

6" DIAMETER CONCRETE FILLED PIPE BOLLARD, PAINTED, COLOR TO BE: MEDIUM/DARK TAN.

8" TEXTURED CMU ENCLOSURE, COLOR TO BE: LIGHT TAN.

Architectural Site Plan
Scale: 1"=20'-0"

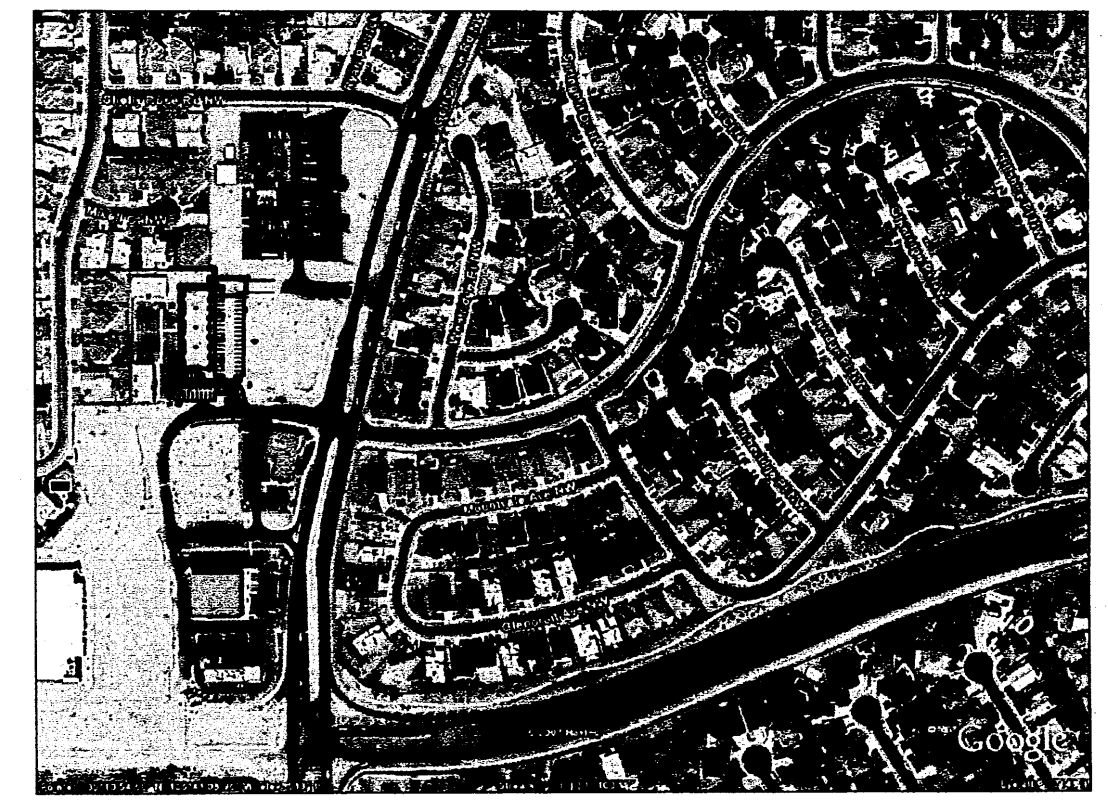
GENERAL NOTES:
 A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
 B. THE AREA OF SIGNAGE ALLOWED FOR EACH TENANT SPACE SHALL NOT EXCEED 6% OF THAT FACADE, PER THE CENTER'S APPROVED SITE DEVELOPMENT PLAN.

- KEYED NOTES:**
- [1] PROPOSED CONCRETE SIDEWALK. SEE 7/A003.
 - [2] EXISTING PAVED ACCESS ROAD TO REMAIN. PATCH & REPAIR PAVEMENT WITH NEW CONSTRUCTION.
 - [3] PROPOSED LANDSCAPED AREA.
 - [4] EXISTING LIGHT POLE.
 - [5] PROPOSED CONCRETE PARKING BUMPERS.
 - [6] PROPOSED PAINTED HC PARKING SYMBOL. SEE 3/A003.
 - [7] PROPOSED CONCRETE CURB.
 - [8] EXISTING SIGN AND PLANTER.
 - [9] EXISTING PAVED ACCESS ROAD PER CITY STD. DETAIL 2426.
 - [10] PROPOSED SITE LIGHT. SEE 11/A003.
 - [11] PROPOSED 6" CONCRETE SIDEWALK PER CITY STD. DETAIL 2430.
 - [12] PROPOSED ELECTRICAL TRANSFORMER LOCATION.
 - [13] EXISTING FIRE HYDRANT.
 - [14] PROPOSED HC PARKING SIGN, TYPICAL OF 4. SEE 4/A003.
 - [15] PROPOSED HC AISLE STRIPING. SEE 2/A003.
 - [16] PROPOSED TEXTURED CMU DUMPSTER ENCLOSURE WITH RECYCLING STORAGE AREA. SEE 5/A003.
 - [17] PROPOSED MONUMENT SIGN. SEE 10/A003.
 - [18] PROPOSED HC RAMP. SEE 1/A003.
 - [19] PROPOSED BIKE RACK. SEE DETAIL 12/A003.
 - [20] EXISTING CMU RETAINING WALL.
 - [21] PROPOSED 6' WIDE TEXTURED CONCRETE PEDESTRIAN WALKWAY.
 - [22] PROPOSED 4' CONCRETE BENCH.
 - [23] PROPOSED (2) 4'x8' MOTORCYCLE SPACES WITH PARKING SIGN.
 - [24] PROPOSED UNIDIRECTIONAL HC RAMP PER CITY STD. DETAIL 2441.
 - [25] PROPOSED 4' SIDEWALK.
 - [26] PROPOSED FIRE HYDRANT.
 - [27] PROPOSED TEXTURED CMU RETAINING WALL. COLOR TO BE: LIGHT TAN. SEE CIVIL.
 - [28] PROPOSED 24" WIDE ASPHALT PAVING FROM EAST PROPERTY LINE TO EXISTING PAVED DRIVE ON LOT H6A7A1A (APPROXIMATELY 50').
 - [29] STORM DRAIN DROP INLET. REFER TO CIVIL.
 - [30] STORM DRAIN OUTLET AT SIDEWALK CULVERT. REFER TO CIVIL.
 - [31] EXTENT OF 400 SF. PATIO SPACE.

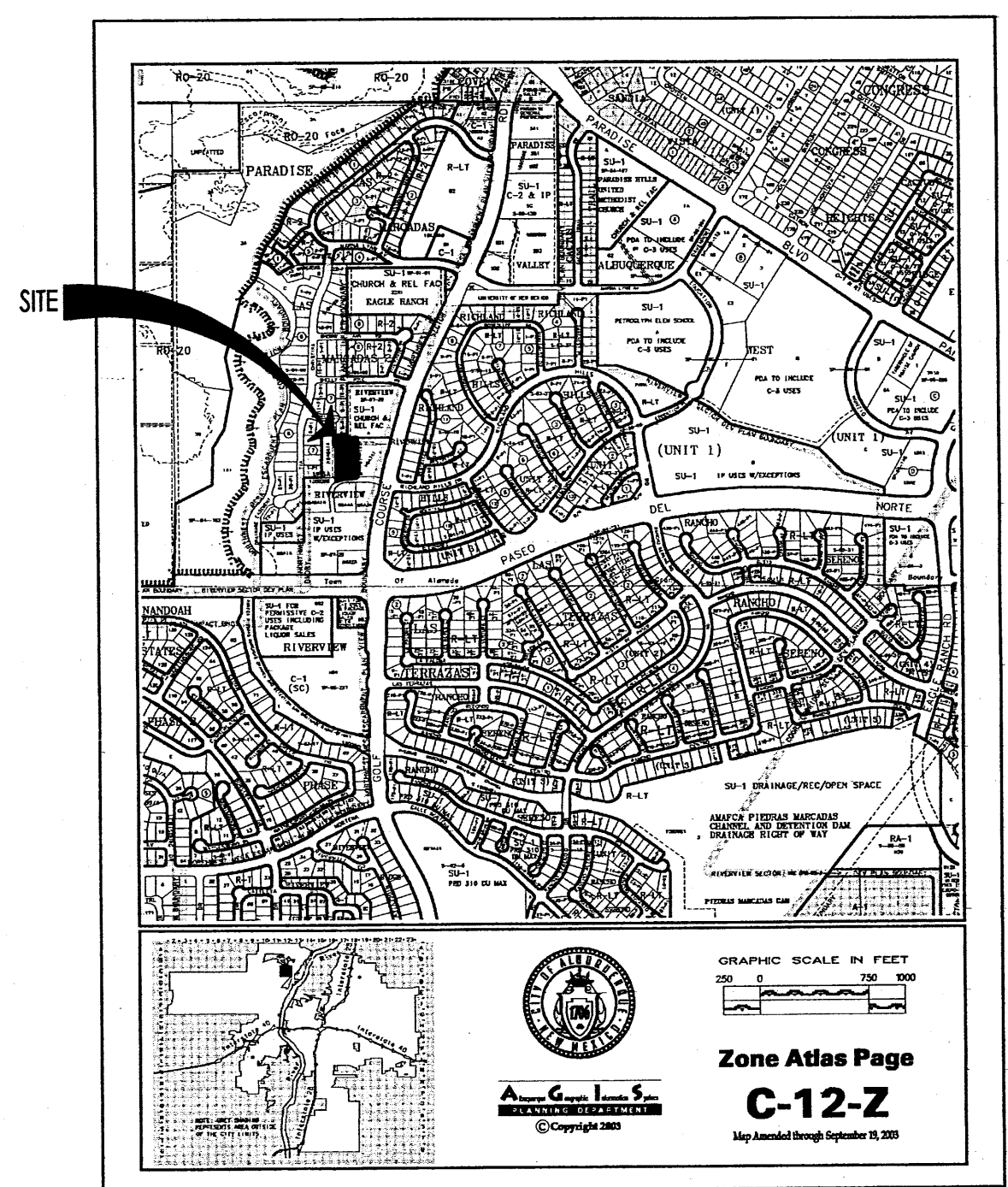
PARKING CALCULATIONS:
 9,938 SF/200 = 50 REQUIRED SPACES LESS 10% BUS ROUTE CREDIT (ROUTE 92 & 157) = 45 SPACES REQUIRED INCLUDING 3 HANDICAP (1 VAN), 2 MOTORCYCLE SPACES REQUIRED.

46 SPACES PROVIDED INCLUDING 4 HANDICAP (1 VAN), 2 MOTORCYCLE SPACES. NEW MEXICO ZONING CODE ALLOWS FOR 25% OF REQUIRED SPACES TO BE COMPACT. 12 SPACES ALLOWED TO BE COMPACT. 9 COMPACT SPACES PROVIDED.

AERIAL PHOTOGRAPH



VICINITY MAP (C-12)



AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 R.C. [Signature] 8-13-07
 SIGNATURE & DATE

PROJECT NUMBER: _____ **APPLICATION NUMBER:** _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: **MAY 17, 2006** AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

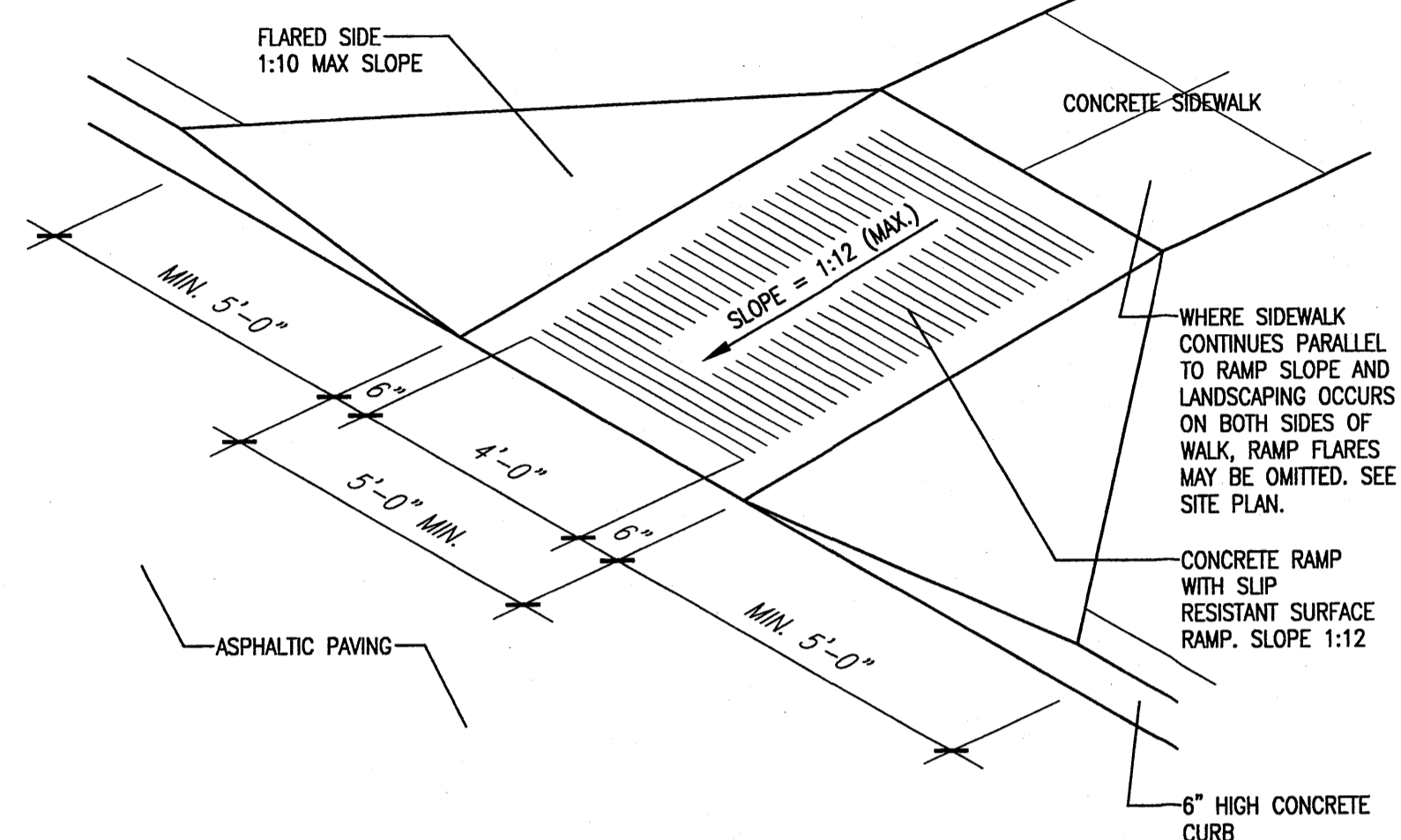
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION	Date
CITY ENGINEER	Date
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>Michael Helton</i> SOLID WASTE MANAGEMENT	8/14/07 Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

revision	
by	
date	
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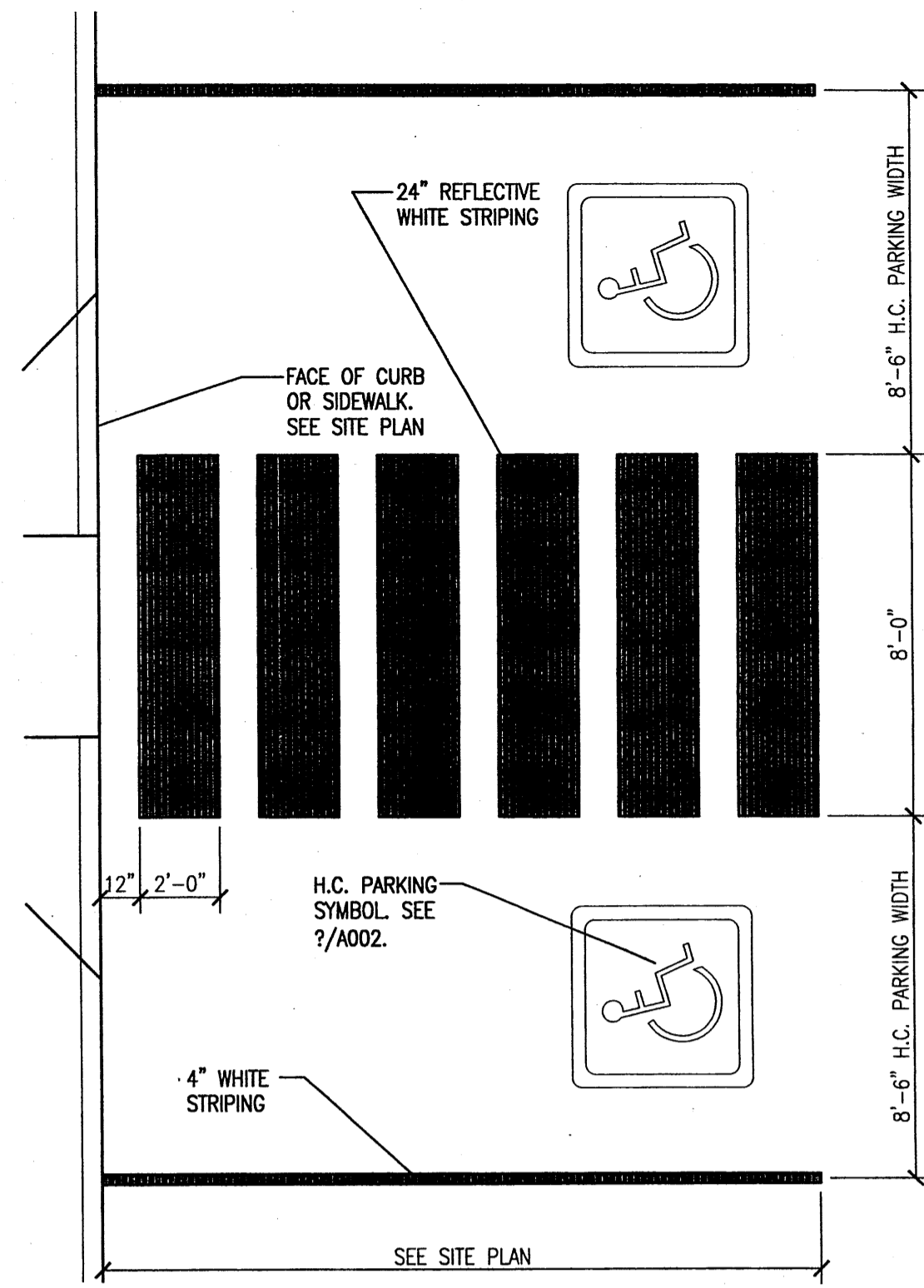
MH
 Mullen Heller
 Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque, NM 87102
 505 268 4144 [p]
 505 268 4244 [f]

job number	07-08
drawn by	MAG
project manager	Douglas Heller, AIA
date	8/14/07

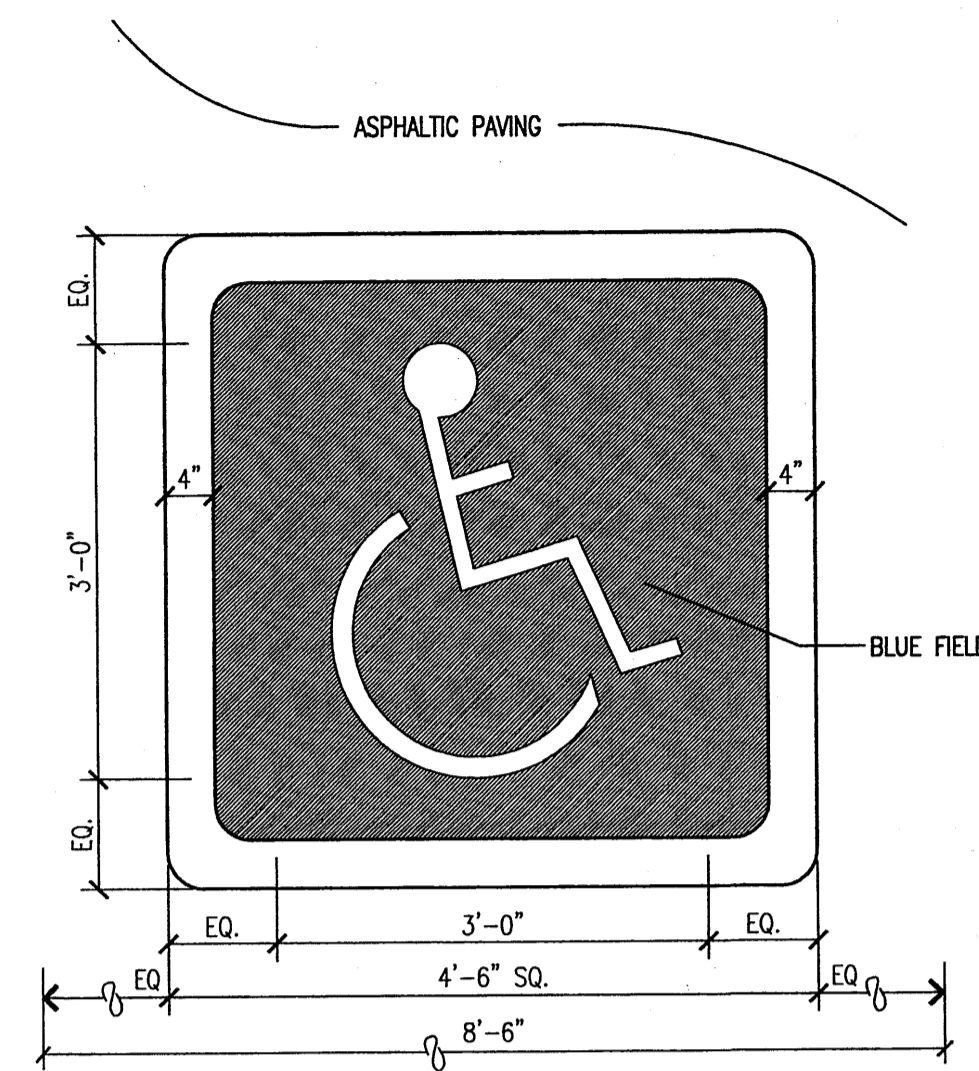
project title
Retail Pad Building
 Northwest Corner of Paseo Del Norte and Golf Course Road
 Albuquerque, New Mexico
 sheet title
Site Development Plan for Building Permit



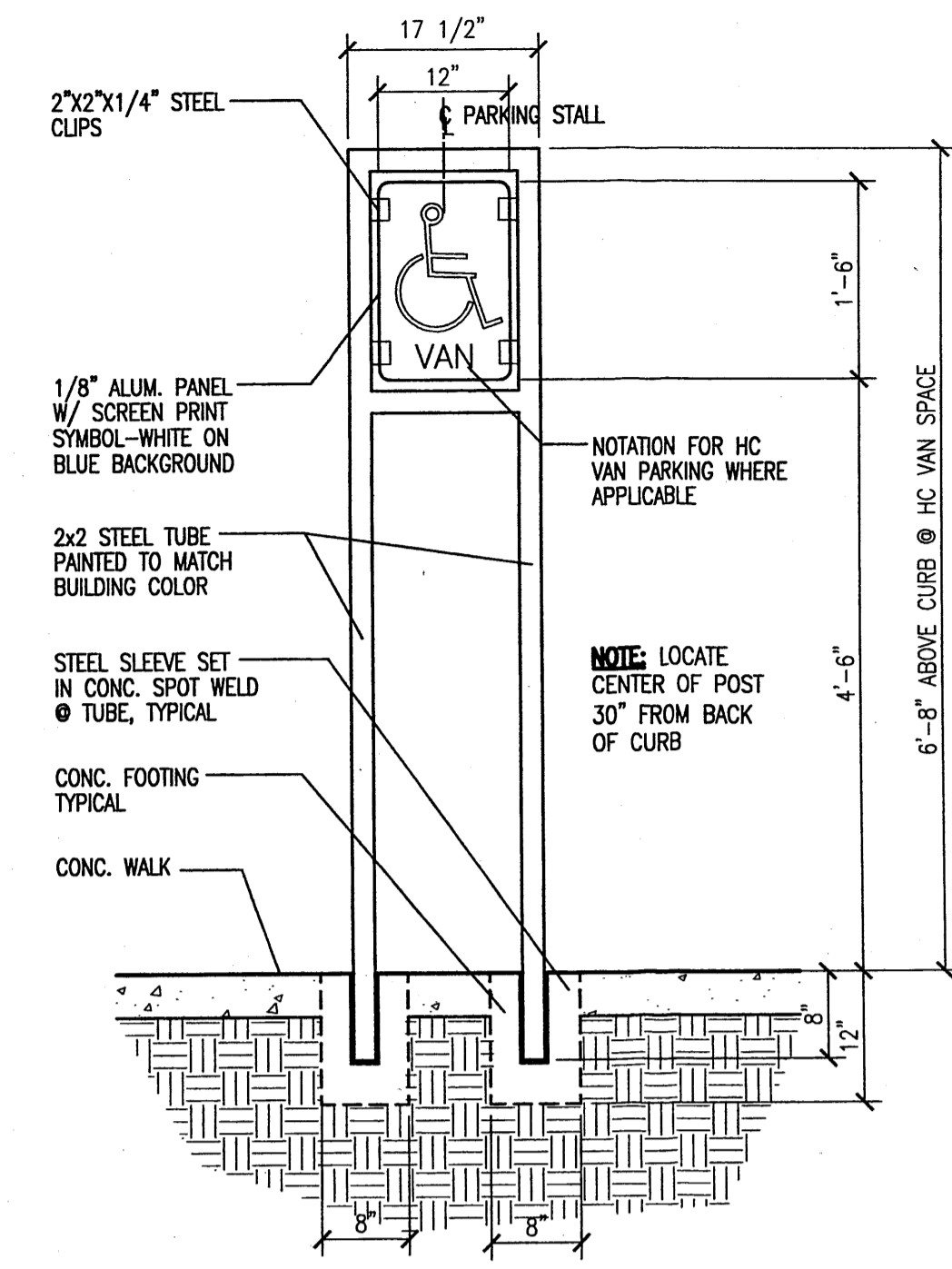
1 HC Ramp Detail
Scale: Not To Scale (Isometric)



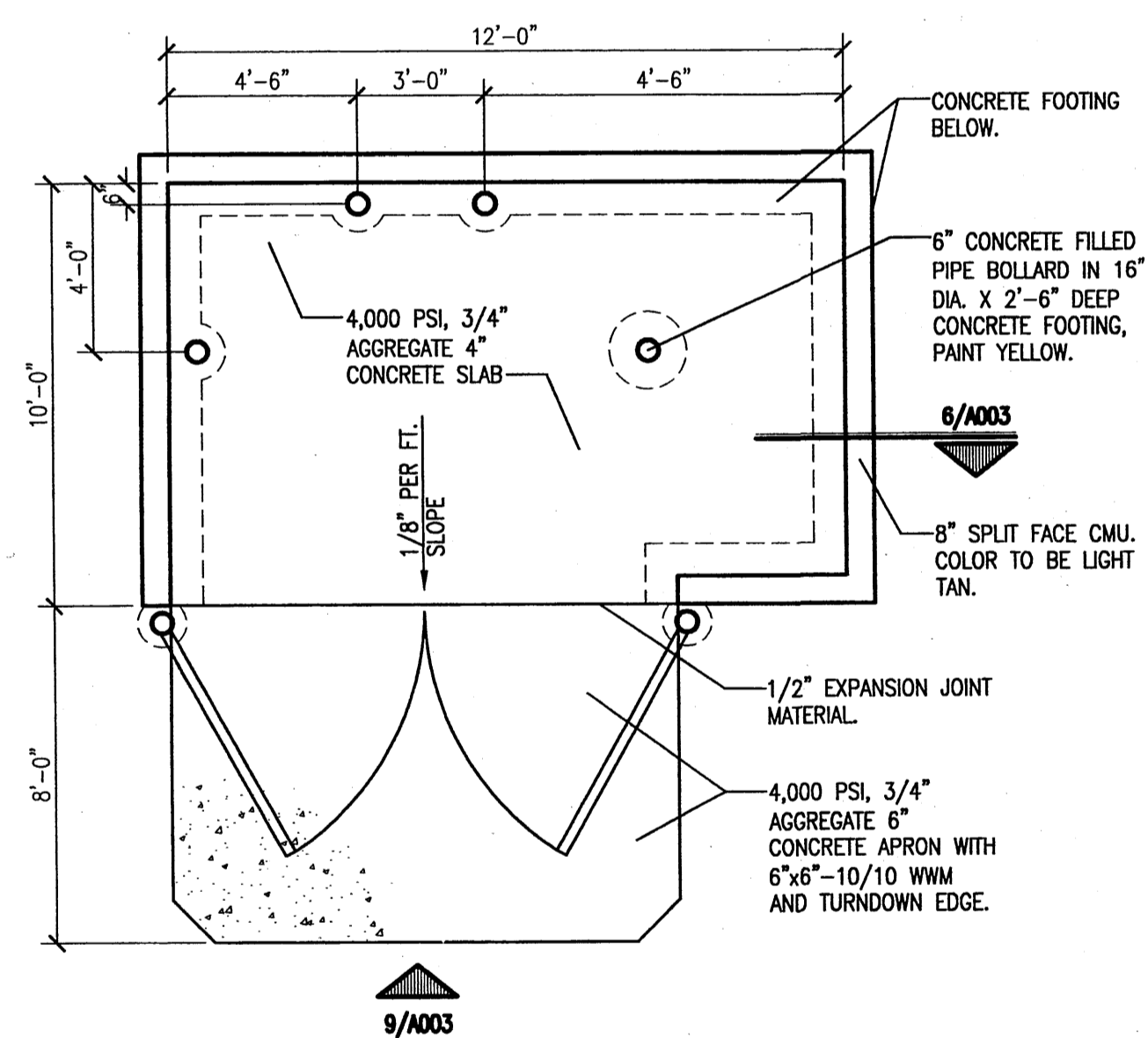
2 HC Parking Striping Detail
Scale: 1/4"=1'-0"



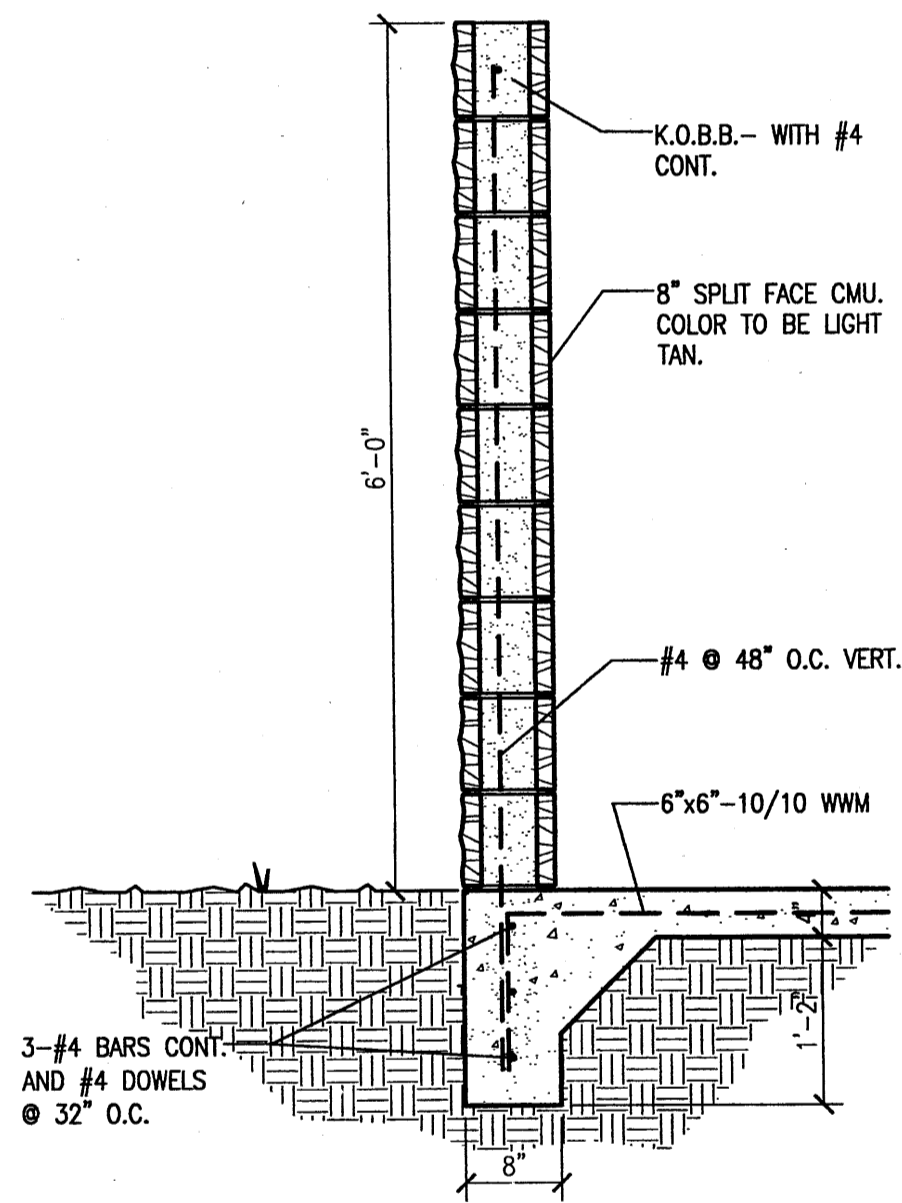
3 HC Pavement Sign Detail
Scale: 3/4"=1'-0"
NOTE: SEE SITE PLAN ORIENTATION.



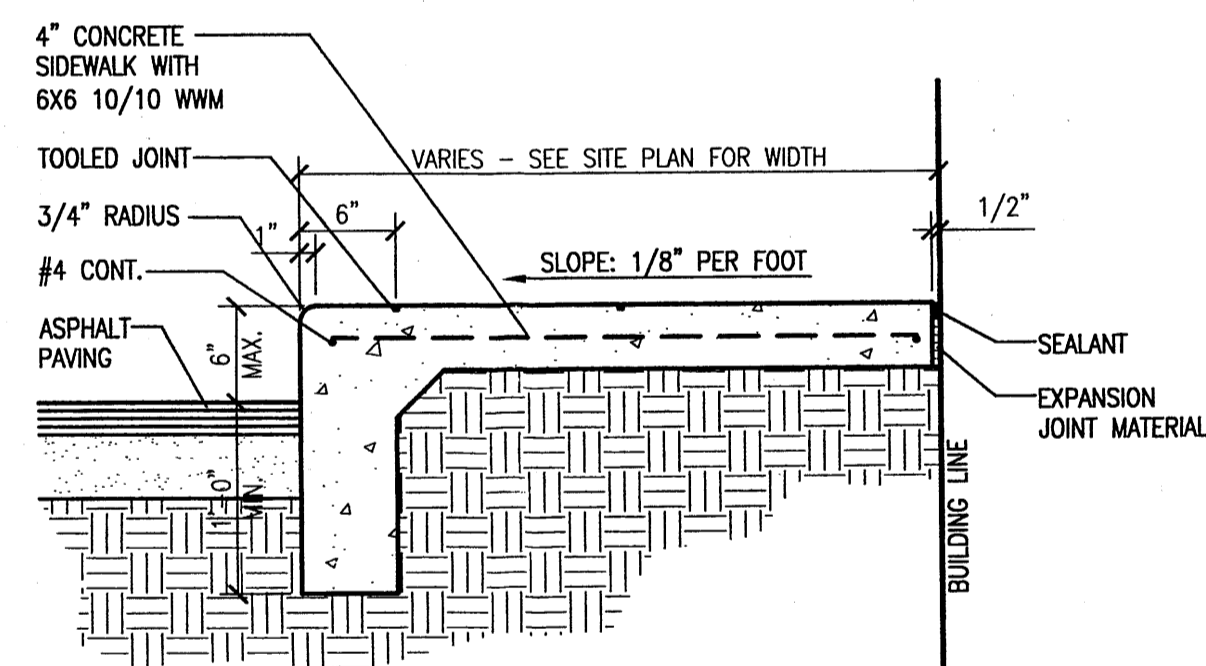
4 HC Parking Sign Detail
Scale: 3/4"=1'-0"



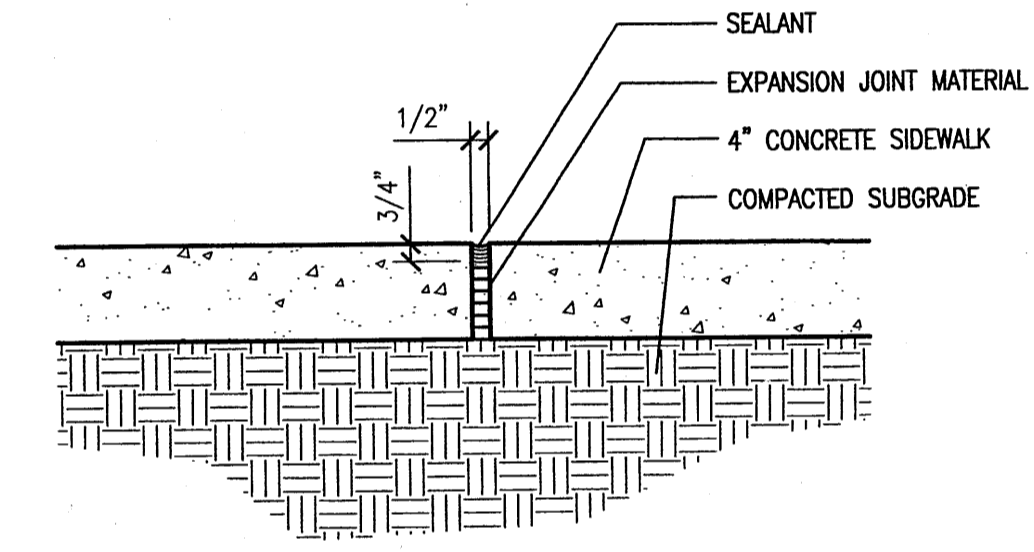
5 Dumpster Enclosure
Scale: 1/4"=1'-0"
NOTE: SEE SITE PLAN FOR DUMPSTER PLAN FOR ORIENTATION.



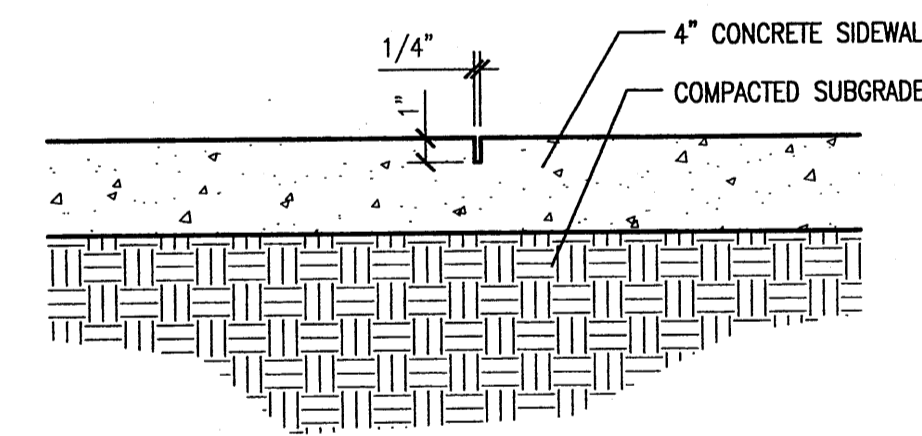
6 Enclosure Wall Section
Scale: 3/4"=1'-0"



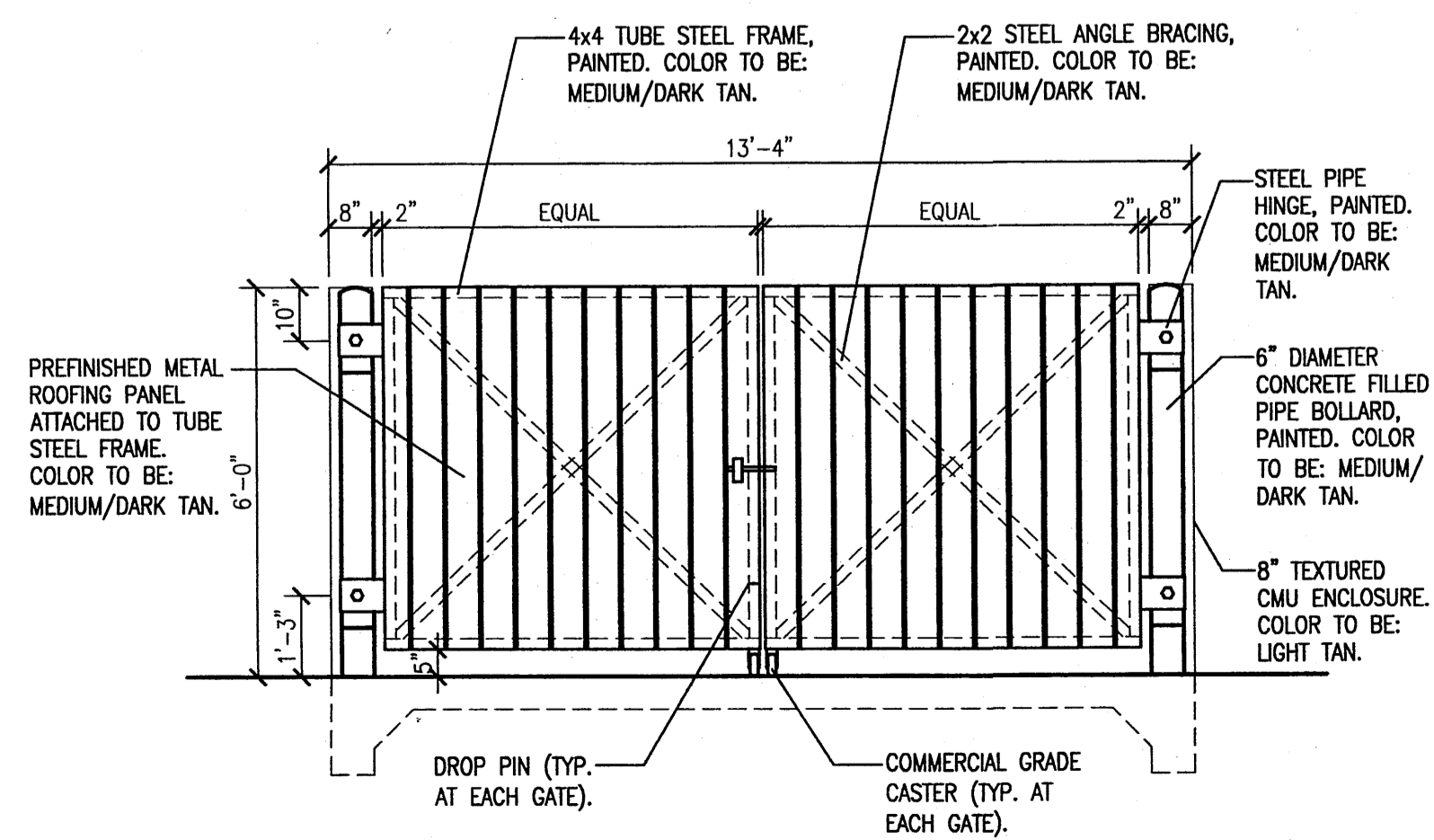
7 Concrete Sidewalk Detail
Scale: 1"=1'-0"



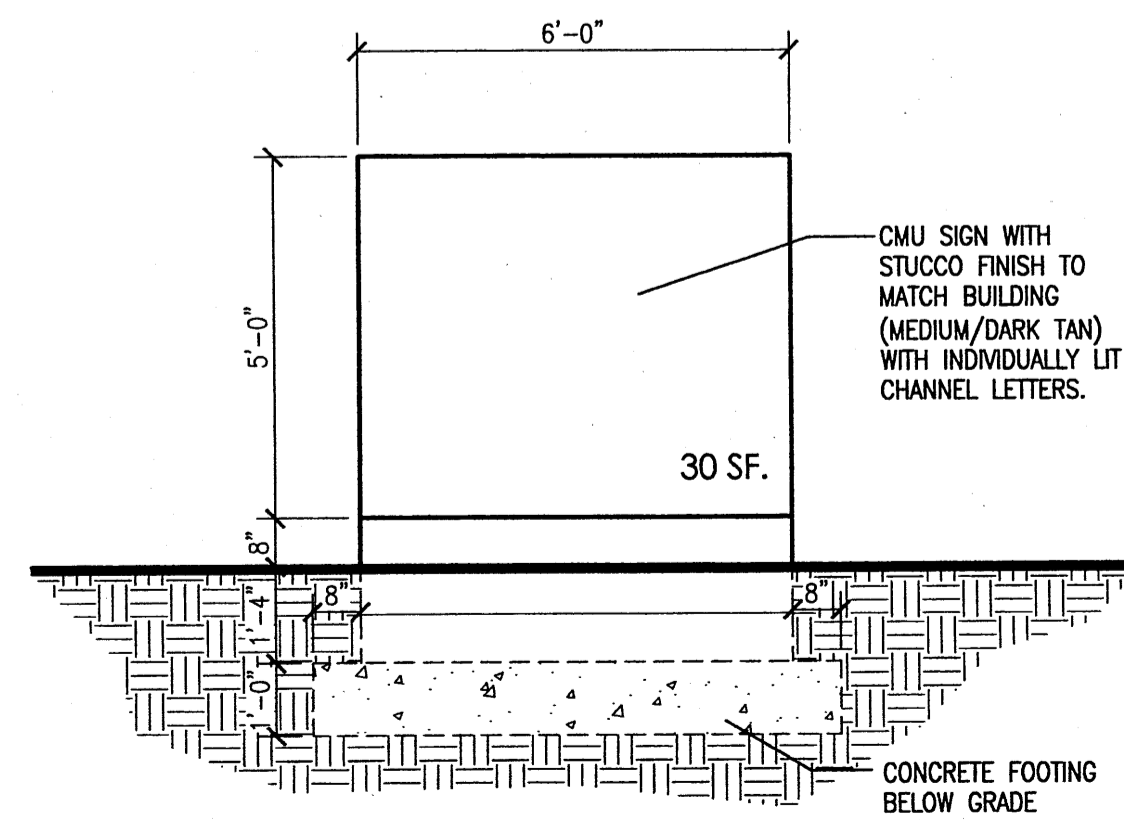
8a Expansion Joint Detail
Scale: 1 1/2"=1'-0"



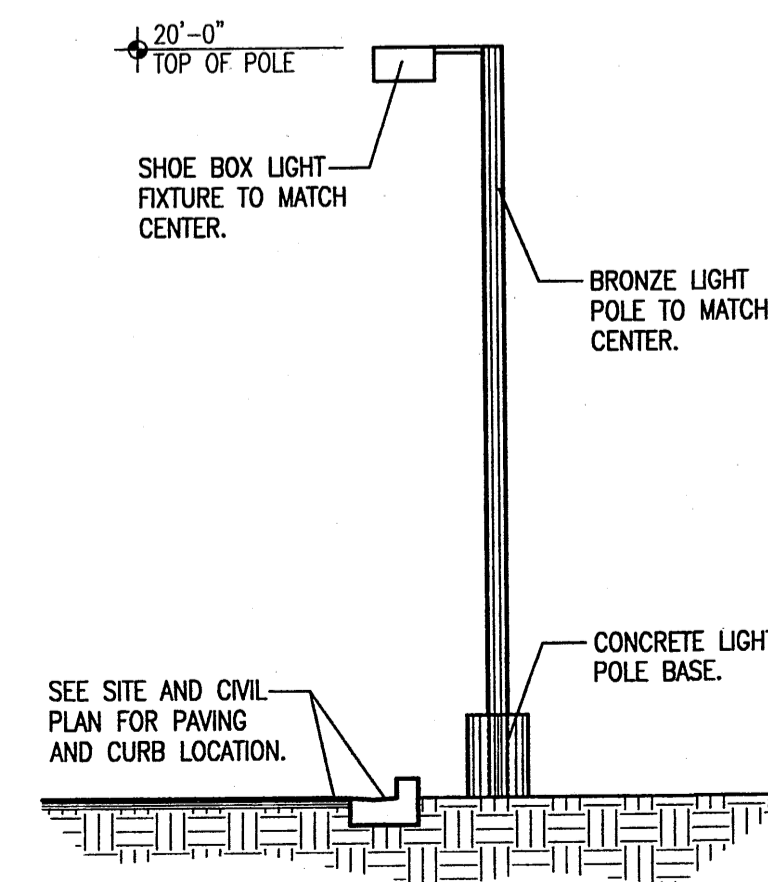
8b Contraction Joint Detail
Scale: 1 1/2"=1'-0"



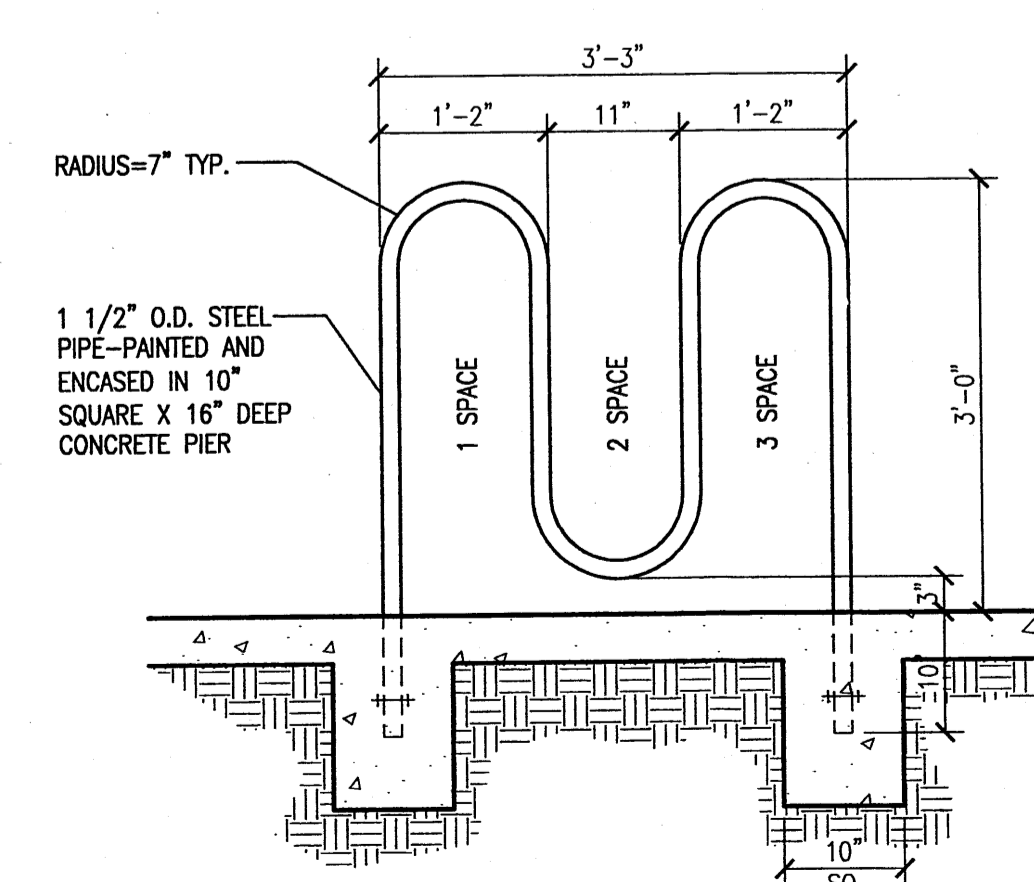
9 Dumpster Enclosure Elevation
Scale: 3/8"=1'-0"



10 Monument Sign Elevation
Scale: 3/8"=1'-0"



11 Site Lighting Elevation
Scale: 3/8"=1'-0"



12 Bicycle Rack Detail
Scale: 3/4"=1'-0"

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date	
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job number	07-08
drawn by	MAAG
project manager	Douglas Heller, AIA
date	08/14/07

project title
Retail Pad Building
Northwest Corner of Paseo Del Norte and Golf Course Road
Albuquerque, New Mexico
sheet file
Architectural Site Details

LANDSCAPE NOTES

Landscape and Irrigation System maintenance shall be the responsibility of the owner.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have (5) 1/2" bubblers and shrubs shall have a minimum of (2) 1/2" emitters per shrub, PER THE CITY FORESTER, (SEE EFC COMMENTS)

Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor prior to construction. It shall be the responsibility of the Landscape Contractor for any Required Permits, Backflow Prevention Compliance, Zoning Regulations, Inspections, Plumbing Codes, Approvals, Etc. required by the governing authority having jurisdiction over the project site.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 80% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

EFC COMMENTS

The landscape plan shall be revised as follows:

Replace a majority of the medium water use with low water use, preferably, native plants to further the city's water conservation and sector area policies.

All trees need to be 2" caliper or 10-12ft, minimum (zoning code section 14-16-3-10(F))

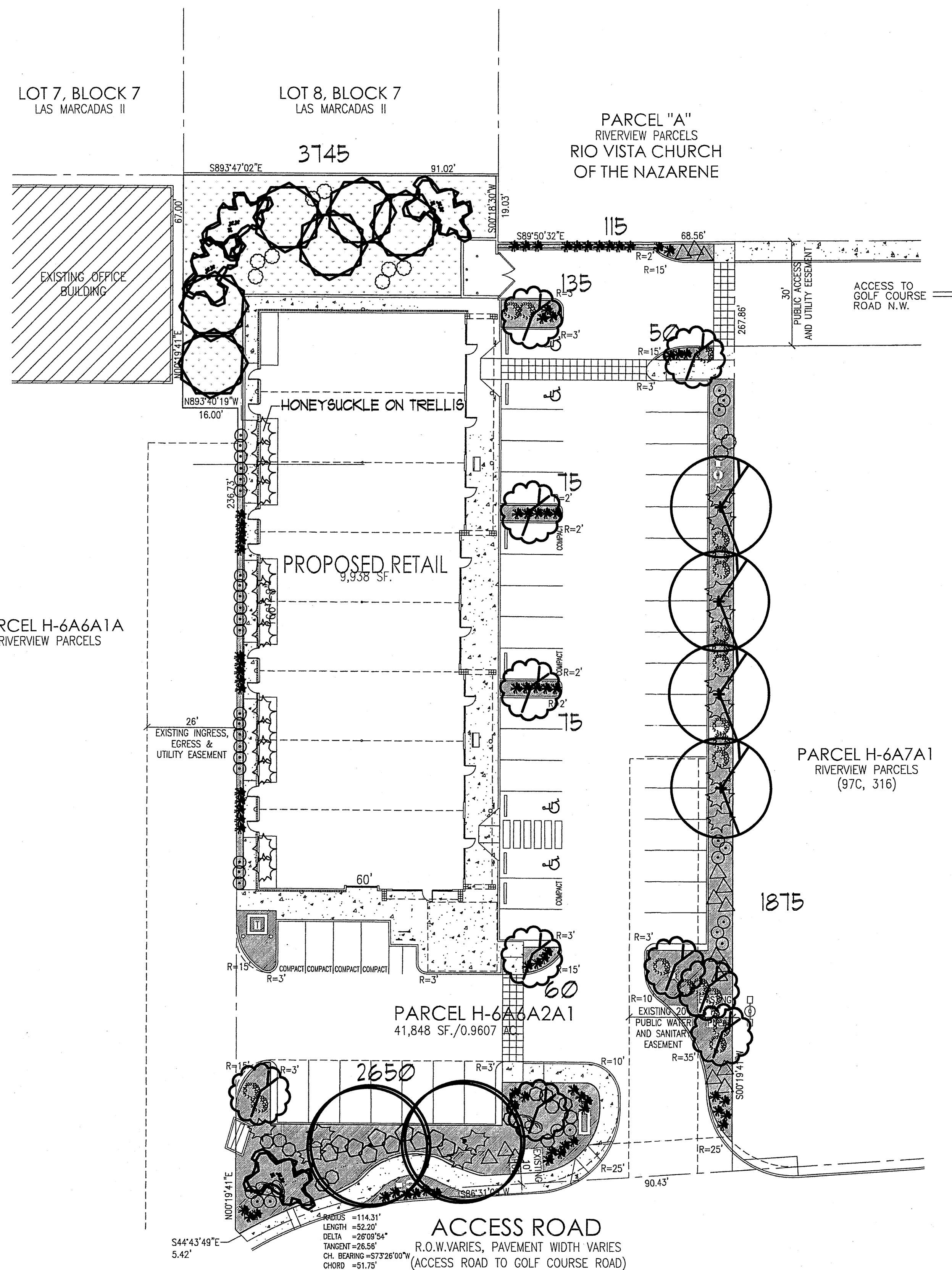
Replace the Austrain pines, which grow to 35', with Pinon Pine which will have less impact on the views to and from the escarpment and views from adjoining residential properties.

The irrigation note needs to specify a minimum of 5 one g.p.h. bubblers or "metafim spiral" system or equal per tree, per the City Forester.

The live ground cover shall be a minimum 80% coverage at maturity, excluding tree canopy.

The south bed require adjustments to accommodate the retaining wall (currently missing) and, possibly, to ensure that the monument sign of the adjacent office development is not obstructed.

The west side trellises shall be planted with Honeysuckle.

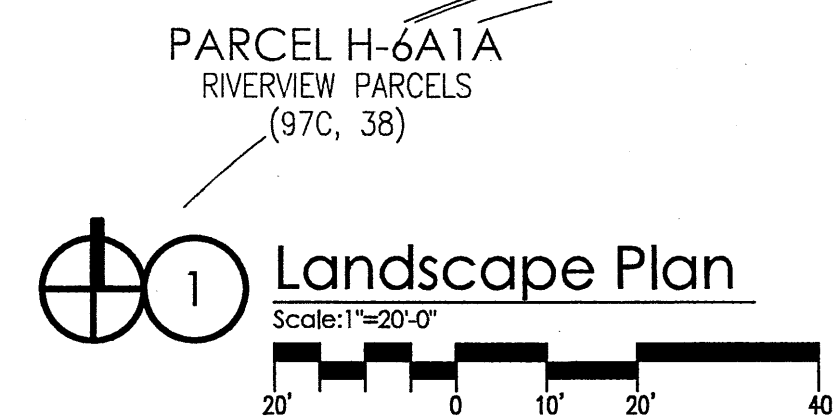


LANDSCAPE LEGEND

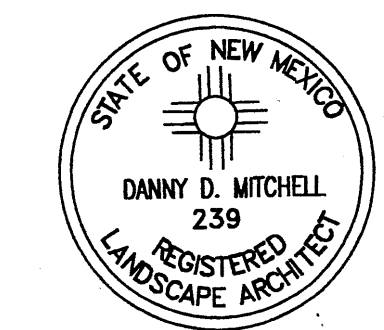
QTY	SIZE	COMMON/BOTANICAL	H2O USE
4	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	L
2	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	L
4	2" Cal.	Pinon Pine <i>Pinus edulis</i>	L
6	2" cal	Desert Willow <i>Chilopsis linearis</i>	L
10	10-12"	Bradford Pear <i>Pyrus calleryana</i>	L
10	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	L
21	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	L
28	5 Gal	Honeysuckle <i>Lonicera japonica</i>	L
16	5 Gal	Dwarf Butterfly Bush <i>Buddleia davidii nanhoensis</i>	L
13	5 Gal	Dwarf Feathertop <i>Pennisetum villosum</i>	L
12	5 Gal	Cherry Sage <i>Salvia greggii</i>	L
35	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	L
11	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	L
		SANTA FE BROWN CRUSHER FINES, NO FABRIC	
		COBBLE PLATED 3:1 SLOPE, SEED WITH NATIVE GRASS MIX	
4		BOULDERS, 2-3 cf, MOSS ROCK, typ.	

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	41848	SF
TOTAL BUILDING AREA	10000	SF
NET LOT AREA	31848	SF
LANDSCAPE REQUIREMENT	15	SF
TOTAL LANDSCAPE REQUIRED	4111	SF
TOTAL LANDSCAPE PROVIDED	8180	SF



Mitchell Associates, LLC
Landscape Architects
3150 Carlisle NE #12
Albuquerque, NM 87110
(505) 830-6096
darryl@mitchellassociatesllc.com

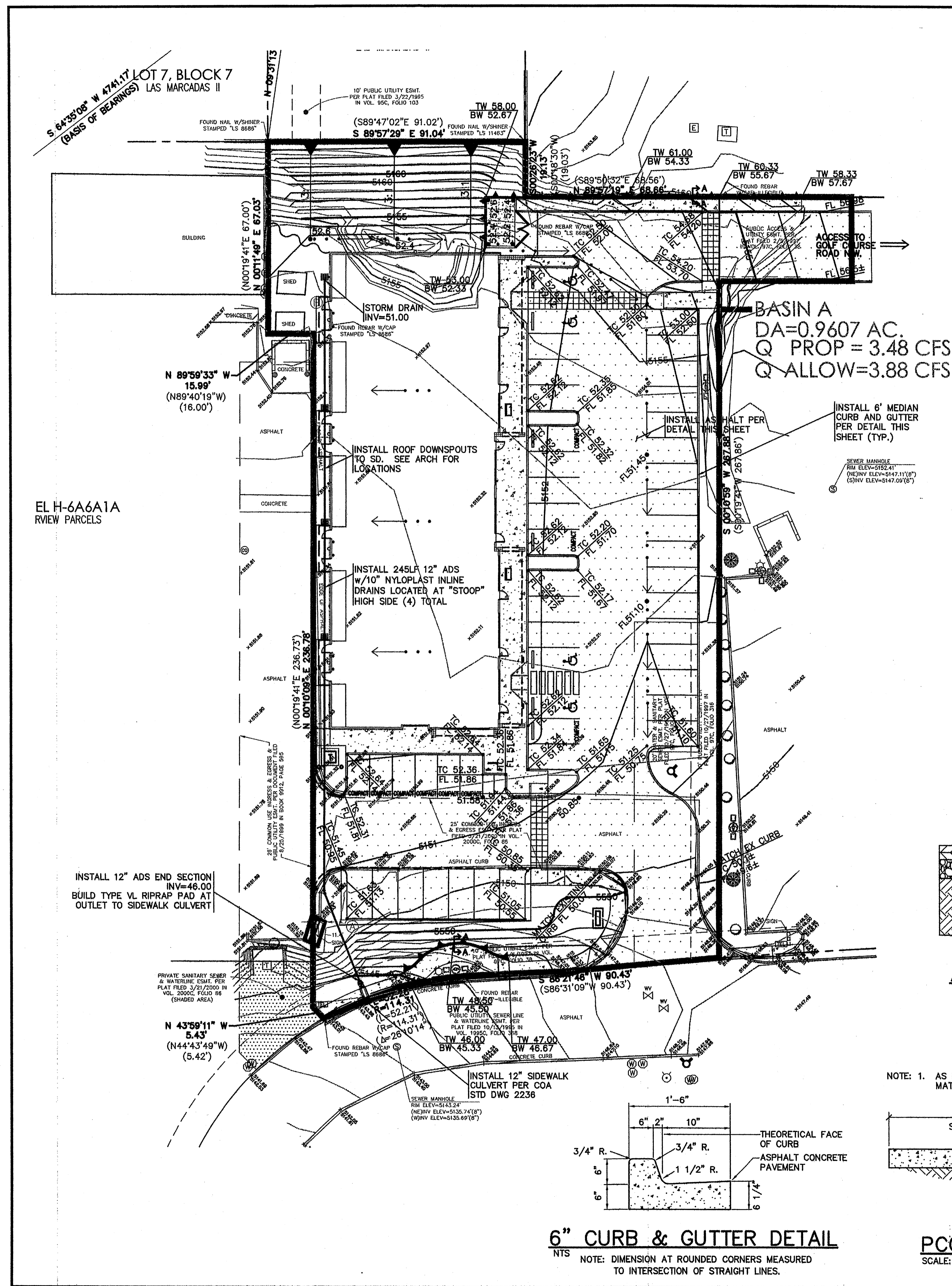


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date
rev. 1, 2, 3, 4, 5, 6

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job number 07-08
drawn by MAG
project manager Douglas Heller, AIA
date 8/14/07

project title Retail Pad Building
Northwest Corner of Paseo Del Norte and Golf Course Road
Albuquerque, New Mexico
sheet title Landscape Plan



LEGEND

	PROPERTY LINE		PROPOSED INTERMEDIATE CONTOUR
	INTERMEDIATE CONTOUR		PROPOSED INDEX CONTOUR
	INDEX CONTOUR		RETAINING WALL
	EXISTING EASEMENT		DIRECTION OF FLOW
	PROPOSED BASIN BOUNDARY LINE	TW	TOP OF WALL
	PROPOSED SPOT ELEVATIONS	BW	BOTTOM OF WALL (AT GRADE)
	EXISTING SPOT ELEVATIONS	TC	TOP OF CURB
	WATER BLOCK	FL	FLOW LINE
	PROPOSED ASPHALT		
	PROPOSED PCC CONCRETE		

EXISTING CONDITIONS
 THE PROJECT SITE CONSISTS OF 0.9607 ACRES, ALL OF WHICH IS AN EXISTING GRADED LOT. THERE IS AN EXISTING PAVED DRIVE ACCESSING THE WESTERN PROPERTY. THIS PAVED AREA IS LOCATED IN THE ACCESS EASEMENT AS SHOWN. THE PROPOSED SITE IS LOCATED JUST NORTH AND WEST OF THE INTERSECTION OF GOLF COURSE ROAD AND PASEO DEL NORTE. THIS LOT IS THE LAST OF TWO UNDEVELOPED LOTS OF THE SUBDIVISION. THIS LOT IS PART OF THE APPROVED "DRAINAGE REPORT FOR FURR'S-LAS MARCADAS" PREPARED BY D. MARK GOODWIN AND ASSOCIATES. THE PLANNED STORM DRAINAGE DISCHARGE SHALL DRAIN INTO INLETS LOCATED IN THE LOT ACROSS THE ACCESS ROAD BY THE NEWLY CONSTRUCTED DENTAL OFFICE.

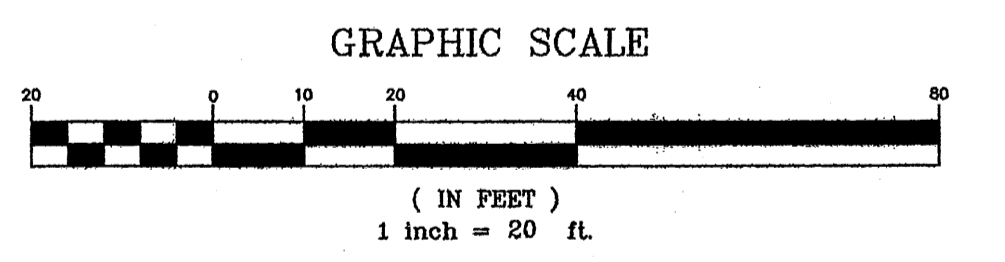
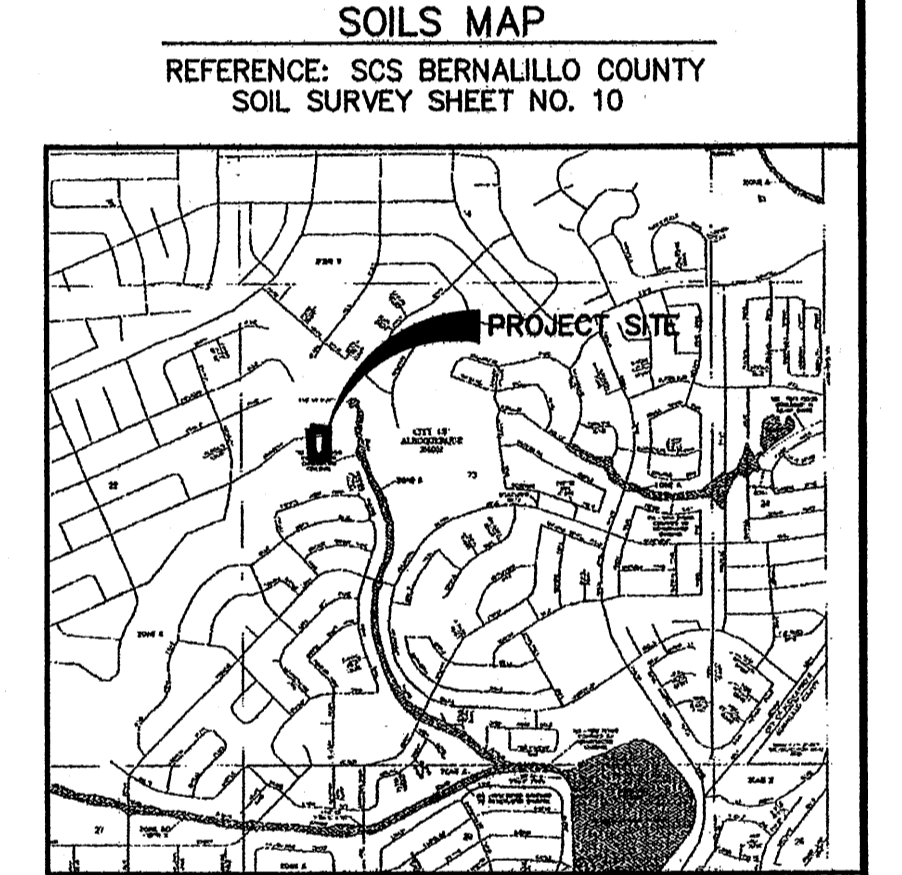
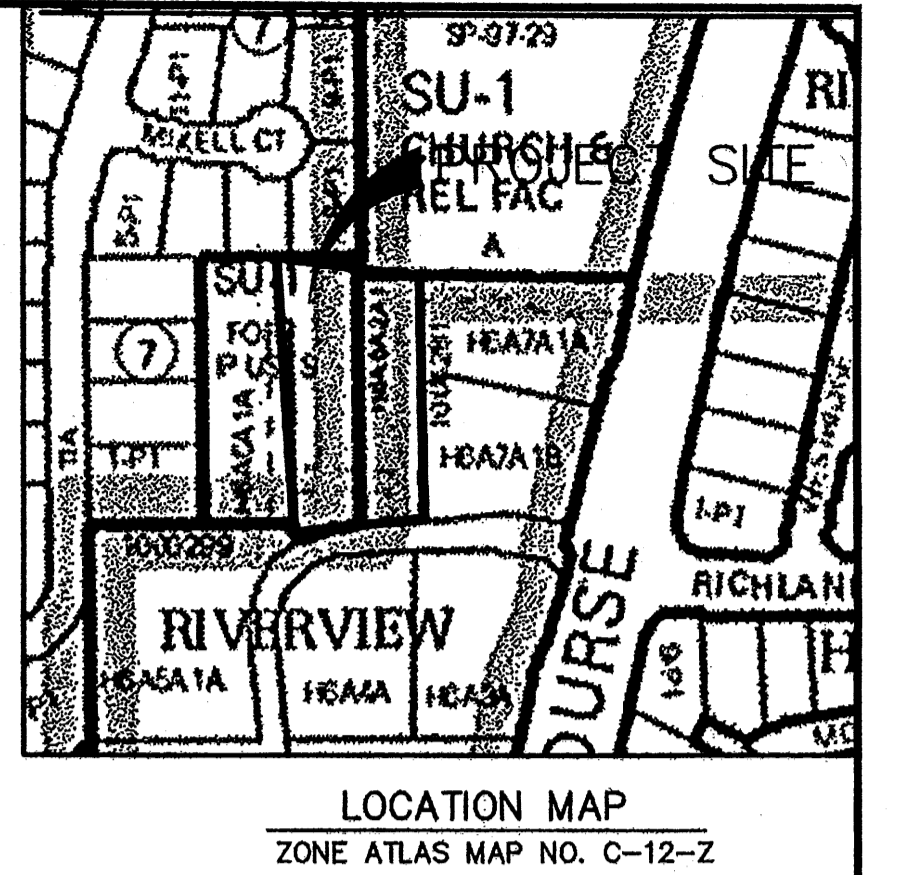
PROPOSED CONDITIONS
 THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF RETAIL BUILDING ON THE SITE. BASED ON THE REPORT AS MENTIONED ABOVE, THE SITE IS IDENTIFIED IN A BASIN (BASIN III) WHICH HAS AN ALLOWABLE DISCHARGE OF 35.7 CFS, THUS ALLOWING FREE DISCHARGE IF A GIVEN LAND TREATMENT IS ACHIEVED. THIS BEING A LAND TREATMENT OF 86% "D" AND 14% "B". THIS SITE SHALL PROVIDE A DISCHARGE LESS THEN THE RATE INTO THE STORM DRAINAGE SYSTEM LOCATED AT JUST BELOW THE EXISTING BLOCKBUSTER VIDEO, ACROSS THE SUBJECT SITE. THUS THE REQUIRED FREE DISCHARGE SHALL BE LESS THEN Q=3.88 CFS AT A RATE OF Q=3.48 CFS.

INPUT DATA

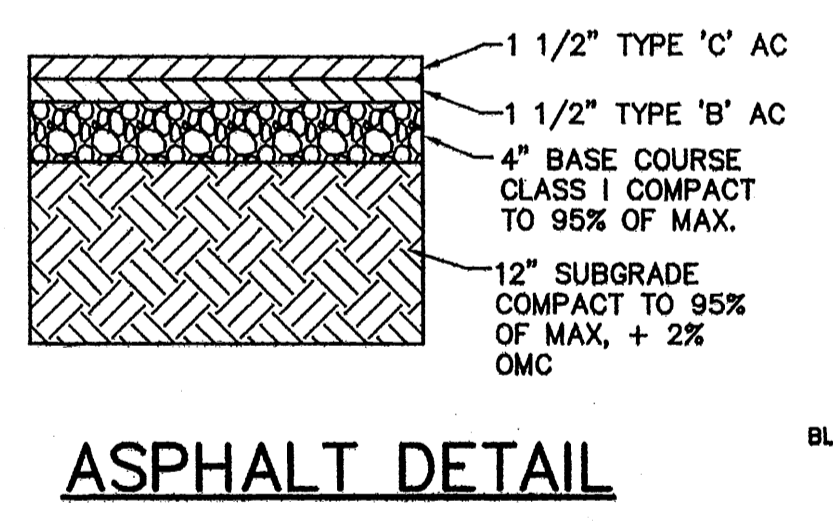
ZONE	RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM				
	1 HOUR	6 HOUR	24 HOUR	4 DAY	10 DAY
1	1.87	2.20	2.66	3.12	3.67

HYDROLOGY SUMMARY REQUIRED

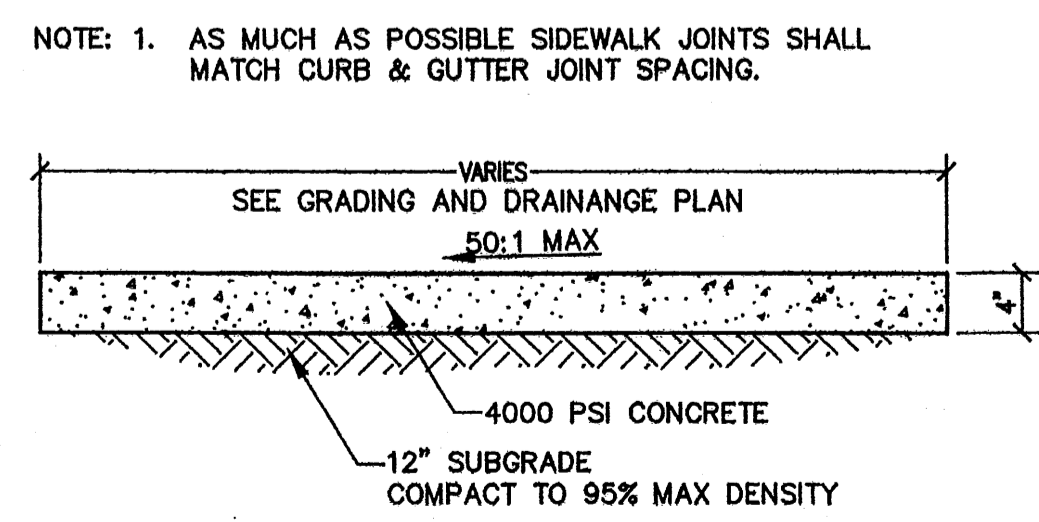
PROJECT NAME: MARKETPLACE SHOPS	AREA (acres)	LAND TREATMENTS													
		2 YEAR				10 YEAR				100 YEAR					
		Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)						
BASIN	CONDITION	A	B	C	D	6 HR	24 HR	6 HR	24 HR	6 HR	24 HR				
A	PROPOSED	0.9607	0.0%	15.0%	0.0%	85.0%	1.40	0.049	0.0634	2.49	0.088	0.109	3.88	0.143	0.174



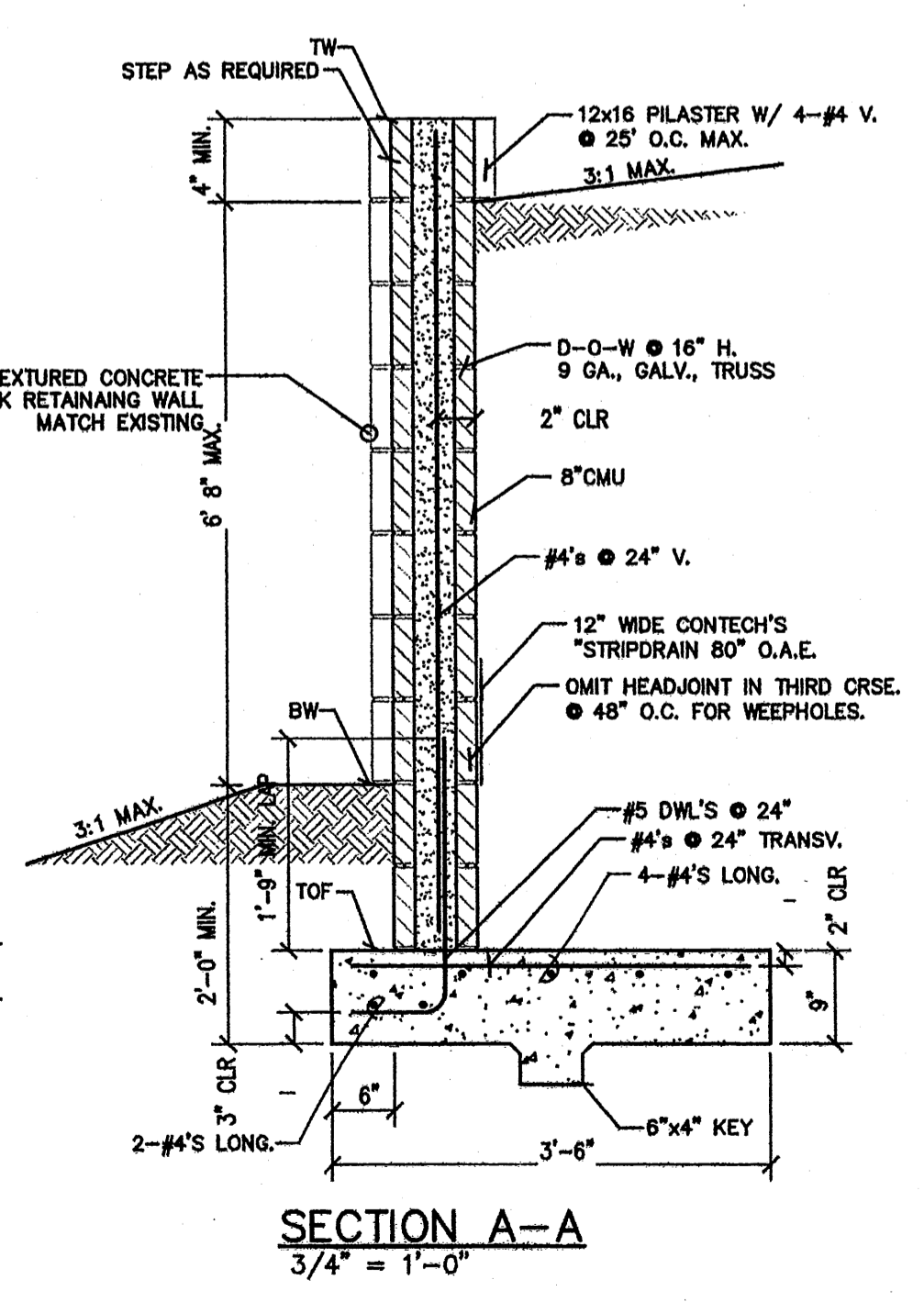
LEGAL DESCRIPTION
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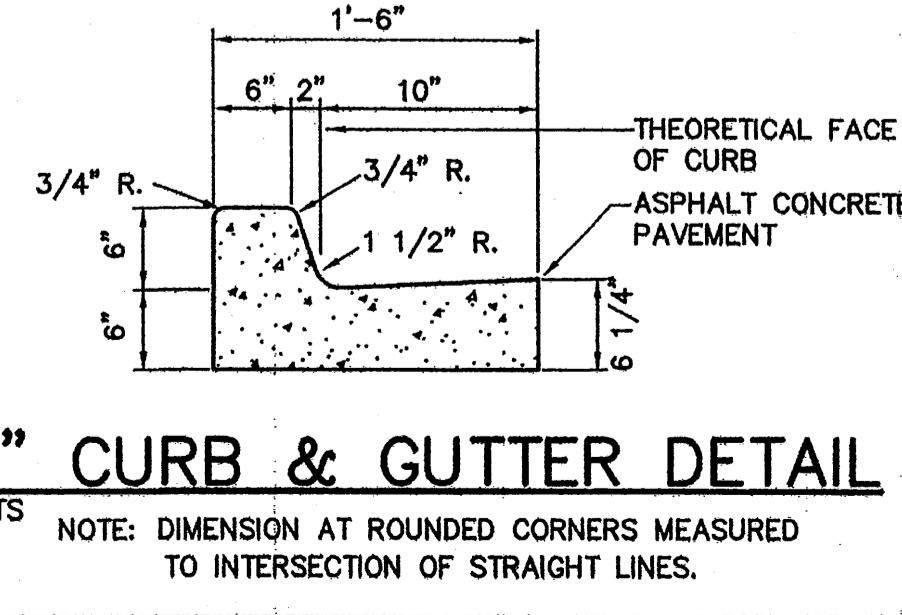
ASPHALT DETAIL



PCC SIDEWALK DETAIL
 SCALE: 1" = 1'



SECTION A-A
 3/4" = 1'-0"



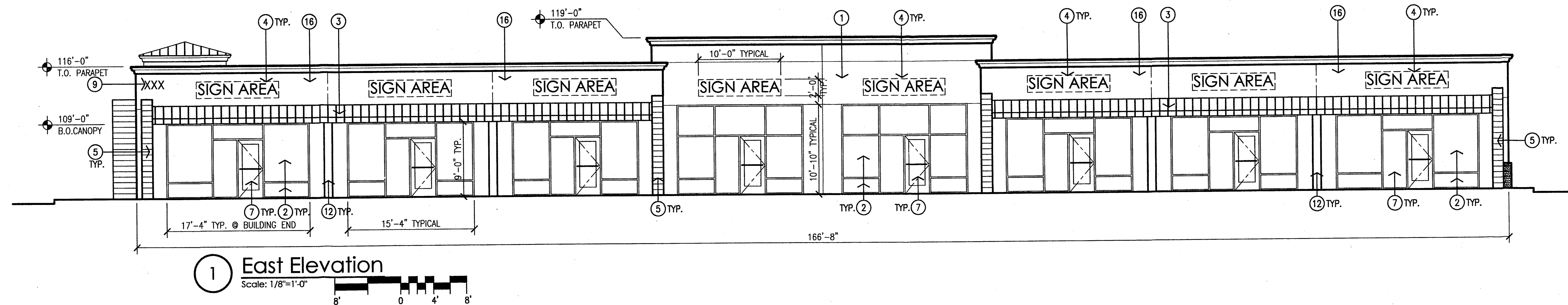
6" CURB & GUTTER DETAIL
 NTS NOTE: DIMENSION AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

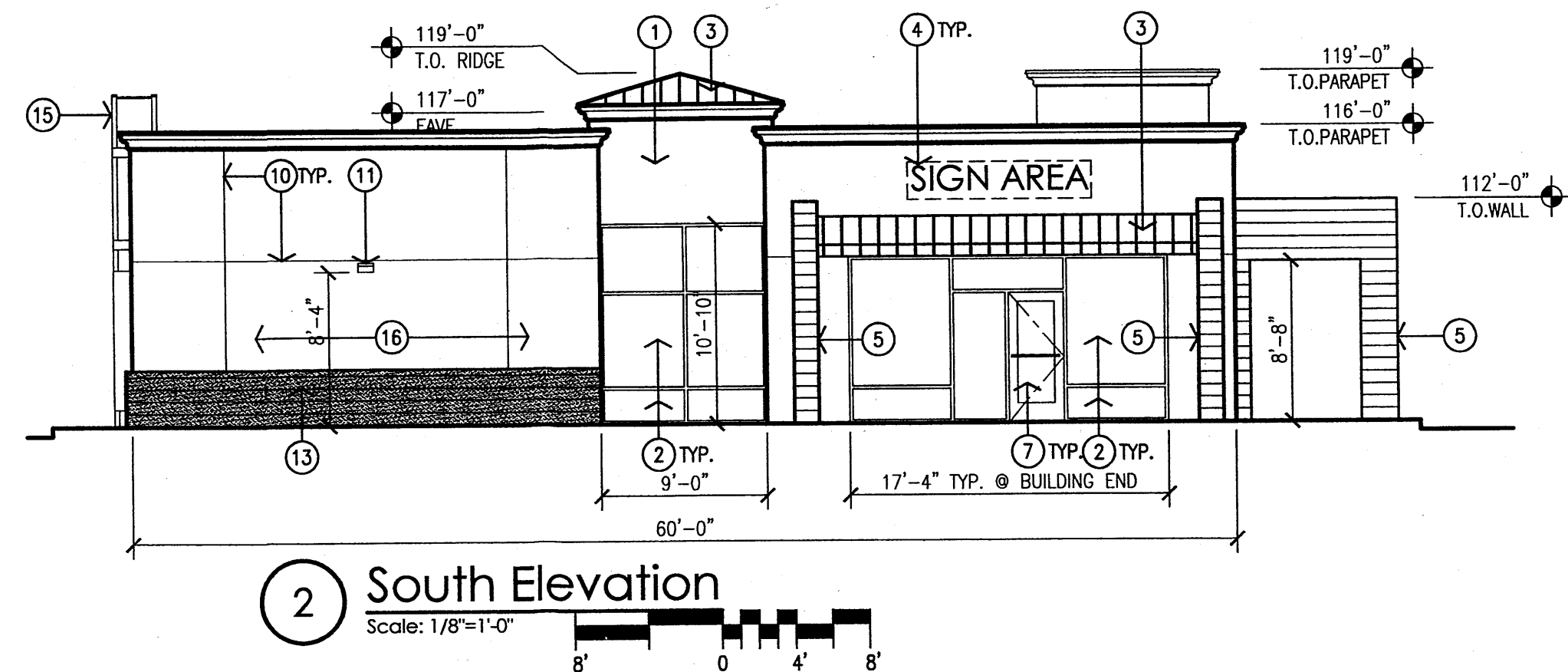
NORTHWEST CORNER OF PASEO DEL NORTE AND GOLF COURSE ROAD

GRADING AND DRAINAGE PLAN

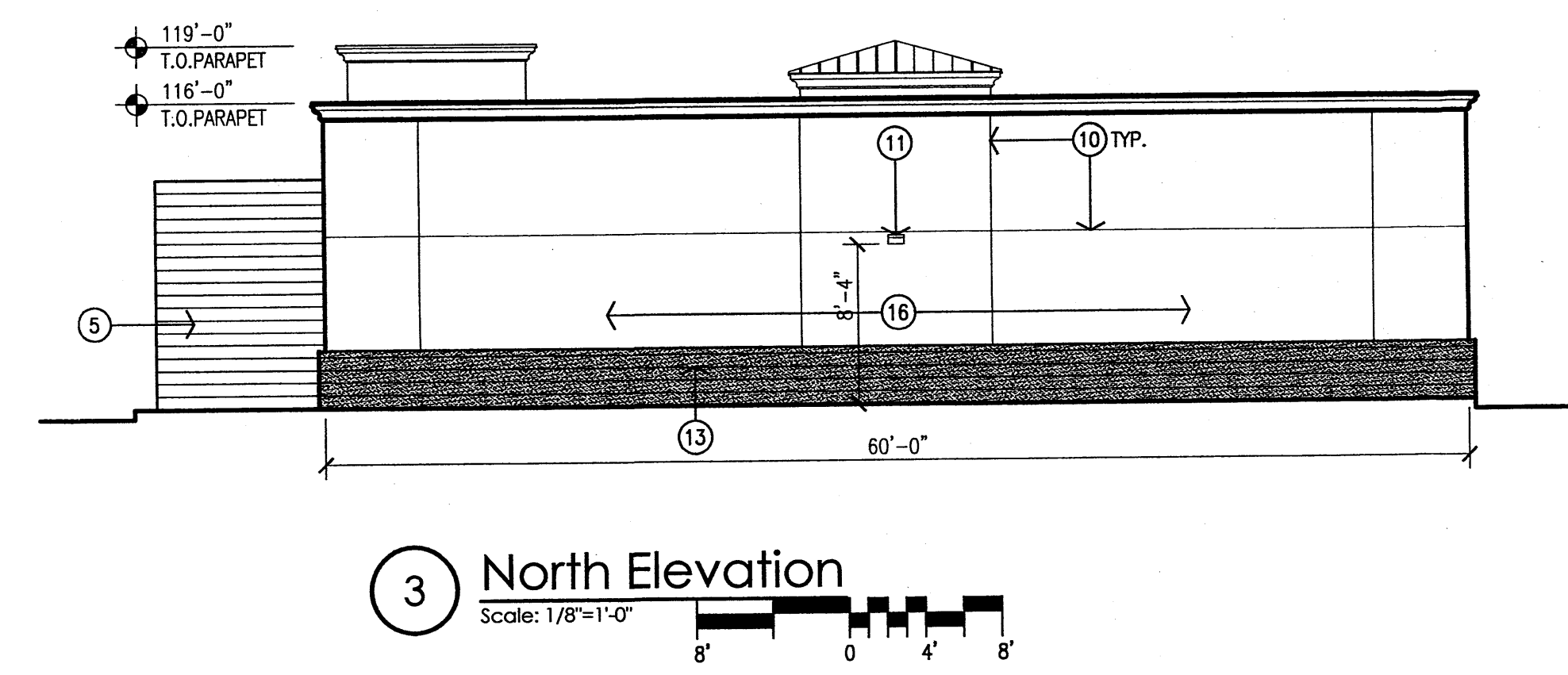
NO.	DATE	REMARKS	BY
DESIGN	SJS	WCEA NO. 07001	DATE AUG 2007
DRAWN	SJS	PROJECT NO.	SHEET NO.
CHECK	SJS		C-001



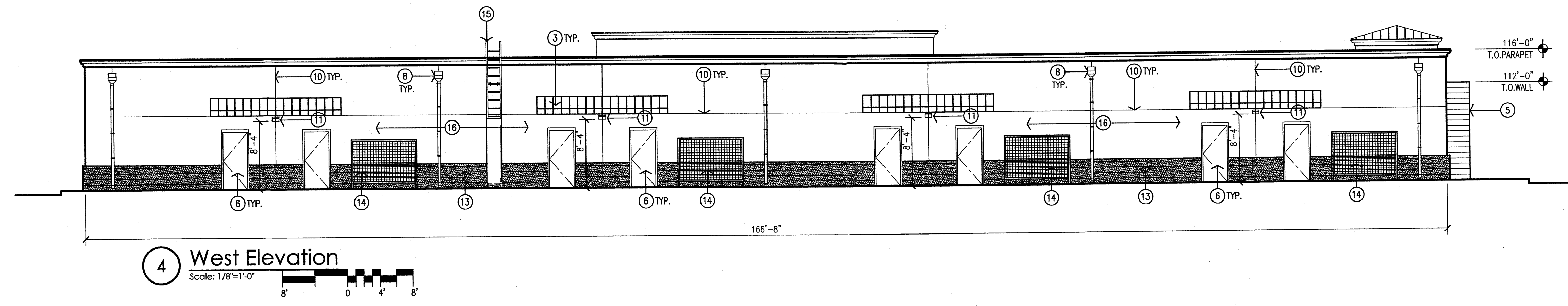
1 East Elevation
Scale: 1/8"=1'-0"



2 South Elevation
Scale: 1/8"=1'-0"



3 North Elevation
Scale: 1/8"=1'-0"



4 West Elevation
Scale: 1/8"=1'-0"

- EXTERIOR ELEVATION GENERAL NOTES:
- A. PROVIDE LIGHTING UNDER CANOPIES ON EAST AND SOUTH FACADES.
 - B. ALL ROOFTOP EQUIPMENT IS TO BE COMPLETELY SCREENED FROM VIEW FROM THE ADJACENT RESIDENTIAL AREA.
 - C. THE ROOF SURFACE SHALL BE GRAVEL SURFACED WITH TAN OR NATURAL LOCAL GRAVEL.

- EXTERIOR ELEVATION KEYED NOTES:
- [1] 2-COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT OVER BUILDING PAPER AND WIRE MESH. COLOR TO BE: DARK TAN TO MATCH CENTER.
 - [2] CLEAR ANODIZED ALUMINUM STOREFRONT WITH TINTED INSULATED GLAZING TO MATCH EXISTING CENTER.
 - [3] PREFINISHED ROOF PANELS. COLOR TO BE: SLATE BLUE GRAY.
 - [4] INTERNALLY ILLUMINATED CHANNEL LETTER SIGN AREA: 20 SF TYPICAL. SEE APPROVED OVERALL DEVELOPMENT PLAN FOR SIGN STANDARDS.
 - [5] BURNISHED CMU WING WALL. COLOR TO BE: MEDIUM TAN TO MATCH CENTER.
 - [6] HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
 - [7] ALUMINUM STOREFRONT DOOR WITH TINTED GLAZING TO MATCH EXISTING CENTER.
 - [8] PREFINISHED SHEET METAL DOWNSPOUT AND COLLECTOR BOX TO MATCH STUCCO.
 - [9] 12" HIGH ADDRESS CHANNEL LETTERS.
 - [10] STUCCO CONTROL JOINT, TYPICAL.
 - [11] SHIELDED EXTERIOR LIGHT FIXTURE.
 - [12] CONCRETE COLUMN TO BE FINISHED AND SEALED.
 - [13] 32" HIGH SPLIT FACE CMU BASE. COLOR LIGHT TAN.
 - [14] TUBE STEEL TRELLIS, PAINTED LIGHT TAN TO MATCH TEXTURED CMU. SEE LANDSCAPE PLAN FOR LANDSCAPING.
 - [15] EXTERIOR ROOF LADDER PAINTED LIGHT TAN TO MATCH STUCCO COLOR. SEE 6/A301.
 - [16] 2-COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT OVER BUILDING PAPER AND WIRE MESH. COLOR TO BE: MEDIUM TAN TO MATCH CENTER.

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project file
Retail Pad Building
Northwest Corner of Paseo Del Norte and Golf Course Road
Albuquerque, New Mexico
sheet file
Exterior Elevations

sheet-
A401