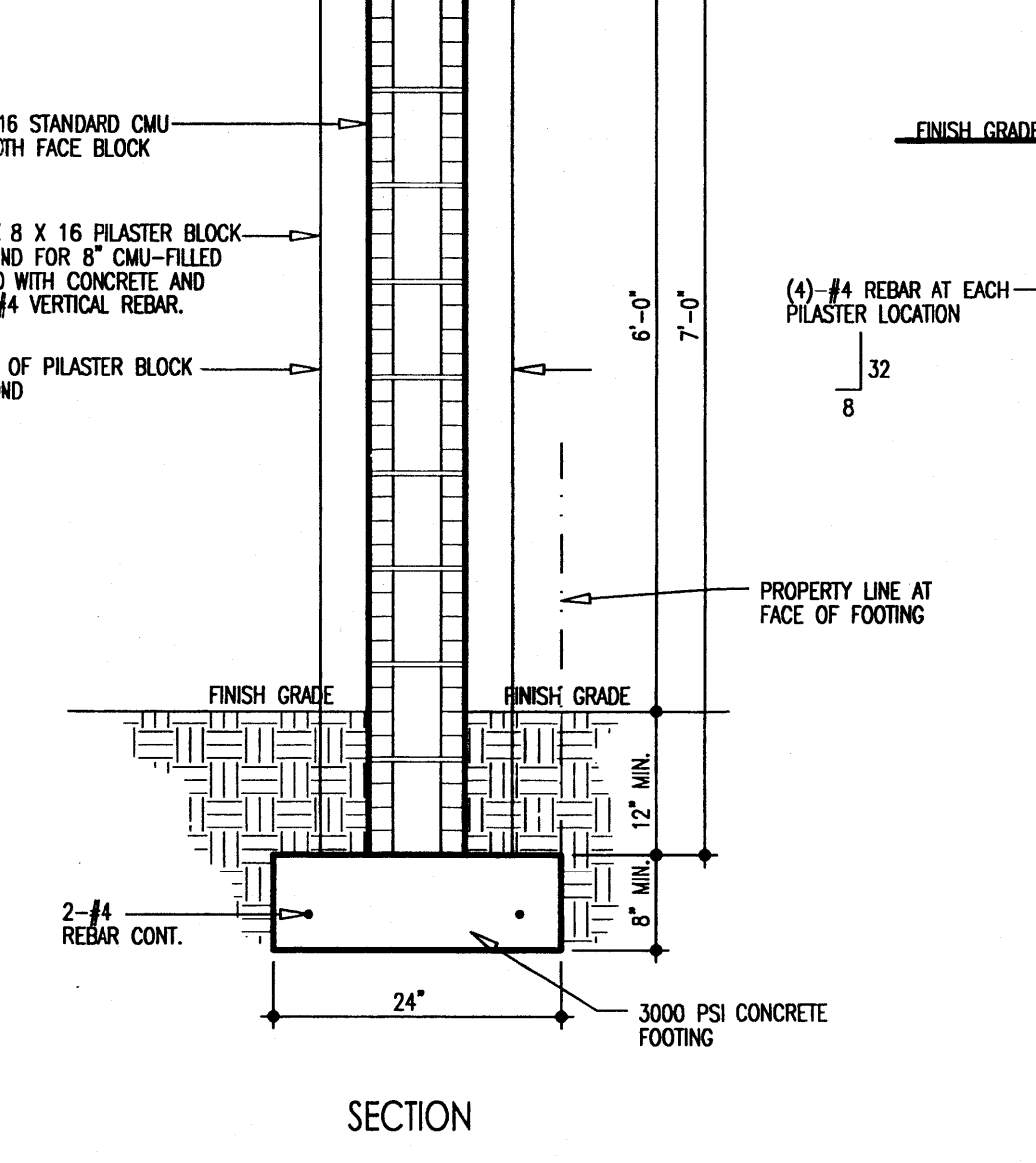
DESIGN DATA
 IMPORTANCE FACTOR (IBC TABLE 1604.5): CATEGORY II
 SEISMIC FACTOR: SNOW FACTOR: WIND FACTOR:
 1.0 1.0 1.0
 ROOF LIVE LOAD (IBC SECTION 1607.1): 20 PSF (NON REDUCIBLE)
 GROUND SNOW LOAD (IBC FIGURE 1609.2): 20 PSF
 BASIC WIND SPEED (IBC FIGURE 1609): 90 MPH
 EXPOSURE (IBC SECTION 1609.4): C
 2ND FLOOR FUTURE USE DECK DESIGN LIVE LOAD: 125 PSF

BUILDING CODE ANALYSIS
 GROSS BUILDING SQUARE FOOTAGE: 8,000.00 SQ. FT.
 1. ALLOWABLE AREA PER IBC TABLE 503, GROUP B, OCCUPANCY / TYPE IIB CONSTRUCTION: 23,000.00 SQ. FT.
 2. ALLOWABLE AREA PER IBC TABLE 503, GROUP S-2 OCCUPANCY / TYPE IIB CONSTRUCTION: 26,000.00 SQ. FT.

NOTE: NO INCREASE IN SQUARE FOOTAGE IS REQUIRED OR NECESSARY BEING THE ACTUAL BUILDING SIZE OF 8,000.00 SQ. FT. IS LESS THAN THE LEAST AMOUNT ALLOWABLE WHICH IS THE GROUP B OCCUPANCY OF 23,000.00 SQ. FT.

MIXED USE/OCCUPANCY SEPARATIONS PER IBC TABLE 302.3.2:
 OCCUPANCY GROUPS: RATING REQUIRED:
 GROUP B TO S-2: 2 HOUR OCCUPANCY SEPARATION

NOTE: THIS BUILDING WILL BE CLASSIFIED AS A NONSEPARATED USE BUILDING PER IBC 302.3.1 AND THEREFORE WILL NOT REQUIRE A FIRE SEPARATION BETWEEN USES.



GARDEN WALL DETAIL
3/4" = 1'-0"

BUILDING HEIGHT:
 MAXIMUM ALLOWABLE HEIGHT PER IBC TABLE 503:
 TYPE IIB GROUP B OCCUPANCY = 4 STORIES
 TYPE IIB GROUP S-2 OCCUPANCY = 4 STORIES

ACTUAL HEIGHT:
 TYPE IIB GROUP S-2 OCCUPANCY = 1 STORY

OCCUPANT LOAD:
 OCCUPANT LOAD PER IBC TABLE 1004.1.2:
 AREA: OCCUPANCY: SQ. FOOTAGE: DIV. FACTOR: TOTAL LOAD:
 OFFICE: GROUP B 2,600.00 /100 26.00
 WAREHOUSE AREA: GROUP S-2 5,400.00 /500 10.80
 TOTAL 36.80

EXIT WIDTH PER IBC SECTION 1005 AND TABLE 1005.1:
 OCCUPANT LOAD: 36.80 x 2 = 73.6 INCHES REQUIRED
 PROVIDED THRU-OUT THE BUILDING: 6'-0" (72")

NO. OF EXISTS REQUIRED PER IBC TABLE 1014.1:

ROOM	OCC. LOAD:	TABLE 10-A	REQUIRED	PROVIDED
OFFICE:	26.00	< 50	1	1
WAREHOUSE AREA:	10.80	< 30	1	1
TOTAL:	36.80	< 50	1	2

REQUIRED PLUMBING FIXTURES PER IBC TABLE 2902.1:
 GROUP B OCCUPANCY: BUSINESS 36.80
 TOTAL OCCUPANT LOAD: 36.80
 NUMBER OF OCCUPANTS OF EACH SEX (SEX PER IBC SECTION 2902.3):
 MEN: 18.40
 WOMEN: 18.40

MALE:

OCCUPANT GROUP:	WC REQUIRED	MALE: LAV REQUIRED
BUSINESS GROUP B:	1 PER 25	1 PER 40
REQUIRED:	1	1

FEMALE:

OCCUPANT GROUP:	WC REQUIRED	FEMALE: LAV REQUIRED
BUSINESS GROUP B:	1 PER 25	1 PER 40
REQUIRED:	1	1

OCCUPANT GROUP:

OCCUPANT GROUP:	DRINKING FOUNTAINS	OTHER
BUSINESS GROUP B:	1 PER 100	SERVICE SINK
REQUIRED:	1	1

FIRE PROTECTION:
 1. FIRE EXTINGUISHERS: 1 2A10BC FIRE EXTINGUISHER PER 3000 SQ. FT. = 3 REQUIRED AND PROVIDED
 2. FIRE HYDRANTS: (FH. TO BE WITHIN 450' AS THE TRUCK ROLLS)
 A. REQUIRED: NO. OF FH. = 2 FLOW REQUIRED: = 1,287.98 GAL./MIN.
 3. PROVIDED: SEE SITE PLAN FOR (3) EXISTING FIRE HYDRANTS WITHIN THE 450' DISTANCE.

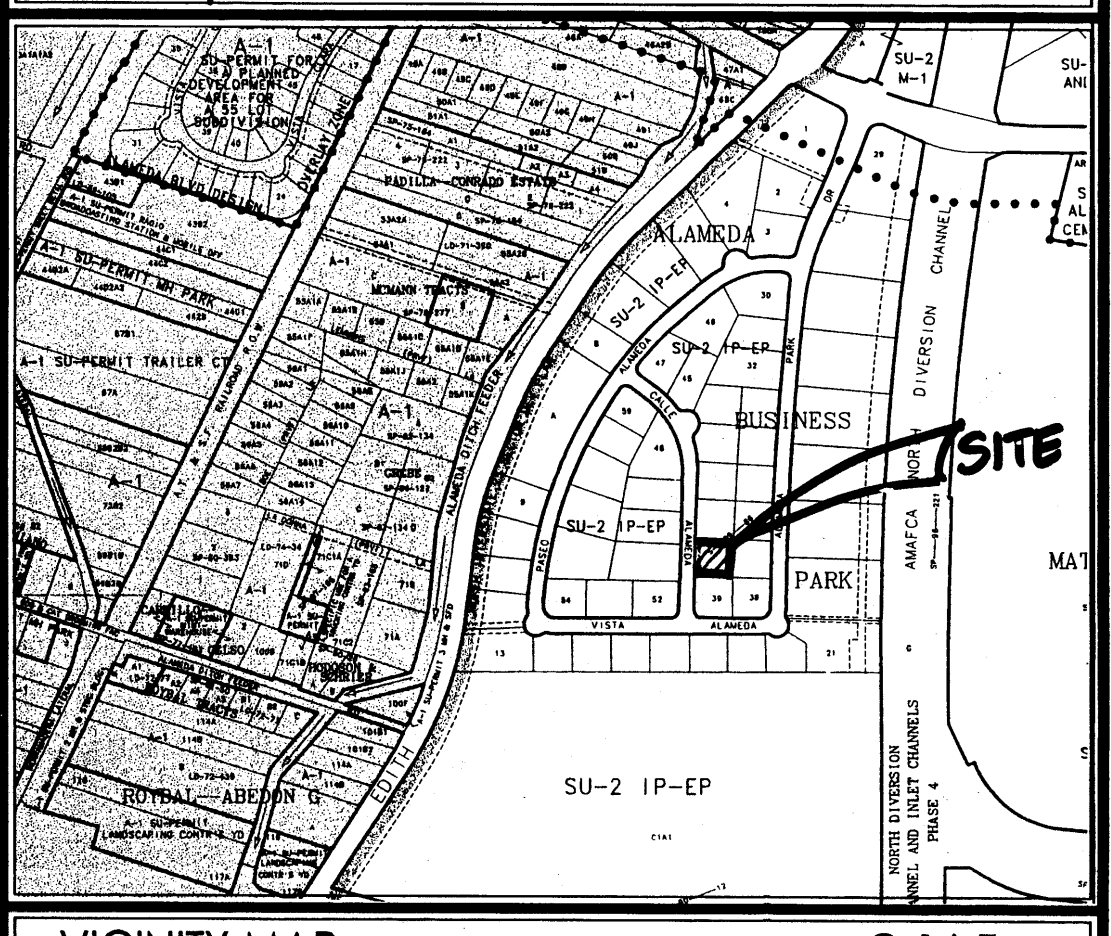
LANDSCAPE REQUIREMENTS:

AREA:	SQ. FOOTAGE:	DIV. FACTOR:	TOTAL REQUIRED:
OFFICE:	2,600.00	/ 200	13.00 SPACES
WAREHOUSE AREA:	5,400.00	/ 2000	2.70 SPACES
TOTAL REQUIRED:			15.70 SPACES
TOTAL PROVIDED:			13.00 SPACES
REQUIRED HANDICAP PARKING SPACES:			1.00 SPACES
BICYCLE PARKING REQUIRED: (1 SPACE FOR EA. 20 PARKING SPACES)			0.65 SPACES

LANDSCAPE PROVIDED ON LOT:
 LANDSCAPE PROVIDED IN RIGHT-OF-WAY:
 AREA PROVIDED IN RIGHT-OF-WAY:
 TOTAL LANDSCAPE PROVIDED: 2,299.91 SQ. FT.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
A1	SITE PLAN, INDEX, PERMIT DATA, DETAILS
C1	DRAINAGE PLAN, DETAILS, NOTES
L1	LANDSCAPE PLAN, DETAILS, NOTES
S1	FOUNDATION PLAN, FOOTING SCHED, DETAILS, NOTES
S2	WALL FRAMING PLAN, NOTES
S3	WALL FRAMING DETAILS
S4	SECTION, DETAILS, NOTES
A2	FLOOR PLAN, R.R. DETAILS, NOTES
A3	ROOM FINISH AND DOORS SCHEDULES, DETAILS, NOTES
A4	REFLECTIVE CEILING PLAN, DETAILS
A5	BUILDING ELEVATIONS, NOTES
A6	BUILDING CROSS SECTION, DETAILS, NOTES
P1	PLUMBING PLAN, RISER, SCHEDULE
M1	MECHANICAL PLAN, SCHEDULES, NOTES
E1	SITE ELECTRICAL UTILITY PLAN
E2	POWER PLAN, NOTES AND LEGEND
E3	LIGHTING PLAN, SCHEDULES
E4	POWER RISER DIAGRAM, CALCS, AND NOTES



VICINITY MAP C-16-Z

DRB # ~~1005475~~ PROJECT # 1005473
 APPLICATION # 07DRB-0700411

THIS PLAN IS CONSISTENT WITH THE REQUIREMENTS OF THE NORTH 1-25 SECTOR DEVELOPMENT PLAN AND THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Andrew Garcia 4-30-07
 PLANNING DEPT. DATE

Jim St 4-11-07
 TRANSPORTATION DEPT. DATE

Bradley B. Bingham 4/11/07
 CITY ENGINEER DATE

Roger A. Hrea 4-11-07
 WATER UTILITY DEPT. DATE

Christina Sandovzal 4/11/07
 CITY PARKS DATE

HJR ARCHITECTURE, LLC
 PO BOX 1088 PECOS, NEW MEXICO 87535 (505) 757-3391
 FAX (505) 757-8882 email: hrj_arch@cybermesa.com

DATE:
 PLOT DATE: March 30, 2007
 REVISIONS:
 FILE: RCSHTA1.DWG

PROPOSED FACILITY FOR
Ray Cravey
 8504 CALLE ALAMEDA N.W.
 ALBUQUERQUE, NM 87113

SITE PLAN, PERMIT DATA, DETAILS
 SHEET NO.
A1
 JOB NO.: 06-101 OF 6

1005473