



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00341 (SBP)

Project # ~~1001020~~ **1005508**

Project Name: LADERA BUSINESS PARK
UNIT 2

Agent: MARK GOODWIN & ASSOCIATES

Phone No.: 828-2200

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/25/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: revised utility plan

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Project Number

~~1001529~~ **1005508**

10



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

1005508

DRB Application No.: <u>07DRB-00341 (SBP)</u>	Project # 1001829 <u>1005508</u>
Project Name: <u>LADERA BUSINESS PARK UNIT 2</u>	
Agent: <u>MARK GOODWIN & ASSOCIATES</u>	Phone No.: <u>828-2200</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/25/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: revised utility plan

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies

- Planning must record this plat. Please submit the following items:**
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- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number ~~1001529~~ **1005508**



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

Completed
6/8/07
[Signature]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00207 (P&F)
Project Name: LADERA BUSINESS PK UN 2
Agent: Mark Goodwin & Associates.

Project # ~~1005508~~ 1005508
Phone No: 828-2200

Project Number

1005508
1005508

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/25/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Cross access easement

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Record

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00207 (P&F)
Project Name: LADERA BUSINESS PK UN 2
Agent: Mark Goodwin & Associates.

Project # 1005508
Phone No: 828-2200

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/25/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Cross access easement

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): record

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1005508

*Blue Sheet
Prel & Final*



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 25, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:00 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- Project # 1005185**
07DRB-00262 Major-Preliminary Plat
Approval
ISAACSON & ARFMAN PA agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, LAND OF EDMUND I RADY (to be known as **VILLA LOMA ESTATES**) zoned SU1-PRD located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH PL NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436] [Deferred from 3/28/07, 4/11/07 & 4/25/07] (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 5/2/07.**

07DRB-00353 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING LLC agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, Land of Edmund I Rady (to be known as **VILLA LOMA ESTATES**) zoned SU-1 for PRD, located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436, 07DRB00262] **[Carmen Marrone for Petra Morris, EPC Case Planner] [Deferred from 3/28/07, 4/11/07 & 4/25/07] (F-22) DEFERRED AT THE AGENT'S REQUEST TO 5/2/07.**

2. **Project # 1003973**
07DRB-00365 Major-Preliminary Plat Approval
07DRB-00366 Minor-Sidewalk Waiver
07DRB-00367 Minor-Temp Defer SDWK

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or any portion of Tract(s) 5 & 7, THE TRAILS UNIT 2 (to be known as **TAOS AT THE TRAILS, UNIT 2**) zoned SU2-SRSL and SU2-UR, located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE BLVD NW containing approximately 34 acre(s). *[Deferred from 4/18/07 & 4/25/07]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 5/2/07.**

3. **Project # 1005133**
07DRB-00260 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for VT INC., A MISSOURI CORPORATION request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2, **SEVEN BAR RANCH**, zoned SU-1 FOR AP located on COORS BLVD BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 18 acre(s). *[Deferred from 3/28/07, 04/11/07 & 4/18/07]*(B-13) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

07DRB-00352 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for COORS EAGLE RANCH LLC request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2-A, N-1-B-2-B & N-1-B-2-C, **SEVEN BAR RANCH**, zoned SU-1 FOR AP, located on COORS BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 17 acre(s).*[Deferred from 3/28/07, 04/11/07, 4/18/07]* (B-13) **WITH THE APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/21/07 THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD.**

07DRB-00486 Minor-SiteDev Plan
Subd/EPC
07DRB-00487 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for AEM & ASSOCIATES request(s) the above action(s) for all or any portion of Tract(s) N1 & B2, **SEVEN BAR RANCH**, zoned SU-1 for C-2 permissive uses, located on COORS BYPASS NW between EAGLE RANCH RD NW and SEVEN BAR LOOP RD NW containing approximately 17 acre(s). **[Carmen Marrone for Makita Hill, EPC Case Planner]** *[Deferred from 4/18/07]* (B-13) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/25/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. ~~Project # 1005508~~
07DRB-00341 Minor-SiteDev Plan
BldPermit

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or any portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP for Lt Indust Uses located on UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 3/28,4/4/ & 04/11/07 [Heard under Proj #1001523 in error]*] (H-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REVISED UTILITY PLAN AND PLANNING FOR 3 COPIES.**

- 07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 2/28/07 [Indef deferred from 3/14/07] [Deferred from 3/28/07, 4/4/07 & 04/11/07]*] (H-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENT ACROSS NORTH AND SOUTH LOTS AND PLANNING TO RECORD.**

5. **Project # 1004623**
07DRB-00294 Major-SiteDev Plan
BldPermit

BERENT GROTH ARCHITECT agent(s) for RAUL LOPEZ request(s) the above action(s) for all or any portion of Lot(s) 13-16, Block(s) 3, **ROMERO ADDITION**, zoned SU-2 FOR S-R, located on 5TH ST NW between SUMMER NW and MCKINLEY NW containing approximately 1 acre(s). *[Deferred from 4/4/07]* (J-14) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BETTER DEFINED VAN ACCESSIBLE SPACE AND PLANNING FOR 3 COPIES.**

07DRB-00507 Minor-Prelim&Final Plat
Approval

FORSTBAUER SURVEYING LLC agent(s) for RAUL & SHANNON LOPEZ request(s) the above action(s) for portion of Lot(s) 13-16, **ROMERO ADDITION**, zoned SU-2 FOR S-R located on 5th ST NW, between SUMMER NW and MCKINLEY NW containing approximately 1 acre(s). [REF: 06EPC-00019, 06EPC-00022] (J-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PAPER CROSS ACCESS EASEMENT AND PLANNING TO RECORD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project # 1004717**
07DRB-00513 Minor-Extension of
Preliminary Plat

ADIL RIZVI request(s) the above action(s) for all or any portion of Block(s) 30, Tract(s) A, Lot(s) 70-P2, 71-P2, 72-P2 & 73-P2, **SONORA SUBDIVISION, UNIT B**, zoned R-D located on WILSHIRE NE between LOUISIANA BLVD NE and SAN PEDRO NE containing approximately 1 acre(s). [REF: 06DRB00478, 06DRB00481] (C-18) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

7. **Project # 1001934**
07DRB-00509 Minor-Prelim&Final Plat
Approval
- WAYJOHN SURVEYING INC agent(s) for WILLIAM RIORDAN request(s) the above action(s) for all or any portion of Lot(s) 4-C & 4-D, **ALVARADO GARDENS, UNIT 1**, zoned RA-2 located on RIO GRANDE BLVD NW between MATTHEW AVE NW and CANDELARIA RD NW containing approximately 1 acre(s). [REF: 05DRB00292] (G-12 & G-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**
8. **Project # 1003128**
07DRB-00514 Minor-Prelim&Final Plat
Approval
- JOSH SKARSGARD agent(s) for BANDELIER EQUITIES LTD CO request(s) the above action(s) for all or any portion of Lot(s) 1 - 5, Block(s) 11, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned R-D located on PASEO DEL NORTE NE between SAN PEDRO NE and PALOMAS NE containing approximately 3 acre(s). [*Indef deferred 4/25/07*] (C-18) **INDEFINITELY DEFERRED ON A NO SHOW.**
9. **Project # 1005349**
07DRB-00511 Minor-Prelim&Final Plat
Approval
- ROLANDO PEREZ request(s) the above action(s) for all or any portion of Lot(s) 9 & 10, Block(s) 8, **LOMA VERDE SUBDIVISION**, zoned R-2 located on SAN PABLO ST NE between DOMINGO NE and CHICO NE containing approximately 1 acre(s). [REF: 07DRB-00097] [*Indef deferred 4/25/07*] (K-19) **INDEFINITELY DEFERRED ON A NO SHOW.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

10. **Project # 1005517**
07DRB-00506 Minor-Sketch Plat or Plan
- FORSTBAUER SURVEYING LLC agent(s) for CENTURION JEFFERSON, LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A, Tract(s) B, **ENVIRO TRACT**, zoned M-1 located on JEFFERSON ST NE between OSUNA NE and ELLISON NE containing approximately 7 acre(s). *[Indef deferred 4/25/07]* (E-17) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
11. **Project # 1005519**
07DRB-00510 Minor-Sketch Plat or Plan
- SURVEYS SOUTHWEST LTD agent(s) for LORENZO RAMIREZ request(s) the above action(s) for all or any portion of Tract(s) 309A & 309B, M.R.G.C.D. Map #35 (to be known as **LANDS OF VENTURA M RAMIREZ**) zoned RA-2 located on MONTROYA NW between I-25 NW and MAXMILLIAN RD NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
12. **Project # 1005520**
07DRB-00512 Minor-Sketch Plat or Plan
- MARGO GANSTER request(s) the above action(s) for all or any portion of Lot(s) 4 & 6, Block(s) 3, **RIDGECREST ADDITION**, zoned R-1 located on JEFFERSON SE between RIDGECREST SE and KATHRYN SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
13. Approval of the Development Review Board Minutes for April 18, 2007. **THE DRB MINUTES FOR APRIL 18, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1005508

AGENDA ITEM NO: 4

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments regarding site plan.
Plat comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: APRIL 25, 2007

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CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

100 5508
DRB CASE NO/PROJECT NO: ~~1001573~~

AGENDA ITEM NO: 10

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments regarding site plan.
Plat comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

A/25/07
APPROVED ___; DENIED ___; DEFERRED ; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: APRIL 11, 2007

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Matson, Sheran A.

To: billy@goodwinengineers.com
Subject: Ladera Business Park , Unit 2 Site plan

Billy

I looked at the latest submittal of the site plan. Unfortunately, I'm not sure anything was fixed except the addition of the easements on the landscape plan. The Landscape Plan is now a larger scale & half upside down. Plus I can't find the 17 street trees along the street as indicated.

I only looked at the first pages of the SPBP Checklist again. Since you are the agent of record, it's your responsibility to make sure the submittal is correct & complies with the Master Plan as well as the SPBP Checklist. I have not yet even begun to review the SPBP in terms of compliance with the Master Plan.

As I explained before, I don't have the time to review & comment on a SPBP that is so deficient.

The SPBP must receive approval before the plat is approved per the City Subdivision Ordinance.

Sheran Matson, AICP
Development Review Board Chair
Planning Department
P.O.Box 1293
Albuquerque, NM 87103
505-924-3880/fax: 924-3864
smatson@cabq.gov

April 18, 2007

Robby Roberson
Roberson Construction Co., Inc.
7700 Ouray NW
Albuquerque, NM 87120

Re: Tracts 20, 21, and 22

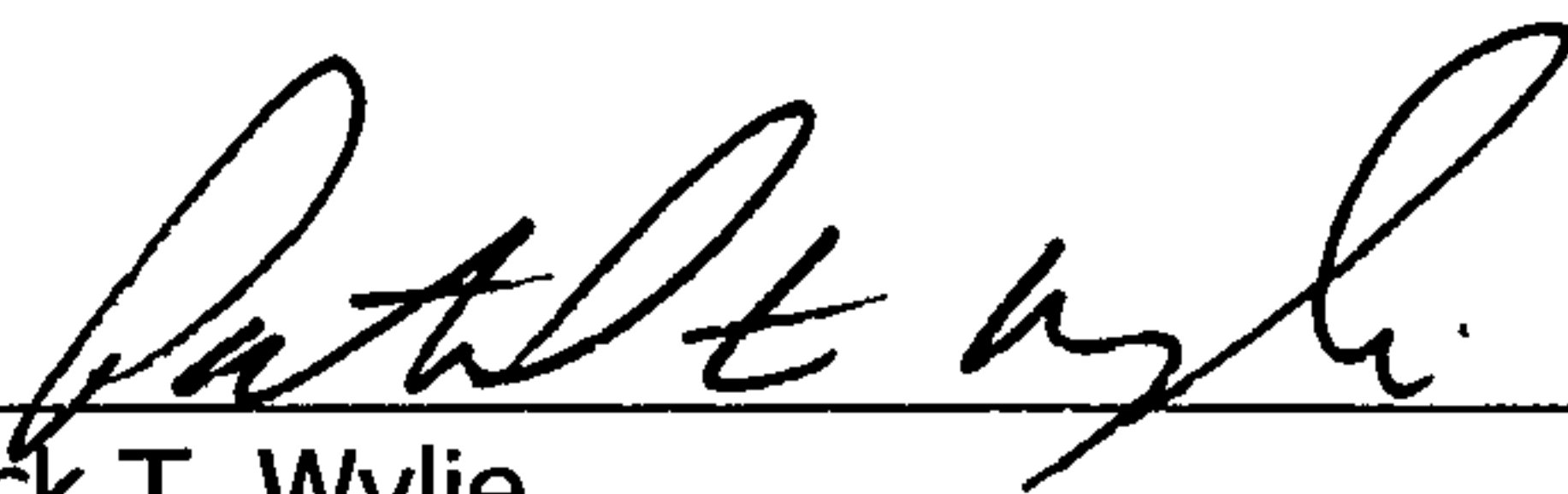
Dear Robby,

I am sorry for any delays this may have caused.

The Architectural Review Committee has approved the plans as recommended by the staff. (See Attachment)

Please call me if you have any questions.

LADERA BUSINESS PARK A. R. C.



Patrick T. Wylie



Robert L. Sparling



PLANNING

CONSENSUS

April 10, 2007

Mr. Bob Sparling
Sparling Construction Company
8900 Washington NE
Albuquerque, NM 87113

RE: Recommendation to Architectural Design Review Committee
Tracts 20, 21, and 22

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495

cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Sparling:

Revised plans for the above-referenced tracts have been reviewed for compliance with the 'Declaration of Covenants, Conditions and Restrictions' and Neighborhood Agreement for the Ladera Business Park. The plans were resubmitted following changes based on the initial review, referenced in a letter to you dated April 9, 2007. The recommendation to the Committee for this property is as follows:

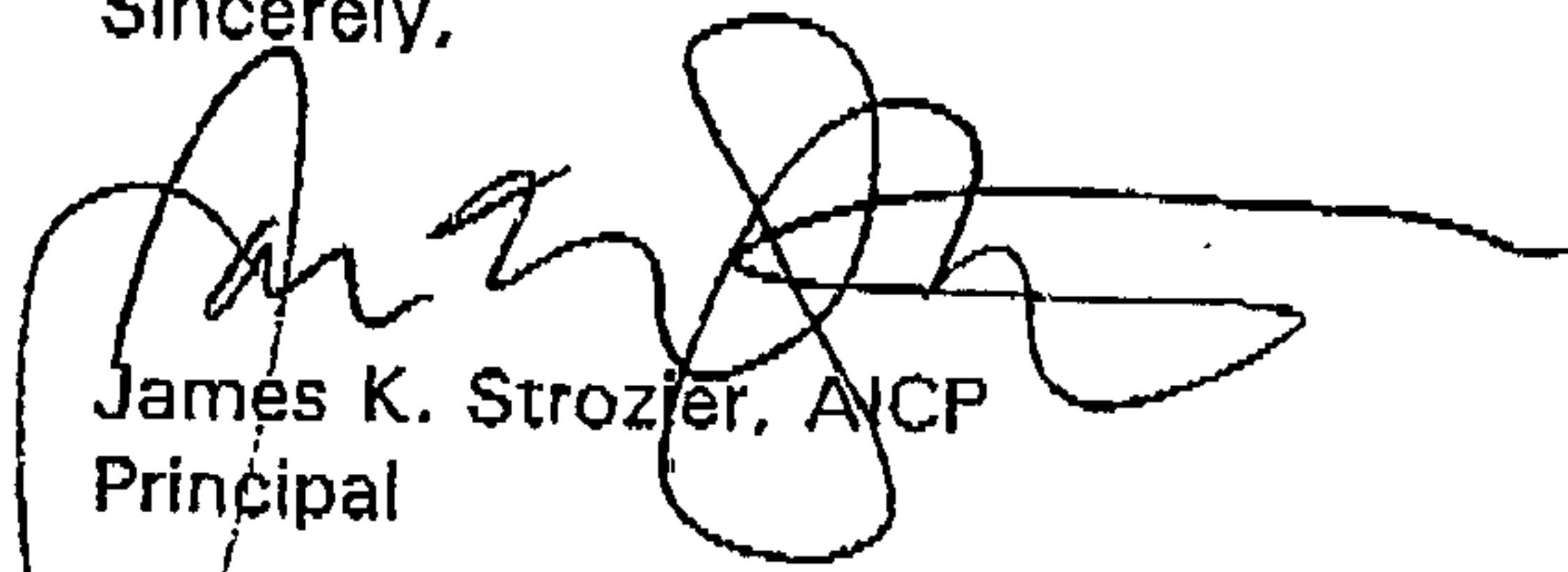
 X Approval

Note:

- The CC&Rs require that 75% of all the required parking area trees have a mature canopy of at least 25 feet to provide shading. The New Mexico Olives and Desert Willows specified on the Landscape Plan do not meet the requirement. The landscape plan shall be changed to meet the requirement.
- The graphic scale on the Site Plan is required to match the graphic scale on the Landscape Plan and be one inch equals 20 feet. This is a requirement of the City and will be made at DRB review.

All other requested changes have been made. Following the above-noted changes, we do not need to review the plans again. Please let me know if you have any questions regarding this recommendation. We would be happy to talk with you about these issues.

Sincerely,



James K. Strozler, AICP
Principal

c: Mr. Robby L. Roberson, Roberson Construction Co., Inc.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozler, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP

Ladera Business Park
ARCHITECTURAL DESIGN REVIEWER'S WORKSHEET

RECEIVED
RECEIVED 4/6
VIA EMAIL FORWARDED
TO B.G. JMK, TF
~

Lot # 20, 21, 22

Date submitted 4-4-07

Builder / Owner Roberson Construction / Robby Roberson

Plans (1 set required) X

Check (\$430.00, attach copy) X

New X Remodel _____ Outbuildings _____ Landscaping _____ Other _____

Building Use Office Condos

Landscaping

Mix of evergreen (coniferous/Deciduous trees within parking areas).

Okay. Majority are either Chinese Pistache or Austrian Pine.

Off-street parking areas - one tree for every 10 spaces.

Okay. 131 spaces - 13 trees required. Exceeds requirement.

A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way.

Okay. 20' landscape strip provided along Vista Oeste access road.

* Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet. Meets 75% deciduous requirement. Canopy requirement/shade intent not met by NM Olive or Desert Willows.

A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure and or adjacent to residential

properties. Okay. Net lot area 125,245 sq ft / required 18,787 sq ft, provided 29,286 sq ft.

As a minimum, a 15 foot landscaped buffer is required between industrial/commercial/office uses and residential properties. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height twenty-five feet. The trees shall be spaced at an average of 25 feet on center.

There is no residential adjacent or near the subject property.

Landscaping regulations require that 75% of landscaped areas over 36 square feet in size must be covered with living, vegetative material. High-water use turf is discouraged and shall be limited to 20% of the landscaped

area. 75% coverage requirement met. Required 21,965 sq ft Provided 29,286 sq ft

No turf is used.

One tree is required for each twenty-five linear feet of public or main access roadway. The required trees should be informally clustered with not more than a fifty-foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees. 425' Street frontage = 17 trees w/ ratio of 1.5 (60/40)
Requirement met.

Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper, or be 10 to 12 in height; shrubs and groundcovers shall be a one gallon container; and turf grasses shall be capable of providing complete ground coverage within one growing season after installation. Okay. Specified in Plant Legend on Landscape Plan.

An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency. Okay.

All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar materials, which extends completely under the plant material. Okay. Dark mulch; Santa Fe Brown gravel specified.

Xeriscape principles shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical. Okay.

Setbacks

Buildings shall be located on each site according to the following setback dimensions:

35 feet from the Unser Boulevard R.O.W. and There is no Unser frontage
20' for internal roadways R.O.W. Okay.
50 feet from the property line of a residential zone Okay.
10 feet from internal lot lines Okay.

Parking/Circulation

20 feet from the Unser Boulevard R.O.W. line; and 10 feet for internal roadways; and, 10 feet from internal lot lines. Okay

ADA compliant parking shall be located adjacent to the building entry. Okay.

* For office buildings, pedestrian crossings shall be a minimum width of 6 feet. They should be clearly demarcated with textured paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles. Crossings are 6'. Textured paving is ~~not~~ specified.
Landscape Plan does not show pedestrian crossings.

Shaded pedestrian access shall be provided, including a clear 6 foot wide path with adjacent trees spaced approximately 25 feet on center with planters that have a minimum interior dimension of 5 feet square (or equivalent). Truck parking is not permitted on the interior streets within Ladera Business Park. Okay. No truck parking shown/specified/allowed.

For office and retail buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building. For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shade can be provided at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5 feet square (or equivalent). 15' minimum requirement met.

* For office buildings over 10,000 square feet or groups of buildings on the same lot whose total floor area is over 10,000 square feet, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture. Collectively buildings exceed 10,000 sf. A 500 sf shaded patio w/ seating shall be provided.

Convenient connections shall be provided from each building to the internal circulation system and to adjacent roadways. Okay

Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas. Okay

Sidewalks

* Sidewalks shall be provided along public rights-of-way at a minimum of 6 foot width and shaded by trees planted 25 feet on center. Technically Vista Oeste is not a public ROW, but Site Plan shows sidewalk per requirement and Landscape Plan does not.
Screening Walls/Fences Include sidewalk on Landscape Plan.

The following are standards to ensure effective screening of negative elements:

All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and earthen berming. Such screening shall have a minimum height of 3 feet. Employee and customer/client parking areas shall be screened from adjacent properties. Appropriate signage and/or highlighted landscaping should be used to direct visitors. Okay.

Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade and have a maximum height of 10 feet. N/A

All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections. Okay.

Refuse containers shall be in a corresponding walled and gated area at a height to fully conceal the container. Okay.

When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. No fencing specified.

The use of chainlink fencing is not permitted between the building and any street right-of-way. Security fencing shall be compatible with the architectural theme of the building. No fencing specified

Outdoor storage areas are permitted provided they shall be fenced and screened from adjacent public rights-of-way with vines solid fencing, and/or shrubs. Outdoor storage shall not be permitted on any lot adjacent to Unser Boulevard (lots 12-23, and lot 29). No outdoor storage specified.

Loading docks visible from residential areas shall be screened by walls which match building architecture, material, and color. No loading docks specified.

Lighting Standards

The maximum height for lighting fixtures shall be:

* 16 feet for all walkways and entry plazas. 20' maximum specified. Indicates 16' height for walkways.

25 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements. Okay. 20' maximum height specified.

Exterior elevations of any building fronting a street are encouraged to feature light to enhance the identity of the building and the appealing ambiance of the total community. Okay.

The use of spread lighting fixtures are required to accent landscapes and walkways. Uplighting fixtures are not permitted. Okay.

* Required streetlight specifications: G.E. 100 watt, bronze, Lumen shoebox type with Lexington bronze pole per PNM specification SL3. Not specified.

In addition to the guidelines listed below, all lighting shall be consistent with the provisions of the State of New Mexico's Night Sky Ordinance. The following are additional standards for the design of the lighting system: Okay

- * > Placement of fixtures and standards shall conform to state and local safety and illumination requirements. Not specified. General Notes
- * > All light fixtures shall be shown as fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter. Not specified. Put in General Notes.
- > A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. Okay.

Singage

The following are general guidelines for signage design and placement:

- No off-premise signs are allowed. Okay
- Signs shall be limited to wall signs and free-standing monument signs. Okay
- One wall sign shall be permitted per facade per business. Okay
- Individual buildings are allowed façade mounted signs whose area shall not exceed 6% of the area of the façade to which it is applied. Okay.
- The height of a wall sign shall not exceed the height of the wall to which it is attached. Okay
- One free-standing business monument sign shall be permitted per street frontage per premises; a second free-standing sign is permitted on any given street frontage greater than 1,500 linear feet. Two monument signs are specified. This is appropriate given two entrances on a private access road not a public ROW.
- The height of a business monument sign shall not exceed 4 feet and the sign face shall not exceed 32 square feet. Okay.
- No sign shall overhang into the public right-of-way or extend above the building roof line. Okay.
- No illuminated signage shall face any residential area, except along Unser Boulevard. Okay.

Site

- Parking areas shall be designed so that pedestrians walk parallel to moving cars. Site layout should minimize the need for pedestrians to cross parking aisles and landscaped islands. Okay.
- * • Pedestrian linkages shall be clearly visible and highlighted with enhanced paving. Enhanced paving should be textured and/or colored.
- Parking areas shall be designed to include a pedestrian link to the street sidewalk network. Okay.
- All parking facilities adjacent to the streets be screened with low walls and/or landscaping. Such screening shall have a minimum height of 3 feet. Okay.
- All pedestrian paths shall be designed to be accessible to the handicapped (See Americans with Disabilities Act criteria for barrier free design). Okay.
- Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts. All pedestrian ways and paths shall be at least 6' clear and lined with shade trees in 5' x 5' planters or equivalent, spaced 25 feet on center. Okay.

Architectural

All buildings shall conform to the following requirements:

- The maximum building height shall be 32 feet, which includes a parapet screening. All buildings along Unser Blvd. (lots 13 through 19) shall be restricted to a height of 26 feet (including parapets) and have flat roofs with parapets. Okay.
- The primary building colors shall be limited to: Yellow Ochres, Browns, Dull Reds, Blues, Grays, and Grey-Greens however, sensitive alteration of colors and materials can produce diversity and enhance architectural forms. The middle range of reflectance is intended to avoid very light and very dark colors. Okay.
- The staggering of planes and/or distinct articulation of building façades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual façades. Okay.
- The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring. Okay.

- * • All rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials. Unknown
- * • The top of all rooftop equipment shall be below the top of parapet or screened from view from the public rights-of-way. Unknown
- Screen walls shall screen all ground mounted equipment with the top of equipment below the top of screen wall. None specified.
- No plastic or vinyl building panels, awnings, or canopies are permitted (metal panels are permitted as an accent feature only). Awnings and canopies shall be integrated with building architecture. Okay
- Parapets and/or architectural tents shall be used to screen mechanical equipment and penetrations from the development on the adjacent properties. Okay
- No generic franchise architecture shall be allowed. Okay

Utilities

- All new electric distribution lines within the Park shall be placed underground. Okay
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way. Okay

(checklist for owners/builders)

Plans could include:

- ✓ 1. Site Plan
- ✓ 2. Landscape Plan
- ✓ 3. Building Elevations
- ✓ 4. Floor Plan
- ✓ 5. Material Color Samples material colors specified in Site Plan.

Sheet 1 – Site Plan

- No Graphic scale (1" = 20'). used 1" = 30'
- ✓ North arrow.
- ✓ Property Lines.
- ✓ Easements.
- ✓ Location and orientation of existing and proposed structures.

- Sidewalk locations and material.
- Driveway location and material.
- Wall(s) location, height, and cross section for any retaining walls.
- Dimensions of all site elements.
- Site lighting locations, including type and height.

Sheet 2 - Landscape Plan

- * Graphic scale (same scale as Site Plan). *currently not same as site plan but is correct scale.*
- North arrow.
- Property lines.
- Easements.
- Identify type, location, and size of existing trees and/or shrubs. Indicate whether existing vegetation is to be preserved or removed.
- Identify proposed planting areas, including type, location and size of proposed trees, shrubs and groundcovers.
- ~~N/A~~ Identify proposed turf areas, including type and square footage.
- Provide a description of the proposed irrigation system.

Sheet 3 - Building Elevations

- Graphic scale (1/8" = 1'-0" min.)
- Façade orientation.
- Dimensions indicating building height and width, and major façade elements, including windows and entrances.
- Building materials and colors.
- Roof materials and colors.

Sheet 4 - Floor Plan

- ~~N/A~~ Graphic scale (1/8" = 1'-0" min.)
- ~~N/A~~ Identify rooms, including square footage of each room.
- ~~N/A~~ Provide basic dimensions for each room and hallway.

Sheet 5 - Building Material Color Samples

- Exterior material and color.
- Trim material and color.
- Window style and frame color.
- Garage door material and color.
- Roof material and color.
- Wall/fence material and color.

Colors & materials specified on site plan

Recommendation to Architectural Control Committee

Approval

Approval pending the submittal of the following:

revisions to site plan and Landscape Plan to address above-noted issues.

_____ **Rejected (must be resubmitted, non-compliance in the following areas):**

Additional Comments

Reviewer's Initials DQS

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
April 25, 2007
DRB Comments**

ITEM # 4

PROJECT # 1005508


APPLICATION # 07-00341

**RE: Tracts 20-23, Ladera Business Park, Unit 2/spbp & plat
Supplemental Comments**

3" minimum depth Santa Fe brown gravel is required Please make this correction on Page L2 of L2.

Planning will take delegation for 3 copies of the site plan. Please be sure to include all pages in the 3 copies & bring in with the original when all other signatures are obtained.

Planning will also take delegation to record the plat.


Sheran Matson, AICP DRB Chair
smatson@cabq.gov 924-3880



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 11, 2007

9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 12:50 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1005185

07DRB-00262 Major-Preliminary Plat
Approval

ISAACSON & ARFMAN PA agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, LAND OF EDMUND I RADY (to be known as **VILLA LOMA ESTATES**) zoned SU1-PRD located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH PL NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436] [Deferred from 3/28/07 & 4/11/07] (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 04/25/07.**

07DRB-00353 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING LLC agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, Land of Edmund I Rady (to be known as **VILLA LOMA ESTATES**) zoned SU-1 for PRD, located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436, 07DRB00262] [**Carmen Marrone for Petra Morris, EPC Case Planner**] [Deferred from 3/28/07 & 4/11/07] (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 04/25/07.**

2. **Project # 1002743**
07DRB-00336 Major-Preliminary Plat
Approval

DAC ENTERPRISES INC agent(s) for HARVEST LAND LLC request(s) the above action(s) for all or any portion of Tract(s) I & J, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD located on COORS NW between WESTERN TRAILS NW and DELLYNE NW containing approximately 4 acre(s). (F-11) **WITH THE RE-SIGNING OF THE INFRASTRUCTURE LIST DATED 02/08/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/19/79 THE PRELIMINARY PLAT WAS APPROVED WITH A CONDITION OF FINAL PLAT: THE HOME OWNERS ASSOCIATION PRESIDENT MUST SIGN THE FINAL PLAT.**

3. **Project # 1004387**
07DRB-00334 Major-Vacation of Pub
Right-of-Way
07DRB-00335 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] [Deferred from 04/11/07] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 04/18/07.**

4. **Project # 1005133**
07DRB-00260 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for VT INC., A MISSOURI CORPORATION request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2, **SEVEN BAR RANCH**, zoned SU-1 FOR AP located on COORS BLVD BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 18 acre(s). *[Deferred from 3/28/07 & 04/11/07]*(B-13) **DEFERRED AT THE AGENT'S REQUEST TO 04/18/07.**

07DRB-00352 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for COORS EAGLE RANCH LLC request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2-A, N-1-B-2-B & N-1-B-2-C, **SEVEN BAR RANCH**, zoned SU-1 FOR AP, located on COORS BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 17 acre(s). *[Deferred from 3/28/07 & 04/11/07]* (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 04/18/07.**

5. **Project # 1004075**
06DRB-01537 Major-Vacation of Pub
Right-of-Way
06DRB-01539 Minor-Vacation of Private
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] *[Deferred from 11/15/06, 12/13/06, 1/3/07, 1/17/07, 2/7/07, 2/28/07, 3/21/07 & 04/11/07]*. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 05/02/07.**

6. **Project # 1002739**
06DRB-01621 Major-Vacation of Public Easements
06DRB-01622 Major-Vacation of Pub Right-of-Way
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118TH ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06,12/13/06 & 12/20/06] [Deferred from 1/3/07,1/10/07,1/17/07,1/24/07, 1/31/07, 2/7/07, 2/21/07, 3/07/07 & 03/21/07 & 4/4/07] (P-8) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE. THE FINAL PLAT WAS APPROVED WITH THE FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR AN AMENDMENT TO THE INFRASTRUCTURE LIST AND TO FINALIZE OFF SITE EASEMENTS AND PLANNING FOR REAL PROPERTY SIGNATURE, 15-DAY APPEAL PERIOD AND TO RECORD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1005473**
07DRB-00411 Minor-SiteDev Plan
BldPermit

JEFF FOSS agent(s) for RAY CRAVEY request(s) the above action(s) for all or any portion of Lot(s) 40, **ALAMEDA BUSINESS PARK**, zoned SU-1 IP located south of ALAMEDA NW between WASHINGTON NW and 4TH ST NW containing approximately 1 acre(s). (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES AND ADDITION TO SIGNATURE BLOCK.**

8. **Project # 1002330**
06DRB-01642 Minor-SiteDev Plan
BldPermit/EPC

JIM MEDLEY ARCHITECT AIA agent(s) for ULTIMATE CAR WASH request(s) the above action(s) for all or a portion of Tract(s) G-2-A-2, **MONTGOMERY COMPLEX**, zoned SU-1 FOR C-1, located on MONTGOMERY BLVD NE, between CARLISLE BLVD NE and I-25 containing approximately 1 acre(s). [REF: 06EPC-00954] [**Maggie Gould, EPC Case Planner**] [*Indef deferred from 11/29/06*] (F-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ACCEPTANCE OF THE WATER LINE THAT WAS CONSTRUCTED WITHOUT A WORK ORDER AND 3 COPIES OF THE SITE PLAN AND TRANSPORTATION DEVELOPMENT FOR 30-FOOT CROSS ACCESS EASEMENT AND SIDEWALK EASEMENT ON MONTGOMERY.**

9. **Project # 1002819**
07DRB-00354 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for DIAMOND MESA LLC request(s) the above action(s) for all or any portion of Lot(s) E-6-A-1, Albuquerque South (to be known as **DIAMOND MESA**) zoned SU-1 FOR R-2 & RT USES located on GIBSON BLVD SW between 98th ST SW and AMOLE ARROYO DRAINAGE ROW containing approximately 27 acre(s). [**Carmen Marrone, EPC Case Planner**] [*Deferred from 3/28/07*] (N-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 04/11/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO THE CITY ENGINEER FOR THE SIA AND TO PLANNING FOR 3 COPIES.**

10. **Project # 1005508**
07DRB-00341 Minor-SiteDev Plan
BldPermit

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or any portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP for Lt Indust Uses located on UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 3/28,4/4/ & 04/11/07*] [*Heard under Proj #1001523 in error*] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 04/25/07.**

07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 2/28/07*] [*Indef deferred from 3/14/07*] [*Deferred from 3/28/07, 4/4/07 & 04/11/07*] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 04/25/07.**

11. **Project # 1005360**
07DRB-00372 Minor-SiteDev Plan
BldPermit

KENT TRAUERNICHT agent(s) for STEVE SCHAUK request(s) the above action(s) for all or any portion of Lot(s) 45, **ALAMEDA BUSINESS PARK**, zoned SU-2 FOR IP-EP located on CALLE ALAMEDA NE, between PASEO ALAMEDA NE and ALAMEDA PARK DR NE containing approximately 1 acre(s). [REF: 07ZHE-00120] [*Deferred from 4/4/07*] (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CITY STANDARD DRAWING NOTES FOR SIDEWALKS AND DRIVE PAD MODIFICATIONS AND PLANNING FOR SOLID WASTE MANAGEMENT SIGNATURE, WALL DESIGN AND 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1005365**
07DRB-00403 Minor-Prelim&Final Plat
Approval

ALPHA PROFESSIONAL SURVEYING INC agent(s) for FRANK & MARY PADILLA request(s) the above action(s) for all or any portion of Lot(s) A, B & C, Tract(s) 300-A-2-B-1, M.R.G.C.D. Map 38, **LANDS OF LOPEZ & PADILLA**, zoned RA-2, located on CARSON RD NW between RIO GRANDE NW and MONTOYA NW containing approximately 1 acre(s). [REF: 07DRB00140] (J-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

13. **Project # 1001133**
07DRB-00404 Minor-Ext of SIA for Temp
Defer SDWK

THE TRIAD GROUP request(s) the above action(s) for all or any portion of Lot(s) 9, 23, 29 & 38, **PARADISE TERRACE**, zoned R-1, located on GOLF COURSE RD NW between MCMAHON NW and DRIFTWOOD NW containing approximately 10 acre(s). [REF: 01DRB00373, 03DRB00572, 05DRB00337] (A-12) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

14. **Project # 1005233**
07DRB-00418 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for CARDINAL HEALTHCARE PTS LLC request(s) the above action(s) for all or any portion of Tract(s) A & B, Block(s) 5, **SUNDT'S INDUSTRIAL CENTER**, zoned M-2 located on ALEXANDER BLVD NE between MONTBEL LP NE and JOAN HILL PL NE containing approximately 17 acre(s). [REF: 06DRB01568] (F-15 & F-16) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

15. **Project # 1005478**
07DRB-00421 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for JSJ NOB HILL LLC & BKM LLC request(s) the above action(s) for all or any portion of Lot(s) 1, 2, 18 & 19, Block(s) 15, **MESA GRANDE**, zoned SU-2 O-R located on WASHINGTON ST SE between MESA GRANDE PL SE and ZUNI RD SE containing approximately 1 acre(s). (K-17) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

16. **Project # 1005255**
07DRB-00420 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for JAMES A & JAMES C PETERSON request(s) the above action(s) for all or any portion of Lot(s) A-1, Block(s) 15 and Lot(s) B-1 & C-1, Block(s) 10, **VISTA LARGA**, zoned R-1 located on HANNETT AVE NE between STANFORD DR NE and HARVARD DR NE containing approximately 1 acre(s). *[Deferred from 04/11/07]* (J-16) **DEFERRED AT THE AGENT'S REQUEST TO 04/18/07.**

17. **Project # 1005398**
07DRB-00422 Minor-Prelim&Final Plat
Approval

DANIEL DUNN request(s) the above action(s) for all or any portion of Lot(s) 1, 2 & 3, **GARCIA ADDITION**, zoned SR-1 located on 11TH ST NW between MOUNTAIN DR NW and SAWMILL DR NW containing approximately 1 acre(s). (J-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

18. **Project # 1005470**
07DRB-00406 Minor-Sketch Plat or Plan

DESCANSO INC request(s) the above action(s) for **UNPLATTED PORTION OF THE LANDS OF THE B.N.S.F. RAILROAD**, zoned M-2, located on 2ND ST SW between AVENIDA CESAR CHAVEZ SW and WOODWARD RD SW. (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMENTS WERE GIVEN.**

19. **Project # 1003359**
07DRB-00408 Minor-Sketch Plat or Plan
- FAIZD KESSAM request(s) the above action(s) for all or any portion of Block(s) 26, Tract(s) A, Lot(s) 8-10 & 23-25, **NORTH ALBUQUERQUE ACRES UNIT B**, zoned SU-2 FOR IP located on EAGLE ROCK AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 5 acre(s). [REF: 04EPC00482] (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMENTS WERE GIVEN.**
20. **Project # 1005474**
07DRB-00413 Minor-Sketch Plat or Plan
- CATHERINE HELLER request(s) the above action(s) for all or any portion of Lot(s) 7 & 8, Block(s) 3, **ROSEMONT PARK ADDITION**, zoned S-R (R-1) located on 11TH ST NW between 10TH ST NW and 12TH ST NW. (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMENTS WERE GIVEN.**
21. **Project # 1005477**
07DRB-00419 Minor-Sketch Plat or Plan
- WAYJOHN SURVEYING INC agent(s) for TWIN MOUNTAIN CONSTRUCTION II COMPANY request(s) the above action(s) for Tract(s) 1, LANDS OF M-T INVEST. CO and Tract(s) A-1, SPRINGER-SPEECHLY PLAT (to be known as **LANDS OF TWIN MOUNTAIN**) zoned SU-2 C-3 and SU-2 M-1 located on MENAUL BLVD NE between EDITH BLVD NE and I-25 containing approximately 16 acre(s). (H-15) **THE ABOVE REQUEST WAS REVIEWED AND COMENTS WERE GIVEN.**
22. Approval of the Development Review Board Minutes for April 4, 2007. **THE DRB MINUTES FOR APRIL 4, 2007 WERE APPROVED BY THE BOARD.**

23. OTHER MATTERS:

Project # 1003554

07DRB-00482 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for VISTA ORIENTE LLC, request(s) the above action(s) for Lot(s) 5 & 6, **CENTRAL PARK PLACE**, zoned C-2, located on CENTRAL AVE SE between CONCHAS ST SE and EUBANK BLVD SE containing approximately 2 acre(s). (L-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

ADJOURNED: 12:50 P.M.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 4, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:00 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002371**
07DRB-00286 Major-One Year SIA

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, **ALBAN HILLS**, zoned SU-1 FOR R-2 W/CHURCH RELATED USES located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB-00286, 03DRB-02150, 05DRB-00560, 03DRB-02085, 03DRB-02086] (D-12) **ONE-YEAR SIA WAS APPROVED.**

2. **Project # 1000985**
07DRB-00292 Major-Two Year SIA
- BOHANNAN HUSTON INC agent(s) for PALOMAS INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 1-A, Block(s) 12, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned SU-2 C-1 located on SAN PEDRO NE between PASEO DEL NORTE NE and PALOMAS NE. (D-18) **TWO-YEAR SIA WAS APPROVED.**
3. **Project # 1003790**
07DRB-00297 Major-SiteDev Plan Subd
07DRB-00298 Minor-Vacation of Private Easements
07DRB-00299 Minor-Prelim&Final Plat Approval
- MARK GOODWIN & ASSOCIATES PA agent(s) for MCT INDUSTRIES INC request(s) the above action(s) for all or any portion of Tract(s) B, C-1 & C-2, **NORTH GATEWAY**, zoned IP located on BALLOON FIESTA PARKWAY NE between SAN MATEO BLVD NE and I-25 NE containing approximately 23 acre(s). (B-18) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND FOUR COPIES OF THE PLAN. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 04/04/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/1/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: 61-FEET OF RIGHT-OF-WAY ON BALLOON FIESTA COURT IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**
4. **Project # 1004623**
07DRB-00294 Major-SiteDev Plan
BldPermit
- BERENT GROTH ARCHITECT agent(s) for RAUL LOPEZ request(s) the above action(s) for all or any portion of Lot(s) 13-16, Block(s) 3, **ROMERO ADDITION**, zoned SU-1 for legal office and/or residence, located on 5TH ST NW between SUMMER NW and MCKINLEY NW containing approximately 1 acre(s). [Deferred from 4/4/07] (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 4/25/07.**

5. **Project # 1002739**
06DRB-01621 Major-Vacation of Public Easements
06DRB-01622 Major-Vacation of Pub Right-of-Way
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118TH ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06,12/13/06 & 12/20/06] [Deferred from 1/3/07,1/10/07,1/17/07,1/24/07, 1/31/07, 2/7/07, 2/21/07, 3/07/07 & 03/21/07 & 4/4/07] (P-8) **DEFERRED AT THE BOARD'S REQUEST TO 4/11/07.**

6. **Project # 1002984**
07DRB-00238 Major-Vacation of Pub Right-of-Way

SANDRA LEVINSON & HAROLD GILL request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 7, **VOLCANO CLIFFS, UNIT 2**, zoned R-1 located on KIBO DR NW between RIMROCK DR NW and SHIPROCK CT NW containing approximately 1 acre(s). [Deferred from 3/28/07] (E-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1002962**
07DRB-00358 Minor-SiteDev Plan
BldPermit/EPC

J. S. ROGERS ARCHITECTS PC agent(s) for THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS request(s) the above action(s) for all or any portion of Tract(s) 10, **TRAILS, UNIT 2**, zoned SU-1 FOR CHURCH located on WOODMONT AVE NW between RAINBOW BLVD NW and UNIVERSE NW containing approximately 5 acre(s). [Carmen Marrone for David Stallworth, EPC Case Planner] (C-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES AND TRANSPORTATION DEVELOPMENT FOR MINOR CORRECTIONS ON THE 15-FOOT END CAP RADII.**

8. **Project # 1005360**
07DRB-00372 Minor-SiteDev Plan
BldPermit

KENT TRAUERNICHT agent(s) for STEVE SCHAUK request(s) the above action(s) for all or any portion of Lot(s) 45, **ALAMEDA BUSINESS PARK**, zoned SU-2 FOR IP-EP located on CALLE ALAMEDA NE , between PASEO ALAMEDA NE and ALAMEDA PARK DR NE containing approximately 1 acre(s). [REF: 07ZHE-00120] *[Deferred from 4/4/07]* (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

9. **Project # 1000504**
07DRB-00378 Minor-SiteDev Plan
BldPermit

NCA ARCHITECTS agent(s) for JEFFERSON PLAZA LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP, located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 6 acre(s). [REF: 07DRB-00364] *[Indef deferred from 4/4/07]* (E-17) **INDEFINITELY DEFFERRED AT THE AGENT'S REQUEST.**

07DRB-00364 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for CINCO BISCO LIMITED request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 9 acre(s). [REF: 00DRB-00608] *[Indef deferred from 4/4/07]* (E-17) **INDEFINITELY DEFFERRED AT THE AGENT'S REQUEST.**

10. ~~Project # 1001523~~
07DRB-00341 Minor-SiteDev Plan
BldPermit

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or any portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP FOR LIGHT INDUSTRIAL USES located on UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [Deferred from 3/28/07 & 4/4/07] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [Deferred from 2/28/07] [Indef deferred from 3/14/07] [Deferred from 3/28/07 & 4/4/07] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1004178**
07DRB-00374 Minor-Ext of SIA for Temp
Defer SDWK

GARCIA KRAEMER & ASSOCIATES agent(s) for NM ONE CALL request(s) the above action(s) for all or any portion of Tract(s) G-1 & G-2, Block(s) 27, **MESA VILLAGE**, zoned O-1 located on EUBANK BLVD NE between LOMAS BLVD NE and WALKER NE containing approximately 2 acre(s). [REF: 05DRB01013, 07DRB00018] (J-20) **A TWO-YEAR EXTENSION TO THE FOUR YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

12. **Project # 1000572**
07DRB-00383 Major-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or any portion of Tract(s) A, THE PRESIDIO (to be known as **THE PRESIDIO, UNIT 1**) zoned SU-1 PRD located on CHICO RD NE between EUBANK BLVD NE and MORRIS ST NE containing approximately 24 acre(s). [REF: 06DRB01714, 06DRB01715, 06DRB01783, 06DRB01778, 06DRB01779, 06DRB01781] (K-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR THE HOMEOWNERS ASSOC.SIGNATURE, CORRECTED ZONING, MASTER COVENANTS RECORDING DATE ON THE PLAT AND TO RECORD.**

13. **Project # 1003928**
07DRB-00394 Minor-Subd Design (DPM) Variance
07DRB-00395 Minor-Sidewalk Variance

SURVEYS SOUTHWEST agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D **TOHATCHI ADDITION & LOT 12, BLOCK C, J. M. MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone located on MOUNTAIN RD NW between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] (J-13) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT "C" IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT "C" IN THE PLANNING FILE.**

07DRB-00068 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D, **TOHATCHI ADDITION & LOT 12, BLOCK C, J M MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone, located on MOUNTAIN RD NW, between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] [*Deferred from 1/31/07 & Indef deferred on 2/14/07*] (J-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/8/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS: A 30-FOOT PUBLIC WATER AND SEWER EASEMENT IS REQUIRED. A 6-FOOT DEDICATION ALONG MOUNTAIN ROAD IS REQUIRED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

14. **Project # 1005458**
07DRB-00379 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for DAN MUNIZA request(s) the above action(s) for all or any portion of Tract(s) Q, **TOWN OF ATRISCO GRANT**, NORTHERN UNIT, zoned C-1/P located on COORS RD NW between REDLANDS RD NW and ATRISCO DR NW containing approximately 4 acre(s). [*Indef deferred from 4/4/07*] (G-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
15. **Project # 1002176**
07DRB-00393 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for CASH FLOW PROPERTIES LLC request(s) the above action(s) for all or any portion of Lot(s) 51-P1 & 52-P, **COVERED WAGON SUBDIVISION**, zoned SU-1 FOR SINGLE FAMILY RES located on COVERED WAGON AVE SE between LANIER DR SE and WATERFALL DR SE containing approximately 1 acre(s). [*Shown under Project 1005466 in error.*] (L-23) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
16. **Project # 1004355**
07DRB-00351 Minor-Prelim&Final Plat
Approval
- WILSON & COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or any portion of Lot(s) 16-21, Block(s) 6, **VISTA VIEJA SUBDIVISION, UNIT 2**, zoned R-D located on TIERRA VIEJA ST NW between HAWK EYE RD NW and GO WEST RD NW containing approximately 1 acre(s). [REF: 06DRB01340] (D-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR LOCATION OF METER BOXES AND PLANNING TO RECORD THE PLAT.**

17. **Project # 1004994**
07DRB-00382 Minor-Prelim&Final Plat
Approval
- MARK GOODWIN & ASSOCIATES PA agent(s) for COLLATZ-PICKARD LLC request(s) the above action(s) for all or any portion of Anasazi Ridge, Unit 1, Tract E and Tract A, Seville Subdivision, Unit 7A (to be known as **ANASAZI RIDGE, UNIT 1A**) zoned R-1 located on MCMAHON BLVD NW between ANASAZI RIDGE AVE NW and BASKET WEAVER PL NW containing approximately 1 acre(s). (A-10) **INDEFINITELY DEFERRED ON A NO SHOW.**
18. **Project # 1005132**
07DRB-00386 Minor-Prelim&Final Plat
Approval
07DRB-00385 Minor-Vacation of Private
Easements
- PRECISION SURVEYS INC agent(s) for SAN PEDRO EQUITIES LLC request(s) the above action(s) for all or any portion of Tract(s) B & C, (to be known as **PASEO NUEVO 2, TRACTS B-1 & C-1**) zoned SU-2, 0-1 located on HOLLY AVE NE, between SAN PEDRO DR NE and VILLE CT NE containing approximately 2 acre(s). [REF: 07DRB00137] (C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO THE TRANSPORTATION DEVELOPMENT TO CORRECT CROSS-ACCESS EASEMENT. THE VACATION OF THE PRIVATE EASEMENT(S) WAS APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE.**
19. **Project # 1005363**
07DRB-00346 Minor-Prelim&Final Plat
Approval
- TERRAMETRICS OF NEW MEXICO agent(s) for GIL CORDOVA request(s) the above action(s) for all or any portion of the north half of Lot(s) 33, **ALVARADO GARDENS, UNIT 3**, zoned RA-2 located on RIO GRANDE BLVD NW between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). [*Deferred from 3/28/07*] (G-12 & G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/4/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1004071**
07DRB-00376 Minor-Sketch Plat or Plan
- JEFF MORTENSEN & ASSOCIATES INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS & NEW MEXICO STATE LAND OFFICE request(s) the above action(s) for all or any portion of Tract(s) C, **ANCIENT MESA**, zoned RO-20 located on RAINBOW BLVD NW between COMPASS DR NW and PETROGYLPH NATIONAL MONUMENT containing approximately 144 acre(s). [REF: 05DRB00511, 05DRB00512, 05DRB00513] (C-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1005456**
07DRB-00373 Minor-Sketch Plat or Plan
- FAITH HOME BUILDERS INC request(s) the above action(s) for all or any portion of Lot(s) 1-8, Block(s) 4, **ESPERAZA ADDITION**, zoned C-1 located on SAN MATEO BLVD SE between SOUTHERN AVE SE and KATHRYN SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
22. **Project # 1005459**
07DRB-00380 Minor-Sketch Plat or Plan
- RAIMUND MCCLAIN agent(s) for KRISTINA YU request(s) the above action(s) for all or any portion of Lot(s) 12 & 13, **RIDGECREST ADDITION**, zoned R-2 located on ROSS PLACE SE, between JACKSON SE and CREST SE containing approximately 1 acre(s). (L-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project # 1005460**
07DRB-00384 Minor-Sketch Plat or Plan

PLAZA SURVEYS agent(s) for NICOLAS PACHECO request(s) the above action(s) for all or any portion of Tract(s) 36B1, **M.R.G.C.D. MAP #35**, zoned RA-2 located on MOYA NW between GABALDON NW and LOS LUCEROS NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. **Project # 1005461**
07DRB-00387 Minor-Sketch Plat or Plan

EDWARD GABALDON agent(s) for BERLINDA GABALDON request(s) the above action(s) for all or any portion of Lot(s) 15, Block(s) 4, **MELENDRES SUBDIVISION**, zoned R-3 located on PALOMAS SE between ANDERSON SE and KATHRYN SE containing approximately 1 acre(s). (L-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. **Project # 1005467**
07DRB-00392 Minor-Sketch Plat or Plan

MATTHEW COHEN request(s) the above action(s) for all or any portion of Tract(s) 283A, **M.R.G.C.D. MAP #38**, zoned R-1 located on MOUNTAIN RD NW, between CONSUELO PL NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1005462**
07DRB-00388 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or any portion of Tract(s) 2A, **INDIAN RIDGE SUBDIVISION**, zoned O-1 located on MENAUL BLVD NE between JUAN TABO BLVD NE and CHELWOOD PARK BLVD NE containing approximately 2 acre(s). (H-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. **Project # 1005463**
07DRB-00389 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for YUNG T HSIEH request(s) the above action(s) for all or any portion of Lot(s) 4, **LANDS OF LW BARRETT**, zoned RD (9 DU ACRE) located on SAGE RD SW , between 86TH ST SW and SAN IGNACIO RD SW containing approximately 2 acre(s). (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. **Project # 1005464**
07DRB-00390 Minor-Sketch Plat or Plan

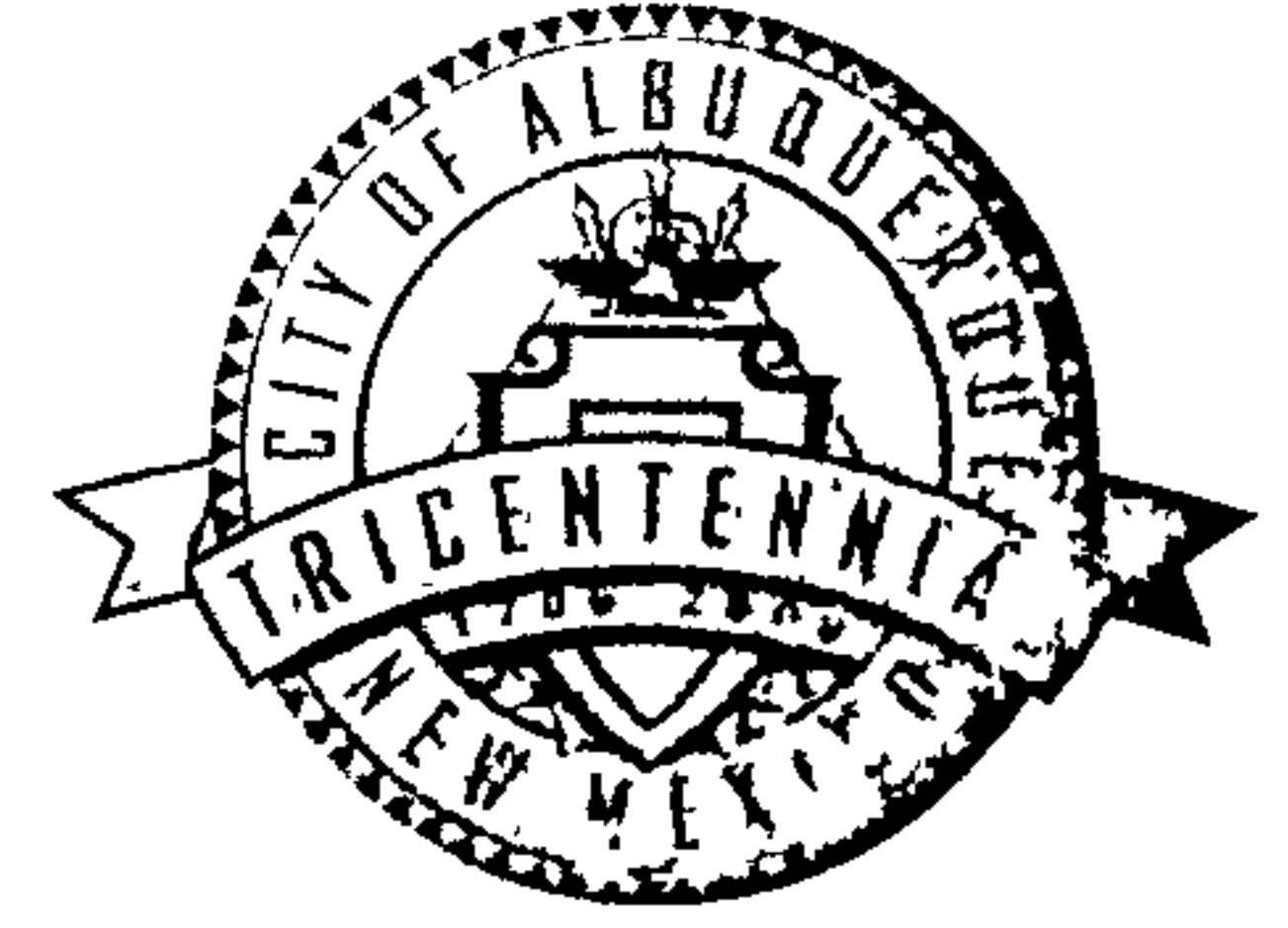
THOMPSON ENGINEERING CONSULTANTS agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or any portion of Lot(s) 32, Tract(s) A, **NORTH ALBUQUERQUE ACRES**, zoned R-LT residential zone located on PALOMAS AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). (D-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

29. **Project # 1005465**
07DRB-00391 Minor-Sketch Plat or Plan

THOMPSON ENGINEERING CONSULTANTS agent(s) for DUKE CITY DISTRIBUTING request(s) the above action(s) for all or any portion of Tract(s) C, SOUTH BROADWAY INDUSTRIAL ACRES (to be known as **DUKE CITY SUBDIVISION**) zoned SU-2 HM located on WOODWARD RD SE, between BROADWAY BLVD SE and 2ND ST SE containing approximately 4 acre(s). (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

30. Approval of the Development Review Board Minutes for March 28, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MARCH 28, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:00 P.M.



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 10

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments regarding site plan.
Plat comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

4-11-07

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: APRIL 4, 2007

0

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
March 22, 2007
DRB Comments**

ITEM # 9

PROJECT # 1001523 APPLICATION # 07-00341

RE: Tracts 20-23, Ladera Business Park, Unit 2/spbp

A copy of the approved AA to the Ladera Business Park SPS is required before the site plan for building permit and plat are approved. Agent was notified on 3/22/07.

General Comments

1. The lot number on the title of the SPBP is incorrect. The new lot number should appear.
2. The zoning classification should read "SU1-IP".

Planning has marked up the SPBP Checklist indicating areas of possible non-compliance to the SPBP Checklist. Agent was notified that he needed to go through the Ladera Business Park Master Plan to see if the SPBP conforms before Planning reviews it.

The plat & SPBP will be deferred until these problems are resolved. The agent must pay the deferral fee.



Sheran Matson, AICP

DRB Chair

924-3880 fax: 924-3864 smatson@cabq.gov



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 28, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:30 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1003123**
07DRB-00254 Major-Two Year SIA

KPM LLC request(s) the above action(s) for all or any portion of Tract(s) 1 & 2, **LANDS OF DEVEREUX & WATSON** and Tract(s) 77-6-1, **M.R.G.C.D. MAP #37**, zoned S-M1 located on 5TH ST NW between ASPEN AVE NW and HAINES AVE NW containing approximately 1 acre(s). (H-14) **A TWO-YEAR SIA WAS APPROVED.**

2. **Project # 1003717**
07DRB-00236 Major-Vacation of Public
Right-of-Way

GREG RILEY agent(s) for ERIC C. JOHNSON request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 38, **EASTERN ADDITION**, zoned SU-2/NCR located on CESAR CHAVEZ SE between BROADWAY SE and ARNO SE containing approximately 1 acre(s). [REF: 04DRB-01565] *[Was Indef deferred 3/28/07]* (L-14) **INDEFINITELY DEFERRED ON A NO SHOW.**

3. **Project # 1001278**
07DRB-00242 Major-Bulk Land Variance
07DRB-00243 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for PAT & LILLIE MILLIGAN request(s) the above action(s) for Tract 94, Town of Atrisco Grant, Unit 6, Lots A, B and a portion of C & D, Gonzales Family Lands, Tract H, Coors Plaza (to be known as **COORS TOWNE CENTER**) zoned SU-1 FOR C-2 PERMISSIVE USES, located on COORS BLVD SW, between CENTRAL AVE SW and BRIDGE BLVD SW containing approximately 17 acre(s). [REF: 01EPC00747, 00748, 00749, 00750, 07DRB00150, 07DRB00151] (K-10) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD, NOTICE OF SUBDIVISION PLAT CONDITIONS, AGIS DXF FILE AND TO RECORD.**

07DRB-00150 Minor-SiteDev Plan
Subd/EPC
07DRB-00151 Minor-Vacation of Private
Easements

CONSENSUS PLANNING INC AND SURV-TEK INC., agent(s) for PAT AND LILLIE MILLIGAN request(s) the above action(s) for all or a portion OF Tract 94, Town of Atrisco Grant, Unit 6, Lots A, B and a portion of C & D, Gonzales Family Lands, Tract H, Coors Plaza (to be known as **COORS TOWN CENTER**) zoned SU-1 FOR C-2 PERMISSIVE USES, located on COORS BLVD SW, between CENTRAL AVE SW and BRIDGE BLVD SW containing approximately 18 acre(s). [REF: 01EPC00747, 00748, 00749, 00750] *[Indef deferred from 2/21/07]* [Russell Brito, EPC Case Planner] (K-10) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1002984**
07DRB-00238 Major-Vacation of Pub
Right-of-Way

SANDRA LEVINSON & HAROLD GILL request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 7, **VOLCANO CLIFFS, UNIT 2**, zoned R-1 located on KIBO DR NW between RIMROCK DR NW and SHIPROCK CT NW containing approximately 1 acre(s). *[Deferred from 3/28/07]* (E-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/4/07.**

5. **Project # 1003445**
07DRB-00261 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for Tract(s) B-1-A, C-1-A, D-1-A & Lot(s) 6-A-1-A, A and 10-A-2, Block(s) D, Unit 1, ALBUQUERQUE WEST, **FOUNTAIN HILLS** and Tract(s) B, RICHLAND HILLS, UNIT 1, **FIRST BAPTIST CHURCH**, zoned SU-1 FOR IP USES W/EXCEPTIONS & PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 22 acre(s). [REF: 04DRB00750] (C-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION: THE APPROPRIATE ALTERNATE PUBLIC DRAINAGE EASEMENTS/RIGHT-OF-WAY ARE PROVIDED.**

6. **Project # 1005133**
07DRB-00260 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for VT INC., A MISSOURI CORPORATION request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2, **SEVEN BAR RANCH**, zoned SU-1 FOR AP located on COORS BLVD BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 18 acre(s). *[Deferred from 3/28/07]* (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

07DRB-00352 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for COORS EAGLE RANCH LLC request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2-A, N-1-B-2-B & N-1-B-2-C, **SEVEN BAR RANCH**, zoned SU-1 FOR AP, located on COORS BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 17 acre(s). *[Deferred from 3/28/07]* (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

7. **Project # 1005185**
07DRB-00262 Major-Preliminary Plat
Approval

ISAACSON & ARFMAN PA agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, LAND OF EDMUND I RADY (to be known as **VILLA LOMA ESTATES**) zoned SU1-PRD located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH PL NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436] *[Deferred from 3/28/07]* (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

07DRB-00353 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING LLC agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, Land of Edmund I Rady (to be known as **VILLA LOMA ESTATES**) zoned SU-1 for PRD, located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436, 07DRB00262] [**Carmen Marrone for Petra Morris, EPC Case Planner**] *[Deferred from 3/28/07]* (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

8. **Project # 1004464**
05DRB-01540 Major-Vacation of Pub
Right-of-Way

GARCIA KRAEMER & ASSOCIATES agent(s) for 4120 SILVER LLC & 4200 SILVER LLC, request(s) the above action(s) for Lot(s) 5 & 6, Block(s) 10 and Lot(s) 1, Block(s) 11, **MESA GRANDE ADDITION**, zoned O-R, located on SIERRA DR SE, between SILVER AVE SE and MESA GRANDE PL SE. [Deferred from 10/26/05, 1/18/06, 3/29/06 and Withdrawn 3/28/07] (K-17) **WITHDRAWN AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

9. **Project # 1001523**
07DRB-00341 Minor-SiteDev Plan
BldPermit

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or any portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP FOR LIGHT INDUSTRIAL USES located on UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [Deferred from 3/28/07] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/4/07.**

- 07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [Deferred from 2/28/07] [Indef deferred from 3/14/07] [Deferred from 3/28/07] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/4/07.**

10. **Project # 1002819**
07DRB-00354 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for DIAMOND MESA LLC request(s) the above action(s) for all or any portion of Lot(s) E-6-A-1, Albuquerque South (to be known as **DIAMOND MESA**) zoned SU-1 FOR R-2 & RT USES located on GIBSON BLVD SW between 98th ST SW and AMOLE ARROYO DRAINAGE ROW containing approximately 27 acre(s). [**Carmen Marrone, EPC Case Planner**] [*Deferred from 3/28/07*] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

11. **Project # 1004976**
06DRB-01548 Minor-SiteDev Plan
Subd/EPC
06DRB-01549 Minor-SiteDev Plan
BldPermit/EPC

H BARKER ARCHITECTS agent(s) for CALABACILLAS GROUP request(s) the above action(s) for all or a portion of Lot(s) A-1, B-1, C-1 & C-2, **BLACK ARROYO DAM**, zoned C-2 (SC), located on GOLF COURSE RD NW, between BENTON AVE NW and WESTSIDE 'BLVD NW containing approximately 12 acre(s). [REF: 06EPC-00424, 06EPC-00425] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 11/1/06 & Indef deferred 11/8/06 & Indef deferred 12/13/06*] [*Deferred from 3/21/07*] (A-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE PLAN.**

07DRB-00303 Minor-Prelim&Final Plat
Approval
07DRB-00304 Minor-Vacation of Private
Easements

FORSTBAUER SURVEYING LLC agent(s) for CALABACILLAS GROUP request(s) the above action(s) for Tract(s) A-1, B-1, C-1, **BLACK ARROYO DAM**, zoned C-2 (SC) located on GOLF COURSE RD NW between WESTSIDE BLVD NW and DRIFTWOOD AVE NW containing approximately 13 acre(s). [REF: 06DRB-00044] [*Deferred from 3/21/07*] (A-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/28/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/12/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1005449**
07DRB-00348 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for BGK REALTY INC request(s) the above action(s) for all or any portion of Tract(s) AK-1, **ACADEMY KNOLLS**, zoned O-1 located on EUBANK BLVD NE between ACADEMY KNOLLS NE and MALAGUENA LN NE, containing approximately 3 acre(s). (F-21) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR SIGNATURE OF ABCWUA DIRECTOR ON THE PLAT AS OWNER, A 25-FOOT WATER AND SEWER EASEMENT AND ADD A 7-FOOT PRIVATE ACCESS EASEMENT.**
13. **Project # 1004183**
07DRB-00350 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LLC agent(s) for LAURIE HICKS request(s) the above action(s) for all or any portion of Block(s) 7, **PERFECTO, MARIANO & JESUS ARMIJO ADDITION**, zoned SU-2/HDA located on 8TH ST NW between MARQUETTE AVE NW and ROMA AVE NW containing approximately 1 acre(s). [REF: 05DRB-00809] (J-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
14. **Project # 1005451**
07DRB-00349 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for WAYNE LUJAN request(s) the above action(s) for all or any portion of Lot(s) 8, 9, 10 & 11, Block(s) 2, **GUTIERREZ ADDITION**, zoned SU-2 FOR R-1, located on BELL AVE SW between 8TH ST SW and SMITH AVE SW containing approximately 1 acre(s). (L-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1005363**
07DRB-00346 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for GIL CORDOVA request(s) the above action(s) for all or any portion of the north half of Lot(s) 33, **ALVARADO GARDENS, UNIT 3**, zoned RA-2 located on RIO GRANDE BLVD NW between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). *[Deferred from 3/28/07]* (G-12 & G-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/4/07.**

16. **Project # 1004240**
07DRB-00357 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or any portion of Lot(s) 15-P2 & 16-P2, **VILLAS LAS MANANITAS SUBDIVISION**, zoned R-1 located on WILDER LANE NW between MEADOW VIEW DR NW and RIO GRANDE BLVD NW containing approximately 3 acre(s). (H-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1005450**
07DRB-00355 Minor-Sketch Plat or Plan

ISAACSON & ARFMAN PA agent(s) for GABALDON PROPERTY LLC request(s) the above action(s) for all or any portion of Tract(s) 331-B, 336, AND 337 (to be known as **GABALDON PROPERTY SUBDIVISION**) zoned R-1 and RA-2 located on GABALDON RD NW and SPUR CT NW and containing approximately 3 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1005452**
07DRB-00356 Minor-Sketch Plat or Plan
- CONSENSUS PLANNING INC agent(s) for GUSS RABADI request(s) the above action(s) for all or any portion of Tract(s) 1, **VOLCANO CLIFFS, UNIT 17**, zoned SU-2 VC, located on UNIVERSE BLVD NW between ROSA PARKS RD NW and CIERVO NW containing approximately 30 acre(s). (D-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
19. **Project # 1001941**
07DRB-00345 Minor-Sketch Plat or Plan
- ADAM G. RODRIGUEZ & ANA G. RODRIGUEZ request(s) the above action(s) for all or any portion of Lot(s) 34, **ALVARADO GARDENS, UNIT 1**, zoned RA-2 located on RIO GRANDE BLVD NW between MATTHEW NW and CONTRERAS NW containing approximately 2 acre(s). (G-12 & G-13) **WITHDRAWN AT THE AGENT'S REQUEST.**
20. **Project # 1005447**
07DRB-00342 Minor-Sketch Plat or Plan
- VAN & PATRICIA ROCCO request(s) the above action(s) for all or any portion of Tract(s) 134E, **MRGCD MAP #31**, zoned RA-2 located on RIO GRANDE BLVD NW between SAN LORENZO AVE NW and GRIEGOS RD NW containing approximately 1 acre(s). (F-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1005448**
07DRB-00347 Minor-Sketch Plat or Plan
- PLAZA SURVEYS LLC agent(s) for RICHARD ARAGON request(s) the above action(s) for Tract(s) 289-C, **MRGCD MAP #27**, zoned SU-2 TH, located on 8th ST NW between LOMAS BLVD NW and SLATE ST NW containing approximately 1 acre(s). (J-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for March 21, 2007. **THE DRB MINUTES FOR MARCH 21, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:30 A.M.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
March 22, 2007
DRB Comments

got to
Bully
Coolidge
M&A
3/29/07
Agent
to 4/4/07

ITEM # 9

PROJECT # 1001523

APPLICATION # 07-00341

RE: Tracts 20-23, Ladera Business Park, Unit 2/spbp

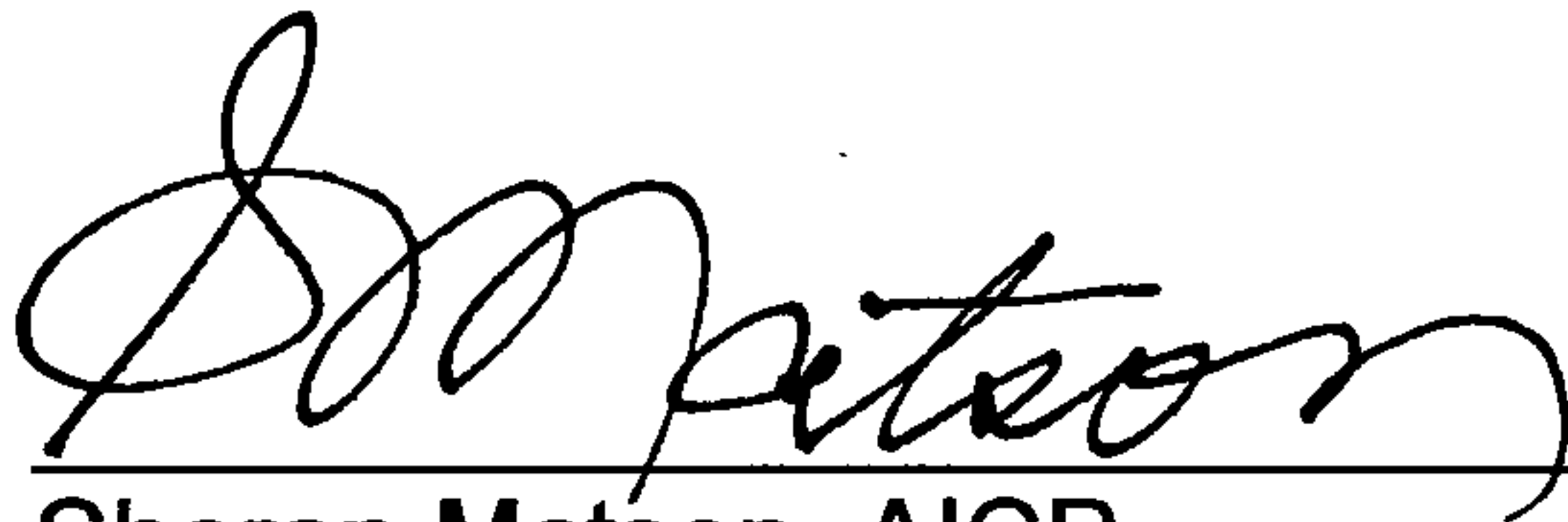
A copy of the approved AA to the Ladera Business Park SPS is required before the site plan for building permit and plat are approved. Agent was notified on 3/22/07.

General Comments

1. The lot number on the title of the SPBP is incorrect. The new lot number should appear.
2. The zoning classification should read "SU1-IP".

Planning has marked up the SPBP Checklist indicating areas of possible non-compliance to the SPBP Checklist. Agent was notified that he needed to go through the Ladera Business Park Master Plan to see if the SPBP conforms before Planning reviews it.

The plat & SPBP will be deferred until these problems are resolved. The agent must pay the deferral fee.



Sheran Matson, AICP

DRB Chair

924-3880 fax: 924-3864 smatson@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 9

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments regarding site plan.
Plat comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

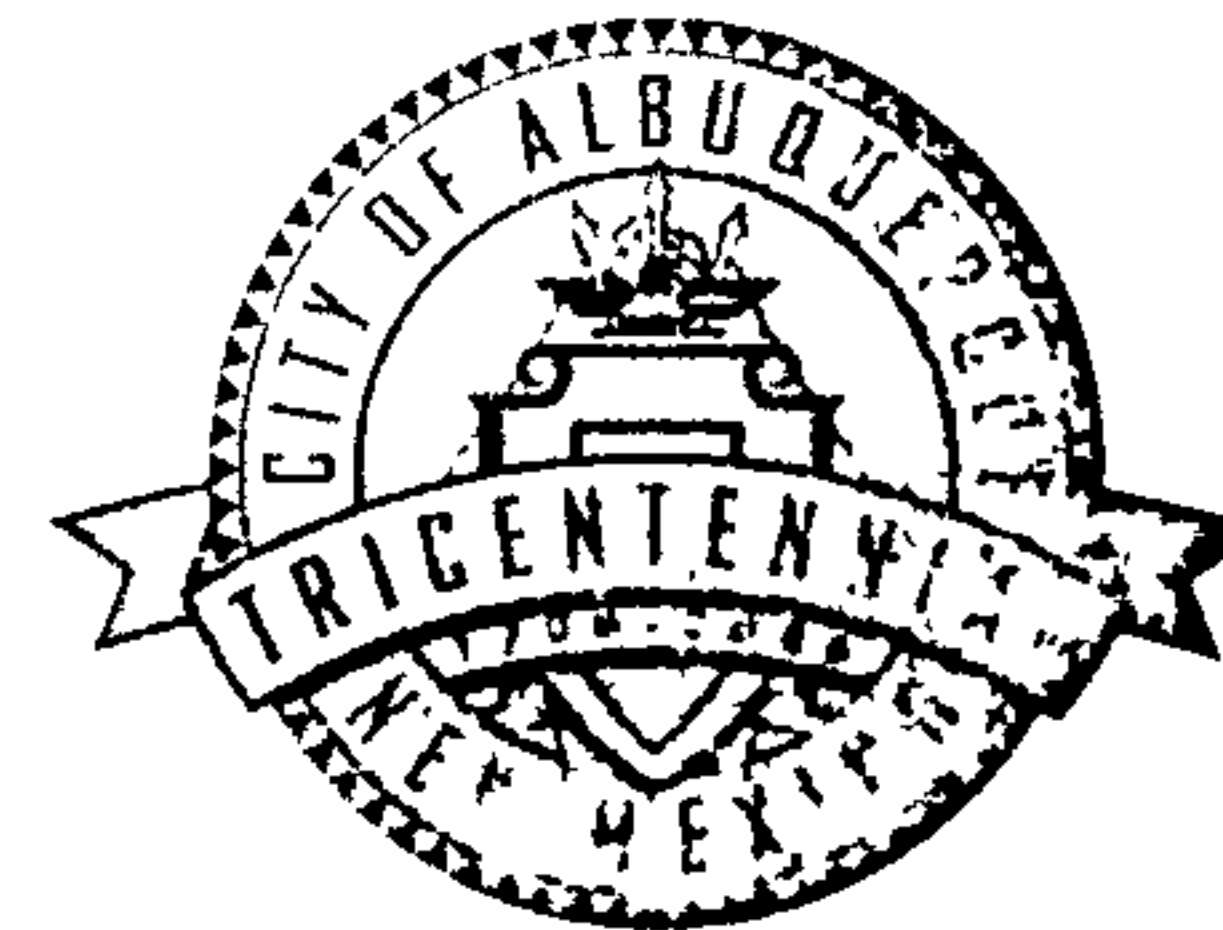
APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MARCH 28, 2007

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 9

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments regarding site plan.
Plat comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

4-4-07

APPROVED ___; DENIED ___; DEFERRED **X**; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MARCH 28, 2007



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 14, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:50 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1000376**
07DRB-00190 Major-One Year SIA

TIERRA WEST LLC agent(s) for BUILDERS INVESTMENTS CO. OF NEW MEXICO LTD request(s) the above action(s) for Lot(s) 1-117, Unit 1 & Lot(s) 1-35, Unit 2, **PARADISE SKIES, UNITS 1 & 2**, zoned RT, located on BANDELIER DR NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 23 acre(s). [REF: 03DRB-00188, 06DRB-00359] (A-11) **ONE YEAR SIA WAS APPROVED.**

2. **Project # 1002739**
07DRB-00172 Major-Two Year SIA
- MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Tract(s) B-1, Parcel 2-D, LANDS OF RIO BRAVO ROSNER (to be known as **ANDERSON HEIGHTS, UNIT 1**) zoned RD/R-LT, located on 118TH ST SW, between GIBSON BLVD SW and DENNIS CHAVEZ BLVD SW containing approximately 248 acre(s). (N-8/P-8) **TWO YEAR SIA WAS APPROVED.**
3. **Project # 1000965**
07DRB-00192 Major-One Year SIA
- BOHANNAN HUSTON INC. agent(s) for ANDALUCIA DEVELOPMENT CO., INC. request(s) the above action(s) for TRACTS B & 2, LANDS OF RAY GRAHAM III (to be known as **VALLE PARAISO SUBDIVISION @ ANDALUCIA @ LA LUZ**) zoned SU-1 PRD (5DU/AC), located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 33 acre(s). [REF: 05DRB-00270] (F-11) **ONE YEAR SIA WAS APPROVED.**
4. **Project # 1002330**
07DRB-00195 Major-Two Year SIA
- ADVANCED ENGINEERING & CONSULTING LLC agent(s) for JENNIFER LIN request(s) the above action(s) for all or a portion of Tract(s) G-2-A & G-2-B, **MONTGOMERY COMPLEX**, zoned SU-1 FOR C-2 USES, located on MONTGOMERY BLVD NE, between CARLISLE BLVD NE and I-25 containing approximately 5 acre(s). [REF: 03DRB-00401, 03DRB-00402, 03DRB-00347][*Deferred from 3/14/07*] (F-16) **DEFERRED AT THE AGENT'S REQUEST TO 3/21/07.**

5. **Project # 1005387**
07DRB-00198 Major-Vacation of Pub
Right-of-Way

SURVEYS SOUTHWEST LTD, agent(s) for CENTURION PROPERTIES LLC, request(s) the above action for all or a portion of abutting Lot(s) 1-7 and 13-19, Block(s) 28, **NEW MEXICO COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3, located on 7TH St SW between Gold Ave SW and Silver Ave SW. (K-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A CONDITION OF FINAL PLAT: SANITARY SEWER EASEMENT IS RETAINED.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

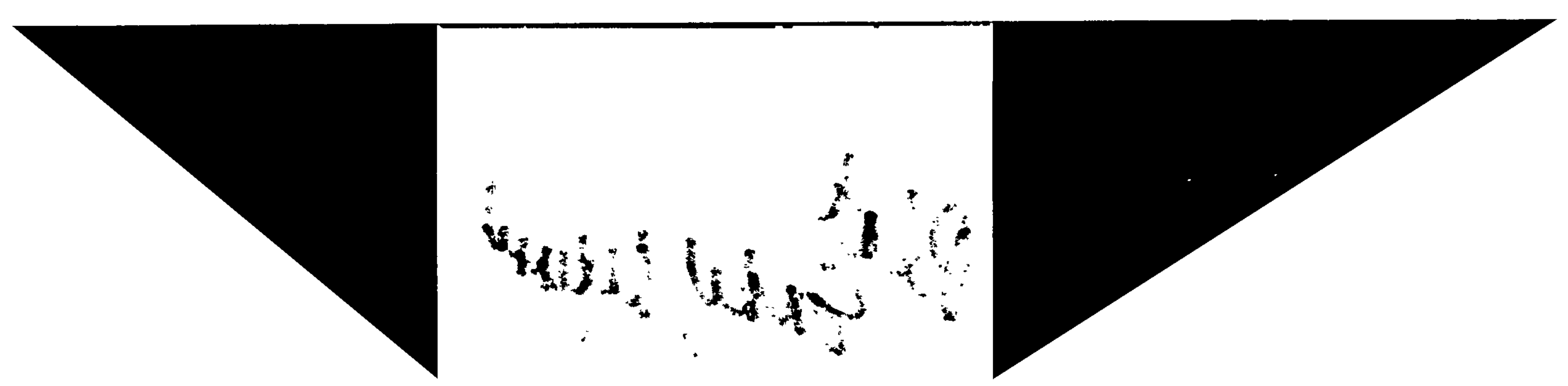
NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1000624**
07DRB-00264 Minor-SiteDev Plan
BldPermit

DON DUDLEY, ARCHITECT agent(s) for RIO GRANDE PROPERTIES, KEITH CHESHIRE request(s) the above action(s) for all or any portion of Lot(s) 30 & 31, Block(s) 0000, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP located at the intersection of ALAMEDA PARK DR NE and PASEO ALAMEDA NE containing approximately 2 acre(s). (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR STANDARD DRAWING NOTES AND PLANNING FOR 3 COPIES AND TO RECORD THE PLAT.**

7. **Project # 1005348**
07DRB-00270 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for SOLEDAD DEVELOPMENT GROUP LLC request(s) the above action(s) for all or any portion of Tract(s) 9, **LADERA BUSINESS PARK, UNIT 1**, zoned SU-1 FOR LIGHT INDUSTRIAL located on LA MORADA PL NW, between 98TH ST NW and UNSER BLVD NW containing approximately 7 acre(s). [This case heard under Project #1005416 in error] (H-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR COMMENTS THAT WERE PROVIDED ON 3/14/07 AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

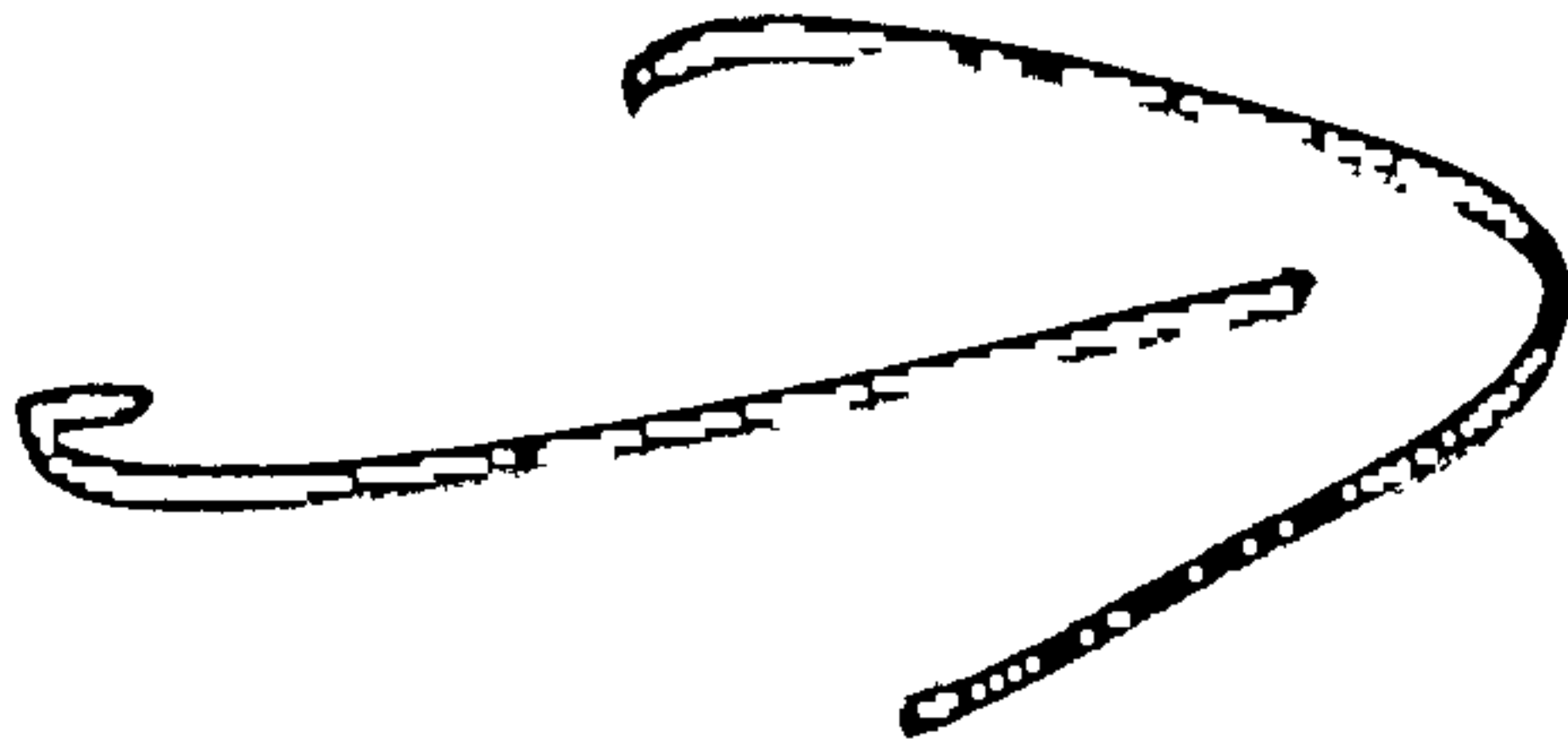


[Faint, illegible signature or stamp]

8. Project # 1001523

07DRB-00208 Minor-Amnd SiteDev Plan
Subd
07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 2/28/07*] (H-9) **THE AMENDED SITE PLAN FOR SUBDIVISION WAS WITHDRAWN AT THE AGENT'S REQUEST. THE PRELIMINARY AND FINAL PLAT WAS INDEFINITELY DEFERRED.**



9. Project # 1003794

07DRB-00181 Minor-SiteDev Plan
Subd/EPC
07DRB-00182 Minor-SiteDev Plan Bldg
Permit/EPC
07DRB-00183 Minor-Prelim&Final Plat
Approval

PETERSON - 98TH CENTRAL LLC request(s) the above action(s) for all or a portion of Tract(s) 1-A, ROW 1, UNIT A, WEST OF WESTLAND (to be known as **VOLCANO POINT SHOPPING CENTER**) zoned SU-2 PCA, located on 98th ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 5 acre(s). [REF: 06EPC-01587] [**Maggie Gould, EPC Case Planner**] [*Deferred from 2/21/07 & 3/07 07*] (K-9) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATE 3/14/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/12/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

*Plat
only deferred*

10. **Project # 1003801**
07DRB-00222 Minor-SiteDev Plan
BldPermit/EPC

CARLISLE SHOPS LLC request(s) the above action(s) for all or any portion of Lot(s) 28A, Block(s) A, **ALTURA ADDITION**, zoned SU-1 FOR C-1 WITH EXCLUSIONS located on CARLISLE BLVD NE between INDIAN SCHOOL RD NE and HANNETT AVE NE containing approximately 1 acre(s). [REF: 07EPC00012, 05EPC00745, 04EPC01821] [Anna DiMambro, EPC Case Planner] [Deferred from 3/07/07] (J-16) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR EPC CASE PLANNER'S INITIALS AND 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1004073**
07DRB-00275 Minor-Subd Design
(DPM) Variance

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH LLC request(s) the above action(s) for all or any portion of Lot(s) 1, 2 and 15-18, Block(s) 21, **JUAN TABO HILLS, UNIT 1**, zoned R-D residential and related uses zone, developing area located on KELSO CT SE and EASY GOER RD SE, containing approximately 2 acre(s). [REF: 05DRB01854] [Deferred from 03/14/07] (M-21) **DEFERRED AT THE AGENT'S REQUEST TO 03/21/07.**

12. **Project # 1005412**
07DRB-00269 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for RON AKIN request(s) the above action(s) for all or any portion of Tract(s) 60-A-1, M.R.G.C.D. MAP 35, **LANDS OF AKIN**, zoned R-1 located on EL NIDO CT NW, between RIO GRANDE BLVD NW and the ALAMEDA DRAIN containing approximately 1 acre(s). (H-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR WATER AND SEWER ACCOUNTS AND TRANSPORTATION DEVELOPMENT FOR ACCESS EASEMENT TO TRACT A AND 3 FOOT PUBLIC ROADWAY EASEMENT ALONG RIO GRANDE BLVD NW.**

13. **Project # 1003673**
07DRB-00272 Minor-Prelim&Final Plat
Approval
- WAYJOHN SURVEYING INC agent(s) for MOCK ASSOCIATES INC request(s) the above action(s) for all or any portion of Lot(s) 6-P1, **OAKLAND SOUTH**, zoned R-D, located on BLACK OAK CT NE , between BARSTOW ST NE and VENTURA ST NE and containing approximately 1 acre(s) (C-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR CERTIFICATION OF THE GRADING PLAN AND PLANNING TO RECORD.**
14. **Project # 1003121**
07DRB-00276 Minor-Prelim&Final Plat
Approval
- STEWART INGHAM agent(s) for ZIA TRUST INC request(s) the above action(s) for all or any portion of Tract(s) 19, M.R.G.C.D. MAP 36 (to be known as **TRACTS A & B, LANDS OF ZIA TRUST**) zoned R-1 located on FORAKER NW between LOS TOMASES NW and 8TH ST NW containing approximately 1 acre(s). [REF: 07 DRB00135] (H-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT TO ADD BENEFICIARY AND MAINTENANCE LANGUAGE FOR PRIVATE WATER AND SEWER SERVICE LINES AND ACCESS EASEMENT AND TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**
15. **Project # 1005137**
07DRB-00205 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for FRANK VENAGLIA request(s) the above action(s) for all or a portion of Lot(s) 13-24 with vacated portion of Park Ave SW, Block(s) 21, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3 SPECIAL CENTER ZONE, located on GOLD ST SW, between 7TH ST SW and 8TH ST SW containing approximately 1 acre(s). [REF: 06DRB-01534] [*Indef deferred from 2/28/07*] (K-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR REAL PROPERTY'S SIGNATURE.**

16. **Project # 1002345**
07DRB-00232 Minor-Prelim&Final Plat
Approval

LAND DEVELOPMENT CONSULTANTS LLC agent(s) for KARSTEN HOMES request(s) the above action(s) for all or any portion of Lot(s) 3 & 8, **BROADWAY INDUSTRIAL CENTER, UNITS 1 & 3**, zoned SU-2/HM located on KARSTEN CT SE between WOODWARD RD SE and SAN JOSE AVE SE containing approximately 18 acre(s). [REF: S-97-76] [Deferred from 3/07/07 & 03/14/07] (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 03/21/07.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1005403**
07DRB-00235 Minor-Sketch Plat or Plan

INTEGRATED DESIGN & ARCHITECTURE agent(s) for J & J REAL ESTATE PARTNERSHIP request(s) the above action(s) for Tract(s) 12A1A & 12A1B on **M.R.G.C.D. MAP 35**, zoned R-1 residential zone, located on RIO GRANDE BLVD NW between CONTRERAS PL NW and EL NIDO CT NW containing approximately 2 acre(s).] (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1000271**
07DRB-00266 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for GRACE INVESTMENT CORPORATION request(s) the above action(s) for all or any portion of Lot(s) A-1-A, Block(s) 25, **MESA VERDE ADDITION**, zoned C-2 located on WYOMING BLVD NE , between COPPER AVE NE and MARQUETTE AVE NE containing approximately 1 acre(s). [REF: 00DRB-00229] (K-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003128**
07DRB-00278 Minor-Sketch Plat or Plan

JOSH SKARSGARD agent(s) for BANDELIER EQUITIES LTD CO request(s) the above action(s) for all or any portion of Lot(s) 1-5, Block(s) 11, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned R-D located on SAN PEDRO DR NE , between PASEO DEL NORTE NE and PALOMAS AVE NE containing approximately 6 acre(s). [REF: 05DRB01424] [*Deferred from 03/14/07*] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 03/21/07.**

20. **Project # 1005410**
07DRB-00265 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for JOHN & CYNTHIA MECHENBIER request(s) the above action(s) for all or any portion of Lot(s) 4 & 5, **RICHFIELD PARK**, zoned IP located on ALAMEDA BLVD NE between WASHINGTON ST NE and JEFFERSON ST NE containing approximately 2 acre(s). (C-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1005413**
07DRB-00271 Minor-Sketch Plat or Plan

CHAMISA CONSTRUCTION INC request(s) the above action(s) for all or any portion of Lot(s) 11-12, Block(s) 5, **UNIVERSITY HEIGHTS**, zoned SU-2 DR and SU-2 RTD located on HARVARD SE between YALE SE and GIRARD SE containing approximately 1 acre(s). (K-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1005415**
07DRB-00274 Minor-Sketch Plat or Plan

JACK'S HIGH COUNTRY INC agent(s) for LAWRENCE SEGURA request(s) the above action(s) for all or any portion of Section 12, Township 10 North, Range 2 East (to be known as **LANDS OF LAWRENCE SEGURA**) zoned RA-2 located on CARLOTA NW between GABALDON RD NW and LOS LUCEROS NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for March 7, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR 03/07/07 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 8

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Subdivision – Amended

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED *indf* X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MARCH 14, 2007



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 28, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 9:50 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1003790

07DRB-00118 Major-One Year SIA

BOHANNAN HUSTON INC agent(s) for HEALTHCARE SERVICE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A, B & C, **NORTH GATEWAY**, zoned IP, located on NORTH I-25 between BALLOON FIESTA PARKWAY NE and SAN MATEO DR NE containing approximately 38 acre(s). [REF: 05DRB-00165] (B-18) **A 1-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1004075**
06DRB-01537 Major-Vacation of Pub
Right-of-Way
06DRB-01539 Minor-Vacation of Private
Easements
- BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06, 12/13/06, 1/3/07, 1/17/07, 2/7/07 & 2/28/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 3/21/07.**
3. **Project # 1005346**
07DRB-00084 Major-Bulk Land Variance
07DRB-00085 Major-Vacation of Public
Easements
07DRB-00086 Minor-Prelim & Final Plat
Approval
- CONSENSUS PLANNING INC agent(s) for ALBUQUERQUE 50 LLC request(s) the above action(s) for all or a portion of Tract(s) D-2, **AEROSPACE TECHNOLOGY PARK** and Tract(s) D & S, **DOUBLE EAGLE AIRPORT AND ADJACENT LANDS**, zoned SU-1 FOR AIRPORT & RELATED FACILITIES, located on PASEO DEL VOLCAN NW, between 1-40 and the CITY OF RIO RANCHO containing approximately 50 acre(s). [REF: 04DRB01505, 04DRB01506] [Deferred from 2/21/07 & 3/7/07] (F-6) **DEFERRED AT THE AGENT'S REQUEST TO 3/07/07.**
4. **Project # 1000614**
06DRB-01670 Major-Vacation of Pub
Right-of-Way
- TIERRA WEST LLC agent(s) for LA CUEVA OESTE HOMEOWNER'S ASSOCIATION request(s) the above action(s) for **LA CUEVA OESTE UNIT 4**, zoned R-D residential and related uses zone, developing area, located on HOLLY AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF: 05DRB-00982] [Deferred from 1/3/07 & 2/21/07] (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITIONS: HOMEOWNER'S ASSOCIATION SHALL PURCHASE THE VACATED RIGHT-OF-WAY, AN INFRASTRUCTURE LIST IS REQUIRED UPON REPLAT, A PEDESTRIAN ACCESS IS REQUIRED, MUST CREATE A 25-FOOT WATER AND SEWER EASEMENT FOR EXISTING LINES.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1001523**
07DRB-00208 Minor-Amnd SiteDev Plan
Subd
07DRB-00207 Minor-Prelim&Final Plat
Approval

3/6/07
Claves

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 2/28/07*] (H-9) ~~DEFERRED AT THE AGENT'S REQUEST TO 3/14/07.~~

*Indefinitely
at AR*

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project # 1004801**
06DRB-01747 Minor- Final Plat Approval

TIERRA WEST LLC agent(s) for FRATERNAL ORDER OF POLICE, ALBUQUERQUE LODGE 1 request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **FRATERNAL ORDER OF POLICE ADDITION**, zoned IP, located on JEFFERSON ST NE, between the BEAR ARROYO and **OSUNA NE** containing approximately 10 acre(s). [REF: 06EPC-01443, 06EPC-01441] [*Final Plat was indeferred for the SIA 1/3/07*] (E-17) **FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENT LANGUAGE AND PLANNING TO RECORD.**

7. **Project # 1004228**
07DRB-00199 Minor-Amnd Prelim Plat
Approval

THE DESIGN GROUP agent(s) for HEADSTART ENTERPRISES, JAMES GUTHRIE request(s) the above action(s) for Lot(s) 11-17 and Tract(s) 89-A-2, 89-B-2, 89-B-3, 89-C-3, 89-C-4, **SUNRISE HEIGHTS SUBDIVISION**, zoned M-1, located on MONTANO RD NE, between EDITH BLVD NE and PAN AMERICAN FREEWAY NE (I-25) containing approximately 5 acre(s). [REF: 05DRB-00888, 05DRB-01394, 05DRB-01765, 06DRB-00937, 06DRB-01618] (F-15) **THE AMENDED PRELIMINARY PLAT**

WAS APPROVED WITH THE FOLLOWING CONDITION:
TWO WATER LINE EASEMENTS NEED TO BE
GRANTED TO THE CITY OF ALBUQUERQUE. THIS
AMENDMENT DOES NOT EXTEND THE EXPIRATION
DATE OF THE ALREADY APPROVED PRELIMINARY
PLAT.

8. **Project # 1005137**
07DRB-00205 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for FRANK
VENAGLIA request(s) the above action(s) for all or a
portion of Lot(s) 13-24 with vacated portion of Park Ave
SW, Block(s) 21, **NEW MEXICO TOWN COMPANY'S
ORIGINAL TOWNSITE**, zoned SU-3 SPECIAL CENTER
ZONE, located on GOLD ST SW, between 7TH ST SW and
8TH ST SW containing approximately 1 acre(s). [REF:
06DRB-01534] [*Indef deferred from 2/28/07*] (K-14)
**INDEFINITELY DEFERRED AT THE AGENT'S
REQUEST.**

9. **Project # 1005390**
07DRB-00206 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for TIMOTHY OTT
request(s) the above action(s) for all or a portion of Lot(s)
9, 10 & 12, **NZ OFFICE COMMERCIAL CENTER**, zoned
IP industrial park zone, located on RANDOLPH RD SE,
between YALE BLVD SE and UNIVERSITY BLVD SE
containing approximately 4 acre(s). [*Deferred from 2/28/07*]
(M-15) **DEFERRED AT THE AGENT'S REQUEST TO
3/07/07.**

10. **Project # 1003010**
06DRB-01290 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for THE ALBUQUERQUE LITTLE THEATRE INC request(s) the above action(s) for all or a portion of Tract(s) B (to be known as **TRACTS B-1 & B-2, LANDS OF ALBUQUERQUE LITTLE THEATRE**, zoned SU-1 & SU-2 for Albuquerque Little Theatre, located on SAN PASQUALE AVE SW, between CENTRAL AVE SW and CHACOMA PL SW containing approximately 3 acre(s). [REF: 04DRB-01687] [*Deferred from 9/13/06 & indef deferred on 9/27/06*] (J-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR A WATER AND SEWER EASEMENT IS REQUIRED ON THE NORTH EDGE OF TRACT B-1, ON THE PROPOSED 28-FOOT PRIVATE ACCESS EASEMENT AND ADD LANGUAGE FOR A PUBLIC WATER AND SEWER EASEMENT AND TRANSPORTATION DEVELOPMENT FOR REQUIRED PARKING AND SIDEWALK DEDICATION OR EASEMENT.**

11. **Project # 1004254**
06DRB-01569 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for CHARLES JAEGER request(s) the above action(s) for all or a portion of Lot(s) A-1, **ALVARADO GARDENS, UNIT 3**, zoned R-2 residential zone, located on VERANDA RD NW, between RIO GRANDE BLVD NW and GLENWOOD DR NW containing approximately 1 acre(s). [REF: 05DRB-00964] [*Indef deferred 11/8/06*] [*Deferred from 2/21/07*] (G-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/28/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/15/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION: AN APPLICATION NEEDS TO BE MADE FOR THE VACATION SHOWN ON THE PRELIMINARY PLAT PRIOR TO APPROVAL OF THE FINAL PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK . . .

12. Approval of the Development Review Board Minutes for February 21, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR 2/21/07 WERE APPROVED BY THE BOARD.**

ADJOURNED: 9:50 A.M.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
February 28, 2007
DRB Comments**

ITEM # 5

PROJECT # 1001523

APPLICATION # 07-00208 & 00207

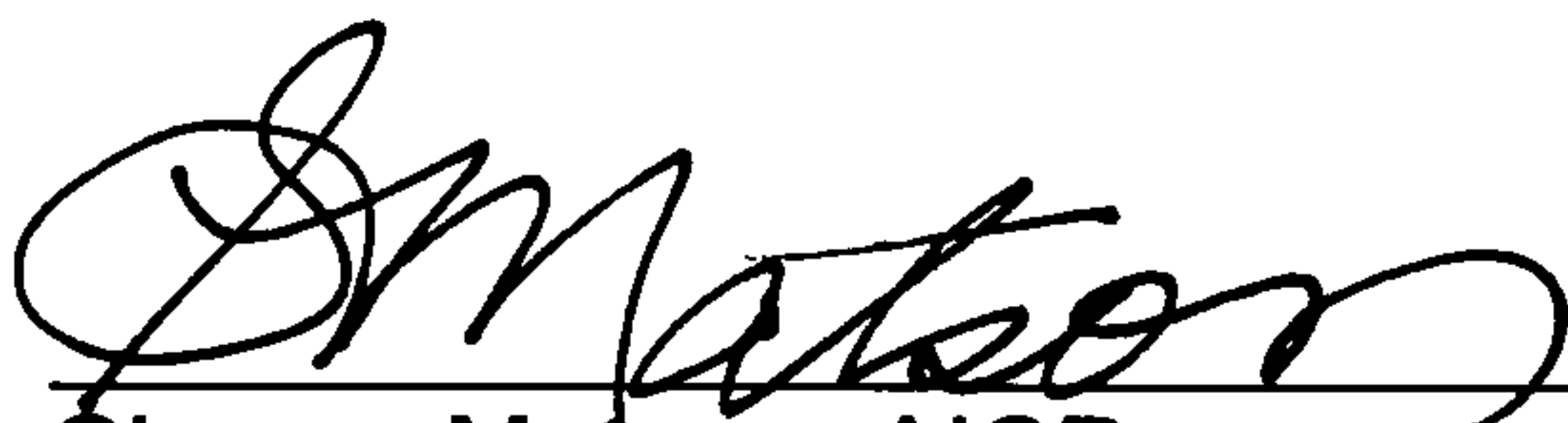
RE: Tracts 20-23, Ladera Business Park, Unit 2/spsp & minor plat

The Ladera Business Park Site Plan for Subdivision is an EPC approved site plan. DRB has no authority to approve the proposed amendments. The amended site plan does not reflect the proposed changes. An administrative amendment application for EPC approval must be submitted and approved before DRB can approve a replat per the Subdivision Ordinance.

Planning cannot comment on nor approve the platting request until the EPC AA is approved.

The zoning is actually SU1 for IP. The plat should reflect this zoning.

The SU1 for IP zoning requires a site plan for building permit at the time of platting unless the applicant has a good reason for delaying this requirement of the Subdivision Ordinance.



Sheran Matson, AICP

DRB Chair

924-3880 fax 924 3864

smatson@cabq.gov

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
February 28, 2007
DRB Comments**

ITEM # 5

PROJECT # 1001523

APPLICATION # 07-00208 & 00207

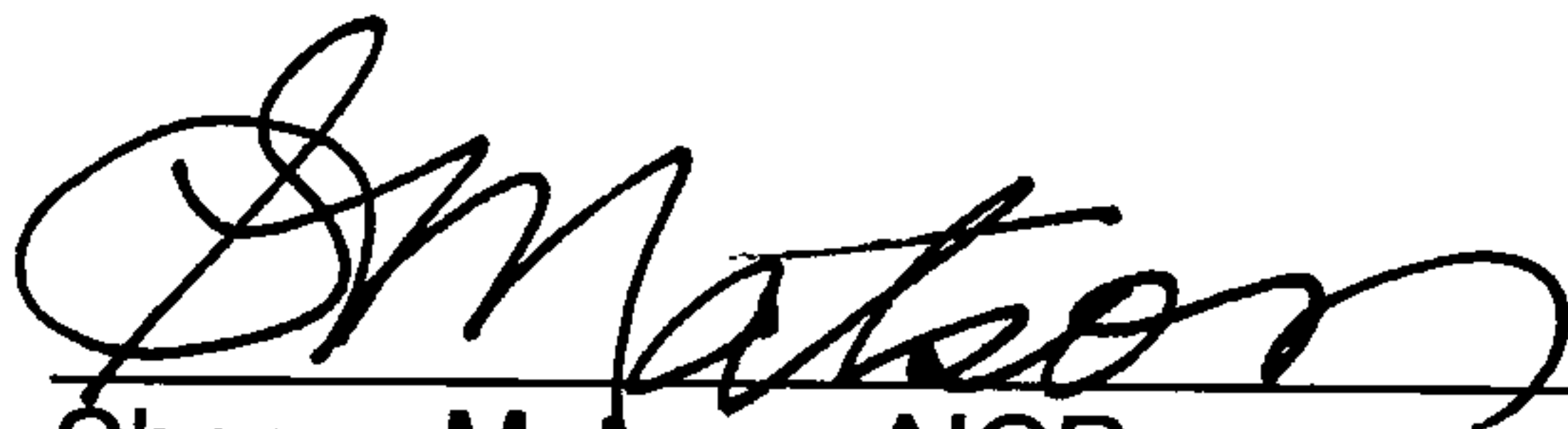
RE: Tracts 20-23, Ladera Business Park, Unit 2/spsp & minor plat

The Ladera Business Park Site Plan for Subdivision is an EPC approved site plan. DRB has no authority to approve the proposed amendments. The amended site plan does not reflect the proposed changes. An administrative amendment application for EPC approval must be submitted and approved before DRB can approve a replat per the Subdivision Ordinance.

Planning cannot comment on nor approve the platting request until the EPC AA is approved.

The zoning is actually SU1 for IP. The plat should reflect this zoning.

The SU1 for IP zoning requires a site plan for building permit at the time of platting unless the applicant has a good reason for delaying this requirement of the Subdivision Ordinance.



Sheran Matson, AICP

DRB Chair

924-3880 fax 924 3864

smatson@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 5

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for Subdivision – Amended

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: FEBRUARY 28, 2007

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

*Deferred
3/14*

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**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
February 28, 2007
DRB Comments**

ITEM # 5

PROJECT # 1001523

APPLICATION # 07-00208 & 00207

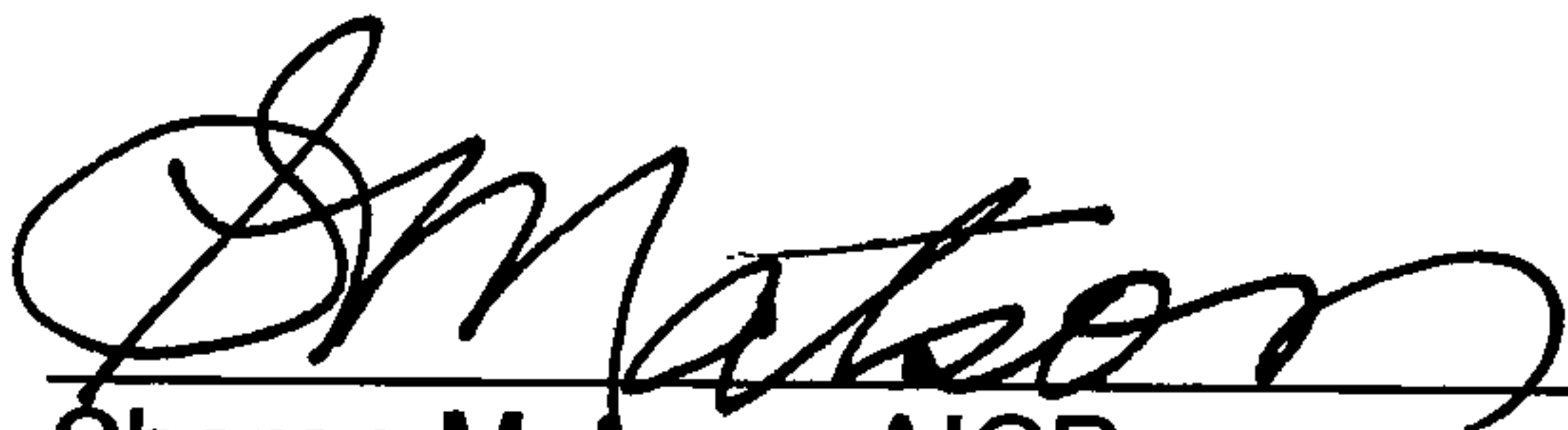
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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006


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 3/6/07
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Accompanying Material

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 - B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

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- 1. Date of drawing and/or last revision
 - 2. Scale: 1.0 acre or less 1" = 10'
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Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
 - 3. Bar scale
 - 4. North arrow
 - 5. Scaled vicinity map
 - 6. Property lines (clearly identify)
 - 7. Existing and proposed easements (identify each)
 - 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- ~~NA~~ D. Temporary structures, signs and other improvements
- ~~NA~~ E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- ~~NA~~ J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 135 provided: 135
Handicapped spaces required: 8 provided: 8
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 7
provided: 9
 - ~~NA~~ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ~~NA~~ 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- ~~NA~~ B. Identify Alternate transportation facilities within site or adjacent to site
 - ~~NA~~ 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- NA 2. Pedestrian trails and linkages
- NA 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - NA C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - NA A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
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- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
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- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- ~~NA~~ 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- ~~NA~~ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- ~~NA~~ E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

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- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping No Phasing Proposed

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

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1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
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- D. Temporary structures, signs and other improvements *NO Temp structures being built.*
- E. Walls, fences, and screening: indicate height, length, color and materials *NO Screening walls or fences*
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable. *Solid Waste approved plan*

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- A. Parking layout with spaces numbered per aisle and totaled.
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 - 2. Other bicycle facilities, if applicable
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 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site *No facilities available*
 - 1. Bikeways and bike-related facilities *Streets only*
No designated bike way available

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- NA 2. Pedestrian trails and linkages *None available*
NA 3. Bus facilities, including routes, bays and shelters existing or required *Unser only*

4. Utilities

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**ANY
FREE
STANDING**

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

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- B. Identify Alternate transportation facilities within site or adjacent to site *No facilities available*
 - 1. Bikeways and bike-related facilities *streets only*
No designated bikeway available

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

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- NA 2. Pedestrian trails and linkages *None available*
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 3. North Arrow
 4. Property Lines
 5. Existing and proposed easements
 6. Identify nature of ground cover materials
 A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 NA C. Ponding areas either for drainage or landscaping/recreational use *Free discharge*
 7. Identify type, location and size of plantings (common and/or botanical names).
 NA A. Existing, indicating whether it is to be preserved or removed. *None Existing*
 B. Proposed, to be established for general landscaping.
 C. Proposed, to be established for screening/buffering.
 8. Describe irrigation system - Phase I & II . . .
 9. Planting Beds, indicating square footage of each bed
 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
 11. Responsibility for Maintenance (statement)
 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
 14. Landscaped area provided; square footage and percent (specify clearly on plan)
 15. Planting or tree well detail 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- NA 7. Location of Retaining walls *None required*

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.

NA 4. Cross Sections

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

No specific situations

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations

NA E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff. *Business office structures only*

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

**ANY
FREE
STANDING**

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A APPEAL / PROTEST of...
STORM DRAINAGE	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Robby L. Roberson PHONE: 833-1840
 ADDRESS: 7700 Oray NW FAX: 833-1842
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Mark Goodwin & Associates, PC PHONE: 828-2200
 ADDRESS: P.O. Box 90606 FAX: 797-9539
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: billy@goodwinengineers.com

DESCRIPTION OF REQUEST: Site Plan for Building Permit Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 20-23 Block: _____ Unit: 2
 Subdiv. / Addn. Ladera Business Park
 Current Zoning: SU-1-IP Proposed zoning: same
 Zone Atlas page(s): H-9 No. of existing lots: 4 No. of proposed lots: 2
 Total area of site (acres): 4.9489 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. See Attached 100905949329041507 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Unser Blvd NW
 Between: Vista Oriente St. NW and La Morada Pl. NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): (1002523, 02DRB-00518)

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____
 SIGNATURE Billy G. Goodwin DATE 3/6/07
 (Print) Billy Goodwin, PE Applicant Agent

FOR OFFICIAL USE ONLY

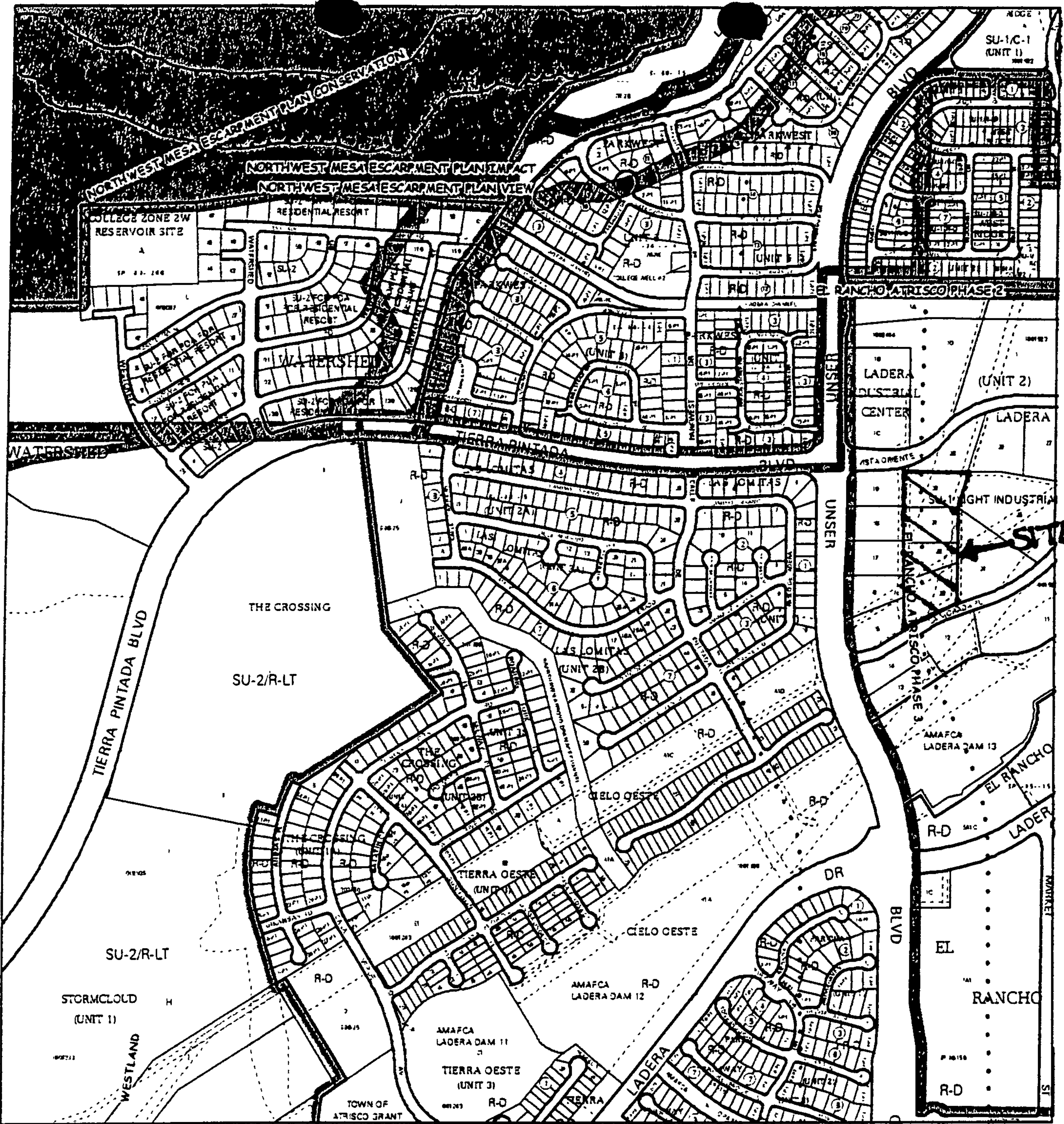
Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB 00341</u>	<u>SBP</u>	<u>P3</u>	\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>3-28-07</u>			\$ <u>405.00</u>

Joseph M. Perez 3-19-07 Project # 1001523 1005508

SITE PLAN

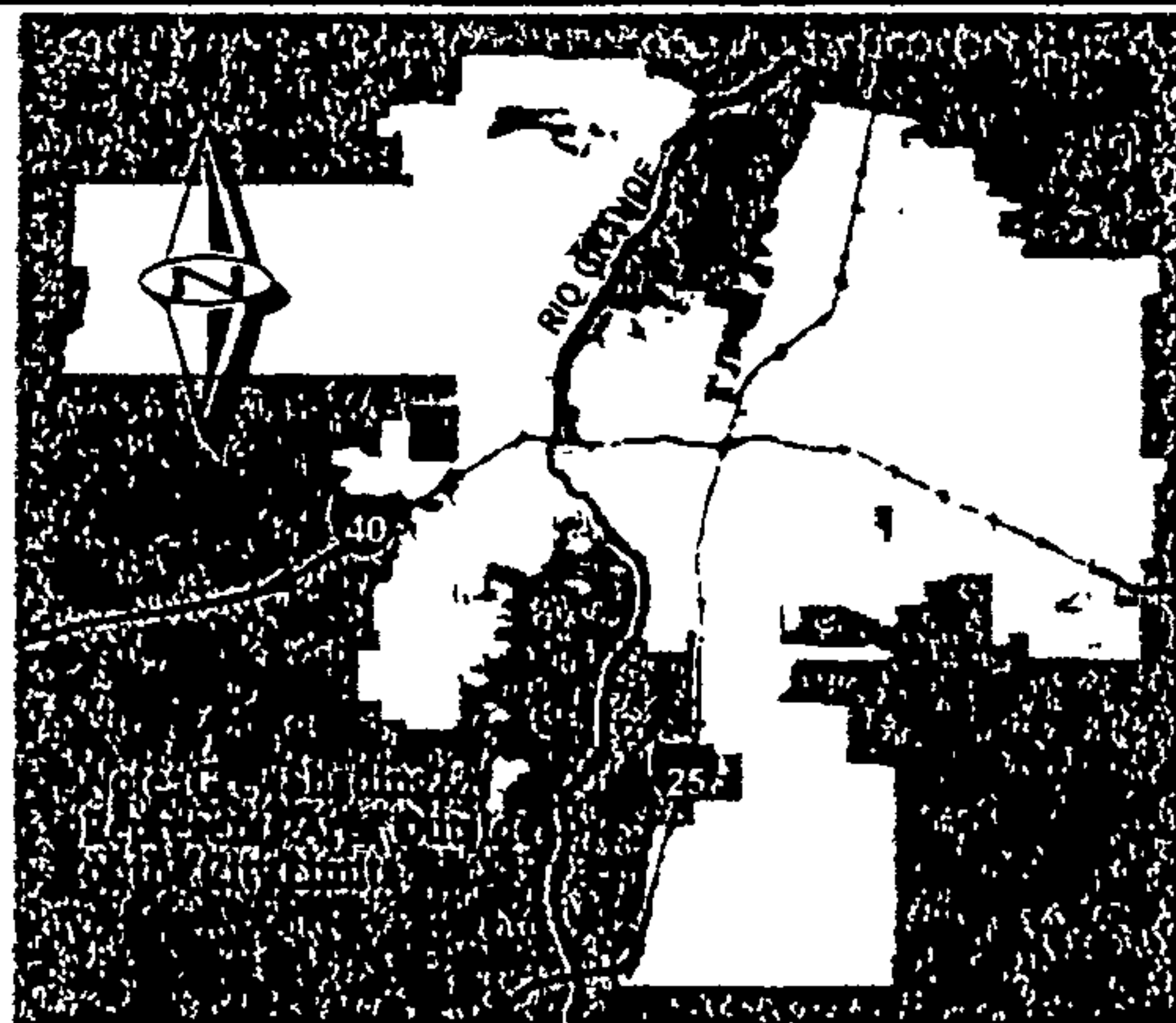
1002207



For more current information and more details visit: <http://www.cabq.gov/gis>












Map amended through: 1/9/2007



Zone Atlas Page:

H-09-Z

Selected Symbols

-  SECTOR PLANS
-  Design Overlay Zones
-  City Historic Zones
-  H-1 Buffer Zone
-  Petroglyph Mon.
-  Escarpment
-  2 Mile Airport Zone
-  Airport Noise Contours
-  Wall Overlay Zone



LOTS 20-22, LADERA BUSINESS PARK

The subject property is located on Vista Oeste Drive in the Ladera Business Park, which is a Master Planned Business Park that was fully improved within the last several years. The plan for this development is to remove two existing lot lines and install private improvements within the site that will provide access and utilities to the new buildings. One driveway will be located on the south side of the property and one will be provided on the north side. Drainage will be directed into existing drainage swales located just east of the site. Fully developed discharge is allowed per the site original master grading and drainage plan.

Roberson Companies
7700 Ouray NW
Albuquerque, NM 87120

February 20, 2007

City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

Re: Ladera Business Park, Tracts 20A & 20B

To Whom It May Concern:

I Robby L. Roberson as owner of the above referenced property, hereby authorize Mark Goodwin & Associates to act as agent on my behalf. Should you need further assistance regarding this matter, you may contact myself or Mark Goodwin & Associates.

Sincerely,



Robby L. Roberson
Owner / President ROB-O-CO, Inc.

100905949223641503

100905949329041507

100905949327241508

100905949325641509



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 16, 2001

OFFICIAL NOTIFICATION OF DECISION

Unser-98th Street Partnership LLC.
P.O. Box 90548
Albuquerque, NM 87199

FILE: 01128-01405 (Project 1001523)

LEGAL DESCRIPTION: Request a Master Development Plan for Lot 2, Ladera Industrial Center, located on Unser Boulevard NW between 98th Street and Ladera Drive NW containing approximately 105 acres. (H-10) Lola Bird, Staff Planner

On November 15, 2001, the Environmental Planning Commission voted to approve 01128-01405, a Master Development Plan, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for subdivision for Lot 2, Ladera Industrial Center, containing approximately 105 acres and located on Unser Boulevard between Ladera Drive and 98th Street, NW.
2. The applicant is proposing to create 26 lots with areas ranging from 1.2 acres to 5.38 acres.
3. This request furthers the applicable goals and policies of the *Comprehensive Plan* by allowing for an urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, and life styles with a location and intensity that shall respect existing neighborhood values, natural environmental conditions and carrying capacities, and scenic resources.
4. This request furthers the applicable goals and policies of the *West Side Strategic Plan* by locating employment uses on the West Side which is critical to achieving the Plan's goals of reducing vehicle trip distances, decreasing commuter demand across the Rio Grande and establishing healthy community and Village Centers.
5. The submitted site plan generally meets the requirements of the *Zoning Code* for site development plan for subdivision. The site plan covers at least one lot and specifies the site, proposed use, pedestrian and vehicular ingress and egress and internal circulation requirements. The submittal also includes design guidelines regulating building architecture, materials, colors and height as well as building setbacks.
6. The submittal will be adequate with some changes and additions.

OFFICIAL NOTIFICATION OF DECISION

01128-01405 (Project 1001

November 16, 2001

Page 2

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. The design guidelines shall be modified as follows:

Screening Walls and Fences

✓ 8th Bullet: shall be changed to read, "Barbed wire or concertina wire are not allowed in the Ladera Site. Chain link fencing shall not be permitted in the first two rows of lots along Unser."

✓ A new bullet should be added which states, "Loading docks visible from residential areas shall be screened by walls which match building architecture, material and color."

Lighting Standards

✓ 2nd Bullet: shall be changed to read, "20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements."

Signage Standards

A new bullet shall be added which reads, "No illuminated signage shall face any residential area, except along Unser Boulevard."

3. Conditions of approval for the proposed site plan for building permit should include:

An update of the TIS prior to the submittal for development of any of the tracts within the industrial park. Access to Unser Boulevard is limited to 98th Street and a right-turn-only at La Mirada Street. Internal streets, water and sewer lines must be constructed to City standards.

4. Site Development Plans for Building Permit are delegated to the Development Review Board:

5. Any agreement between the applicant and the neighborhoods that further restricts the allowed uses on the site shall be filed with the County Clerk and cross referenced on the site plan. The agreed upon restrictions and additional design guidelines shall be listed on the site plan and on the design guidelines.

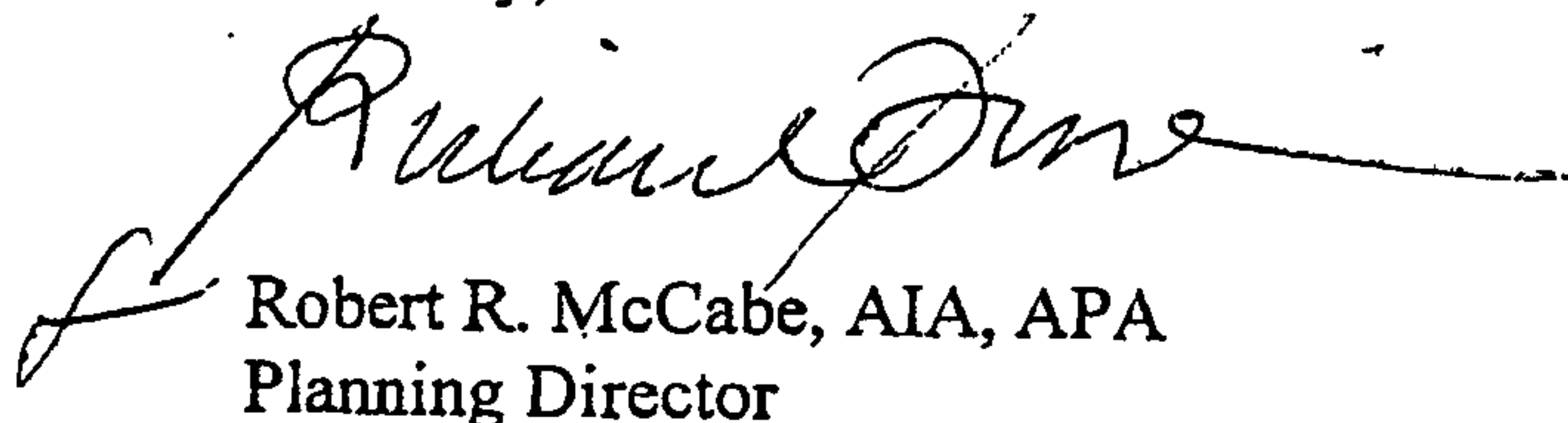
IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2001 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATOR COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,



Robert R. McCabe, AIA, APA
Planning Director

RM/RD/nat.

cc: Consensus Planning, Inc., 924 Park Avenue SW 87102
Robert McCannon, Ladera West Neigh. Assoc., 2808 El Tesoro Escondido, NW 87120
Barry King, Ladera West Neigh. Assoc., 3808 Todos Santos, NW; 87120
Randy Summery, Las Lomas Neigh. Assoc., 8310 Camino Paisano, NW; 87120
JoAnn Barnett, Las Lomas Neigh. Assoc., 8106 Calle Ensueno, NW; 87120
John Duff, Park West/Court Yards Neigh. Assoc., 2408 Wetbrook Drive, NW; 87120
Cheri LaCourt, Park West/Court Yard Neigh. Assoc., 2204 Windward, NW; 87120
J.R. & Felicia Wood, 2124 Corte de Loma NW, Albuquerque, NM 87120
Jack Dettweiler, 2340 Menaul NE, #211, Albuquerque, NM 87107
Valerie Turnbow, 8300 Camino del Venado, NW, Albuquerque, NM 87120
Darlene Motly, 8139 Corte de Aguila NW, Albuquerque, NM 87120

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Robby Roberson
AGENT Mark Goodwin
ADDRESS P.O. BOX 90606
PROJECT & APP # 1001523/07DRB-00341
PROJECT NAME Ladera Business Park

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
\$ 385.⁰⁰ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 405.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

3/19/2007 3:08PM LOC: ANNX
RECEIPT# 00078171 WSH# 007 TRANS# 0048
Account 441032 Fund 0110
Activity 3424000 TRSMSP
Trans Amt \$505.00
J24 Misc \$29.00

Thank You

DUPLICATE
City Of Albuquerque
Treasury Division
6/21/04

DUPLICATE
City Of Albuquerque
Treasury Division

3/19/2007 3:08PM LOC: ANNX
RECEIPT# 00078172 WSH# 007 TRANS# 0048
Account 441006 Fund 0110
Activity 4983000 TRSMSP
Trans Amt \$505.00
J24 Misc \$385.00

Thank You

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

*
Prev. Sub.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John Mackenzie Applicant name (print)
John Mackenzie 3/6/07 Applicant signature / date



Form revised JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 07 DRB - -00341

Joseph Wilson 3-19-07
 Planner signature / date

Project # ~~1001523~~
1005508

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Robby Robberson
AGENT Mark Goodwin
ADDRESS P.O. Box 90606
PROJECT & APP # 1001523 / 07-00341
PROJECT NAME Tracts 20-23 Ladera Business Park Unit 2
\$ 441032/3424000 Conflict Management Fee
\$ 50.⁰⁰ 441006/4983000 DRB Actions ~~def~~ def fee
\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ 441018/4971000 Public Notification
\$ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 50.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

D. MARK GOODWIN AND ASSOCIATES, P.A.
P.O. BOX 90606
ALBUQUERQUE, NM 87199
(505) 828-2200

5032

95-681/1070

DATE April 9, 2007

PAY TO THE ORDER OF City of Albuquerque

Left No/100

BANK OF THE WEST
5901 MENAUL BLVD. NE
ALBUQUERQUE, NM 87110

FOR Ladera BP 20-22

\$ 50.00

DOLLARS

Diana Fasuska

005032 107006813 283007003

Senova, Claire A.

From: Billy Goolsby [Billy@goodwinengineers.com]
Sent: Tuesday, March 20, 2007 9:38 AM
To: Senova, Claire A.
Cc: John MacKenzie; Robby Roberson
Subject: DRB CN 1001523 - Ladera Business Park, Lots 20-23

Claire,

Would you please put the above referenced item back on the agenda for March 28.

Thank you,

Billy Goolsby

Mark Goodwin & Associates, PA

Phone (505) 828-2200

Fax (505) 797-9539

billy@goodwinengineers.com

www.goodwinengineers.com

Senova, Claire A.

From: Billy Goolsby [Billy@goodwinengineers.com]
Sent: Tuesday, April 03, 2007 11:06 AM
To: Senova, Claire A.; Matson, Sheran A.
Cc: John MacKenzie; Robby Roberson; Tate Fishburn
Subject: Ladera Business Park, Tracts 20 A & 20 B, CPN 1001523, Item 10 on Agenda for 4/4/07

Dear Ms. Matson,

Subject Item No. 10 on the agenda for April 4, 2007. On behalf of the client I would like to request a one-week deferral on this project.

Billy Goolsby


Mark Goodwin & Associates, PA

Phone (505) 828-2200

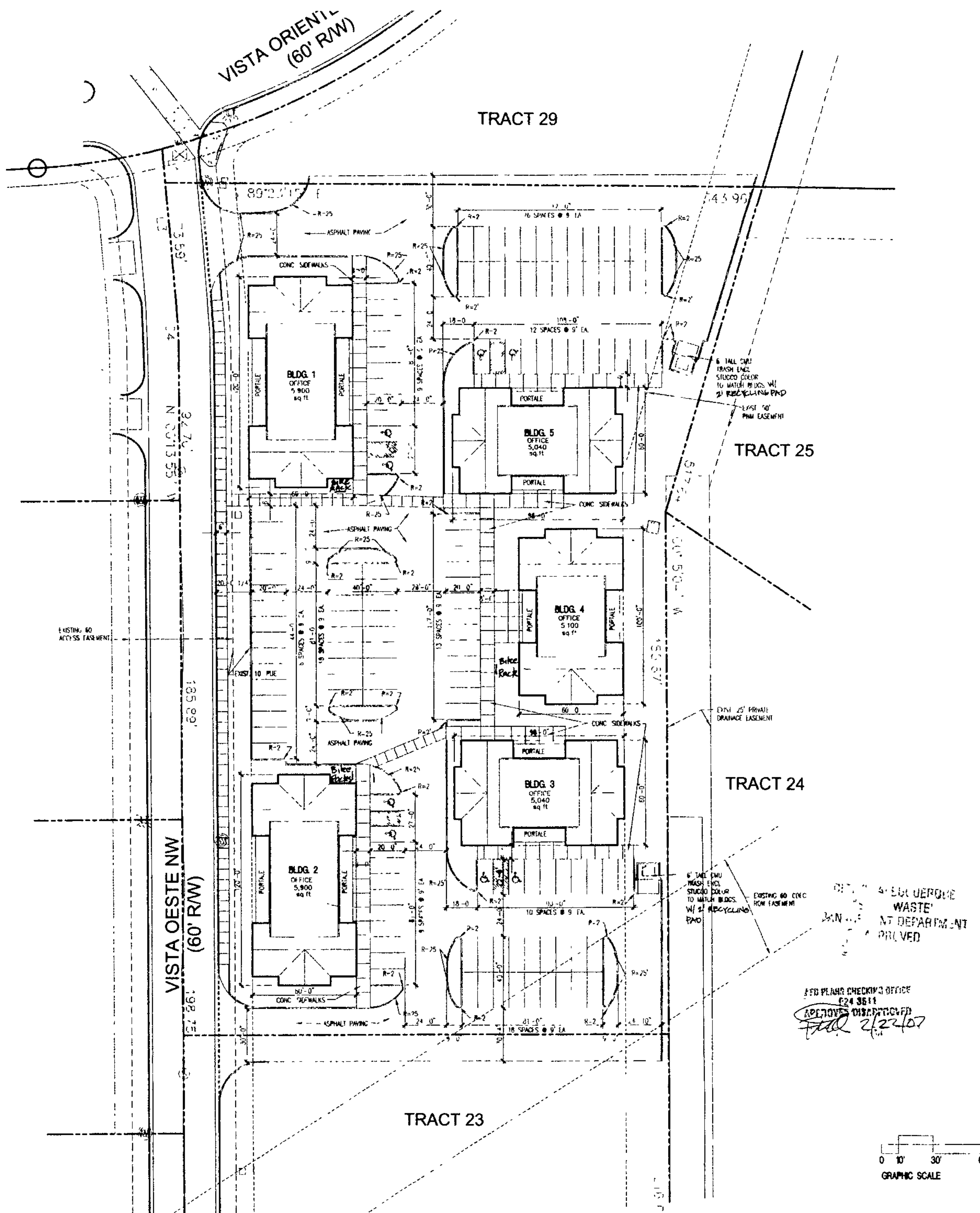
Fax (505) 797-9539

billy@goodwinengineers.com

www.goodwinengineers.com



4/11/07



PROJECT INFORMATION

PROJECT: NEW OFFICE PARK
 LOCATION: VISTA OESTE NW ALBUQUERQUE, NM
 OWNER: ROBBY ROBERSON
 ARCHITECT: TATE FISHBURN ARCHITECT
 LEGAL DESCRIPTION: LOTS 20-22 LADERA BUSINESS CENTER
 CURRENT ZONING CLASSIFICATION: IP
 TYPE CONSTRUCTION: TYPE V-B
 OCCUPANCY: B
 ALLOWABLE AREA: 12,000 S.F.
 TYPE III CONSTRUCTION & B OCCUPANCY = 12,000

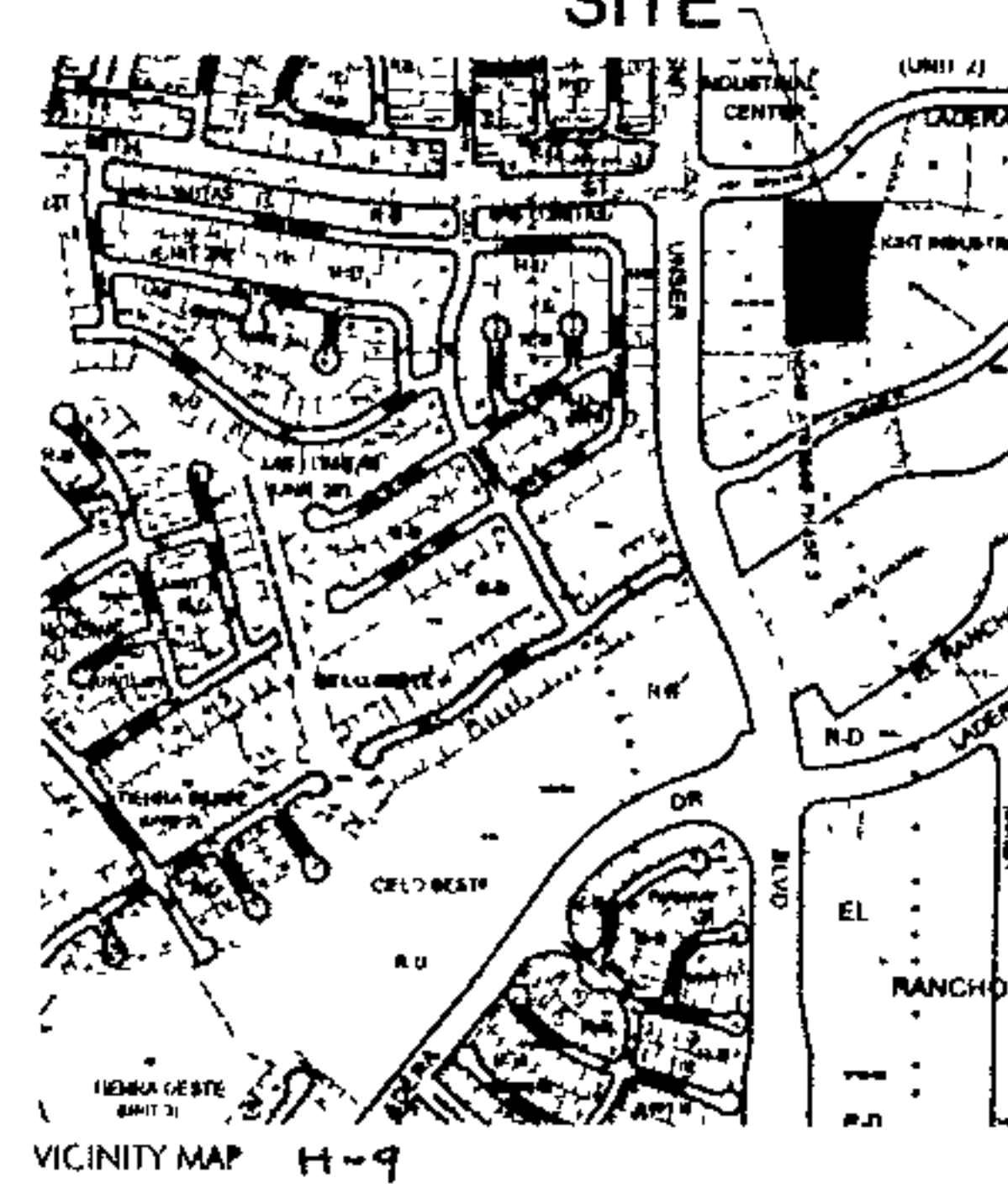
GROSS BUILDING AREA

BUILDING 1	5,900 S.F.
BUILDING 2	5,900 S.F.
BUILDING 3	5,040 S.F.
BUILDING 4	5,100 S.F.
BUILDING 5	5,040 S.F.
TOTAL	26,980 S.F.

TOTAL LOT AREA: 3.2 ACRE +/-

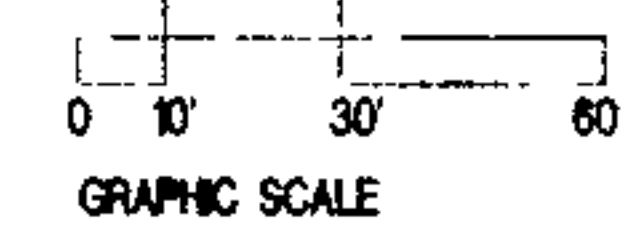
PARKING ANALYSIS:
 OFFICE AREA = 26,980
 REQUIRED PARKING = 26,980/200 = 135
 SPACES PROVIDED = 135 SPACES INCLUDING 8 HANDICAP

- GENERAL NOTES:**
- ALL SITE LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-9, AREA LIGHTING REGULATIONS & THE NIGHT SKY ORDINANCE
 - POLE MOUNTING LIGHTING SHALL BE 20' 0" MAX
 - ROOF TOP EQUIPMENT SHALL BE SCREENED BY BUILDING PARAPET
 - ALL HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2441
 - REFUSE ENCLOSURE TO HAVE DRAINS TO SANITARY SEWER

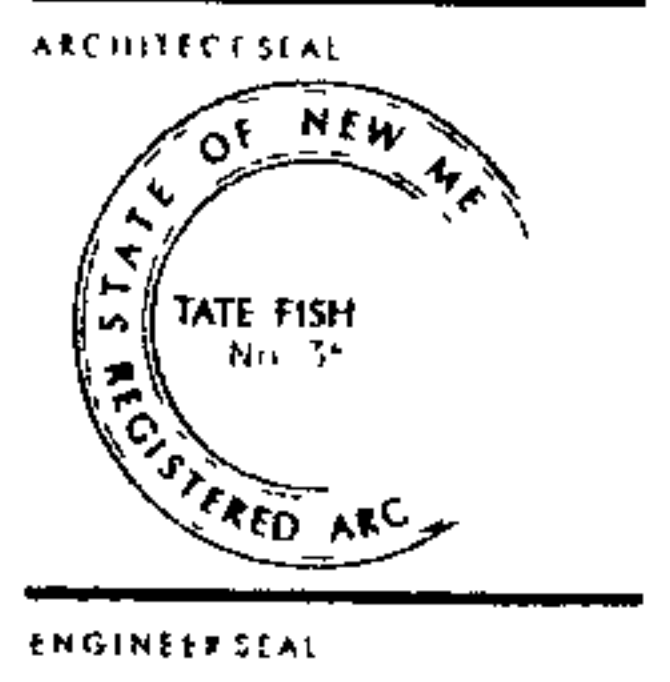


PROJECT NO _____
 APPLICATION NO _____
 IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO
 IF YES, THEN A SET OF APPROVED DMC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
 DMC SITE DEVELOPMENT PLAN APPROVAL _____
 TRAFFY ENGINEER TRANSPORTATION DIVISION _____ DATE _____
 WATER UTILITY DEPARTMENT _____ DATE _____
 PARKS & RECREATION DEPARTMENT _____ DATE _____
 CITY ENGINEER _____ DATE _____
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
 SOLID WASTE _____ DATE _____
 DRB CHAIRPERSON ALBUQUERQUE PLANNING DEPARTMENT _____ DATE _____
 ENVIRONMENTAL HEALTH IF NECESSARY

ALBUQUERQUE
 WASTE
 DEPARTMENT
 APPROVED
 FEB 22 2007

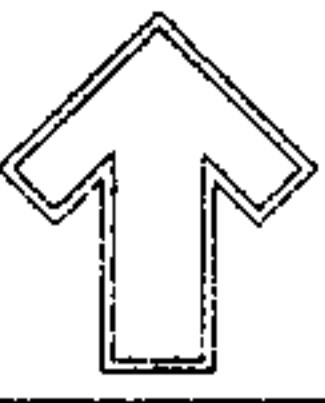


TATE FISHBURN
 ARCHITECT



SITE DEVELOPMENT PLAN
 LADERA BUSINESS PARK
 TS 20-22
 ALBUQUERQUE, NEW MEXICO

REVISIONS _____
 DATE: FEBRUARY 22, 2007
 SCALE: 1"=30' 0"
 DRAWING NAME: SITE DEVELOPMENT PLAN FOR BLDG PERMIT
 SHEET NUMBER: SDP-1



Cont. Lic. #26458
 7909 Edin N.E.
 Albuquerque, NM 87184
 Ph (505) 998-9690
 Fax (505) 998-7737
 cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



2-25-07
 JAMES DE FLOW
 #0007

LADERA BUSINESS PARK
 ALBUQUERQUE, NM

LANDSCAPE PLAN

All creative ideas received from clients are the property of The Hilltop Landscape Architects. Contractors and vendors are requested to verify all dimensions and materials before construction. This is an optional design and shall not be used as a construction document. Copied unless applicable from these plans and not for other projects.

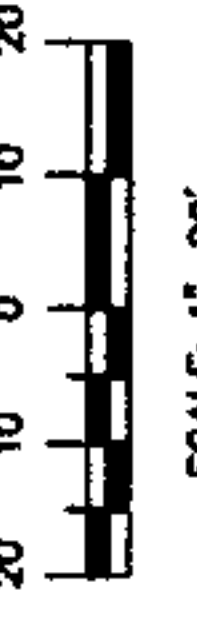


LANDSCAPE ARCHITECTS & CONTRACTORS
 DATE 2-25-07
 REVISION 1
 DRAWN BY J.D.

SHEET #
 11 of 12

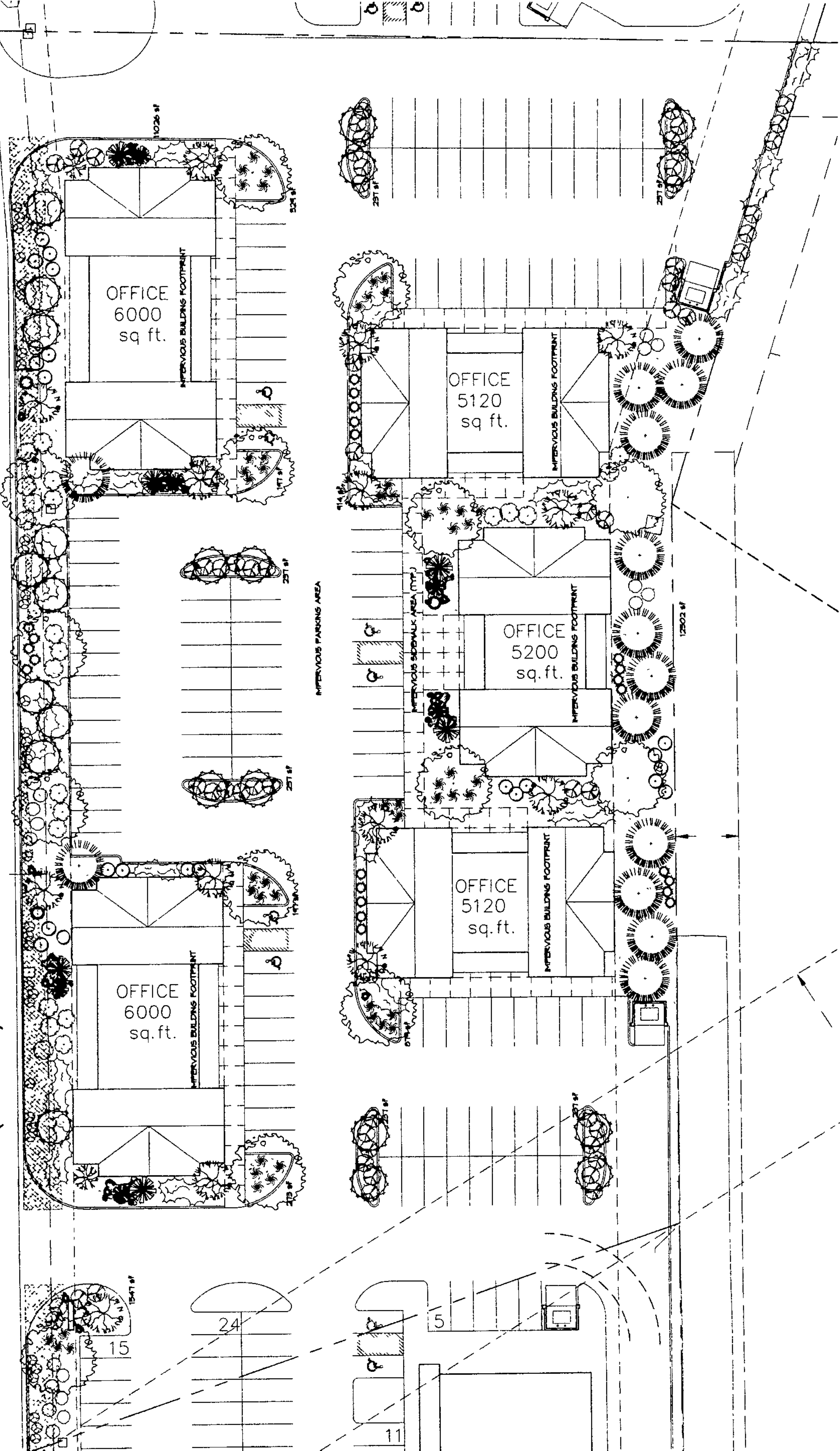


GRAPHIC SCALE









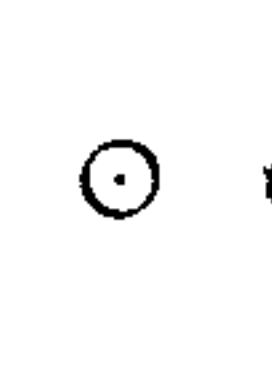
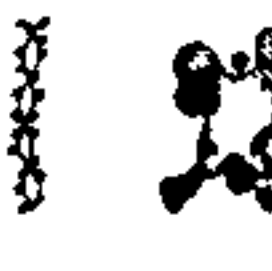
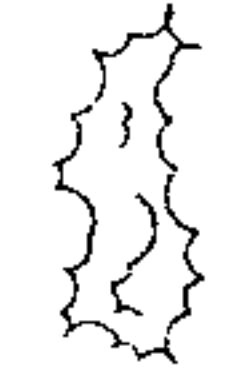
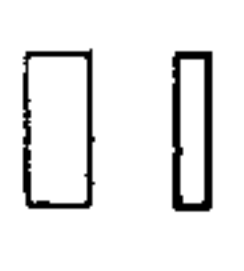

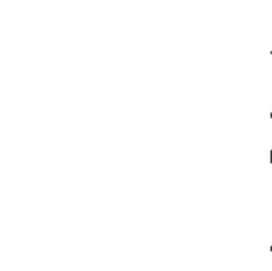
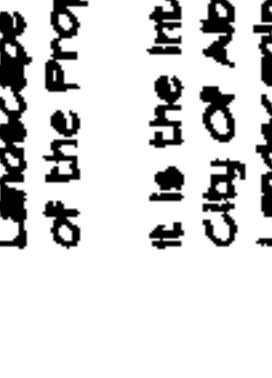
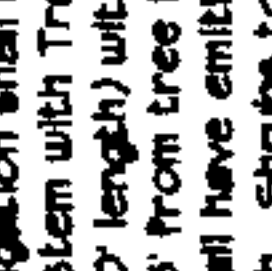
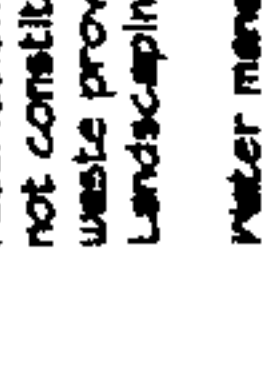
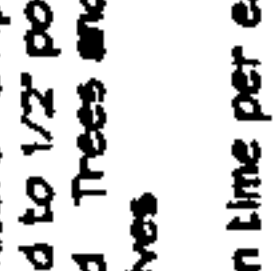
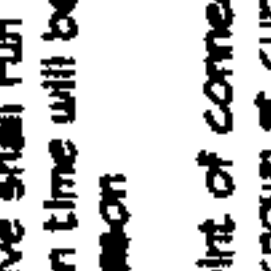


SCALE: 1"=20'

VISTA OESTE NW
 (60' RAW)

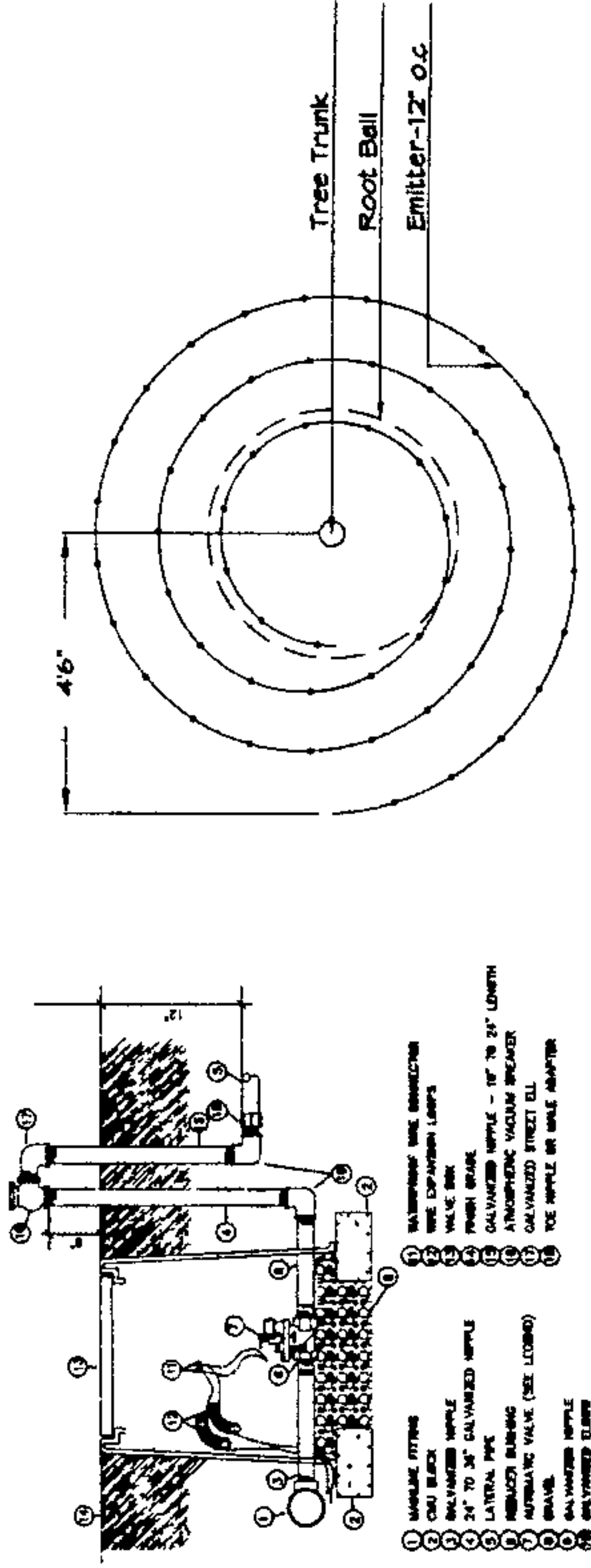


PLANT LEGEND

	CHINESE PISTACHE (M) 14 Pistacia chinensis 2 1/2' Cal		VITEX (M) OR NEW MEXICO OLIVE (M) 14 Viter spina-cactus Corsetia mexicana 15 Cal
	DESERT WILLOW (L) OR CANTALPA (M) 22 Chilopsis linearis Chilopsis x cantalpa 2 1/2' Box		AUSTRIAN PINE (M) 14 Pinus nigra 6'-8'
	PALM YUCCA (L) 12		HONEYUCKLE (M) 62 Lonicera japonica Helland 1 Gal 1444F Installed-groundcover
	ROCKY MOUNTAIN JUNIPER (L) 2 Juniperus scopulorum 1 Gal		MUSCOGEE (M) 3 Pinus mitis 5 Gal 400F
	APACHE PARROT (L) 10 Fallopia paradisi 5 Gal 254F		MANDRILL (M) 52 Mikantanthus sinensis 5 Gal 164F
	BUTTERFLY BUSH (M) 24 Buddleia davidii 5 Gal 1005F		MILDFLOWER 36 1 Gal 48F
	RUSSIAN SAGE (M) 25 Perovskia atriplicifolia 5 Gal 366F		TRUMPET VINE (M) Campsis radicans 1 Gal 400F
	SCOTTY BLOOM (M) 23 Celastrus scoulerianus 5 Gal 166F		OVERSIZED GRAVEL 4 1/2 BOLLERS
	LADY BANKS'S ROSE (M) 14 Rosa banksiae 5 Gal 400F Installed groundcover		SANTA FE BROWN GRAVEL WITH FILTER FABRIC
			PROJECT SIGN - TBD

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	152665	square feet
TOTAL BUILDINGS AREA	21440	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	129245	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	19387	square feet
TOTAL BED PROVIDED	29286	square feet
GROUNDCOVER REQ	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	21495	square feet
TOTAL GROUNDCOVER PROVIDED	21471 (75%)	square feet
TOTAL LANDSCAPE PROVIDED	29286 (25 4%)	square feet



Netafim Spiral Detail

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque
Street Tree Ordinance are as follows:

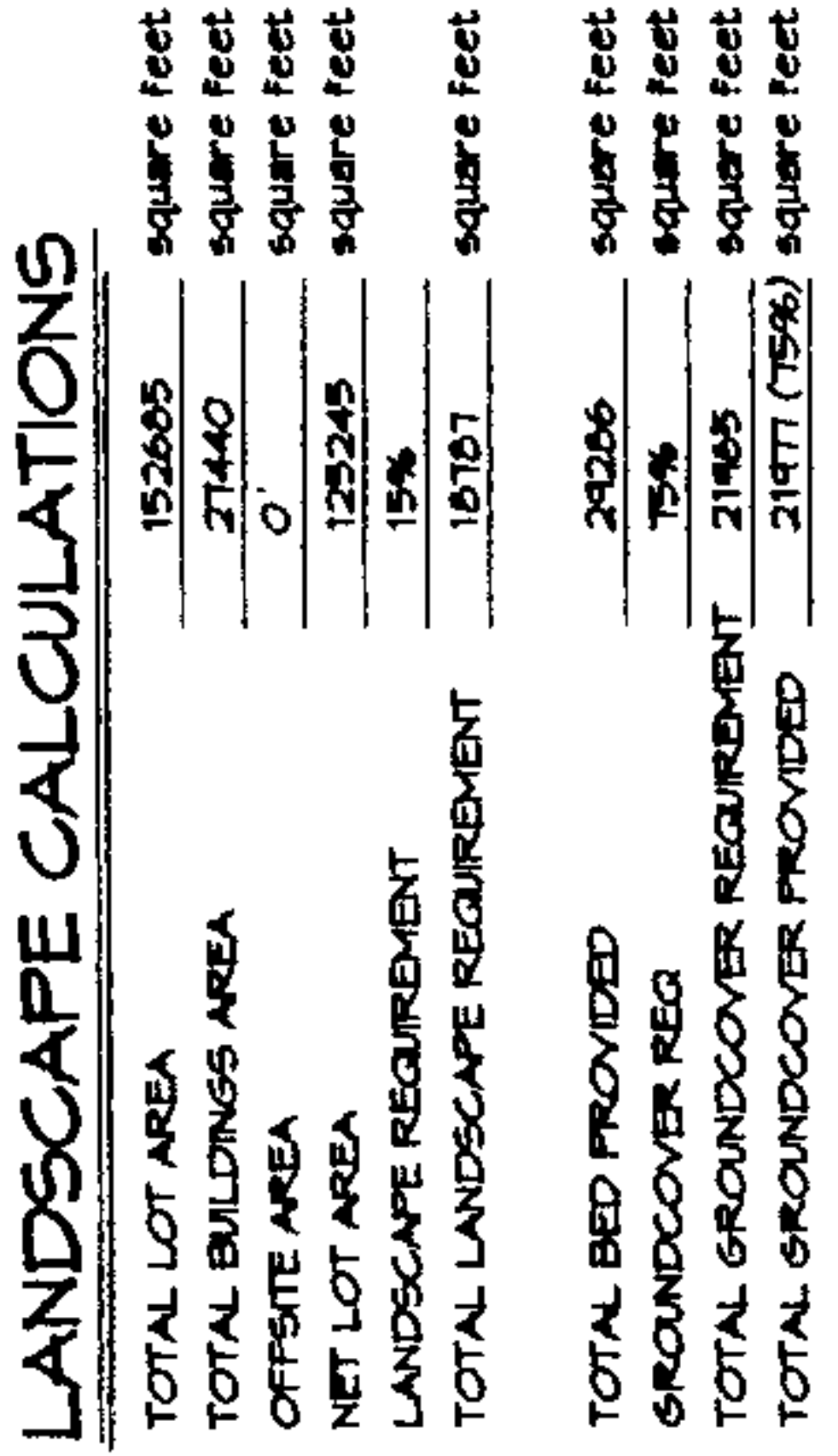
Name of Street: Vista Oeste NW
Required # 11 Provided # 11

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque
Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 19 Provided # 19

AUTOMATIC VALVE W/ ATMOSPHERIC
VACUUM BREAKER



Netafim Spiral Detail

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque
Street Tree Ordinance are as follows:

Name of Street: Vista Oeste NW
Required # 11 Provided # 11

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque
Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 19 Provided # 19

AUTOMATIC VALVE W/ ATMOSPHERIC
VACUUM BREAKER

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

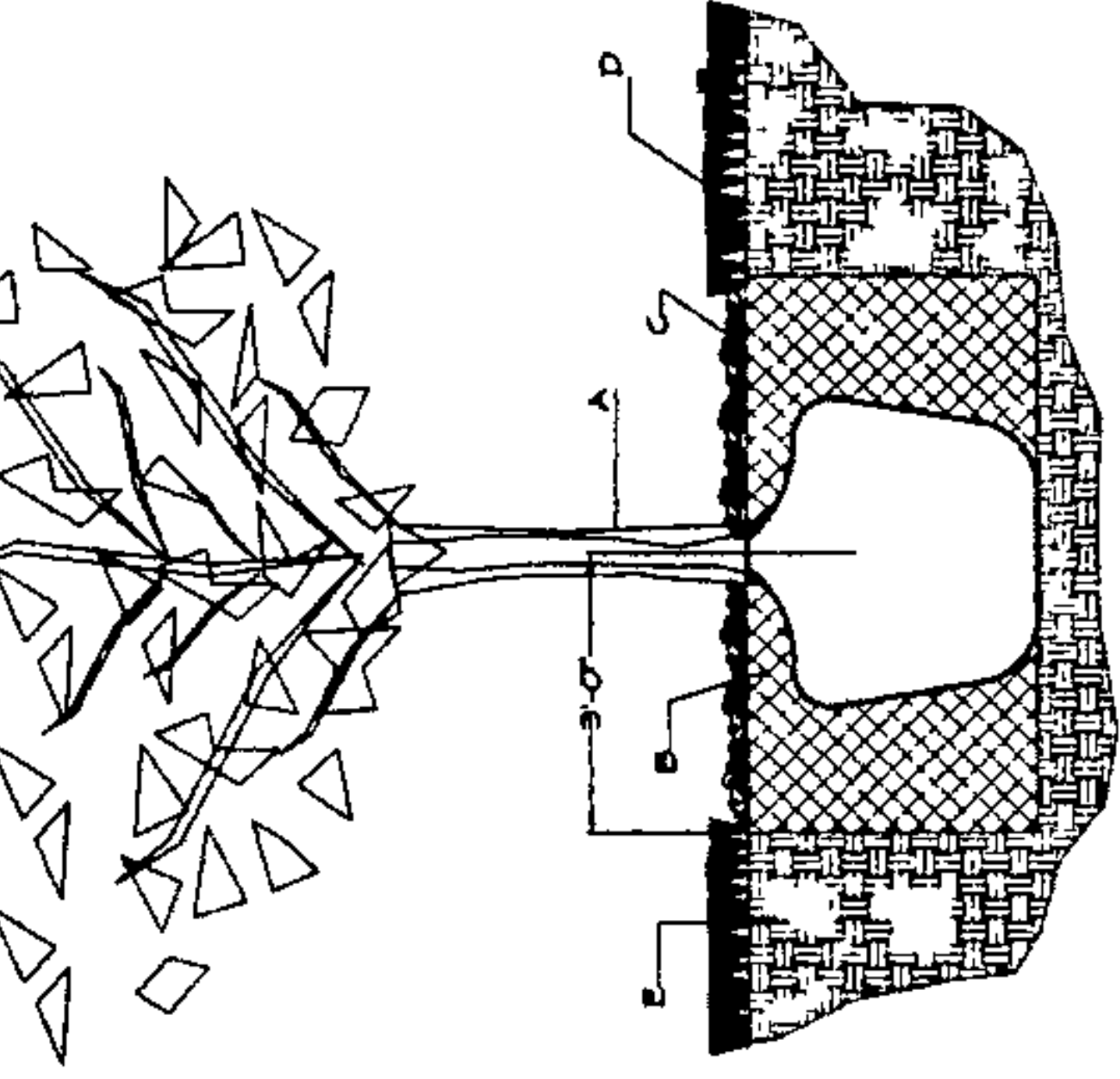
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque zoning Code, Street Tree Ordinance, Foliage Ordinance and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all pervious landscape areas which are not designated to receive native seed.

NOTE TO CLIENT:

Should The Hilltop not receive a grading and drainage plan during the design process, or the on-site grades differ from the grading and drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1 if the grades are greater than what was originally designed. We will request an infield change-order to lay cobblestone or rip-rap in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED. THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

TREE PLANTING DETAIL

NTS

CONSTRUCTION NOTES:

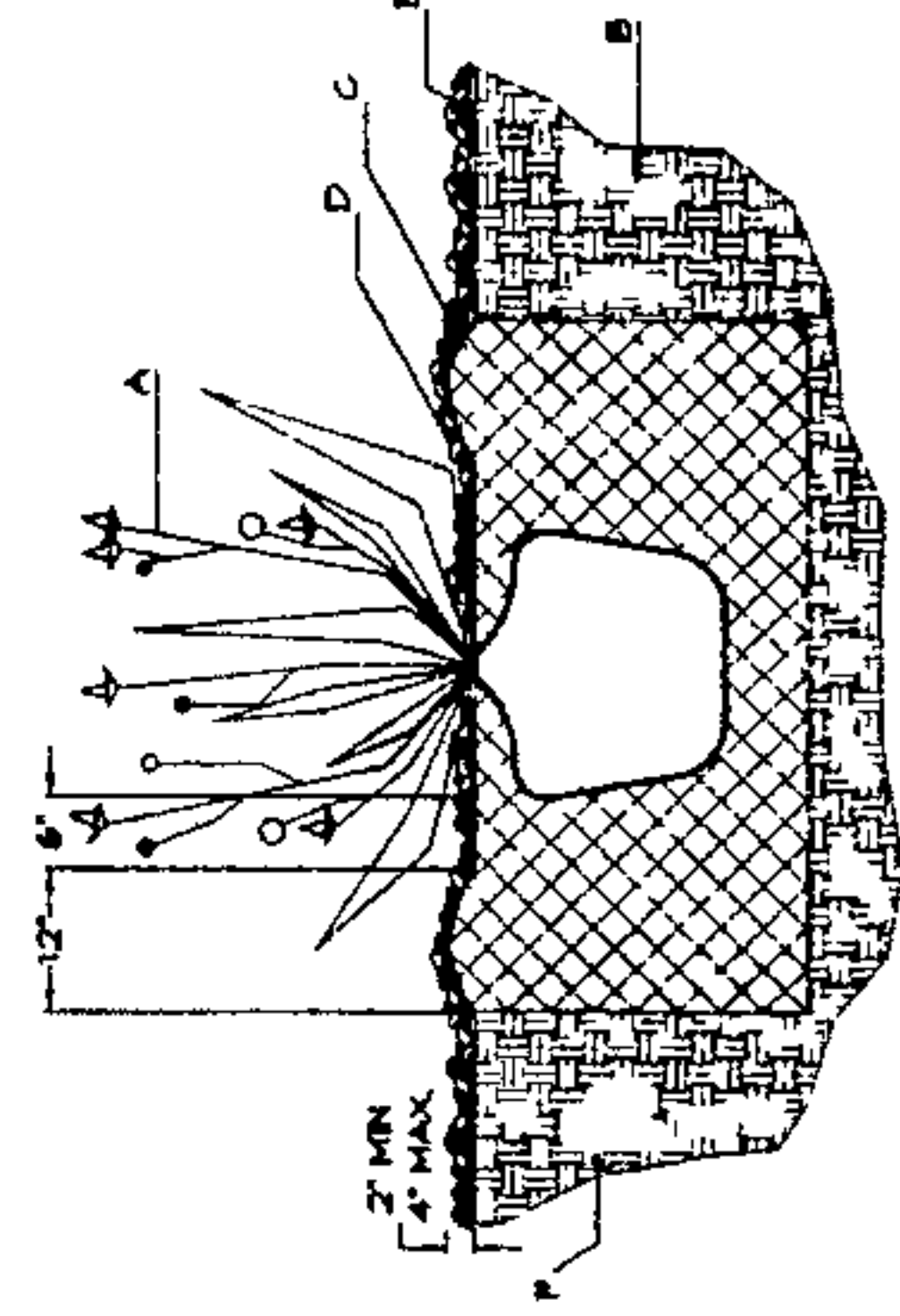
- TREE
- BACKFILL WITH EXISTING SOIL
- 4" DEPTH OF BARK MULCH
- TURF AT FINISH GRADE
- UNDISTURBED SOIL

SHRUB PLANTING DETAIL

NTS

CONSTRUCTION NOTES:

- SHRUB
- BACKFILL WITH EXISTING SOIL
- EARTH BERM AROUND WATER RETENTION BASIN
- 4" DEPTH OF BARK MULCH
- FINISH GRADE
- UNDISTURBED SOIL



GENERAL NOTES:

- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

SHRUB PLANTING DETAIL

NTS

LANDSCAPE ARCHITECTS SEAL
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 PH (505) 898-9690
 FAX (505) 898-7737
 cm@hilltoplandscaping.com

JAMES DE FLOW
 1-317-0-7
 10007

LADERA BUSINESS PARK
 ALBUQUERQUE, NM
 DETAILS AND NOTES

All drawings were prepared by the Property of The Hilltop Landscaping Architects and are not to be reproduced or copied without the written consent of the author.

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 DRAWN BY
 REVISION #
 DATE 2-23-07
 SHEET #
 L2 of L2

PROJECT DESCRIPTION

The project consists of constructing new buildings upon Tracts 20, 21 and 22 within the Ladera Business Park. The new construction is located east of Unser Boulevard adjacent to the existing Ladera Business Park. The site is bounded by Unser Boulevard to the east, Vista Oeste Street to the south, and La Morada Place and Vista la Street to the north. There are currently 4 commercial tracts of land in this area. With removal of the existing structures, there will be 2 tracts when developed with 5 structures for office use.

DRAINAGE DESIGN CRITERIA AND PREVIOUS REPORTS

Design criteria used in this report was in accordance with the Hydrology Section, 22.2 of the City of Albuquerque's Development Process Manual, Volume 2 Design Criteria, as amended through September 1999. The 100-year, 6-hour storm event was analyzed to determine site runoff using P (1 hr) = 1.88", P (6 hr) = 2.19". For the existing conditions an analysis was previously done for the Ladera Business Park Master Grading and Drainage Plan. The preliminary conditions established by this plan were for the individual lots to be developed with 5 structures for office use.

Based on the previous master plan, all lots will be allowed "free discharge" under existing conditions. The stormwater drainage facilities constructed for this area are designed to accommodate the runoff from all developed lots. The soil treatment used for determination of the developed condition runoff were as follows: Treatment C=0 and Treatment S=15 as determined using Table A-4, LAND TREATMENTS, in the DRP.

III EXISTING DRAINAGE CONDITIONS

Existing drainage conditions on all lots have a pond at the lower end of the property that is not developed. There is no offsite drainage to these areas due to the existing streets adjacent to each of these properties. Therefore there will not be any offsite runoff to accommodate with the development of these lots. There are existing storm drains that were designed and constructed with the capacity to accommodate the runoff from all developed lots in this area.

IV DEVELOPED DRAINAGE CONDITIONS

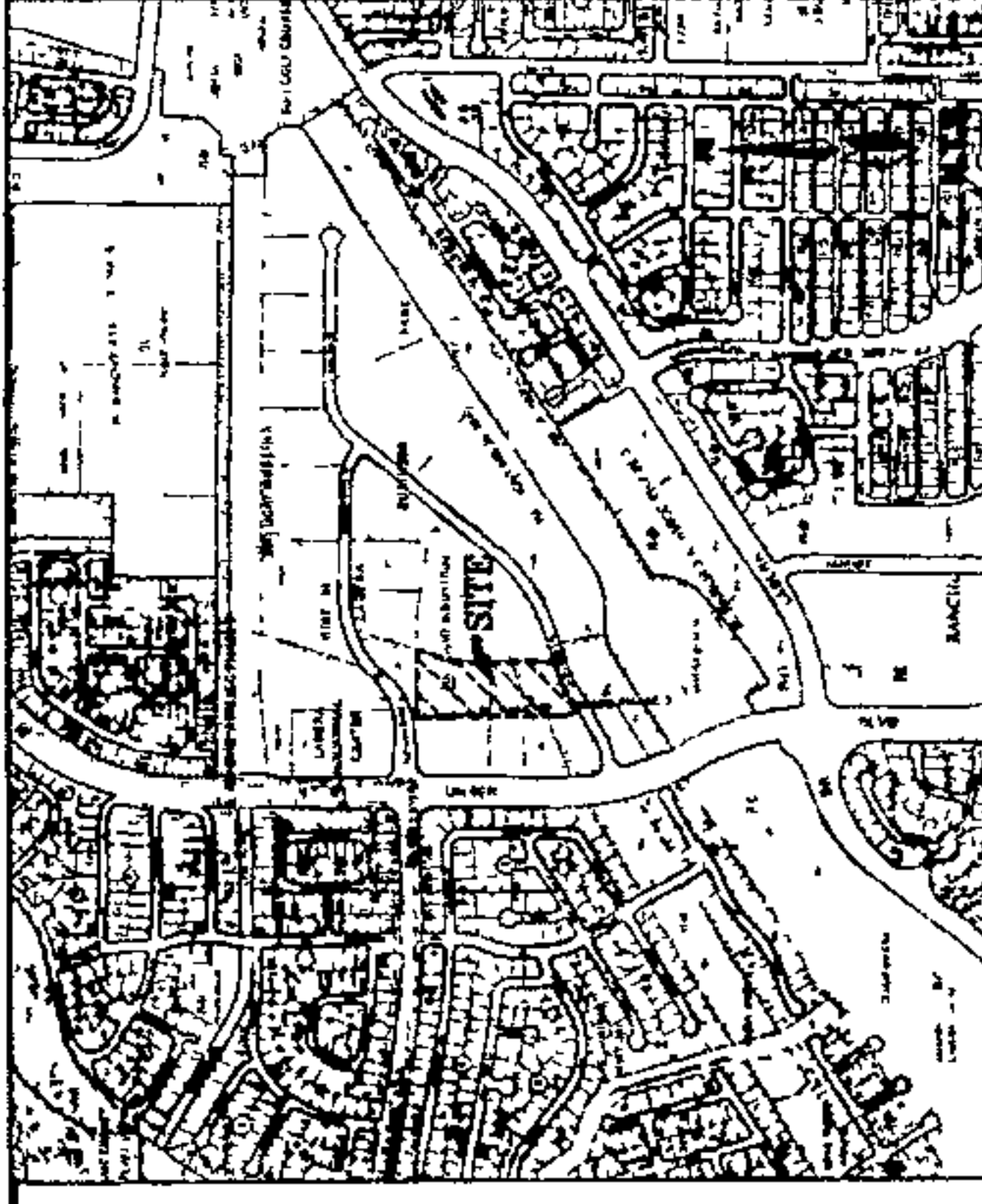
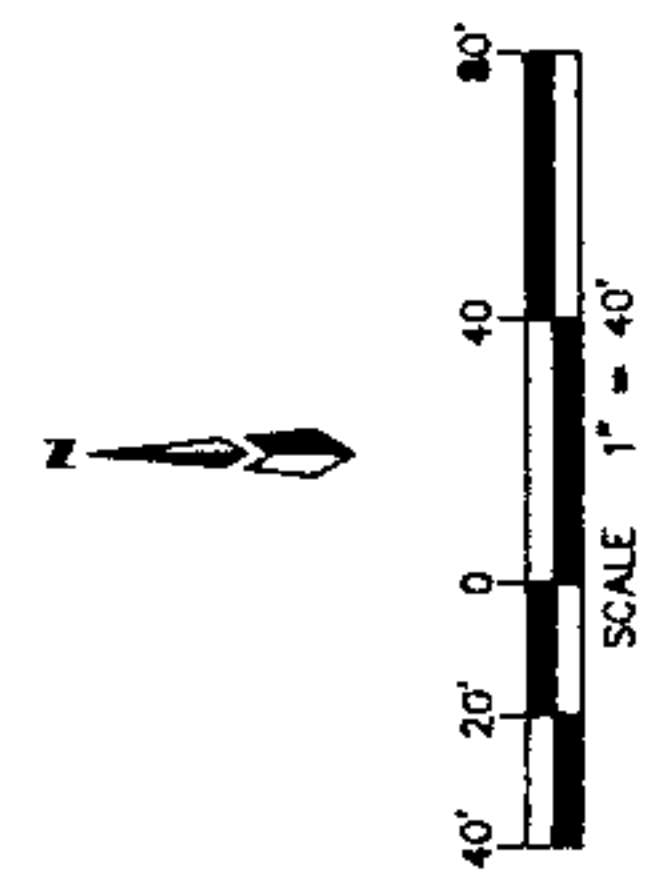
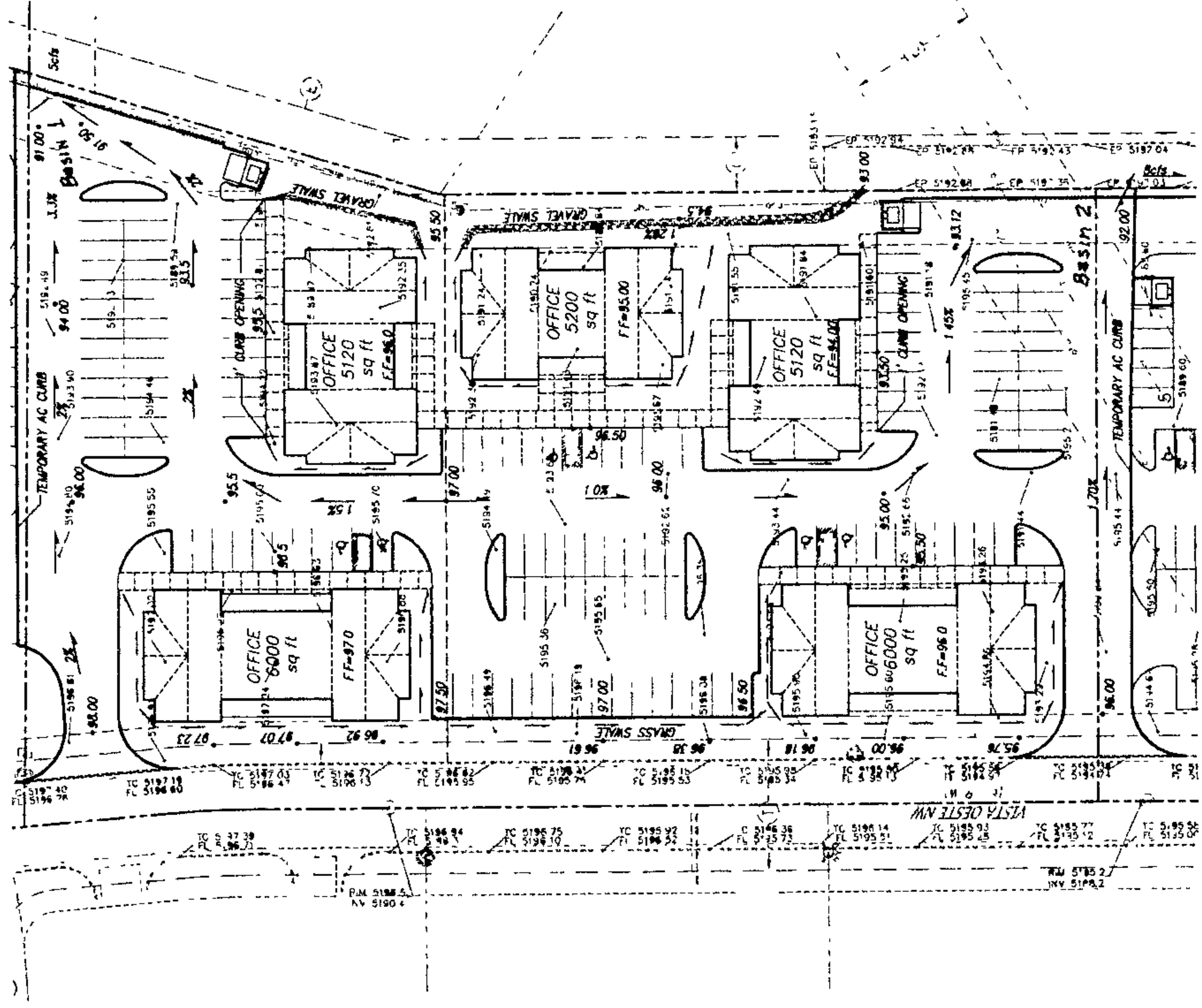
Site developed conditions flow from this site is approximately 13 cfs assuming the future development mentioned above. The lots are to be developed into office space buildings. The runoff from these lots will be discharged into the existing drainage swales, channels, streets and drains at various locations throughout the development. Free discharge from the pond portions of this property has already been designed into these downstream areas.

V CONCLUSIONS

The proposed drainage scheme for the new buildings can be readily accommodated through the existing drainage system. The plan is shown on this plan that the internal conveyance of the water to off site facilities can be accomplished while meeting current City requirements.

EASEMENT DESCRIPTION

- B EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
- C EXISTING 25' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- D EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (3/16/1953, BOOK MISC. D 235, PGS. 619-622)
- E EXISTING 50' PNM EASEMENT (1/22/2004, 2004C-24)
- F EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/2004, 2004C-24)
- G EXISTING 30' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- H EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- I EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)



VICINITY MAP ZONE MAP H-9-Z

ACS BENCHMARK

ACS MONUMENT "2-H" HAVING AN ELEVATION OF 8207.23 (NGVD83)

LEGAL DESCRIPTION

TRACTS TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), AND TWENTY-FOUR (24), OF LADERA BUSINESS PARK, UNIT 2, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK 2004C, PAGE 325.

1 PROPERTY CURRENTLY ZONED SU-1

LEGEND

- EXISTING CURB
- EXISTING TOP OF CURB
- EXISTING FLOWLINE
- EXISTING SPOT ELEVATION
- STANDARD 8" CURB & GUTTER
- PROPOSED SPOT ELEVATION
- FINISHED PAD ELEVATION
- NEW BUILDINGS
- PROPOSED PROPERTY LINE
- TEMPORARY AC CURB
- PROPOSED DRAINAGE FLOW
- PROPOSED DRAINAGE GRAVEL SWALE



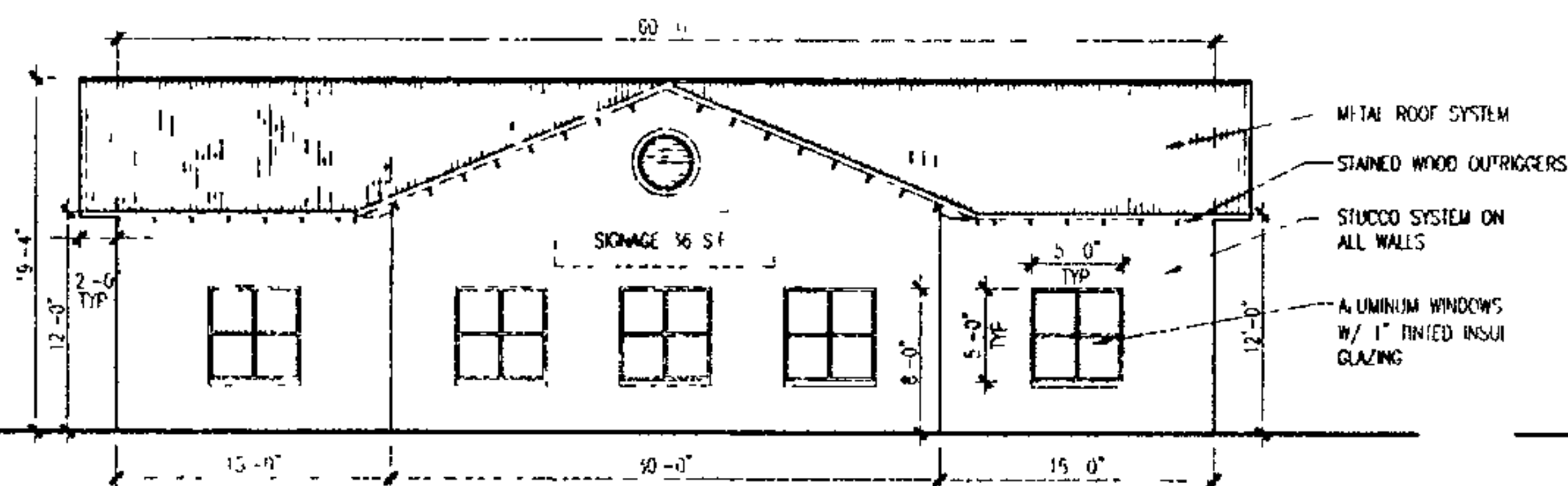
2/27/07

PRELIMINARY

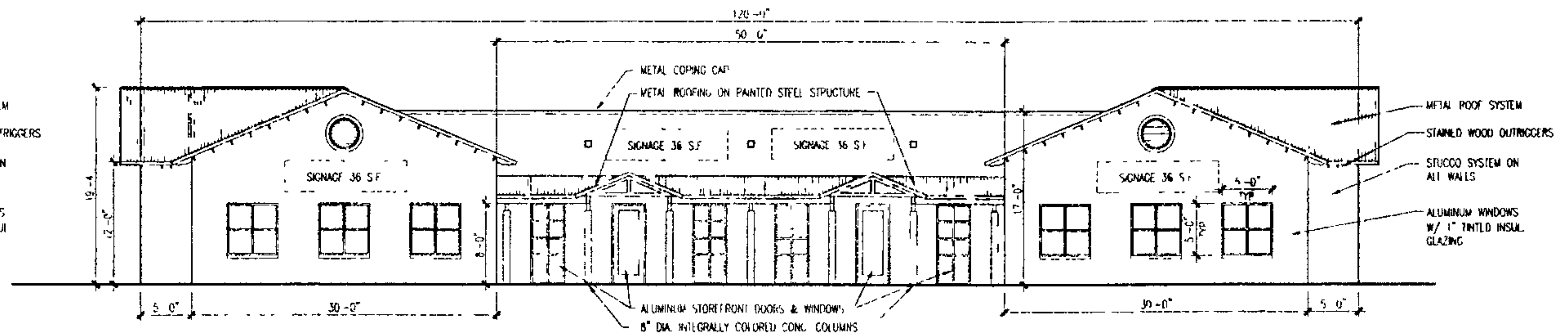
LADERA BUSINESS PARK
CONCEPTUAL GRADING & DRAINAGE PLAN

dmg
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)828-9539

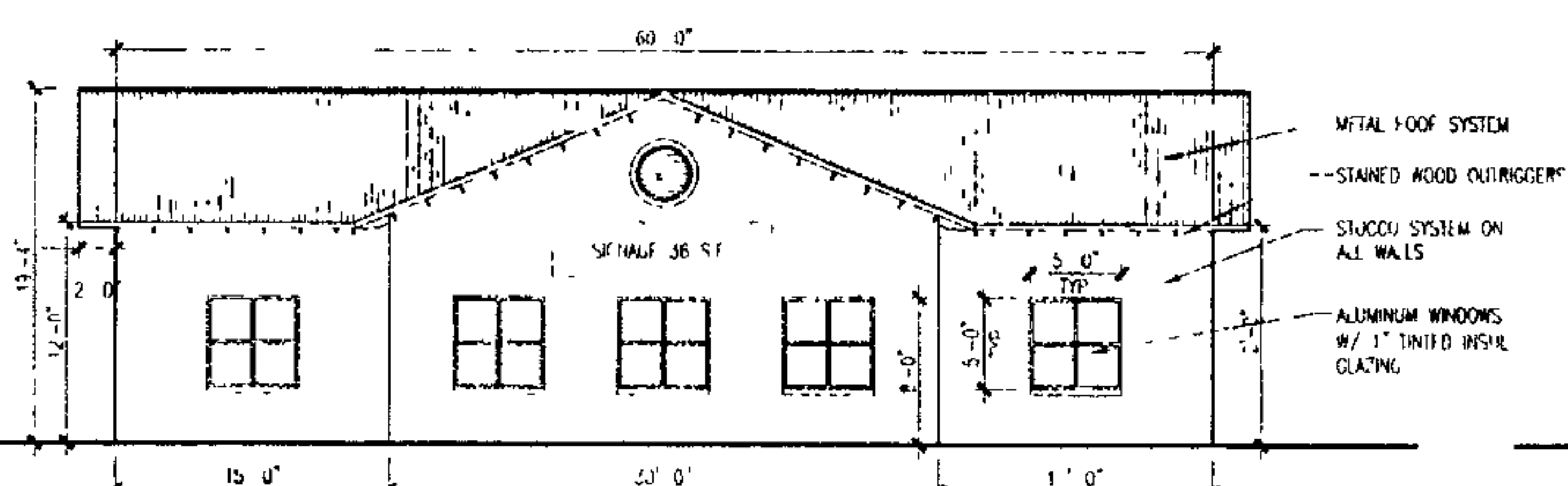
Designed: BJC Drawn: CAP Checked: JMM Date: 12/13/06 Job: A6095 Scale: 1" = 40' Sheet: 2 of 3



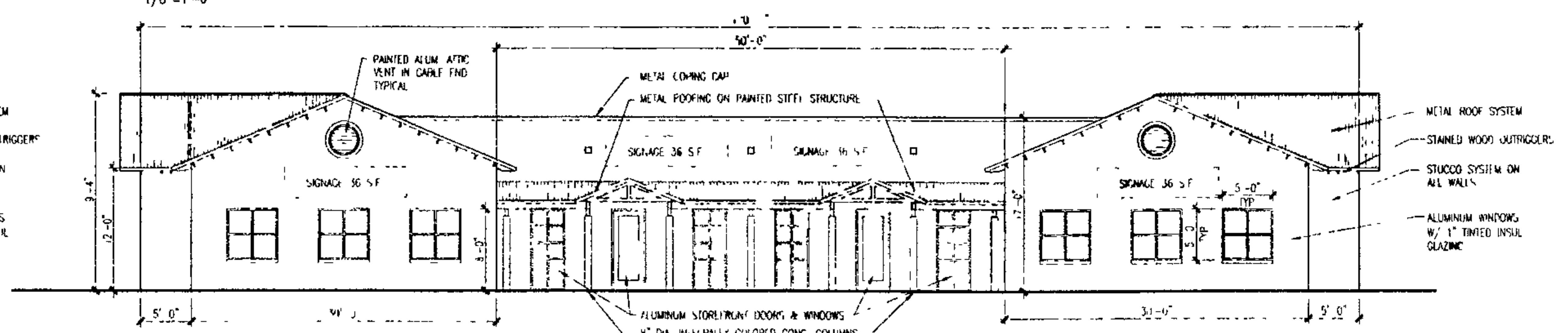
BLDG. 1- END ELEVATION
1/8"=1'-0"



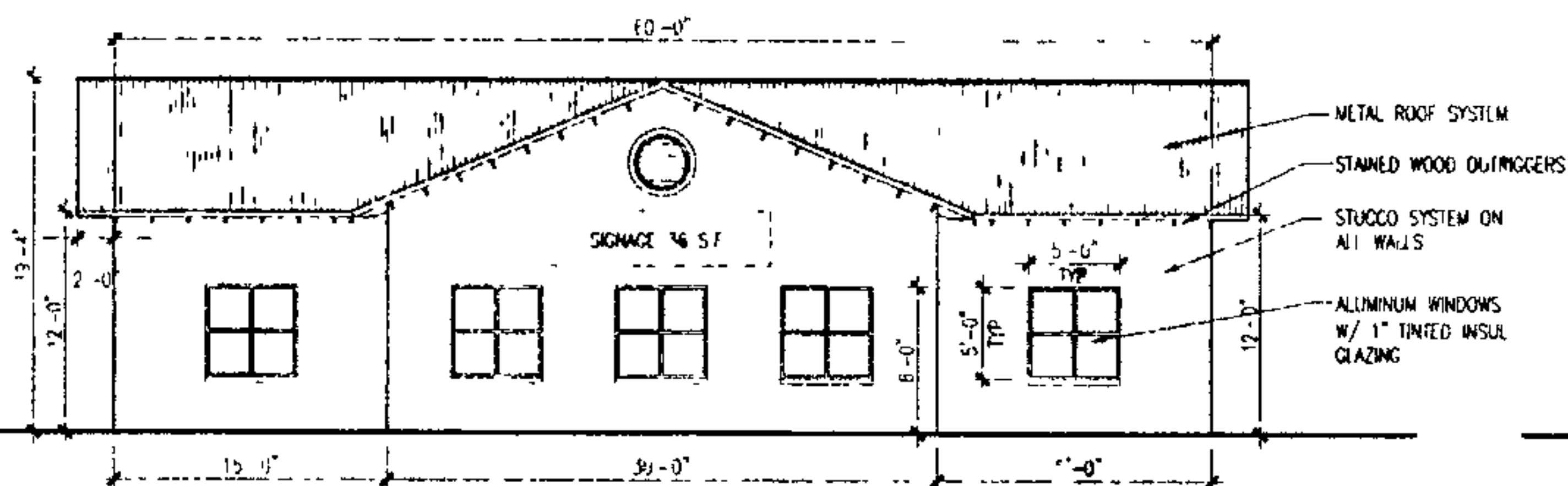
BLDG. 1- FRONT & BACK ELEVATION
1/8"=1'-0"



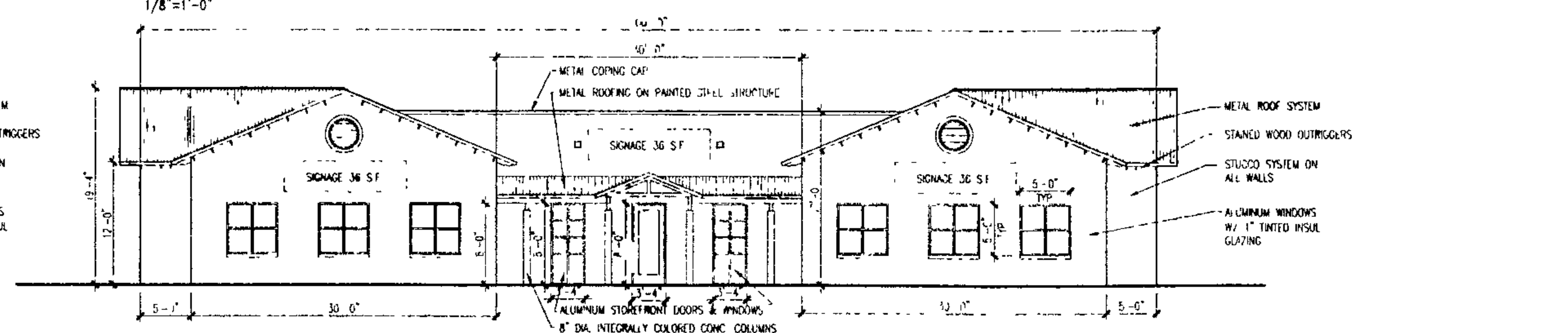
BLDG. 2- END ELEVATION
1/8"=1'-0"



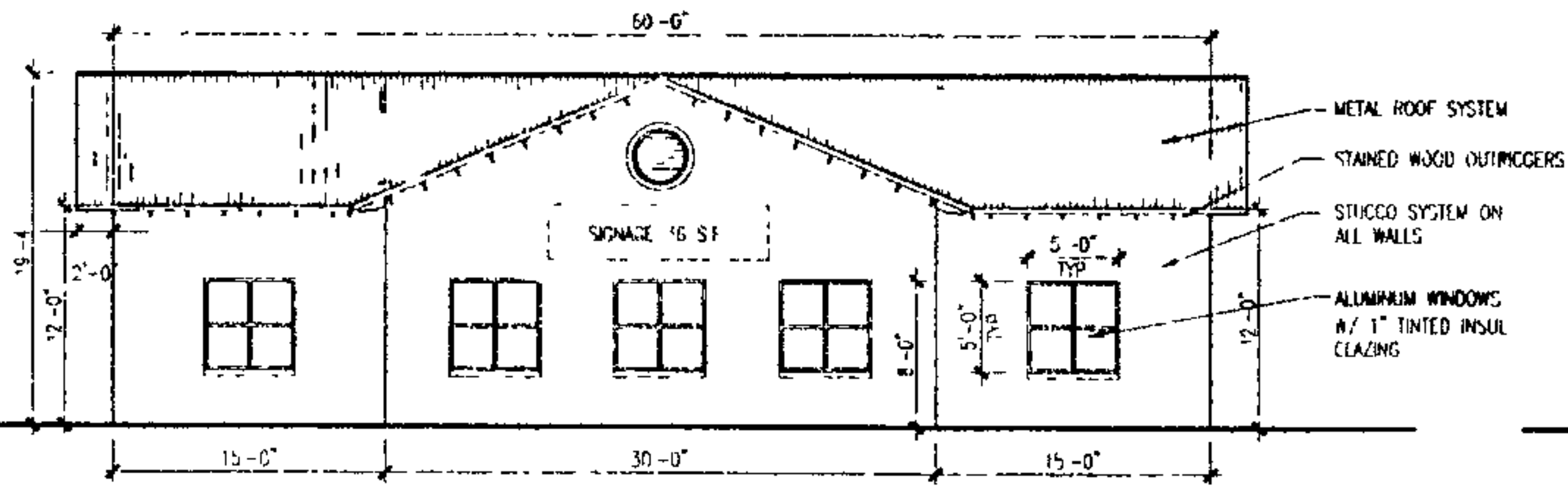
BLDG. 2- FRONT & BACK ELEVATION
1/8"=1'-0"



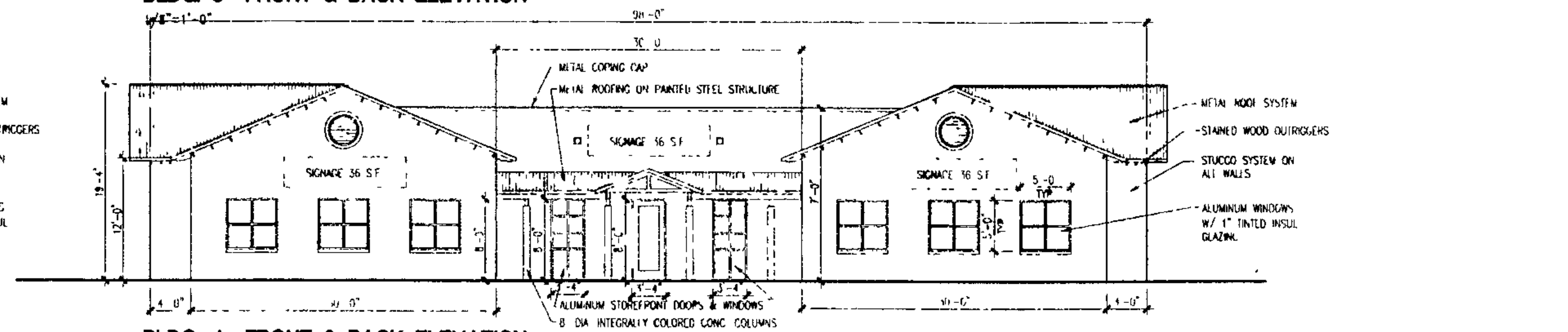
BLDG. 3- END ELEVATION
1/8"=1'-0"



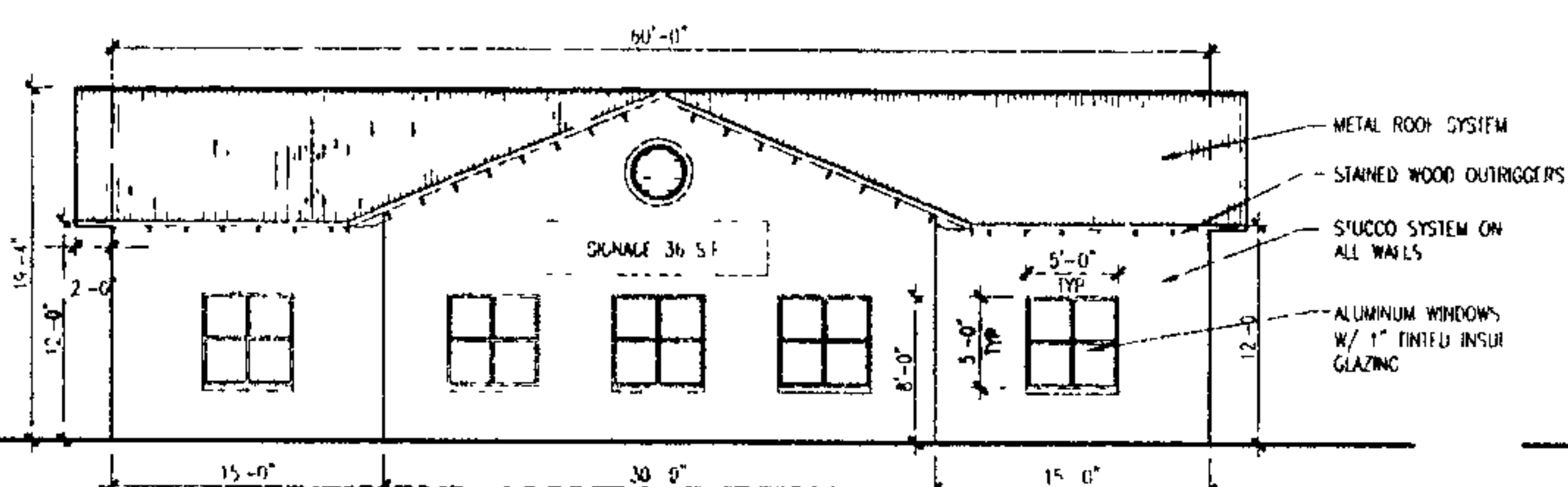
BLDG. 3- FRONT & BACK ELEVATION
1/8"=1'-0"



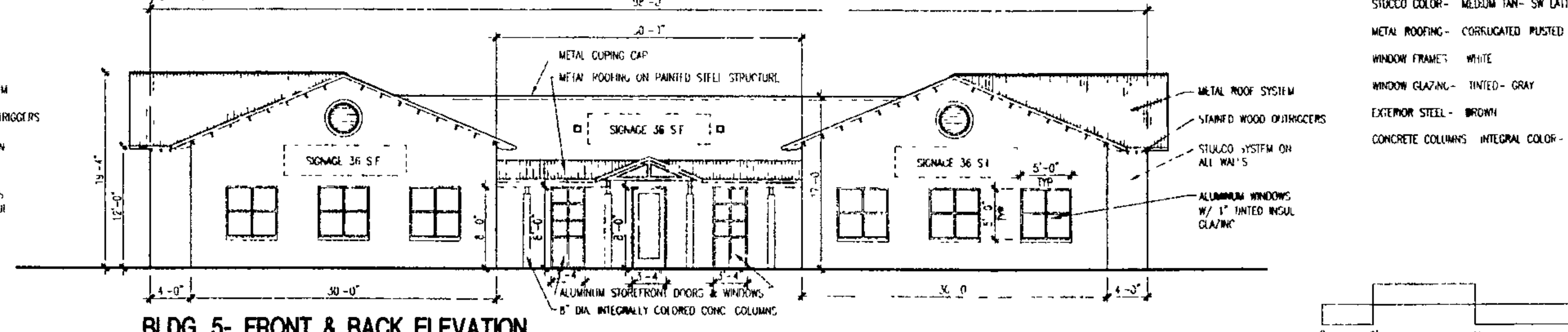
BLDG. 4- END ELEVATION
1/8"=1'-0"



BLDG. 4- FRONT & BACK ELEVATION
1/8"=1'-0"

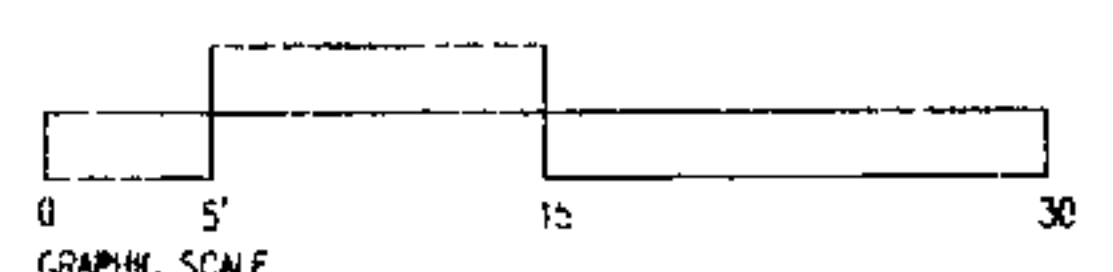


BLDG. 5- END ELEVATION
1/8"=1'-0"

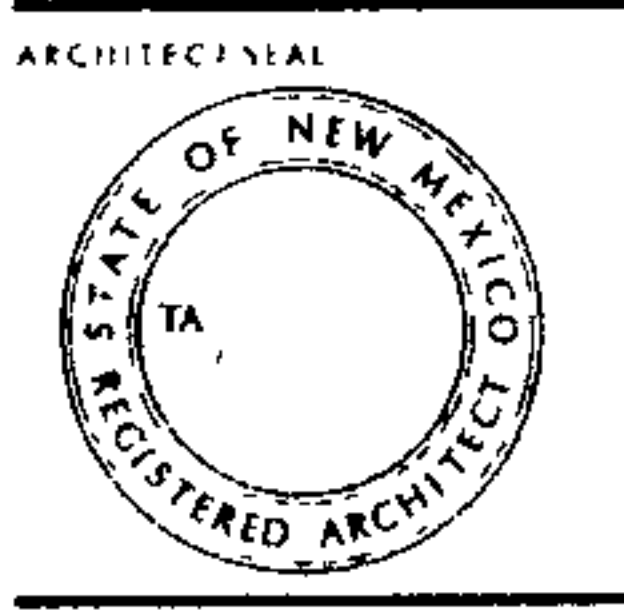


BLDG. 5- FRONT & BACK ELEVATION
1/8"=1'-0"

- EXTERIOR COLORS.**
- STUCCO COLOR- MEDIUM TAN- SW LATE
 - METAL ROOFING- CORRUGATED PULSTED FINISH
 - WINDOW FRAMES- WHITE
 - WINDOW GLAZING- TINTED- GRAY
 - EXTERIOR STEEL- BROWN
 - CONCRETE COLUMNS- INTEGRAL COLOR- TERRA COTTA



TATE FISHBURN
ARCHITECT



PROJECT

SITE DEVELOPMENT PLAN
LADEN BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
TS 20-22

REVISIONS

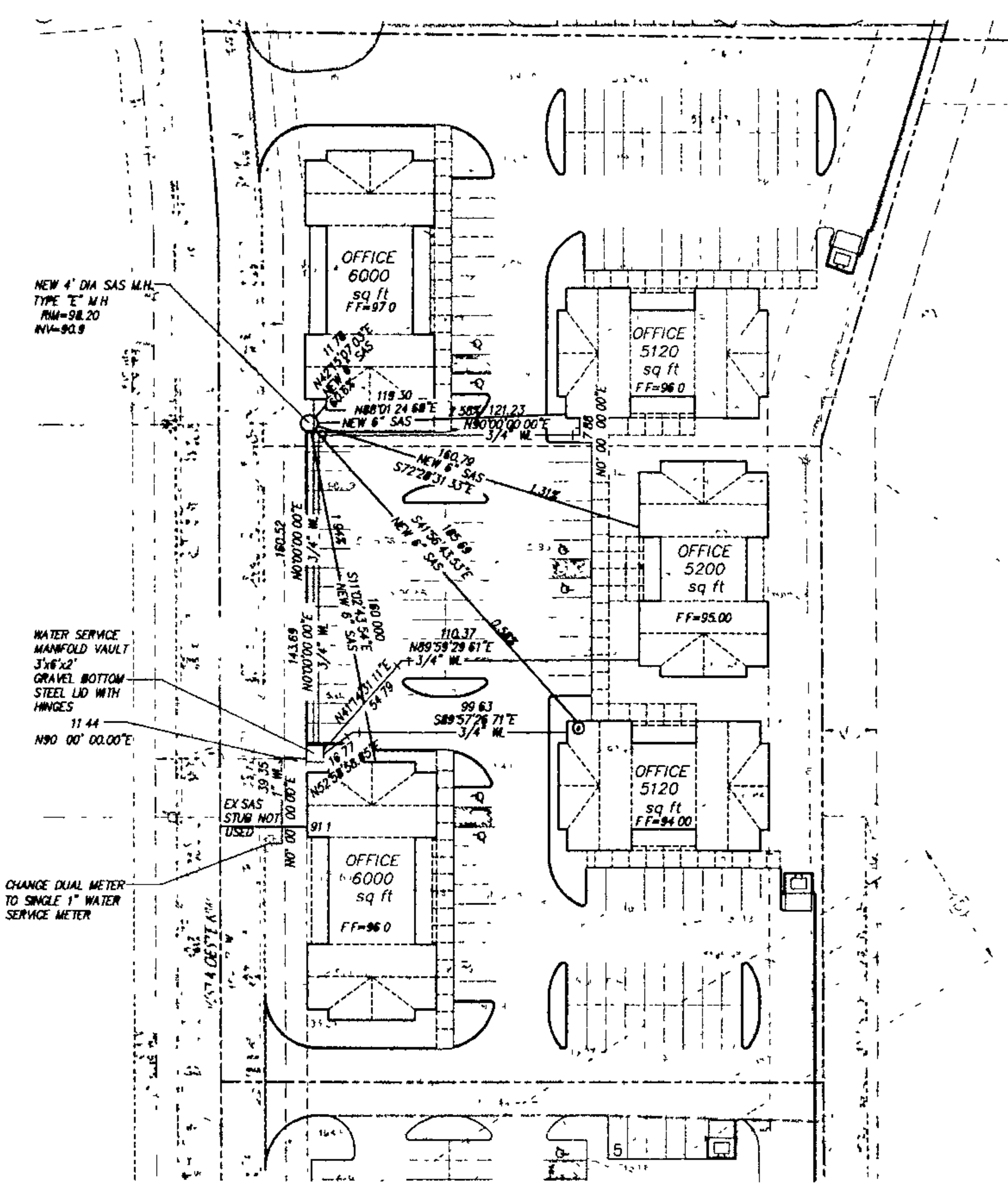
DATE FEBRUARY 22, 2007

SCALE 1/8"=1'-0"

DRAWING NAME BUILDING ELEVATIONS

SHEET NUMBER

SDP-2



NEW 4' DIA SAS M.H.
TYPE 'E' M.H.
RM=98.20
RV=90.9

WATER SERVICE
MANFOLD VAULT
3'x6'x2'
GRAVEL BOTTOM
STEEL LID WITH
HINGES
11.44
N90 00' 00.00"E

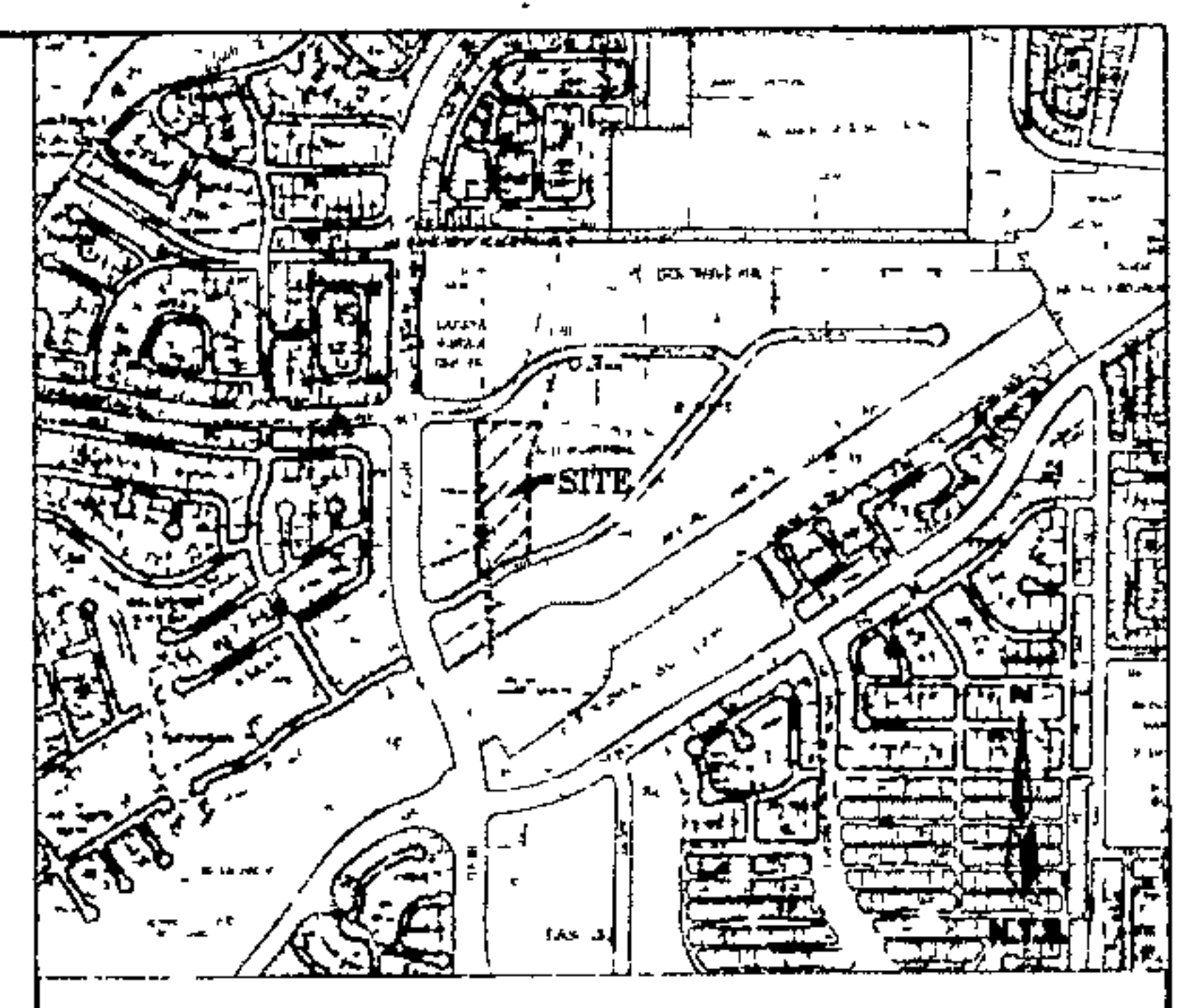
CHANGE DUAL METER
TO SINGLE 1" WATER
SERVICE METER

EASEMENT DESCRIPTION

- (B) EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
- (C) EXISTING 25' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (D) EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (3/16/1953, BOOK MISC D 235, PGS 619-622)
- (E) EXISTING 50' PNM EASEMENT (1/22/2004, 2004C-24)
- (F) EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/2004, 2004C-24)
- (G) EXISTING 30' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (H) EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- (J) EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)

Ⓢ SEWAGE LIFT PUMP REQUIRED

NOTE: ALL SEWER SERVICE TO EACH BUILDING TO BE 6" DIAMETER



VICINITY MAP ZONE MAP H-9-Z

ACS BENCHMARK

ACS MONUMENT "2-H" HAVING AN ELEVATION OF 5297.23 (NGVD29)

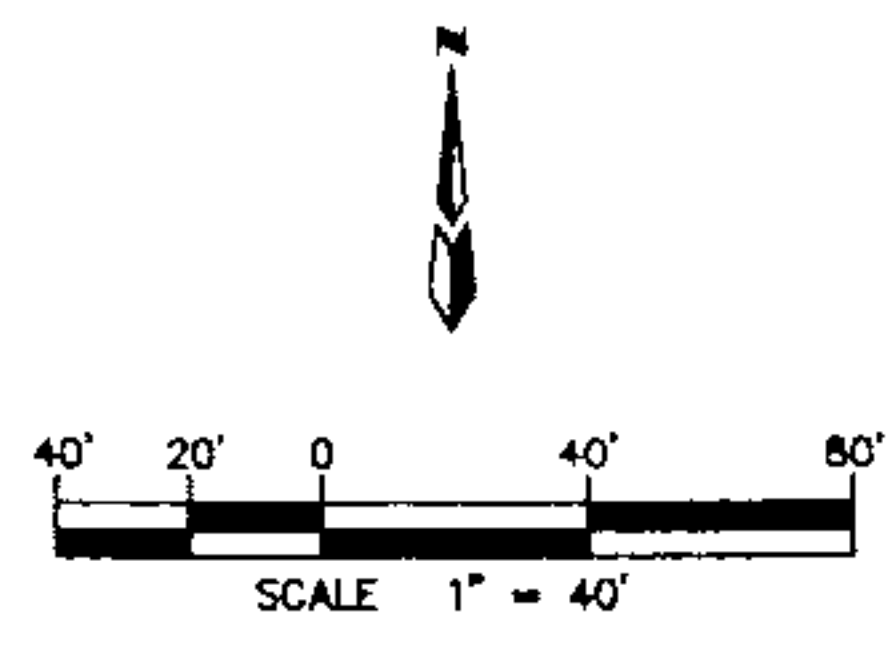
LEGAL DESCRIPTION

TRACTS TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), AND TWENTY-NINE (29), OF "LADERA BUSINESS PARK, UNIT 2" AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11 2004 IN BK 2004C, PAGE 325.

1 PROPERTY CURRENTLY ZONED SU-1

LEGEND

- EXISTING CURB
- C=50.02 CU EXISTING TOP OF CURB
- C=50.01 CU EXISTING FLOWLINE
- EXISTING SPOT ELEVATION
- STANDARD 8" CURB & GUTTER
- 28.53' PROPOSED SPOT ELEVATION
- FF= 30.38 FINISHED PAD ELEVATION
- NEW BUILDINGS
- PROPOSED PROPERTY LINE
- NEW 6" SAS PROPOSED SAS SERVICE LINE
- 3/4" WL PROPOSED WATER SERVICE LINE
- 1.31% PROPOSED LEVEL OF FLOW OF SAS



**LADERA BUSINESS PARK
CONCEPTUAL UTILITY PLAN**

dmg MARK GOODWIN & ASSOCIATES, P A
CONSULTING ENGINEERS
P O BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed BJC	Drawn CAR	Checked JMM	Sheet 3 of 3
Scale 1" = 40'	Date 01/22/07	Job A6095	

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Robby L. Roberson PHONE: 833-1840
 ADDRESS: 7700 Oway NW FAX: 833-1842
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Mark Goodwin & Associates, PA PHONE: 828-2200
 ADDRESS: P.O. Box 90606 FAX: 797-9539
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: billy@goodwinengineers.com

DESCRIPTION OF REQUEST: Ladera Business Park, Unit 2 - Preliminary & Final Plat
Approval and Site plan for Subdivision Amendment

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 20-23 Block: _____ Unit: 2
 Subdiv. / Addn. Ladera Business Park
 Current Zoning: SU-1 for light industrial USES Proposed zoning: same
 Zone Atlas page(s): H-9 No. of existing lots: 4 No. of proposed lots: 2
 Total area of site (acres): 4.9489 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. See Attached - 100905949329041507 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Unsur Blvd NW
 Between: Vista Oriente St. NW and La Morada Place NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1001523,
02DRB-00518

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Billy G. Stolsby DATE 2/20/07
 (Print) Billy Stolsby, PE Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB-00207</u>	<u>RIF</u>	_____	<u>\$285.00</u>
<u>07DRB-00208</u>	<u>ASPS</u>	_____	<u>\$50.00</u>
_____	<u>CME</u>	_____	<u>\$20.00</u>
_____	_____	_____	\$_____
_____	_____	_____	\$_____
_____	_____	_____	\$_____
			Total <u>\$355.00</u>

Hearing date 2/28/07

Sandy Handley, 02/20/07

Project #

1001523

Pratt & Whitney

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Billy Goodshy, PE Applicant name (print)
Billy J. Goodshy Applicant/signature / date
2/20/07 date



Form revised JUNE 2005

Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
07DRB-00208
Sandy Handley 02/20/07
 Planner signature / date
 Project # 1001523

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
 - DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
 - DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

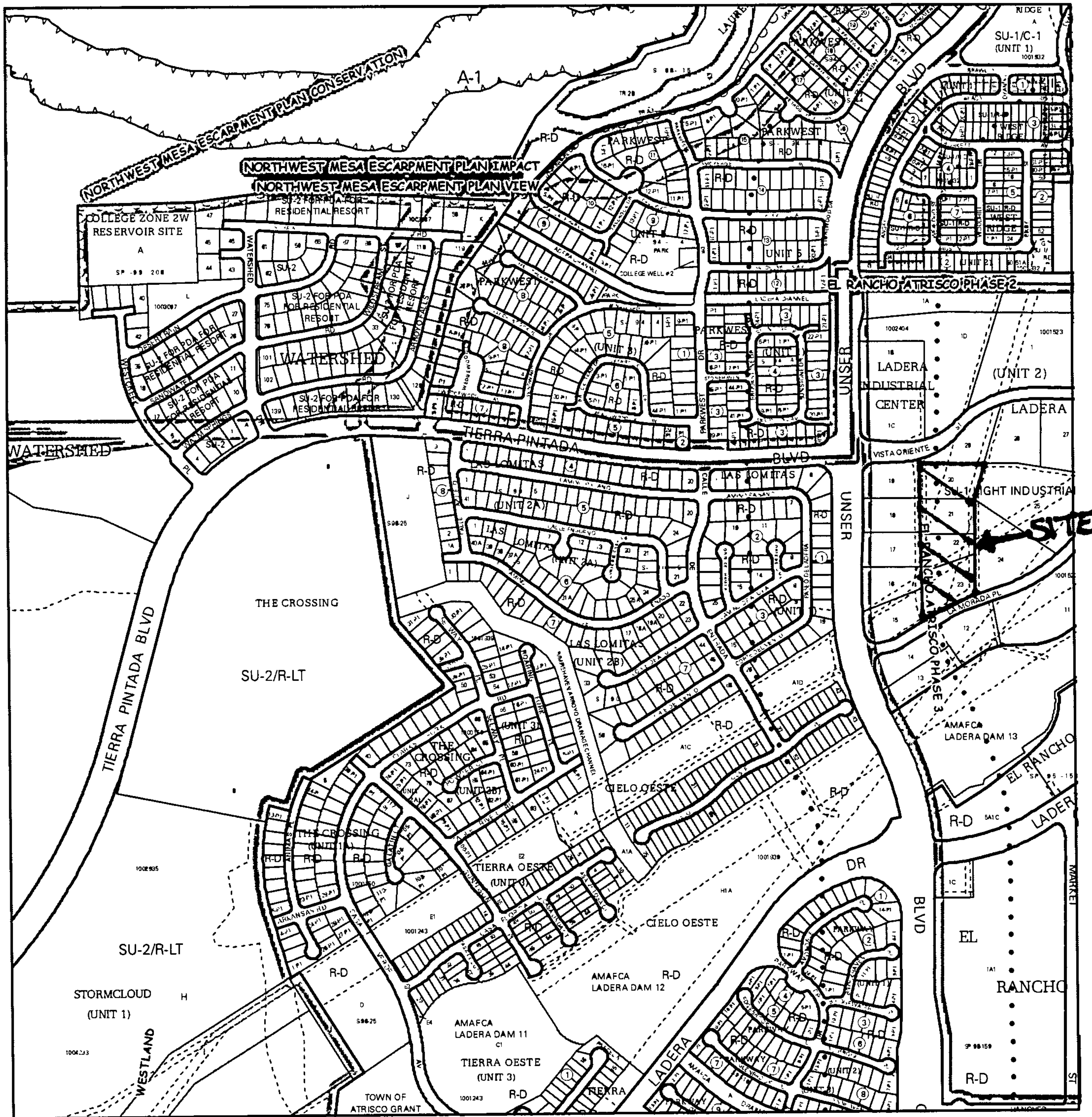
Billy Gooksby, PE
Applicant name (print)

Billy Gooksby 2/20/07
Applicant signature / date

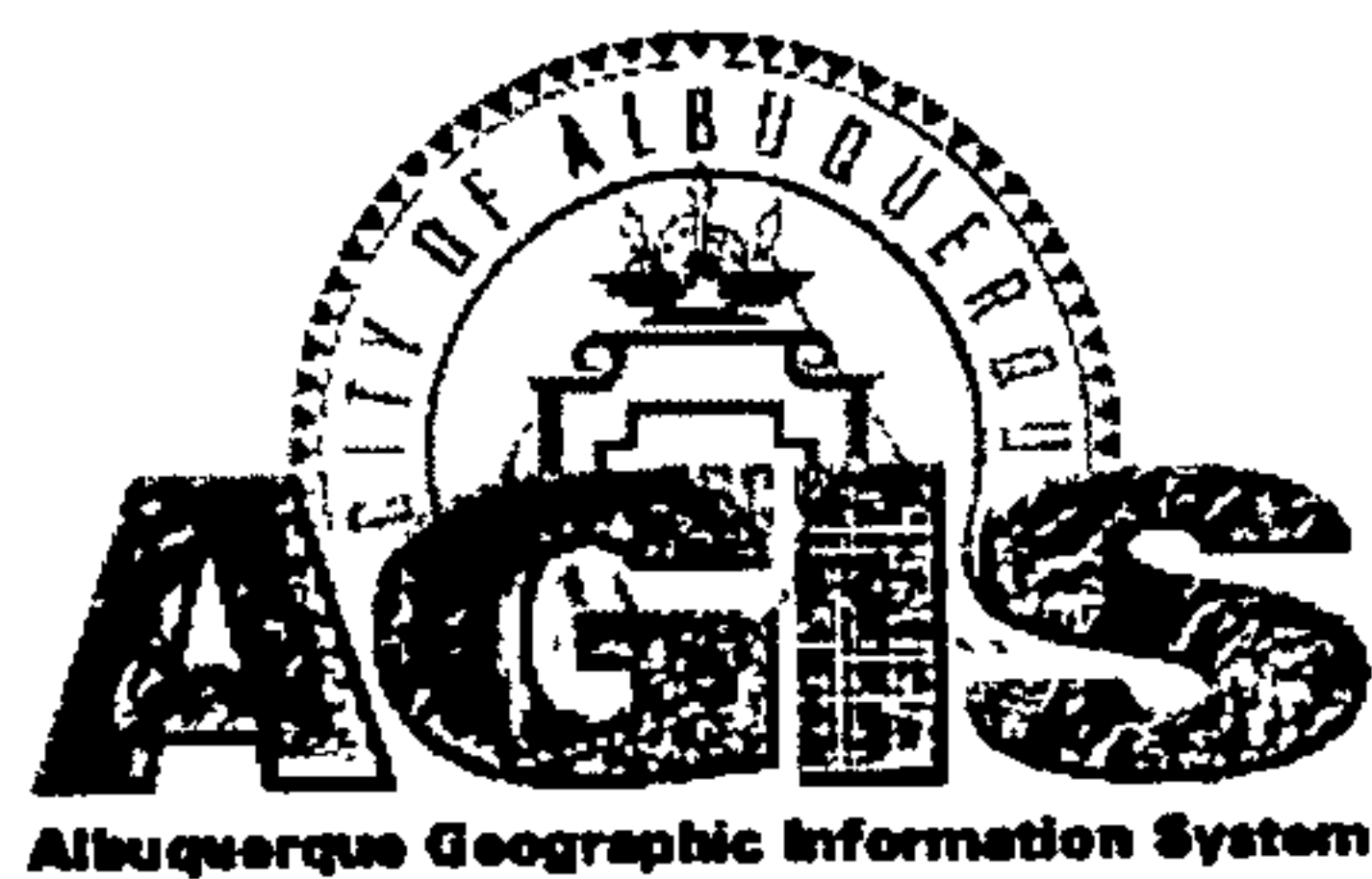


Form revised 8/04, 1/05, 10/05 & NOV-06

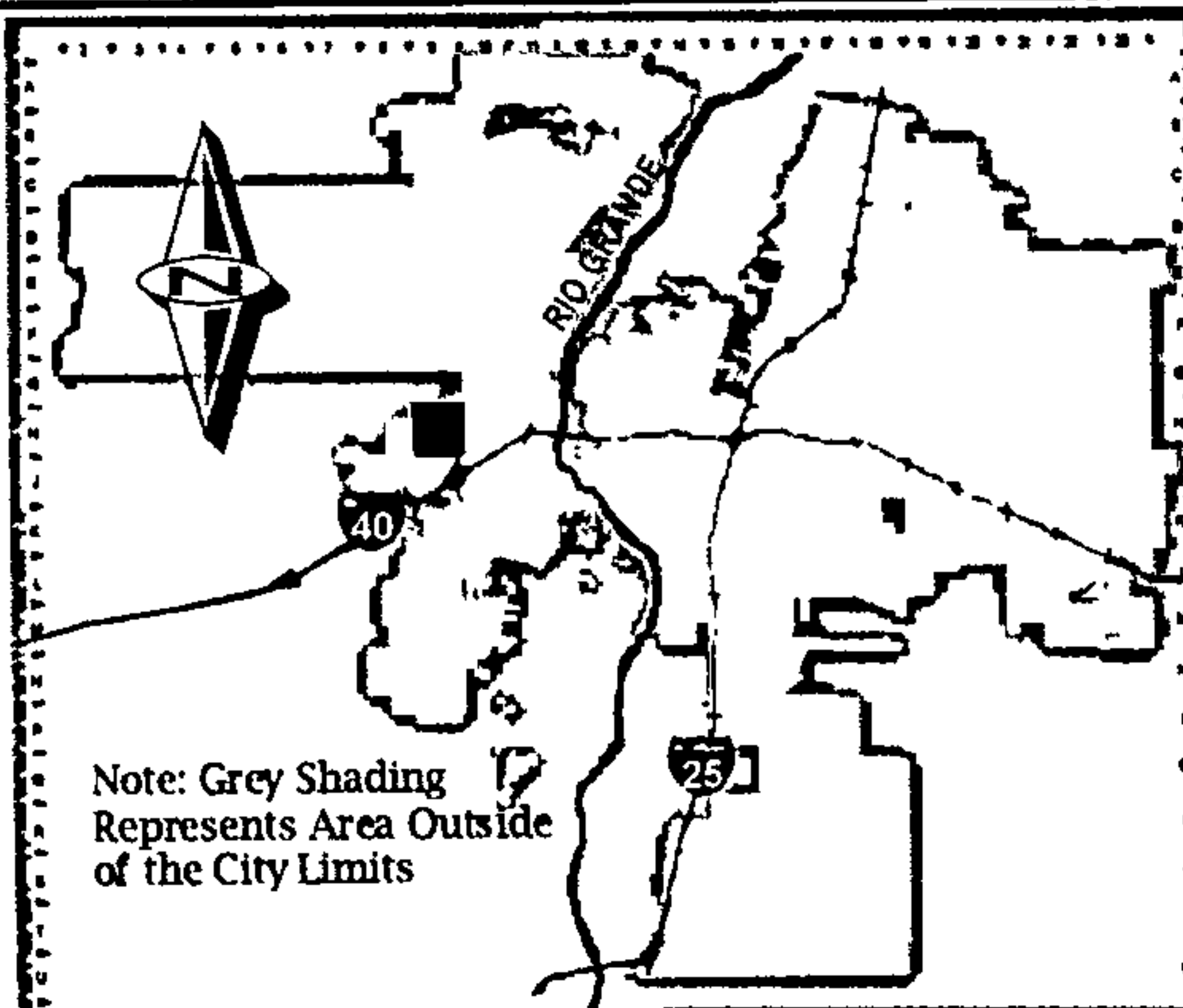
- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
07DRB - 00201
Sandy Handley 02/20/07
 Planner signature / date
Project # 1001523



For more current information and more details visit <http://www.cabq.gov/gis>



Map amended through: 1/9/2007



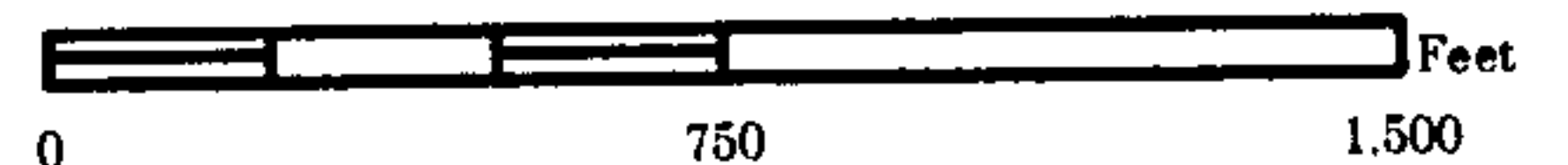
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

H-09-Z

Selected Symbols

- | | | | |
|--|----------------------|--|------------------------|
| | SECTOR PLANS | | Escarpment |
| | Design Overlay Zones | | 2 Mile Airport Zone |
| | City Historic Zones | | Airport Noise Contours |
| | H-1 Buffer Zone | | Wall Overlay Zone |
| | Petroglyph Mon. | | |



Tracts 20-A And 20-B Ladera Business Park, Unit 2

Amendment for Stie Plan	\$50
Minor Subdivision Plat (+\$70/lot)	\$145+\$140
Conflict Management	\$20
Total	\$355

100905949329041507

10090594327241508

100905949325641509

100905949223641503



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

February 20, 2007
Ms. Sheran Matson
DRB Chair
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Tracts 20-A and 20-B Ladera Business Park, Unit 2

Dear Ms. Matson:

Attached hereto is our request for approval of the Amended Site Plan and Preliminary & Final Plat for the referenced project.

The requested action will subdivide 1 Tracts into 2 Tracts. Zoning for this 4.9489 acre site is SU-1. The perimeter streets are existing and are classified as private. Construction of internal sidewalks will be done at time of Building Permit.

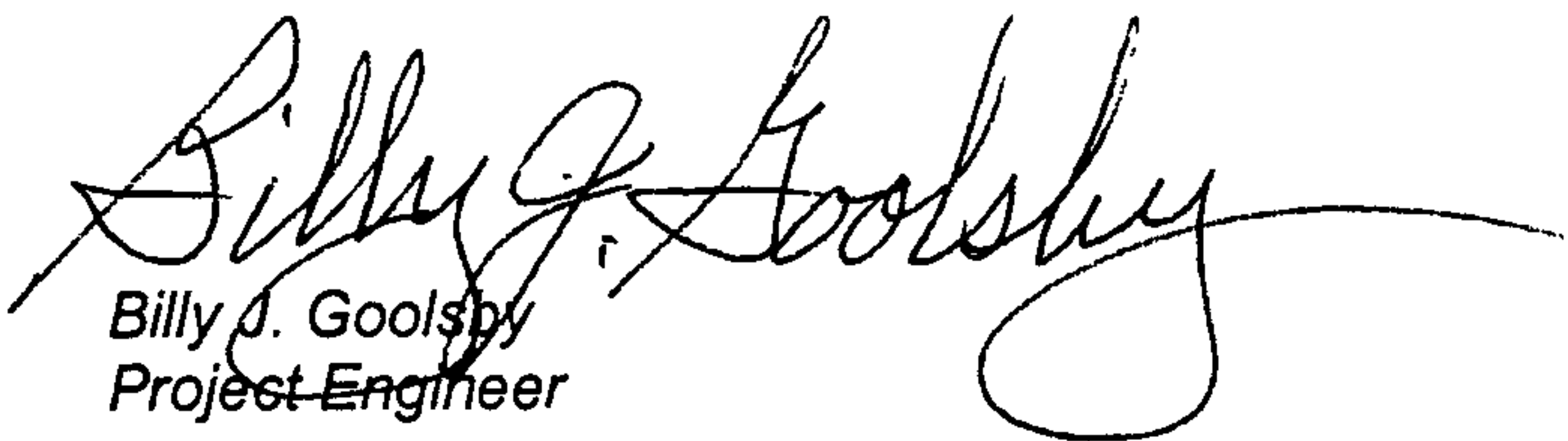
Water and sewer service to this site are existing in the existing roadways with stubouts to the existing lots. Final location connection will be determined at the time of Site Plan approval for building permit.

Included in this package is a Conceptual Grading and Drainage Plan. Free discharge from the site is allowable based on the Master Plan for Ladera Business Park, previously approved. Public utility easements are to be granted with this platting action.

Please feel free to call me if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA



Billy J. Goolsby
Project Engineer

BJG/bg

*Roberson Companies
7700 Ouray NW
Albuquerque, NM 87120*

February 20, 2007

*City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102*

Re: *Ladera Business Park, Tracts 20A & 20B*

To Whom It May Concern:

I Robby L. Roberson as owner of the above referenced property, hereby authorize Mark Goodwin & Associates to act as agent on my behalf. Should you need further assistance regarding this matter, you may contact myself or Mark Goodwin & Associates.

Sincerely,



*Robby L. Roberson
Owner / President ROB-O-CO, Inc.*

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
 Development & Building Services

PAID RECEIPT

APPLICANT NAME ROBBY L. ROBERSKI
 AGENT MARK GOODWIN & ASSOC.
 ADDRESS PO BOX 90606
 PROJECT & APP # 1001523 / 07 DRB 00207, 00208
 PROJECT NAME LADERIA BUSINESS PARK TR 20-23

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 335.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study

\$ 355.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ROBERSON CONSTRUCTION COMPANY, INC.

7700 ORRAY NW (505) 833-1840
 ALBUQUERQUE, NM 87120

FIRST NATIONAL BANK OF SANTA FE
 ALBUQUERQUE, NM 87110
 95-44-1070

HUNDRED FIFTY FIVE AND NO/100 Dollars

DATE: 2-20-07
 AMOUNT: \$355.00
 DUPLICATE
 Of Albuquerque
 Treasury Division

2/20/2007 12:21PM LOC: ANNX
 RECEIPT# 00076362 WSH 007 IRANSH 0053
 Account 441006 Fund 0110
 Activity 498300 TRSMSP
 Trans Amt \$355.00
 J24 Misc \$335.00
 CHANGE \$20.00

⑈005625⑈ +⑈107000440⑈ 267001975⑈

Thank You

5625

2/20/2007 12:21PM
 RECEIPT# 00076362 WSH 007 IRANSH 0053
 Account 441006 Fund 0110
 Activity 498300 TRSMSP
 Trans Amt \$355.00
 J24 Misc \$20.00

DUPLICATE

68-6700180

Details on back

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Robby Roberson
AGENT Mark Goodwin
ADDRESS P.O. BOX 90606
PROJECT & APP # 1001523/07DRB-00341
PROJECT NAME Ladera Business Park

\$ _____ 441032/3424000 Conflict Management Fee
\$ 50.00 441006/4983000 DRB Actions *Reposal fee*
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

3/19/2007 3:09PM LOC: ANNX
RECEIPT# 00078174 WSH# 007 TRANSH# 0048
Account 441006 Fund 0110
Activity 4983000 TRSMSP
Trans Amt \$505.00
J24 Misc \$50.00
CK \$485.00
CK \$20.00
CHANGE \$0.00

Senova, Claire A.

From: John MacKenzie [John@goodwinengineers.com]
Sent: Wednesday, March 07, 2007 9:45 AM
To: Senova, Claire A.
Cc: Billy Goolsby; Matson, Sheran A.
Subject: Ladera BP, Lot 20-22 (07DRB-00208 and 07-DRB-00207) Project # 1001523

Claire,

As we discussed at the front counter yesterday, I am requesting that case 07DRB-00208 be withdrawn due to the fact that we are requesting an AA approval from the Planning Director instead of DRB. The AA package to the director was submitted yesterday.

For 07DRB-00207 we are requesting indefinite deferral, until such time that the AA is approved and we can go back on the agenda for minor subdivision and Site Plan for BP approval. My office will call you to request that this case go back on the agenda from its indefinite deferral status. It's understood that the call needs to be made to you before the Tuesday noon deadline in order for it to be on the DRB agenda for the following week.

*John MacKenzie, PE
Mark Goodwin and Associates, PA
Phone: 505-828-2200
Fax: 505-797-9539
john@goodwinengineers.com*

Senova, Claire A.

From: John MacKenzie [John@goodwinengineers.com]
Sent: Tuesday, February 27, 2007 12:53 PM
To: Lisa Anglada
Cc: Billy Goolsby; Susan Rasinski; Senova, Claire A.
Subject: RE: Ladera Business Park, Unit 2 (1001523)

3/14

I believe the fee should be \$50. Claire gives us a discount because we are her favorite agent/engineer.

John MacKenzie, PE
Mark Goodwin and Associates, PA
Phone: 505-828-2200
Fax: 505-797-9539
john@goodwinengineers.com

From: Lisa Anglada
Sent: Tuesday, February 27, 2007 10:31 AM
To: CSenova@cabq.gov
Cc: Billy Goolsby; John MacKenzie; Susan Rasinski
Subject: Ladera Business Park, Unit 2 (1001523)

Claire,

At the applicant's request, we would like to defer the referenced project two weeks to March 14, 2007. The project is Item #5 on the February 28, 2007 Agenda. We will deliver the Deferral Fee of \$110 prior to being heard.

Please call with any questions.

Lisa Anglada
Administrative Assistant
Mark Goodwin and Associates, P.A.
T (505) 828-2200
F (505) 797-9539
lisa@goodwinengineers.com

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 1443
CONNECTION TEL 9p7979539
SUBADDRESS
CONNECTION ID
ST. TIME 02/26 16:12
USAGE T 00'44
PGS. 2
RESULT OK



DEVELOPMENT REVIEW BOARD
FAX FORM

TO: Silley Goolsby
FAX NUMBER: 797-9539 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: _____

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1001523 APPLICATION NO: _____

Ladera Business Park.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
February 26, 2007
DRB Comments**

ITEM # 5

PROJECT # 1001523

APPLICATION # 07-00208 & 00207

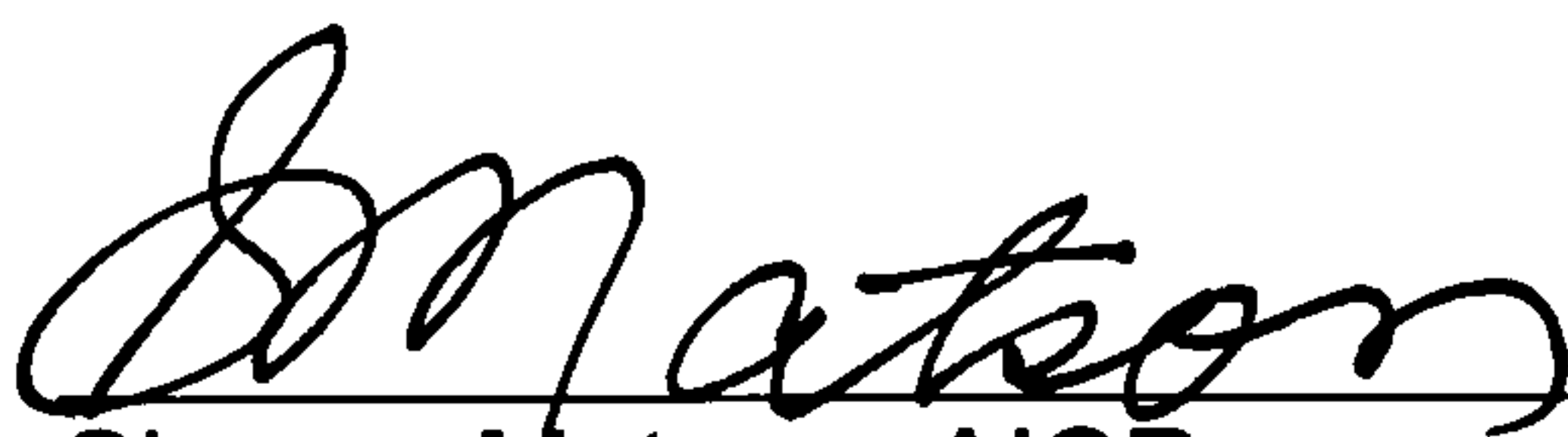
RE: Tracts 20-23, Ladera Business Park, Unit 2/spsp & minor plat

The Ladera Business Park Site Plan for Subdivision is an EPC approved site plan. DRB has no authority to approve the proposed amendments. The amended site plan does not reflect the proposed changes. An administrative amendment application for EPC approval must be submitted and approved before DRB can approve a replat per the Subdivision Ordinance.

Planning cannot comment on nor approve the platting request until the EPC AA is approved.

The zoning is actually SU1 for IP. The plat should reflect this zoning.

The SU1 for IP zoning requires a site plan for building permit at the time of platting unless the applicant has a good reason for delaying this requirement of the Subdivision Ordinance.



Sheran Matson, AICP

DRB Chair

924-3880 fax 924 3864

smatson@cabq.gov



VISTA ORIENTE

UNSER

H9

5
1001523
02/28/2007

SU-4

2119
19

2120
20

2116
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2108
22

2105
18

2100
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2101
15

7900
12

7920

29