

**PROJECT INFORMATION**

**PROJECT:** NEW OFFICE PARK  
**LOCATION:** VISTA OESTE, NW ALBUQUERQUE, NM  
**OWNER:** ROBBY ROBERSON  
**ARCHITECT:** TATE FISHBURN ARCHITECT  
**LEGAL DESCRIPTION:** TRACT 20A LADERA BUSINESS CENTER  
**CURRENT ZONING CLASSIFICATION:** SU-1 FOR IP  
**TYPE CONSTRUCTION:** TYPE V-B  
**OCCUPANCY:** B  
**ALLOWABLE AREA:** 36,000 SQ. FT. TYPE IIN CONSTRUCTION & B OCCUPANCY = 12,000  
**GROSS BUILDING AREA:**

BUILDING 1	5,900 S.F.
BUILDING 2	5,900 S.F.
BUILDING 3	5,040 S.F.
BUILDING 4	5,100 S.F.
BUILDING 5	5,040 S.F.
TOTAL	26,980 S.F.

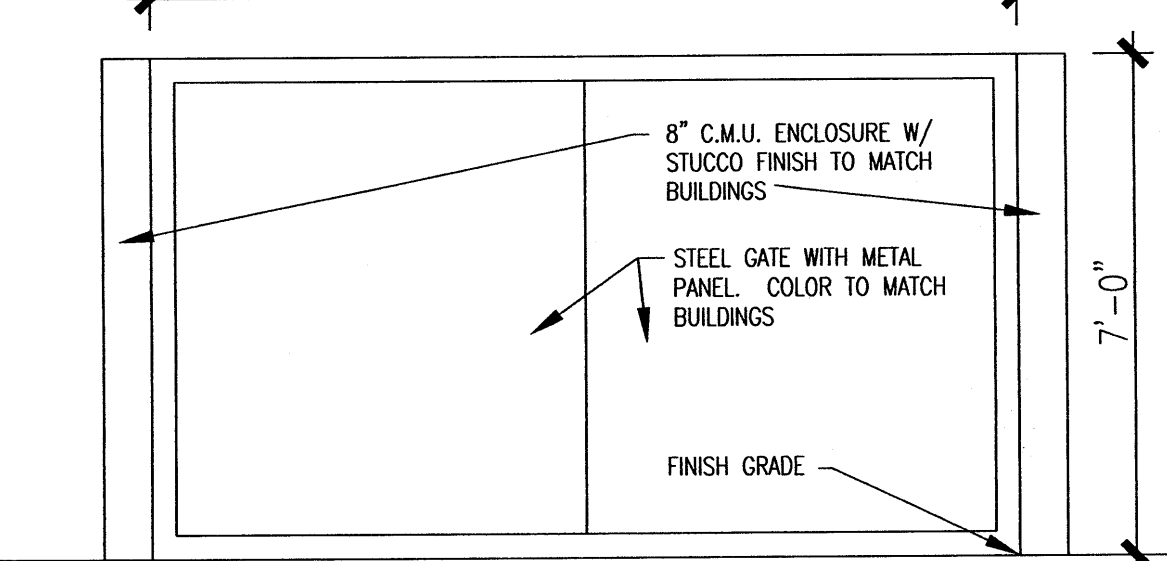
**TOTAL LOT AREA:** 3.2 ACRE +/-  
**PARKING ANALYSIS:**  
 OFFICE AREA = 26,980  
 REQUIRED PARKING = 135  
 SPACES PROVIDED = 135 SPACES INCLUDING 8 HANDICAP 9 BIKE SPACES

**GENERAL NOTES:**

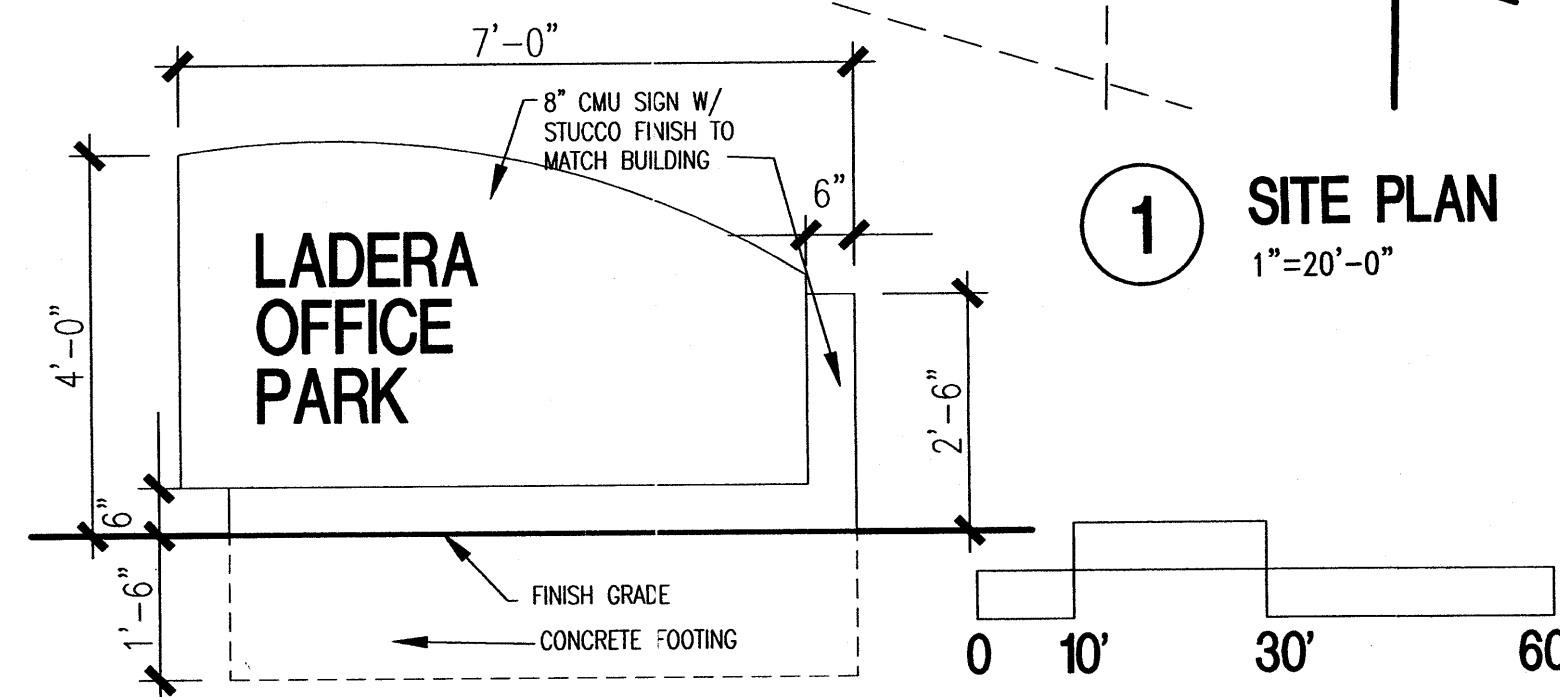
- ALL SITE LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-9, AREA LIGHTING REGULATIONS & THE NIGHT SKY ORDINANCE.
- POLE MOUNTED LIGHTING SHALL BE 20'-0" MAX. & 16'-0" MAX FOR WALKWAYS.
- PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUM. REQ'MENTS.
- ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS W/ NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING'S BASIC MATERIALS. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.

**GENERAL NOTES (CONT.):**

- ALL HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2441.
- STREETLIGHTS SHALL MEET THE FOLLOWING SPEC.- G.E. 100 WATT, BRONZE, LUMEN SHOEBOX TYPE W/ LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.



**3 TRASH ENCLOSURE**  
N.T.S.

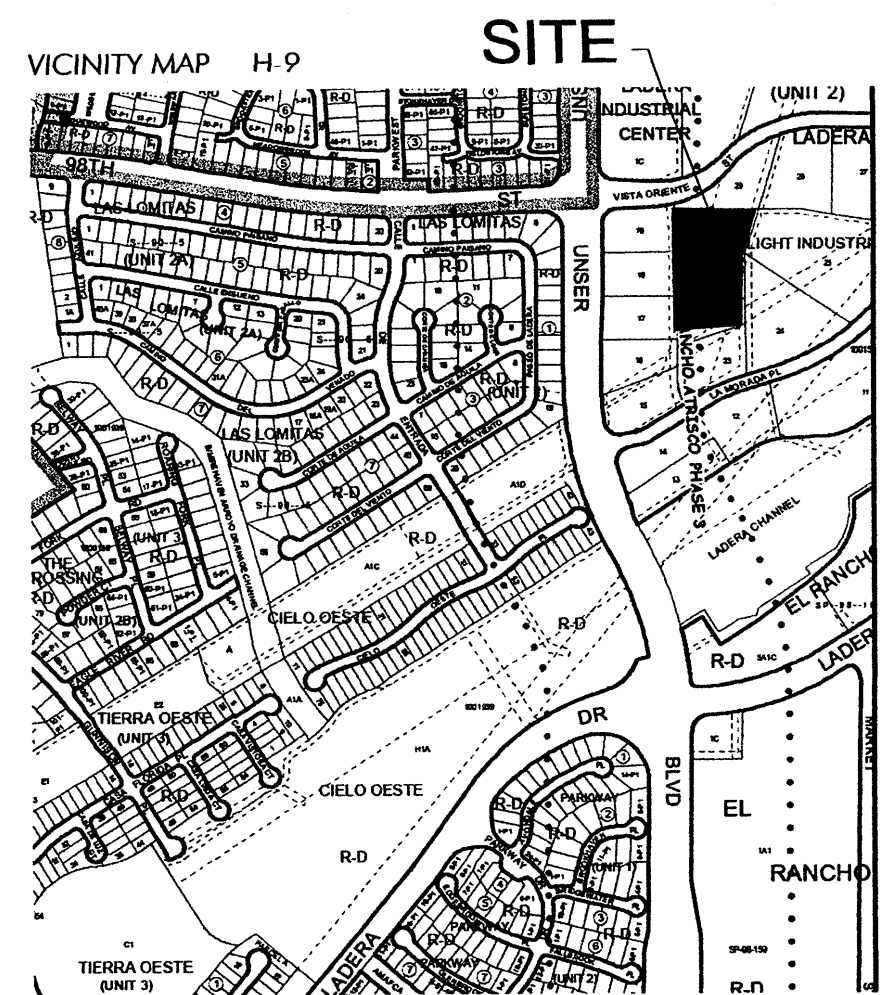


**2 MONUMENT SIGN**  
1/2"=1'-0"

**GRAPHIC SCALE**

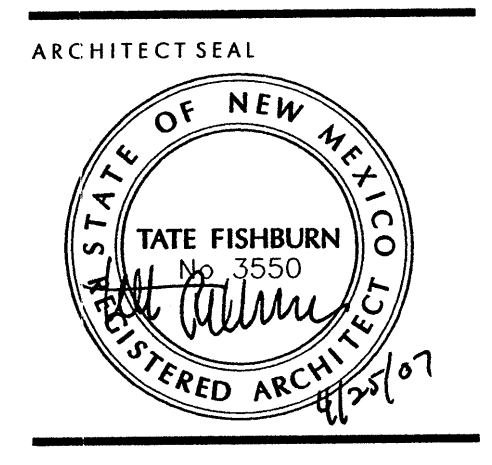
PROJECT NO. 1005508  
 APPLICATION NO. 07DRB-00341  
 IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO  
 IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.  
 DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	4-25-07	DATE
ENGINEER, TRANSPORTATION DIVISION		
<i>[Signature]</i>	6-1-07	DATE
WATER UTILITY DEPARTMENT		
<i>[Signature]</i>	4/25/07	DATE
Christina Sandoval		
PARKS & RECREATION DEPARTMENT		
<i>[Signature]</i>	4/25/07	DATE
Patty B. Bly		
CITY ENGINEER		
<i>[Signature]</i>	4/25/07	DATE
N/A		
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)		
<i>[Signature]</i>	6/07/07	DATE
Michael Holton		
SOLID WASTE		
<i>[Signature]</i>	6/07/07	DATE
DRB CHAIRPERSON, ALBUQUERQUE PLANNING DEPARTMENT		
*ENVIRONMENTAL HEALTH, IF NECESSARY		



**4 POLE LIGHT**  
N.T.S.

TATE FISHBURN ARCHITECT



PROJECT

SITE DEVELOPMENT PLAN  
 LADERA BUSINESS PARK TRACT 20A  
 VISTA OESTE, NW  
 ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE: APRIL 25, 2007

SCALE: 1"=20'-0"

DRAWING NAME: SITE DEVELOPMENT PLAN FOR BLDG. PERMIT

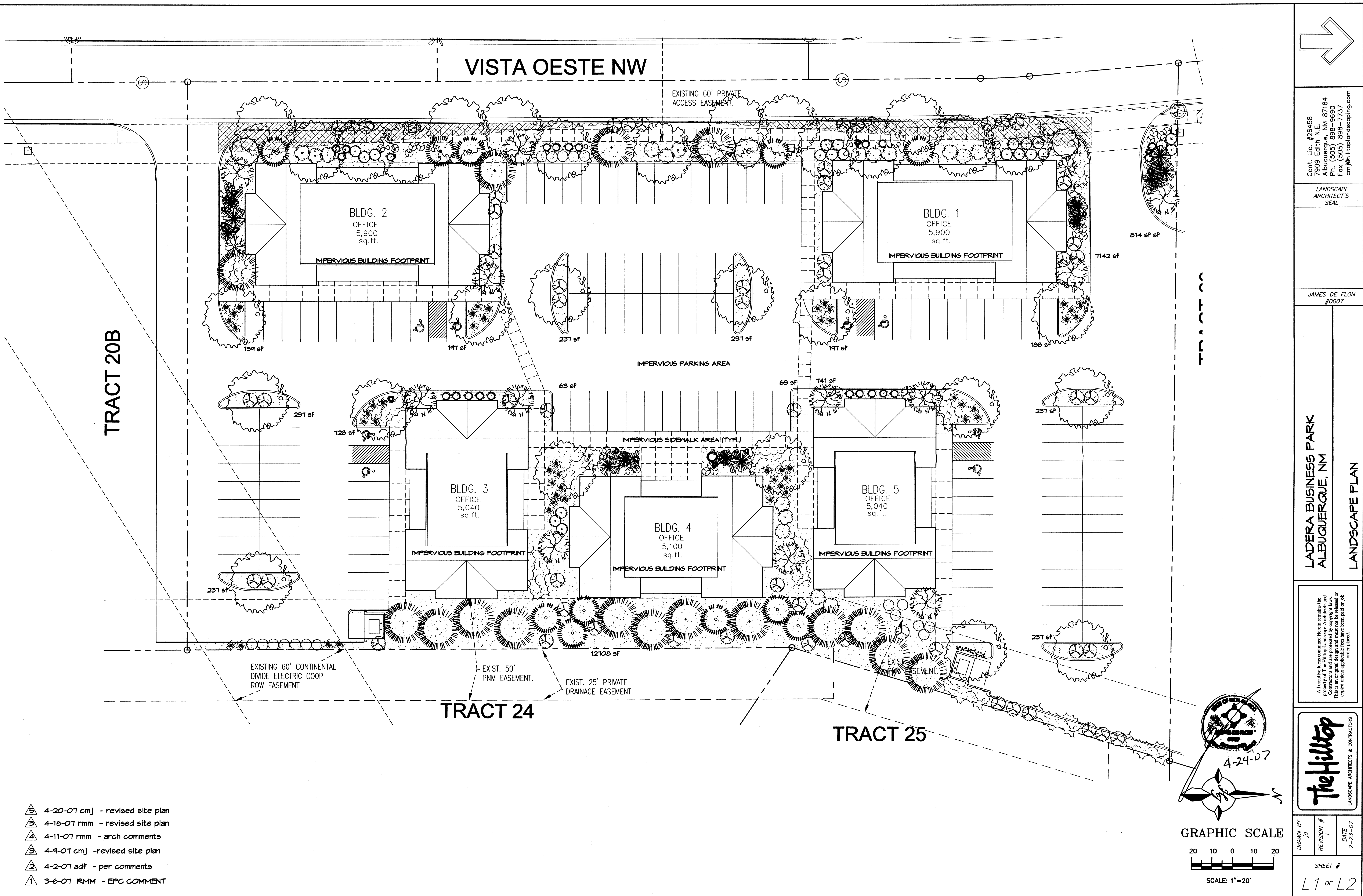
SHEET NUMBER

SDP-1

Project 1005508

BOB 2941 CORRALES, NEW MEXICO 87048 PHONE: 505.899.9388 FAX: 899.9328





VISTA OESTE NW

TRACT 20B

TRACT 24

TRACT 25

BLDG. 2  
OFFICE  
5,900  
sq.ft.

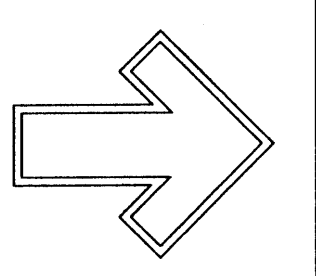
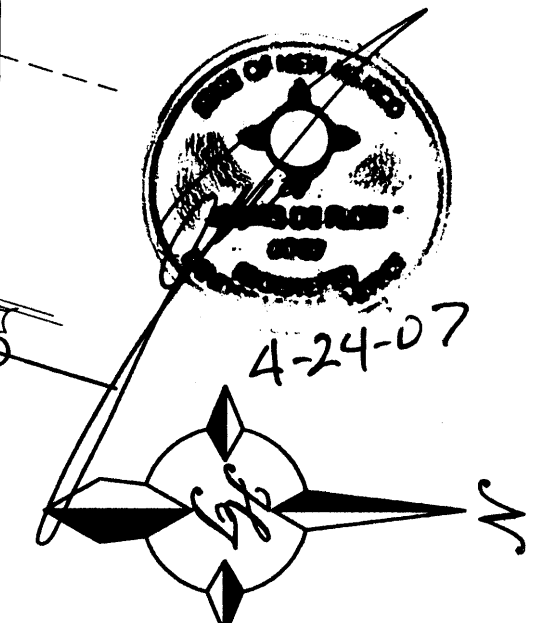
BLDG. 1  
OFFICE  
5,900  
sq.ft.

BLDG. 3  
OFFICE  
5,040  
sq.ft.

BLDG. 4  
OFFICE  
5,100  
sq.ft.

BLDG. 5  
OFFICE  
5,040  
sq.ft.

- 5 4-20-07 cmj - revised site plan
- 4 4-16-07 rmm - revised site plan
- 4 4-11-07 rmm - arch comments
- 3 4-9-07 cmj - revised site plan
- 2 4-2-07 adf - per comments
- 1 3-6-07 RMM - EPC COMMENT



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Fax (505) 898-7737  
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007

LADERA BUSINESS PARK  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

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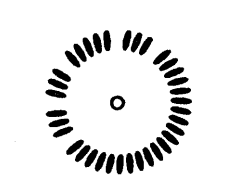

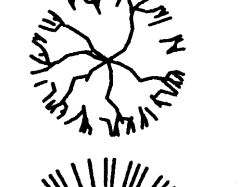
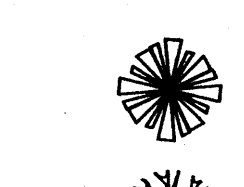

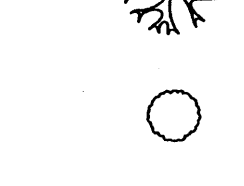
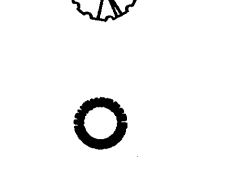
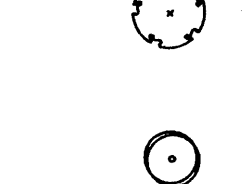
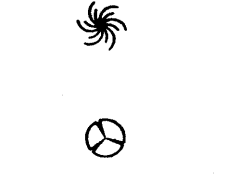
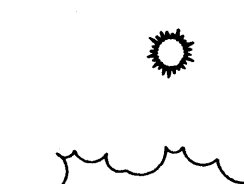
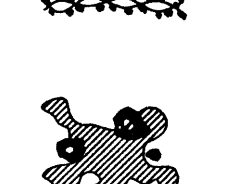

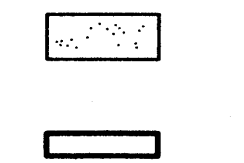
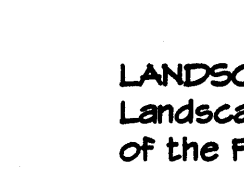
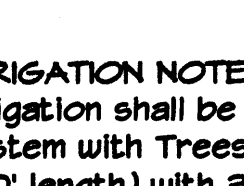
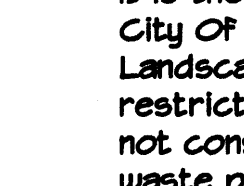
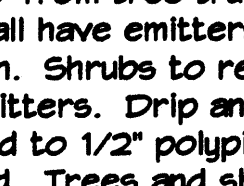
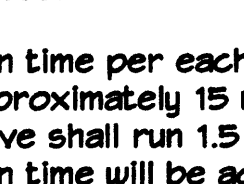
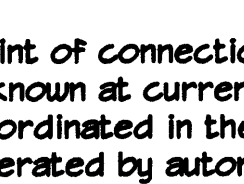
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY	JA
REVISION #	1
DATE	2-23-07

SHEET #  
L1 of L2



# PLANT LEGEND

	<b>CHINESE PISTACHE (M) 23</b> Pistacia chinensis 2 1/2" Cal.		<b>GREEN GIANT ARBORVITAE (M) 11</b> Thuja plicata x Thuja standishii 10" 100sf
	<b>DESERT WILLOW (L) OR CHITALPA (M) 3</b> Chilopsis linearis Chilopsis x catalpa 24" Box 225sf		<b>VITEC (M) OR NEM MEXICO OLIVE (M) 12</b> Vitex agnus-castus Forestiera neomexicana 15 Gal. 225sf
	<b>PALM YUCCA (L) 12</b>		<b>AUSTRIAN PINE (M) 16</b> Pinus nigra 6'-8'
	<b>ROCKY MOUNTAIN JUNIPER (L+) 2</b> Juniperus scopulorum 7 Gal.		<b>HONEYSUCKLE (M) 44</b> Lonicera japonica 'Halliana' 1 Gal. 144sf Unstaked-Groundcover
	<b>APACHE PLUME (L) 18</b> Fallugia paradoxa 5 Gal. 25sf		<b>MUGO PINE (M) 1</b> Pinus mugo 5 Gal. 4sf
	<b>BUTTERFLY BUSH (M) 18</b> Buddleia davidii 5 Gal. 100sf		<b>MAIDEN GRASS (M) 52</b> Miscanthus sinensis 5 Gal. 16sf
	<b>RUSSIAN SAGE (M) 21</b> Perovskia atriplicifolia 5 Gal. 36sf		<b>WILDFLOWER 24</b> 1 Gal. 4sf
	<b>SCOTCH BROOM (M) 22</b> Cytisus scoparius 5 Gal. 16sf		<b>TRUMPET VINE (M) 1</b> Campsis radicans 1 Gal. 400sf
	<b>LADY BANKS ROSE (M) 12</b> Rosa banksiae 5 Gal. 200sf Unstaked Groundcover		<b>OVERSIZED GRAVEL</b> 4 15 BOULDERS
			<b>SANTA FE BROWN GRAVEL</b> WITH FILTER FABRIC MINIMUM 3" DEPTH
			<b>PROJECT SIGN - TBD</b>

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all pervious landscape areas which are not designated to receive native seed.

**NOTE TO CLIENT:**

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

- ④ 4-20-07 CMJ - revised site plan
- ③ 4-16-07 rmm - revised site plan
- ② 4-11-07 rmm - arch comments
- ① 4-9-07 cmj - revised site plan
- ① 4-2-07 adf - per comments
- ① 3-6-07 RMM - EPC COMMENT

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pined in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

# LANDSCAPE CALCULATIONS

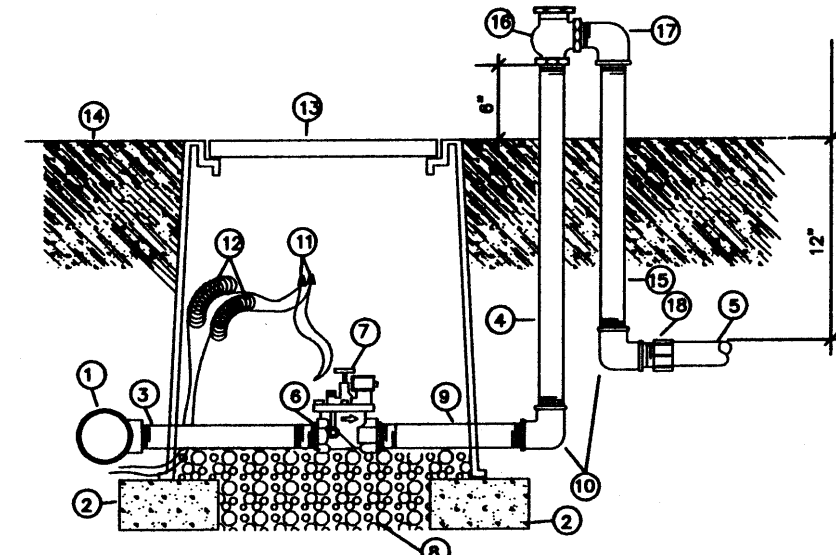
TOTAL LOT AREA	152685	square feet
TOTAL BUILDINGS AREA	27440	square feet
OFFSITE AREA	1251	square feet
NET LOT AREA	125245	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	18787	square feet

TOTAL BED PROVIDED	24354	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	18222	square feet
TOTAL GROUND COVER PROVIDED	18246 (75%)	square feet

TOTAL OFFSITE PROVIDED	1251	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	938	square feet
TOTAL GROUND COVER PROVIDED	1152 (98%)	square feet

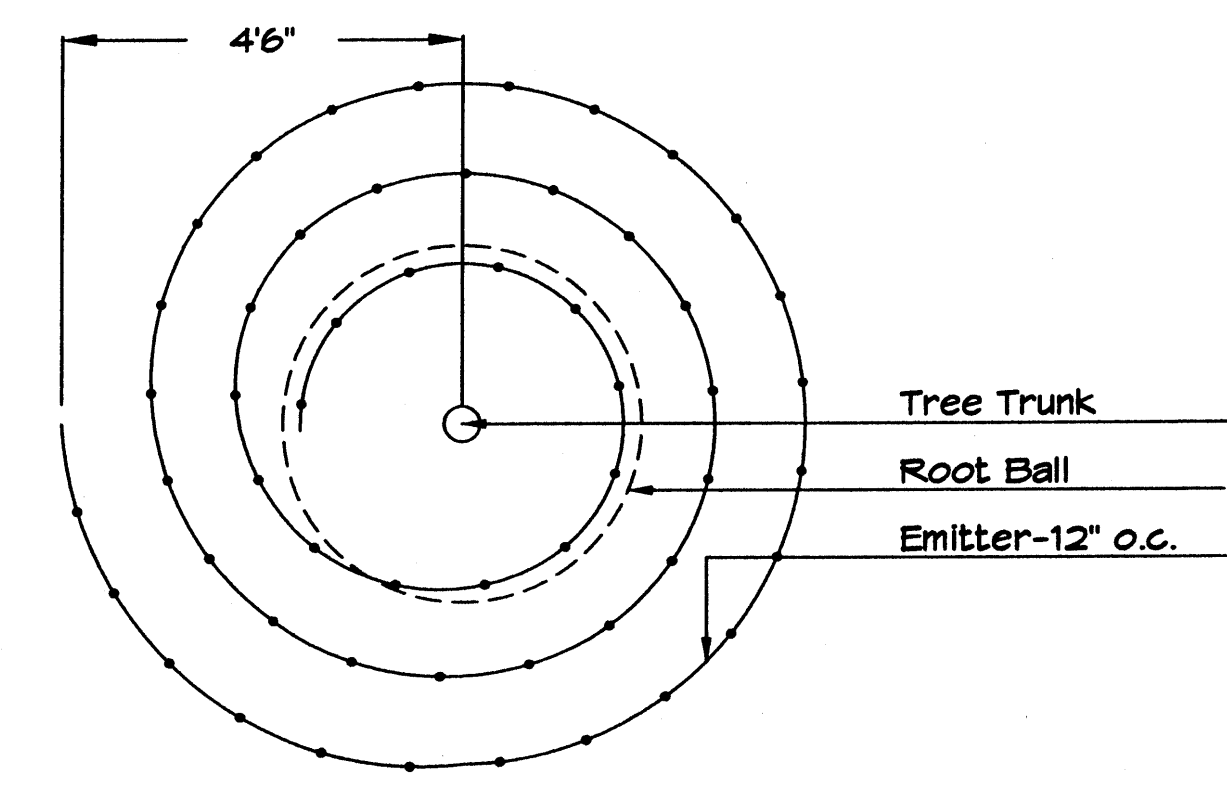
TOTAL TURF PROVIDED	0	square feet
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TOTAL LANDSCAPE PROVIDED	25610 (20%)	square feet
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- ① MAINLINE FITTING
- ② CMJ BLOCK
- ③ GALVANIZED NIPPLE
- ④ 24" TO 30" GALVANIZED NIPPLE
- ⑤ LATERAL PIPE
- ⑥ REDUCER BUSHING
- ⑦ AUTOMATIC VALVE (SEE LEGEND)
- ⑧ GRAVEL
- ⑨ GALVANIZED NIPPLE
- ⑩ GALVANIZED ELBOW
- ⑪ WATERPROOF WIRE CONNECTOR
- ⑫ WIRE EXPANSION LOOPS
- ⑬ VALVE BOX
- ⑭ FINISH GRADE
- ⑮ GALVANIZED NIPPLE - 18" TO 24" LENGTH
- ⑯ ATMOSPHERIC VACUUM BREAKER
- ⑰ GALVANIZED STREET ELL
- ⑱ TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N.T.S.



Netafim Spiral Detail

**STREET TREE REQUIREMENTS**

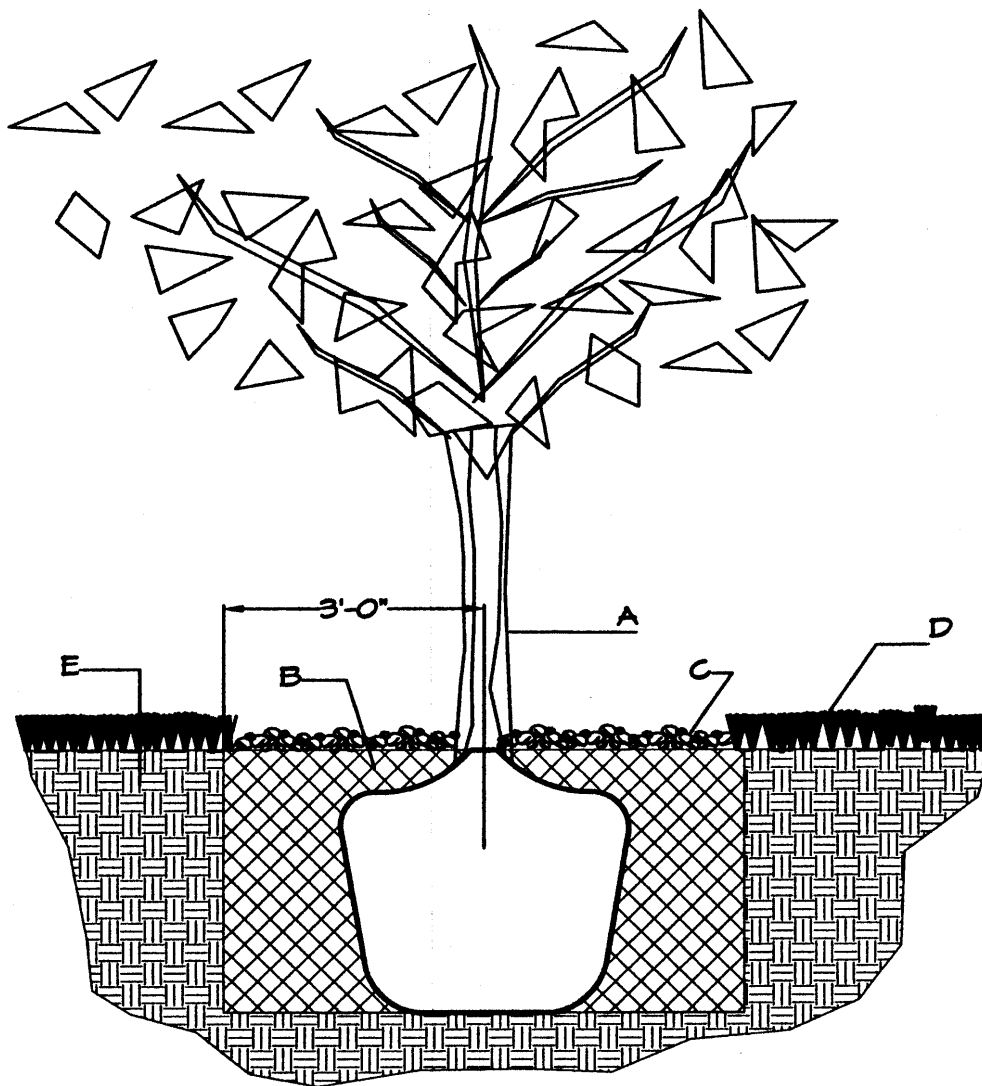
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street Vista Oeste NM  
Required #17 Provided # 24

**PARKING LOT TREE REQUIREMENTS**

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 13 Provided # 13



**GENERAL NOTES:**

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**TREE PLANTING DETAIL NTS**

**CONSTRUCTION NOTES:**

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

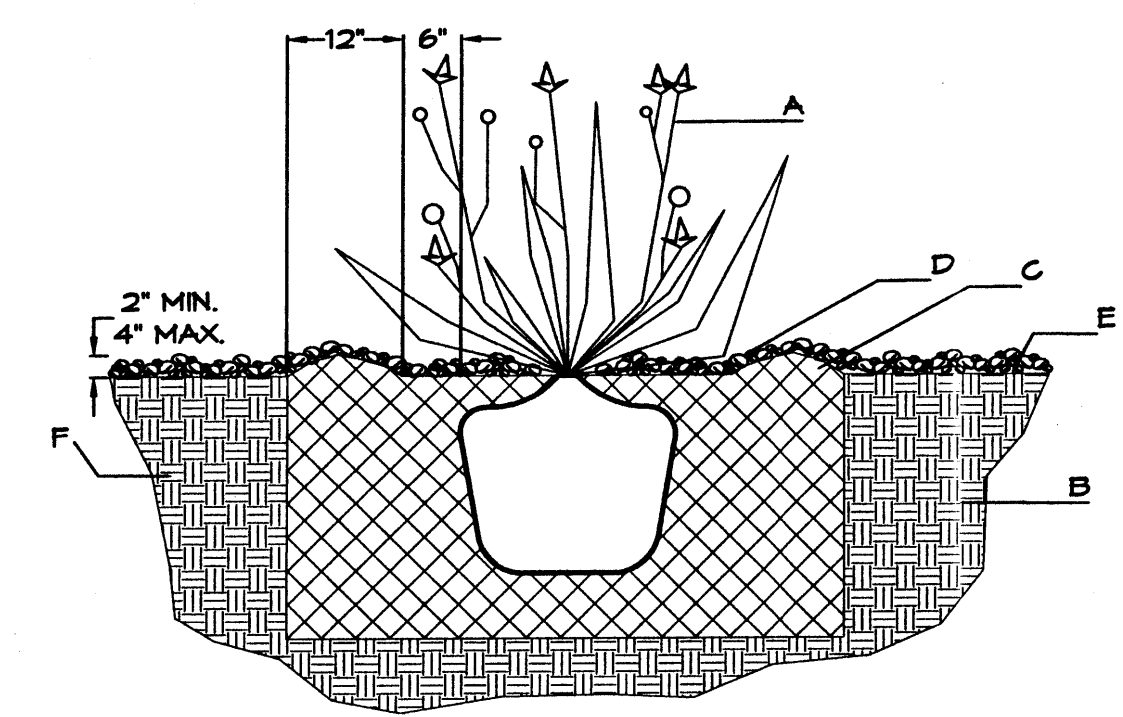
**GENERAL NOTES:**

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**SHRUB PLANTING DETAIL NTS**

**CONSTRUCTION NOTES:**

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



LADERA BUSINESS PARK  
ALBUQUERQUE, NM

DETAILS AND NOTES

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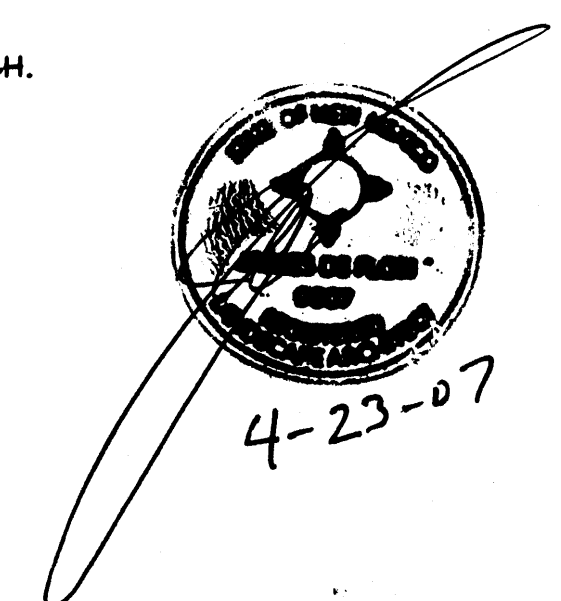
DRAWN BY: jd  
REVISION: 1  
DATE: 2-23-07

SHEET #  
L2 of L2

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Albuquerque, NM 87184  
Ph: (505) 898-9690  
Fax: (505) 898-7737  
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007





**I. PROJECT DESCRIPTION**

The project consists of constructing new buildings upon Tracts 20, 21 and 22 within the existing Ladera Business Park. The new construction is located east of Unser Boulevard and adjacent to the east side of Vista Oeste Street between La Morada Place and Vista Orienta Street. There are currently 4 commercial tracts of land in this area. With removal of some property lines there will be 2 tracts when developed with 5 structures for office use.

**II. DRAINAGE DESIGN CRITERIA AND PREVIOUS REPORTS**

The design criteria used in this report was in accordance with the Hydrology Section, 22.2 of the City of Albuquerque's Development Process Manual, Volume 2, Design Criteria, as updated through September 1999. The 100-year 6-hour storm event was analyzed to determine site runoff using  $P(1\text{ hr}) = 1.89"$ ,  $P(6\text{ hr}) = 2.19"$ . For the existing conditions an analysis was previously done for the Ladera Business Park Master Grading and Drainage Plan. The predevelopment conditions established by this plan were for the individual lots to temporarily pond all undeveloped runoff onsite.

Also, based on this previous master plan all lots will be allowed "free discharge" under developed conditions because the downstream drainage facilities constructed for this area have the capacity to accept the runoff from all these developed lots. The soil treatment values used for determination of the developed condition runoff were as follows; Treatment D=85, Treatment C=0 and Treatment B=15 as determined using Table A-4, LAND TREATMENTS, in the DPM.

**III. EXISTING DRAINAGE CONDITIONS**

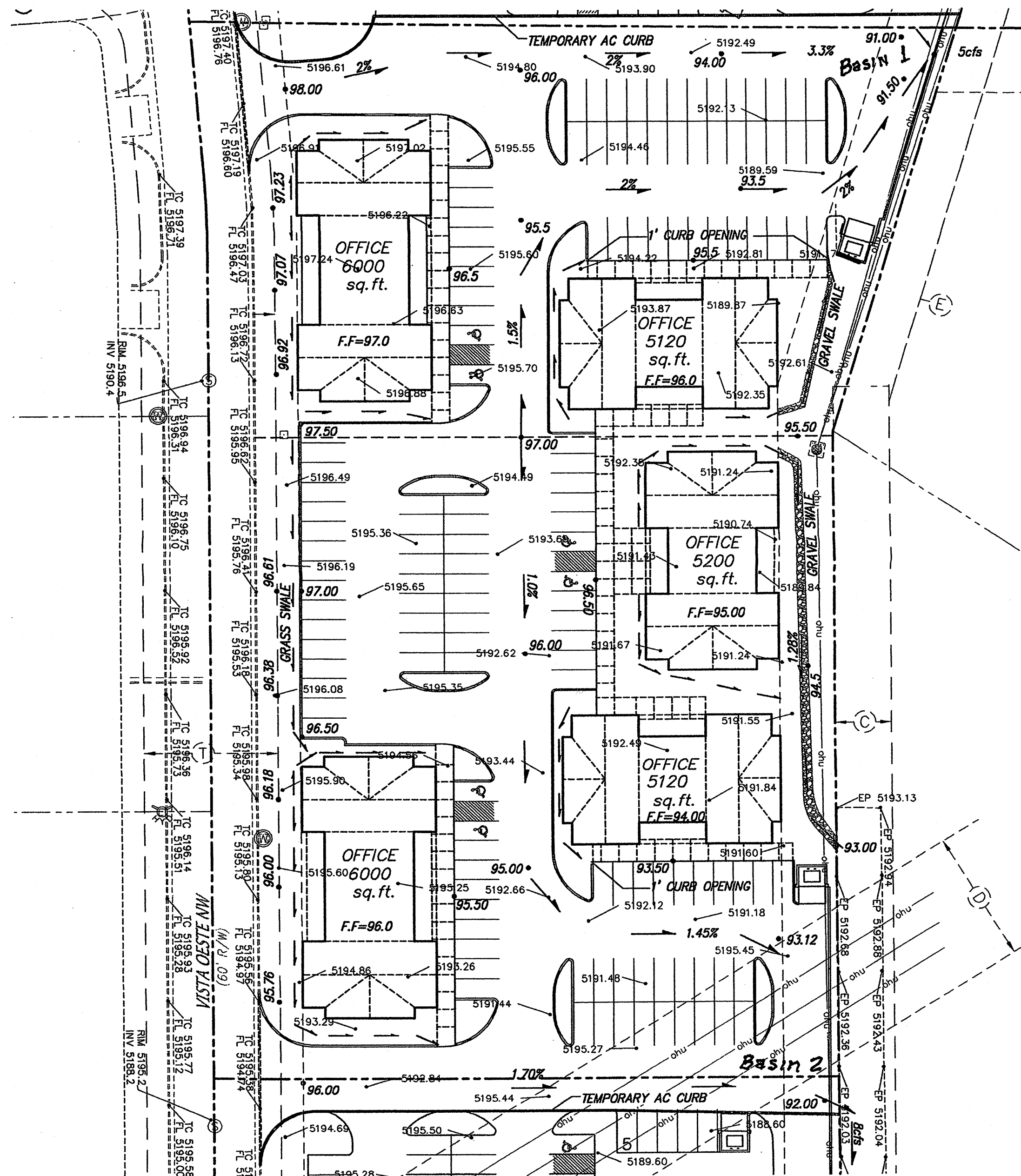
Under existing drainage conditions all lots have a pond at the lower end of the property that retain all undeveloped runoff. There is no offsite drainage to these areas due to the existing improved streets adjacent to each of these properties. Therefore, there will not be any offsite flows to have to accommodate with the development of these lots. There are existing channels and storm drains that were designed and constructed with the capacity to accommodate the runoff from all the developed lots in this area.

**IV. DEVELOPED DRAINAGE CONDITIONS**

The total developed conditions flow from this site is approximately 13 cfs assuming the future development mentioned above. The lots are to be developed into office space buildings. The flows from these lots will be discharged into the existing drainage swales, channels, streets and storm drains at various locations throughout the development. Free discharge from the developed portions of this property has already been designed into these downstream facilities.

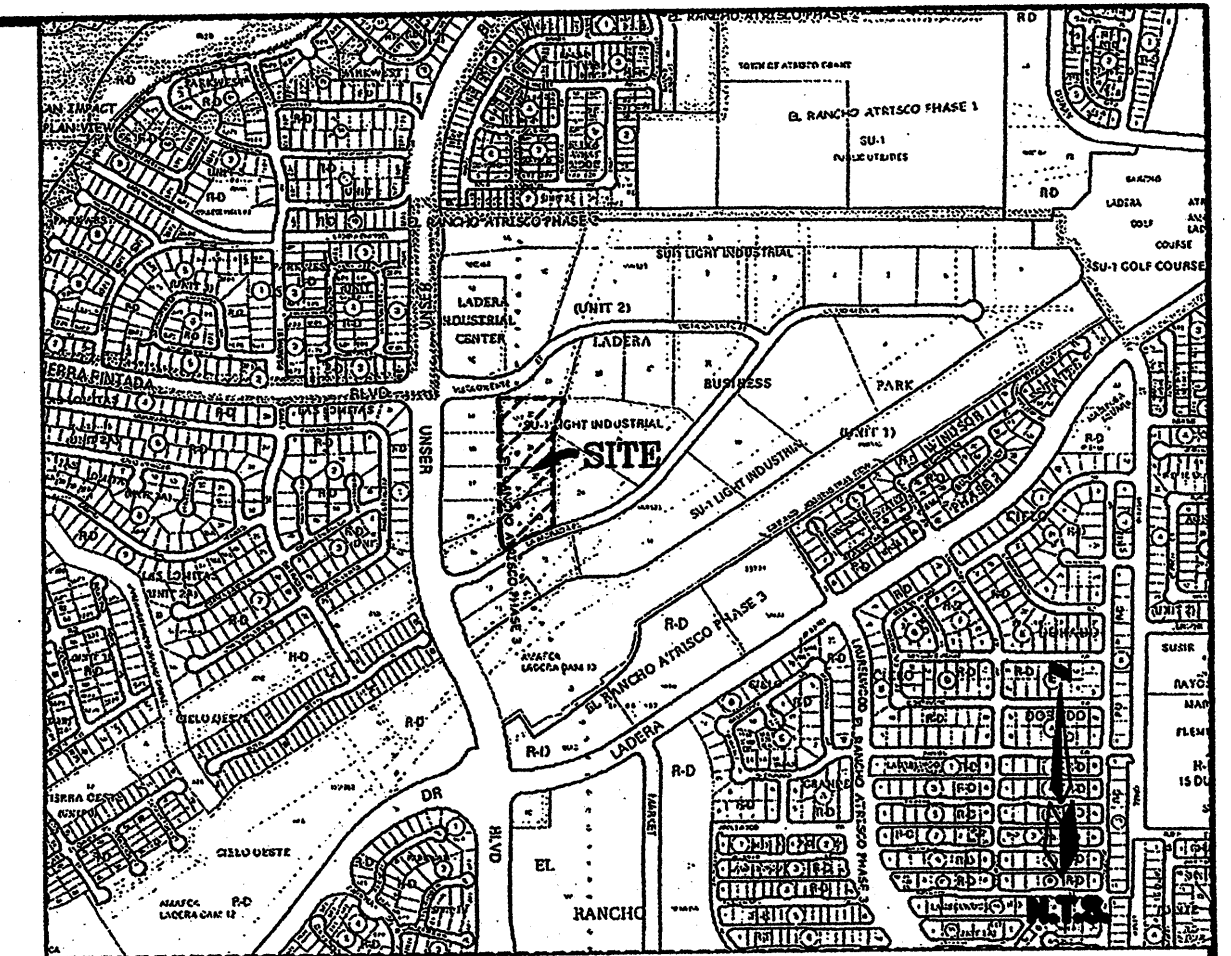
**V. CONCLUSIONS**

The proposed drainage scheme for the new buildings can be readily accommodated through the implementation of this plan. It is shown on this plan that the internal conveyance of the storm water to off-site facilities can be accomplished while meeting current City requirements.



**EASEMENT DESCRIPTION**

- (B) EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
- (C) EXISTING 25' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (D) EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (3/16/1953, BOOK MISC. D 235, PGS. 619-622)
- (E) EXISTING 50' PNM EASEMENT (1/22/2004, 2004C-24)
- (F) EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/2004, 2004C-24)
- (G) EXISTING 30' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (H) EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- (J) EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)



**VICINITY MAP ZONE MAP: H-9-Z**

**ACS BENCHMARK**

ACS MONUMENT "2-119" HAVING AN ELEVATION OF 5207.23 (NGVD29).

**LEGAL DESCRIPTION**

TRACTS TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), AND TWENTY-NINE (29), OF "LADERA BUSINESS PARK, UNIT 2" AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004C, PAGE 325.

1. PROPERTY CURRENTLY ZONED: SU-1.

**LEGEND**

- EXISTING CURB
- TC=5082.00 EXISTING TOP OF CURB
- FL=5081.50 EXISTING FLOWLINE
- EXISTING FLOWLINE
- EXISTING SPOT ELEVATION
- STANDARD 8" CURB & GUTTER
- 28.53' PROPOSED SPOT ELEVATION
- FF= 30.38 FINISHED PAD ELEVATION
- NEW BUILDINGS
- PROPOSED PROPERTY LINE
- TEMPORARY AC CURB
- PROPOSED DRAINAGE FLOW
- PROPOSED DRAINAGE GRAVEL SWALE

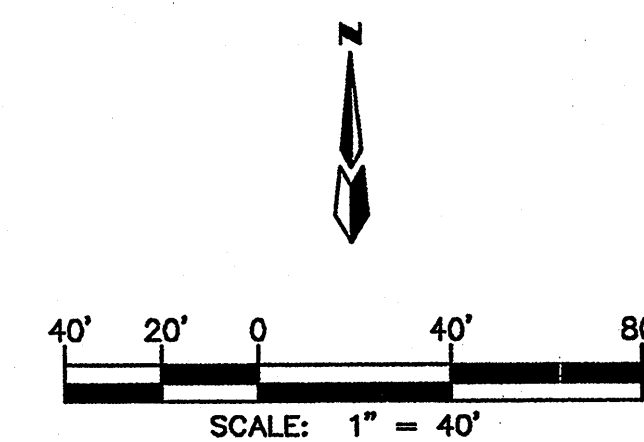
BILLY J. COOGLER  
NEW MEXICO  
REGISTERED PROFESSIONAL ENGINEER  
2/27/07

**LADERA BUSINESS PARK**

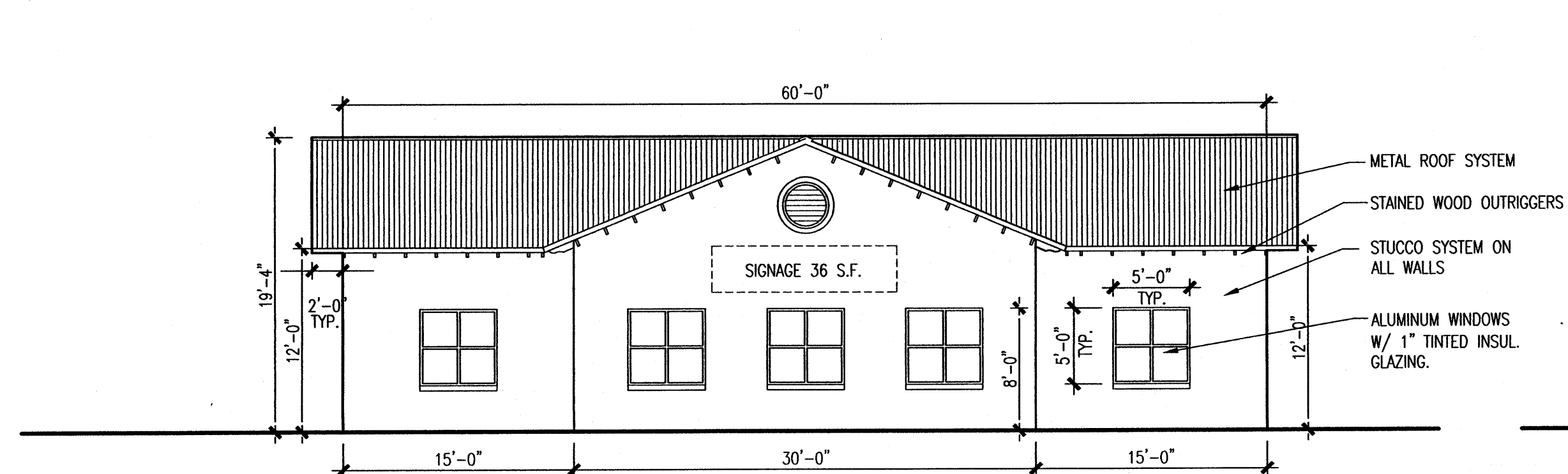
**GRADING & DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

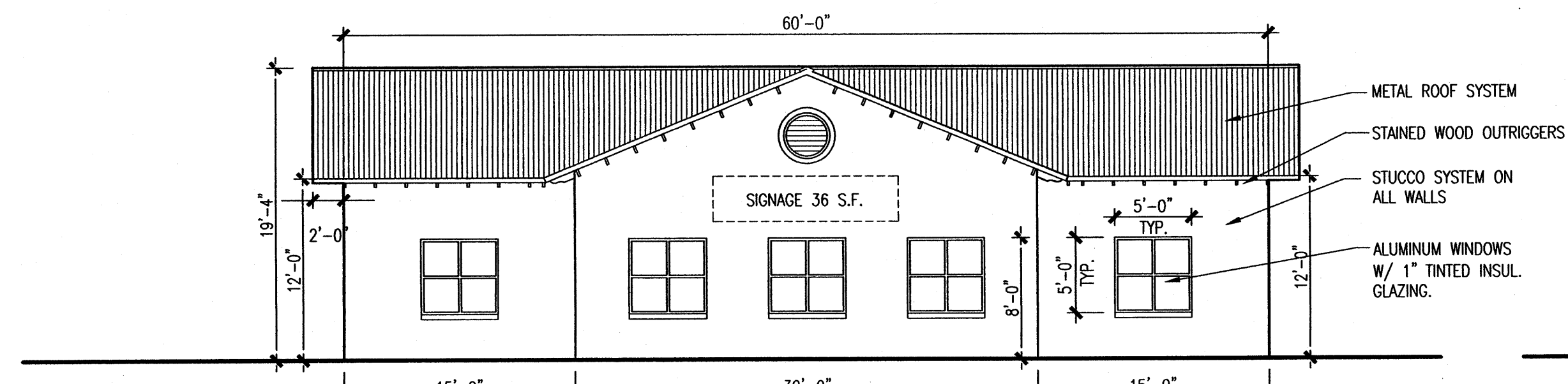
Designed: B/JG Drawn: CAR Checked: JMM Sheet 2 of 3  
Scale: 1" = 40' Date: 12/13/06 Job: A6095



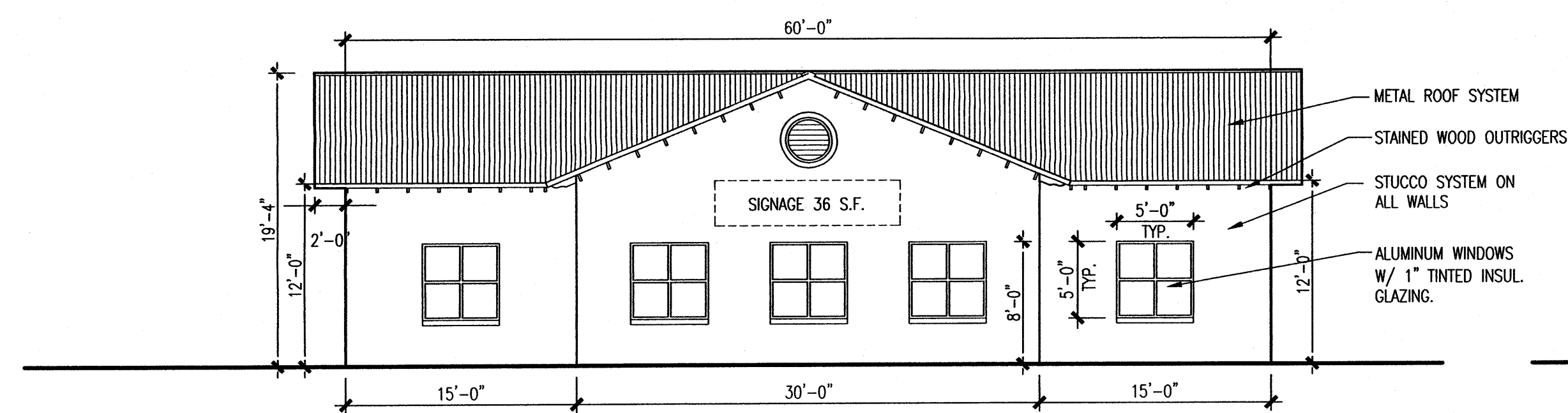




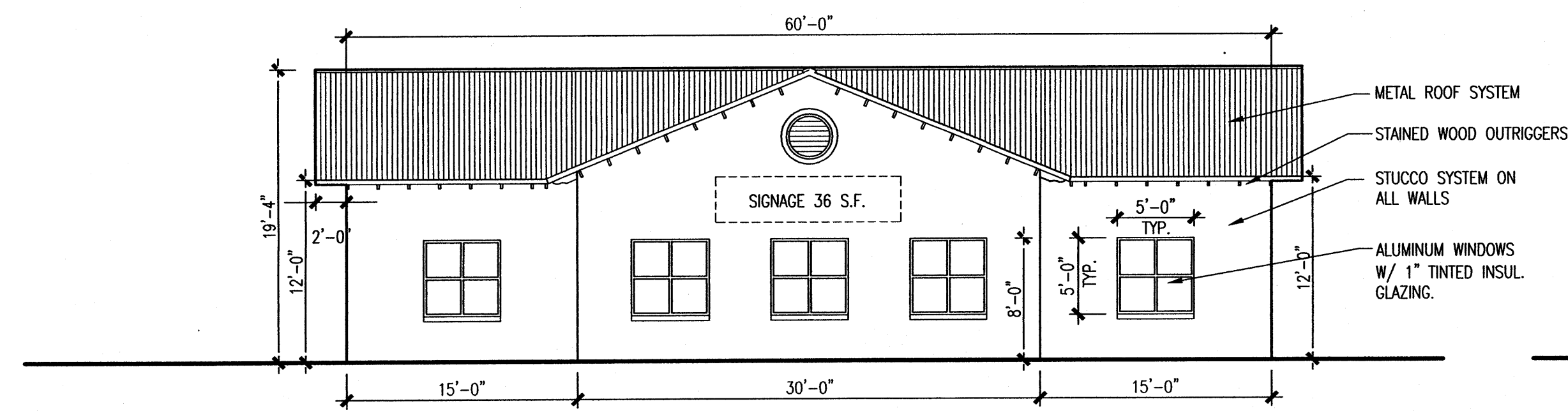
**BLDG. 1- END ELEVATION**  
1/8"=1'-0"



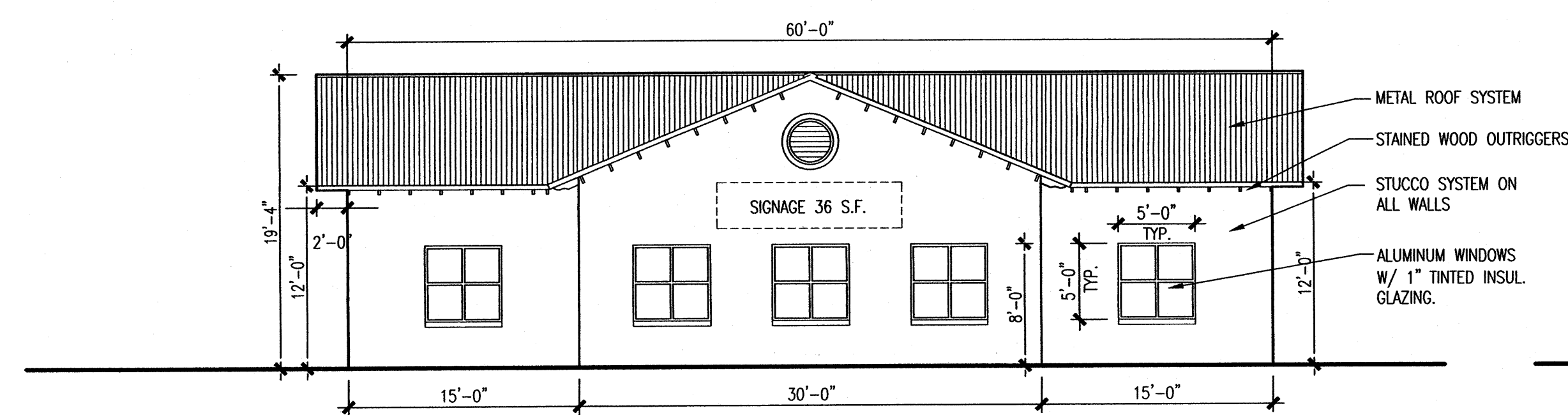
**BLDG. 2- END ELEVATION**  
1/8"=1'-0"



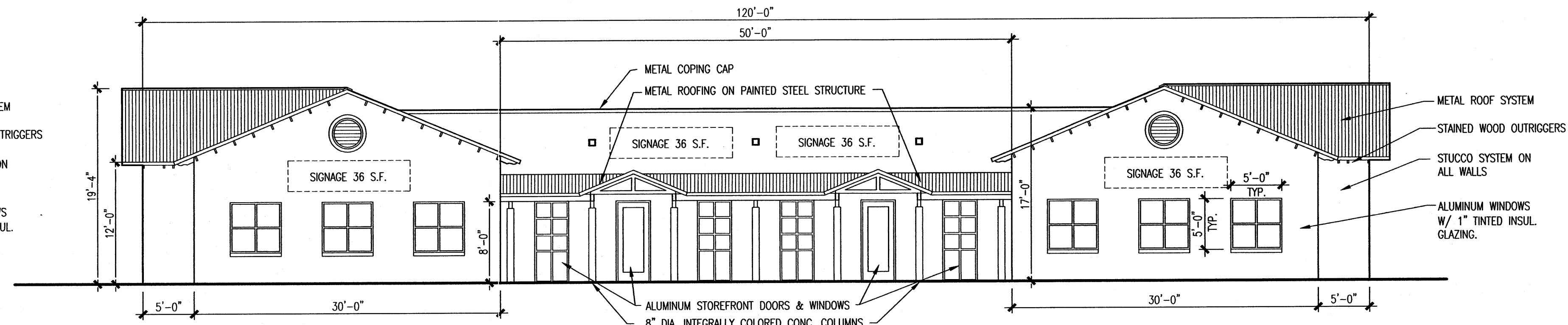
**BLDG. 3- END ELEVATION**  
1/8"=1'-0"



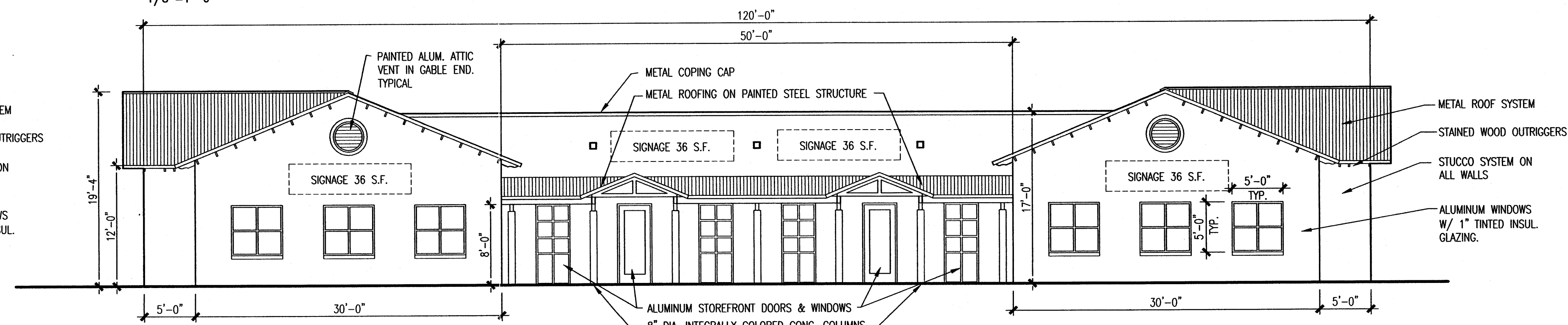
**BLDG. 4- END ELEVATION**  
1/8"=1'-0"



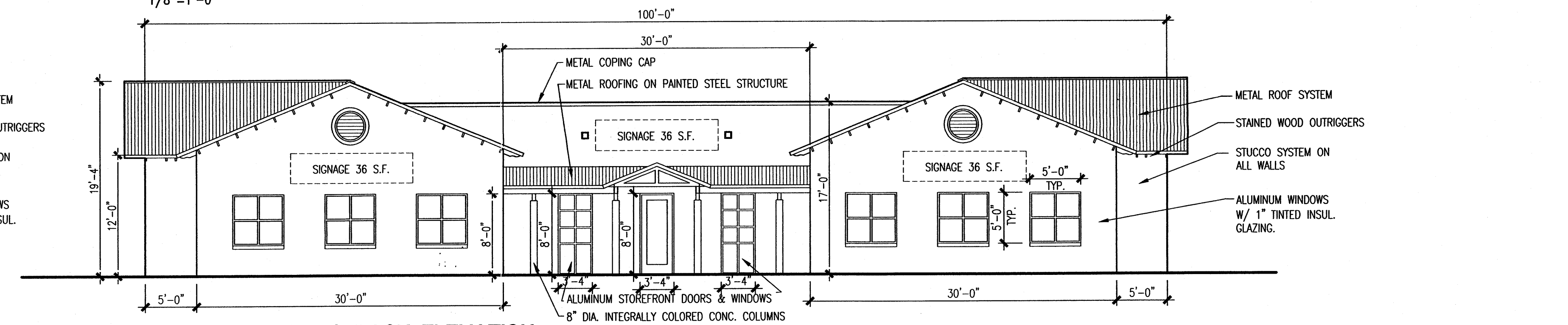
**BLDG. 5- END ELEVATION**  
1/8"=1'-0"



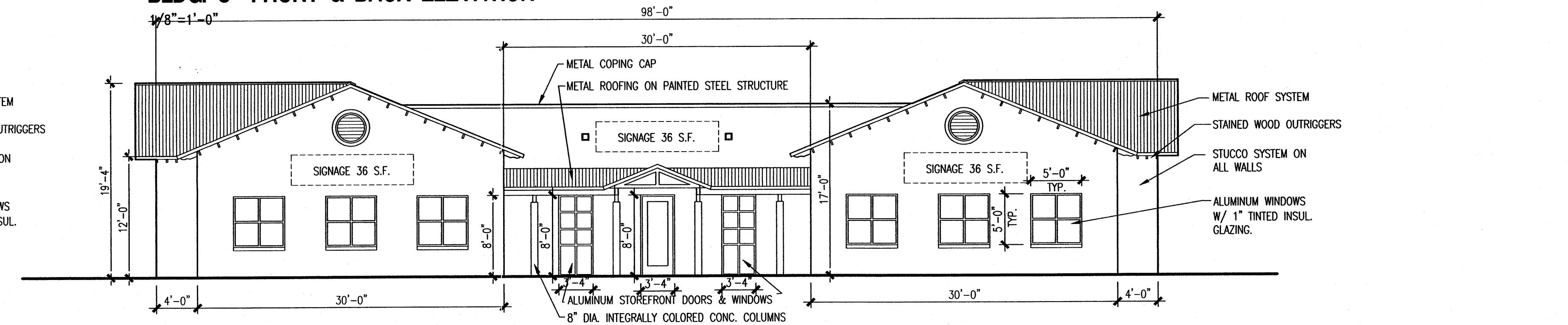
**BLDG. 1- FRONT & BACK ELEVATION**  
1/8"=1'-0"



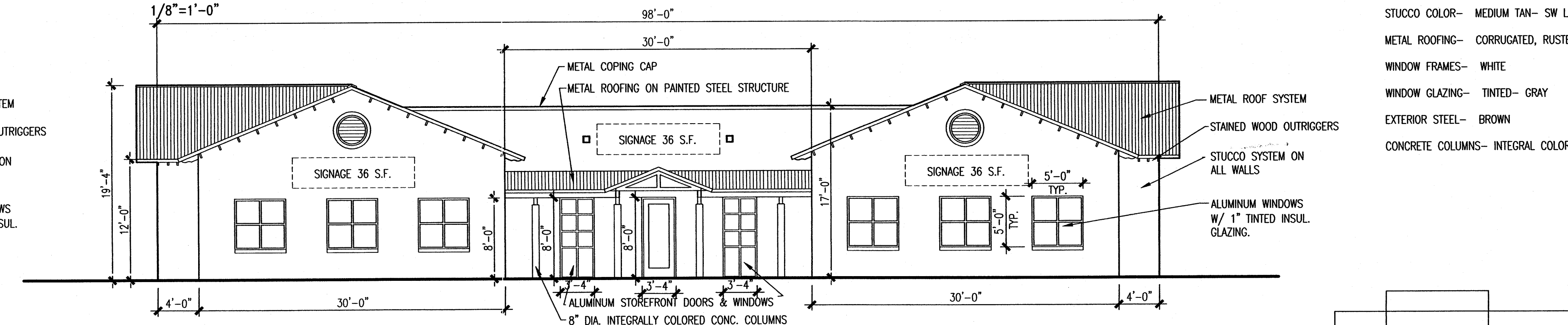
**BLDG. 2- FRONT & BACK ELEVATION**  
1/8"=1'-0"



**BLDG. 3- FRONT & BACK ELEVATION**  
1/8"=1'-0"

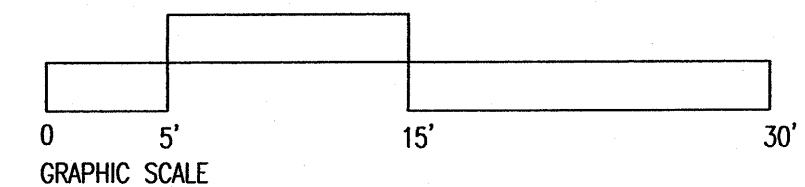


**BLDG. 4- FRONT & BACK ELEVATION**  
1/8"=1'-0"

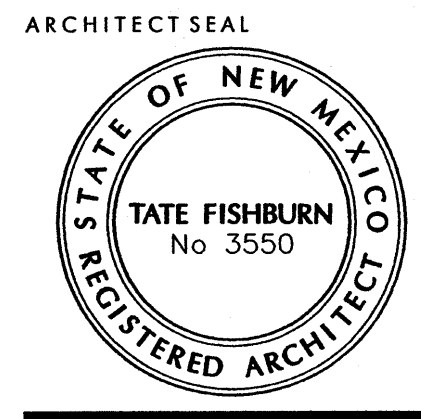


**BLDG. 5- FRONT & BACK ELEVATION**  
1/8"=1'-0"

- EXTERIOR COLORS:**
- STUCCO COLOR- MEDIUM TAN- SW LATE
  - METAL ROOFING- CORRUGATED, RUSTED FINISH
  - WINDOW FRAMES- WHITE
  - WINDOW GLAZING- TINTED- GRAY
  - EXTERIOR STEEL- BROWN
  - CONCRETE COLUMNS- INTEGRAL COLOR- TERRA COTTA



TATE FISHBURN ARCHITECT



PROJECT

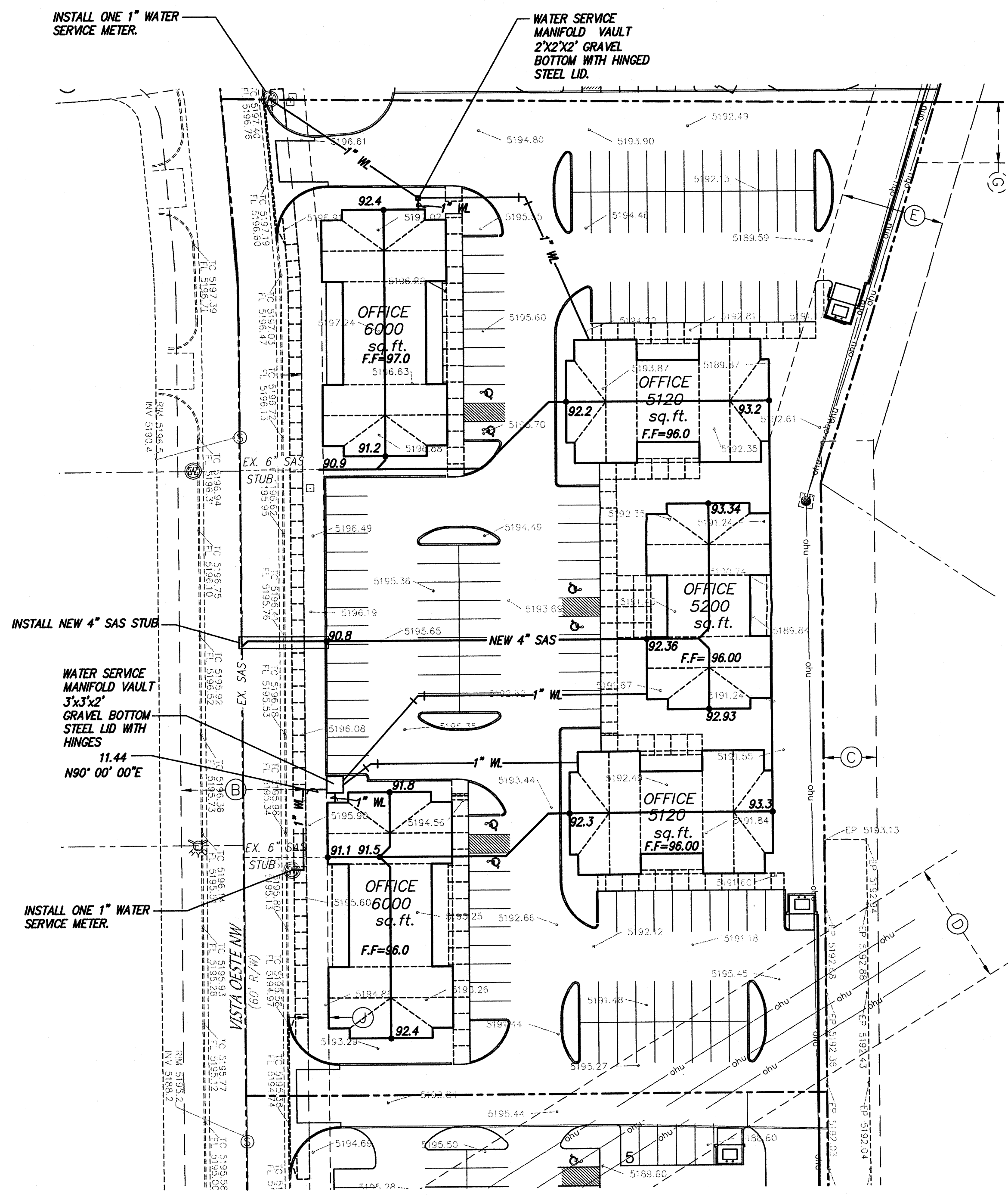
SITE DEVELOPMENT PLAN  
LADERA BUSINESS PARK  
LOTS 20-22  
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE FEBRUARY 22, 200  
SCALE 1/8"=1'-0"  
DRAWING NAME BUILDING ELEVATIONS  
SHEET NUMBER

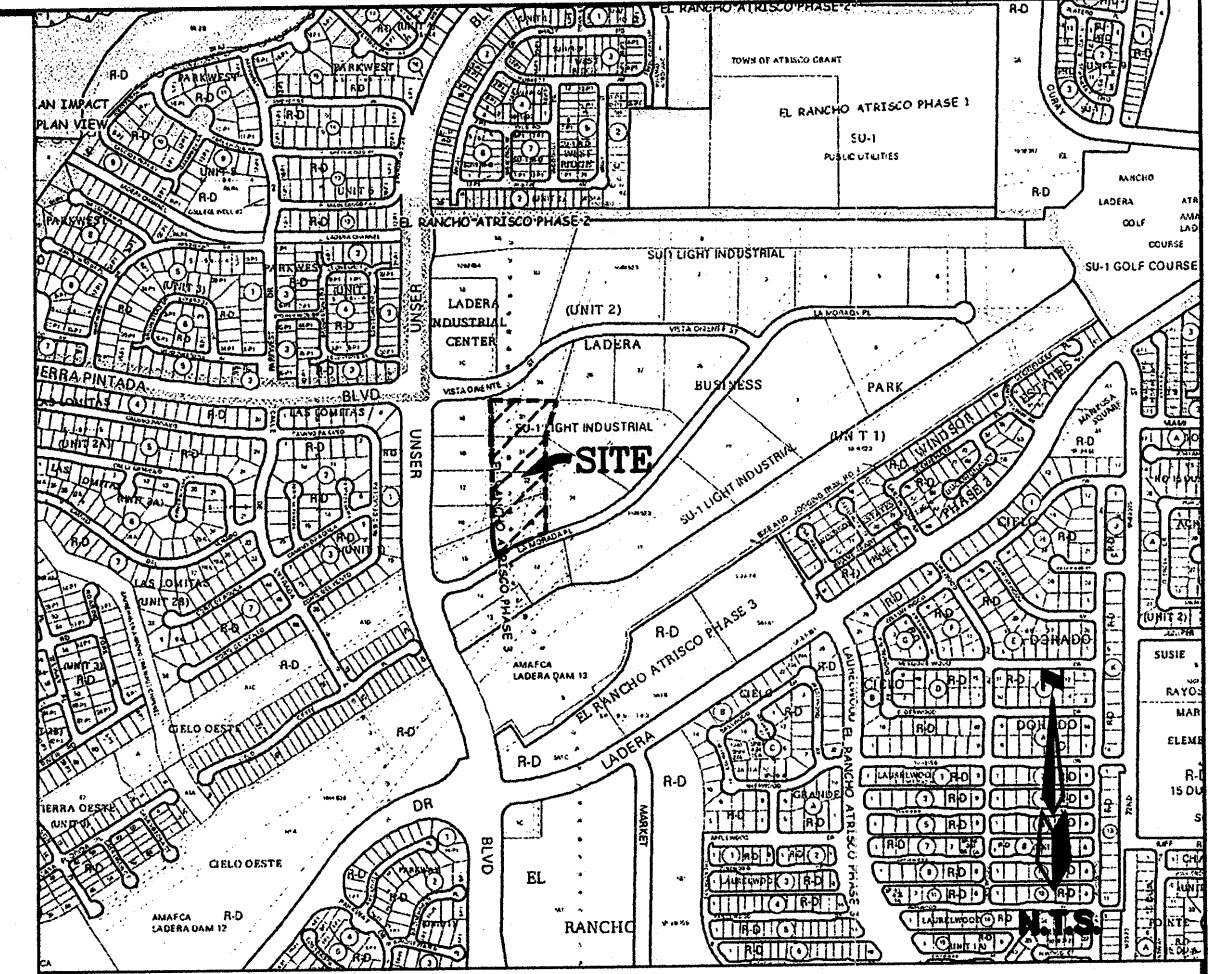
SDP-2





**EASEMENT DESCRIPTION**

- (B) EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
- (C) EXISTING 25' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (D) EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (3/16/1953, BOOK MISC. D 235, PGS. 619-622)
- (E) EXISTING 50' PNM EASEMENT (1/22/2004, 2004C-24)
- (F) EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/2004, 2004C-24)
- (G) EXISTING 30' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (H) EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- (J) EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)



**VICINITY MAP ZONE MAP: H-9-Z**

**ACS BENCHMARK**

ACS MONUMENT "2-H9" HAVING AN ELEVATION OF 5207.23 (NGVD29).

**LEGAL DESCRIPTION**

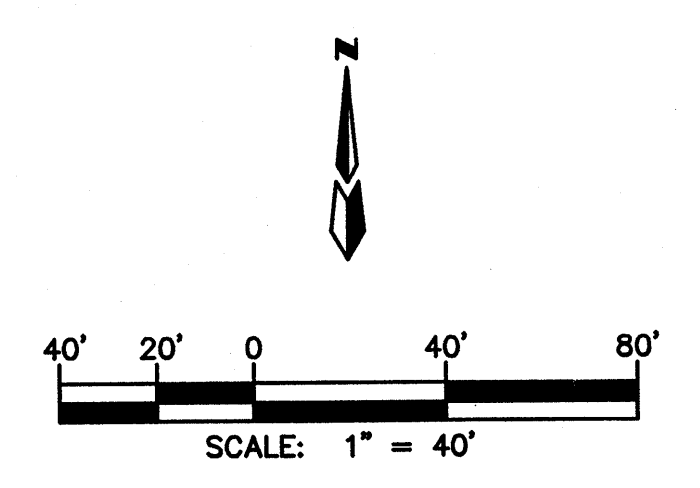
TRACTS TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), AND TWENTY-NINE (29), OF "LADERA BUSINESS PARK, UNIT 2" AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004C, PAGE 325.

1. PROPERTY CURRENTLY ZONED: SU-1.

**LEGEND**

- EXISTING CURB
- TC=5082.00 EXISTING TOP OF CURB
- FL=5081.50 EXISTING FLOWLINE
- EXISTING SPOT ELEVATION
- STANDARD 8" CURB & GUTTER
- 28.53' PROPOSED SPOT ELEVATION
- FF= 30.38 FINISHED PAD ELEVATION
- NEW BUILDINGS
- PROPOSED PROPERTY LINE
- NEW 4" SAS PROPOSED SAS SERVICE LINE
- 1" WL PROPOSED WATER SERVICE LINE
- 1.31% PROPOSED LEVEL OF FLOW OF SAS

BILLY J. GOOLSBY  
 REGISTERED PROFESSIONAL ENGINEER  
 6418  
 5/30/07



**TRACT 20A LADERA BUSINESS PARK  
 UTILITY PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

Designed: <i>BVG</i>	Drawn: <i>CAR</i>	Checked: <i>JMM</i>	Sheet <b>3</b> of <b>3</b>
Scale: 1" = 40'	Date: 01/22/07	Job: A6095	