

- GENERAL NOTES:**
- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
  - THE AREA OF SIGNAGE ALLOWED FOR EACH TENANT SPACE SHALL NOT EXCEED 6% OF THAT FACADE, PER THE CENTER'S APPROVED SITE DEVELOPMENT PLAN.
  - CURRENT ZONING IS CU-1 FOR USES PERMISSIVE IN IT WITH EXCEPTIONS.
- KEYED NOTES:**
- PROPOSED CONCRETE SIDEWALK. SEE 7/A003.
  - EXISTING PAVED ACCESS ROAD TO REMAIN. PATCH & REPAIR PAVEMENT WITH NEW CONSTRUCTION.
  - PROPOSED LANDSCAPED AREA.
  - EXISTING LIGHT POLE.
  - PROPOSED CONCRETE PARKING BUMPERS.
  - PROPOSED PAINTED HC PARKING SYMBOL. SEE 3/A003.
  - PROPOSED CONCRETE CURB.
  - EXISTING SIGN AND PLANTER.
  - EXISTING PAVED ACCESS ROAD PER CITY STD. DETAIL 2426.
  - PROPOSED SITE LIGHT. SEE 11/A003.
  - PROPOSED 6" CONCRETE SIDEWALK PER CITY STD. DETAIL 2430.
  - PROPOSED ELECTRICAL TRANSFORMER LOCATION.
  - EXISTING FIRE HYDRANT.
  - PROPOSED HC PARKING SIGN, TYPICAL OF 4. SEE 4/A003.
  - PROPOSED HC AISLE STRIPING. SEE 2/A003.
  - PROPOSED TEXTURED CMU DUMPSTER ENCLOSURE WITH RECYCLING STORAGE AREA. SEE 5/A003.
  - PROPOSED MONUMENT SIGN. SEE 10/A003.
  - PROPOSED HC RAMP. SEE 1/A003.
  - PROPOSED BIKE RACK. SEE DETAIL 12/A003.
  - EXISTING CMU RETAINING WALL.
  - PROPOSED 6" WIDE TEXTURED CONCRETE PEDESTRIAN WALKWAY.
  - PROPOSED 4' CONCRETE BENCH.
  - PROPOSED (2) 4'x8' MOTORCYCLE SPACES WITH PARKING SIGN.
  - PROPOSED UNIDIRECTIONAL HC RAMP PER CITY STD. DETAIL 2441.
  - PROPOSED 6" SIDEWALK.
  - PROPOSED FIRE HYDRANT.
  - PROPOSED TEXTURED CMU RETAINING WALL. COLOR TO BE: LIGHT TAN. SEE CIVIL.
  - PROPOSED 50' WIDE ASPHALT PAVING FROM EAST PROPERTY LINE TO EXISTING PAVED DRIVE ON LOT H6A7A1A (APPROXIMATELY 50').
  - STORM DRAIN DROP INLET. REFER TO CIVIL.
  - STORM DRAIN OUTLET AT SIDEWALK CULVERT. REFER TO CIVIL. EXTENT OF 400 SF. PATIO SPACE.

**PARKING CALCULATIONS:**

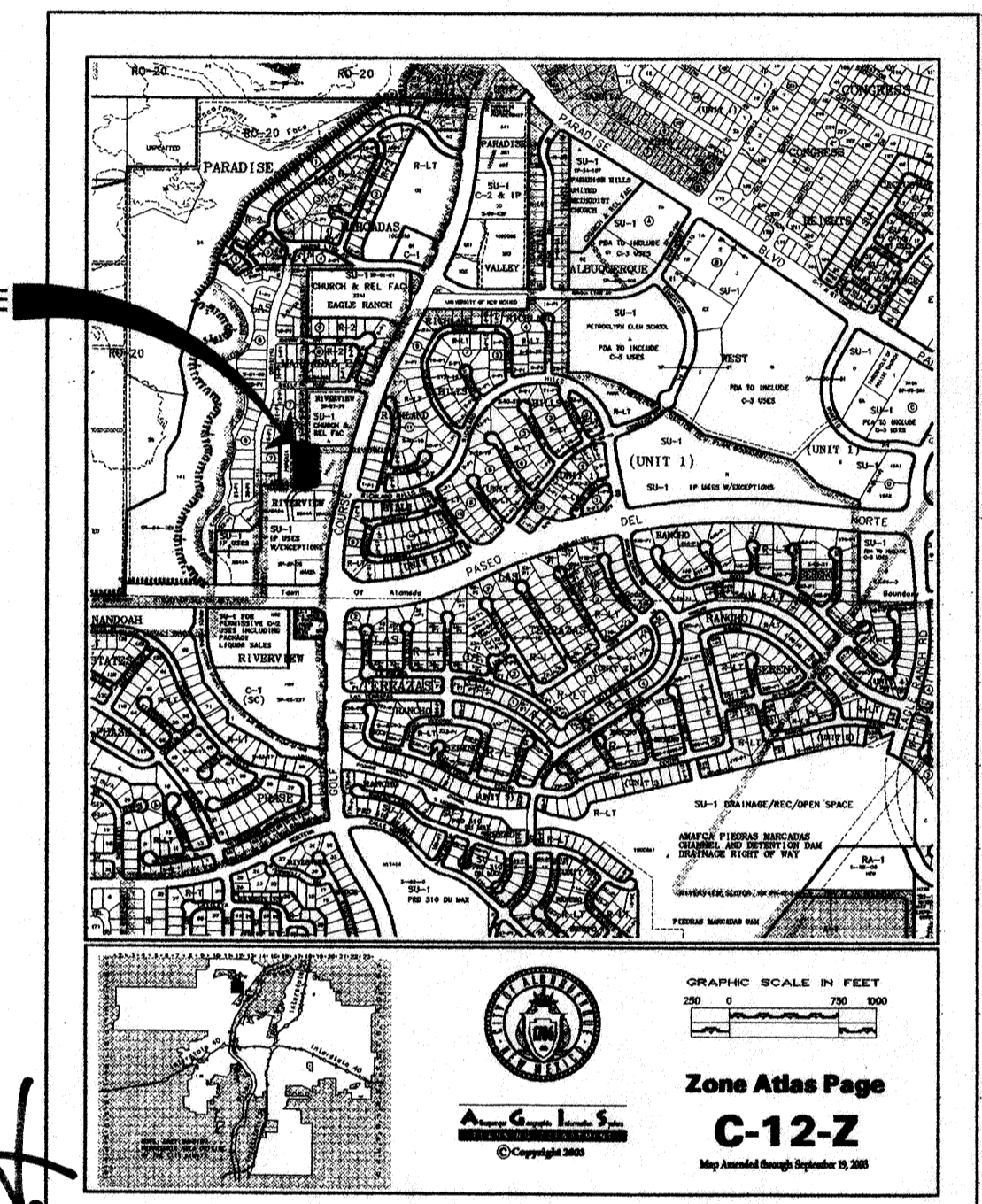
9,938 SF/200 = 50 REQUIRED SPACES LESS 10% BUS ROUTE CREDIT (ROUTE 92 & 157) = 45 SPACES REQUIRED INCLUDING 3 HANDICAP (1 VAN), 2 MOTORCYCLE SPACES REQUIRED.

46 SPACES PROVIDED INCLUDING 4 HANDICAP (1 VAN), 2 MOTORCYCLE SPACES. NEW MEXICO ZONING CODE ALLOWS FOR 25% OF REQUIRED SPACES TO BE COMPACT. 12 SPACES ALLOWED TO BE COMPACT. 9 COMPACT SPACES PROVIDED.

**AERIAL PHOTOGRAPH**



**VICINITY MAP (C-12)**



APD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
R.C. 8-13-07  
SIGNATURE & DATE

#1005484

PROJECT NUMBER: 1005484	APPLICATION NUMBER: 01028-2019
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: MAY 17, 2006 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:</b>	
<i>[Signature]</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	8-27-07 Date
N/A UTILITIES DEVELOPMENT	Date
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	8/22/07 Date
<i>[Signature]</i> CITY ENGINEER	8/22/07 Date
N/A ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>[Signature]</i> SOLID WASTE MANAGEMENT	8/14/07 Date
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	8/22/07 Date

revision	
by	
date	
rev	▲▲▲▲▲

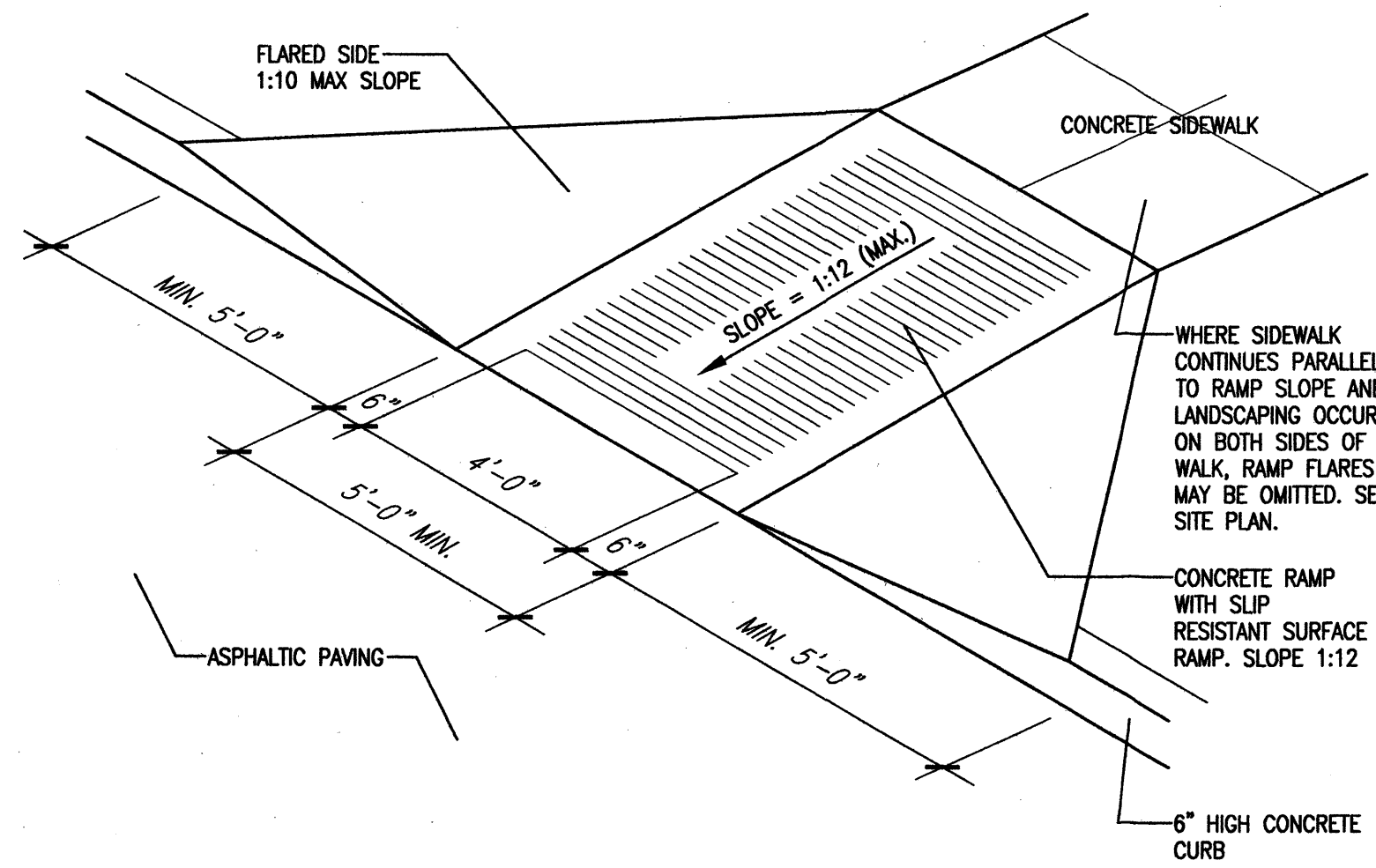


Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque, NM 87102  
505 268 4144 [p]  
505 268 4244 [f]

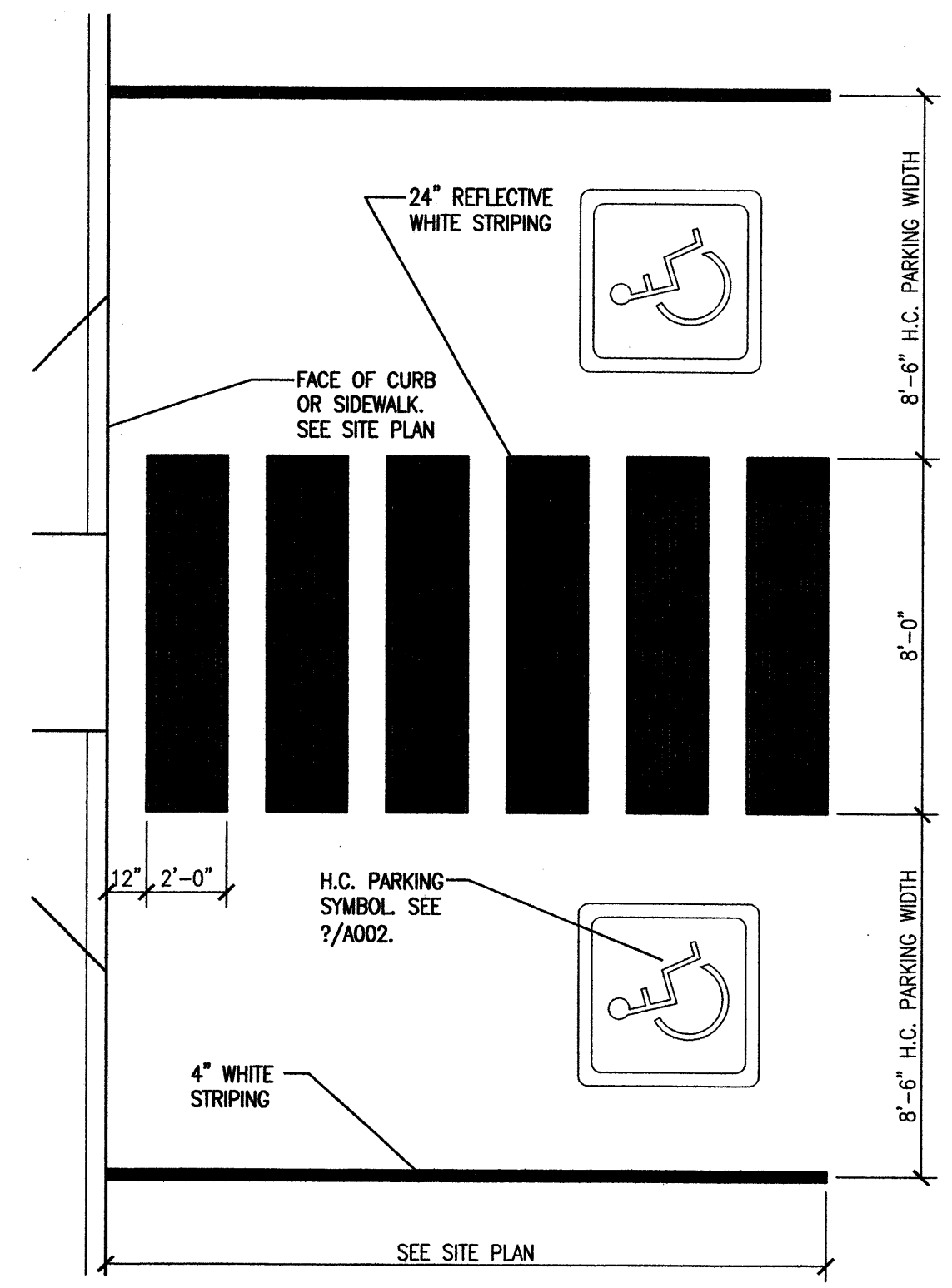
job number	07-08
drawn by	MAG
project manager	Douglas Heller, AIA
date	8/14/07

project title  
**Retail Pad Building**  
Northwest Corner of Paseo Del Norte and Golf Course Road  
Albuquerque, New Mexico

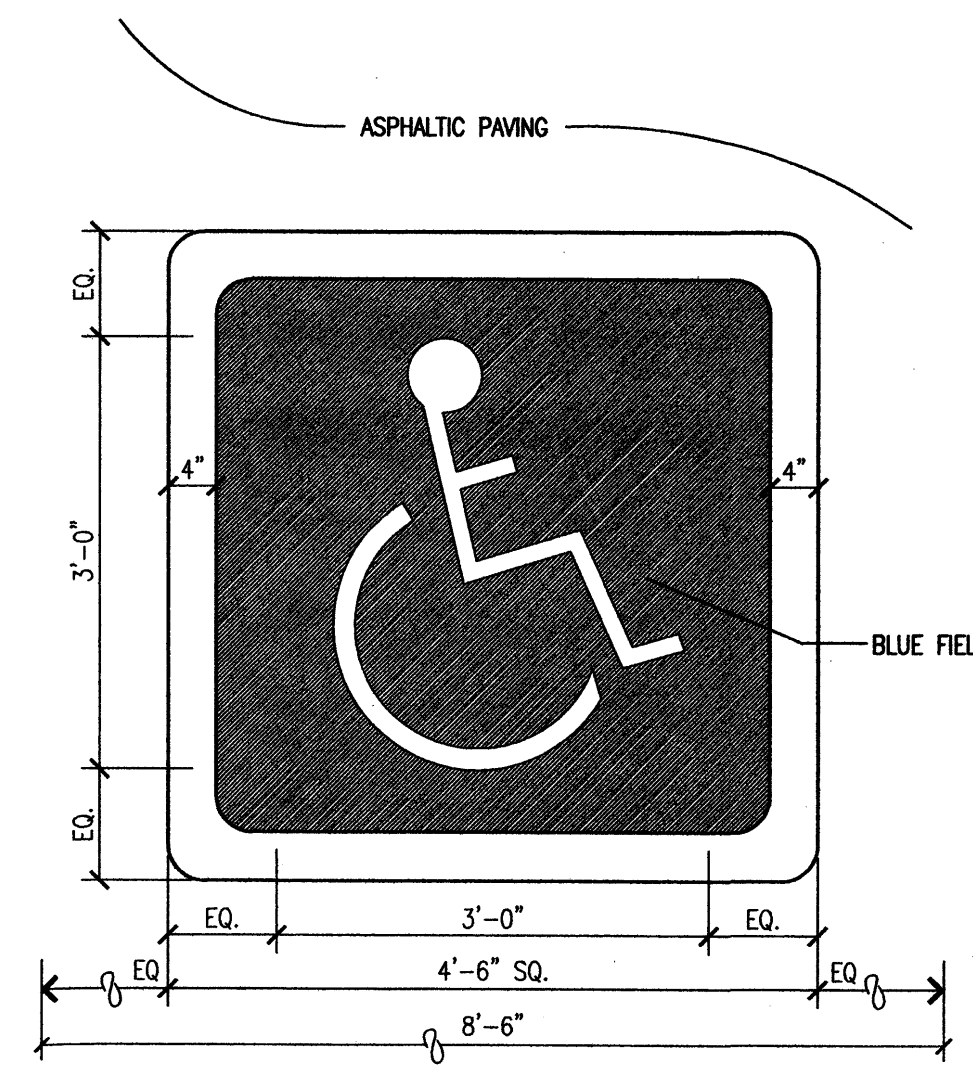
sheet title  
**Site Development Plan for Building Permit**



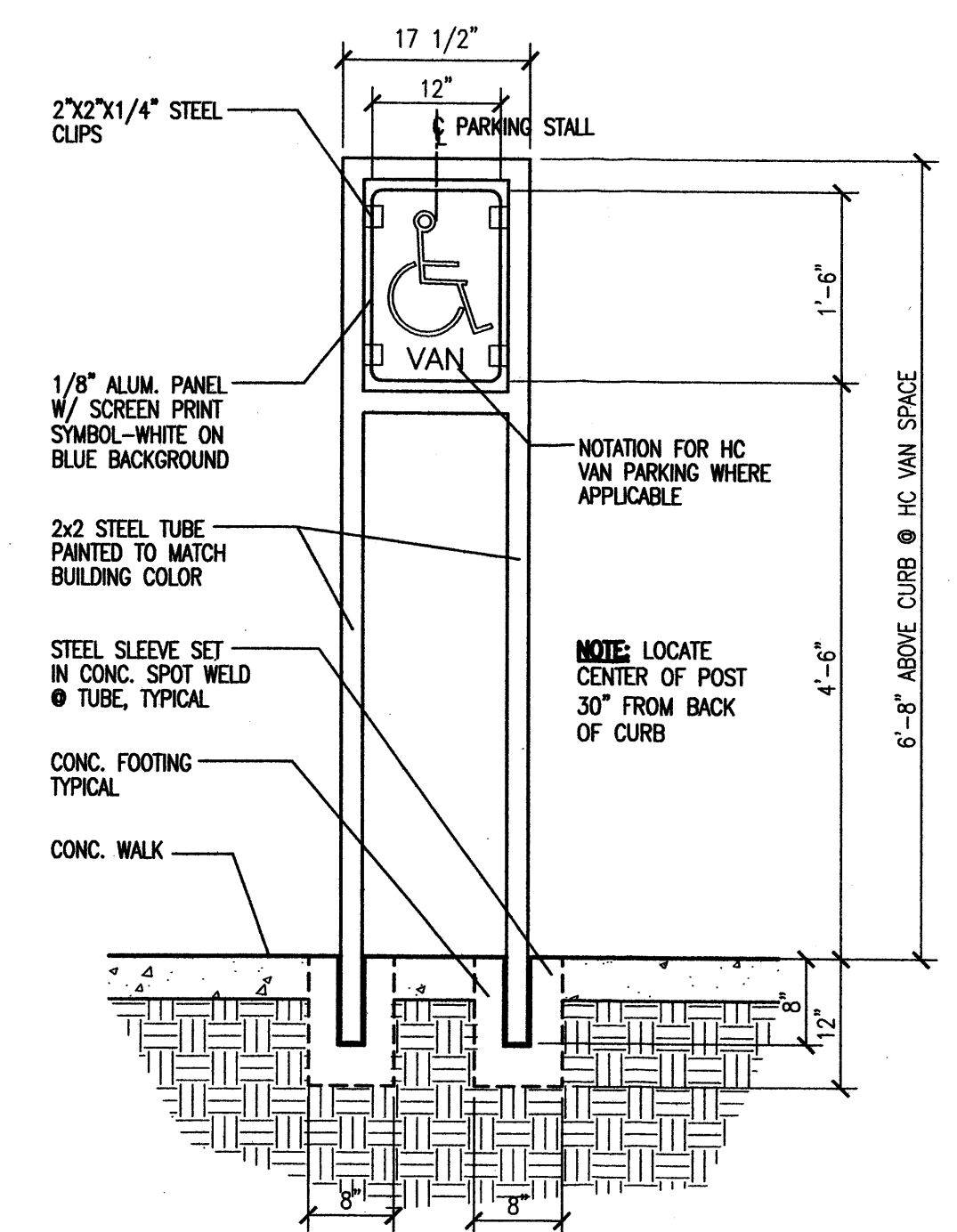
1 HC Ramp Detail  
Scale: Not To Scale (Isometric)



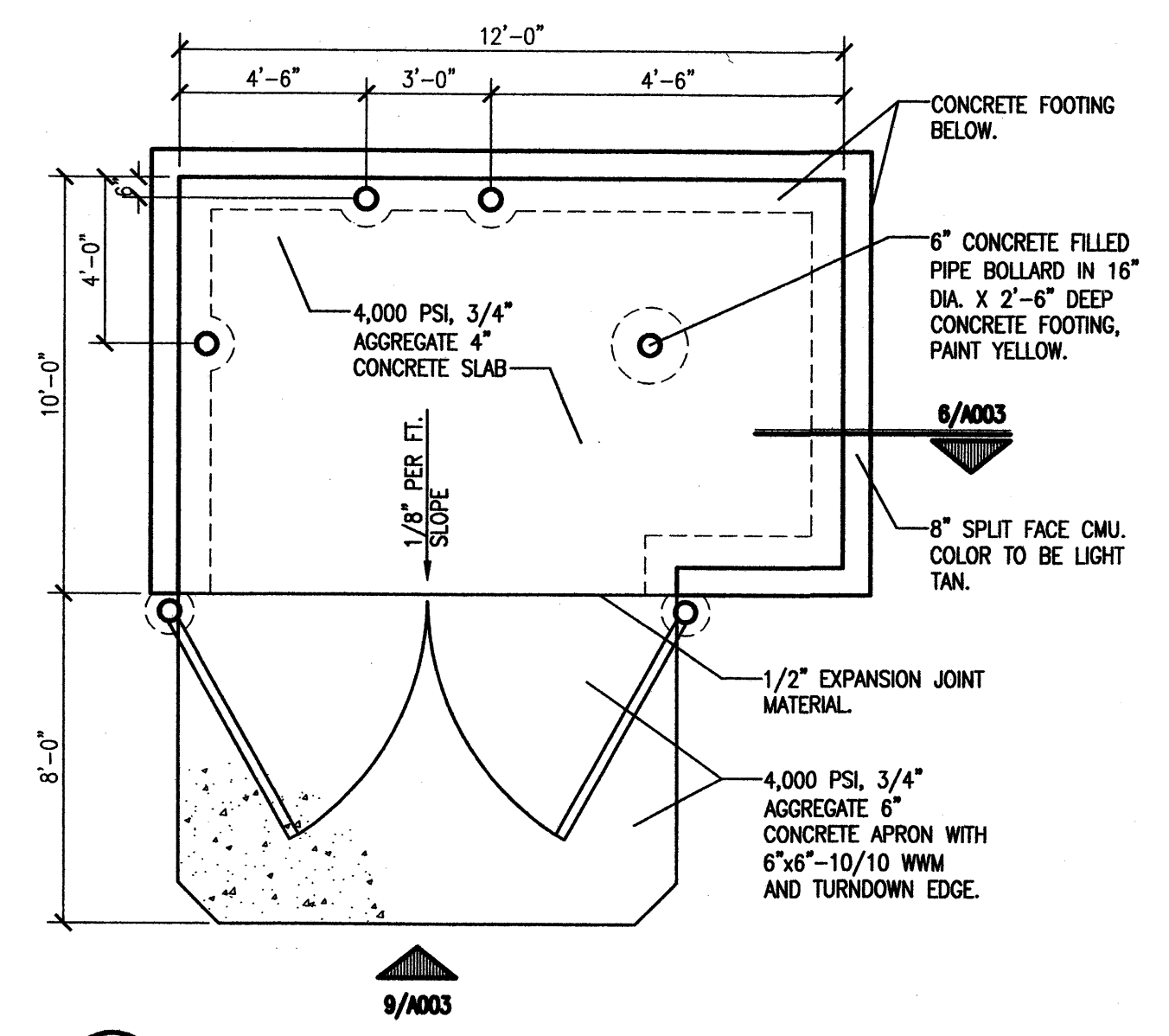
2 HC Parking Striping Detail  
Scale: 1/4"=1'-0"



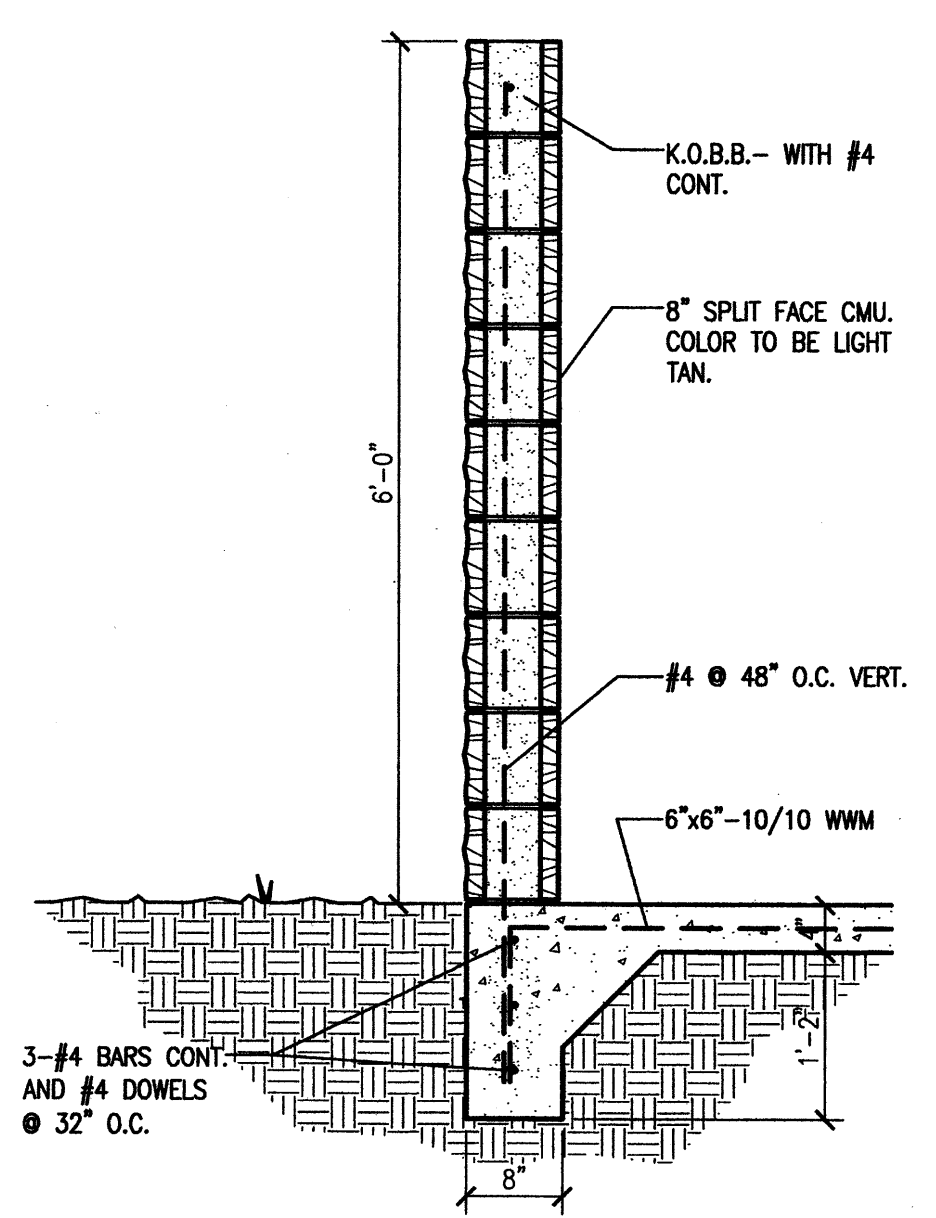
3 HC Pavement Sign Detail  
Scale: 3/4"=1'-0"  
NOTE: SEE SITE PLAN ORIENTATION.



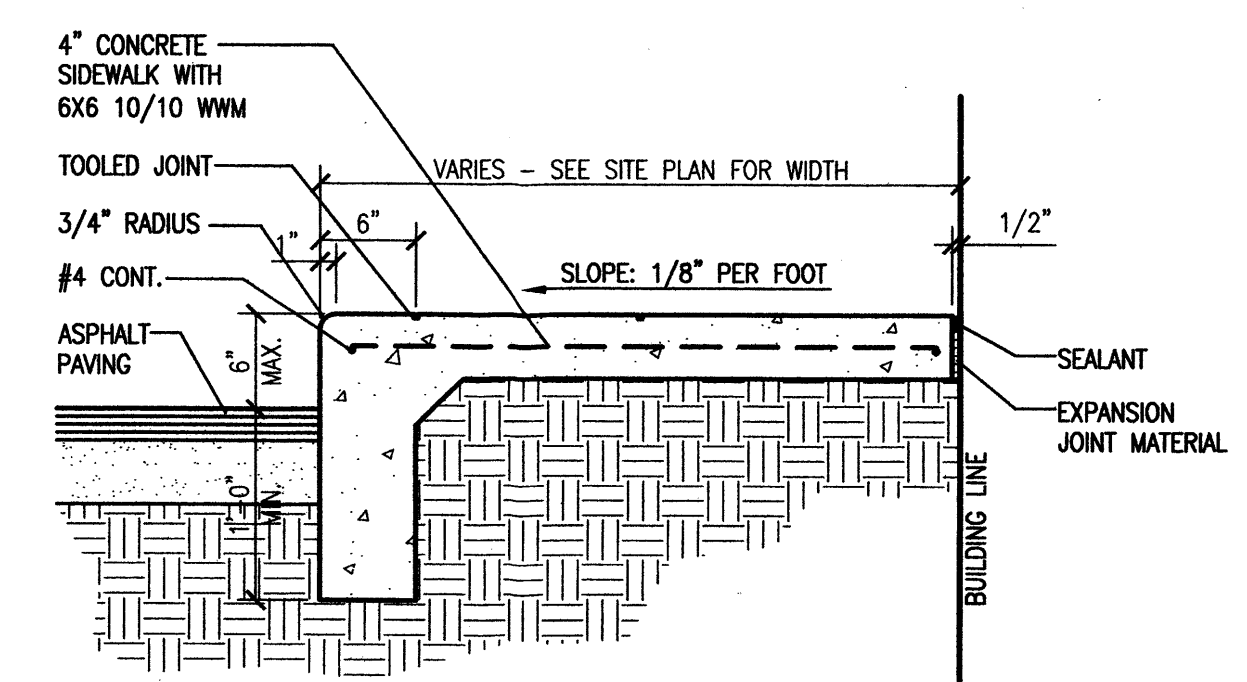
4 HC Parking Sign Detail  
Scale: 3/4"=1'-0"



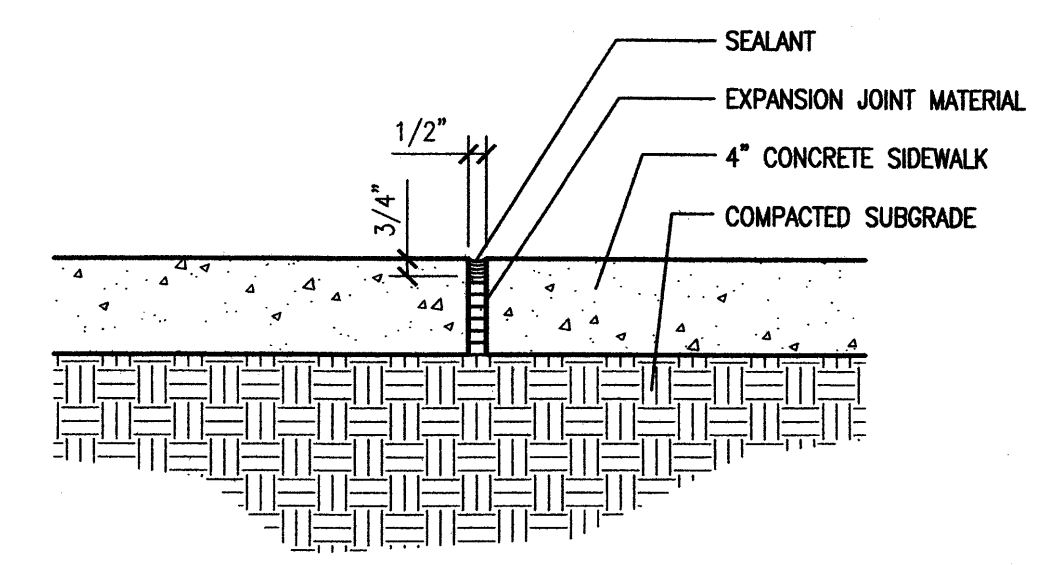
5 Dumpster Enclosure  
Scale: 1/4"=1'-0"  
NOTE: SEE SITE PLAN FOR DUMPSTER PLAN FOR ORIENTATION.



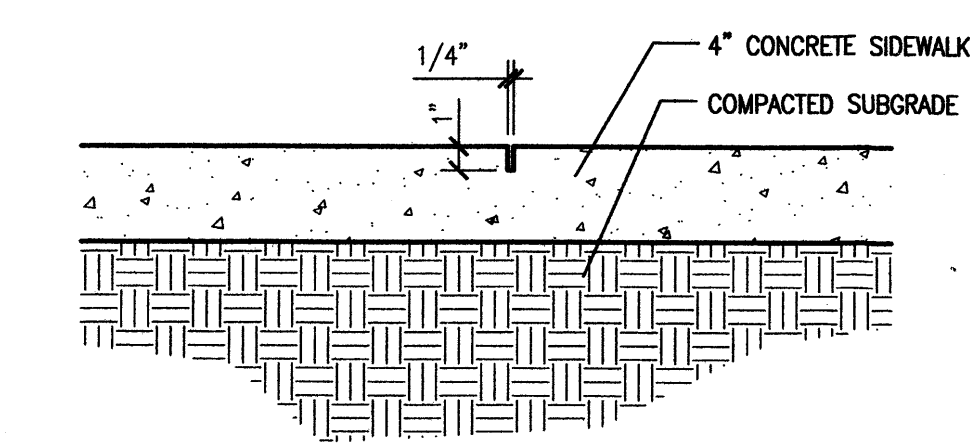
6 Enclosure Wall Section  
Scale: 3/4"=1'-0"



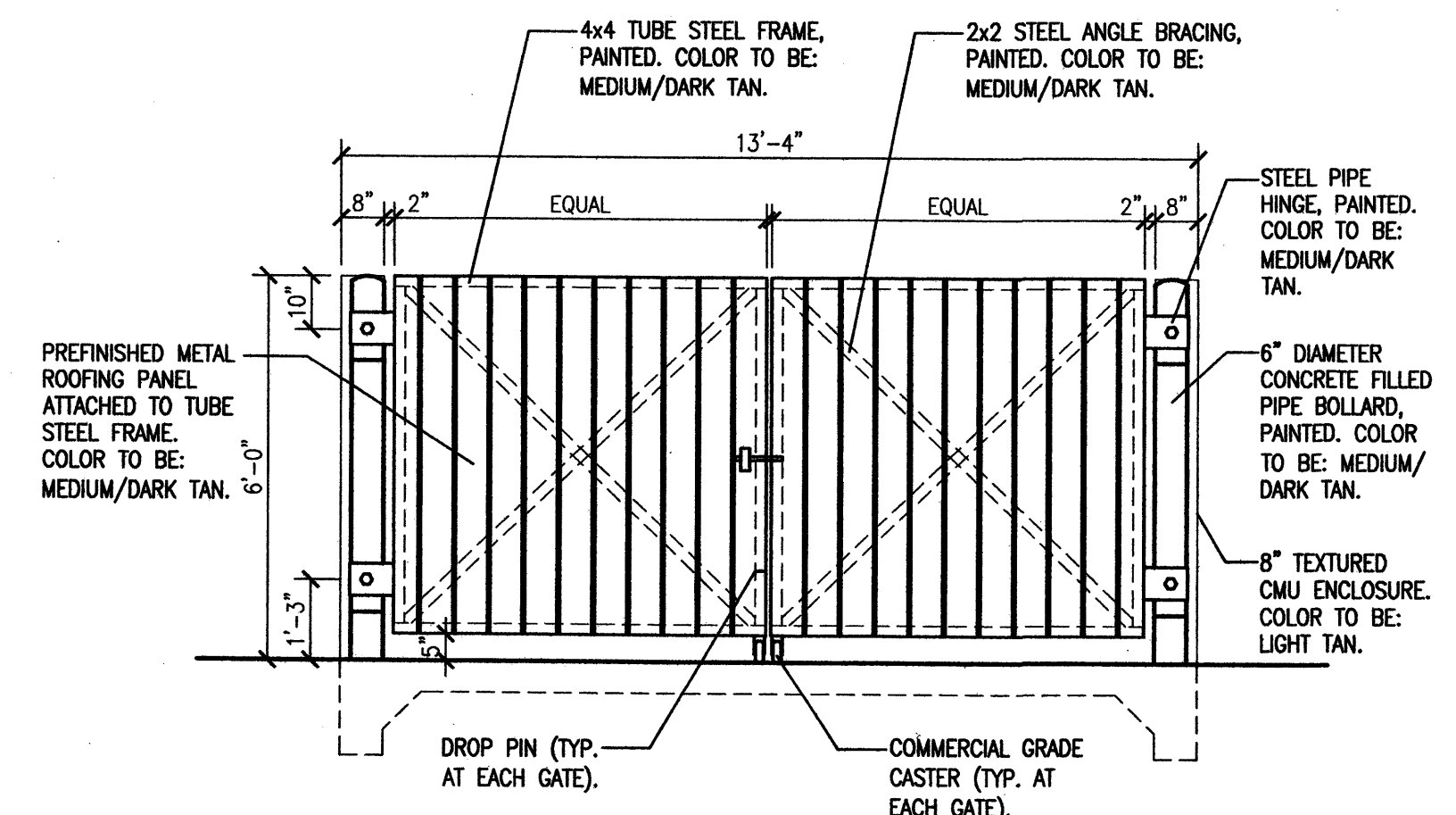
7 Concrete Sidewalk Detail  
Scale: 1"=1'-0"



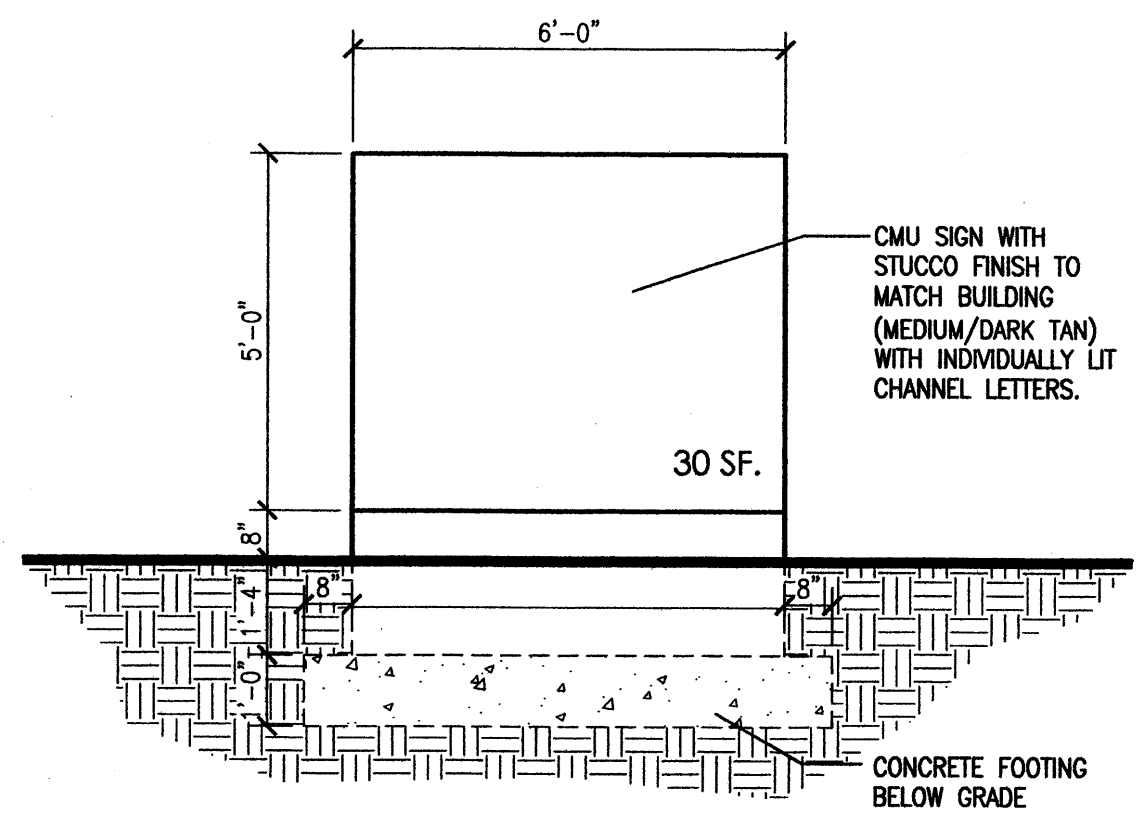
8a Expansion Joint Detail  
Scale: 1 1/2"=1'-0"



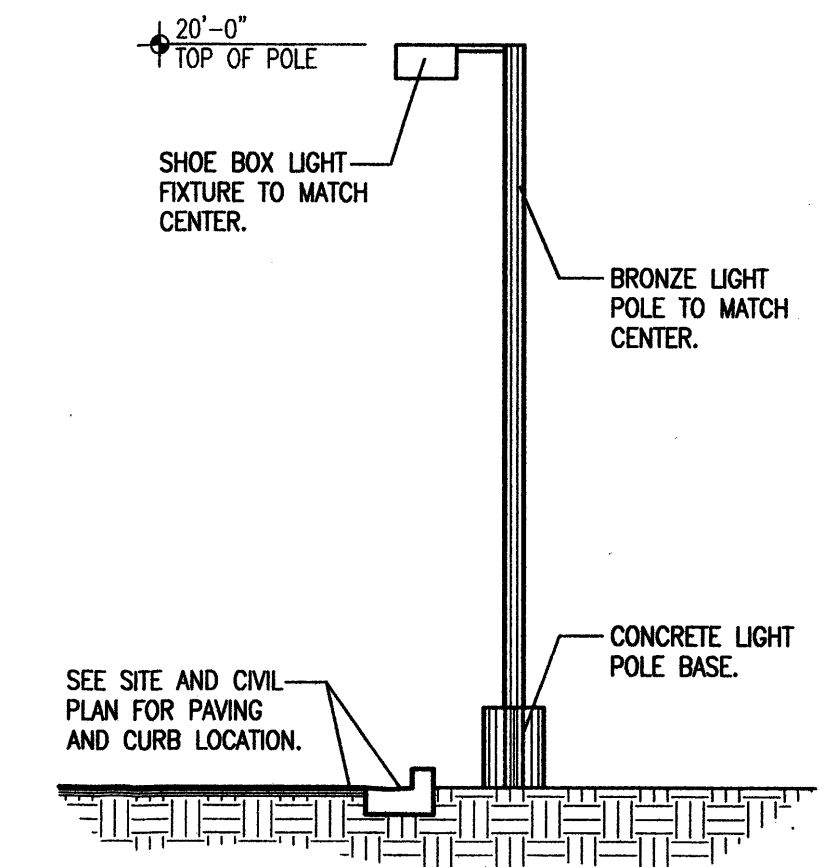
8b Contraction Joint Detail  
Scale: 1 1/2"=1'-0"



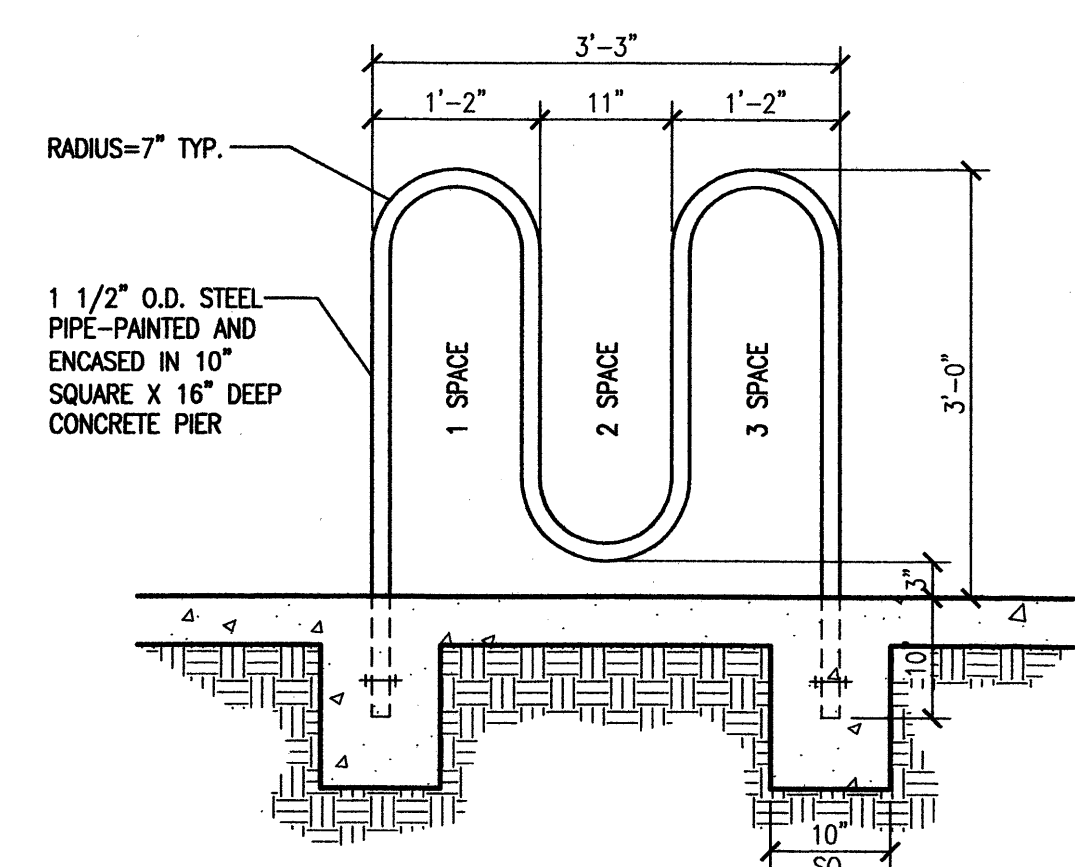
9 Dumpster Enclosure Elevation  
Scale: 3/8"=1'-0"



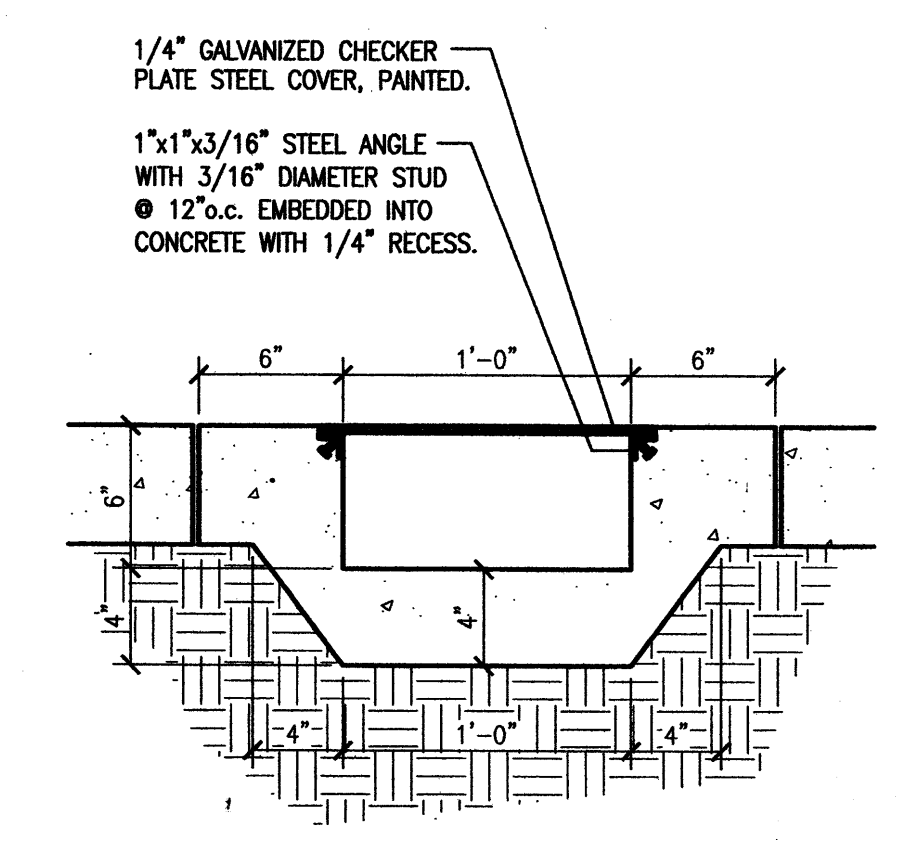
10 Monument Sign Elevation  
Scale: 3/8"=1'-0"



11 Site Lighting Elevation  
Scale: 3/8"=1'-0"



12 Bicycle Rack Detail  
Scale: 3/4"=1'-0"



13 Sidewalk Culvert Detail  
Scale: 1 1/2"=1'-0"

revision	
by	
date	
rev	△ △ △ △ △

**MH**  
Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque, NM 87102  
505 268 4144 [p]  
505 268 4244 [f]

job number	07-08
drawn by	MAG
project manager	Douglas Heller, AIA
date	08/29/07

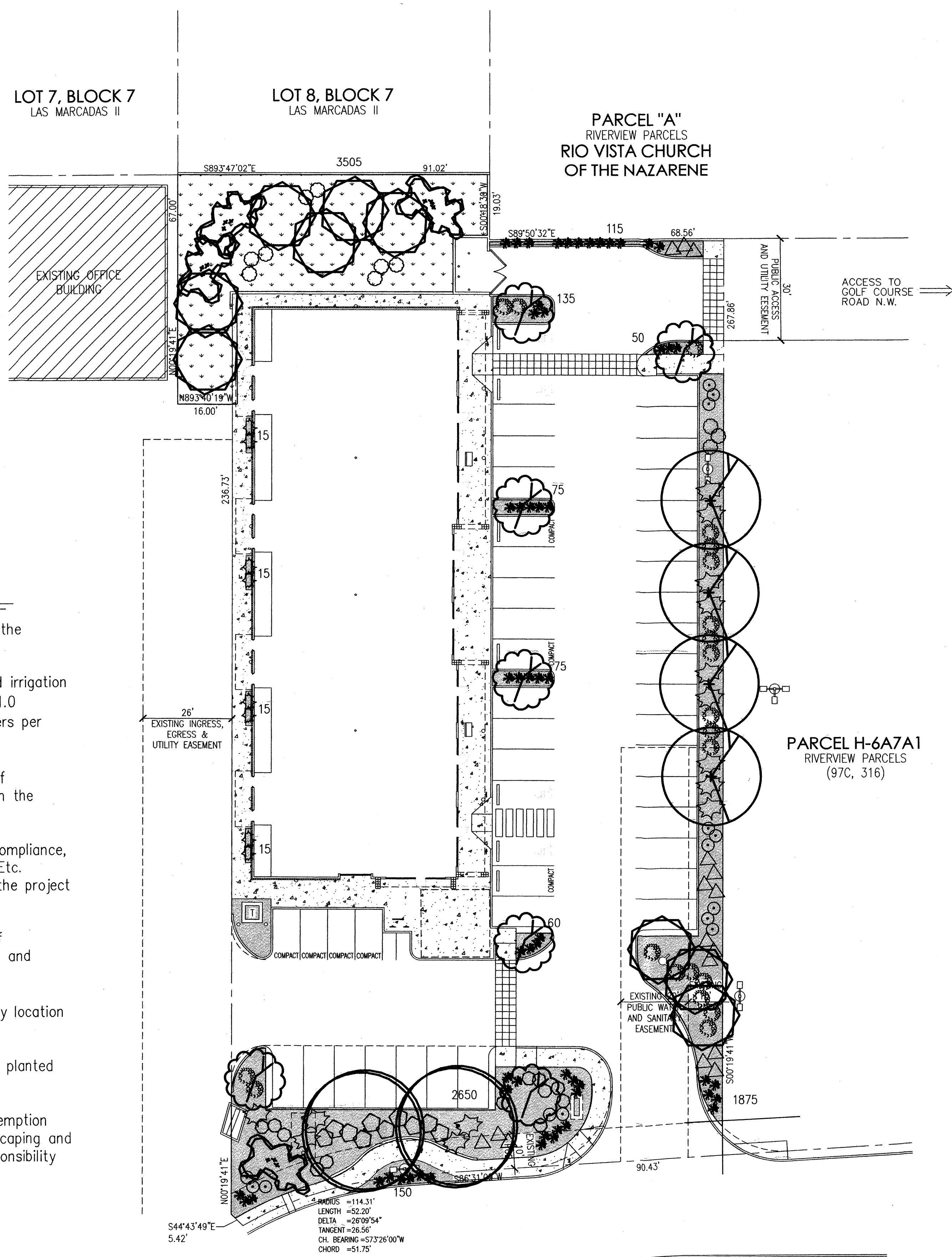
project title  
**Retail Pad Building**  
Northwest Corner of Paseo Del Norte and Golf Course Road  
Albuquerque, New Mexico  
sheet title  
**Architectural Site Details**

## LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
4	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	M
2	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	M+
4	2" Cal.	Pinon Pine <i>Pinus edulis</i>	M
9	2" cal	Desert Willow <i>Chilopsis linearis</i>	L+
7	10-12'	Bradford Pear <i>Pyrus calleryana</i>	M+
10	5 Gal	Upright Rosemary <i>Rosmarinus officianlis</i>	L+
21	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	M+
22	5 Gal	Honeysuckle <i>Lonicera japonica</i>	M
16	5 Gal	Bear Grass <i>Nolina microcarpa</i>	L+
58	5 Gal	Threadgrass <i>Stipa tenuissima</i>	L+
12	5 Gal	Cherry Sage <i>Salvia greggii</i>	M
14	5 Gal	Apache Plume <i>Falugia paradoxa</i>	L
11	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	L
SANTA FE BROWN CRUSHER FINES, NO FABRIC			
COBBLE PLATED 3:1 SLOPE, SEED WITH NATIVE GRASS MIX			
4		BOULDERS, 2-3 cf, MOSS ROCK, typ.	

## LANDSCAPE CALCULATIONS

TOTAL LOT AREA	41848	SF
TOTAL BUILDING AREA	10000	SF
NET LOT AREA	31848	SF
LANDSCAPE REQUIREMENT	15	SF
TOTAL LANDSCAPE REQUIRED	4777	SF
TOTAL LANDSCAPE PROVIDED	8750	SF



## LANDSCAPE NOTES

Landscape and Irrigation System maintenance shall be the responsibility of the owner.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have (5) 1.0 bubblers and shrubs shall have a minimum of (2) 1.0 emitters per shrub, PER THE CITY FORESTER, (SEE EPC COMMENTS)

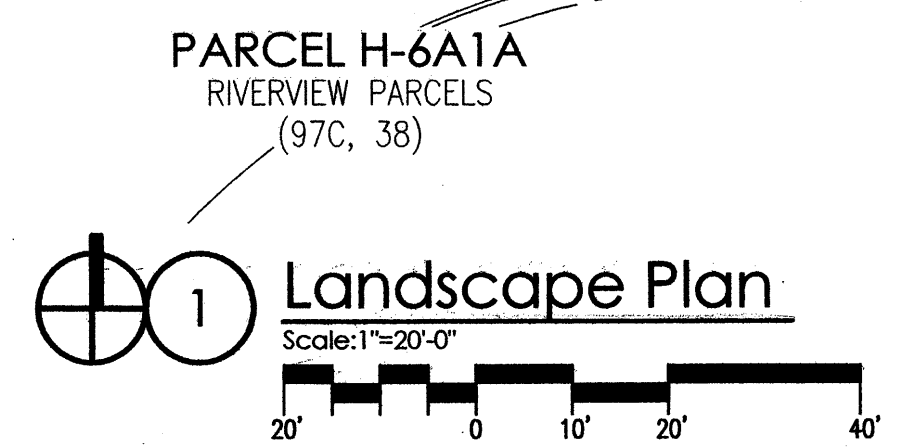
Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor prior to construction. It shall be the responsibility of the Landscape Contractor for any Required Permits, Backflow Prevention Compliance, Zoning Regulations, Inspections, Plumbing Codes, Approvals, Etc. required by the governing authority having jurisdiction over the project site.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 80% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

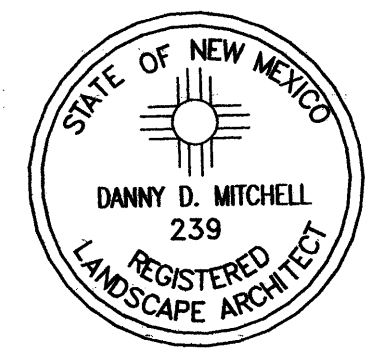


revision	by	date
21	DDM	8/23/07
20	DDM	8/13/07
19	DDM	8/13/07
18	DDM	8/13/07
17	DDM	8/13/07

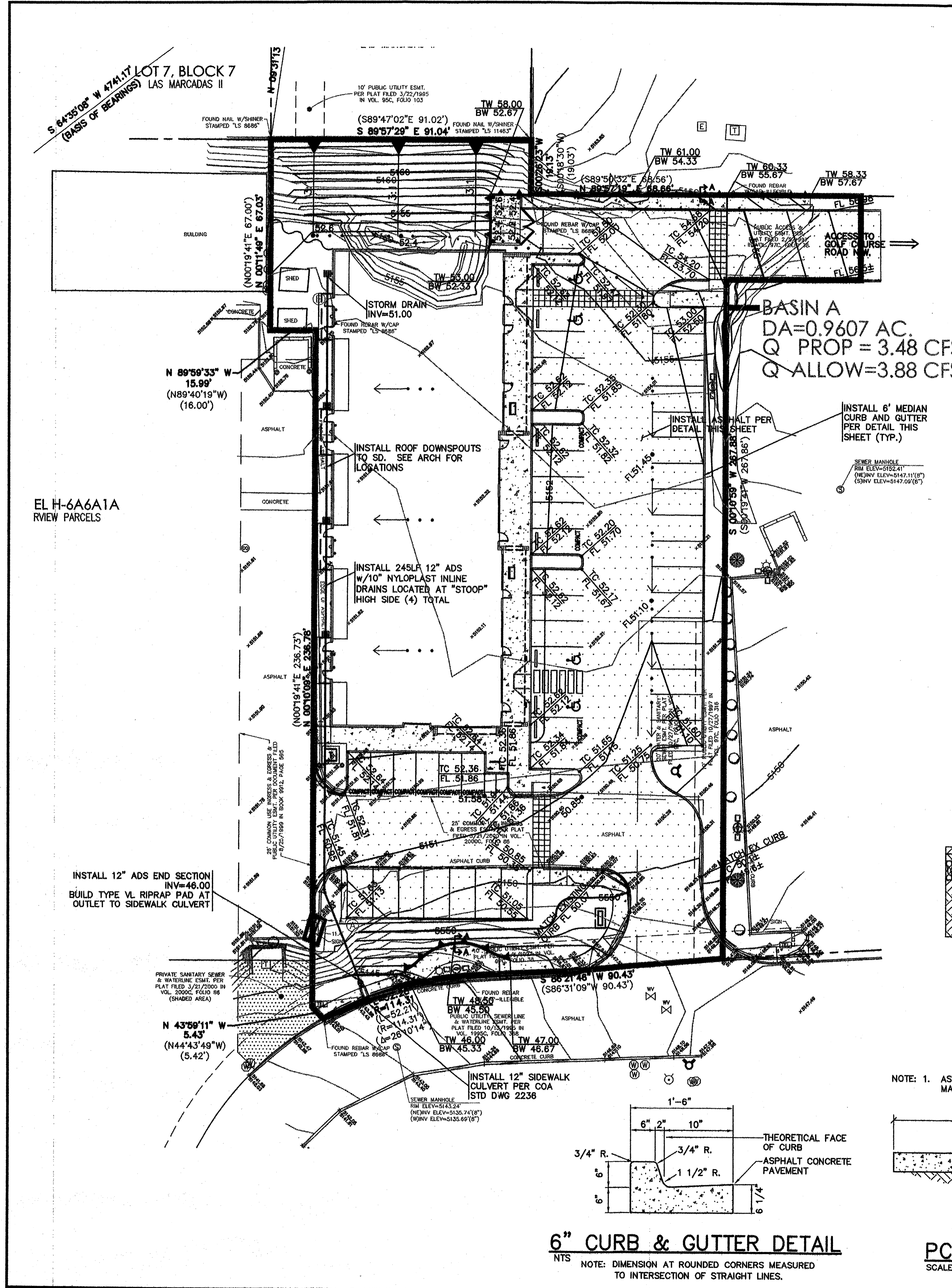
**MH**  
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924 Park Avenue SW  
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505 268 4144 [p]  
505 268 4244 [f]

job number	07-08
drawn by	DDM
project manager	Douglas Heller, AIA
date	8/23/07

Mitchell Associates, LLC  
Landscape Architects  
3150 Carlisle NE #112  
Albuquerque, NM 87110  
(505) 830-6096  
danny@mitchellassociatesllc.com



project title  
**Retail Pad Building**  
Northwest Corner of Paseo Del Norte and Golf Course Road  
Albuquerque, New Mexico  
sheet title  
**Landscape Plan**



**LEGEND**

	PROPERTY LINE		PROPOSED INTERMEDIATE CONTOUR
	INTERMEDIATE CONTOUR		PROPOSED INDEX CONTOUR
	INDEX CONTOUR		RETAINING WALL
	EXISTING EASEMENT		DIRECTION OF FLOW
	PROPOSED BASIN BOUNDARY LINE	TW	TOP OF WALL
	PROPOSED SPOT ELEVATIONS	BW	BOTTOM OF WALL (AT GRADE)
	EXISTING SPOT ELEVATIONS	TC	TOP OF CURB
	WATER BLOCK	FL	FLOW LINE
	PROPOSED ASPHALT		
	PROPOSED PCC CONCRETE		

**EXISTING CONDITIONS**  
 THE PROJECT SITE CONSISTS OF 0.9607 ACRES, ALL OF WHICH IS AN EXISTING GRADED LOT. THERE IS AN EXISTING PAVED DRIVE ACCESSING THE WESTERN PROPERTY. THIS PAVED AREA IS LOCATED IN THE ACCESS EASEMENT AS SHOWN. THE PROPOSED SITE IS LOCATED JUST NORTH AND WEST OF THE INTERSECTION OF GOLF COURSE ROAD AND PASEO DEL NORTE. THIS LOT IS THE LAST OF TWO UNDEVELOPED LOTS OF THE SUBDIVISION. THIS LOT IS PART OF THE APPROVED DRAINAGE REPORT FOR FURR'S-LAS MARCADAS PREPARED BY D. MARK GOODWIN AND ASSOCIATES. THE PLANNED STORM DRAINAGE DISCHARGE SHALL DRAIN INTO INLETS LOCATED IN THE LOT ACROSS THE ACCESS ROAD BY THE NEWLY CONSTRUCTED DENTAL OFFICE.

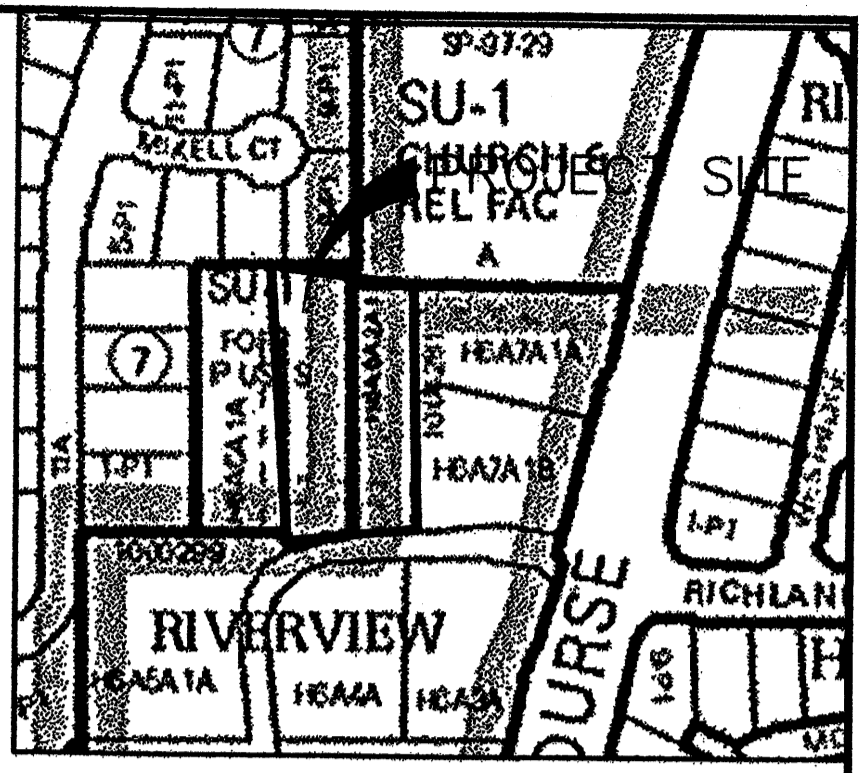
**PROPOSED CONDITIONS**  
 THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF RETAIL BUILDING ON THE SITE. BASED ON THE REPORT AS MENTIONED ABOVE, THE SITE IS IDENTIFIED IN A BASIN (BASIN II) WHICH HAS AN ALLOWABLE DISCHARGE OF 35.7 CFS, THUS ALLOWING FREE DISCHARGE IF A GIVEN LAND TREATMENT IS ACHIEVED. THIS BEING A LAND TREATMENT OF 88% "D" AND 14% "B". THIS SITE SHALL PROVIDE A DISCHARGE LESS THEN THE RATE INTO THE STORM DRAINAGE SYSTEM LOCATED AT JUST BELOW THE EXISTING BLOCKBUSTER VIDEO, ACROSS THE SUBJECT SITE. THUS THE REQUIRED FREE DISCHARGE SHALL BE LESS THEN Q=3.88 CFS AT A RATE OF Q=3.48 CFS.

**HYDROLOGY SUMMARY REQUIRED**

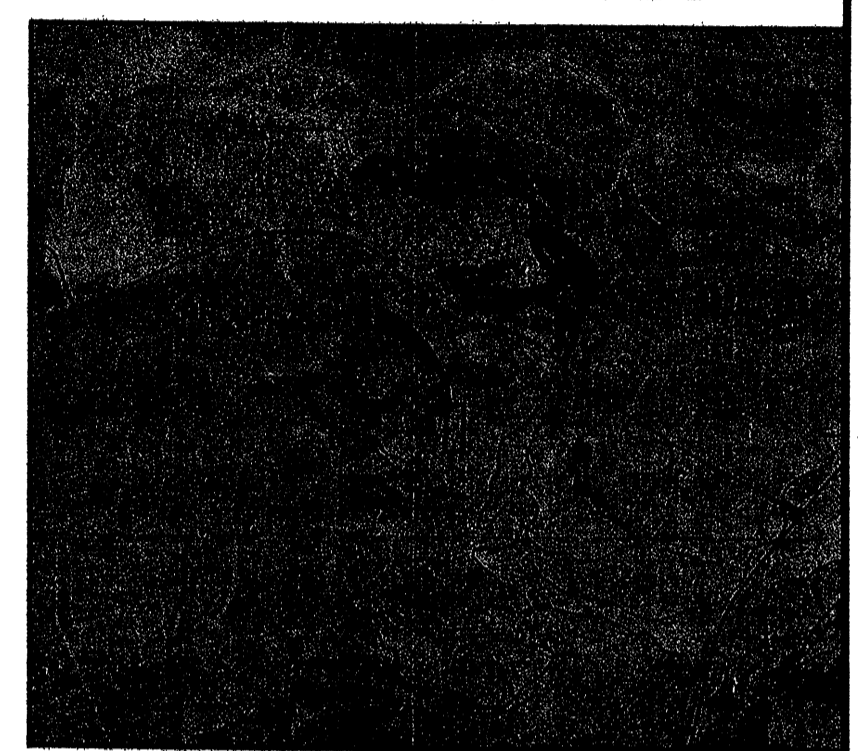
PROJECT NAME:	MARKETPLACE SHOPS	AREA (acres)	LAND TREATMENTS				2 YEAR			10 YEAR		100 YEAR			
			A	B	C	D	Q (cfs)	VOLUME (ac.ft.)	Q (cfs)	VOLUME (ac.ft.)	Q (cfs)	VOLUME (ac.ft.)			
BASIN	CONDITION						6 HR	24 HR	6 HR	24 HR	6 HR	24 HR			
A	PROPOSED	0.9607	0.0%	15.0%	0.0%	85.0%	1.40	0.049	0.0634	2.49	0.088	0.109	3.88	0.143	0.174

**INPUT DATA**

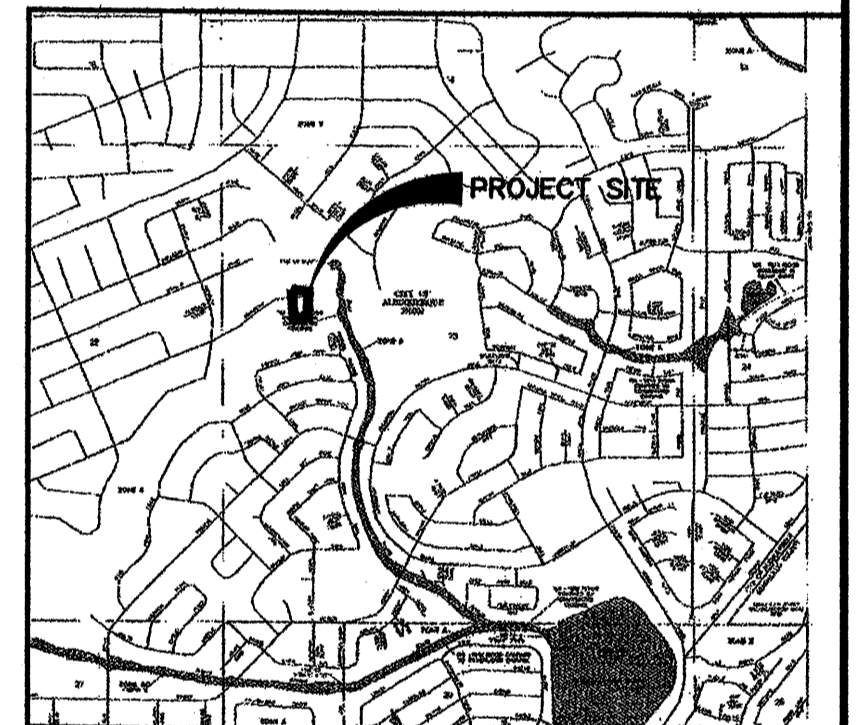
ZONE	RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM				
	1 HOUR	6 HOUR	24 HOUR	4 DAY	10 DAY
1	1.87	2.20	2.66	3.12	3.67



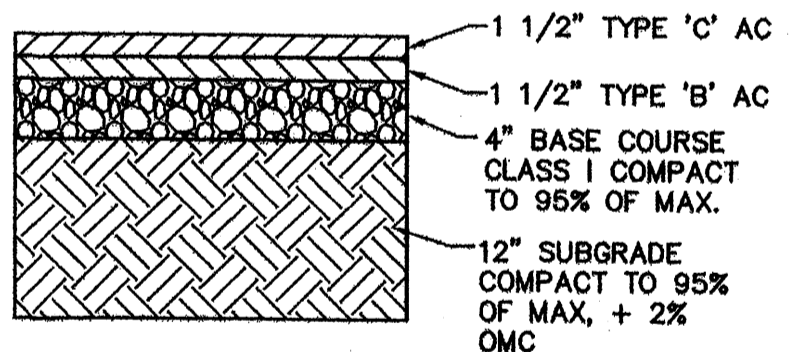
LOCATION MAP  
 ZONE ATLAS MAP NO. C-12-Z



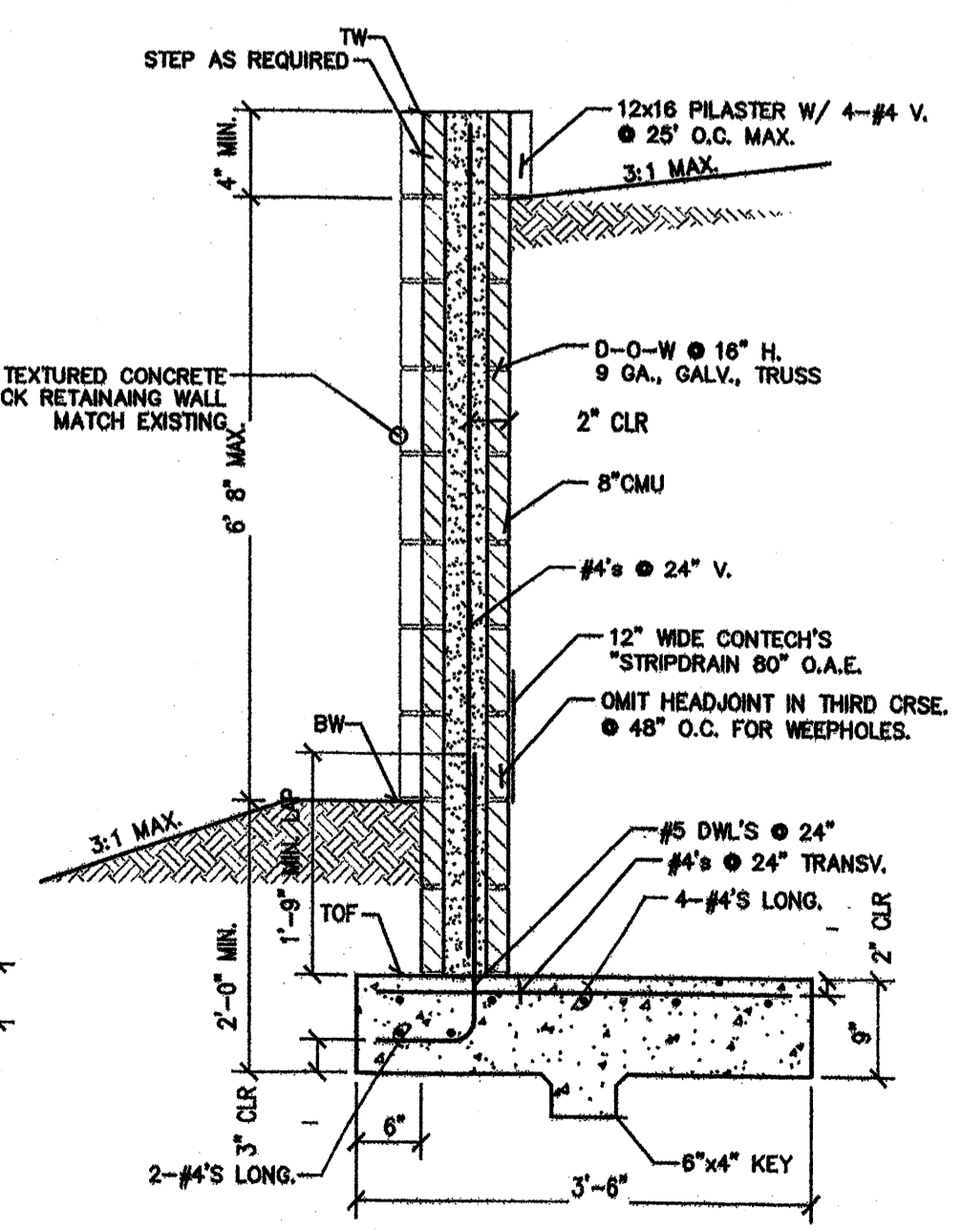
SOILS MAP  
 REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 10



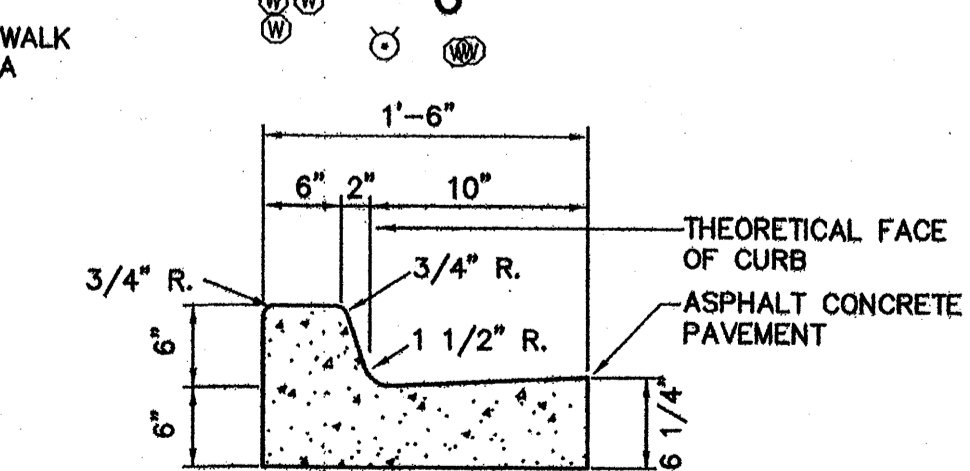
FLOOD INSURANCE MAP  
 REFERENCE: FLOOD INSURANCE STUDY PANEL 35001C0112 D



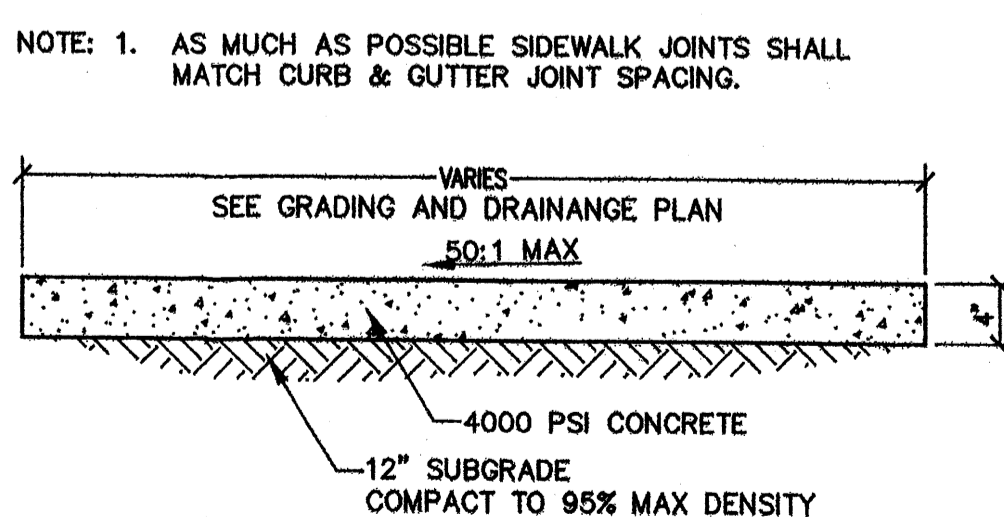
ASPHALT DETAIL



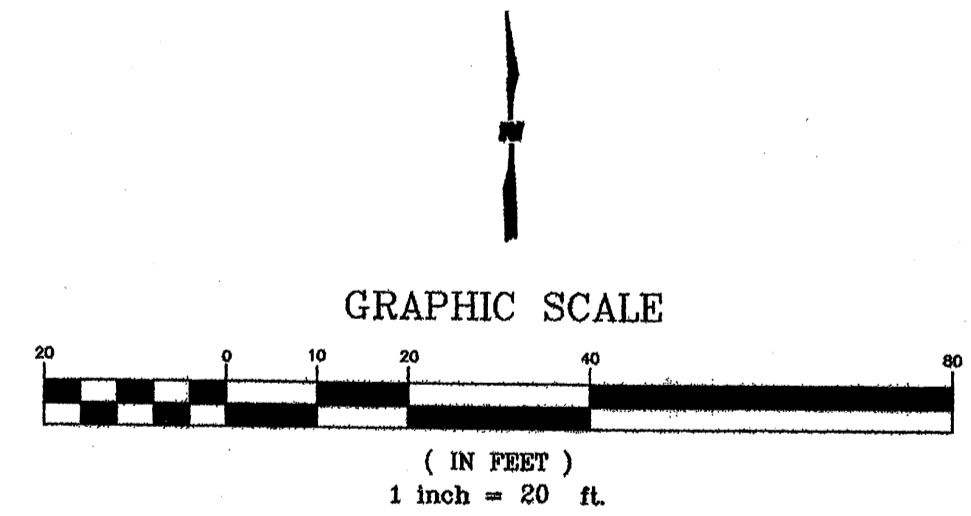
SECTION A-A  
 3/4\"/>



6" CURB & GUTTER DETAIL  
 NTS NOTE: DIMENSION AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.



PCC SIDEWALK DETAIL  
 SCALE: 1" = 1'-0"



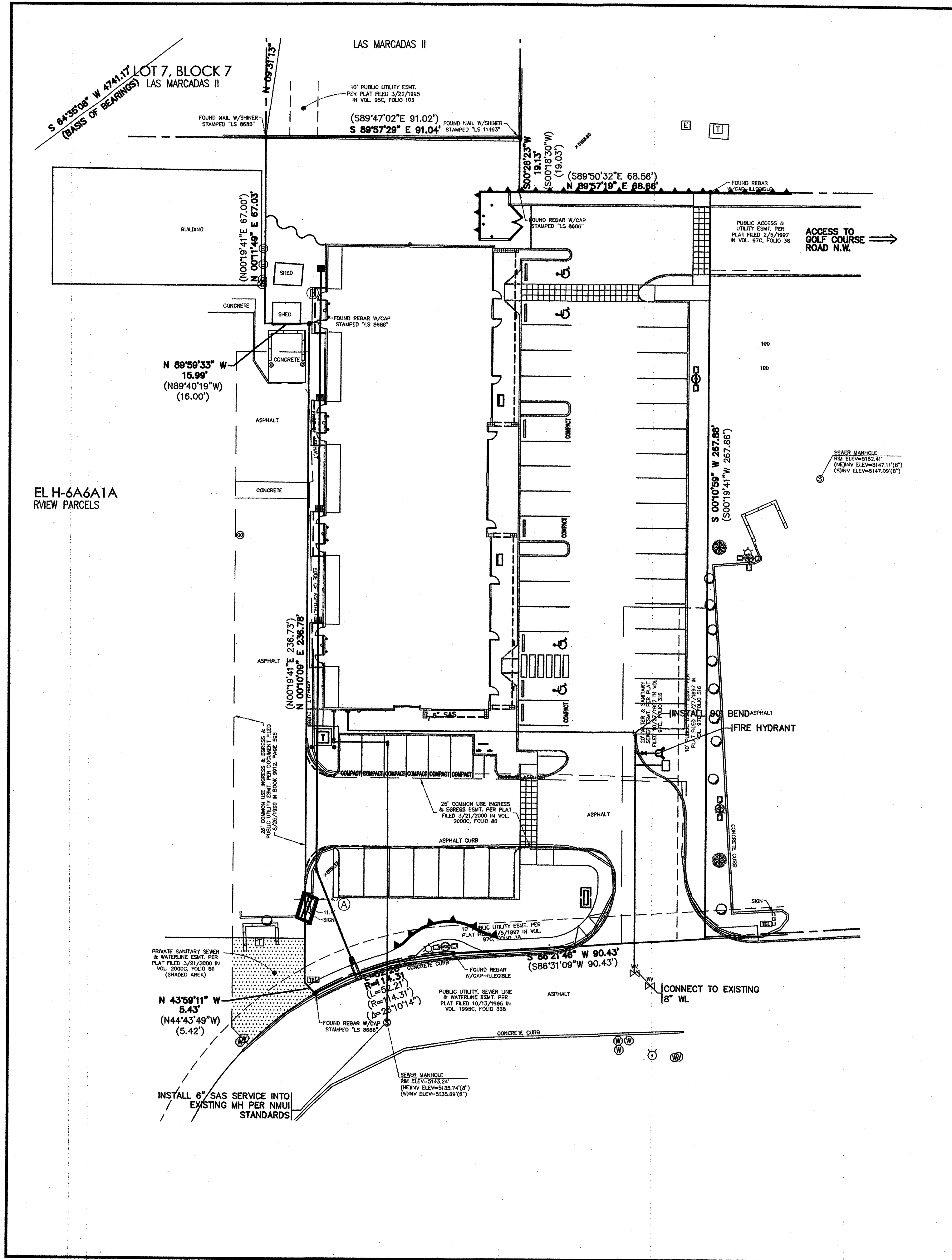
LEGAL DESCRIPTION  
 PARCEL H-6A6A2A1

**WILSON & COMPANY**  
 2800 THE AMERICAN ROAD S.E.  
 SUITE 100  
 RIO RANCHO, NEW MEXICO 87124  
 (505) 898-8021

NORTHWEST CORNER OF PASEO DEL NORTE AND GOLF COURSE ROAD

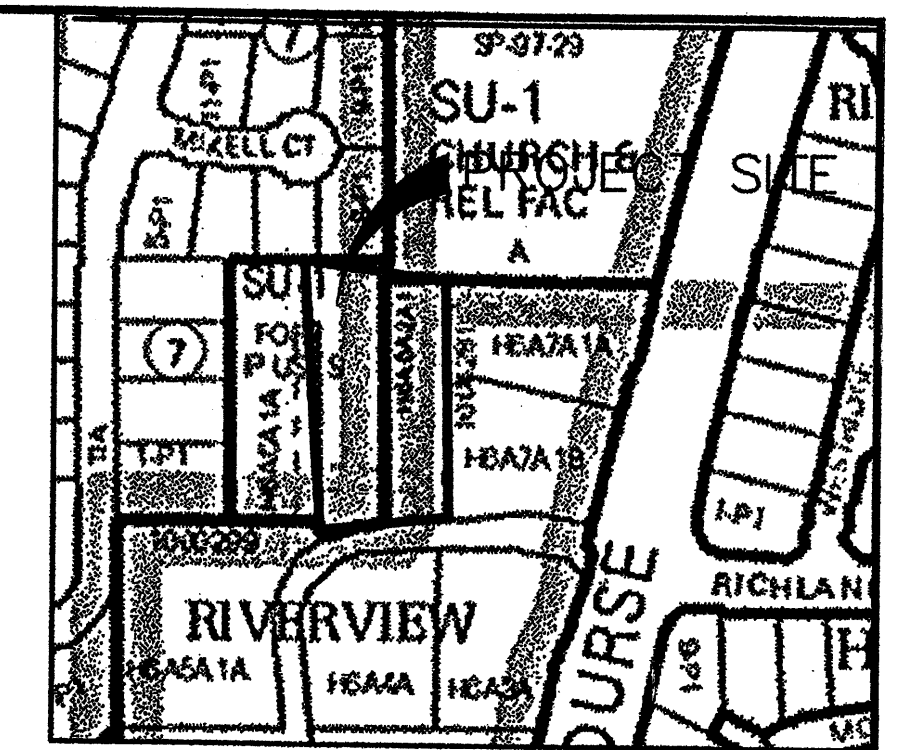
**GRADING AND DRAINAGE PLAN**

REVISIONS	NO.	DATE	REMARKS	BY
DESIGN	SJS	WCEA NO. 07001	DATE AUG 2007	
DRAWN	SJS	PROJECT NO.	SHEET NO.	
CHECK	SJS		C-001	

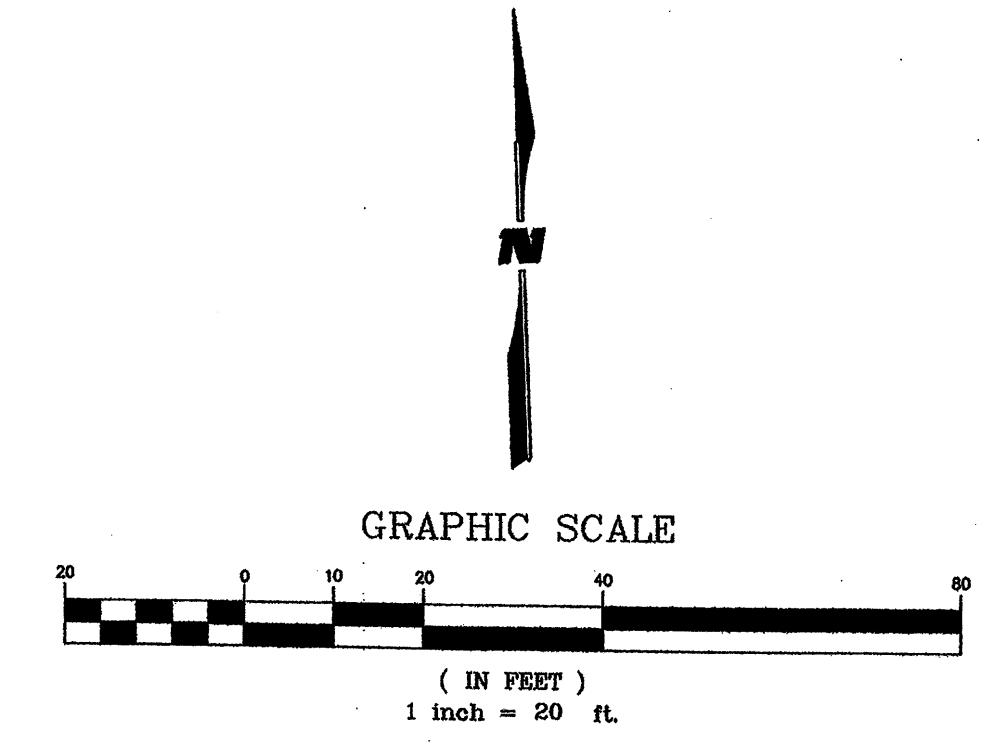


**LEGEND**

- EXISTING**
- ⊙ CLEAN OUT
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ LIGHT POLE
  - ⊙ GAS METER
  - ⊙ ELECTRIC METER
  - ⊙ WATER VALVE
  - ⊙ TRANSFORMER
  - ⊙ ELECTRIC BOX
  - ⊙ WATER METER
  - ⊙ FIRE HYDRANT
  - ⊙ TELEPHONE PEDESTAL
  - INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - SPOT ELEVATION
- PROPOSED**
- SAS PROPOSED SANITARY SEWER LINE
  - WL PROPOSED WATER LINE
  - CLEANOUT
  - SANITARY SEWER MANHOLE
  - ▼ REDUCER
  - ⊙ FIRE HYDRANT
  - ⊙ WATER VALVE
  - ⊙ WATER METER
  - DOUBLE CLEANOUT



LOCATION MAP  
ZONE ATLAS MAP NO. C-12-Z

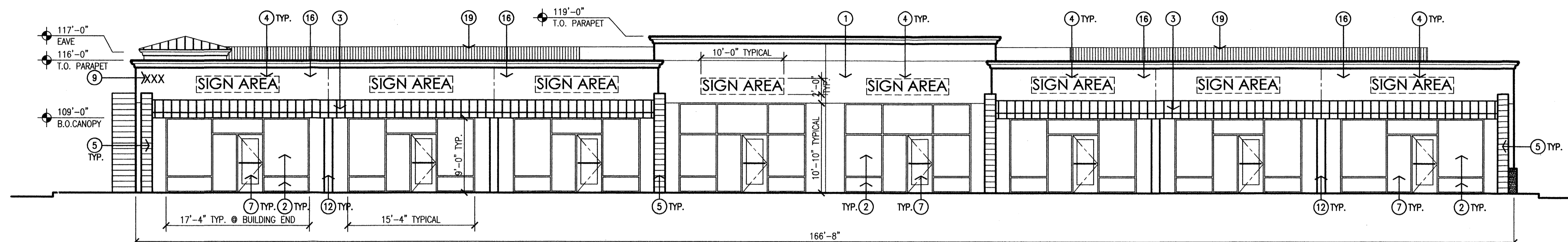


**NEW MEXICO UTILITES, INC.**

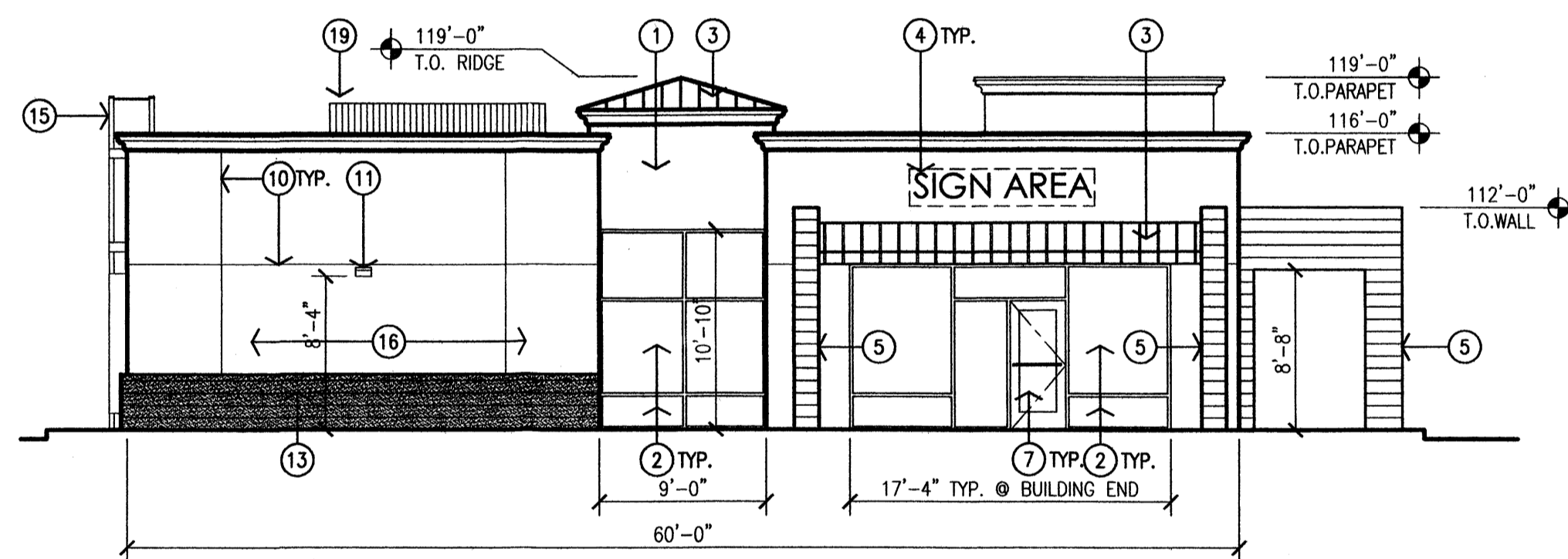
THIS SITE IS LOCATED IN NEW MEXICO UTILITES, INC SERVICE AREA. UTILITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY AND SHALL BE BUILD PER NMUI STANDARDS.

**LEGAL DESCRIPTION**  
PARCEL H-6A6A2A1

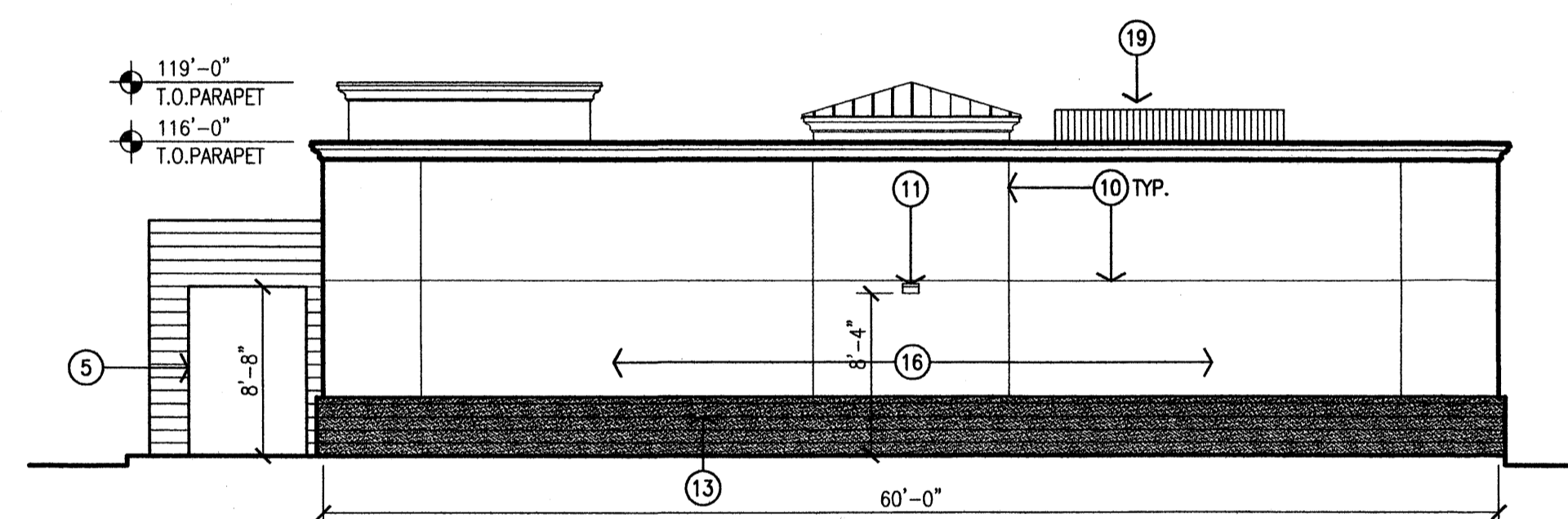
<b>WILSON &amp; COMPANY</b> 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 896-8021	NORTHWEST CORNER OF PASEO DEL NORTE AND GOLF COURSE ROAD			
	<b>UTILITY PLAN</b>			
	NO.	DATE	REMARKS	BY
DESIGN	SJS	WCEA NO. 07001	DATE	APRIL 2007
DRAWN	SJS	PROJECT NO.	SHEET NO.	
CHECK	SJS		C-002	



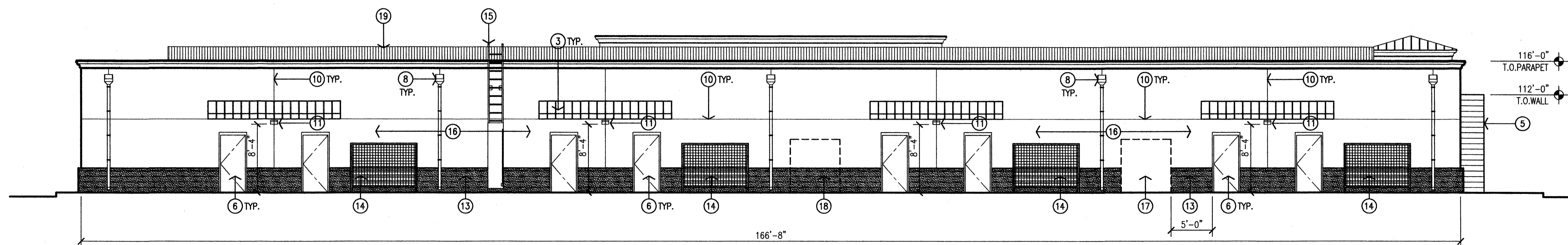
1 East Elevation  
Scale: 1/8"=1'-0"



2 South Elevation  
Scale: 1/8"=1'-0"



3 North Elevation  
Scale: 1/8"=1'-0"



4 West Elevation  
Scale: 1/8"=1'-0"

EXTERIOR ELEVATION GENERAL NOTES:

- A. PROVIDE LIGHTING UNDER CANOPIES ON EAST AND SOUTH FACADES.
- B. ALL ROOFTOP EQUIPMENT IS TO BE COMPLETELY SCREENED FROM VIEW FROM THE ADJACENT RESIDENTIAL AREA.
- C. THE ROOF SURFACE SHALL BE GRAVEL SURFACED WITH TAN OR NATURAL LOCAL GRAVEL.

EXTERIOR ELEVATION KEYED NOTES:

- [1] 2-COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT OVER BUILDING PAPER AND WIRE MESH. COLOR TO BE: DARK TAN TO MATCH CENTER.
- [2] CLEAR ANODIZED ALUMINUM STOREFRONT WITH TINTED INSULATED GLAZING TO MATCH EXISTING CENTER.
- [3] PREFINISHED ROOF PANELS. COLOR TO BE: SLATE BLUE GRAY.
- [4] INTERNALLY ILLUMINATED CHANNEL LETTER SIGN AREA: 20 SF TYPICAL. SEE APPROVED OVERALL DEVELOPMENT PLAN FOR SIGN STANDARDS.
- [5] BURNISHED CMU WING WALL. COLOR TO BE: MEDIUM TAN TO MATCH CENTER.
- [6] HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
- [7] ALUMINUM STOREFRONT DOOR WITH TINTED GLAZING TO MATCH EXISTING CENTER.
- [8] PREFINISHED SHEET METAL DOWNSPOUT AND COLLECTOR BOX TO MATCH STUCCO. SEE 4/A302.
- [9] 12" HIGH ADDRESS CHANNEL LETTERS. STUCCO CONTROL JOINT, TYPICAL.
- [10] SHIELDED EXTERIOR LIGHT FIXTURE.
- [11] CONCRETE COLUMN TO BE FINISHED AND SEALED.
- [13] 32" HIGH SPLIT FACE CMU BASE. COLOR LIGHT TAN.
- [14] TUBE STEEL TRELLIS, PAINTED LIGHT TAN TO MATCH TEXTURED CMU. SEE LANDSCAPE PLAN FOR LANDSCAPING.
- [15] EXTERIOR ROOF LADDER PAINTED LIGHT TAN TO MATCH STUCCO COLOR. SEE 6/A302.
- [16] 2-COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT OVER BUILDING PAPER AND WIRE MESH. COLOR TO BE: MEDIUM TAN TO MATCH CENTER.
- [17] ELECTRICAL GEAR LOCATION. REFER TO ELECTRICAL FOR SPECIFICATION. NOTCH CMU WAINSCOT AS NECESSARY TO ACCOMMODATE GEAR.
- [18] GAS METER BANK. REFER TO MECHANICAL FOR SPECIFICATION. NOTCH CMU WAINSCOT AS NECESSARY TO ACCOMMODATE METER BANK.
- [19] PREFINISHED METAL MECHANICAL SCREEN. REFER TO A301.

revision

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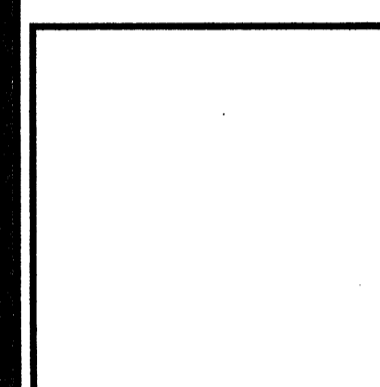
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Albuquerque, New Mexico  
sheet title  
**Exterior Elevations**

sheet-  
**A401**