

APPROVED/DISAPPROVED  
HYDRANTS ONLY  
SIGNATURE & DATE

**PROJECT INFORMATION**

PROJECT NAME: RAY CRAVEY LEASE BUILDING  
 PROJECT ADDRESS: 8504 CALLE ALAMEDA N.W., ALBUQUERQUE, NM 87113  
 LEGAL DESCRIPTION: LOT 40, ALAMEDA BUSINESS PARK, CITY OF ALBUQUERQUE, NEW MEXICO.  
 ZONE MAP PAGE: C-16-Z  
 BUSINESS DESCRIPTION: BUSINESS - OFFICE BUILDING  
 OWNER: RAY CRAVEY  
 GENERAL CONTRACTOR: 0000  
 ARCHITECT: HJR ARCHITECTURE, LLC  
 SOILS ENGINEER: VINYARD AND ASSOCIATES, MARTIN VINYARD  
 CIVIL ENGINEER: BERNE MONTVOYA CONSULTING  
 STRUCTURAL ENGINEER: ROBERT PLATT  
 PLUMBING ENGINEER: WALKER ENGINEERING-TERRY WALKER  
 MECHANICAL ENGINEER: WALKER ENGINEERING-TERRY WALKER  
 ELECTRICAL ENGINEER: THE GROUP - FREDERICK J. TELCK

**PERMIT DATA**

**APPLICABLE CODES:**  
 2003 INTERNATIONAL BUILDING CODE  
 2003 INTERNATIONAL FIRE CODE  
 2003 UNIFORM PLUMBING CODE  
 2003 UNIFORM MECHANICAL CODE  
 2003 NATIONAL ELECTRICAL CODE  
 NEW MEXICO BUILDING CODE  
 1989 AMERICAN NATIONAL STANDARDS (ANSI)  
 CITY OF ALBUQUERQUE ZONING ORDINANCE  
 NORTH I-25 SECTOR DEVELOPMENT PLAN

**ROOM CLASSIFICATION AND DESCRIPTION**

ROOM AND OCCUPANCY CLASSIFICATION: DESCRIPTION:  
 OFFICE AREA: OFFICE AREA WILL BE FOR GENERAL BUSINESS.  
 WAREHOUSE AREA: WAREHOUSE AREA WILL BE USED FOR THE STORAGE OF ELECTRICAL EQUIPMENT, TESTING EQUIPMENT, AND METAL HARDWARE AND COMPONENTS.

PROPERTY AREA: LOT SIZE: 22,638.13 SQ. FT. .5197 ACRES  
 GROSS BUILDING AREA: 8,000.00 SQ. FT.  
 OFFICE: 2,600.00 SQ. FT.  
 WAREHOUSE AREA: 5,400.00 SQ. FT.  
 TOTAL BUILDING AREA: 8,000.00 SQ. FT.

**TYPE OF CONSTRUCTION:** TYPE IB NON SPRINKLED  
 OCCUPANCY GROUP PER IBC CHAPTER 3:  
 OFFICE: GROUP B  
 WAREHOUSE ZONE: SU-2  
 BUILDING TO SITE RATIO: 35%

**DESIGN DATA**  
 IMPORTANCE FACTOR (IBC TABLE 1604.5): CATEGORY II  
 SEISMIC FACTOR: 1.0 SNOW FACTOR: 1.0 WIND FACTOR: 1.0

ROOF LIVE LOAD (IBC SECTION 1607.1.1): 20 PSF (NON REDUCIBLE)  
 GROUND SNOW LOAD (IBC FIGURE 1608.2): 20 PSF  
 BASIC WIND SPEED (IBC FIGURE 1609): 90 MPH  
 EXPOSURE (IBC SECTION 1609.4): C  
 2ND FLOOR FUTURE USE DECK DESIGN LIVE LOAD: 125 PSF

**BUILDING CODE ANALYSIS**  
 GROSS BUILDING SQUARE FOOTAGE: 8,000.00 SQ. FT.  
 1. ALLOWABLE AREA PER IBC TABLE 503, GROUP B, OCCUPANCY/TYPE IB CONSTRUCTION: 23,000.00 SQ. FT.  
 2. ALLOWABLE AREA PER IBC TABLE 503, GROUP S-2 OCCUPANCY/TYPE IB CONSTRUCTION: 26,000.00 SQ. FT.

NOTE: NO INCREASE IN SQUARE FOOTAGE IS REQUIRED OR NECESSARY BEING THE ACTUAL BUILDING SIZE OF 8,000.00 SQ. FT. IS LESS THAN THE LEAST AMOUNT ALLOWABLE WHICH IS THE GROUP B OCCUPANCY OF 23,000.00 SQ. FT.  
 MIXED USE/OCCUPANCY SEPARATIONS PER IBC TABLE 302.3.2:  
 OCCUPANCY GROUPS: RATING REQUIRED:  
 GROUP B TO S-2: 2 HOUR OCCUPANCY SEPARATION  
 NOTE: THIS BUILDING WILL BE CLASSIFIED AS A NONSEPARATED USE BUILDING PER IBC 302.3.1 AND THEREFORE WILL NOT REQUIRE A FIRE SEPARATION BETWEEN USES.

**BUILDING HEIGHT:**

MAXIMUM ALLOWABLE HEIGHT PER IBC TABLE 503:  
 TYPE IB GROUP B OCCUPANCY = 4 STORES  
 TYPE IB GROUP S-2 OCCUPANCY = 4 STORES

**OCCUPANT LOAD:**  
 OCCUPANT LOAD PER IBC TABLE 1004.1.2:  
 AREA: OCCUPANCY: SQ. FOOTAGE: DIV. FACTOR: TOTAL LOAD:  
 OFFICE: 2,600.00 / 100 = 26.00  
 WAREHOUSE AREA: 5,400.00 / 500 = 10.80  
 TOTAL: 36.80

EXIT WIDTH PER IBC SECTION 1005 AND TABLE 1005.1:  
 OCCUPANT LOAD: 36.80 x 2 = 73.6 INCHES REQUIRED  
 PROVIDED THRU-OUT THE BUILDING: 6'-0" (72")

NO. OF EXISTS REQUIRED PER IBC TABLE 1014.1:

ROOM	OCC. LOAD	TABLE 10-A	REQUIRED	PROVIDED
OFFICE:	26.00	< 30	1	1
WAREHOUSE AREA:	10.80	< 30	1	1
TOTAL:	36.80	< 30	1	2

**REQUIRED PLUMBING FIXTURES PER IBC TABLE 2902.1:**  
 GROUP B OCCUPANCY: BUSINESS  
 TOTAL OCCUPANT LOAD: 36.80  
 NUMBER OF OCCUPANTS OF EACH SEX (50% PER IBC SECTION 2902.3):  
 MEN: 18.40  
 WOMEN: 18.40

MALE: MALE: MALE:  
 OCCUPANT GROUP: WC REQUIRED LAV REQUIRED  
 BUSINESS GROUP B: 1 PER 25 1 PER 40  
 REQUIRED: 1 1

FEMALE: FEMALE: FEMALE:  
 OCCUPANT GROUP: WC REQUIRED LAV REQUIRED  
 BUSINESS GROUP B: 1 PER 25 1 PER 40  
 REQUIRED: 1 1

OCCUPANT GROUP: DRINKING FOUNTAINS OTHER  
 BUSINESS GROUP B: 1 PER 100 SERVICE SINK  
 REQUIRED: 1 1  
 TOTAL PROVIDED: SEE FLOOR PLAN

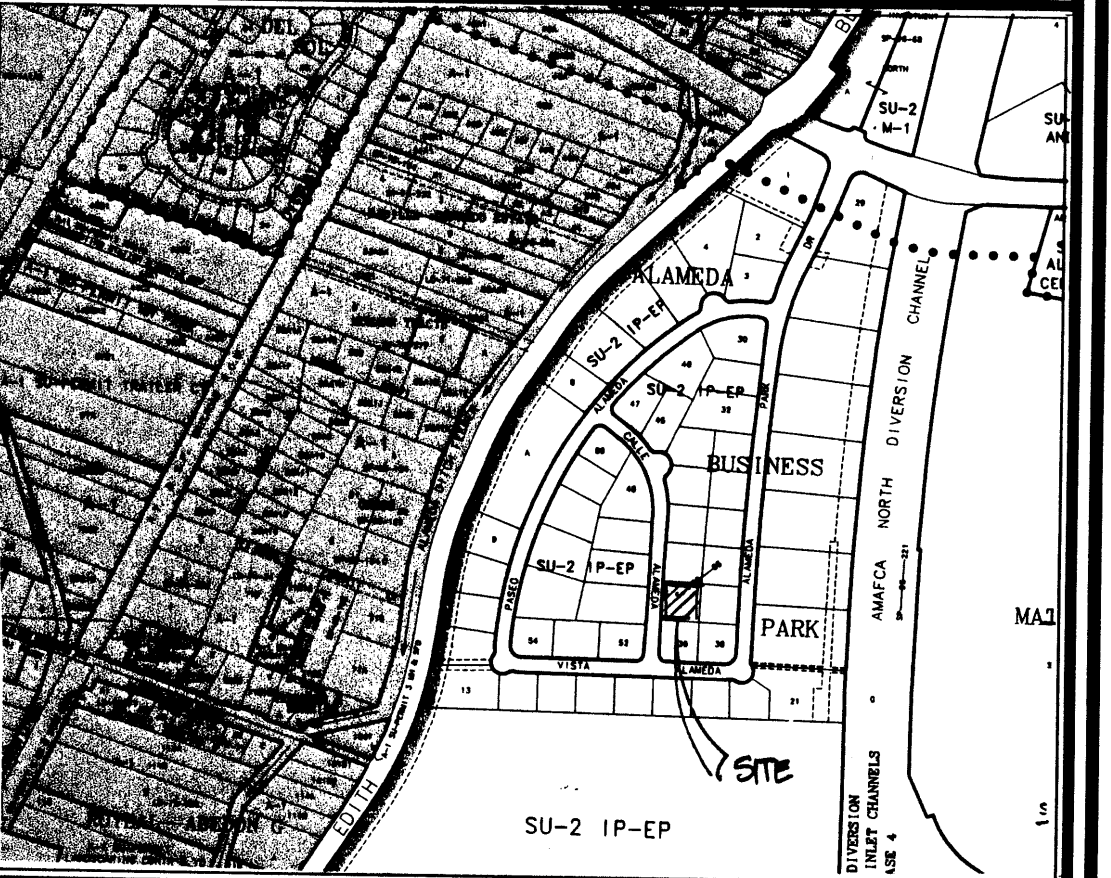
**FIRE PROTECTION:**  
 1. FIRE EXTINGUISHERS: 1 2A10BC FIRE EXTINGUISHER PER 3000 SQ. FT. = 3 REQUIRED AND PROVIDED  
 2. FIRE HYDRANTS: (FH) TO BE WITHIN 450' AS THE TRUCK ROLLS  
 A. REQUIRED: NO. OF FH = 2 FLOW REQUIRED: = 1,287.98 GAL./MIN.  
 3. PROVIDED: SEE SITE PLAN FOR (3) EXISTING FIRE HYDRANTS WITHIN THE 450' DISTANCE.

**PARKING ANALYSIS:**  
 AREA: SQ. FOOTAGE: DIV. FACTOR: TOTAL REQUIRED:  
 OFFICE: 2,000.00 / 200 = 10.00 SPACES  
 WAREHOUSE AREA: 6,000.00 / 2000 = 3.00 SPACES  
 TOTAL REQUIRED: 13.00 SPACES  
 TOTAL PROVIDED: 13.00 SPACES  
 REQUIRED HANDICAP PARKING SPACES: 1.00 SPACES  
 BICYCLE PARKING REQUIRED: (1 SPACE FOR EA. 20 PARKING SPACES) 0.65 SPACES

**LANDSCAPE REQUIREMENTS:**  
 LOT SIZE: 22,638.13 SQ. FT. 0.52 ACRES  
 MINUS BUILDING SQUARE FOOTAGE: 8,000.00 SQ. FT.  
 NET LOT: 14,638.13 SQ. FT.  
 AREA TO BE LANDSCAPED IN RIGHT-OF-WAY: (MINUS) 0  
 (TOTAL) 14,638.13 SQ. FT.  
 x 15%  
 LANDSCAPE REQUIRED: 2,195.72 SQ. FT.  
 LANDSCAPE PROVIDED ON LOT: 2,299.91 SQ. FT.  
 AREA PROVIDED IN RIGHT-OF-WAY: 0  
 TOTAL LANDSCAPE PROVIDED: 2,299.91 SQ. FT.

**INDEX TO DRAWINGS**

SHT. NO.	DESCRIPTION
A1	SITE PLAN, INDEX, PERMIT DATA, DETAILS
C1	DRAINAGE PLAN, DETAILS, NOTES
L1	LANDSCAPE PLAN, DETAILS, NOTES
S1	FOUNDATION PLAN, FOOTING SCHED, DETAILS, NOTES
S2	WALL FRAMING PLAN, NOTES
S3	WALL FRAMING DETAILS
S4	SECTION, DETAILS, NOTES
A2	FLOOR PLAN, R.R. DETAILS, NOTES
A3	ROOM FINISH AND DOORS SCHEDULES, DETAILS, NOTES
A4	REFLECTIVE CEILING PLAN, DETAILS
A5	BUILDING ELEVATIONS, NOTES
A6	BUILDING CROSS SECTION, DETAILS, NOTES
P1	PLUMBING PLAN, RISER, SCHEDULE
M1	MECHANICAL PLAN, SCHEDULES, NOTES
E1	SITE ELECTRICAL UTILITY PLAN
E2	POWER PLAN, NOTES AND LEGEND
E3	LIGHTING PLAN, SCHEDULES
E4	POWER RISER DIAGRAM, CALCS, AND NOTES

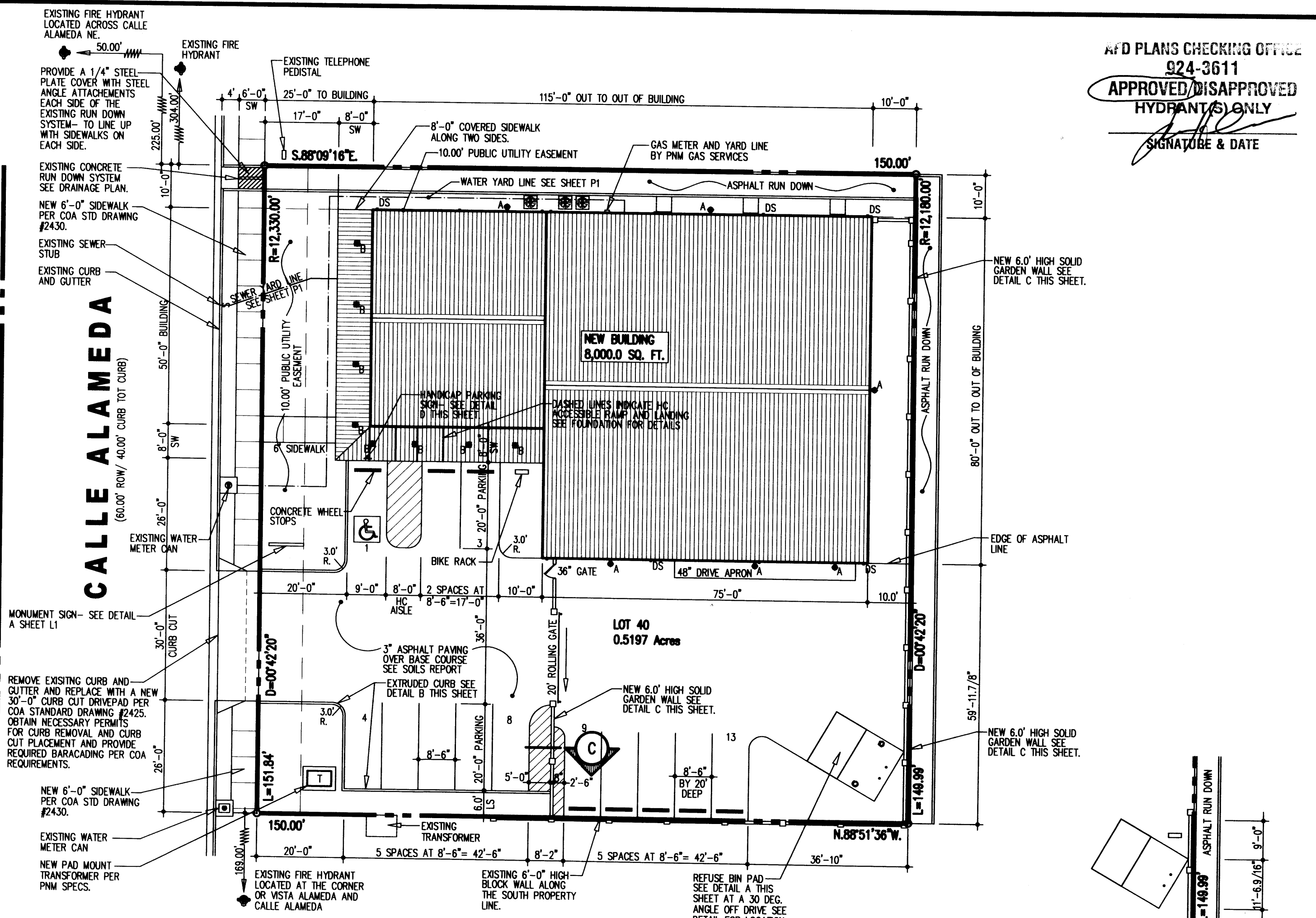


VICINITY MAP C-16-Z

DRB # \_\_\_\_\_ PROJECT # \_\_\_\_\_  
 APPLICATION # \_\_\_\_\_  
 THIS PLAN IS CONSISTENT WITH THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN AND THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

PLANNING DEPT.	DATE
TRANSPORTATION DEPT.	DATE
CITY ENGINEER	DATE
UTILITY DEPT.	DATE
CITY PARKS	DATE

**HRJ ARCHITECTURE, LLC**  
 PO BOX 1088 PECOS, NEW MEXICO 87535 (505) 757-3691  
 FAX (505) 757-8882 email: hrj\_arch@cybermesa.com

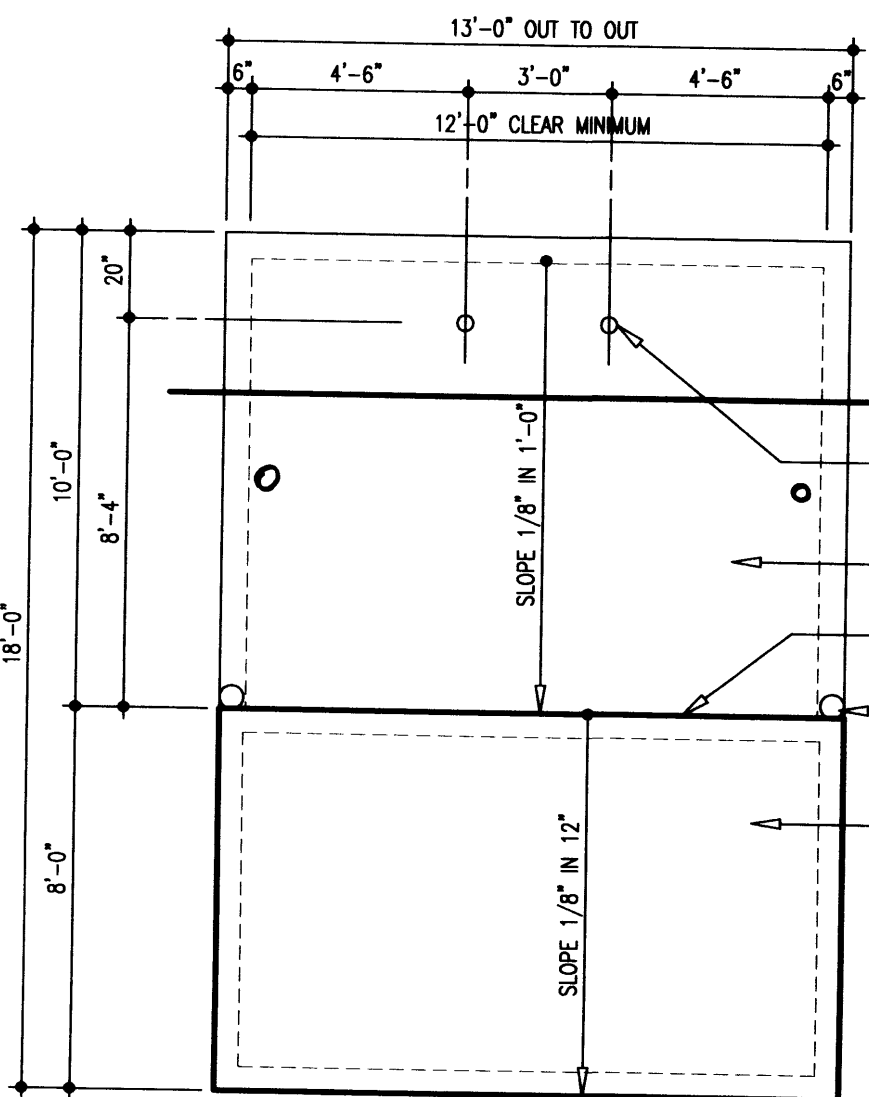


**SITE PLAN**

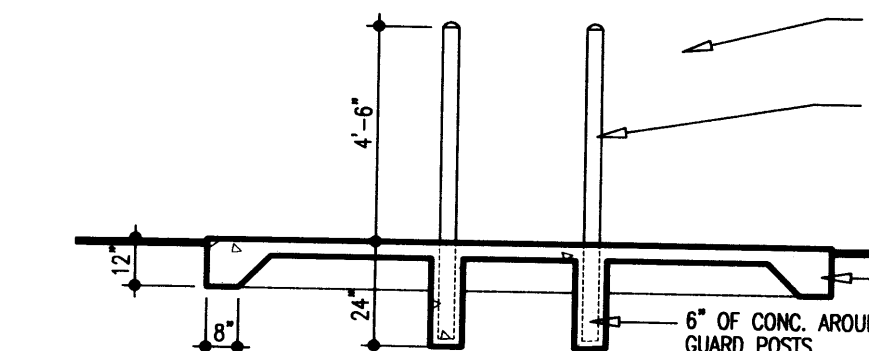
1" = 20.00'

**EXTERIOR LIGHTING FIXTURE SCHEDULE:**

MARK	FIXTURE TYPE	INSTALLATION	LAMPS	DESCRIPTION
A	METAL HALIDE	EXTERIOR WALL	1-200W	"LITHONIA" TWH 200M 277 WITH DOWN LIGHT CUT OFF SHIELD.
B	METAL HALIDE	RECESSED SOFFIT	1-100W	"LITHONIA" LP6H 100M 277/84 WITH LAMP



PLAN



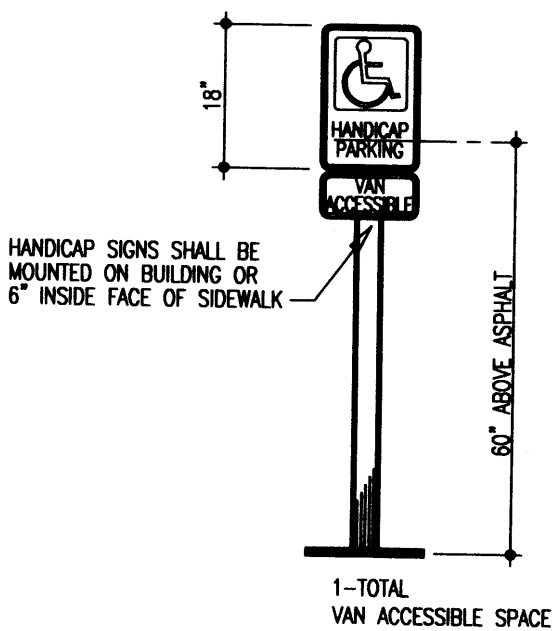
SECTION AA

**A REFUSE BIN ENCLOSURE DETAIL**

1/4" = 1'-0"

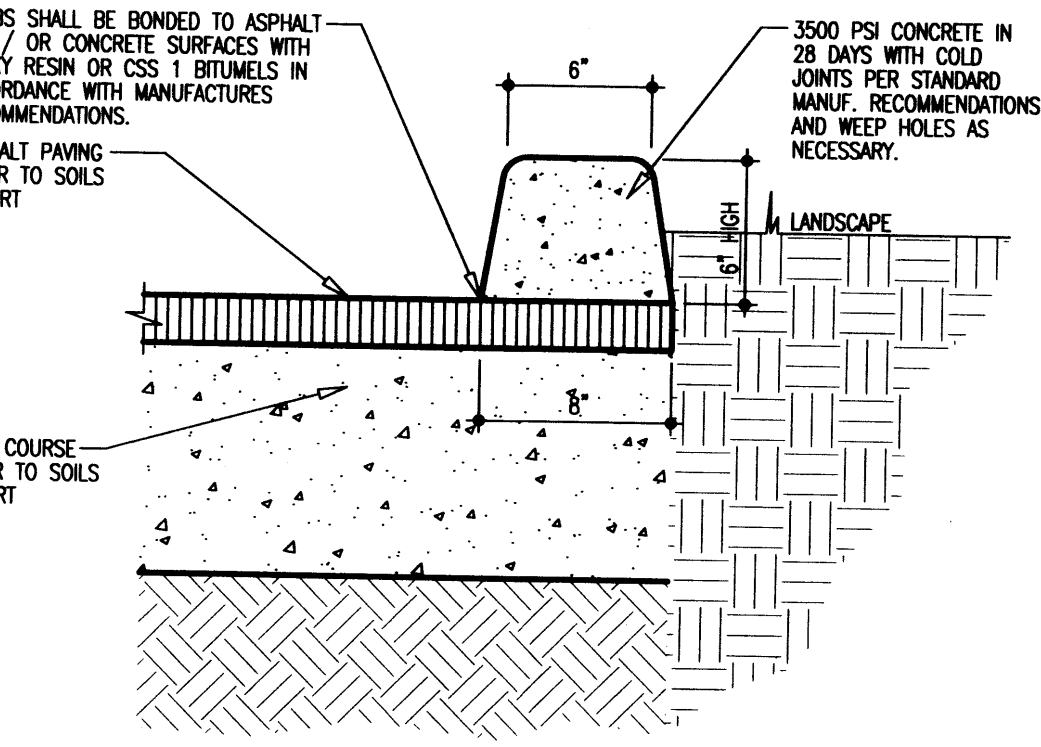
**REFUSE BIN LOCATION**

1" = 20.00'



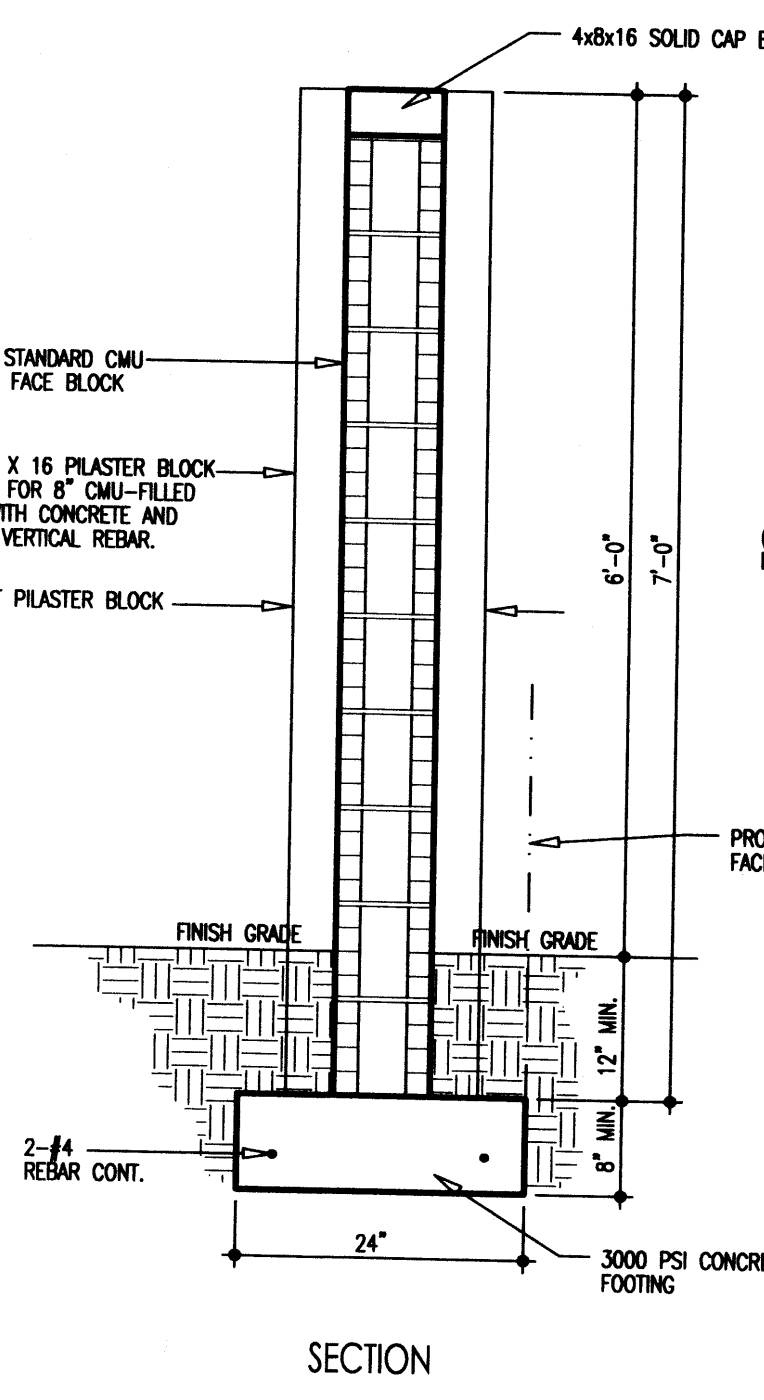
**D HC SIGN DETAIL**

1/2" = 1'-0"



**B EXTRUDED CURB DETAIL**

1 1/2" = 1'-0"



**C GARDEN WALL DETAIL**

3/4" = 1'-0"

CITY OF ALBUQUERQUE  
 "SOLID WASTE"  
 MANAGEMENT DEPARTMENT  
 APPROVED 3/23/07

DATE: \_\_\_\_\_  
 PLOT DATE: March 18, 2007  
 REVISIONS:  
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 △ -  
 FILE: RCSHTA1.DWG

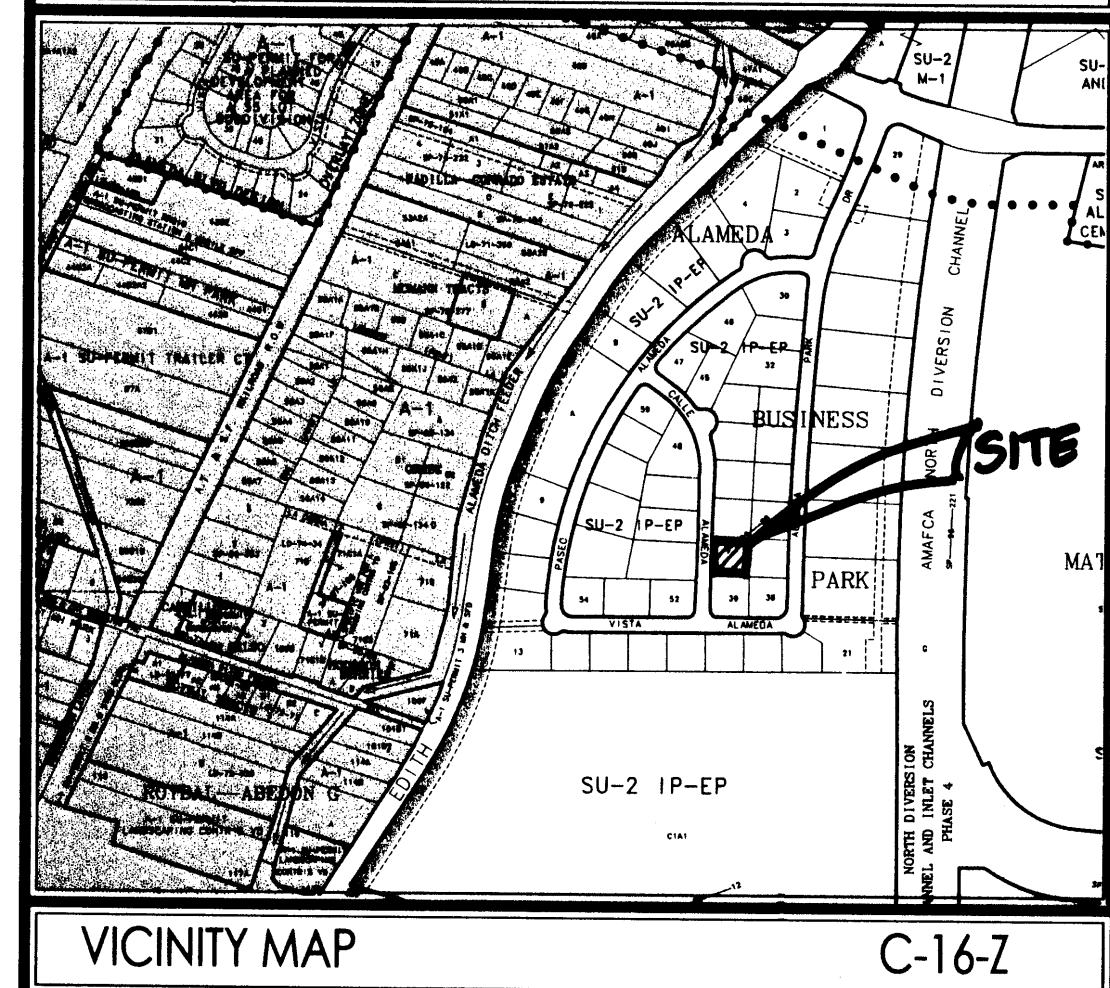
PROPOSED FACILITY FOR  
**Ray Cravey**  
 8504 CALLE ALAMEDA N.W.  
 ALBUQUERQUE, NM 87113

SITE PLAN, PERMIT DATA, DETAILS  
 SHEET NO. **A1**  
 JOB NO.: 06-101 OF 6



# INDEX TO DRAWINGS

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DRB # \_\_\_\_\_ PROJECT # \_\_\_\_\_

APPLICATION # \_\_\_\_\_

THIS PLAN IS CONSISTENT WITH THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN AND THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

PLANNING DEPT. \_\_\_\_\_ DATE \_\_\_\_\_

TRANSPORTATION DEPT. \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY DEPT. \_\_\_\_\_ DATE \_\_\_\_\_

CITY PARIS \_\_\_\_\_ DATE \_\_\_\_\_

**HRJ ARCHITECTURE, LLC**

PO BOX 1088 PECOS, NEW MEXICO 87535 (505) 757-3691  
 FAX (505) 757-8882 email: hrj\_arch@cybermesa.com

DATE: \_\_\_\_\_  
 PLOT DATE: March 30, 2007  
 REVISIONS:

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FILE: RCSHTA1.DWG

PROPOSED FACILITY FOR

## Ray Cravey

8504 CALLE ALAMEDA N.W.  
 ALBUQUERQUE, NM 87113

SHEET NO. **A1**  
 JOB NO.: 06-101 OF 6

### BUILDING HEIGHT:

TYPE	GROUP	OCCUPANCY	STORIES
TYPE IB	GROUP B	OCCUPANCY	= 4 STORES
TYPE IB	GROUP S-2	OCCUPANCY	= 1 STORES

### OCCUPANT LOAD:

AREA	OCCUPANCY	SQ. FOOTAGE	DIV. FACTOR	TOTAL LOAD
OFFICE:	GROUP B	2,600.00	/100	26.00
WAREHOUSE AREA:	GROUP S-2	5,400.00	/500	10.80
TOTAL:				36.80

### EXT. WIDTH PER IBC SECTION 1005 AND TABLE 1005.1:

OCCUPANT LOAD	PROVIDED THRU-OUT THE BUILDING	REQUIRED
36.80 x 2 =	7.36 INCHES REQUIRED	6'-0" (72")

### NO. OF EXISTS REQUIRED PER IBC TABLE 1014.1:

ROOM	OCC. LOAD	TABLE 10-A	REQUIRED	PROVIDED
OFFICE:	26.00	< 50	1	1
WAREHOUSE AREA:	10.80	< 30	1	1
TOTAL:	36.80	< 50	1	2

### REQUIRED PLUMBING FIXTURES PER IBC TABLE 2902.1:

GROUP B OCCUPANCY:	BUSINESS	REQUIRED
TOTAL OCCUPANT LOAD:	36.80	
NUMBER OF OCCUPANTS OF EACH SEX (50% PER IBC SECTION 2902.3):		
MEN:	18.40	
WOMEN:	18.40	

OCCUPANT GROUP:	MALE:	MALE:	MALE:
	WC REQUIRED	LAV REQUIRED	LAV REQUIRED
BUSINESS GROUP B:	1 PER 25	1 PER 40	
REQUIRED:	1	1	

OCCUPANT GROUP:	FEMALE:	FEMALE:	FEMALE:
	WC REQUIRED	LAV REQUIRED	LAV REQUIRED
BUSINESS GROUP B:	1 PER 25	1 PER 40	
REQUIRED:	1	1	

OCCUPANT GROUP:	DRINKING FOUNTAINS	OTHER
BUSINESS GROUP B:	1 PER 100	SERVICE SINK
REQUIRED:	1	1

TOTAL PROVIDED: SEE FLOOR PLAN

### FIRE PROTECTION:

- 1 FIRE EXTINGUISHERS: 1 2A10BC FIRE EXTINGUISHER PER 3000 SQ. FT. = 3 REQUIRED AND PROVIDED
- 2 FIRE HYDRANTS: (FH) TO BE WITHIN 450' AS THE TRUCK ROLLS
- A. REQUIRED: NO. OF FH = 2 FLOW REQUIRED: =1,287.98 GAL./MIN.
3. PROVIDED: SEE SITE PLAN FOR (3) EXISTING FIRE HYDRANTS WITHIN THE 450' DISTANCE.

### PARKING ANALYSIS:

AREA	SQ. FOOTAGE	DIV. FACTOR	TOTAL REQUIRED:
OFFICE:	2,000.00	/ 200	10.00 SPACES
WAREHOUSE AREA:	6,000.00	/ 2000	3.00 SPACES
TOTAL PROVIDED:			13.00 SPACES
TOTAL REQUIRED:			13.00 SPACES
REQUIRED HANDICAP PARKING SPACES:			1.00 SPACES
BIKE PARKING REQUIRED: (1 SPACE FOR EA. 20 PARKING SPACES)			0.65 SPACES

### LANDSCAPE REQUIREMENTS:

LOT SIZE:	MINUS BUILDING SQUARE FOOTAGE:	MINUS NET LOT:	AREA TO BE LANDSCAPED IN RIGHT-OF-WAY:	LANDSCAPE PROVIDED ON LOT:	AREA PROVIDED IN RIGHT-OF-WAY:	TOTAL LANDSCAPE PROVIDED:
22,638.13 SQ. FT.	8,000.00 SQ. FT.	14,638.13 SQ. FT.	0	2,195.72 SQ. FT.	0	2,195.72 SQ. FT.
				2,299.91 SQ. FT.		2,299.91 SQ. FT.

### PROJECT INFORMATION

PROJECT NAME: RAY CRAVEY LEASE BUILDING  
 PROJECT ADDRESS: 8504 CALLE ALAMEDA N.W. ALBUQUERQUE, NM. 87113  
 LEGAL DESCRIPTION: LOT 40, ALAMEDA BUSINESS PARK, CITY OF ALBUQUERQUE, NEW MEXICO.  
 ZONE MAP PAGE: C-16-Z  
 BUSINESS - OFFICE BUILDING  
 OWNER: RAY CRAVEY  
 GENERAL CONTRACTOR: 0000  
 ARCHITECT: HRJ ARCHITECTURE, LLC  
 SOILS ENGINEER: VIMYARD AND ASSOCIATES, MARTIN VIMYARD  
 CIVIL ENGINEER: BERNE MORITZ CONSULTING  
 STRUCTURAL ENGINEER: ROBERT PLATT  
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 MECHANICAL ENGINEER: WALKER ENGINEERING-TERRY WALKER  
 ELECTRICAL ENGINEER: THE GROUP - FREDERICK J. TELCK

### PERMIT DATA

#### APPLICABLE CODES:

- 2003 INTERNATIONAL BUILDING CODE
- 2003 INTERNATIONAL FIRE CODE
- 2003 UNIFORM PLUMBING CODE
- 2003 UNIFORM MECHANICAL CODE
- 2003 NATIONAL ELECTRIC CODE
- 2003 NATIONAL ELECTRIC CODE
- NEW MEXICO BUILDING CODE
- 1998 AMERICAN NATIONAL STANDARDS (ANSI)
- CITY OF ALBUQUERQUE ZONING ORDINANCE
- NORTH I-25 SECTOR DEVELOPMENT PLAN

#### ROOM CLASSIFICATION AND DESCRIPTION

ROOM AND OCCUPANCY CLASSIFICATION:	DESCRIPTION:
OFFICE AREA:	OFFICE AREA WILL BE FOR GENERAL BUSINESS.
WAREHOUSE AREA:	WAREHOUSE AREA WILL BE USED FOR THE STORAGE OF ELECTRICAL EQUIPMENT, TESTING EQUIPMENT, AND METAL HARDWARE AND COMPONENTS.

#### PROPERTY AREA:

LOT SIZE: 22,638.13 SQ. FT. .5197 ACRES  
 GROSS BUILDING AREA: 8,000.00 SQ. FT.  
 OFFICE: GROUP B 2,600.00 SQ. FT.  
 WAREHOUSE AREA: GROUP S-2 5,400.00 SQ. FT.  
 TOTAL BUILDING AREA: 8,000.00 SQ. FT.

#### TYPE OF CONSTRUCTION:

OCCUPANCY GROUP PER IBC CHAPTER 3: TYPE IIB NON SPRINKLED  
 OFFICE: GROUP B  
 WAREHOUSE AREA: GROUP S-2  
 PROPERTY ZONE: SU-2  
 BUILDING TO SITE RATIO: 35%

### DESIGN DATA

IMPORTANCE FACTOR (IBC TABLE 1604.5): CATEGORY II  
 SEISMIC FACTOR: 1.0  
 SNOW FACTOR: 1.0  
 WIND FACTOR: 1.0

ROOF LIVE LOAD (IBC SECTION 1607.1.1): 20 PSF (NON REDUCIBLE)  
 GROUND SNOW LOAD (IBC FIGURE 1608.2): 20 PSF  
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 2ND FLOOR FUTURE USE DECK DESIGN LIVE LOAD: 125 PSF

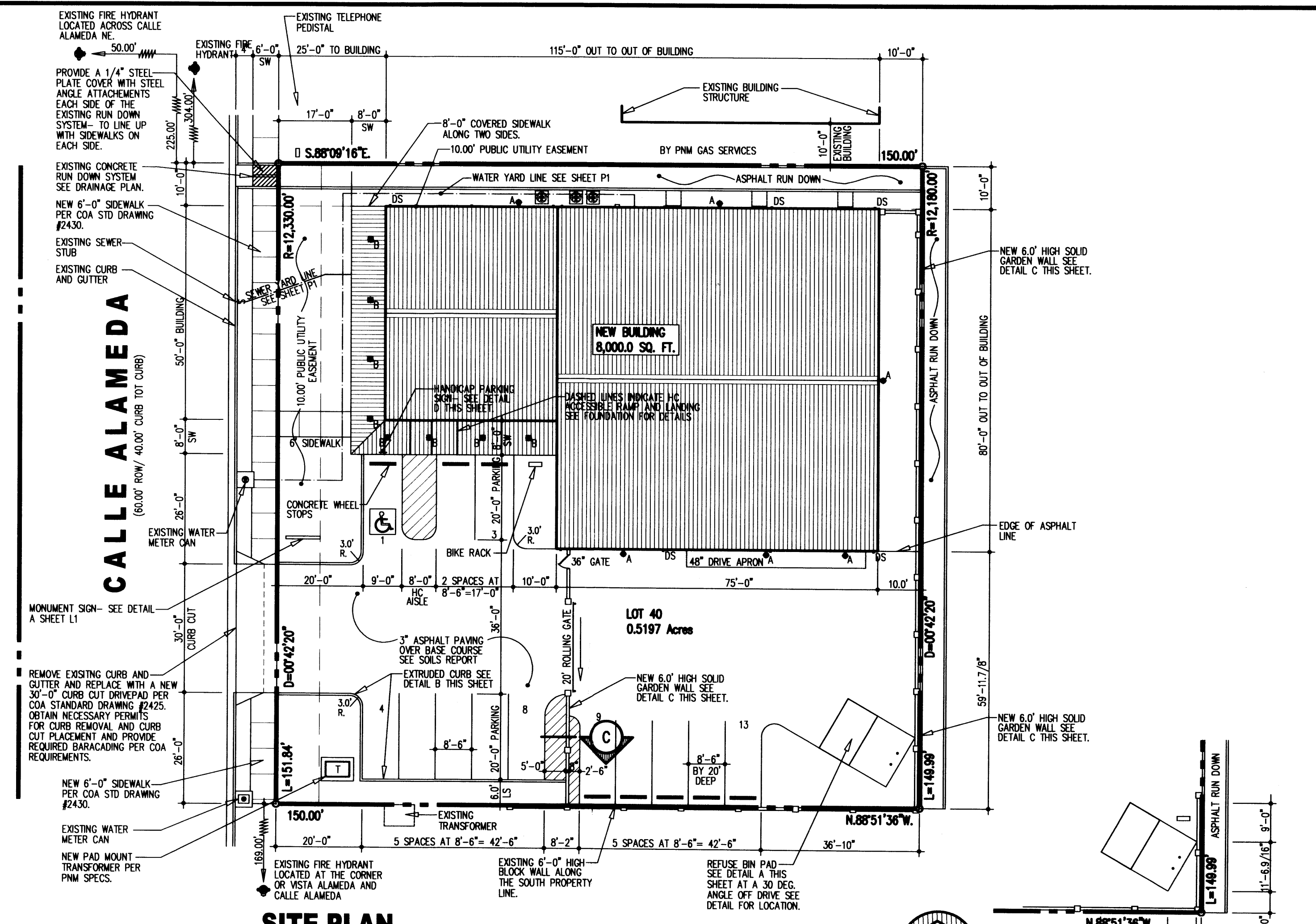
#### BUILDING CODE ANALYSIS

GROSS BUILDING SQUARE FOOTAGE: 8,000.00 SQ. FT.

1. ALLOWABLE AREA PER IBC TABLE 503, GROUP B, OCCUPANCY/TYPE IIB CONSTRUCTION: 23,000.00 SQ. FT.
2. ALLOWABLE AREA PER IBC TABLE 503, GROUP S-2 OCCUPANCY/TYPE IIB CONSTRUCTION: 26,000.00 SQ. FT.

NOTE: NO INCREASE IN SQUARE FOOTAGE IS REQUIRED OR NECESSARY BEING THE ACTUAL BUILDING SIZE OF 8,000.00 SQ. FT. IS LESS THAN THE LEAST ALLOWABLE WHICH IS THE GROUP B OCCUPANCY OF 23,000.00 SQ. FT.

MIXED USE/OCCUPANCY SEPARATIONS PER IBC TABLE 502.3.2:  
 OCCUPANCY GROUPS: 2 HOUR OCCUPANCY SEPARATION  
 GROUP B TO S-2:  
 NOTE: THIS BUILDING WILL BE CLASSIFIED AS A NONSEPARATED USE BUILDING PER IBC 302.1.1 AND THEREFORE WILL NOT REQUIRE A FIRE SEPARATION BETWEEN USES.

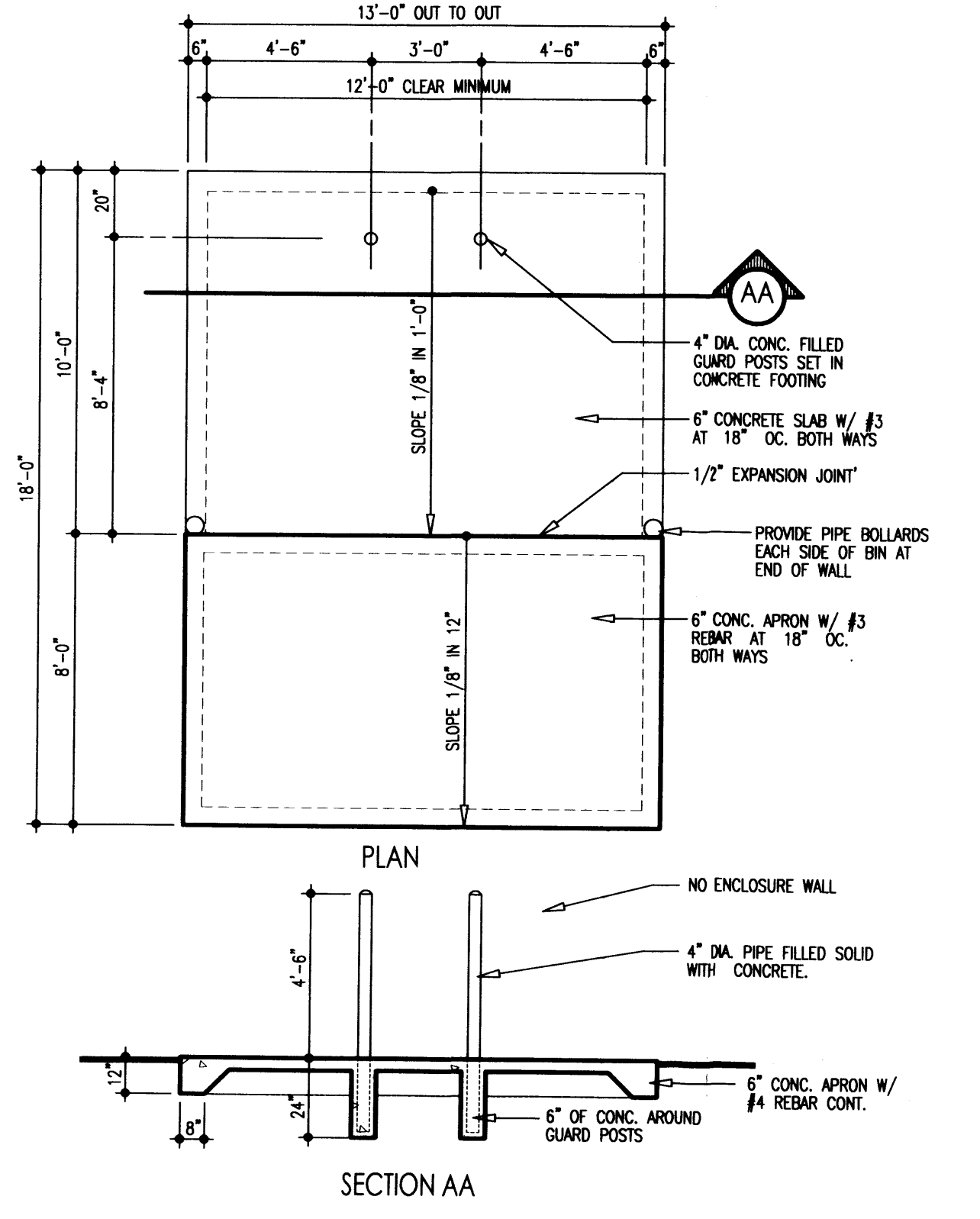


**SITE PLAN**  
 1" = 20.00'

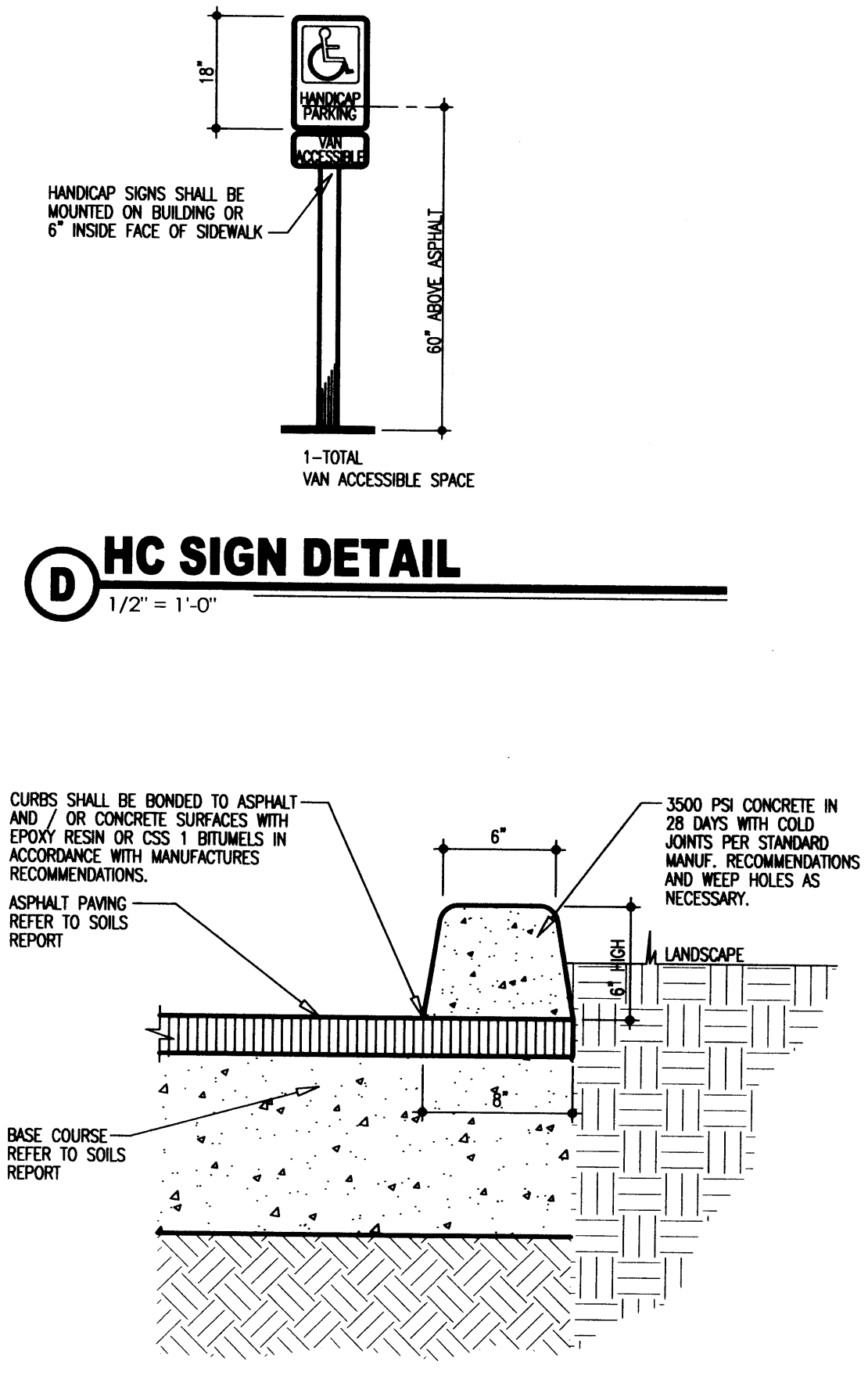
**REFUSE BIN LOCATION**  
 1" = 20.00'

### EXTERIOR LIGHTING FIXTURE SCHEDULE:

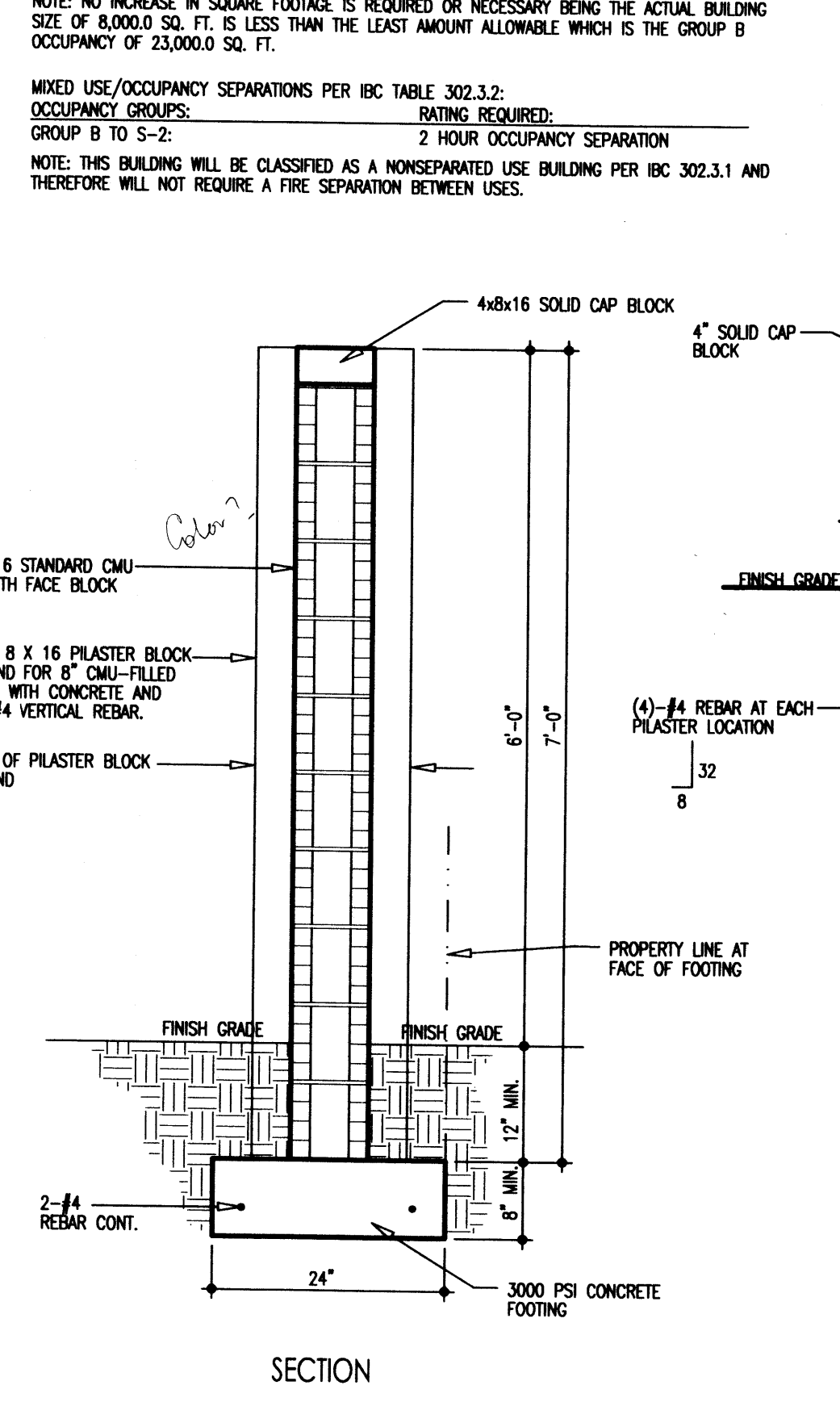
MARK	FIXTURE TYPE	INSTALLATION	LAMPS	DESCRIPTION
A	METAL HALIDE	EXTERIOR WALL	1-200W	"LITHONIA" TWH 200W 277 WITH DOWN LIGHT OFF SHIELD.
B	METAL HALIDE	RECESSED SOFFIT	1-100W	"LITHONIA" LPB1 100W 277/BL4 WITH LAMP



**A REFUSE BIN ENCLOSURE DETAIL**  
 1/4" = 1'-0"

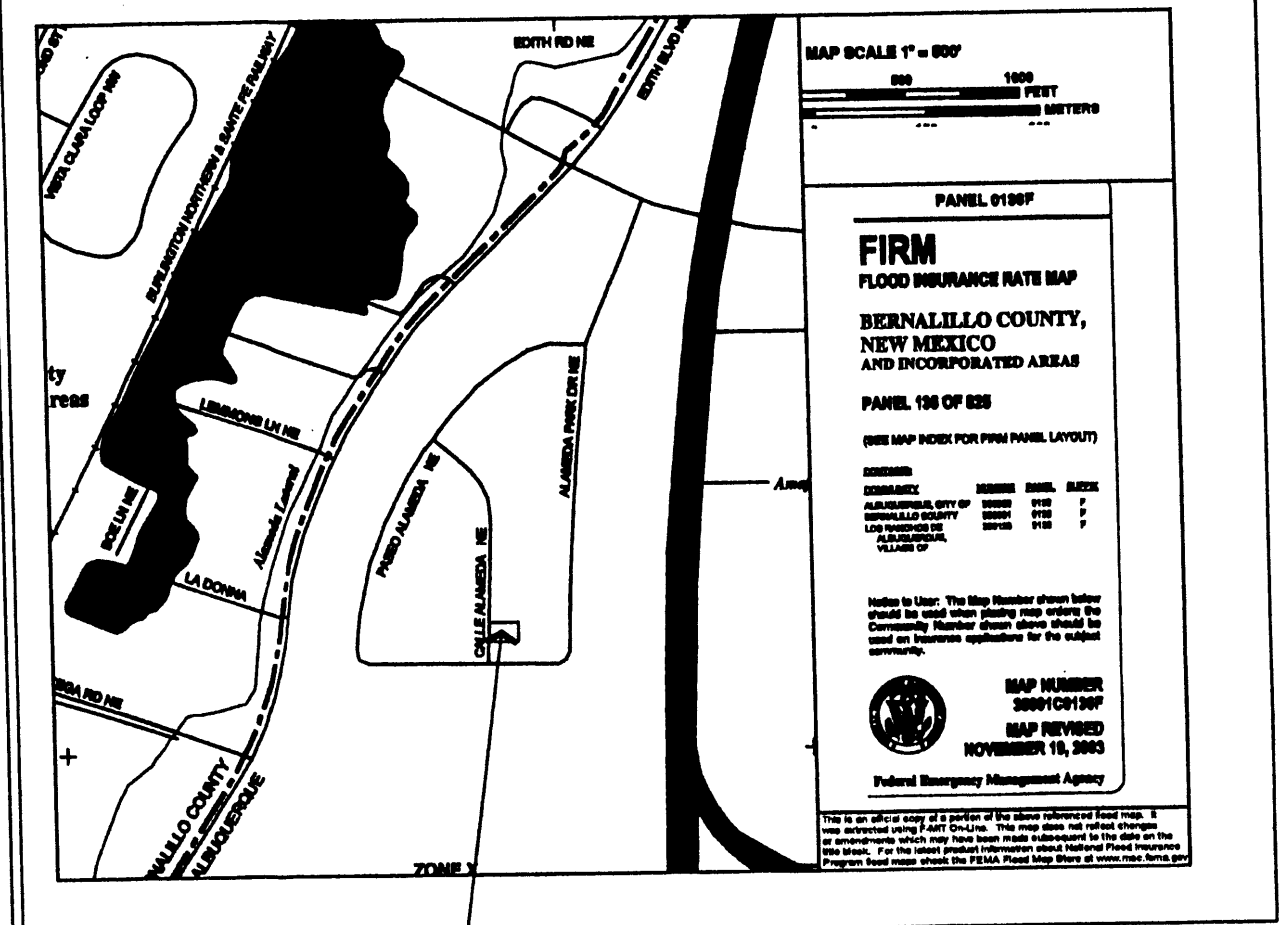
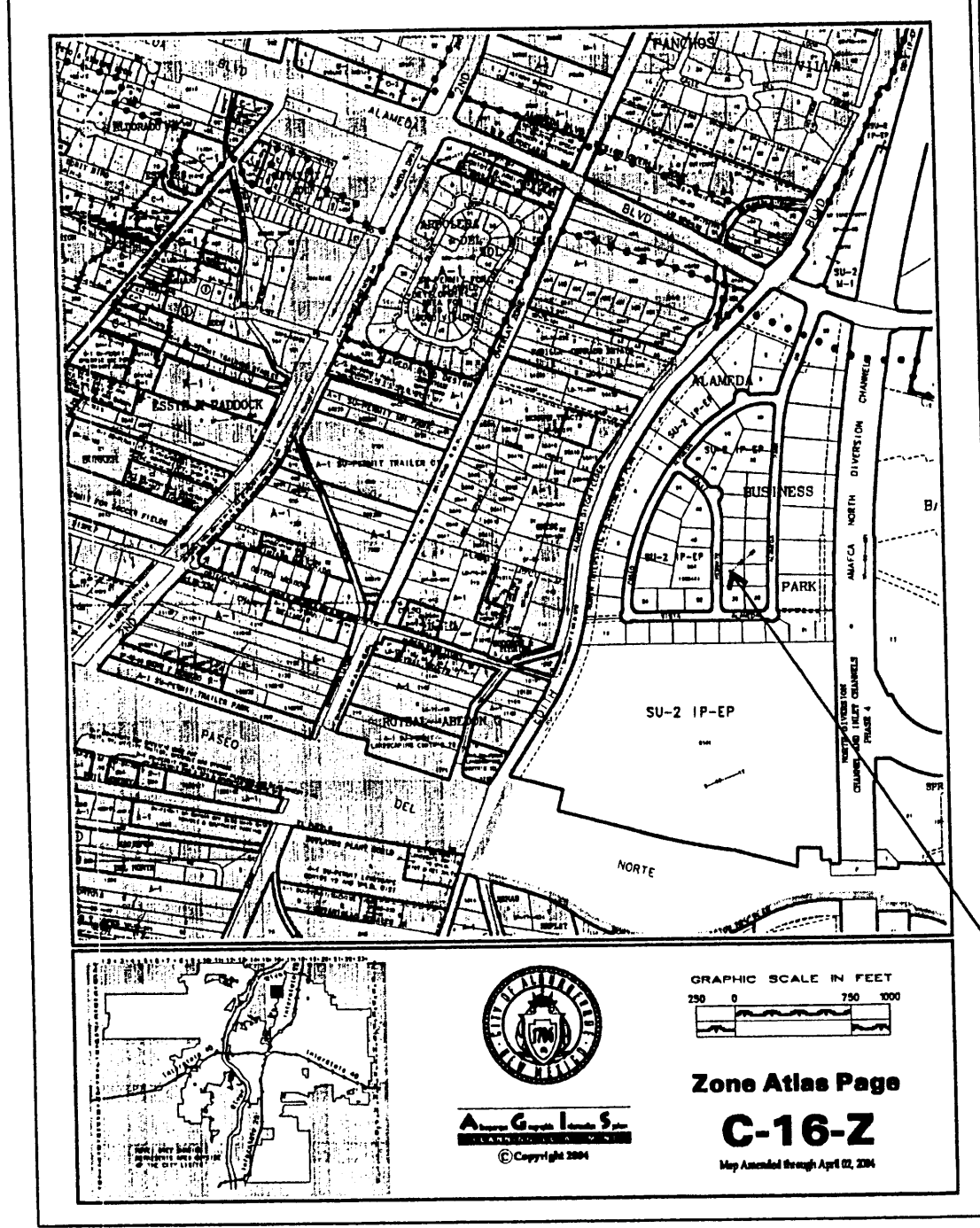


**B EXTRUDED CURB DETAIL**  
 1 1/2" = 1'-0"



**C GARDEN WALL DETAIL**  
 3/4" = 1'-0"



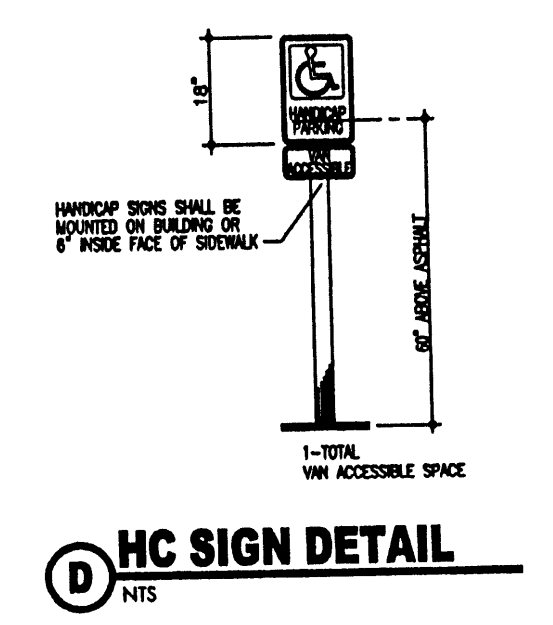


SITE LOCATION

**JONESPEC FLOOR DRAINS**

HEAVY-DUTY ADJUSTABLE FLOOR DRAIN

Model	Material	Finish	Size	Weight	Load Capacity
JD-100	Aluminum	Brush	10" x 10"	15 lbs	10,000 lbs
JD-150	Aluminum	Brush	15" x 15"	25 lbs	15,000 lbs
JD-200	Aluminum	Brush	20" x 20"	40 lbs	20,000 lbs
JD-300	Aluminum	Brush	30" x 30"	75 lbs	30,000 lbs
JD-400	Aluminum	Brush	40" x 40"	120 lbs	40,000 lbs
JD-500	Aluminum	Brush	50" x 50"	180 lbs	50,000 lbs



**GRADING/DRAINAGE PLAN**

THE FOLLOWING ITEMS CONCERNING LOT 40 ALAMEDA BUSINESS PARK (8504 CALLE ALAMEDA N.E.) ARE CONTAINED HEREON:

**EXISTING CONDITIONS**

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.5197 ACRES MORE OR LESS AND IS LOCATED NORTH OF THE INTERSECTION OF VISTA ALAMEDA N.E. AND CALLE ALAMEDA N.E. ON THE EAST SIDE OF CALLE ALAMEDA N.E. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0136F, REVISED NOVEMBER 19, 2003; THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

**PROPOSED CONDITIONS**

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 3300 SQ. FT. OFFICE/WAREHOUSE BUILDING ALONG WITH ASSOCIATED PAVED PARKING AND LANDSCAPED AREAS. A MASTER DRAINAGE PLAN WAS PREPARED BY BOHANNAN & HUSTON IN FEBRUARY OF 1999 AND APPROVED BY THE CITY HYDROLOGY SECTION. ON-SITE RUN-OFF WILL BE ROUTED THROUGH AND OUT THE PROPOSED DRIVEPAD LOCATED ON CALLE ALAMEDA N.E. AND INTO THE EXISTING ASPHALT SWALE LOCATED JUST NORTH OF THE PROPOSED BUILDING ALONG THE NORTH PROPERTY LINE. FROM THAT POINT THE RUN-OFF WILL TRAVEL NORTH ALONG CALLE ALAMEDA AND INTO PASO ALAMEDA AND INTO THE COMMON PONDING AREA (TRACT A) PROVIDED BY THE MASTER PLAN. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 0.5197 ac.  
OFFICE/WAREHOUSE FRO RAY CRAVEY  
ZONE 2

PRECIPITATION: 360 = 2.35 in.  
1440 = 2.75 in.  
10day = 3.95 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 in.	1.56 cfs/ac.
TREATMENT B 0.78 in.	2.28 cfs/ac.
TREATMENT C 1.13 in.	3.14 cfs/ac.
TREATMENT D 2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0 ac.	0.0528 ac.
TREATMENT C 0.49776 ac.	0.0594 ac.
TREATMENT D 0.02194 ac.	0.4075 ac.

**EXISTING EXCESS PRECIPITATION:**

Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(0.50) + (2.12)(0.02) / 0.52 ac. = 1.17 in.

V100-360 = (1.17)(0.52) / 12 = 0.050748 ac-ft = 2211 CF

**EXISTING PEAK DISCHARGE:**

Q100 = (1.56)(0.00) + (2.28)(0.00) + (3.14)(0.50) + (4.70)(0.02) = 1.67 CFS

**PROPOSED EXCESS PRECIPITATION:**

Weighted E = (0.53)(0.00) + (0.78)(0.05) + (1.13)(0.06) + (2.12)(0.41) / 0.52 ac. = 1.87 in.

V100-360 = (1.87)(0.52) / 12.0 = 0.081017 ac-ft = 3529 CF

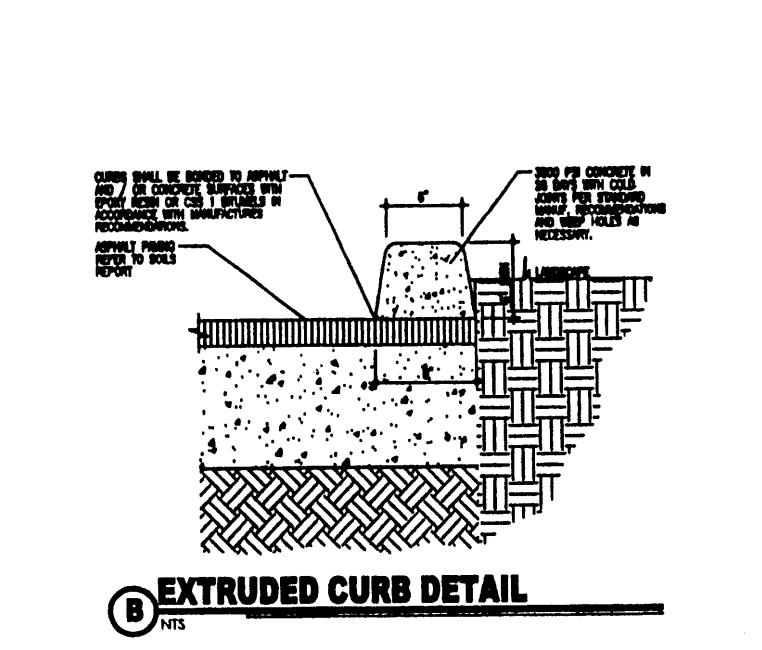
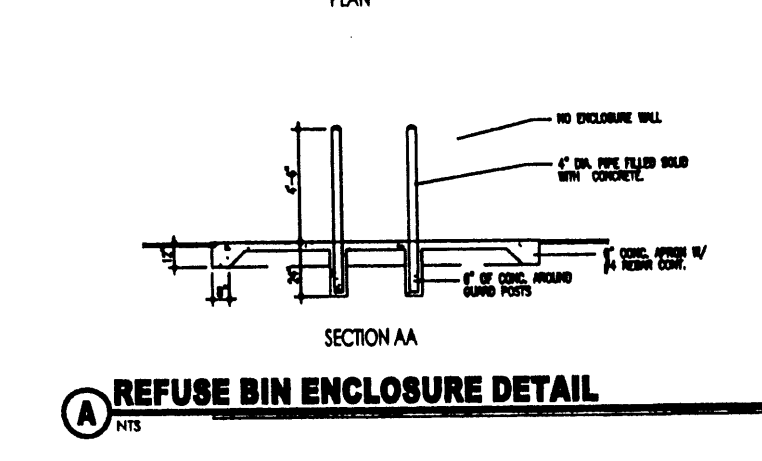
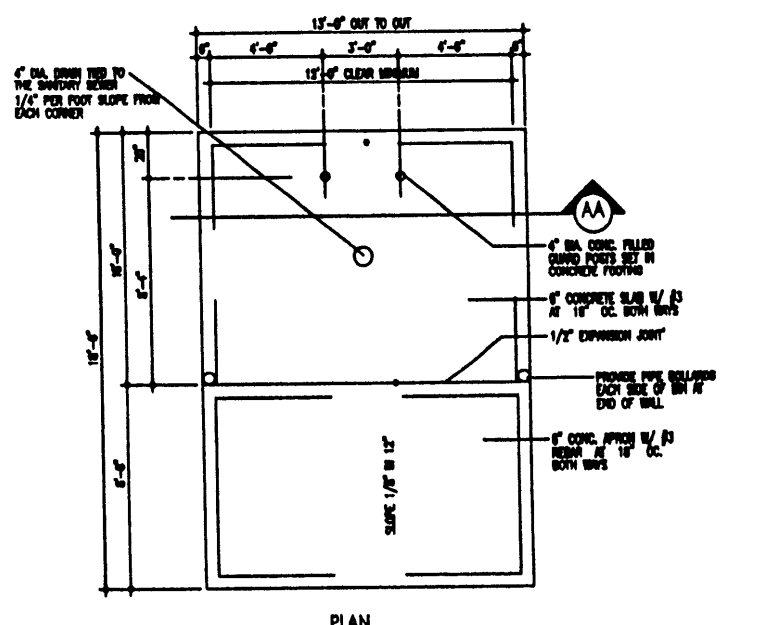
V100-1440 = (0.08)(0.41)(2.75 - 2.35) / 12 = 0.094601 ac-ft = 4121 CF

V100-10day = (0.08)(0.41)(3.95 - 2.35) / 12 = 0.135351 ac-ft = 5896 CF

**PROPOSED PEAK DISCHARGE:**

Q100 = (1.56)(0.00) + (2.28)(0.05) + (3.14)(0.06) + (4.70)(0.41) = 2.23 CFS cfs

INCREASE 2.23 CFS - 1.67 CFS = 0.56 CFS

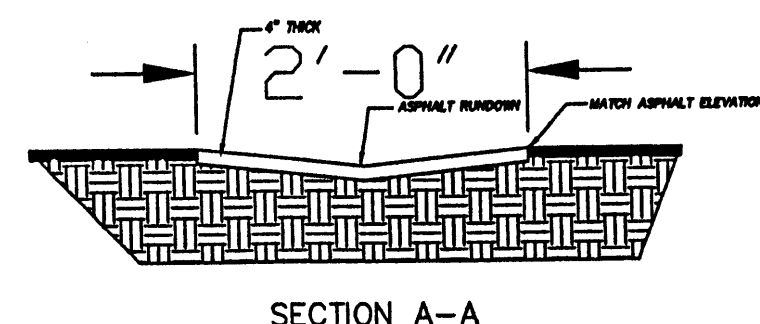


**NOTE TO CONTRACTOR:**

- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with the 1986 edition of the City of Albuquerque Standard Specification for Public Works Construction through Update 7, Amendment 1.
- Two working days prior to any excavation, contractor must contact line locating Services (260-1990) for locating existing sub-surface utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions; Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
- Backfill compaction shall be according to commercial use or soils report(s) recommendations.
- All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
- Maintenance of this facilities shall be the responsibility of the owner of the property it serves

**EROSION CONTROL MEASURES**

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE
  - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
  - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



**LEGAL DESCRIPTION**

LOT 40  
ALAMEDA BUSINESS PARK  
BERNALILLO COUNTY, ALBUQUERQUE  
NEW MEXICO.

**BENCHMARK:**

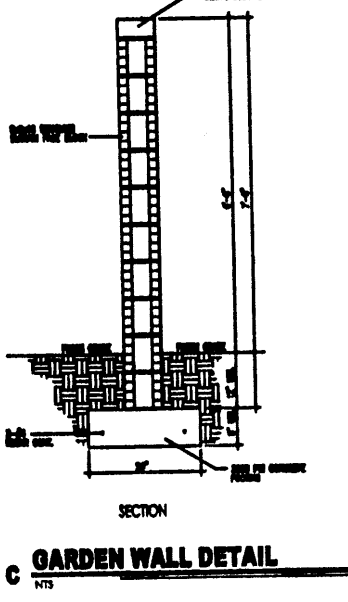
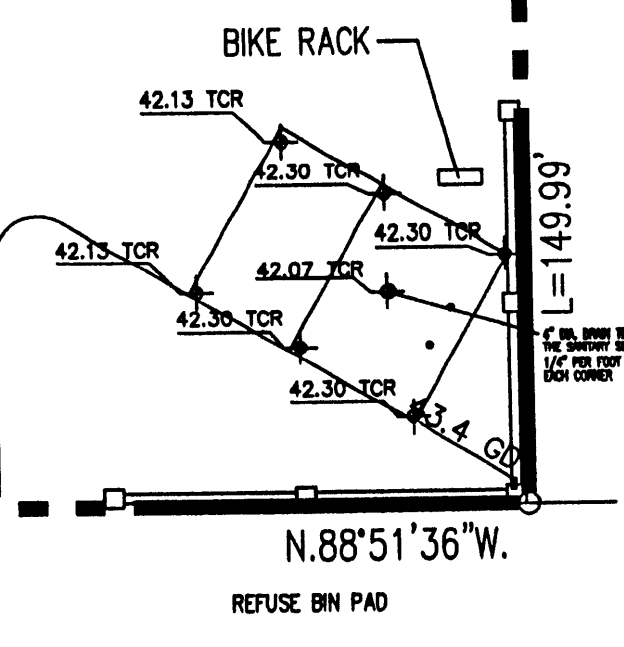
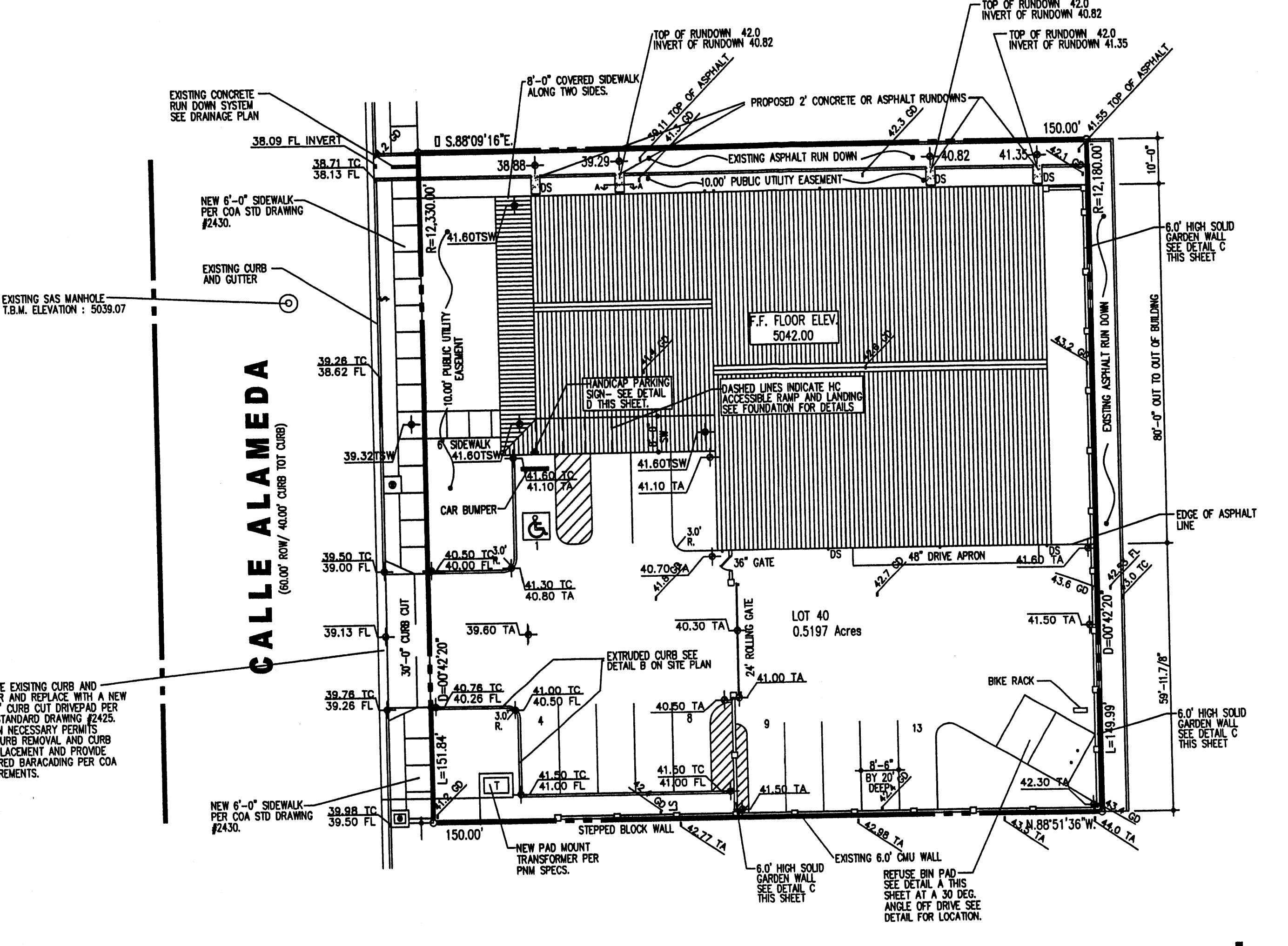
ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION "NDC 1-71A" HAVING AN ELEVATION OF 5053.10  
T.B.M. TOP OF MANHOLE LOCATED JUST WEST OF THE SITE ON CALLE ALAMEDA ELEVATION: 5039.07 AS SHOWN ON PLAN DRAWING

**SYMBOL LEGEND**

- EXISTING CONTOUR ----- 4954
- EXISTING SPOT ELEVATION ----- 54.50 TC
- DESIGN CONTOUR -----
- PROPOSED SPOT ELEVATION -----
- PROPERTY LINE -----
- EASEMENT LINE -----
- FLOW DIRECTION -----
- EXISTING SPOT ELEVATION -----
- DOWN SPOUT -----
- ABBREVIATION LEGEND
- TOP OF CONC PAD ----- TCP
- TOP OF CURB ----- TC
- TOP OF ASPHALT ----- TA
- TOP OF BERM ----- TB
- BOTTOM OF POND ----- BP
- FINISHED FLOOR ----- FF
- LANDSCAPING ----- LS
- DOWNSPOUT ----- DS
- TOP OF CONCRETE ----- TCR
- GROUND ----- GD
- TOP OF SIDEWALK ----- TSW

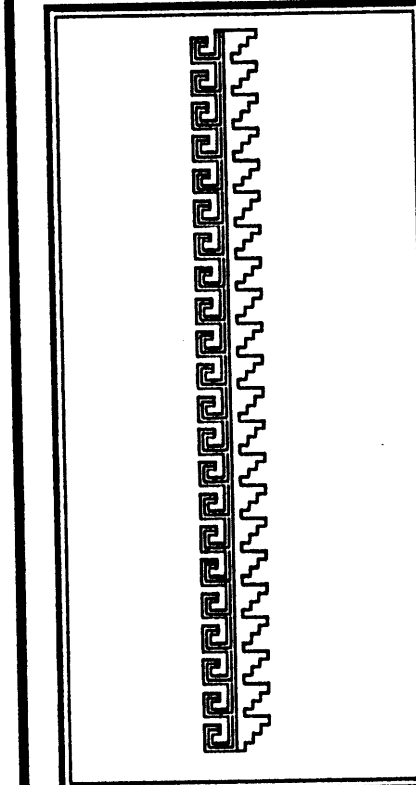
**GRADING & DRAINAGE PLAN**

Scale 1" = 20'-0"



JOB NO: XXXXXX  
DATE: JANUARY 2007  
REVISIONS  
2-26-2007

Sheet Title  
**GRADING & DRAINAGE PLAN**  
Drawn By: HTH & BIM Checked By: ES

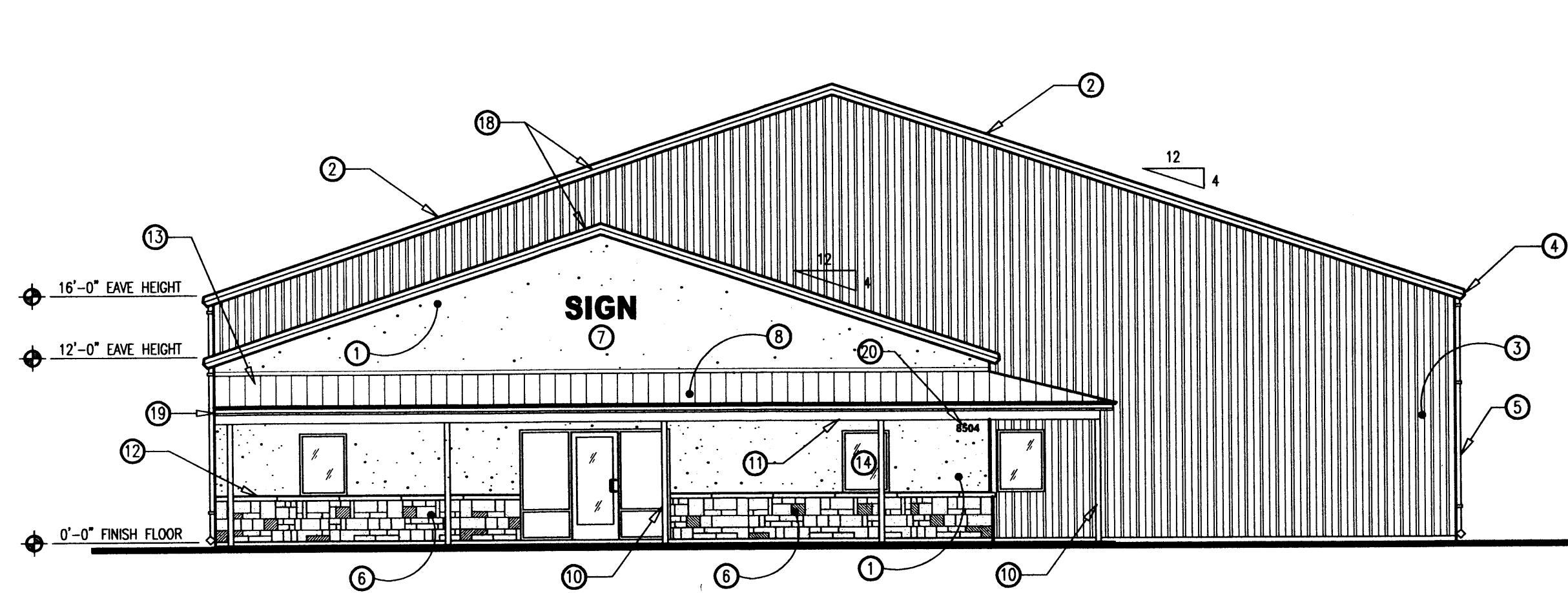


Job Title  
RAY CRAVEY LEASE BUILDING  
8504 CALLE ALAMEDA N.E.  
ALBUQUERQUE, NEW MEXICO

SHEET NO.  
00

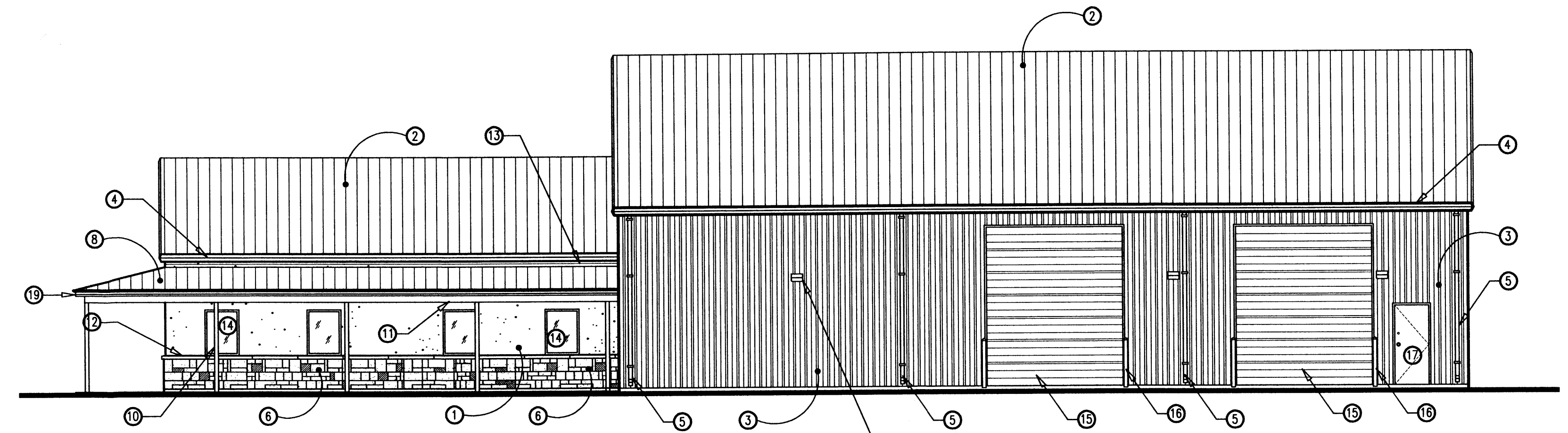






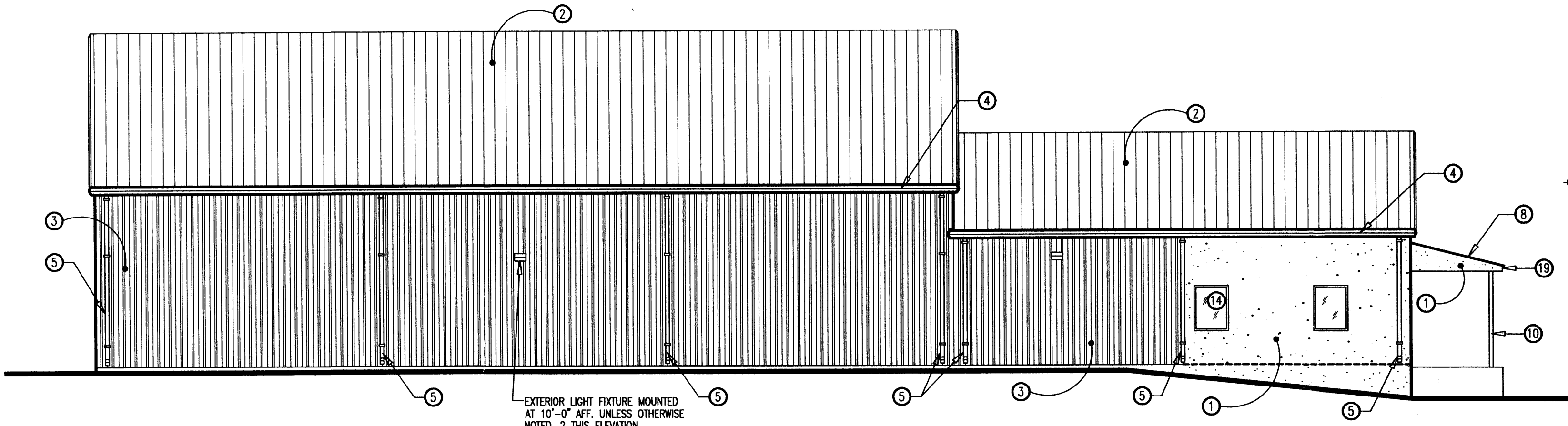
**WEST ELEVATION**

1/8" = 1'-0"



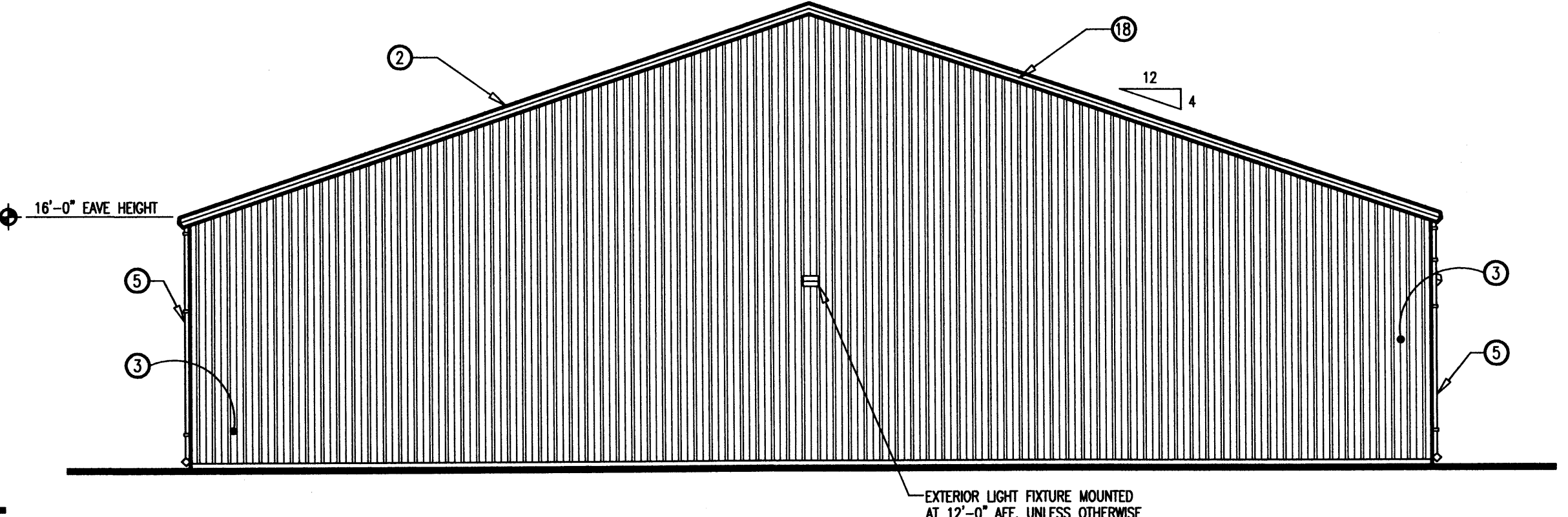
**SOUTH ELEVATION**

1/8" = 1'-0"



**NORTH ELEVATION**

1/8" = 1'-0"



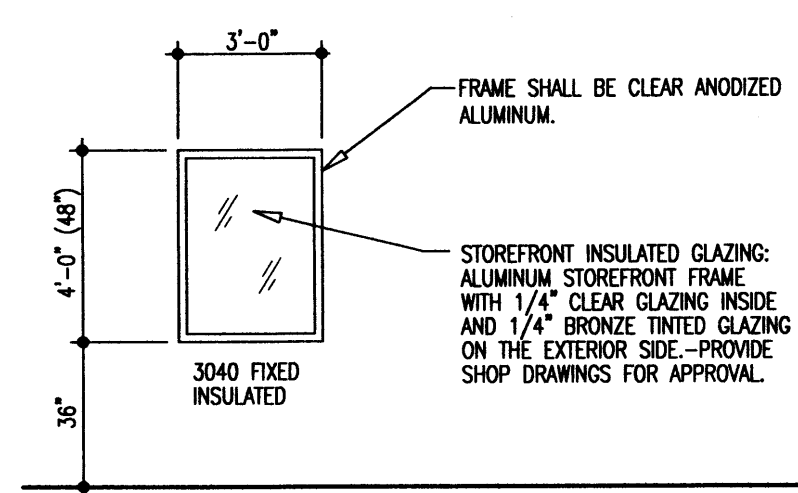
**EAST ELEVATION**

1/8" = 1'-0"

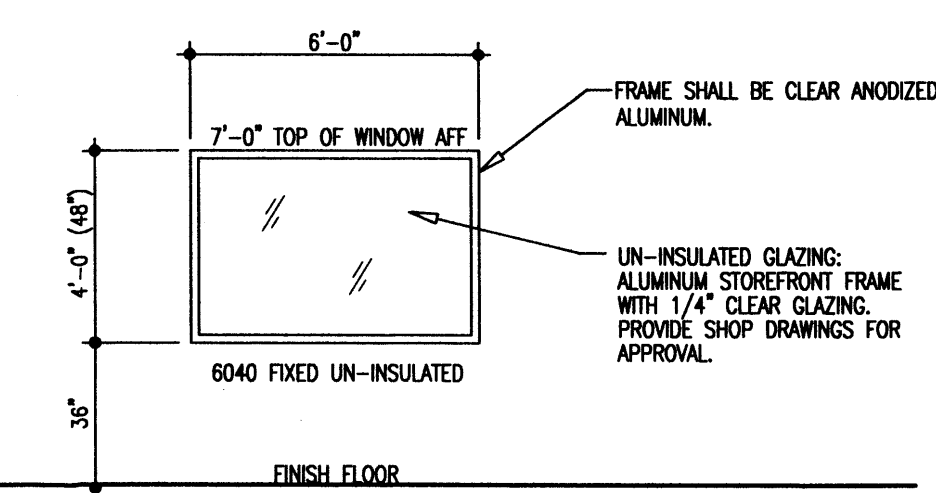
**ELEVATION NOTES:**

- ① STUCCO SYSTEM: 5/8" TYPE "X" EXTERIOR BROWN BOARD SHEATHING WITH EL REY "FASTWALL" FIBER RE-INFORCED STUCCO WALL SYSTEM APPLIED OVER MINIMUM 20 GAGE 1" GALVANIZED STEEL WOVEN WIRE FABRIC AND 30# FELT. COLORS SHALL BE LIGHT TO MEDIUM TAN/BROWN COLORED STUCCO APPROVED BY OWNER. PER EVALUATION REPORT #5129.
- ② ROOF SHEETS: 26 GAGE DURA-20 PR-RIB ROOF SHEETS - RED.
- ③ 26 GAGE ARCHITECTURAL WALL PANELS - COLOR TO OWNERS APPROVAL.
- ④ EAVE GUTTER - COLOR TO OWNERS APPROVAL.
- ⑤ DOWNSPOUTS - COLOR TO OWNERS APPROVAL.
- ⑥ 1 1/2" THICK STACKED STONE MOUNTAIN BLEND VENEER WITH GROUT BASE OVER 30# FELT AND 5/8" EXTERIOR BROWN BOARD SHEATHING.
- ⑦ SIGN - TO BE PERMITTED AND INSTALLED BY A SIGN CONTRACTOR.
- ⑧ 26 GAGE RED ARCHITECTURAL METAL PANELS OVER 1 1/2" 22 GAGE METAL ROOF DECK ATTACHED TO ROOF JOISTS. SEE STRUCTURAL PLANS FOR MORE INFORMATION.
- ⑨ NOT USED.
- ⑩ PORTAL COLUMN: TS 4"x4"x 3/16" TUBE STEEL COLUMN WITH STEEL PLATES TOP AND BOTTOM ANCHORED TO THE FOOTING SUPPORTING THE STEEL BEAM ABOVE. SEE DETAILS J AND K SHEET S3. SEE NOTE BELOW FOR PAINT.
- ⑪ PORTAL BEAM: TS 4"x8"x 3/16" TUBE STEEL BEAM. SEE DETAILS J AND K SHEET S3. SEE NOTE BELOW FOR PAINT.
- ⑫ 4" HIGH ROCK WATER TABLE CAP. REFER TO MANUFACTURERS SPECIFICATION FOR INSTALLATION AND ATTACHMENT RECOMMENDATIONS.
- ⑬ WALL TO PORTAL METAL FLASHING: - COLOR TO MATCH ROOF.
- ⑭ 3040 STOREFRONT INSULATED GLAZING - SEE DETAIL A THIS SHEET.
- ⑮ 12" WIDE BY 14" HIGH 24 GAGE STEEL SECTIONAL VERTICAL LIFT OVERHEAD DOOR.
- ⑯ 4" DIAMETER CONCRETE FILLED GUARD POSTS - SEE DETAIL J SHEET S1.
- ⑰ 3070 HOLLOW METAL WALK DOOR.
- ⑱ RAKE TRIM - COLOR TO OWNERS APPROVAL.
- ⑲ METAL DRIP EDGE OVER A METAL FASCIA CAP AND SOFFIT END PIECE.
- ⑳ 6" HIGH ADDRESS NUMBER.

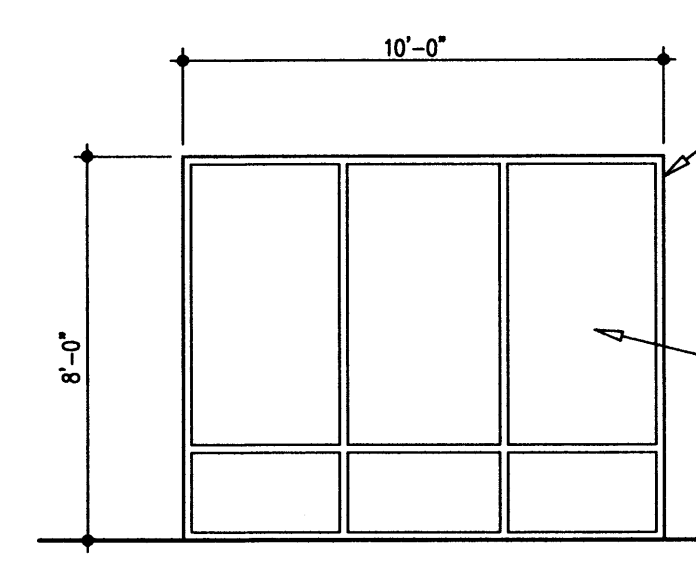
GENERAL NOTE: ALL PAINT TO BE 1 COAT PRIMER AND 2 COATS FINISH PAINT.



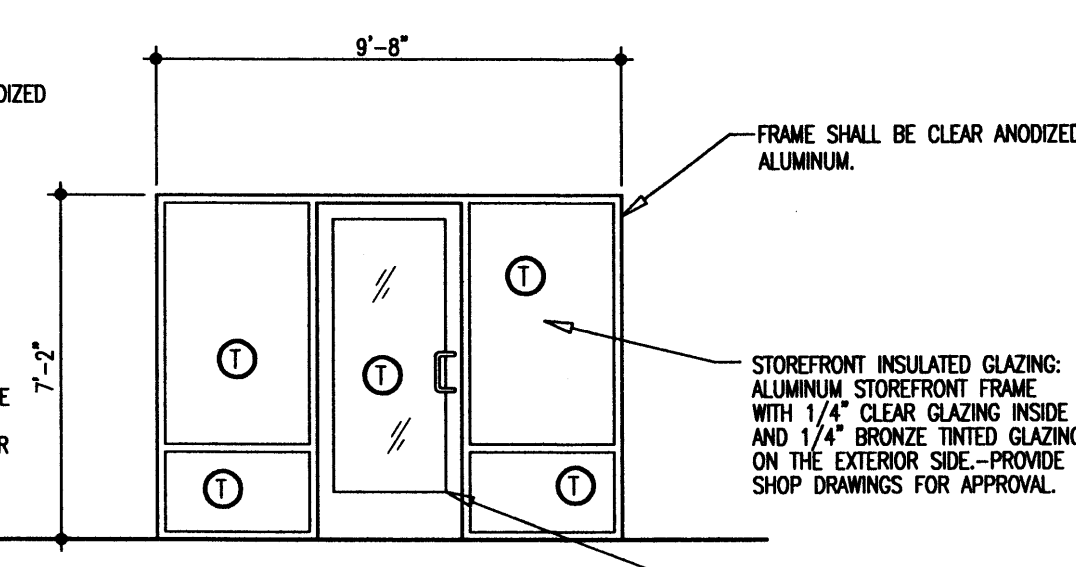
**TYPE A (9-TOTAL)**



**TYPE B (1-TOTAL)**



**TYPE C (2-TOTAL)**



**TYPE D (1-TOTAL)**

① NOTE: ALL GLASS IN THE ELEVATION SHALL BE TEMPERED OR LAMINATE PROTECTIVE GLAZING.

**A WINDOW ELEVATION TYPES**

1/4" = 1'-0"

**HRJ ARCHITECTURE, LLC**  
 PO BOX 1088 PECOS, NEW MEXICO 87535 (505) 757-3691  
 FAX (505) 757-8882 email: hrj\_arch@cybermesa.com

DATE:  
 PLOT DATE: March 30, 2007  
 REVISIONS:  
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 △  
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 FILE: RCSHTAG.DWG

PROPOSED FACILITY  
 FOR  
**Ray Cravey**  
 8504 CALLE ALAMEDA N.W.  
 ALBUQUERQUE, NM 87113

ELEVATIONS, NOTES,  
 WINDOW DETAILS  
 SHEET NO.  
**A5**  
 JOB NO. : 06-101 OF 6