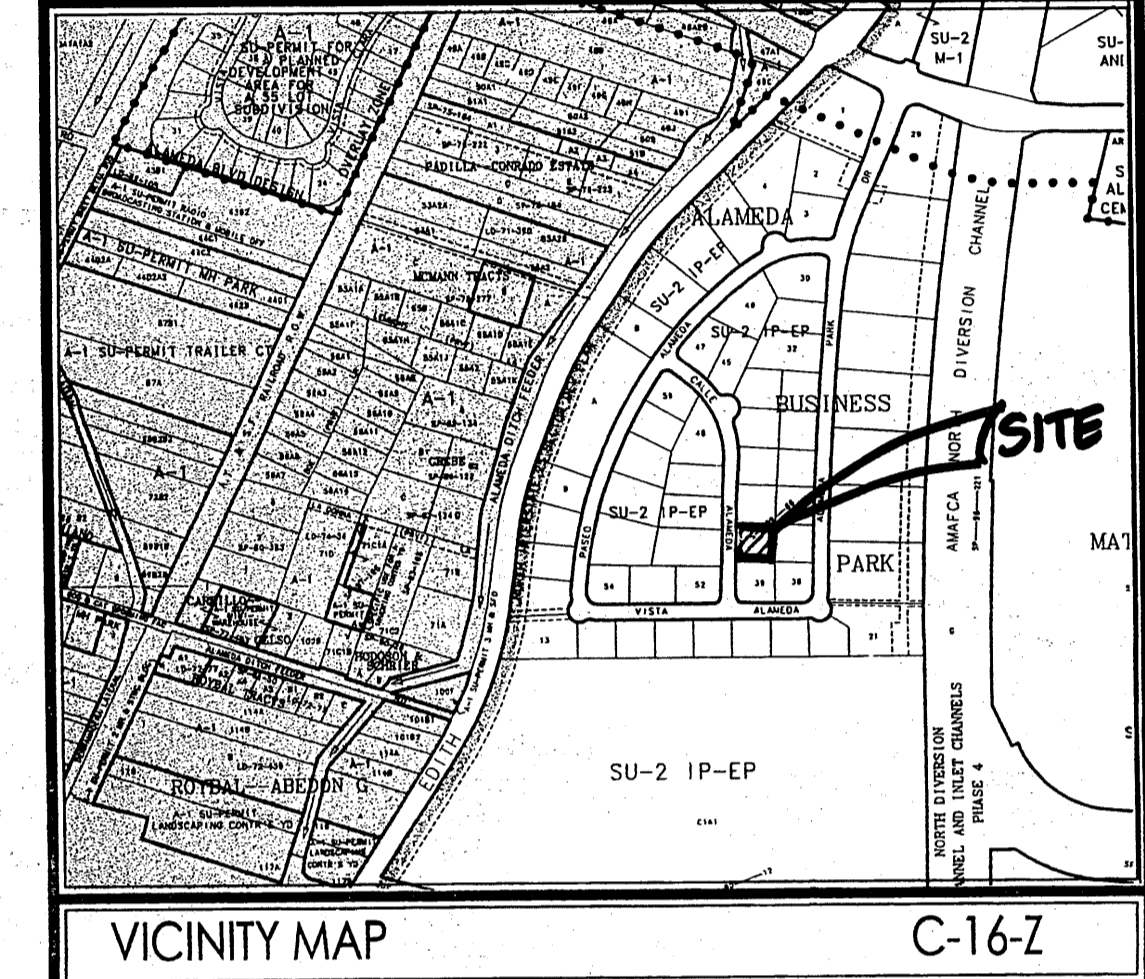


INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
A1	SITE PLAN, INDEX, PERMIT DATA, DETAILS
C1	DRAINAGE PLAN, DETAILS, NOTES
L1	LANDSCAPE PLAN, DETAILS, NOTES
S1	FOUNDATION PLAN, FOOTING SCHED, DETAILS, NOTES
S2	WALL FRAMING PLAN, NOTES
S3	WALL FRAMING DETAILS
S4	SECTION, DETAILS, NOTES
A2	FLOOR PLAN, R.R. DETAILS, NOTES
A3	ROOM FINISH AND DOORS SCHEDULES, DETAILS, NOTES
A4	REFLECTIVE CEILING PLAN, DETAILS
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A6	BUILDING CROSS SECTION, DETAILS, NOTES
P1	PLUMBING PLAN, RISER, SCHEDULE
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DRB # 1005475-07-001 PROJECT # 1005473
 APPLICATION # 07DKB-07-00411
 THIS PLAN IS CONSISTENT WITH THE REQUIREMENTS OF THE NORTH 1-25 SECTOR DEVELOPMENT PLAN AND THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Richard J. Garcia 4-30-07
 PLANNING DEPT. DATE

Mike Sney 4-11-07
 TRANSPORTATION DEPT. DATE

Bradley A. Bingham 4/11/07
 CITY ENGINEER DATE

Page & Shea 4-11-07
 WATER UTILITY DEPT. DATE

Christina Sandoval 4/11/07
 CITY PARKS DATE

HRJ ARCHITECTURE, LLC
 PO BOX 1088 PECOS, NEW MEXICO 87535 (505) 757-369
 FAX (505) 757-8882 email: hrj_arch@cybernetiq.com

DATE: PLOT DATE: March 30, 2007 REVISIONS: (A) - (B) - (C) - FILE: RCSHTA1.DWG	PROPOSED FACILITY FOR <h2>Ray Cravey</h2> 8504 CALLE ALAMEDA N.W. ALBUQUERQUE, NM 87113	SITE PLAN, PERMIT DATA, DETAILS SHEET NO. <h1>A1</h1> JOB NO.: 06-101 OF 6
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PROJECT INFORMATION

PROJECT NAME: RAY CRAVEY LEASE BUILDING
 PROJECT ADDRESS: 8504 CALLE ALAMEDA N.W. ALBUQUERQUE, NM 87113
 LEGAL DESCRIPTION: LOT 40, ALAMEDA BUSINESS PARK, CITY OF ALBUQUERQUE, NEW MEXICO.
 ZONE MAP PAGE: C-16-Z
 PROJECT DESCRIPTION: BUSINESS - OFFICE BUILDING
 OWNER: RAY CRAVEY
 GENERAL CONTRACTOR: 0000
 ARCHITECT: HRJ ARCHITECTURE, LLC
 SOILS ENGINEER: VINYARD AND ASSOCIATES, MARTIN VINYARD
 CIVIL ENGINEER: BERNE MONTVOA CONSULTING
 STRUCTURAL ENGINEER: ROBERT PLATT
 PLUMBING ENGINEER: WALKER ENGINEERING-TERRY WALKER
 MECHANICAL ENGINEER: WALKER ENGINEERING-TERRY WALKER
 ELECTRICAL ENGINEER: THE GROUP - FREDERICK J. TELCK

PERMIT DATA

APPLICABLE CODES:
 2003 INTERNATIONAL BUILDING CODE
 2003 INTERNATIONAL FIRE CODE
 2003 UNIFORM PLUMBING CODE
 2003 UNIFORM MECHANICAL CODE
 2003 NATIONAL ELECTRIC CODE
 NEW MEXICO BUILDING CODE
 1998 AMERICAN NATIONAL STANDARDS (ANSI)
 CITY OF ALBUQUERQUE ZONING ORDINANCE
 NORTH 1-25 SECTOR DEVELOPMENT PLAN

ROOM CLASSIFICATION AND DESCRIPTION

ROOM AND OCCUPANCY CLASSIFICATION:	DESCRIPTION:
OFFICE AREA:	OFFICE AREA WILL BE FOR GENERAL BUSINESS.
WAREHOUSE AREA:	WAREHOUSE AREA WILL BE USED FOR THE STORAGE OF ELECTRICAL EQUIPMENT, TESTING EQUIPMENT, AND METAL HARDWARE AND COMPONENTS.

PROPERTY AREA:
 LOT SIZE: 22,638.13 SQ. FT. 5197 ACRES
 GROSS BUILDING AREA: 8,000.00 SQ. FT.
 OFFICE: GROUP B
 WAREHOUSE AREA: GROUP S-2
 TOTAL BUILDING AREA: 8,000.00 SQ. FT.

TYPE OF CONSTRUCTION: TYPE IIB NON SPRINKLED
 OCCUPANCY GROUP PER IBC CHAPTER 3:
 OFFICE: GROUP B
 WAREHOUSE AREA: GROUP S-2
 PROPERTY ZONE: SU-2
 BUILDING TO SITE RATIO: 35%

DESIGN DATA

IMPORTANCE FACTOR (IBC TABLE 1604.5): CATEGORY II
 SEISMIC FACTOR: 1.0 SNOW FACTOR: 1.0 WIND FACTOR: 1.0

ROOF LIVE LOAD (IBC SECTION 1607.11): 20 PSF (NON REDUCIBLE)
 GROUND SNOW LOAD (IBC FIGURE 1608.2): 20 PSF
 BASIC WIND SPEED (IBC FIGURE 1609.3): 90 MPH
 EXPOSURE (IBC SECTION 1609.4): C
 2ND FLOOR FUTURE USE DECK DESIGN LIVE LOAD: 125 PSF

BUILDING CODE ANALYSIS

GROSS BUILDING SQUARE FOOTAGE:	8,000.00 SQ. FT.
1. ALLOWABLE AREA PER IBC TABLE 503, GROUP B, OCCUPANCY/ TYPE IIB CONSTRUCTION:	23,000.00 SQ. FT.
2. ALLOWABLE AREA PER IBC TABLE 503, GROUP S-2, OCCUPANCY/ TYPE IIB CONSTRUCTION:	26,000.00 SQ. FT.

NOTE: NO INCREASE IN SQUARE FOOTAGE IS REQUIRED OR NECESSARY BEING THE ACTUAL BUILDING SIZE OF 8,000.00 SQ. FT. IS LESS THAN THE LEAST AMOUNT ALLOWABLE WHICH IS THE GROUP B OCCUPANCY OF 23,000.00 SQ. FT.

MIXED USE/OCCUPANCY SEPARATIONS PER IBC TABLE 302.2.2:
 OCCUPANCY GROUPS: OFFICE: GROUP B TO S-2, 2 HOUR OCCUPANCY SEPARATION
 NOTE: THIS BUILDING WILL BE CLASSIFIED AS A NONSEPARATED USE BUILDING PER IBC 302.3.1 AND THEREFORE WILL NOT REQUIRE A FIRE SEPARATION BETWEEN USES.

BUILDING HEIGHT:
 MAXIMUM ALLOWABLE HEIGHT PER IBC TABLE 503:
 TYPE IIB GROUP B OCCUPANCY = 4 STORES
 TYPE IIB GROUP S-2 OCCUPANCY = 4 STORES

OCCUPANT LOAD:
 OCCUPANT LOAD PER IBC TABLE 1004.1.2:

AREA:	OCCUPANCY:	SQ. FOOTAGE:	DIV. FACTOR:	TOTAL LOAD:
OFFICE:	GROUP B	2,600.00	/100	26.00
WAREHOUSE AREA:	GROUP S-2	5,400.00	/500	10.80
TOTAL:				36.80

EXIT WIDTH PER IBC SECTION 1005 AND TABLE 1005.1:
 OCCUPANT LOAD: 36.80 x 2 = 7.36 INCHES REQUIRED
 PROVIDED THRU-OUT THE BUILDING: 6'-0" (72")

NO. OF EXISTS REQUIRED PER IBC TABLE 1014.1:

ROOM:	OCC. LOAD:	TABLE 10-A:	REQUIRED:	PROVIDED:
OFFICE:	26.00	< 50	1	1
WAREHOUSE AREA:	10.80	< 30	1	1
TOTAL:	36.80	< 50	1	2

REQUIRED PLUMBING FIXTURES PER IBC TABLE 2902.1:
 GROUP B OCCUPANCY: BUSINESS
 TOTAL OCCUPANT LOAD: 36.80
 NUMBER OF OCCUPANTS OF EACH SEX (50% PER IBC SECTION 2902.3):
 MEN: 18.40
 WOMEN: 18.40

MALE OCCUPANT GROUP:	MALE: WC REQUIRED:	MALE: LAV REQUIRED:
BUSINESS GROUP B:	1 PER 25	1 PER 40
REQUIRED:	1	1

FEMALE OCCUPANT GROUP:	FEMALE: WC REQUIRED:	FEMALE: LAV REQUIRED:
BUSINESS GROUP B:	1 PER 25	1 PER 40
REQUIRED:	1	1

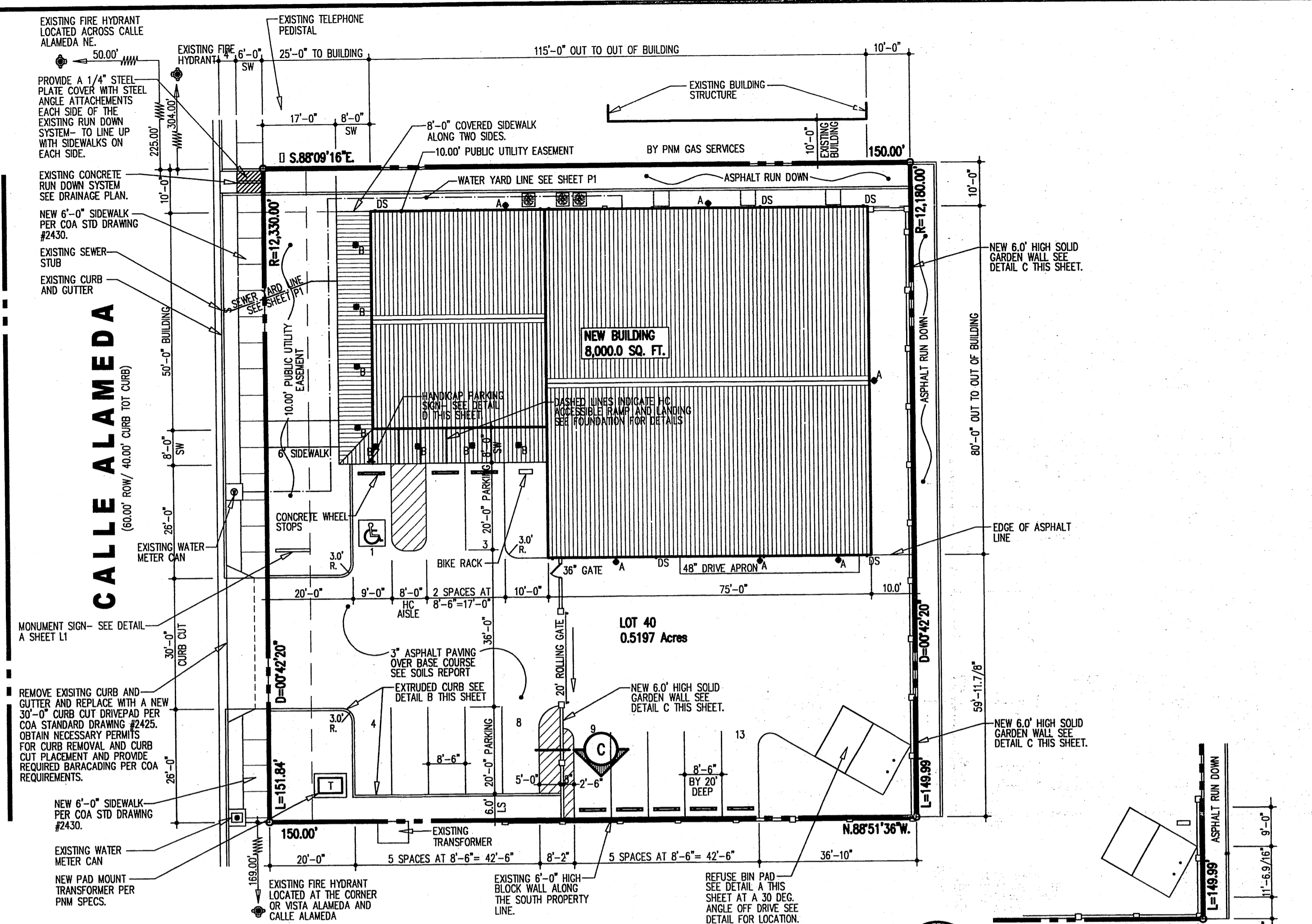
OCCUPANT GROUP: DRINKING FOUNTAINS: 1 OTHER: 1
 BUSINESS GROUP B: 1 PER 100 SERVICE SINK: 1
 TOTAL PROVIDED: SEE FLOOR PLAN

FIRE PROTECTION:
 1. FIRE EXTINGUISHERS: 1 2A10BC FIRE EXTINGUISHER PER 3000 SQ. FT. = 3 REQUIRED AND PROVIDED
 2. FIRE HYDRANTS: (FH TO BE WITHIN 450' AS THE TRUCK ROLL).
 A. REQUIRED: NO. OF FH = 2 FLOW REQUIRED: = 1,287.98 GAL./MIN.
 3. PROVIDED: SEE SITE PLAN FOR (3) EXISTING FIRE HYDRANTS WITHIN THE 450' DISTANCE.

PARKING ANALYSIS:

AREA:	SQ. FOOTAGE:	DIV. FACTOR:	TOTAL REQUIRED:
OFFICE:	2,000.00	/ 200	10.00 SPACES
WAREHOUSE AREA:	6,000.00	/ 2000	3.00 SPACES
TOTAL REQUIRED:			13.00 SPACES
TOTAL PROVIDED:			13.00 SPACES
REQUIRED HANDICAP PARKING SPACES:			1.00 SPACES
BICYCLE PARKING REQUIRED: (1 SPACE PER EA. 20 PARKING SPACES)			0.65 SPACES

LANDSCAPE REQUIREMENTS:
 LOT SIZE: 22,638.13 SQ. FT. 0.52 ACRES
 MINUS BUILDING SQUARE FOOTAGE: 8,000.00 SQ. FT.
 NET LOT: 14,638.13 SQ. FT.
 AREA TO BE LANDSCAPED IN RIGHT-OF-WAY: (MINUS) 0
 (TOTAL) 14,638.13 SQ. FT. x 15% = 2,195.72 SQ. FT.
 LANDSCAPE PROVIDED ON LOT: 2,299.91 SQ. FT.
 AREA PROVIDED IN RIGHT-OF-WAY: 0
 TOTAL LANDSCAPE PROVIDED: 2,299.91 SQ. FT.

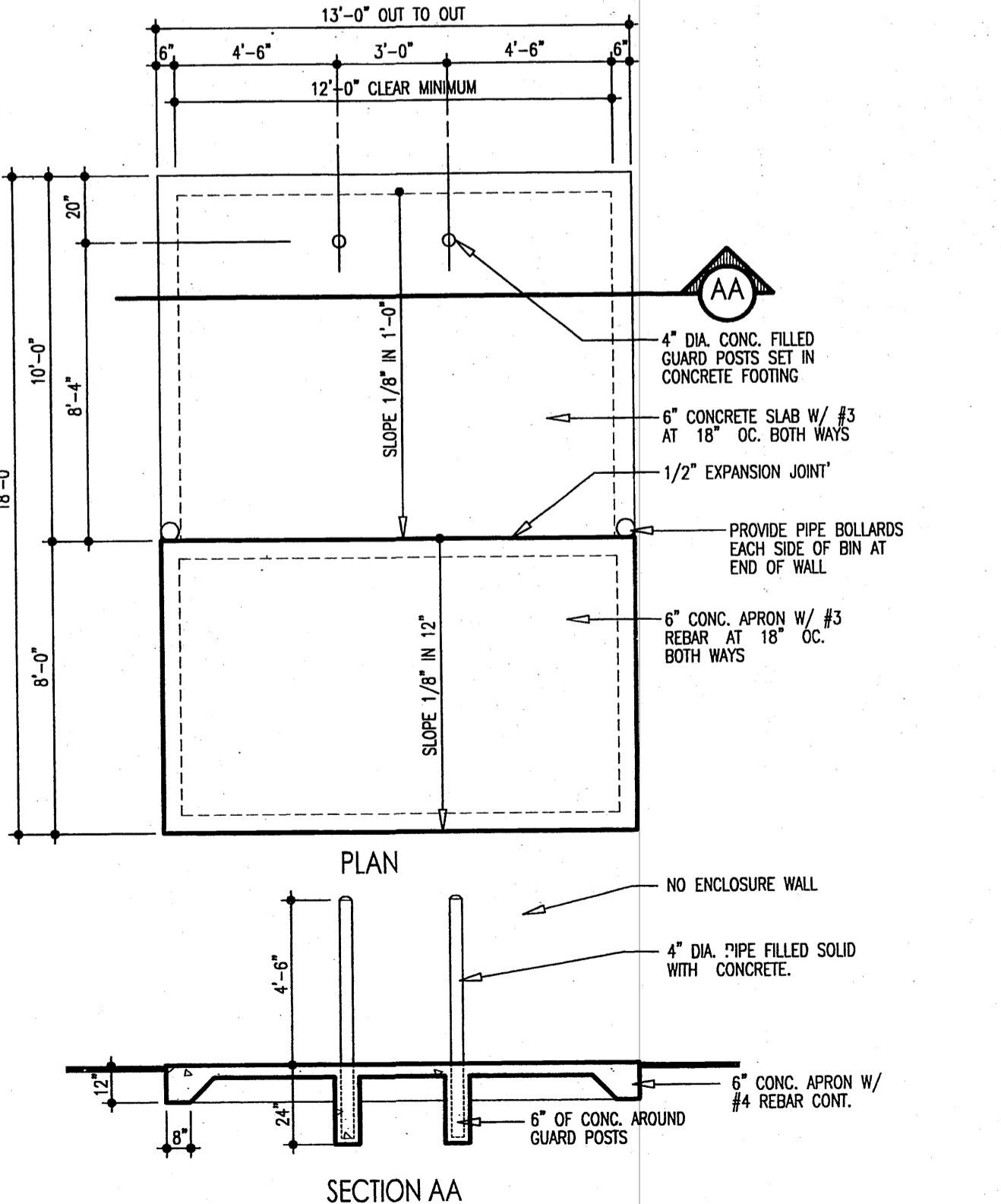


SITE PLAN
 1" = 20.00'

REFUSE BIN LOCATION
 1" = 20.00'

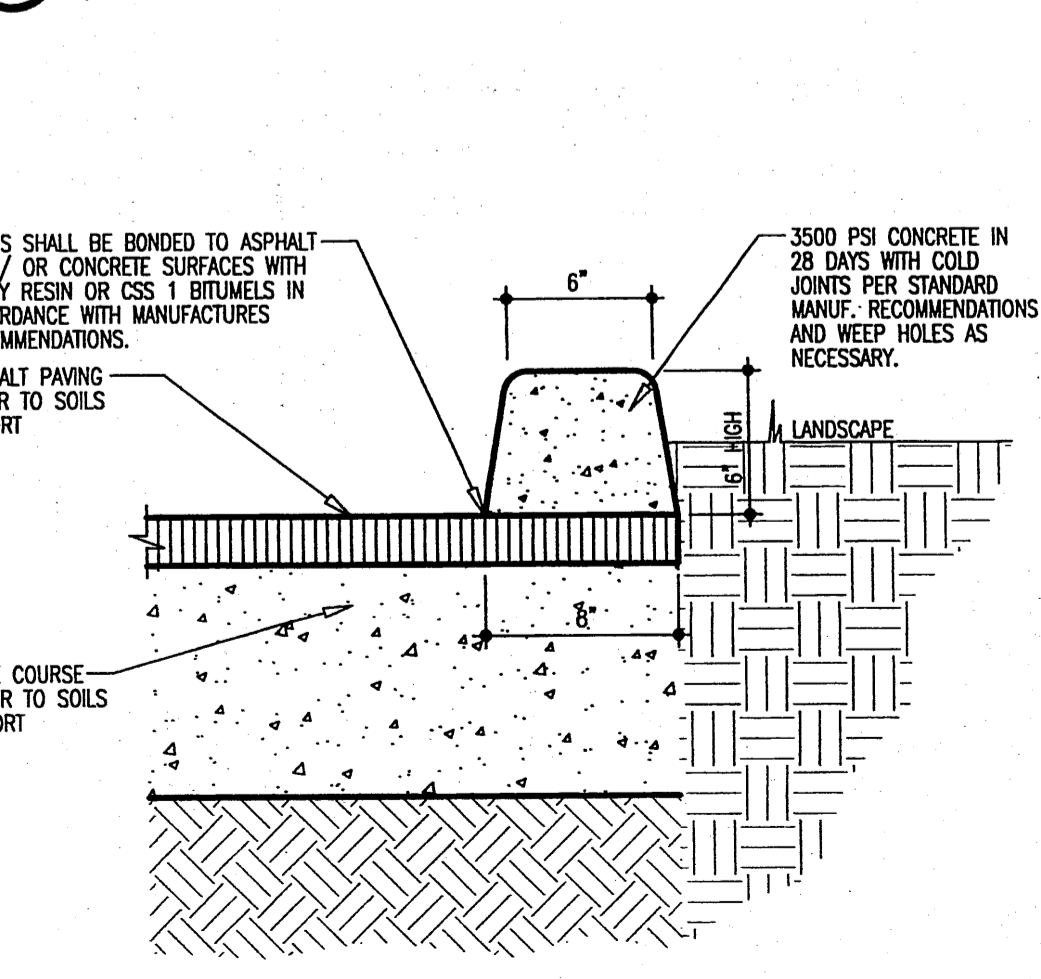
EXTERIOR LIGHTING FIXTURE SCHEDULE:

MARK	FIXTURE TYPE	INSTALLATION	LAMPS	DESCRIPTION
A	METAL HALIDE	EXTERIOR WALL	1-200W	"LITHONIA" TWH 200M 277 WITH DOWN LIGHT CUT OFF SHIELD.
B	METAL HALIDE	RECESSED SOFFIT	1-100W	"LITHONIA" LP6H 100M 277/6L4 WITH LAMP



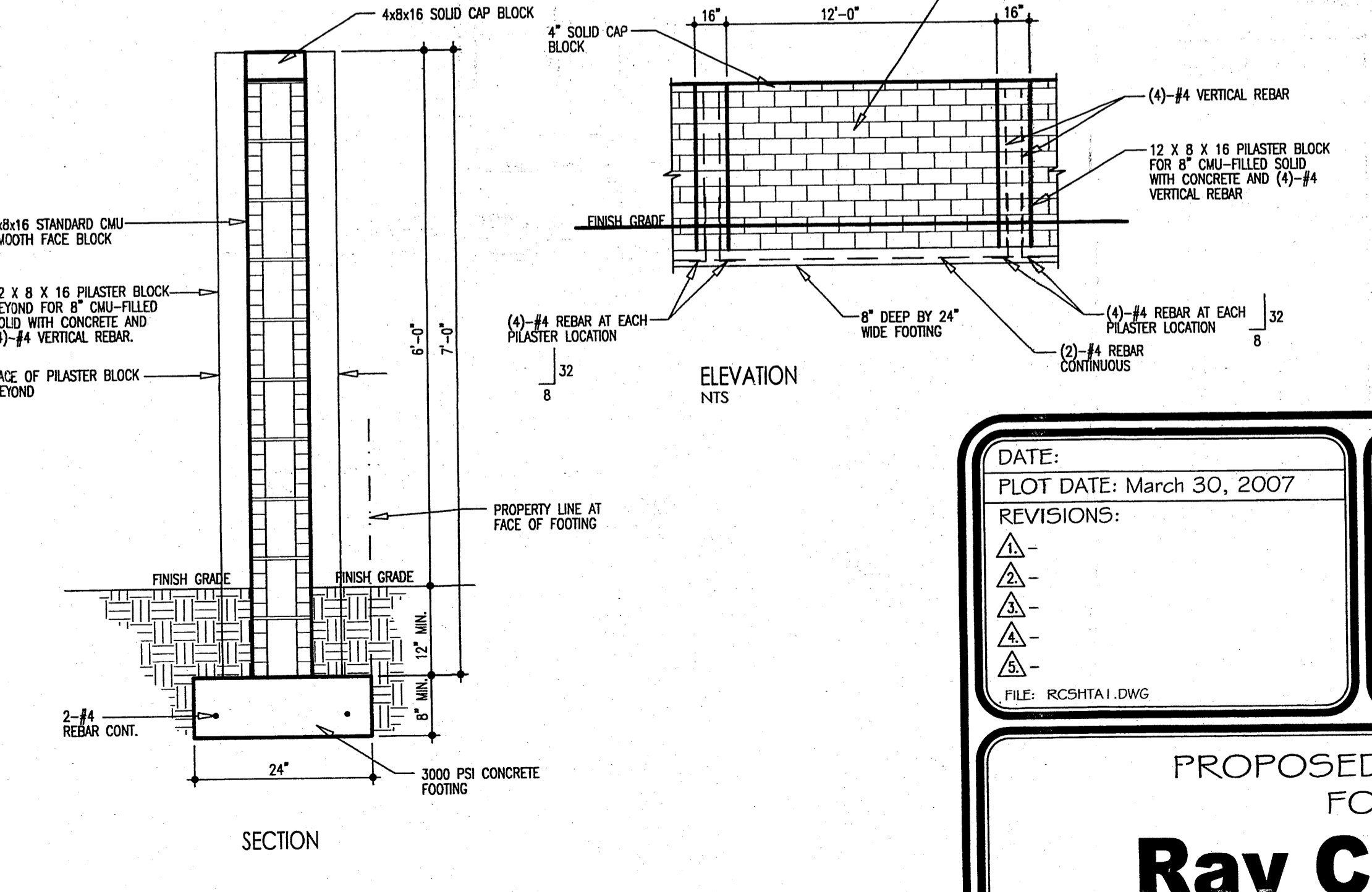
A REFUSE BIN ENCLOSURE DETAIL
 1/4" = 1'-0"

B HC SIGN DETAIL
 1/2" = 1'-0"

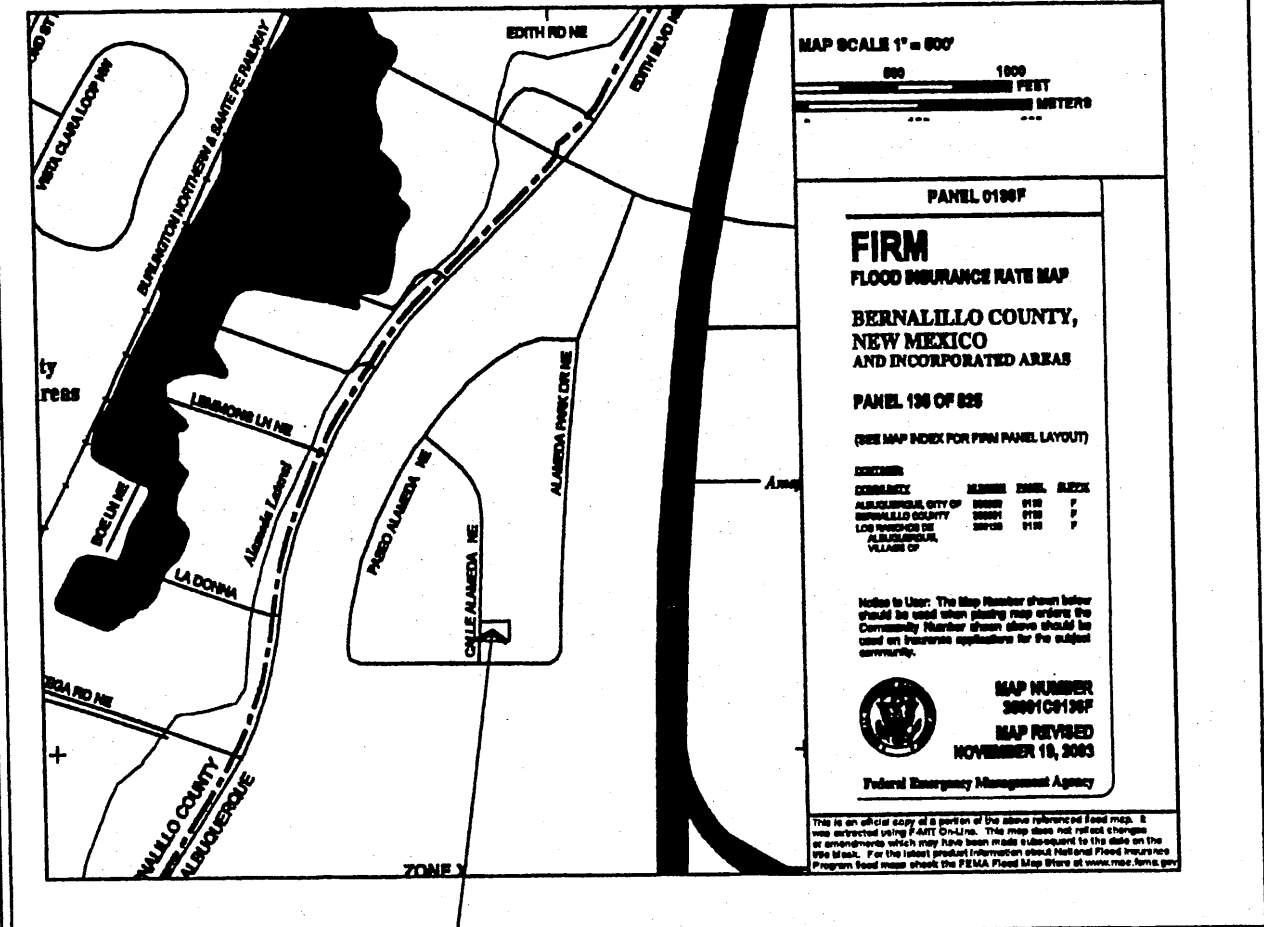
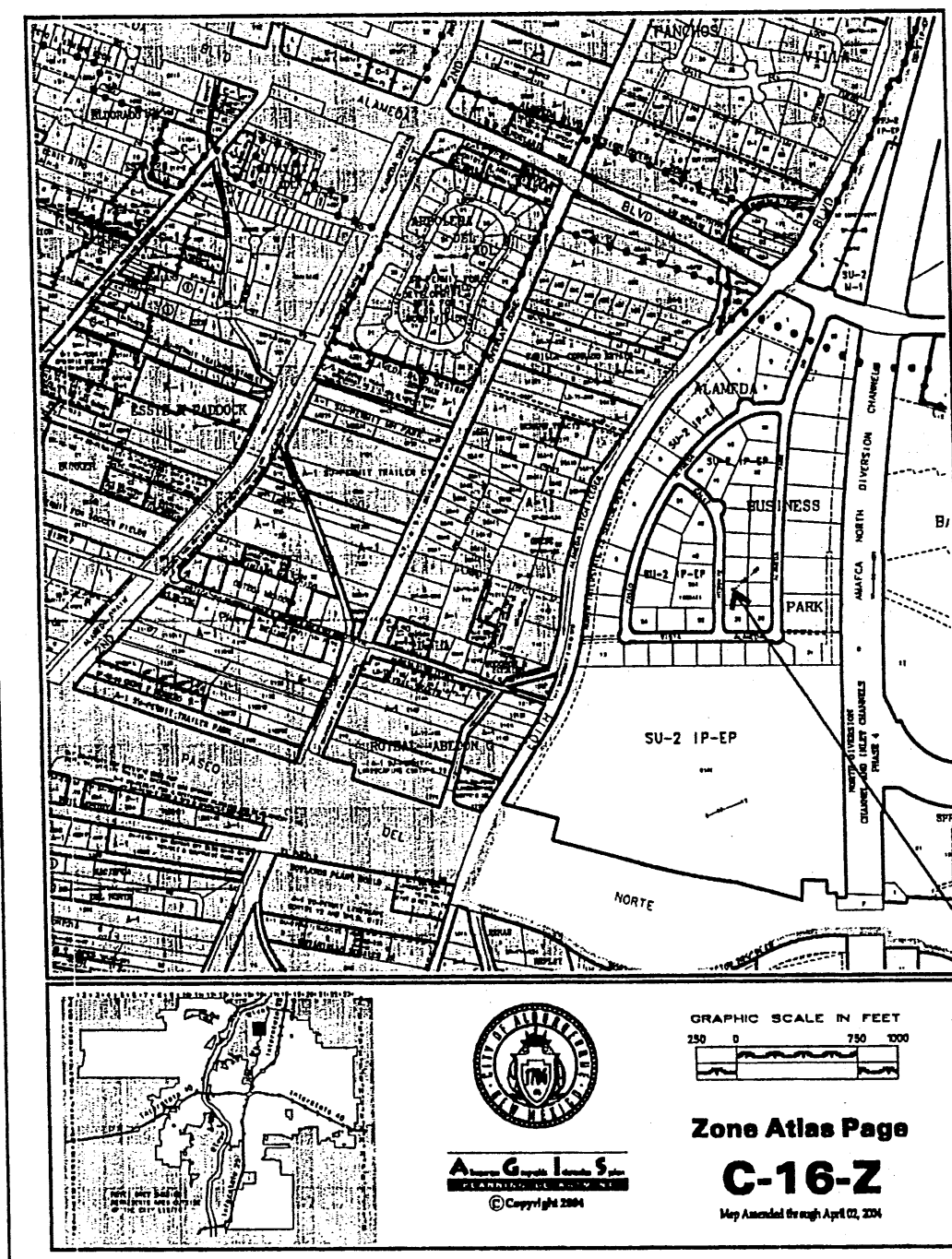


B EXTRUDED CURB DETAIL
 1/2" = 1'-0"

C GARDEN WALL DETAIL
 3/4" = 1'-0"



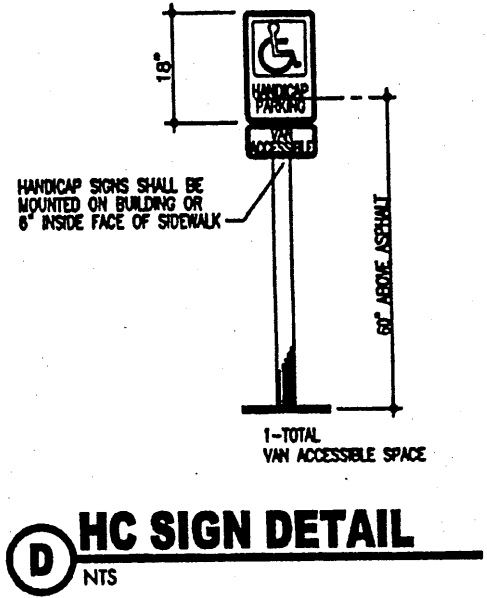
Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.



SITE LOCATION

JONESPEC FLOOR DRAINS

Model	Material	Finish	Load Capacity (lbs)	Drainage Rate (GPM)	Notes
JD-1	Aluminum	Brush	1000	1.5	Standard
JD-2	Aluminum	Brush	2000	3.0	Heavy Duty
JD-3	Aluminum	Brush	3000	4.5	Extra Heavy Duty
JD-4	Aluminum	Brush	4000	6.0	Industrial
JD-5	Aluminum	Brush	5000	7.5	Commercial
JD-6	Aluminum	Brush	6000	9.0	Heavy Commercial
JD-7	Aluminum	Brush	7000	10.5	Industrial
JD-8	Aluminum	Brush	8000	12.0	Heavy Industrial
JD-9	Aluminum	Brush	9000	13.5	Commercial
JD-10	Aluminum	Brush	10000	15.0	Industrial



GRADING/DRAINAGE PLAN
THE FOLLOWING ITEMS CONCERNING LOT 40 ALAMEDA BUSINESS PARK (8504 CALLE ALAMEDA N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS
AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.5197 ACRES MORE OR LESS AND IS LOCATED NORTH OF THE INTERSECTION OF VISTA ALAMEDA N.E. AND CALLE ALAMEDA N.E. ON THE EAST SIDE OF CALLE ALAMEDA N.E., ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0136F, REVISED NOVEMBER 19, 2003; THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS
AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 3300 SQ. FT. OFFICE/WAREHOUSE BUILDING ALONG WITH ASSOCIATED PAVED PARKING AND LANDSCAPED AREAS. A MASTER DRAINAGE PLAN WAS PREPARED BY BOHANNAN & HUSTON IN FEBRUARY OF 1989 AND APPROVED BY THE CITY HYDROLOGY SECTION. ON-SITE RUN-OFF WILL BE ROUTED THROUGH AND OUT THE PROPOSED DRIVEPAD LOCATED ON CALLE ALAMEDA N.E. AND INTO THE EXISTING ASPHALT SWALE LOCATED JUST NORTH OF THE PROPOSED BUILDING ALONG THE NORTH PROPERTY LINE. FROM THAT POINT THE RUN-OFF WILL TRAVEL NORTH ALONG CALLE ALAMEDA AND INTO PASADO ALAMEDA AND INTO THE COMMON PONDING AREA (TRACT A) PROVIDED BY THE MASTER PLAN. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 0.5197 ac.
OFFICE/WAREHOUSE FRY ROAD GRAVEY
ZONE 2

PRECIPITATION:	360 = 2.35 in.
	1440 = 2.75 in.
	10day = 3.95 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 in.	1.56 cfs/ac.
TREATMENT B 0.78 in.	2.28 cfs/ac.
TREATMENT C 1.13 in.	3.14 cfs/ac.
TREATMENT D 2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
AREA	AREA
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0 ac.	0.0528 ac.
TREATMENT C 0.49776 ac.	0.0594 ac.
TREATMENT D 0.02194 ac.	0.4075 ac.

EXISTING EXCESS PRECIPITATION:
 Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(0.50) + (2.12)(0.02) / 0.52 ac.
 = 1.17 in.
 V100-360 = (1.17)(0.52) / 12.0 = 0.050748 ac-ft = 2211 CF

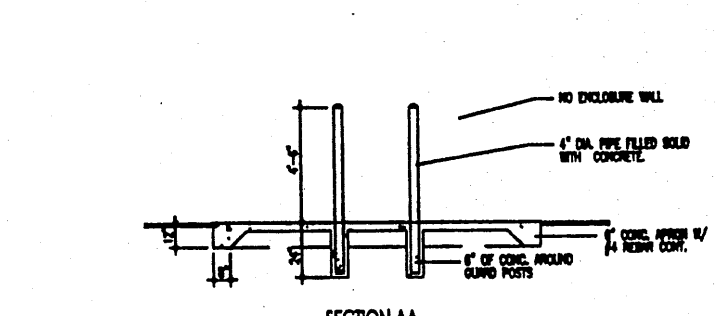
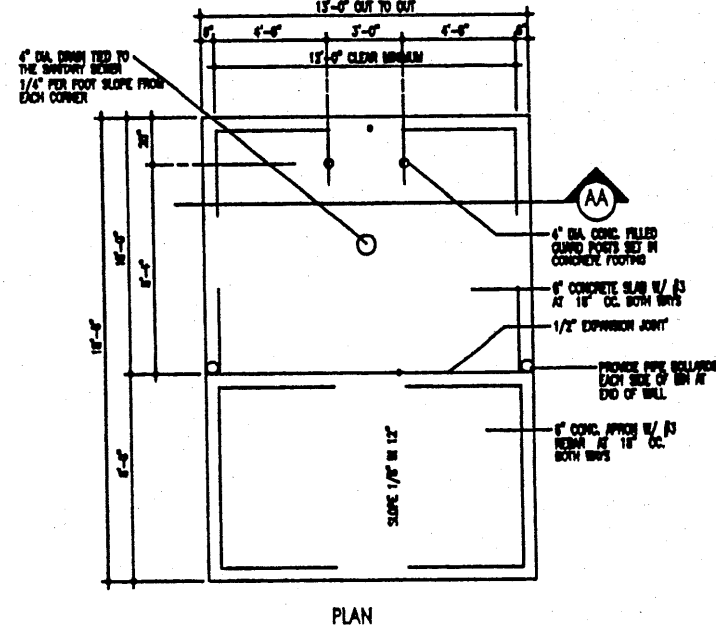
EXISTING PEAK DISCHARGE:
 Q100 = (1.56)(0.00) + (2.28)(0.00) + (3.14)(0.50) + (4.70)(0.02) = 1.67 CFS

PROPOSED EXCESS PRECIPITATION:
 Weighted E = (0.53)(0.00) + (0.78)(0.05) + (1.13)(0.06) + (2.12)(0.41) / 0.52 ac.
 = 1.87 in.
 V100-360 = (1.87)(0.52) / 12.0 = 0.081017 ac-ft = 3529 CF

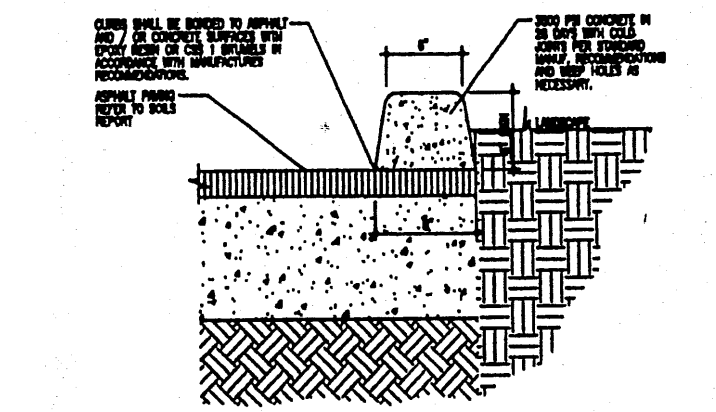
V100-1440 = (0.08)(0.41)(2.75 - 2.35) / 12 = 0.094601 ac-ft = 4121 CF
 V100-10day = (0.08)(0.41)(3.95 - 2.35) / 12 = 0.135351 ac-ft = 5896 CF

PROPOSED PEAK DISCHARGE:
 Q100 = (1.56)(0.00) + (2.28)(0.05) + (3.14)(0.06) + (4.70)(0.41) = 2.23 CFS cfs

INCREASE 2.23 CFS - 1.67 CFS = 0.56 CFS



A REFUSE BIN ENCLOSURE DETAIL



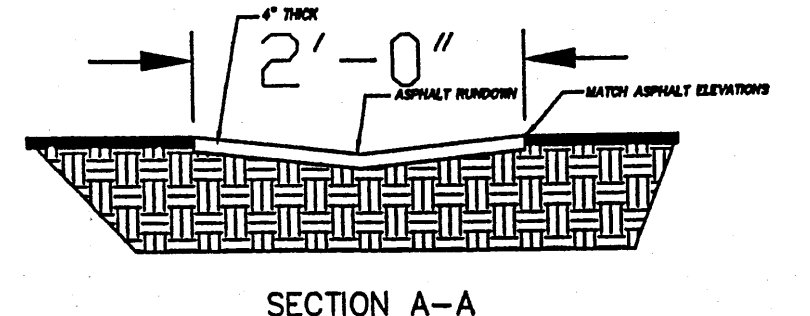
B EXTRUDED CURB DETAIL

NOTE TO CONTRACTOR:

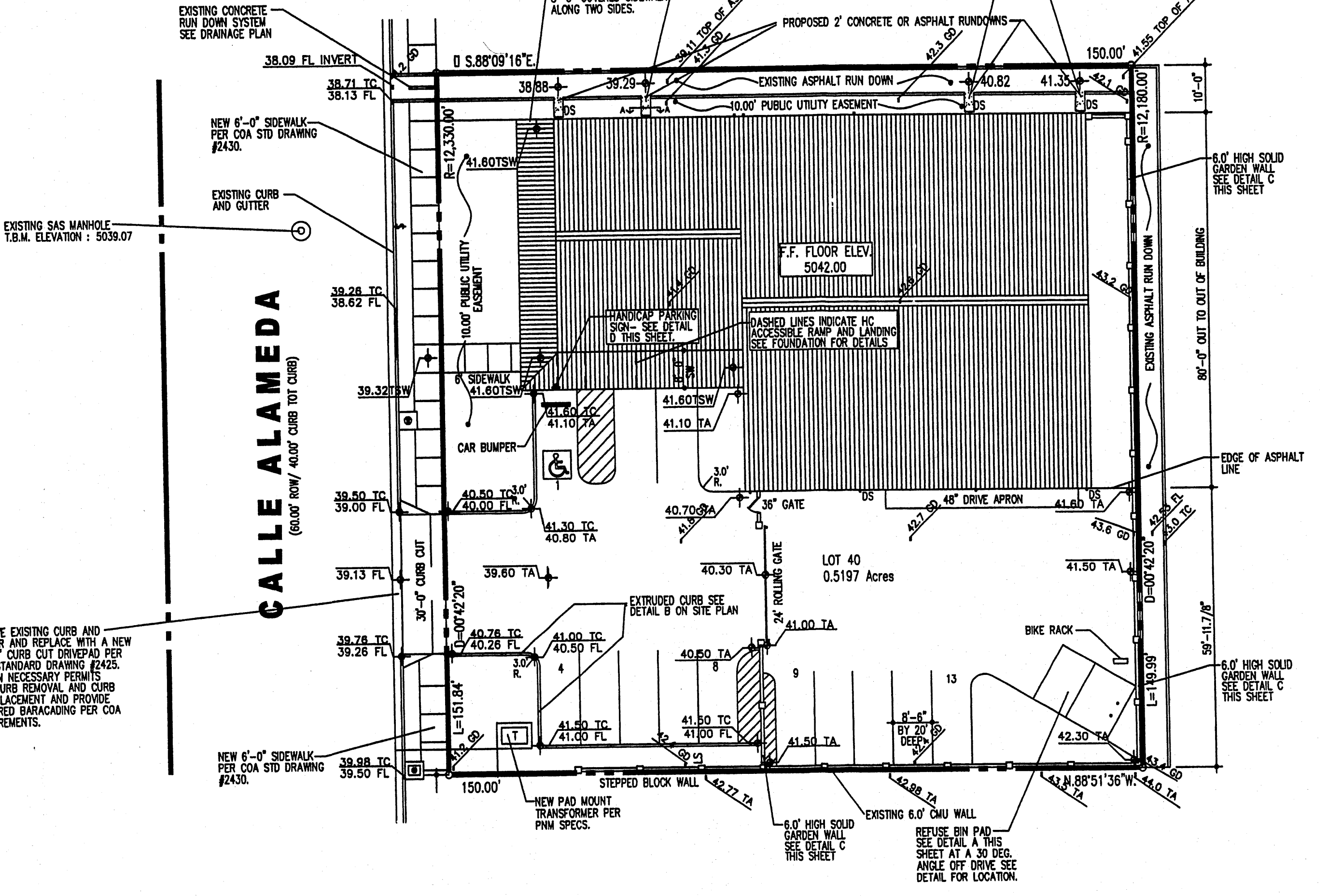
1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with the 1986 edition of the City of Albuquerque Standard Specification for Public Works Construction through Update 7, Amendment 1.
3. Two working days prior to any excavation, contractor must contact line locating Services (260-1990) for locating existing sub-surface utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
5. Backfill compaction shall be according to commercial use or soils report(s) recommendations.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
7. Maintenance of this facilities shall be the responsibility of the owner of the property it serves.

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE
 - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



SECTION A-A



LEGAL DESCRIPTION

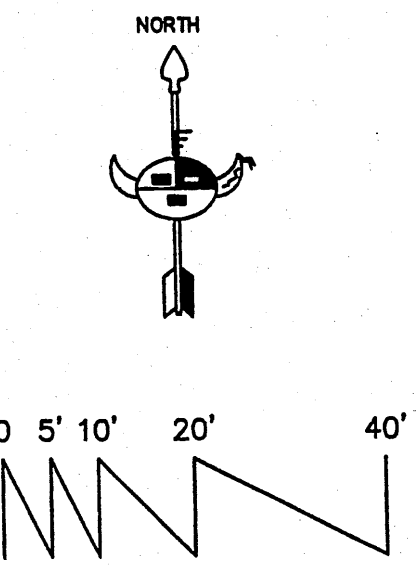
LOT 40
ALAMEDA BUSINESS PARK
BERNALILLO COUNTY, ALBUQUERQUE
NEW MEXICO.

BENCHMARK:

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION "NDC 1-71A" HAVING AN ELEVATION OF 5053.10 T.B.M. TOP OF MANHOLE LOCATED JUST WEST OF THE SITE ON CALLE ALAMEDA ELEVATION: 5039.07 AS SHOWN ON PLAN DRAWING

SYMBOL LEGEND

EXISTING CONTOUR	4954
EXISTING SPOT ELEVATION	54.50 TC
DESIGN CONTOUR	
PROPOSED SPOT ELEVATION	
PROPERTY LINE	
EASEMENT LINE	
FLOW DIRECTION	
EXISTING SPOT ELEVATION	
DOWN SPOUT	
ABBREVIATION LEGEND	
TOP OF CONC PAD	TC
TOP OF CURB	TA
TOP OF ASPHALT	TP
TOP OF BERM	BT
BOTTOM OF FOND	BF
FINISHED FLOOR	FF
LANDSCAPING	LS
DOWNSPOUT	DS
TOP OF CONCRETE	TCR
GROUND	GD
TOP OF SIDEWALK	TSW



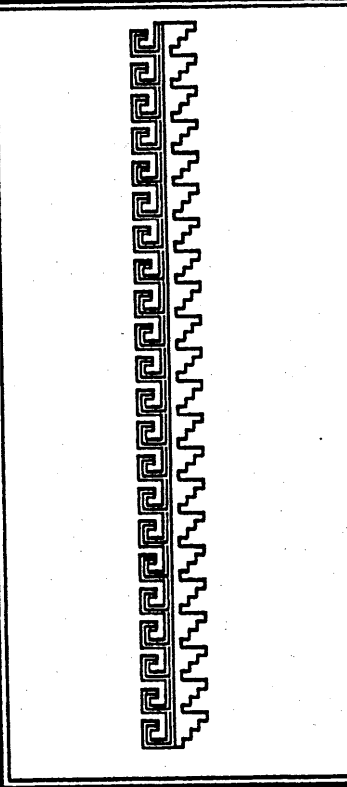
GRADING & DRAINAGE PLAN

Scale 1"=20'-0"



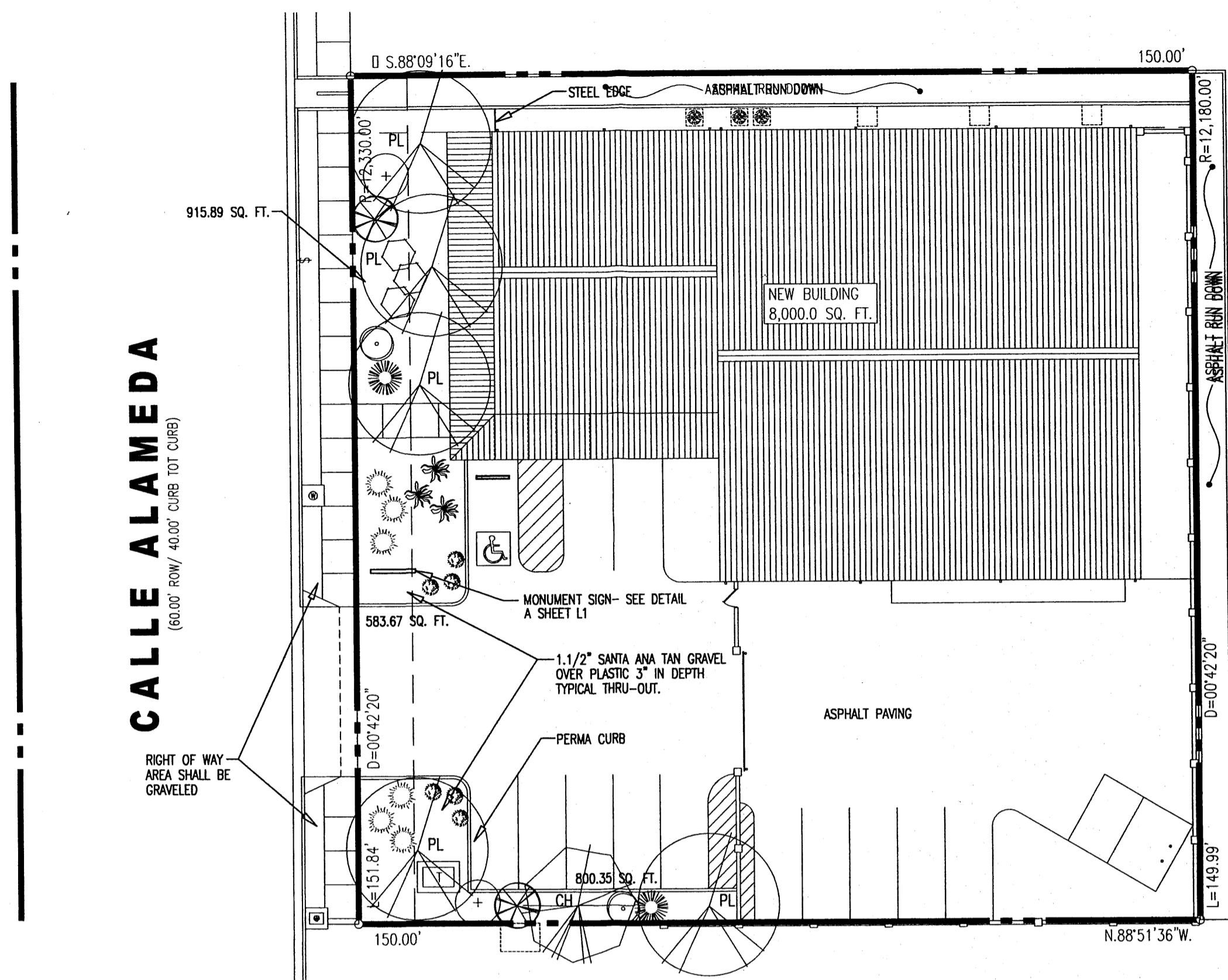
JOB NO.	XXXXXX
DATE	JANUARY 2007
REVISIONS	
	2-26-2007

Sheet Title
GRADING & DRAINAGE PLAN
Drawn By: HTH & BJM Checked By: ES



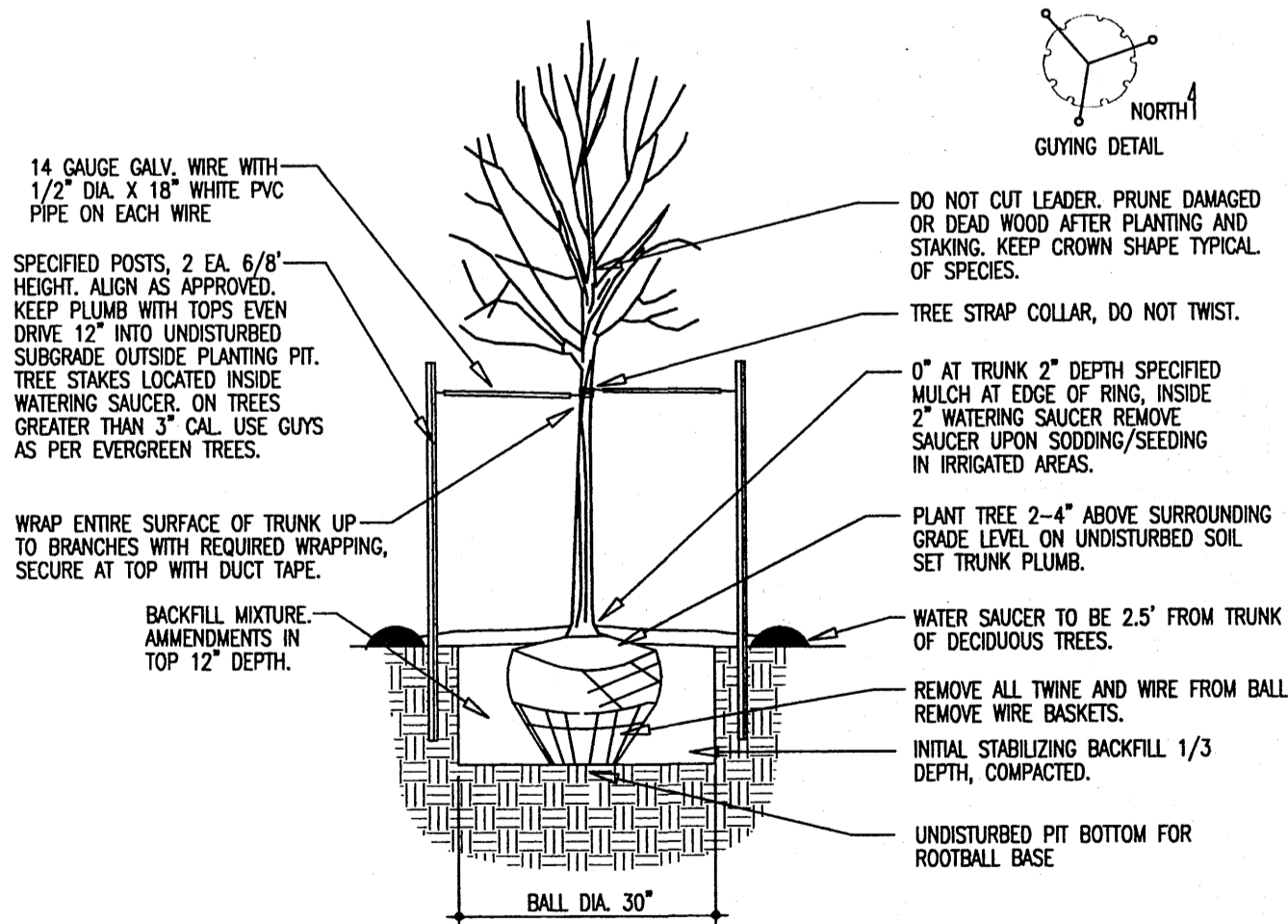
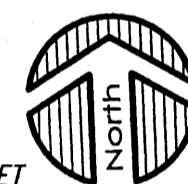
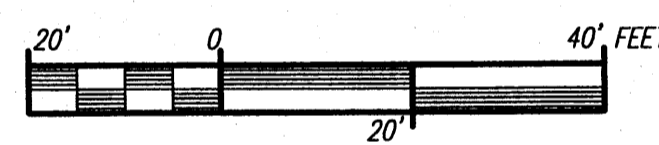
Job Title
RAY CRAVEY LEASE BUILDING
8504 CALLE ALAMEDA N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.
40



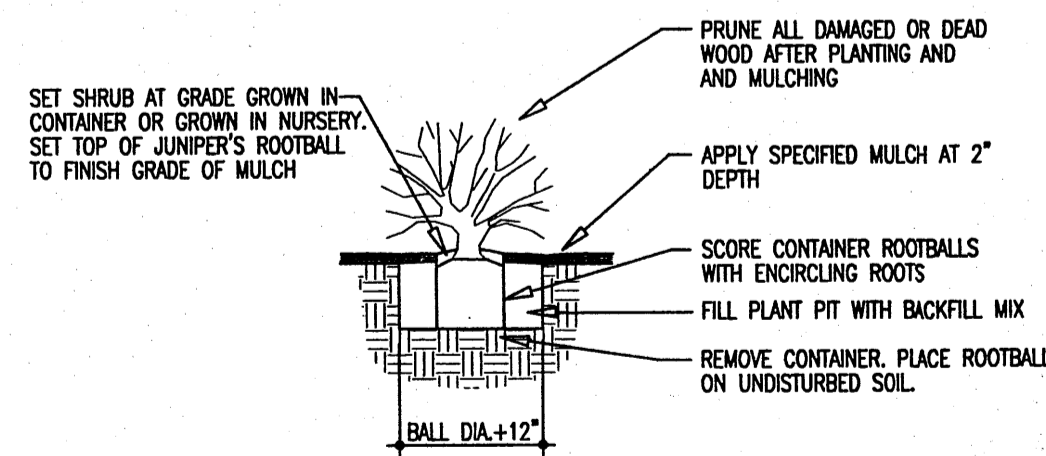
LANDSCAPE PLAN

1" = 20.00'



DECIDUOUS TREE PLANTING

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
PL	5	PLATANUS	SYCAMORE	2" CAL	H
CH	1	CHILOPSIS	DESERT WILLOW	15 GAL	L
(Symbol)	2	ELAEAGNUS PUNGENS	SILVERBERRY	1 GAL	M
(Symbol)	6	JUNIPERUS SABINA	BUFFALO JUNIPER		M
(Symbol)	3	VAUQUELINIA	ROSEWOOD		L
(Symbol)	2	BUDDLEIA DAVIDII	BUTTERFLY BUSH		M
(Symbol)	3	HESPERALOE PARVIFLORA	RED YUCCA		M
(Symbol)	2	ROSMARINUS OFFICINALIS	ROSEMARY		M
(Symbol)	2	MISCANTHUS SINENSIS	MAIDEN GRASS		M
(Symbol)	6	LAVANDULA	LAVENDER	1 GAL	M

NOTES:

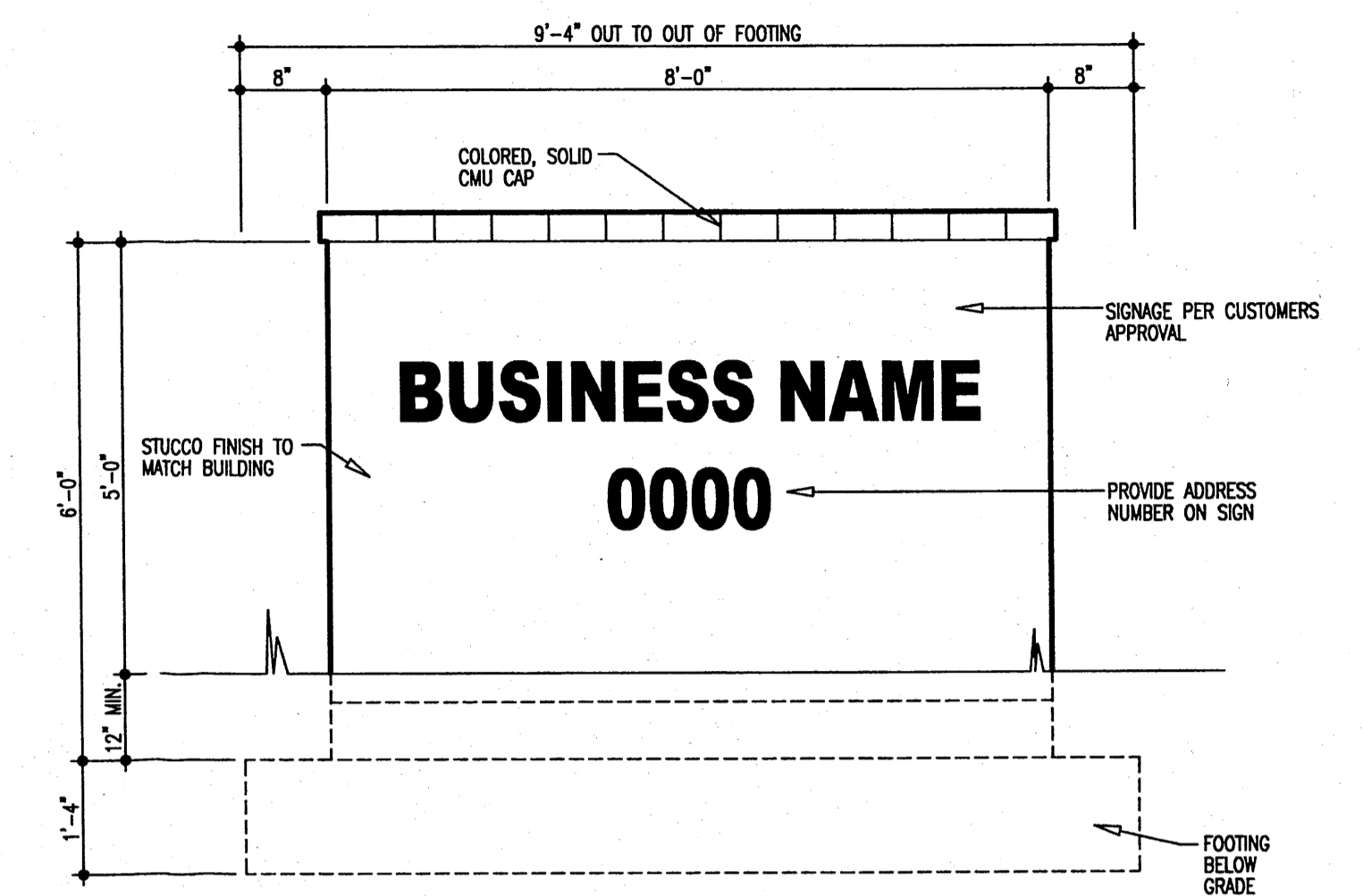
TREES TO BE STAKED - SEE DETAIL.
 LAWN AND SHRUBS TO BE WATERED BY AUTOMATIC IRRIGATION SYSTEM WITH THE TIME CLOCKS PROVIDED IN THE ELECTRICAL ROOM.
 INSTALL 4" BARK MULCH IN A 30' RADIUS AROUND TREES IN LAWN AND ALL LANDSCAPE AREAS. CUT 2 RADIUS HOLE IN PLASTIC AT EACH TREE.
 ALL LANDSCAPE AREAS SHALL HAVE 1.1/2" GRAVEL AND PLASTIC - SANTA ANA TAN COLOR 3" IN DEPTH.
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER.
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND THE WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH.
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY.
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE.
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS.
 NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE.

PLANTING RESTRICTIONS APPROACH

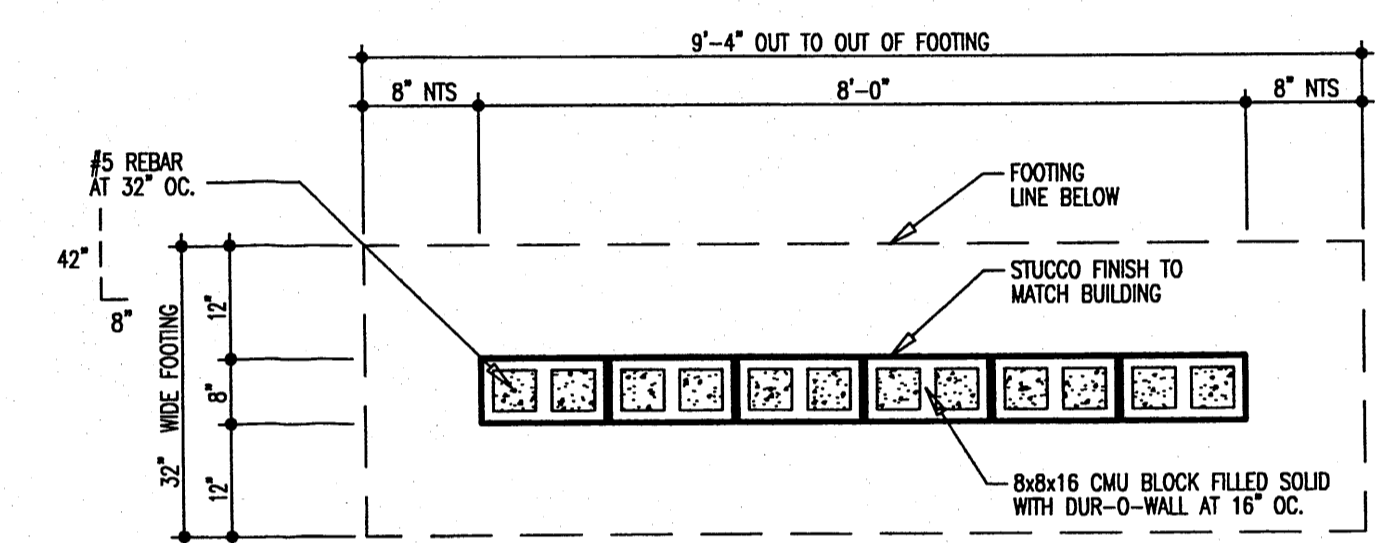
A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS.
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF.

SITE DATA:

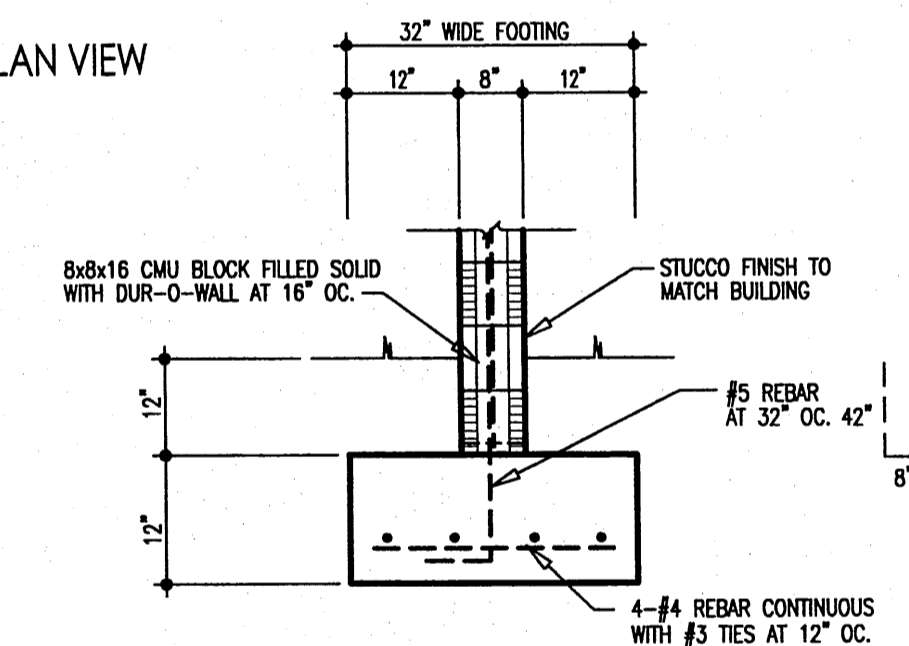
LANDSCAPE REQUIREMENTS:		
LOT SIZE:	22,638.13 SQ. FT.	0.52 ACRES
MINUS BUILDING SQUARE FOOTAGE:	8,000.00 SQ. FT.	
NET LOT:	14,638.13 SQ. FT.	
AREA TO BE LANDSCAPED IN RIGHT-OF-WAY:	(MINUS) 0	
(TOTAL)	14,638.13 SQ. FT.	
	x 15%	
LANDSCAPE REQUIRED:	2,195.72 SQ. FT.	
LANDSCAPE PROVIDED ON LOT:	2,299.91 SQ. FT.	
AREA PROVIDED IN RIGHT-OF-WAY:	0	
TOTAL LANDSCAPE PROVIDED:	2,299.91 SQ. FT.	
REQUIRED TREES		
1 TREE PER 500 SF REQUIRED LANDSCAPE AREA.		
CALC. = 2,195.72 SF/500 SF = 4.39 TREES REQUIRED MIN.		



ELEVATION VIEW



PLAN VIEW



SECTION DETAIL

MONUMENT SIGN DETAIL

1/2" = 1'-0"

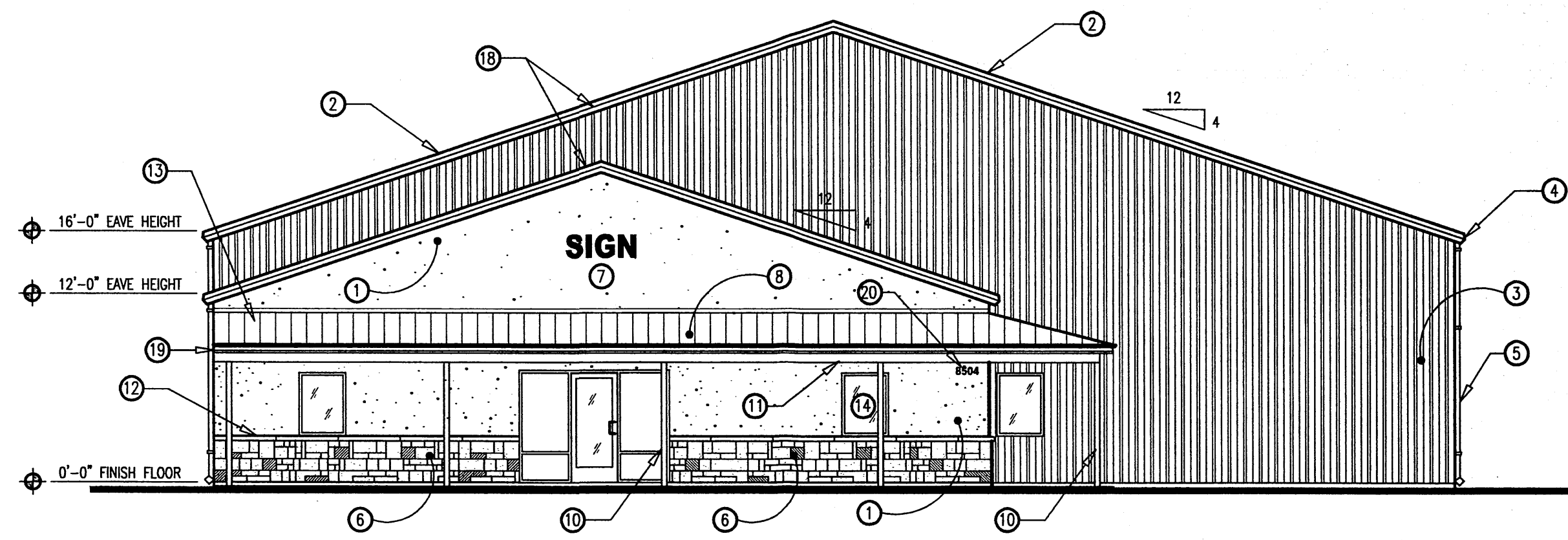
HRJ ARCHITECTURE, LLC

PO BOX 1088 PECOS, NEW MEXICO 87535 (505) 757-3691
 FAX (505) 757-8882 email: hrj_arch@cybermesa.com

DATE:
 PLOT DATE: March 30, 2007
 REVISIONS:
 (List of revision symbols)
 FILE: RCSHTLI.DWG

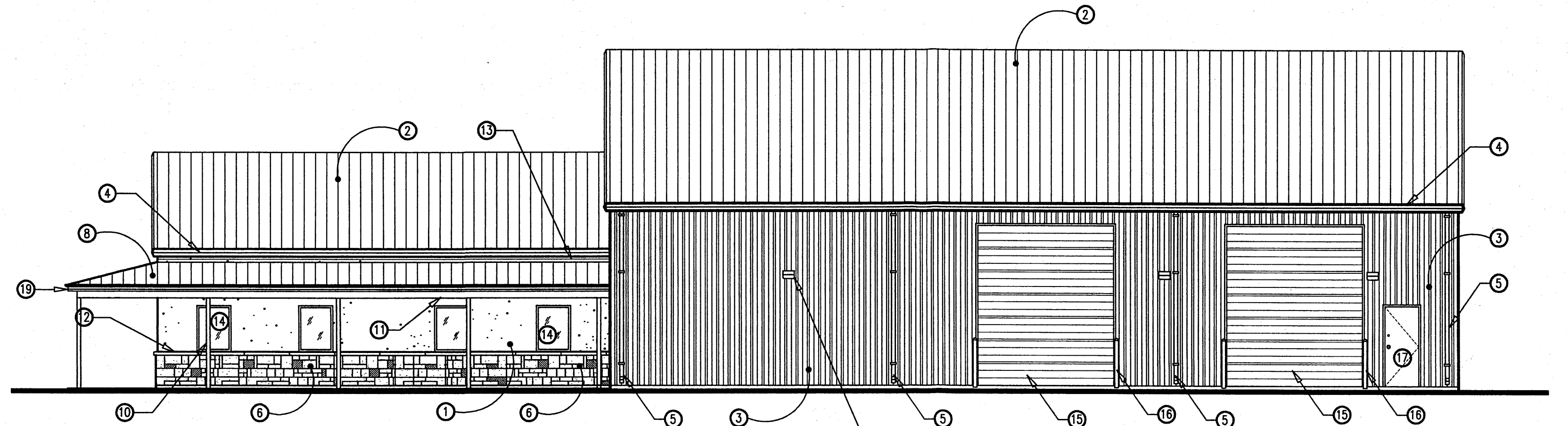
PROPOSED FACILITY FOR
Ray Cravey
 8504 CALLE ALAMEDA N.W.
 ALBUQUERQUE, NM 87113

LANDSCAPE PLAN, AND DETAILS
 SHEET NO.
L1
 JOB NO. : 06-101 OF 1



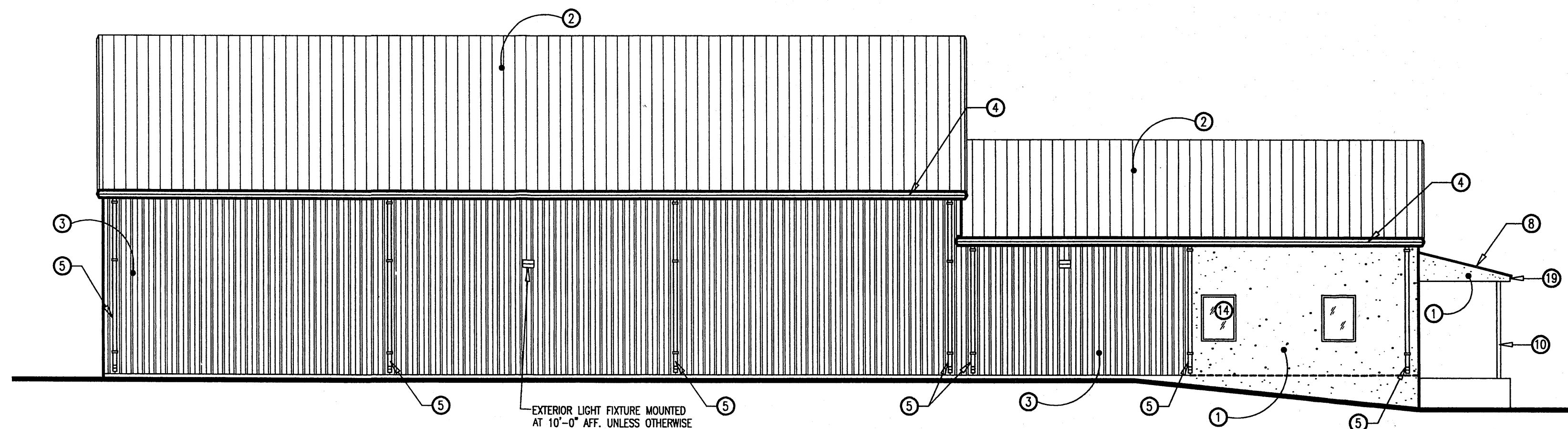
WEST ELEVATION

1/8" = 1'-0"



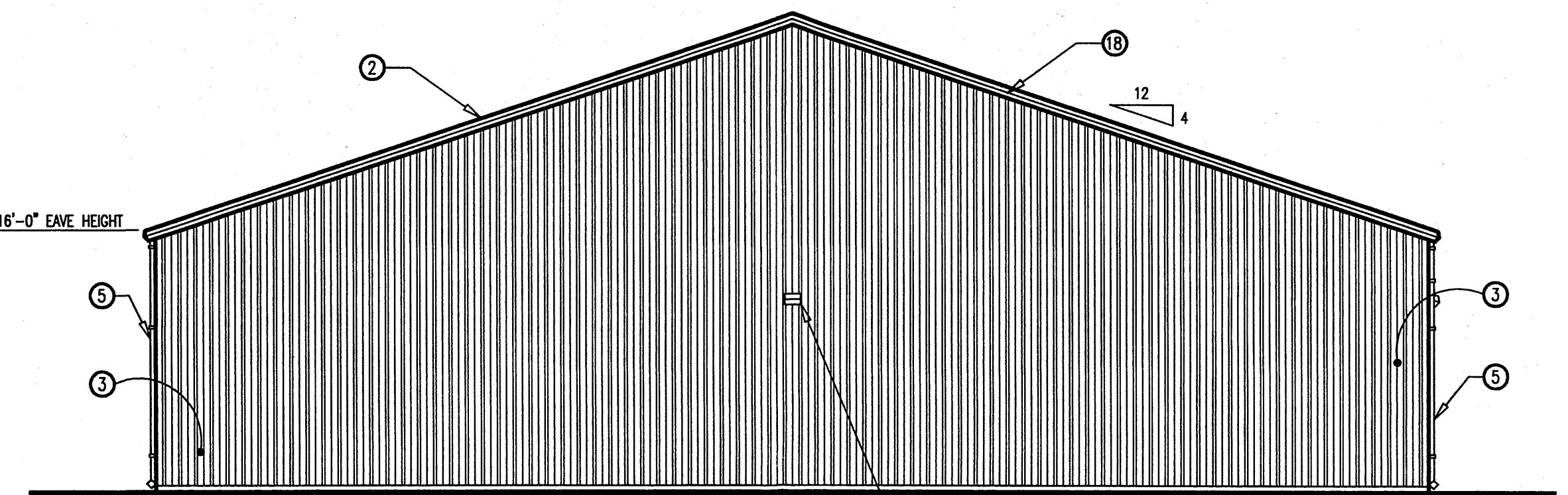
SOUTH ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"



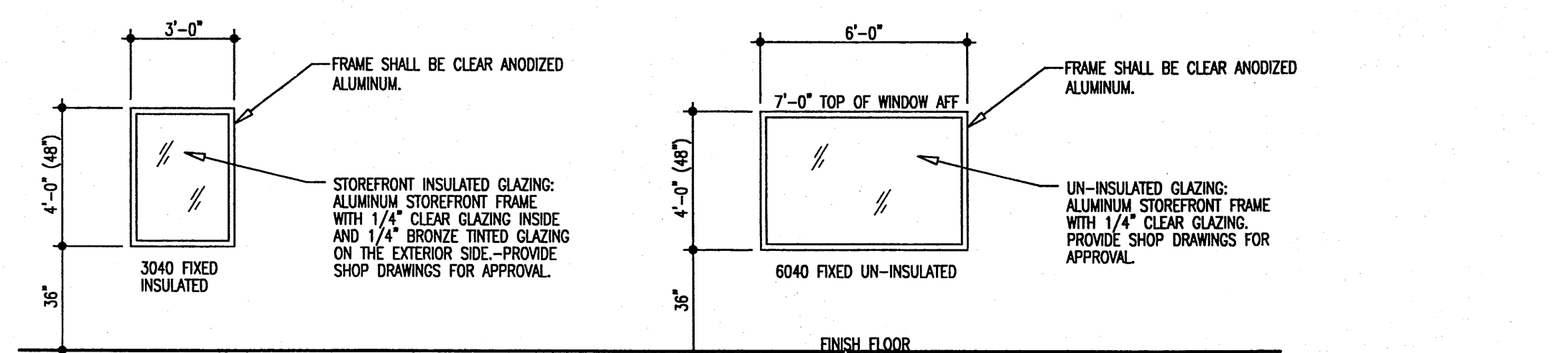
EAST ELEVATION

1/8" = 1'-0"

ELEVATION NOTES:

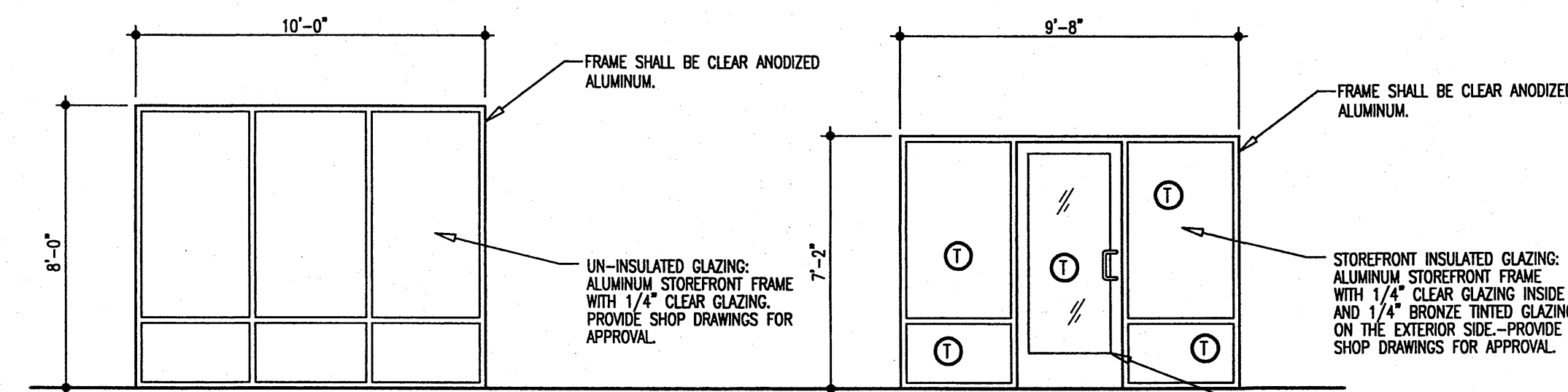
- ① STUCCO SYSTEM: 5/8" TYPE "C" EXTERIOR BROWN BOARD SHEATHING WITH EL REY "FASTWALL" FIBER RE-INFORCED STUCCO WALL SYSTEM APPLIED OVER MINIMUM 20 GAGE 1" GALVANIZED STEEL WOVEN WIRE FABRIC AND 30# FELT. COLORS SHALL BE LIGHT TO MEDIUM TAN/BROWN COLORED STUCCO APPROVED BY OWNER. PER EVALUATION REPORT #5129.
- ② ROOF SHEETS: 26 GAGE DURA-20 PR-RIB ROOF SHEETS- RED.
- ③ 26 GAGE ARCHITECTURAL WALL PANELS- COLOR TO OWNERS APPROVAL.
- ④ EAVE GUTTER - COLOR TO OWNERS APPROVAL.
- ⑤ DOWNSPOUTS - COLOR TO OWNERS APPROVAL.
- ⑥ 1 1/2" THICK STACKED STONE MOUNTAIN BLEND VENEER WITH GROUT BASE OVER 30# FELT AND 5/8" EXTERIOR BROWN BOARD SHEATHING.
- ⑦ SIGN- TO BE PERMITTED AND INSTALLED BY A SIGN CONTRACTOR.
- ⑧ 26 GAGE RED ARCHITECTURAL METAL PANELS OVER 1 1/2" 22 GAGE METAL ROOF DECK ATTACHED TO ROOF JOISTS. SEE STRUCTURAL PLANS FOR MORE INFORMATION.
- ⑨ NOT USED.
- ⑩ PORTAL COLUMN: TS 4"x4" 3/16" TUBE STEEL COLUMN WITH STEEL PLATES TOP AND BOTTOM ANCHORED TO THE FOOTING SUPPORTING THE STEEL BEAM ABOVE. SEE DETAILS J AND K SHEET S3. SEE NOTE BELOW FOR PAINT.
- ⑪ PORTAL BEAM: TS 4"x8" 3/16" TUBE STEEL BEAM. SEE DETAILS J AND K SHEET S3. SEE NOTE BELOW FOR PAINT.
- ⑫ 4" HIGH ROCK WATER TABLE CAP, REFER TO MANUFACTURERS SPECIFICATION FOR INSTALLATION AND ATTACHMENT RECOMMENDATIONS.
- ⑬ WALL TO PORTAL METAL FLASHING: - COLOR TO MATCH ROOF.
- ⑭ 3040 STOREFRONT INSULATED GLAZING- SEE DETAIL A THIS SHEET.
- ⑮ 12" WIDE BY 14" HIGH 24 GAGE STEEL SECTIONAL VERTICAL LIFT OVERHEAD DOOR.
- ⑯ 4" DIAMETER CONCRETE FILLED GUARD POSTS- SEE DETAIL J SHEET S1.
- ⑰ 3070 HOLLOW METAL WALK DOOR.
- ⑱ RAKE TRIM - COLOR TO OWNERS APPROVAL.
- ⑲ METAL DRIP EDGE OVER A METAL FASCIA CAP AND SOFFIT END PIECE.
- ⑳ 6" HIGH ADDRESS NUMBER.

GENERAL NOTE: ALL PAINT TO BE 1 COAT PRIMER AND 2 COATS FINISH PAINT.



TYPE A (9-TOTAL)

TYPE B (1-TOTAL)



TYPE C (2-TOTAL)

TYPE D (1-TOTAL)

① NOTE: ALL GLASS IN THE ELEVATION SHALL BE TEMPERED OR LAMINATE PROTECTIVE GLAZING.

WINDOW ELEVATION TYPES

1/4" = 1'-0"

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ALBUQUERQUE, NM 87113

ELEVATIONS, NOTES,
WINDOW DETAILS
SHEET NO.
A5
JOB NO.: 06-101 OF 6