

LEGAL DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Tracts Twenty (20), Twenty-One (21), Twenty-Two (22), and Twenty-Three (23), of "LADERA BUSINESS PARK, UNIT 2" as the same is shown and designated on the map of said Plat, Filed in the office of the County Clerk of Bernalillo County, New Mexico on October 11, 2004, in BK. 2004C, Page 325.

PURPOSE OF PLAT

1. Subdivide four (4) Tracts into two (2) Tracts.

NOTES

1. FIELD SURVEY PERFORMED IN AUGUST 2006.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE ACS MONUMENTS SHOWN HEREON, HAVING STATE PLANE COORDINATES (GRID-NAD 27).
4. THE EASEMENTS SHOWN HEREON ARE ONLY THE EASEMENTS AS SHOWN ON THE PLAT OF RECORD. A TITLE COMMITMENT WILL BE REQUIRED TO SHOWN OTHER EASEMENTS.
5. PROPERTY CURRENTLY ZONED: SU-1.
6. ZONE ATLAS PAGE H-9-Z.
7. TALOS LOG # 2007043462.
8. SEE SHEET 3 OF 3 FOR NEW EASEMENTS

**PLAT FOR
TRACTS 20-A, AND 20-B
LADERA BUSINESS PARK, UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
February, 2007**

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1005508

Application Number: 07DRB-00207

PLAT APPROVAL

Utility Approvals:

<u>[Signature]</u> PNM Electric Services	<u>2/13/2007</u> Date
<u>[Signature]</u> PNM Gas Services	<u>2/13/2007</u> Date
<u>[Signature]</u> Qwest Telecommunications	<u>2/13/07</u> Date
<u>[Signature]</u> Comcast	<u>2-13-07</u> Date

City Approvals:

<u>[Signature]</u> City Surveyor	<u>2-14-07</u> Date
<u>NA</u> Real Property Division	<u> </u> Date
<u>[Signature]</u> Traffic Engineering/Transportation Division	<u>5-23-07</u> Date
<u>[Signature]</u> Water Utility Department	<u>4-28-07</u> Date
<u>[Signature]</u> Parks and Recreation Department	<u>4/25/07</u> Date
<u>[Signature]</u> AMAFCFA	<u>4/25/07</u> Date
<u>[Signature]</u> City Engineer	<u>4/25/07</u> Date
<u>[Signature]</u> DRB Chairperson, Planning Department	<u>6/07/07</u> Date

VICINITY MAP 1"=750' ZONE ATLAS: H-9-Z

SUBDIVISION DATA

GROSS ACREAGE 4.9489 Acres
 ZONE ATLAS NO. H-9-Z
 NO. OF EXISTING TRACTS 4
 NO. OF TRACTS CREATED 2
 NO. OF TRACTS ELIMINATED 4
 MILES OF FULL WIDTH STREETS CREATED 0.00
 AREA DEDICATED TO CITY OF ALBUQUERQUE 0.0000 Acres
 DATE OF SURVEY August, 2006
 ZONING SU-1

FREE CONSENT

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Robby L. Roberson, Husband Katherine L. Roberson, Wife
[Signature] 2/8/07 [Signature] 2/8/07
 Robby L. Roberson Date Katherine L. Roberson Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO
 This instrument was acknowledged before me on 2/8/07
 By Robby L. Roberson and Katherine L. Roberson as husband and wife.
[Signature] 12/8/09
 NOTARY PUBLIC MY COMMISSION EXPIRES

Rob-O-co, Inc.
 Robby L. Roberson, President
[Signature] 2/16/07
 Robby L. Roberson, President DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO
 This instrument was acknowledged before me on FEBRUARY 16, 2007
 By Robby Roberson, President, Rob-O-co, Inc. A New Mexico Corporation on behalf of said corporation
[Signature] 4/18/10
 NOTARY PUBLIC MY COMMISSION EXPIRES

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON THE PROPERTY OWNED BY ROB-O-CO, INC. AS OF 2/16/07. ROB-O-CO, INC. IS THE PROPERTY OWNER OF RECORD. LISA ANGLADA, COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.

OFFICIAL SEAL
 LISA ANGLADA
 COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO
4/18/10

2897884166
 8867116
 Page: 1 of 3
 06/07/2007 03:08P
 Bk-2887C Pg-155

SURVEYOR'S CERTIFICATION:

"I, Will Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

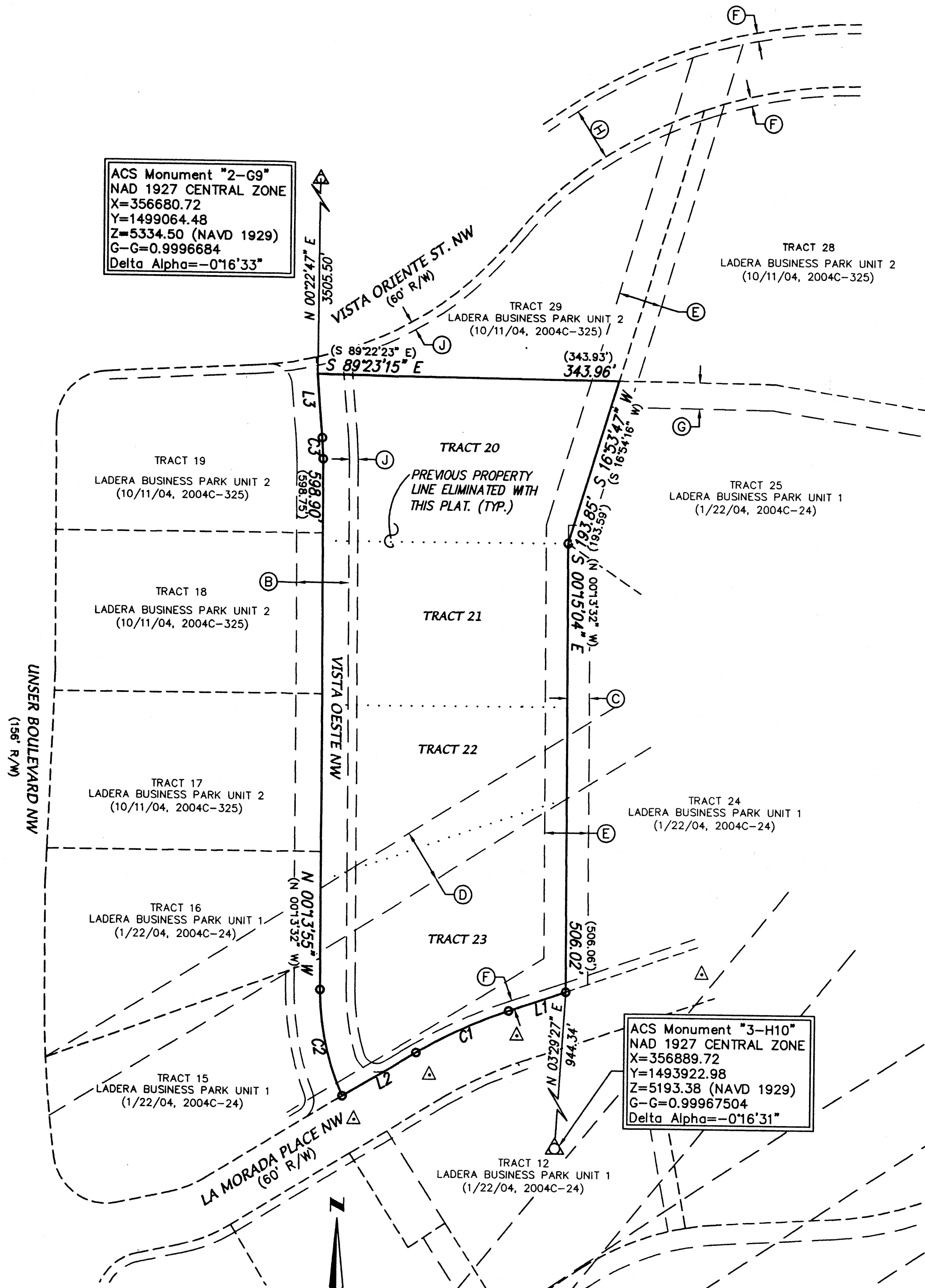
[Signature] 2/13/07
 Will Plotner Jr. N.M.P.S. No. 14271 Date

CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 898-3050 Fax (505) 891-0244



PLAT FOR
TRACTS 20-A, AND 20-B
LADERA BUSINESS PARK, UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
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 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 May, 2007

ACS Monument "2-G9"
 NAD 1927 CENTRAL ZONE
 X=356680.72
 Y=1499064.48
 Z=5334.50 (NAVD 1929)
 G-G=0.9996684
 Delta Alpha=-0°16'33"



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	116.23' (116.23')	530.00' (530.00')	12°33'53"	58.35'	S64°47'41"W	115.99'
C2	125.61' (125.62')	300.00' (300.00')	23°59'23"	63.74'	S12°13'37"E	124.69'
C3	24.11' (24.11')	300.00' (300.00')	4°36'14"	12.06'	N02°32'02"W	24.10'

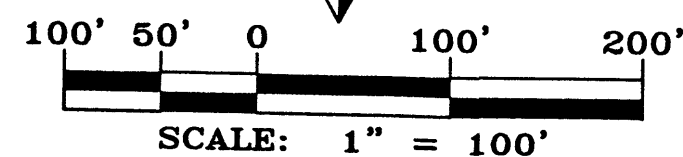
LINE TABLE

LINE	BEARING	LENGTH
L1	S71°04'37"W (S 71°05'01" W)	68.65' (68.57')
L2	S58°30'44"W (S 58°31'08" W)	98.30' (98.24')
L3	N04°50'09"W (N 04°49'46" W)	73.59' (73.59')

EXISTING EASEMENTS

- (B) EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
- (C) EXISTING 25' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (D) EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (3/16/1953, BOOK MISC. D 235, PGS. 619-622)
- (E) EXISTING 50' PNM EASEMENT (1/22/2004, 2004C-24)
- (F) EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/2004, 2004C-24)
- (G) EXISTING 30' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (H) EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- (J) EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND REBAR WITH CAP "LS 14730" UNLESS OTHERWISE INDICATED
- SET BATHEY MARKER "LS 14271"
- △ ALBUQUERQUE CENTERLINE MONUMENT



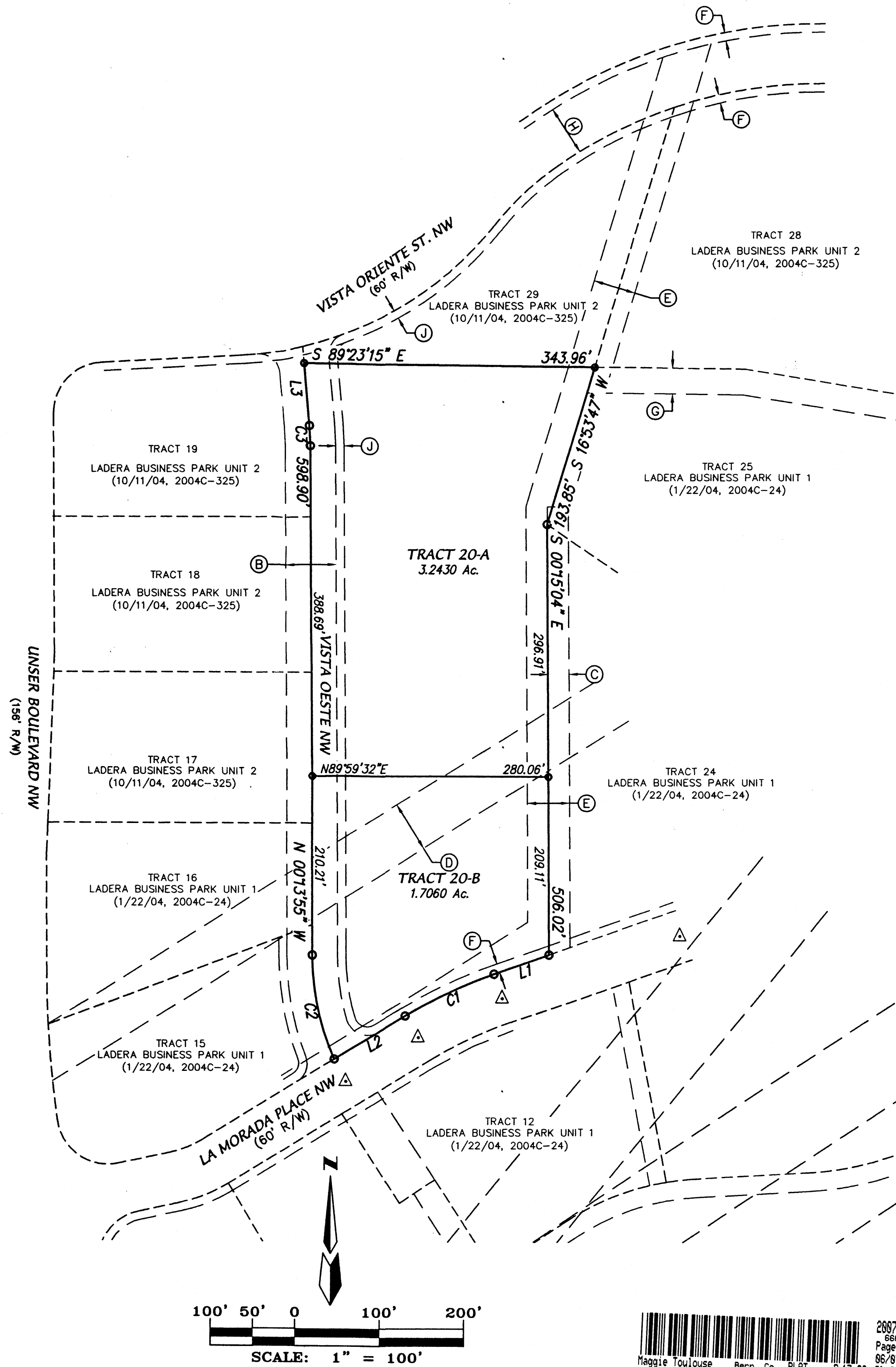
CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



A06095_Platbase.dwg	Drawn: SPS	Checked: CSI	Sheet 2 of 3
Scale: AS SHOWN	Date: 5/29/2007	Job: A06095	2 3

PLAT FOR
TRACTS 20-A, AND 20-B
LADERA BUSINESS PARK, UNIT 2
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 May, 2007



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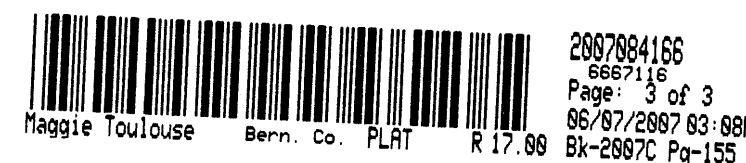
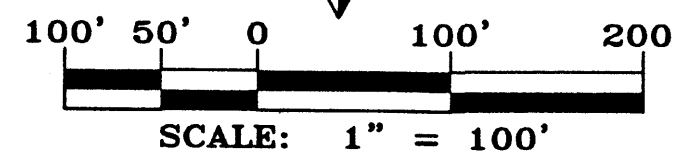
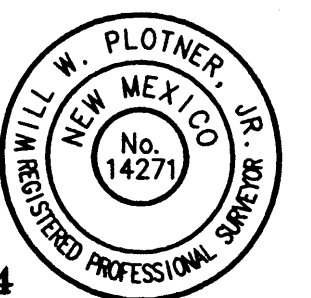
NEW EASEMENTS

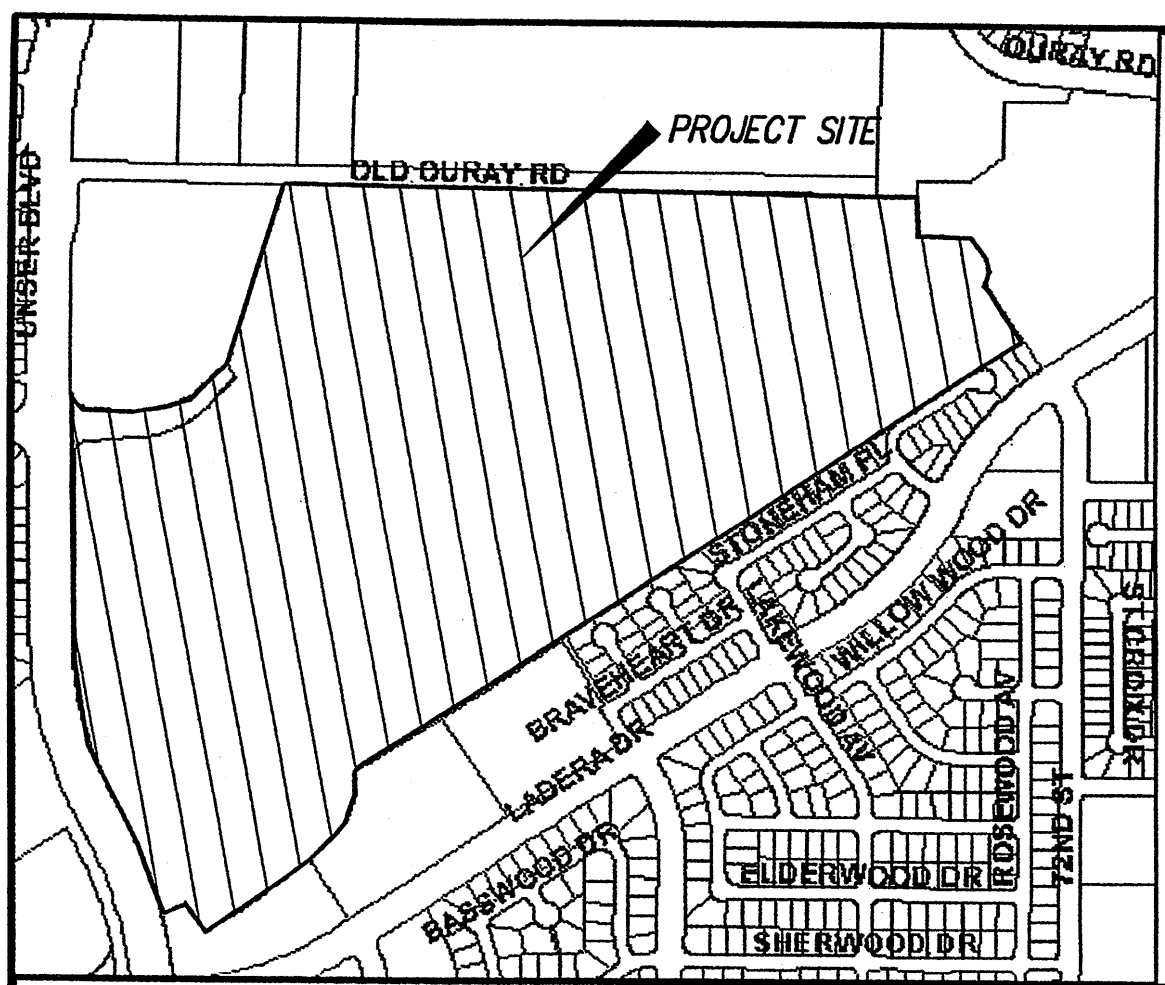
A RECIPROCAL CROSS-LOT ACCESS EASEMENT ACROSS TRACTS 29, 20-A AND 20-B, THROUGH DRIVEWAYS AND PARKING AREAS, TO BE MAINTAINED AND BENEFIT BY THE OWNERS OF TRACTS 29, 20-A AND 20-B, GRANTED BY THIS PLAT.

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND REBAR WITH CAP "LS 14730" UNLESS OTHERWISE INDICATED
- SET BATHEY MARKER "LS 14271"
- △ ALBUQUERQUE CENTERLINE MONUMENT

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 898-3050 Fax (505) 891-0244





VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER

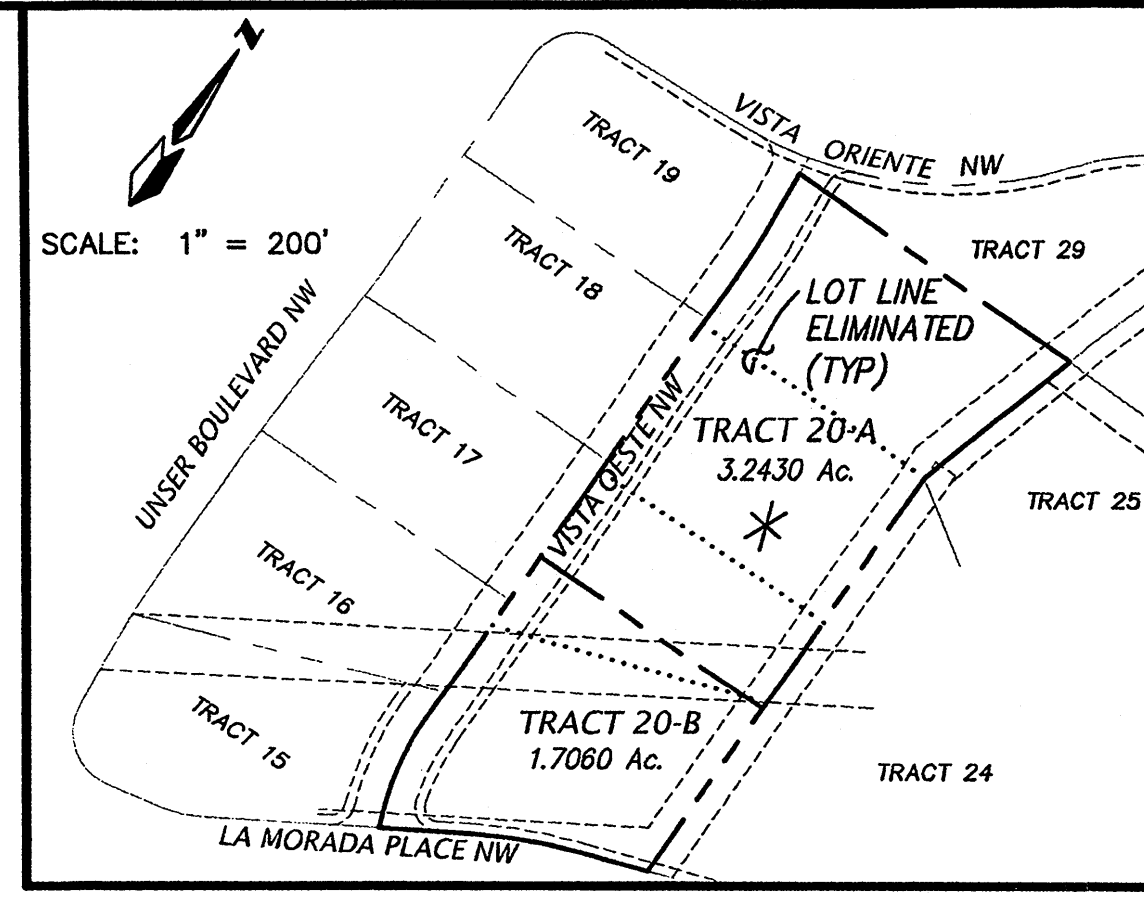
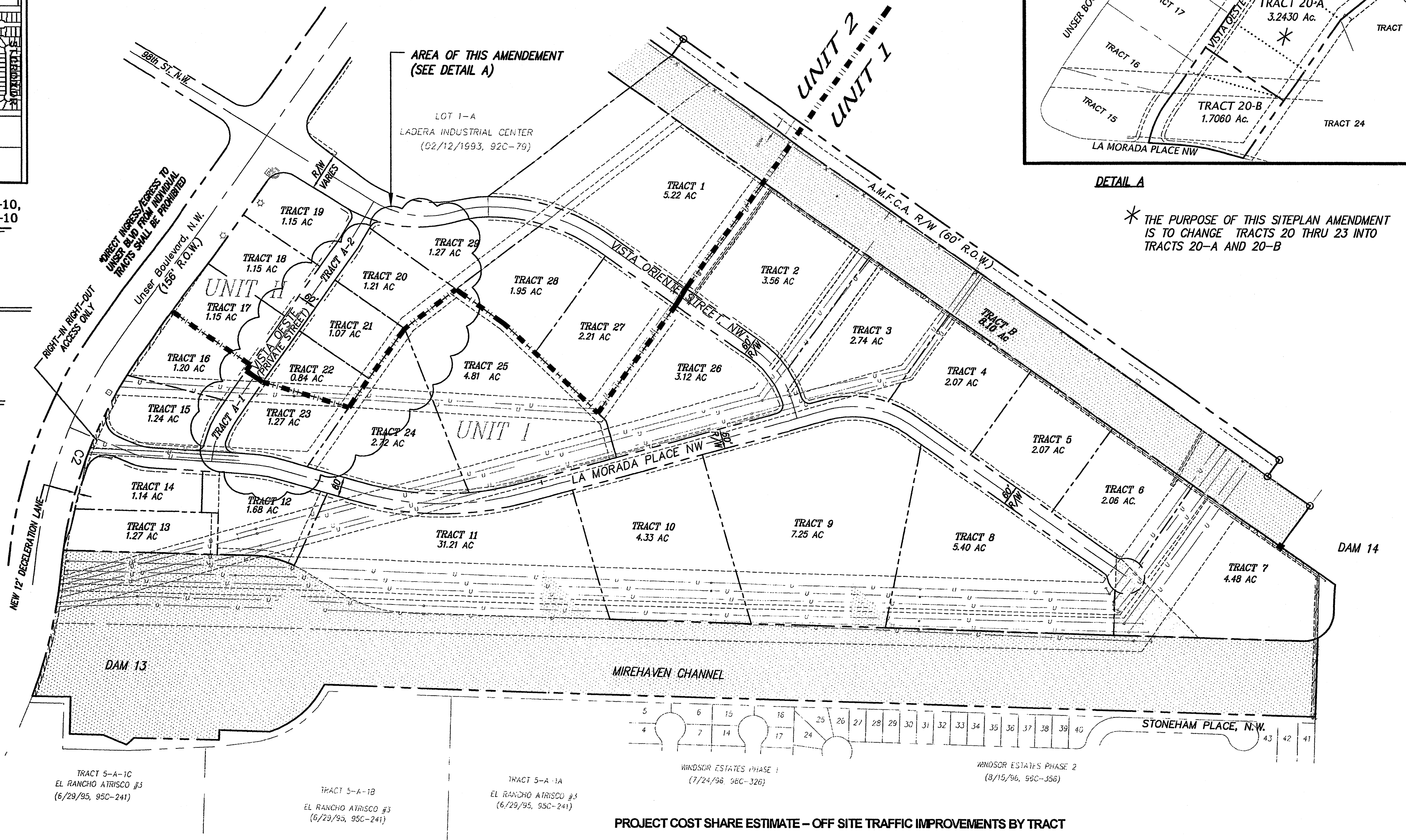
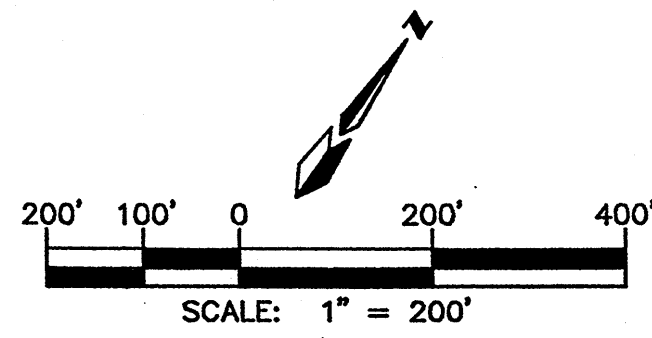
UNSER-98th ST. PARTNERSHIP, LLC
P.O. BOX 90548
ALBUQUERQUE, NEW MEXICO 87199
(505) 821-1034

PLANNERS

CONSENSUS PLANNING
924 PARK AVE. S.W.
ALBUQUERQUE, NEW MEXICO 87102
(505) 764-8801

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200



SCALE: 1" = 200'
DETAIL A
* THE PURPOSE OF THIS SITEPLAN AMENDMENT IS TO CHANGE TRACTS 20 THRU 23 INTO TRACTS 20-A AND 20-B

SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER. SITE AREA IS 116.6 ACRES PRIOR TO ANY R/W DEDICATIONS.

PROPOSED USE

THE SITE IS ZONED SU-1 FOR LIGHT INDUSTRIAL USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS: PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNSER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.

VEHICULAR ACCESS: VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS: A BIKE TRAIL CURRENTLY EXISTS ALONG UNSER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT: AS THIS SITE DEVELOPS ALONG THIS PORTION OF UNSER BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN: THE DESIGN GUIDELINES ON SHEET 2 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH ZONE BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.

APPROVED AND ACCEPTED BY:

Project No. 1001523

Application No. _____

Planning Department/ DRB Chair _____

City Engineer _____

Transportation Development _____

Utility Development _____

Parks and Recreation _____

PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

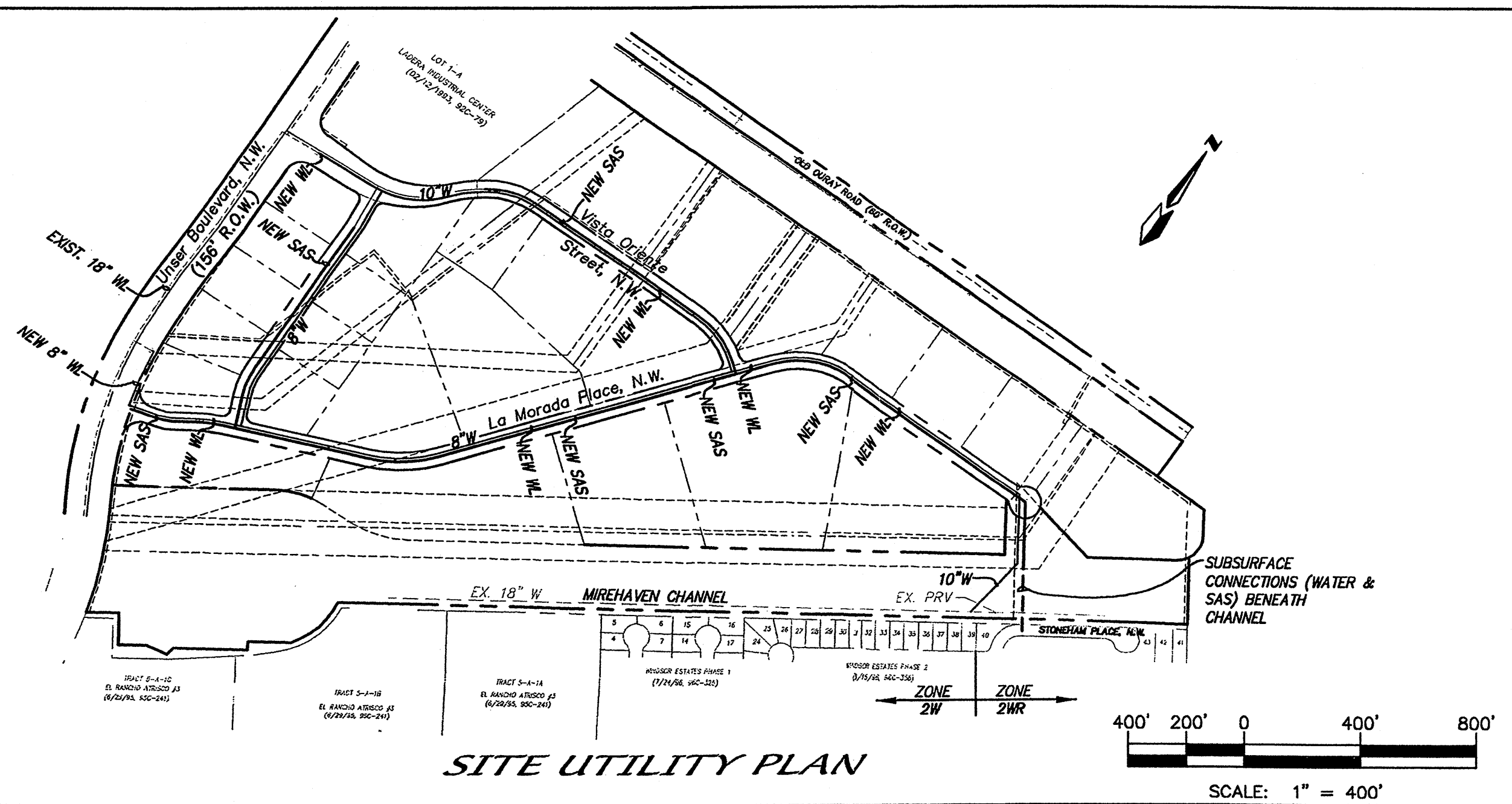
TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	5.22	6.88	3,743.72	16	1.20	1.58	859.75
2	3.56	4.69	2,552.04	17	1.15	1.52	827.10
3	2.74	3.61	1,964.37	18	1.15	1.52	827.10
4	2.07	2.73	1,485.52	19	1.15	1.52	827.10
5	2.07	2.73	1,485.52	20	1.21	1.60	870.63
6	2.06	2.72	1,480.08	21	1.07	1.41	767.25
7	4.48	5.91	3,215.90	22	0.84	1.11	604.00
8	5.40	7.12	3,874.31	23	1.27	1.67	908.72
9	7.25	9.56	5,202.03	24	2.72	3.58	1,953.48
10	4.33	5.71	3,107.07	25	4.81	6.34	3,449.88
11	6.18	8.15	4,434.79	26	3.13	4.13	2,247.32
12	1.68	2.21	1,202.56	27	2.21	2.91	1,583.46
13	1.29	1.70	925.05	28	1.95	2.57	1,388.45
14	1.15	1.52	827.10	29	1.27	1.67	908.72
15	1.24	1.63	886.96				
				TOTAL	75.85		\$54,414.58

ADMINISTRATIVE AGREEMENT
F: 0744-00281 Project # 1001523
Change Tracts 20 thru 23 into Tracts 20-A and 20-B (Detail).
Adjust "Cost Share" table at DRB.
APPROVED BY: _____ DATE: 19 Mar 07

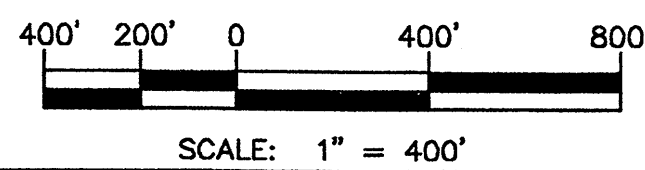
AN INFLATION FACTOR OF 3% PER YEAR SHALL BE APPLIED TO TRACTS DEVELOPING AFTER THE YEAR 2002

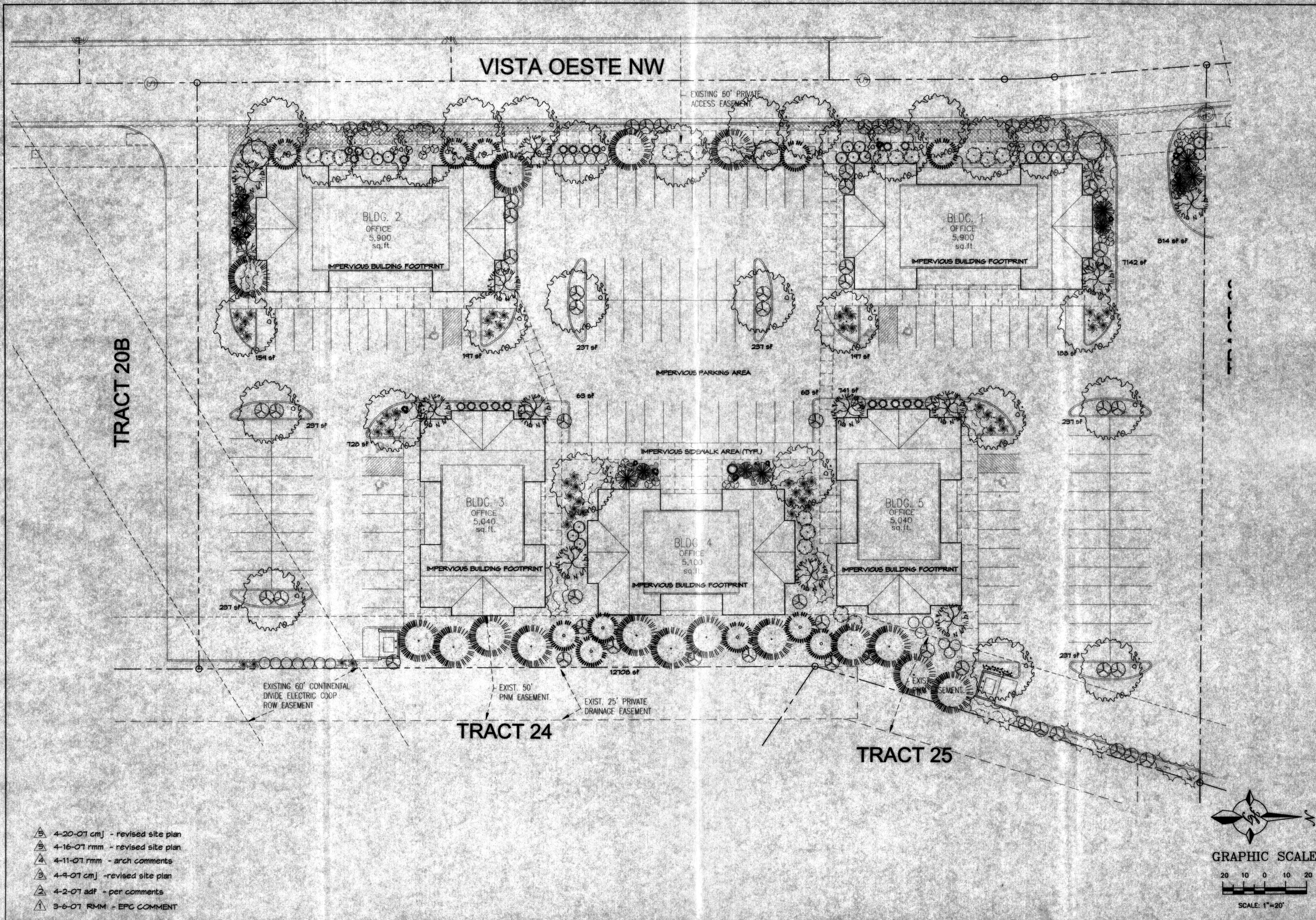
*NET OF DRAINAGE EASEMENT

OFF-SITE TRAFFIC IMPROVEMENTS IDENTIFIED HEREON TO BE PAID BY INDIVIDUAL TRACT OWNERS AT THE TIME OF BUILDING PERMIT ISSUANCE.



SITE UTILITY PLAN



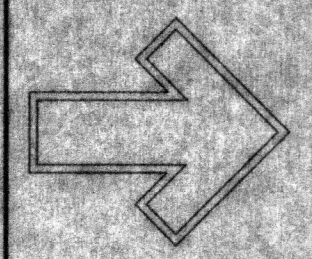


VISTA OESTE NW

TRACT 20B

TRACT 24

TRACT 25



Cont. Lic. #26458
7809 Edith N.E.
Albuquerque, NM 87184
Ph: (505) 898-9990
Fax: (505) 898-7737
cmj@hilltoplandscape.com

LANDSCAPE ARCHITECT'S SEAL

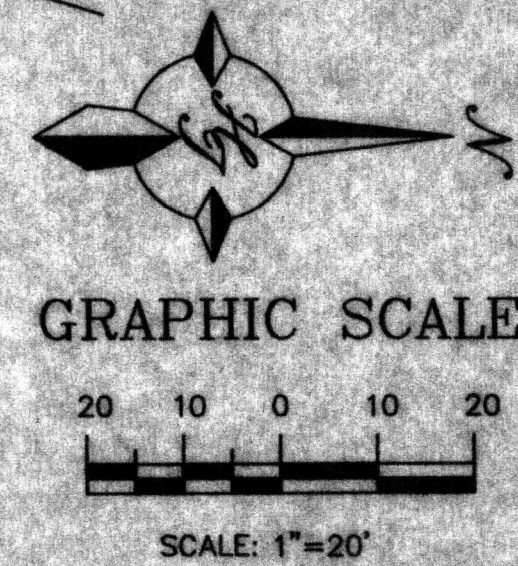
JAMES DE FLOW #0007

LADERA BUSINESS PARK
ALBUQUERQUE, NM
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are not to be used or reproduced in any form without the written consent of the author. This is an original design and must not be copied or reproduced in any form without the written consent of the author.

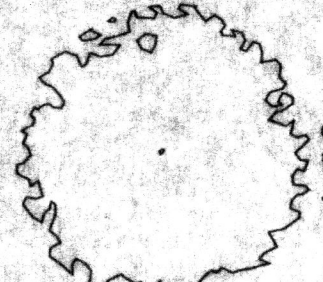
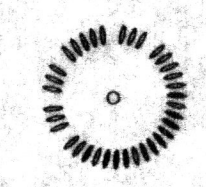
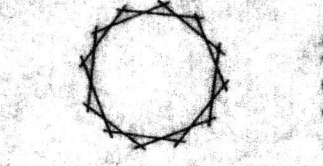
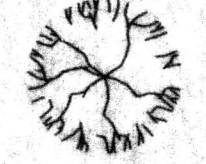
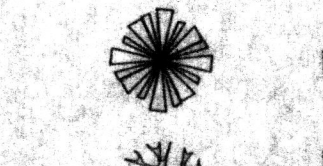
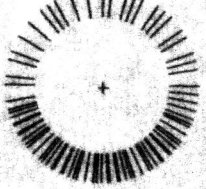
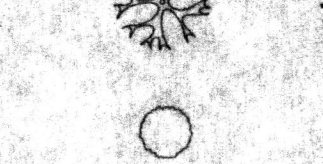
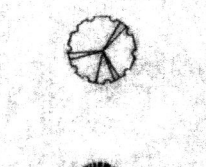
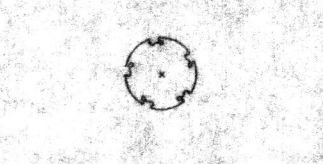

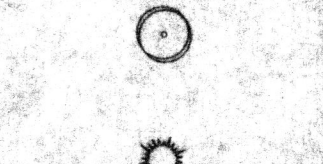
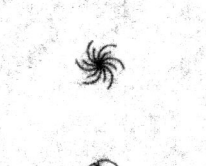

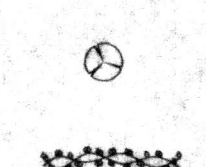

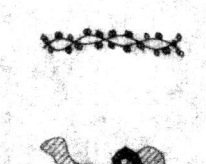
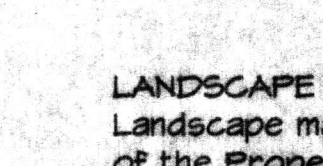
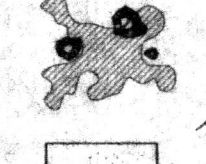


- ④ 4-20-07 cmj - revised site plan
- ④ 4-16-07 rmm - revised site plan
- ④ 4-11-07 rmm - arch comments
- ④ 4-9-07 cmj - revised site plan
- ④ 4-2-07 adf - per comments
- ④ 3-6-07 RMM - EPC COMMENT



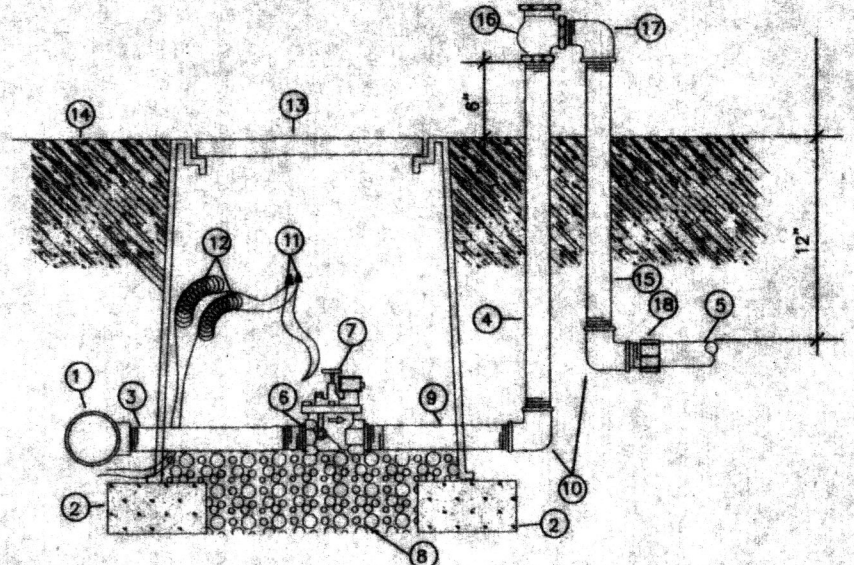
DRAWN BY JD	REVISION # 1	DATE 2-23-07
SHEET # L1 of L2		

PLANT LEGEND

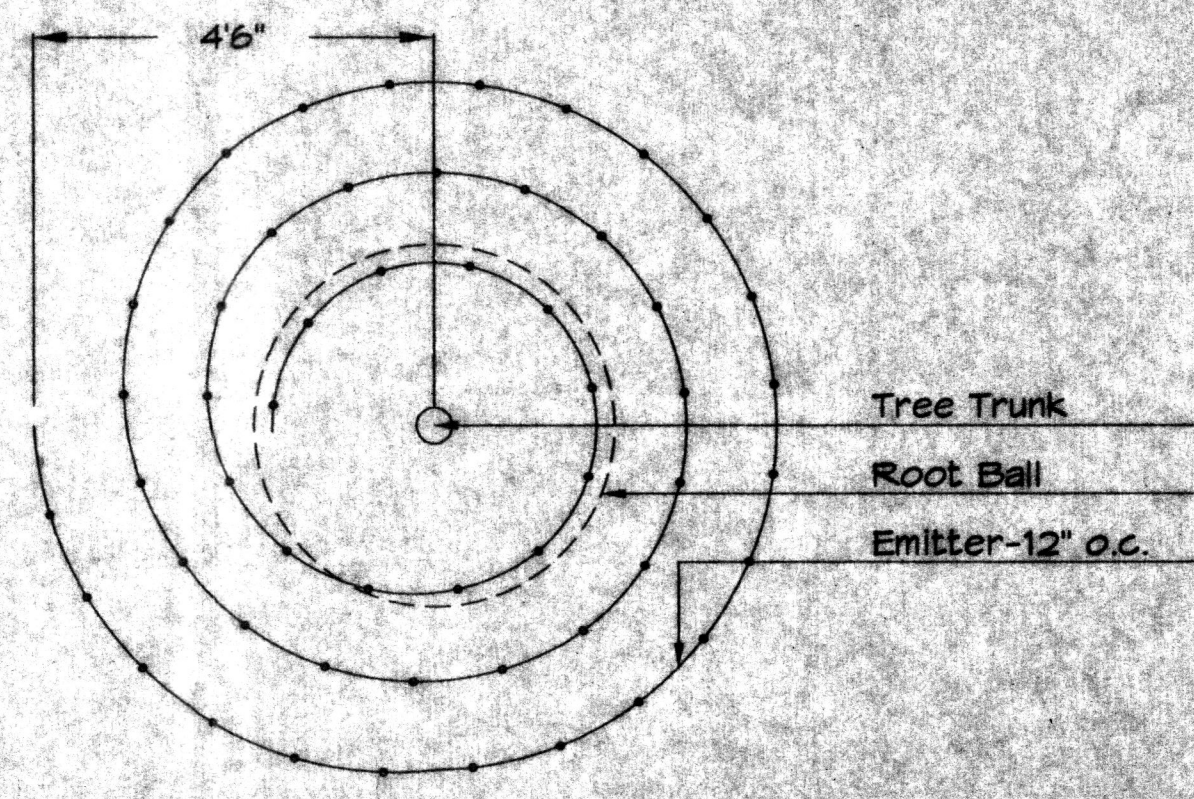
	CHINESE PISTACHE (M) 23 Pistacia chinensis 2 1/2" Cal.		GREEN GIANT ARBORVITAE (M) 11 Thuja plicata x Thuja standishii 10' 100sf
	DESERT WILLOW (L) OR CHITALPA (M) 3 Chilopsis linearis Chilopsis x catalpa 24" Box 225sf		VITEX (M) OR NEW MEXICO OLIVE (M) 12 Vitex agnus-castus Forestiera neomexicana 15 Gal. 225sf
	PALM YUCCA (L) 12		AUSTRIAN PINE (M) 16 Pinus nigra 6'-8'
	ROCKY MOUNTAIN JUNIPER (L+) 2 Juniperus scopulorum 7 Gal.		HONEYSUCKLE (M) 49 Lonicera japonica 'Halliana' 1 Gal. 144sf Unstaked-Groundcover
	APACHE PLUME (L) 18 Falugia paradoxa 5 Gal. 25sf		MUGO PINE (M) 1 Pinus mugo 5 Gal. 4sf
	BUTTERFLY BUSH (M) 18 Buddleia davidii 5 Gal. 100sf		MAIDEN GRASS (M) 52 Miscanthus sinensis 5 Gal. 16sf
	RUSSIAN SAGE (M) 21 Perovskia atriplicifolia 5 Gal. 36sf		WILDFLOWER 29 1 Gal. 4sf
	SCOTCH BROOM (M) 22 Cytisus scoparius 5 Gal. 16sf		TRUMPET VINE (M) 1 Campsis radicans 1 Gal. 400sf
	LADY BANK'S ROSE (M) 12 Rosa banksiae 5 Gal. 200sf Unstaked Groundcover		OVERSIZED GRAVEL # 15 BOULDERS 34" depth SANTA FE BROWN GRAVEL WITH FILTER FABRIC N/A H/2/10/2

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	152685	square feet
TOTAL BUILDINGS AREA	27440	square feet
OFFSITE AREA	1251	square feet
NET LOT AREA	125245	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	18787	square feet
TOTAL BED PROVIDED	24954	square feet
GROUNDCOVER REQ.	75%	
TOTAL GROUNDCOVER REQUIREMENT	18222	square feet
TOTAL GROUNDCOVER PROVIDED	18246 (75%)	square feet
TOTAL OFFSITE PROVIDED	1251	square feet
GROUNDCOVER REQ.	75%	
TOTAL GROUNDCOVER REQUIREMENT	938	square feet
TOTAL GROUNDCOVER PROVIDED	1152 (98%)	square feet
TOTAL TURF PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	25610 (20%)	square feet



- 1 MAINLINE FITTING
- 2 GMI BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 AUTOMATIC VALVE
- 18 GALVANIZED STREET ELL
- 19 TEE NIPPLE OR MALE ADAPTER



Netafim Spiral Detail

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Vista Oeste NW
Required # 19 Provided # 24

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 13 Provided # 13

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all pervious landscape areas which are not designated to receive native seed.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an Infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

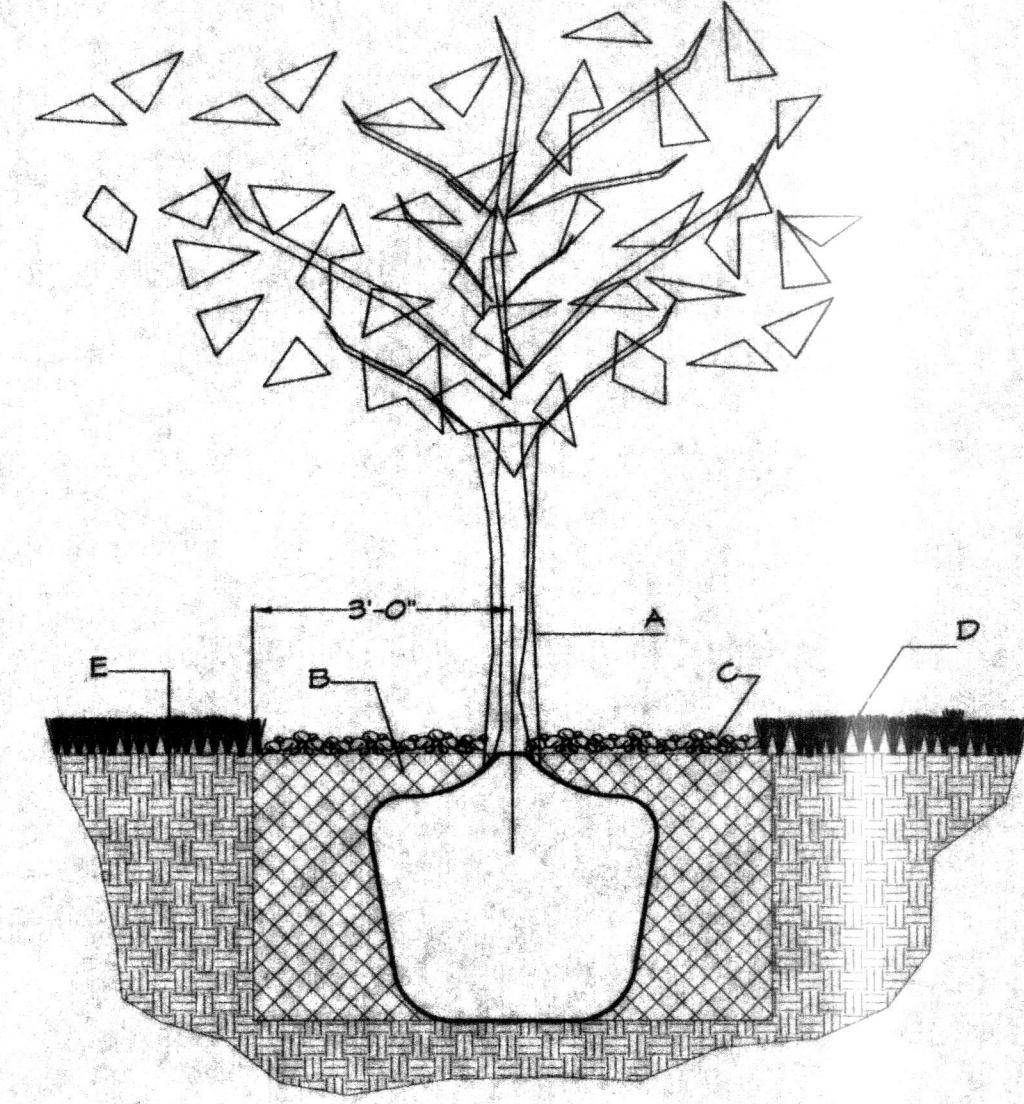
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING FIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

TREE PLANTING DETAIL



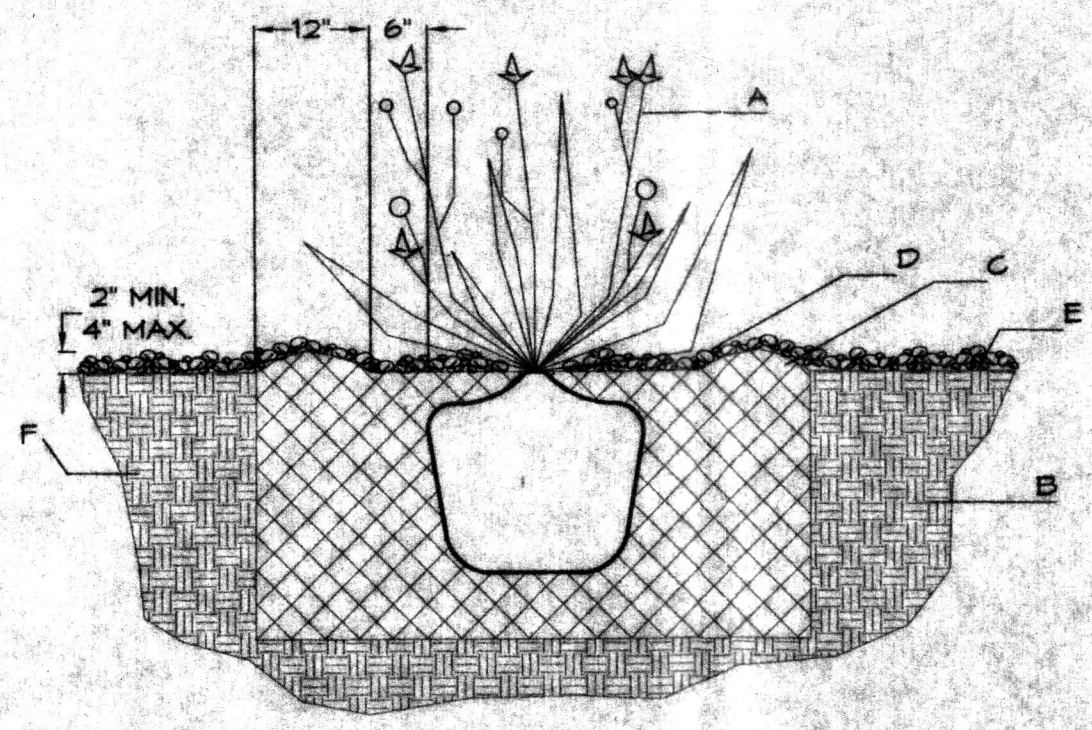
CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

GENERAL NOTES:

- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING FIT.

SHRUB PLANTING DETAIL



CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

- 4-20-07 GMJ - revised site plan
- 4-16-07 rmm - revised site plan
- 4-11-07 rmm - arch comments
- 4-9-07 cmj - revised site plan
- 4-2-07 adf - per comments
- 3-6-07 RMM - EPC COMMENT

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM, 87184
Ph: (505) 898-8690
Fax: (505) 898-7737
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007

LADERA BUSINESS PARK
ALBUQUERQUE, NM

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are provided for your project only. No copy or reuse of any part of this document is permitted unless otherwise stated in writing.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: ad
REVISION # 1
DATE: 2-23-07

SHEET #
12 OF 12

DETAILS AND NOTES

I. PROJECT DESCRIPTION

The project consists of constructing new buildings upon Tracts 20, 21 and 22 within the existing Ladera Business Park. The new construction is located east of Unser Boulevard and adjacent to the east side of Vista Oeste Street between La Morada Place and Vista Orienta Street. There are currently 4 commercial tracts of land in this area. With removal of some property lines there will be 2 tracts when developed with 5 structures for office use.

II. DRAINAGE DESIGN CRITERIA AND PREVIOUS REPORTS

The design criteria used in this report was in accordance with the Hydrology Section, 22.2 of the City of Albuquerque's Development Process Manual, Volume 2, Design Criteria, as updated through September 1999. The 100-year 6-hour storm event was analyzed to determine site runoff using $P(1\text{ hr}) = 1.89"$, $P(6\text{ hr}) = 2.19"$. For the existing conditions an analysis was previously done for the Ladera Business Park Master Grading and Drainage Plan. The predevelopment conditions established by this plan were for the individual lots to temporarily pond all undeveloped runoff onsite.

Also, based on this previous master plan all lots will be allowed "free discharge" under developed conditions because the downstream drainage facilities constructed for this area have the capacity to accept the runoff from all these developed lots. The soil treatment values used for determination of the developed condition runoff were as follows; Treatment D=85, Treatment C=0 and Treatment B=15 as determined using Table A-4, LAND TREATMENTS, in the DPM.

III. EXISTING DRAINAGE CONDITIONS

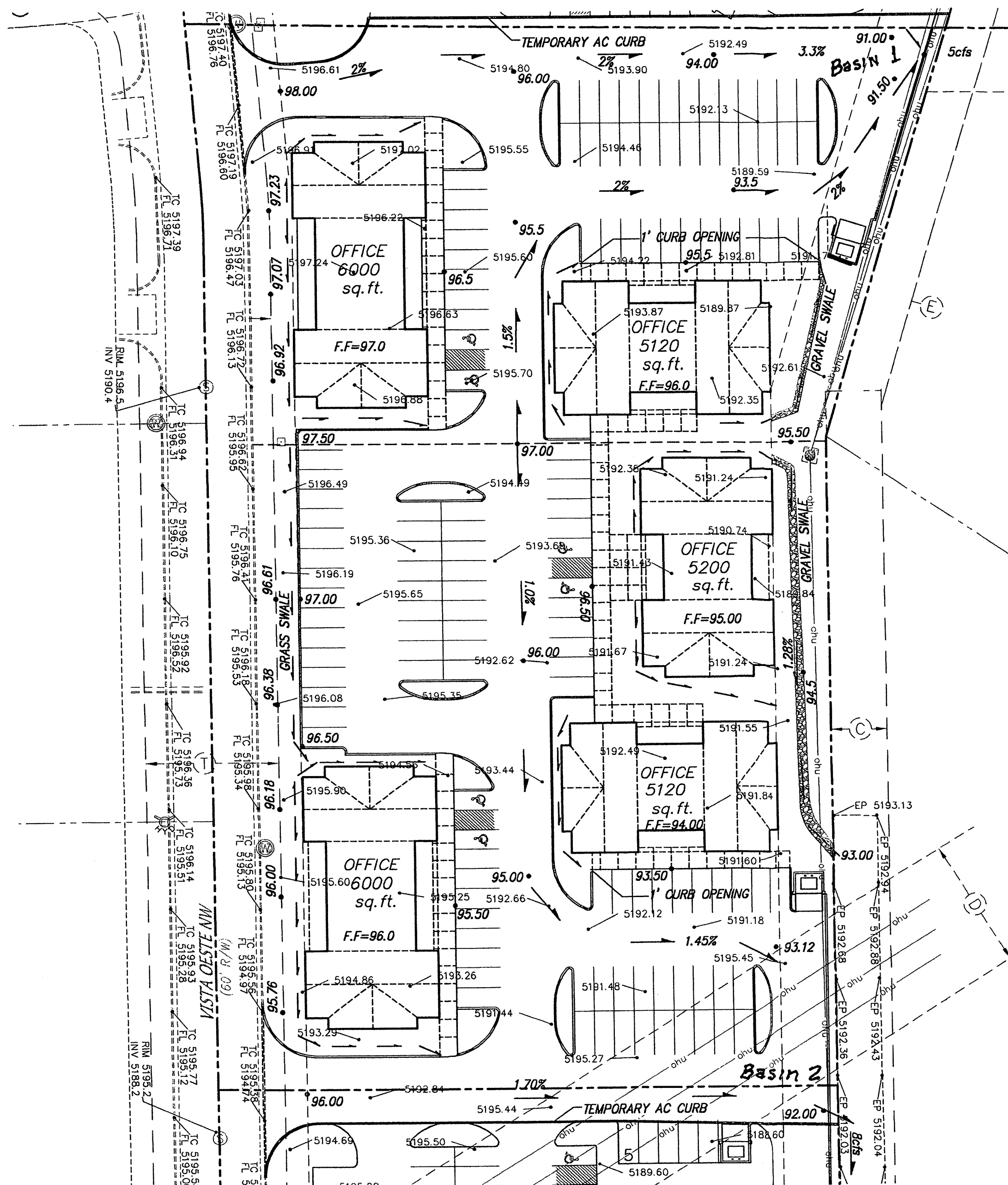
Under existing drainage conditions all lots have a pond at the lower end of the property that retain all undeveloped runoff. There is no offsite drainage to these areas due to the existing improved streets adjacent to each of these properties. Therefore, there will not be any offsite flows to have to accommodate with the development of these lots. There are existing channels and storm drains that were designed and constructed with the capacity to accommodate the runoff from all the developed lots in this area.

IV. DEVELOPED DRAINAGE CONDITIONS

The total developed conditions flow from this site is approximately 13 cfs assuming the future development mentioned above. The lots are to be developed into office space buildings. The flows from these lots will be discharged into the existing drainage swales, channels, streets and storm drains at various locations throughout the development. Free discharge from the developed portions of this property has already been designed into these downstream facilities.

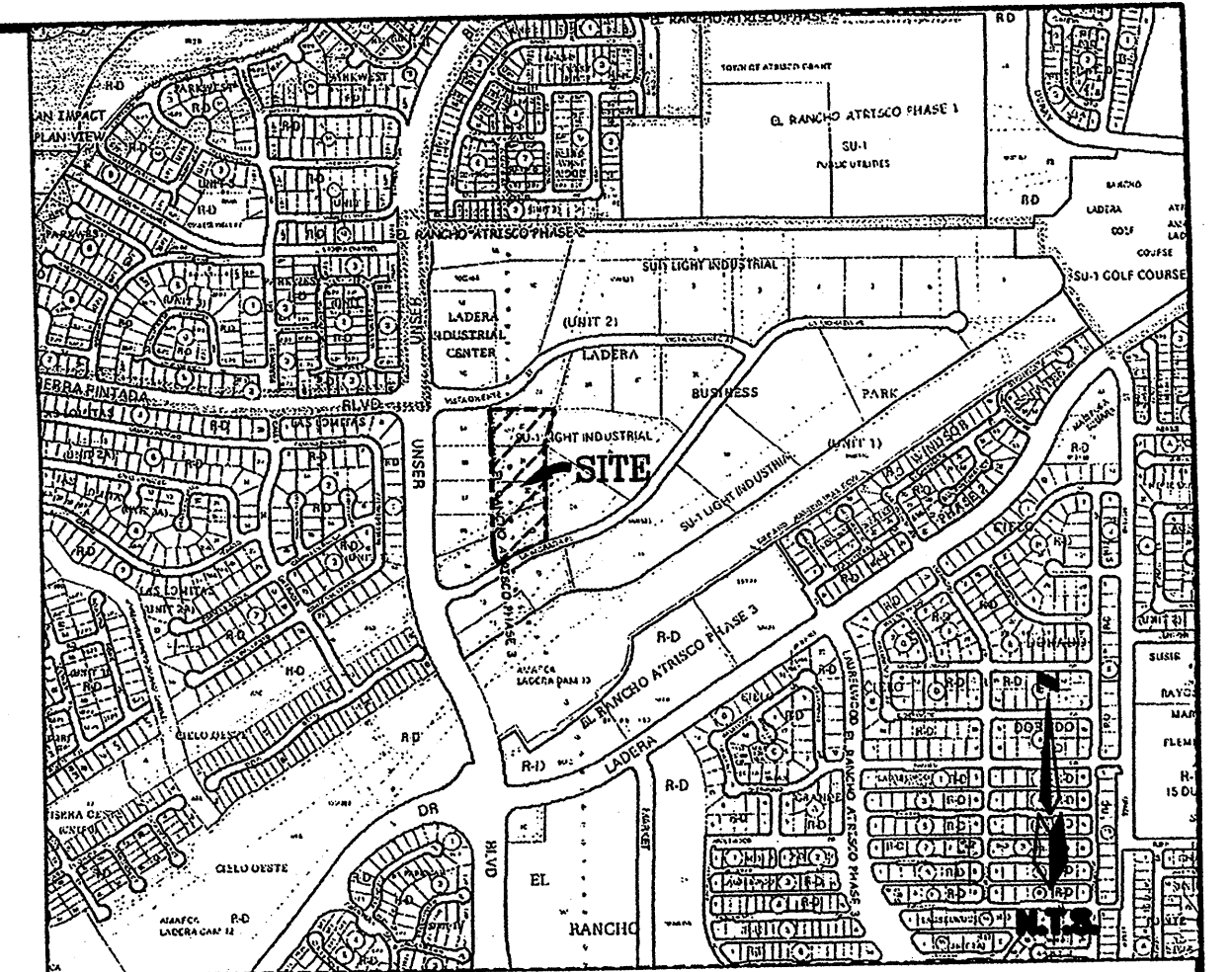
V. CONCLUSIONS

The proposed drainage scheme for the new buildings can be readily accommodated through the implementation of this plan. It is shown on this plan that the internal conveyance of the storm water to off-site facilities can be accomplished while meeting current City requirements.



EASEMENT DESCRIPTION

- (B) EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
- (C) EXISTING 25' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (D) EXISTING 80' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (3/16/1953, BOOK MISC. D 235, PGS. 619-622)
- (E) EXISTING 50' PNM EASEMENT (1/22/2004, 2004C-24)
- (F) EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/2004, 2004C-24)
- (G) EXISTING 30' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (H) EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- (J) EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)



VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK

ACS MONUMENT "2-H9" HAVING AN ELEVATION OF 5207.23 (NGVD29).

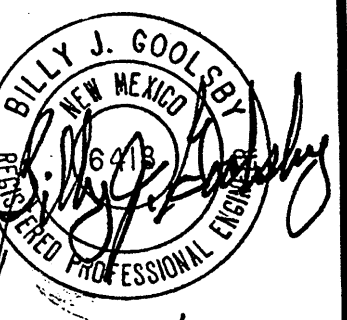
LEGAL DESCRIPTION

TRACTS TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), AND TWENTY-NINE (29), OF "LADERA BUSINESS PARK UNIT 2" AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004C, PAGE 325.

1. PROPERTY CURRENTLY ZONED: SU-1.

LEGEND

- EXISTING CURB
- TC=5082.00 EXISTING TOP OF CURB
- FL=5081.50 EXISTING FLOWLINE
- 00.00 EXISTING SPOT ELEVATION
- STANDARD 8" CURB & GUTTER
- 28.53+ PROPOSED SPOT ELEVATION
- FF= 30.38 FINISHED PAD ELEVATION
- NEW BUILDINGS
- PROPOSED PROPERTY LINE
- TEMPORARY AC CURB
- PROPOSED DRAINAGE FLOW
- PROPOSED DRAINAGE GRAVEL SWALE



2/27/07

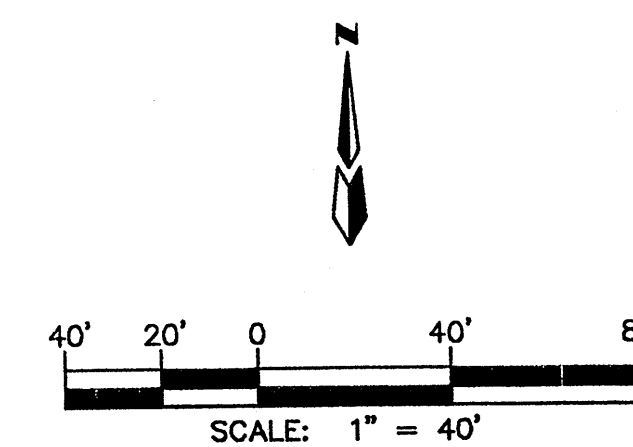
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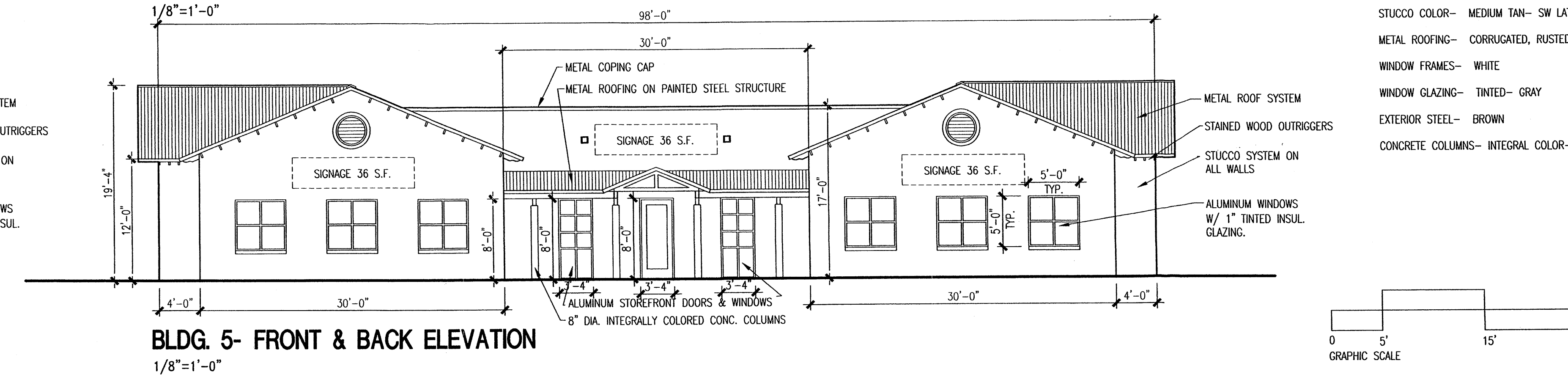
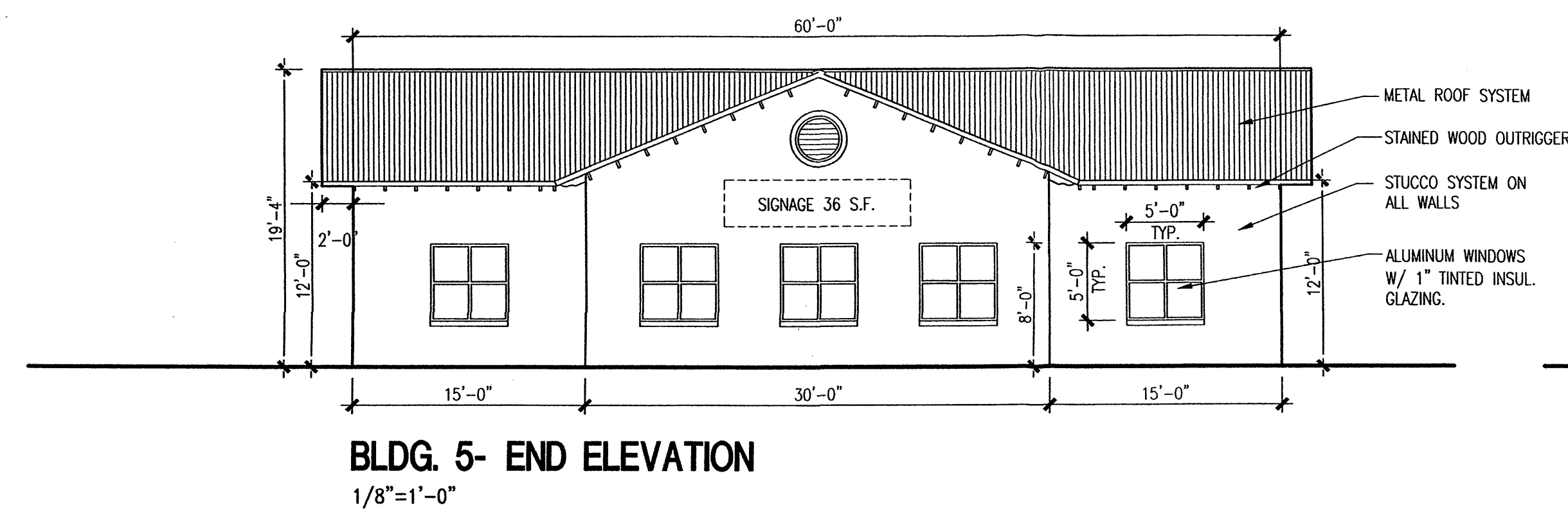
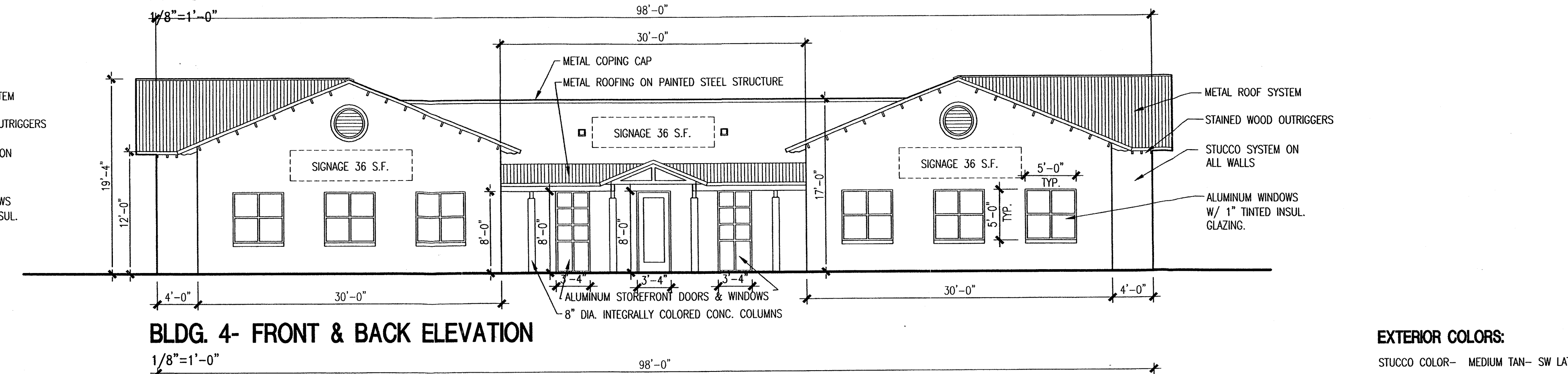
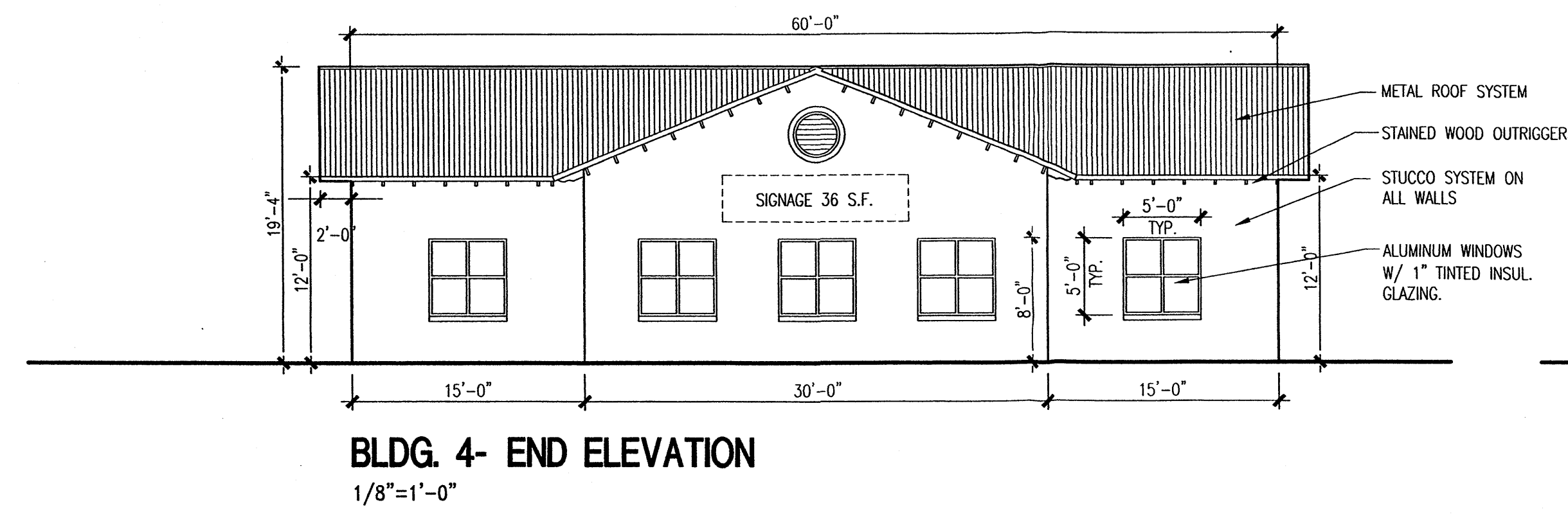
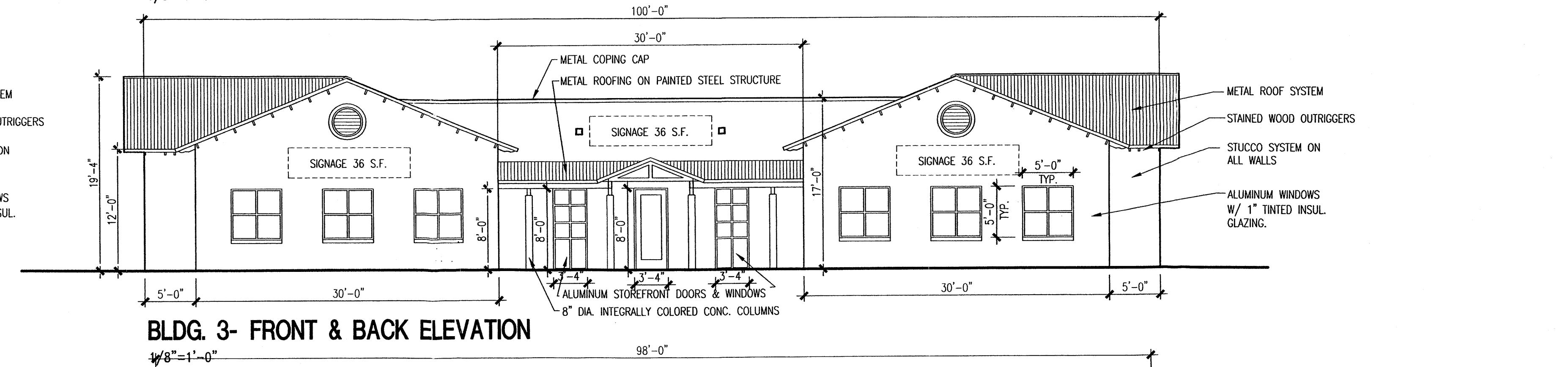
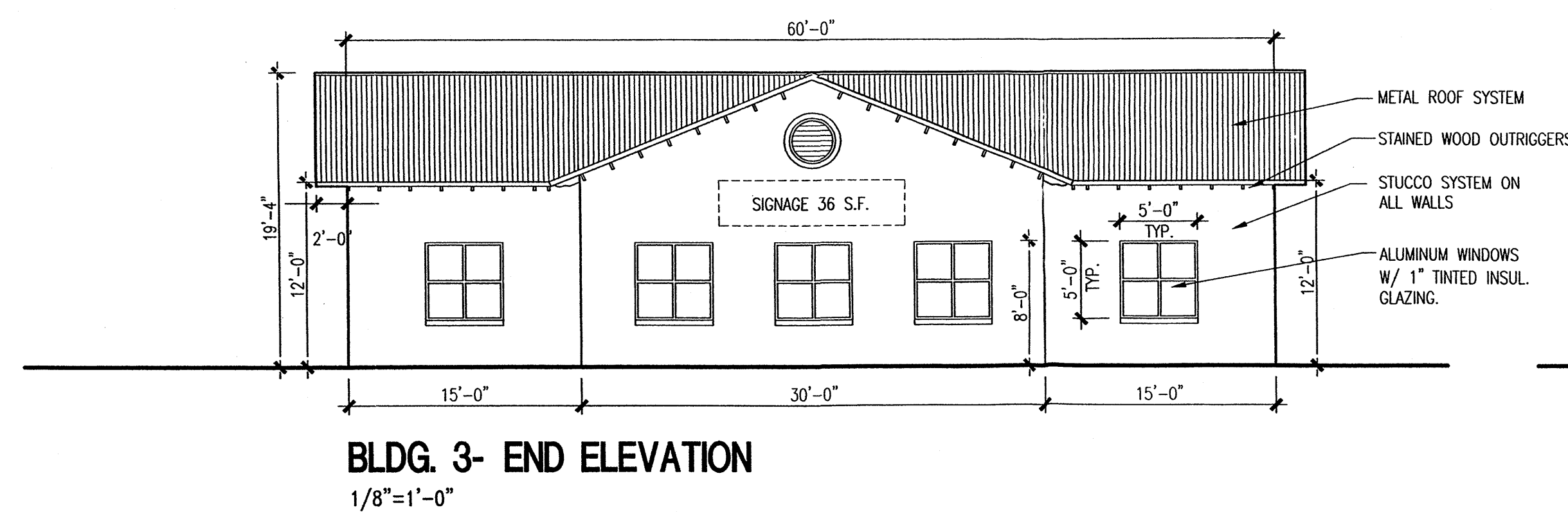
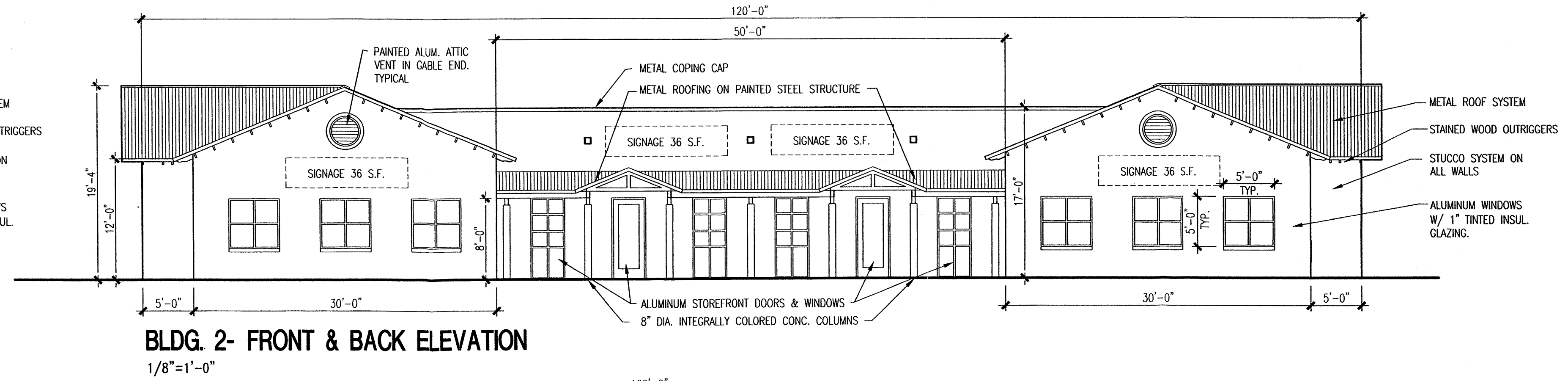
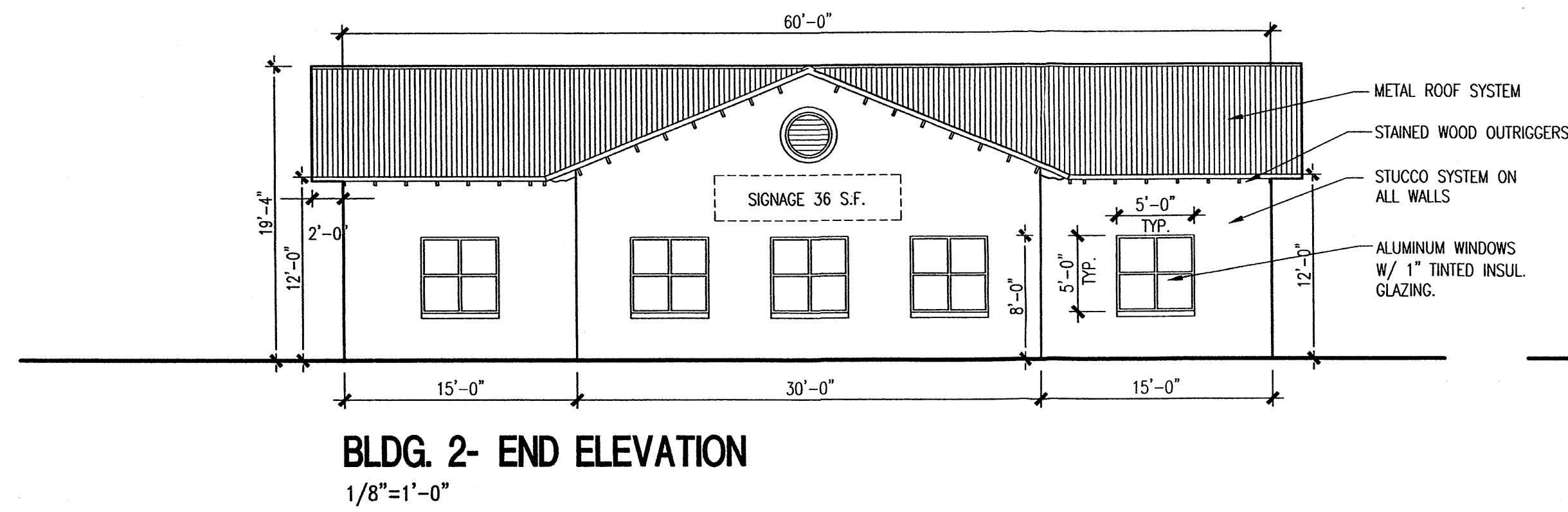
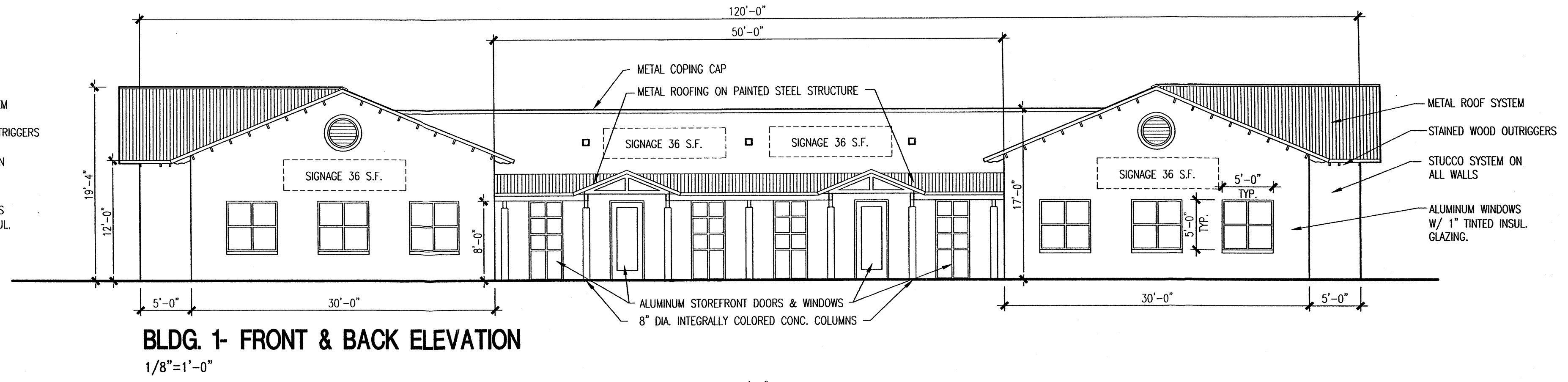
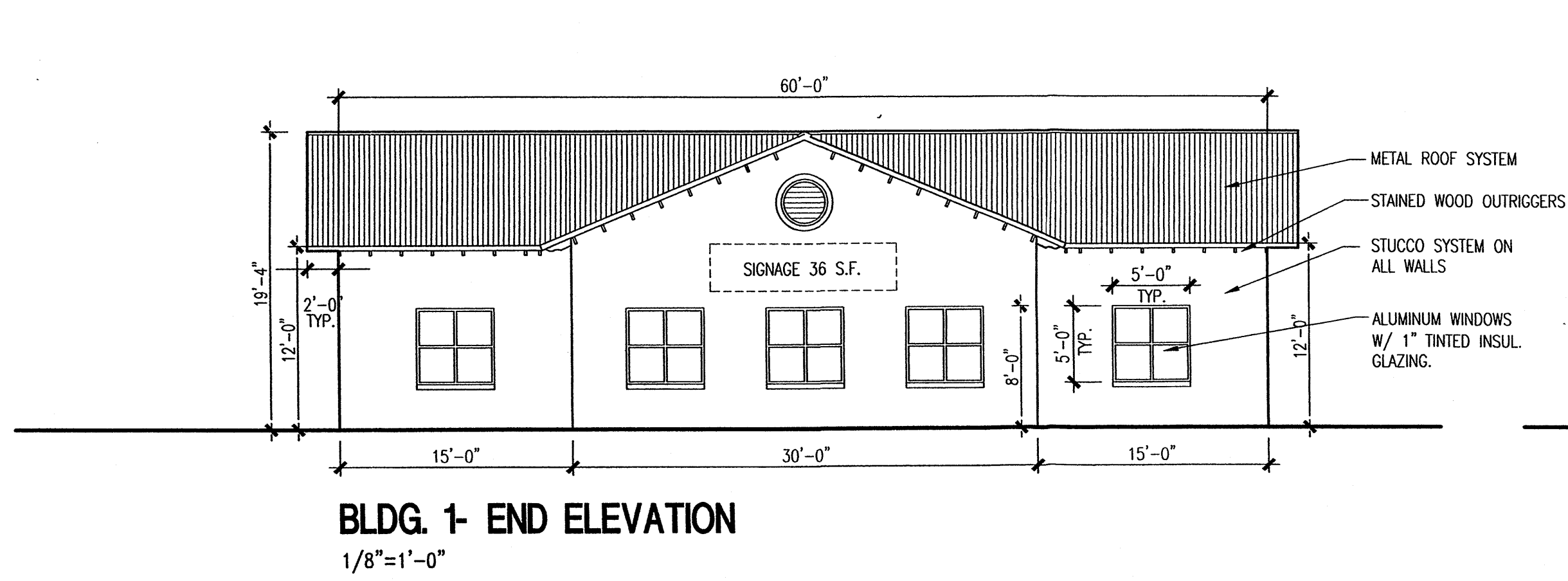
LADERA BUSINESS PARK

CONCEPTUAL GRADING & DRAINAGE PLAN

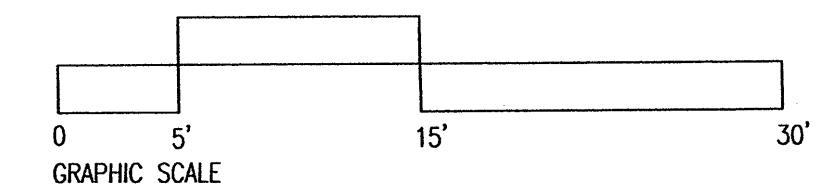
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: BJC Drawn: CAR Checked: JMM Sheet 2 of 3
Scale: 1" = 40' Date: 12/13/06 Job: A6095

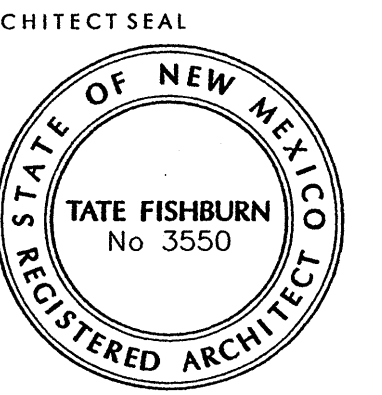




- EXTERIOR COLORS:**
- STUCCO COLOR- MEDIUM TAN- SW LATTE
 - METAL ROOFING- CORRUGATED, RUSTED FINISH
 - WINDOW FRAMES- WHITE
 - WINDOW GLAZING- TINTED- GRAY
 - EXTERIOR STEEL- BROWN
 - CONCRETE COLUMNS- INTEGRAL COLOR- TERRA COTTA



TATE FISHBURN
ARCHITECT



PROJECT

SITE DEVELOPMENT PLAN
LADERA BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
LOTS 20-22

REVISIONS

DATE FEBRUARY 22, 2007

NORTH SCALE

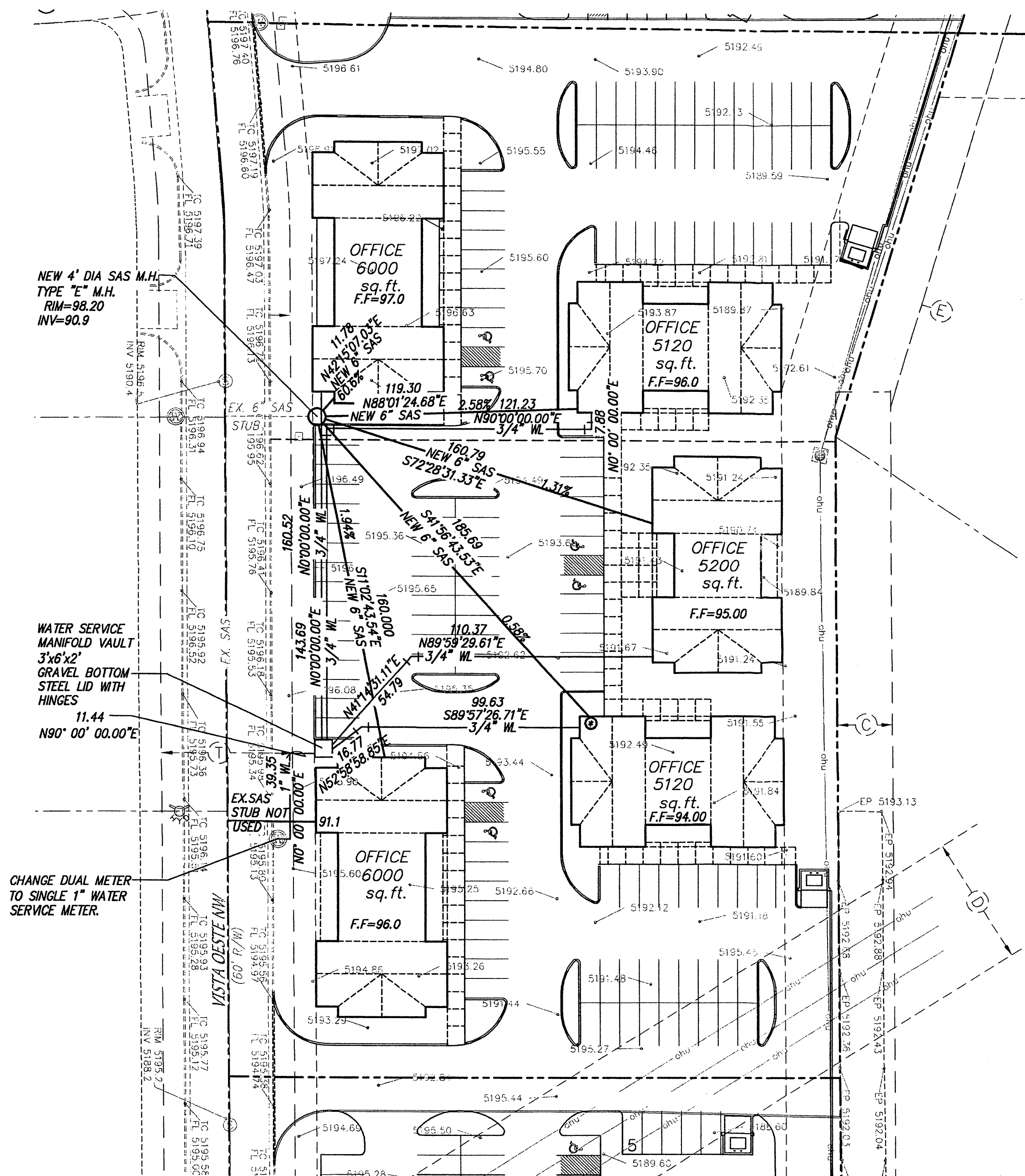
1/8"=1'-0"

DRAWING NAME
BUILDING
ELEVATIONS

SHEET NUMBER

SDP-2

BOX 2941 CORRALES NEW MEXICO 87048 PHONE 505 899 9338 FAX 899 9328

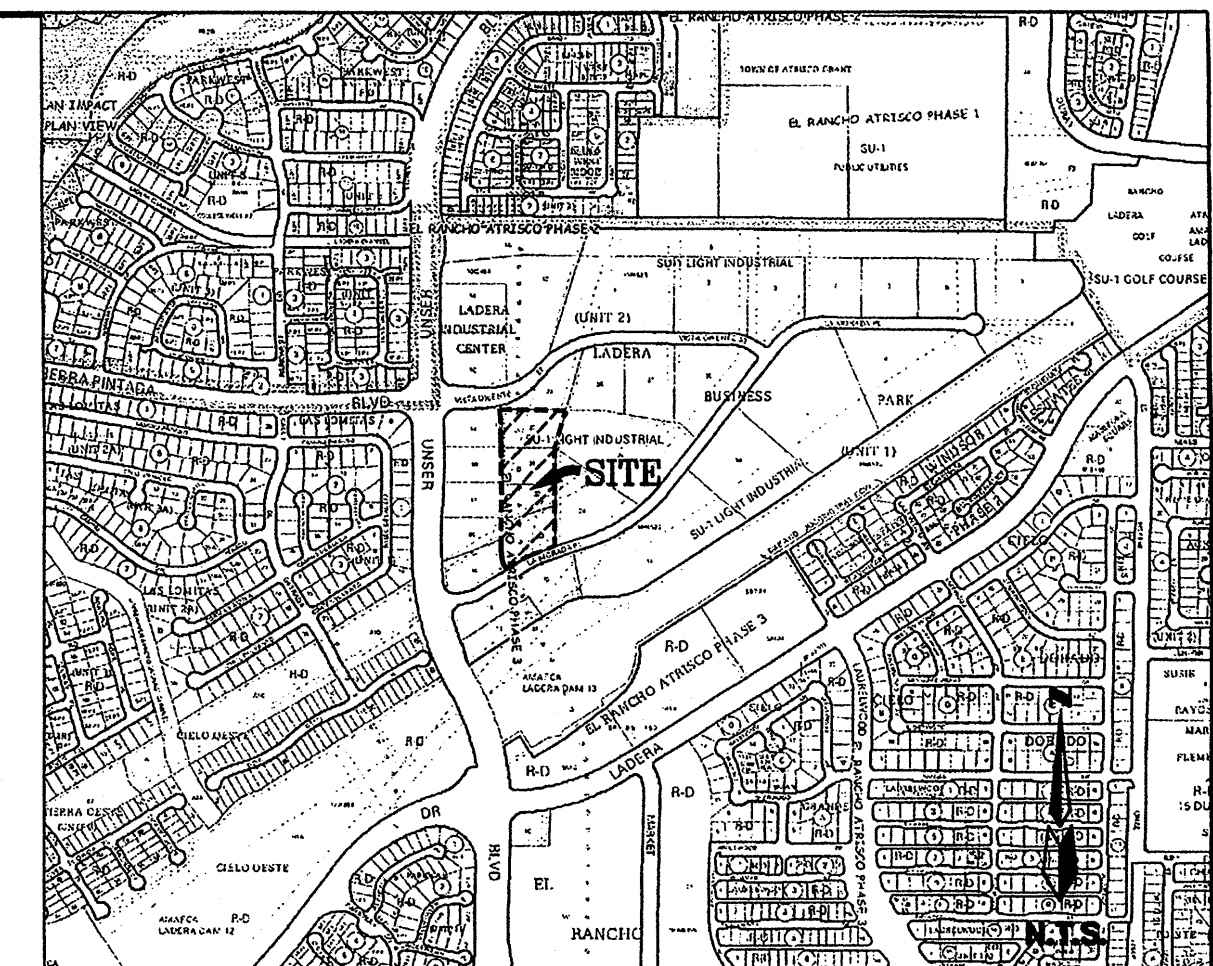


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- (H) EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- (J) EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)

⊙ SEWAGE LIFT PUMP REQUIRED.

NOTE: ALL SEWER SERVICE TO EACH BUILDING TO BE 6" DIAMETER



VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK

ACS MONUMENT "2-H9" HAVING AN ELEVATION OF 5207.23 (NGVD29).

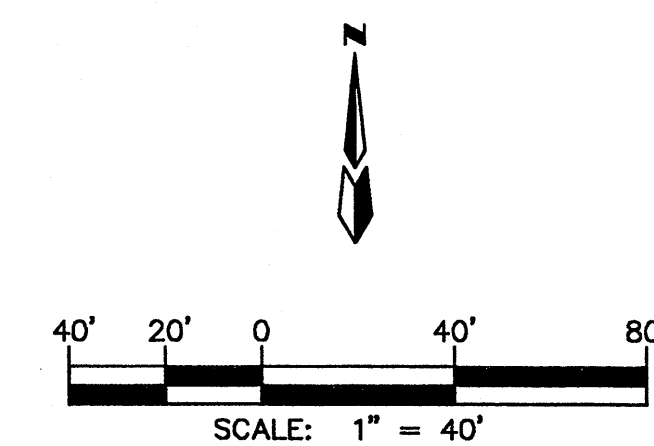
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1. PROPERTY CURRENTLY ZONED: SU-1.

LEGEND

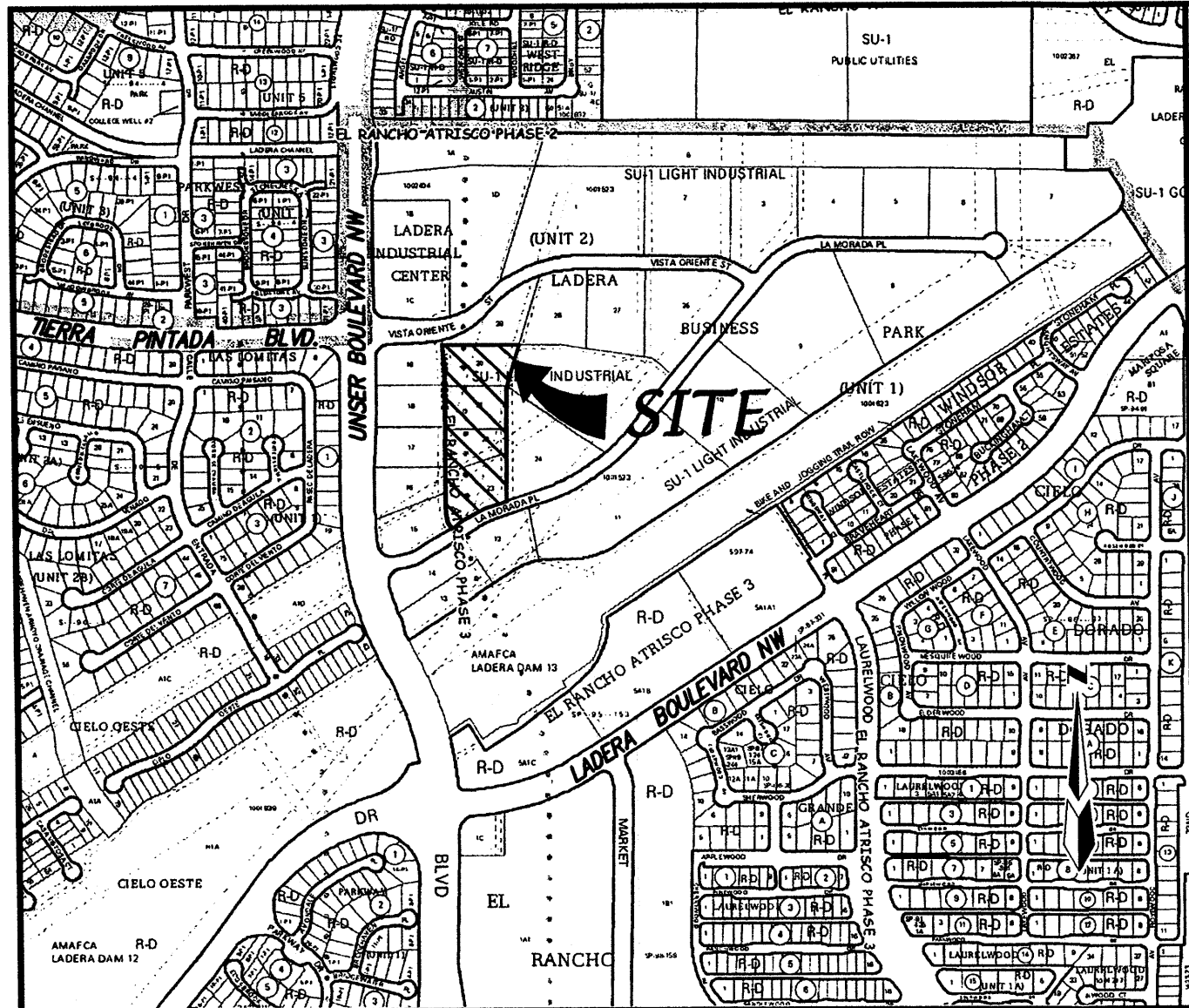
- ===== EXISTING CURB
- TC=5082.00 EXISTING TOP OF CURB
- FL=5081.50 EXISTING FLOWLINE
- 00.00 EXISTING SPOT ELEVATION
- STANDARD 8" CURB & GUTTER
- 28.53* PROPOSED SPOT ELEVATION
- FF= 30.38 FINISHED PAD ELEVATION
- ▭ NEW BUILDINGS
- PROPOSED PROPERTY LINE
- NEW 6" SAS --- PROPOSED SAS SERVICE LINE
- 3/4" W/L --- PROPOSED WATER SERVICE LINE
- 1.31% PROPOSED LEVEL OF FLOW OF SAS



**LADERA BUSINESS PARK
CONCEPTUAL UTILITY PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: B/J	Drawn: CAR	Checked: JMM	Sheet 3 of 3
Scale: 1" = 40'	Date: 01/22/07	Job: A6095	



VICINITY MAP 1"=750' ZONE ATLAS: H-9-Z

SUBDIVISION DATA

GROSS ACREAGE	4.9489 Acres
ZONE ATLAS NO.	H-9-Z
NO. OF EXISTING TRACTS	4
NO. OF TRACTS CREATED	2
NO. OF TRACTS ELIMINATED	4
MILES OF FULL WIDTH STREETS CREATED	0.00
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.0000 Acres
DATE OF SURVEY	August, 2006
ZONING	SU-1

FREE CONSENT

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Robby L. Roberson, Husband Katherine L. Roberson, Wife
[Signatures] 2/8/07 *[Signatures]* 2/8/07
 Robby L. Roberson Date Katherine L. Roberson Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO
 This instrument was acknowledged before me on 2/8/07
 By Robby L. Roberson and Katherine L. Roberson as husband and wife.
[Signature] 12/8/09
 NOTARY PUBLIC MY COMMISSION EXPIRES

Rob-O-co, Inc.
 Robby L. Roberson, President
[Signature] 2/16/07
 Robby L. Roberson, President DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO
 This instrument was acknowledged before me on FEBRUARY 14, 2007
 By Robby Roberson, President, Rob-O-co, Inc. A New Mexico Corporation on behalf of said corporation
[Signature] 4/18/10
 NOTARY PUBLIC MY COMMISSION EXPIRES



LEGAL DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Tracts Twenty (20), Twenty-One (21), Twenty-Two (22), and Twenty-Three (23), of "LADERA BUSINESS PARK, UNIT 2" as the same is shown and designated on the map of said Plat, Filed in the office of the County Clerk of Bernalillo County, New Mexico on October 11, 2004, in BK. 2004C, Page 325.

PURPOSE OF PLAT

1. Subdivide four (4) Tracts into two (2) Tracts.

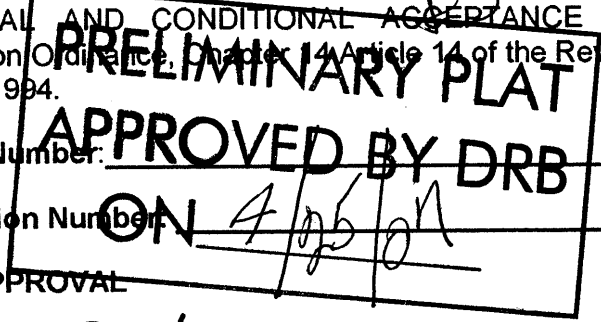
NOTES

1. FIELD SURVEY PERFORMED IN AUGUST 2006.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE ACS MONUMENTS SHOWN HEREON, HAVING STATE PLANE COORDINATES (GRID-NAD 27).
4. THE EASEMENTS SHOWN HEREON ARE ONLY THE EASEMENTS AS SHOWN ON THE PLAT OF RECORD. A TITLE COMMITMENT WILL BE REQUIRED TO SHOWN OTHER EASEMENTS.
5. PROPERTY CURRENTLY ZONED: SU-1.
6. ZONE ATLAS PAGE H-9-Z.
7. TALOS LOG # 2007043462.

PLAT FOR
TRACTS 20-A, AND 20-B
LADERA BUSINESS PARK, UNIT 2
 WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 February, 2007

APPROVED AND ACCEPTED BY

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.



Project Number: _____

Application Number: _____

PLAT APPROVAL _____

Utility Approvals:

<i>[Signature]</i> PNM Electric Services	2/13/2007 Date
<i>[Signature]</i> PNM Gas Services	2/13/2007 Date
<i>[Signature]</i> Qwest Telecommunications	2/13/07 Date
<i>[Signature]</i> Comcast	2-13-07 Date

City Approvals: *[Signature]* 2-14-07
 City Surveyor Date

Real Property Division	_____	Date
Traffic Engineering, Transportation Division	_____	Date
Water Utility Department	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date

SURVEYOR'S CERTIFICATION:

"I, Will Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] 2/13/07
 Will Plotner Jr. N.M.P.S. No. 14271 Date

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



A06095_Platbase.dwg	Drawn: SPS	Checked: ALS	Sheet 1 of 3
Scale: AS SHOWN	Date: 2/7/2007	Job: A06095	

PLAT FOR
TRACTS 20-A, AND 20-B
LADERA BUSINESS PARK, UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 February, 2007

ACS Monument "2-G9"
 NAD 1927 CENTRAL ZONE
 X=356680.72
 Y=1499064.48
 Z=5334.50 (NAVD 1929)
 G-G=0.9996684
 Delta Alpha=-0°16'33"

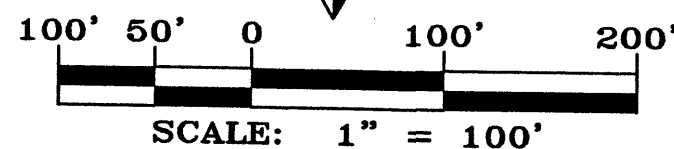
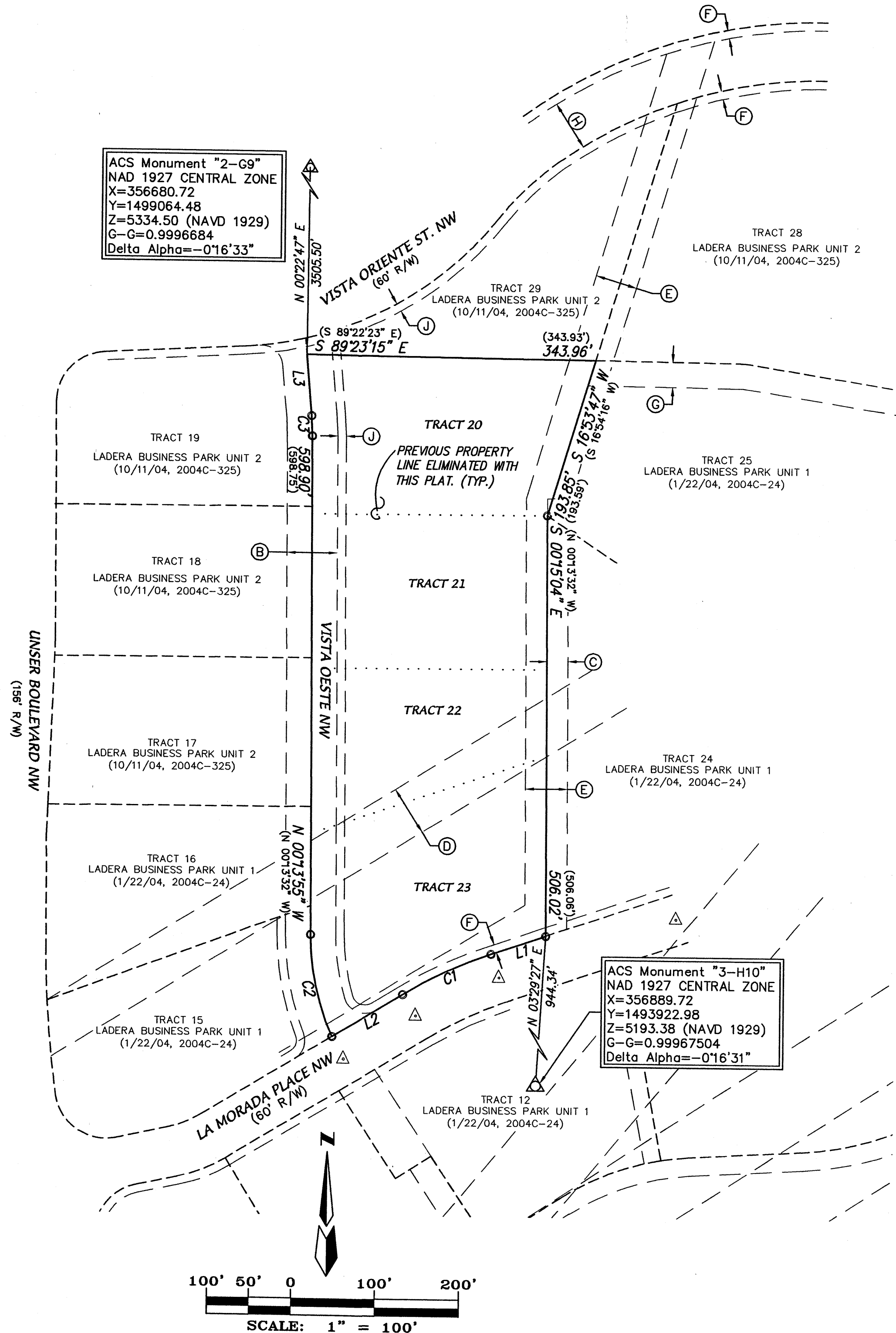
ACS Monument "3-H10"
 NAD 1927 CENTRAL ZONE
 X=356889.72
 Y=1493922.98
 Z=5193.38 (NAVD 1929)
 G-G=0.99967504
 Delta Alpha=-0°16'31"

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	116.23' (116.23')	530.00' (530.00')	12°33'53"	58.35'	S64°47'41"W	115.99'
C2	125.61' (125.62')	300.00' (300.00')	23°59'23"	63.74'	S12°13'37"E	124.69'
C3	24.11' (24.11')	300.00' (300.00')	4°36'14"	12.06'	N02°32'02"W	24.10'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S71°04'37"W (S 71°05'01" W)	68.65' (68.57')
L2	S58°30'44"W (S 58°31'08" W)	98.30' (98.24')
L3	N04°50'09"W (N 04°49'46" W)	73.59' (73.59')

- (B) EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
- (C) EXISTING 25' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (D) EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (3/16/1953, BOOK MISC. D 235, PGS. 619-622)
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- (F) EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/2004, 2004C-24)
- (G) EXISTING 30' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (H) EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- (J) EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND REBAR WITH CAP "LS 14730" UNLESS OTHERWISE INDICATED
- SET BATHEY MARKER "LS 14271"
- △ ALBUQUERQUE CENTERLINE MONUMENT



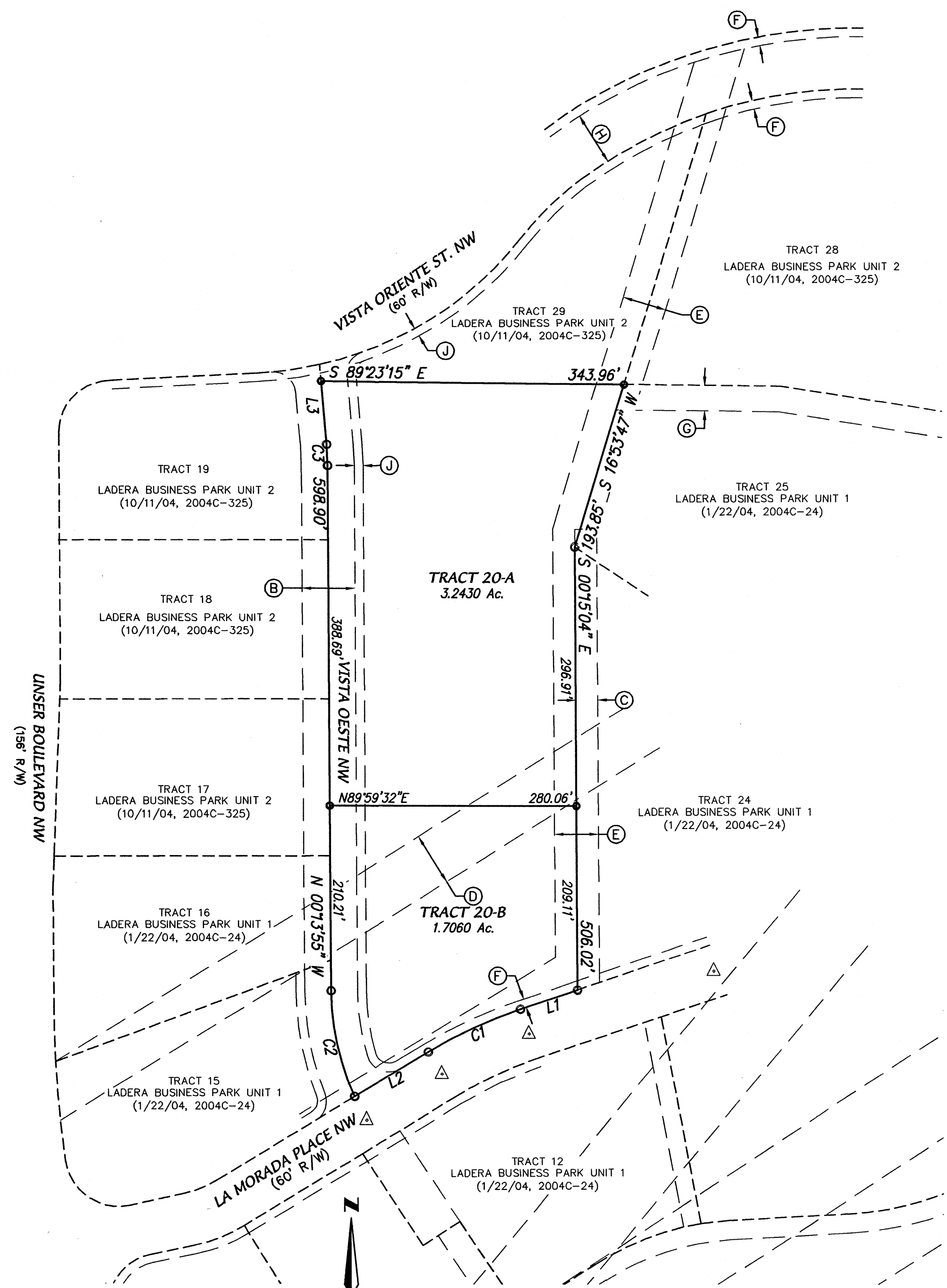
CARTESIAN SURVEYS INC.
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A06095_Platbase.dwg	Drawn: SPS	Checked: ALS	Sheet 2 of 3
Scale: AS SHOWN	Date: 2/7/2007	Job: A06095	

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 February, 2007

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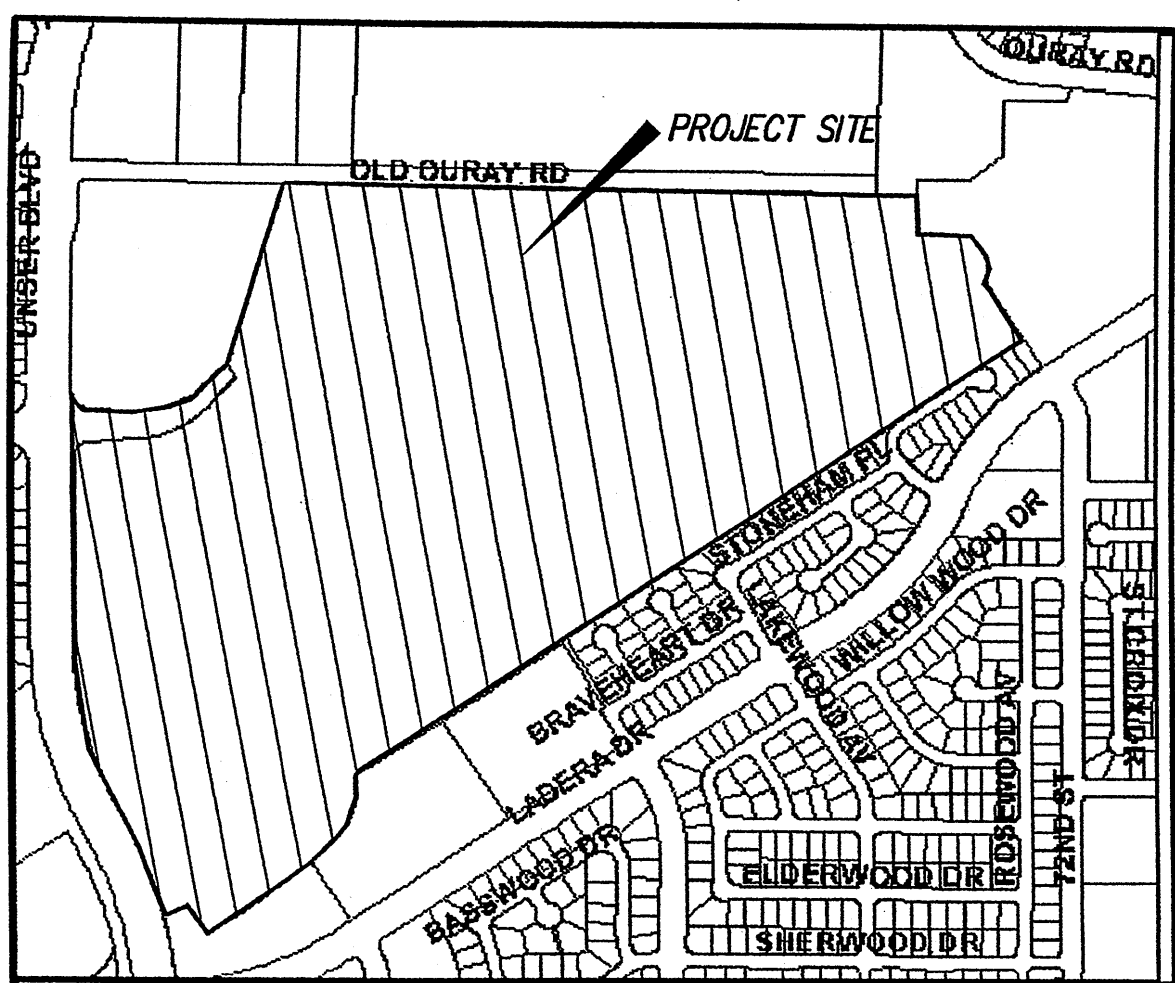
N 90°00'00" E MEASURED BEARING AND DISTANCES
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 △ ALBUQUERQUE CENTERLINE MONUMENT

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 P.O. BOX 44414 RIO RANCHO, N.M. 87174
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F:\A06\JOBS\A6095 Ladera Business Park\dwg\Final Plats\A06095_Platbase.dwg, 2/7/2007 7:55:19 AM, SPS

A06095_Platbase.dwg	Drawn: SPS	Checked: ALS	Sheet 3 of 3
Scale: AS SHOWN	Date: 2/7/2007	Job: A06095	



VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER

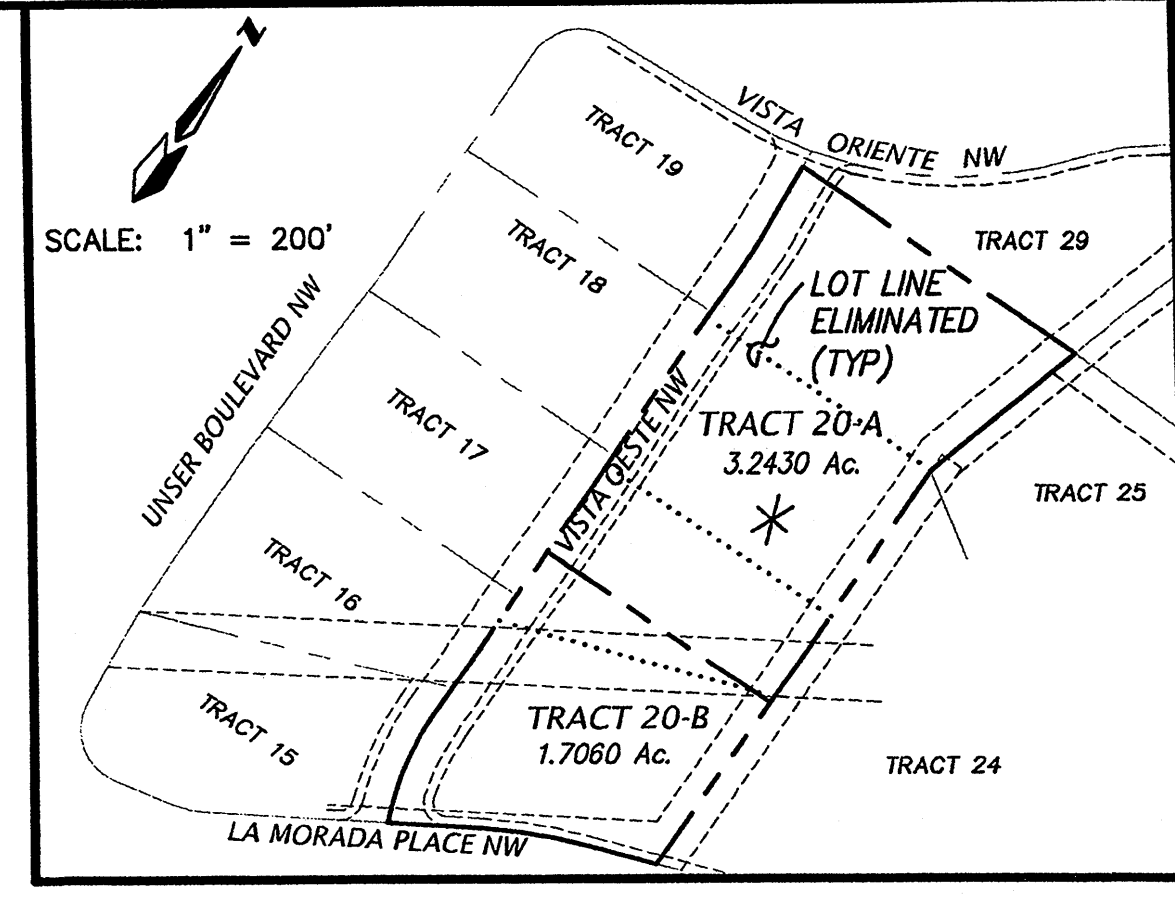
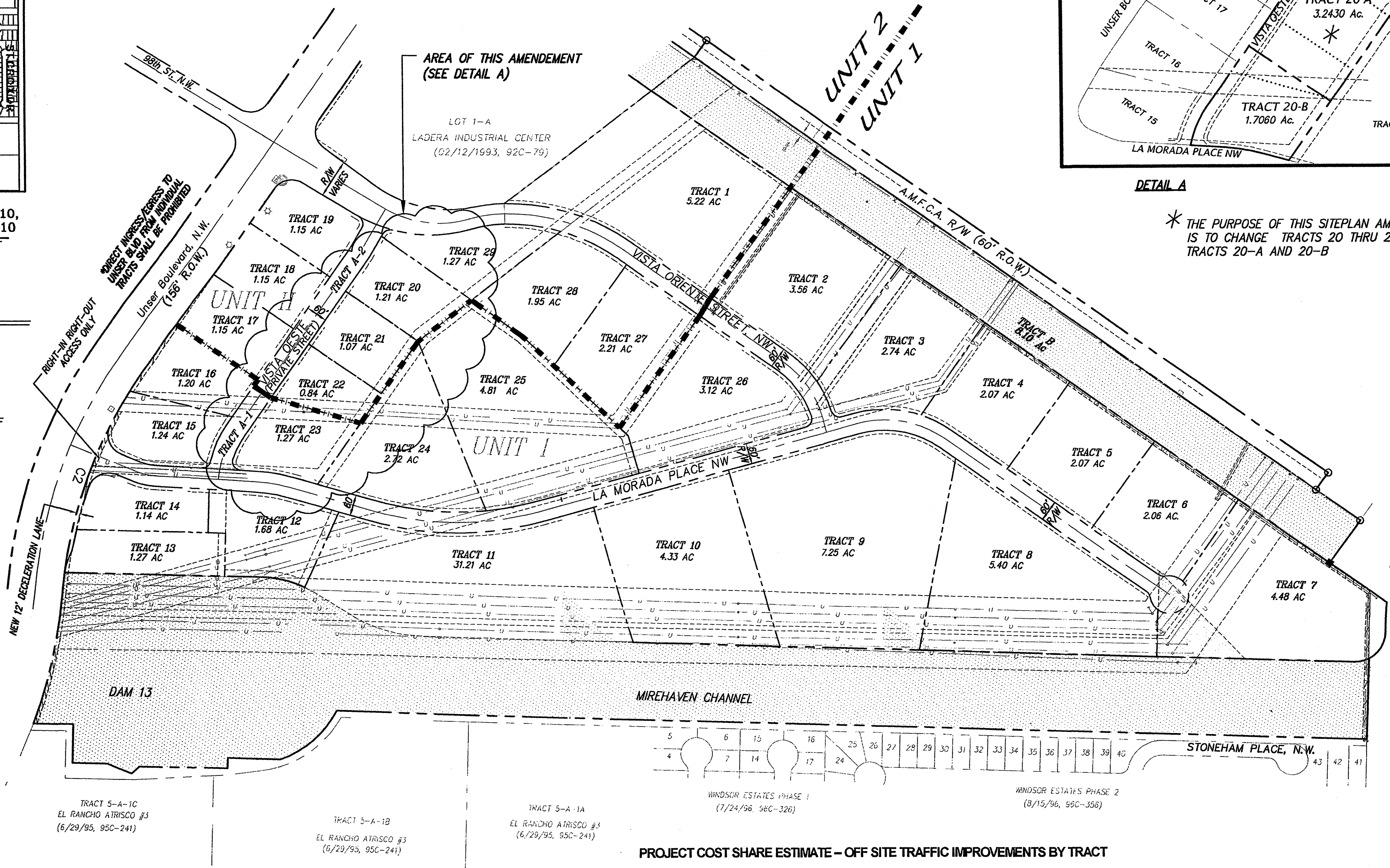
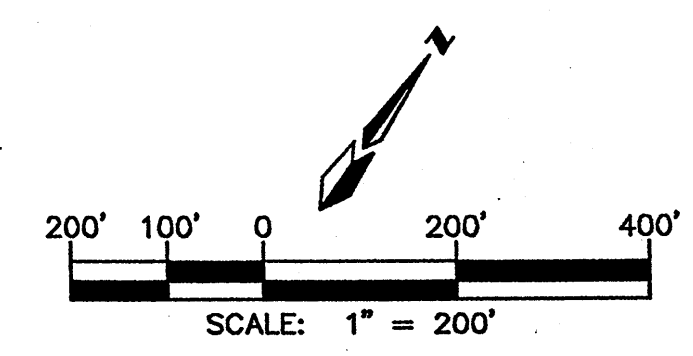
UNSER-98th ST. PARTNERSHIP, LLC
P.O. BOX 90548
ALBUQUERQUE, NEW MEXICO 87199
(505) 821-1034

PLANNERS

CONSENSUS PLANNING
924 PARK AVE. S.W.
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(505) 764-9801

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200



DETAIL A
* THE PURPOSE OF THIS SITEPLAN AMENDMENT IS TO CHANGE TRACTS 20 THRU 23 INTO TRACTS 20-A AND 20-B

SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER. SITE AREA IS 116.6 ACRES PRIOR TO ANY R/W DEDICATIONS.

PROPOSED USE

THE SITE IS ZONED SU-1 FOR LIGHT INDUSTRIAL USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS: PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNSER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.

VEHICULAR ACCESS: VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS: A BIKE TRAIL CURRENTLY EXISTS ALONG UNSER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT: AS THIS SITE DEVELOPS ALONG THIS PORTION OF UNSER BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN: THE DESIGN GUIDELINES ON SHEET 2 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH ZONE BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.

APPROVED AND ACCEPTED BY:

Project No. 1001523

Application No. _____

Planning Department/ DRB Chair _____

City Engineer _____

Transportation Development _____

Utility Development _____

Parks and Recreation _____

PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

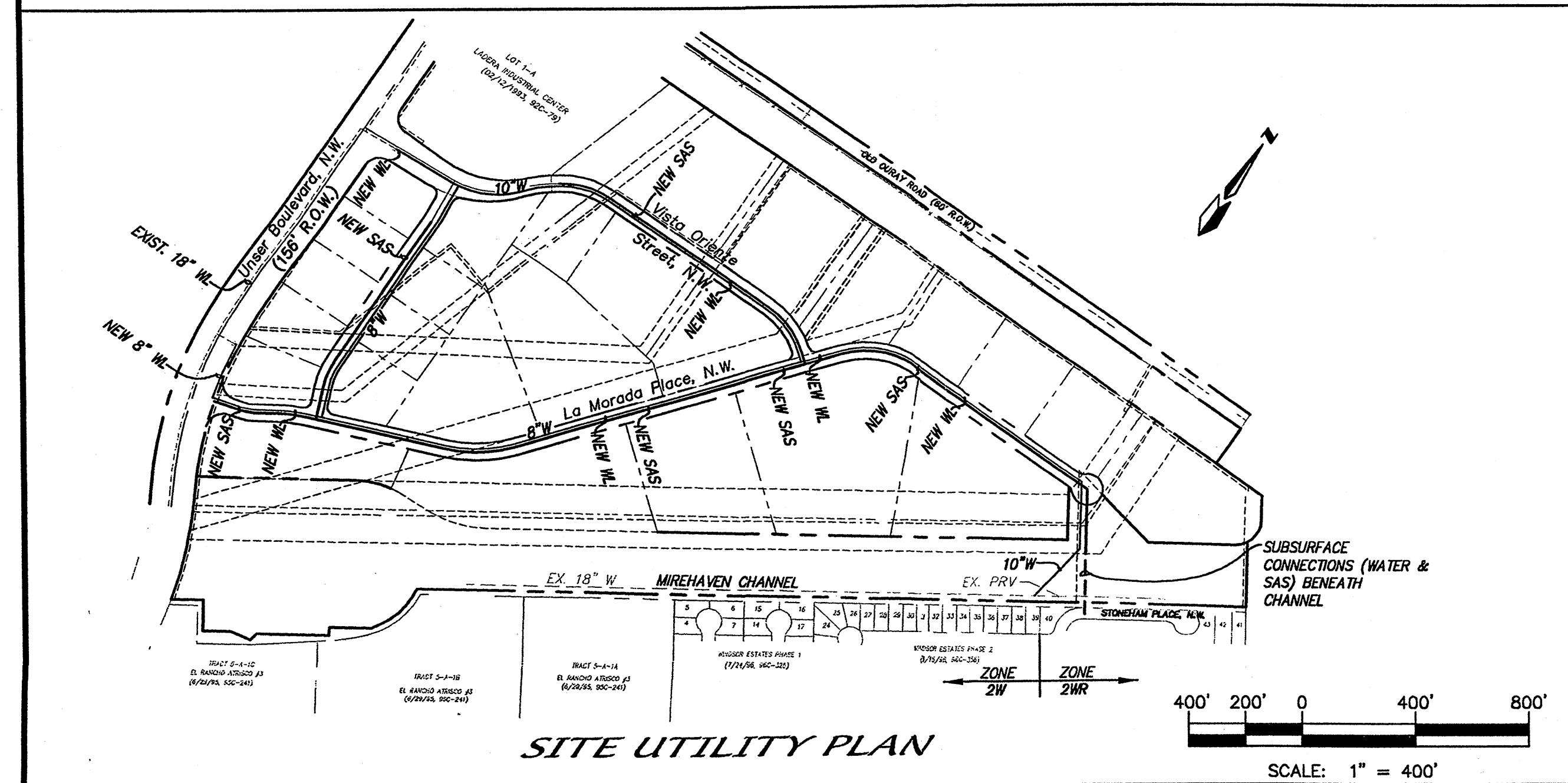
TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	5.22	6.88	3,743.72	16	1.20	1.58	859.75
2	3.56	4.69	2,552.04	17	1.15	1.52	827.10
3	2.74	3.61	1,964.37	18	1.15	1.52	827.10
4	2.07	2.73	1,485.52	19	1.15	1.52	827.10
5	2.07	2.73	1,485.52	20	1.21	1.60	870.63
6	2.06	2.72	1,480.08	21	1.07	1.41	767.25
7	4.48	5.91	3,215.90	22	0.84	1.11	604.00
8	5.40	7.12	3,874.31	23	1.27	1.67	908.72
9	7.25	9.56	5,202.03	24	2.72	3.59	1,953.48
10	4.33	5.71	3,107.07	25	4.81	6.34	3,449.88
11	6.18	8.15	4,434.79	26	3.13	4.13	2,247.32
12	1.68	2.21	1,202.56	27	2.21	2.91	1,583.46
13	1.29	1.70	925.05	28	1.95	2.57	1,398.45
14	1.15	1.52	827.10	29	1.27	1.67	908.72
15	1.24	1.63	886.96				
				TOTAL	75.85		\$54,414.58

AN INFLATION FACTOR OF 3% PER YEAR SHALL BE APPLIED TO TRACTS DEVELOPING AFTER THE YEAR 2002

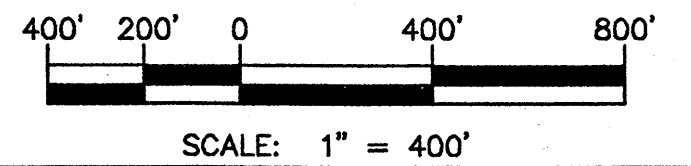
*NET OF DRAINAGE EASEMENT

OFF-SITE TRAFFIC IMPROVEMENTS IDENTIFIED HEREON TO BE PAID BY INDIVIDUAL TRACT OWNERS AT THE TIME OF BUILDING PERMIT ISSUANCE.

ADMINISTRATIVE AMENDMENT
File: 07AA-00281 Project: 1001523
Change Tracts 20 thru 23 into Tracts 20-A and 20-B (Detail A)
Adjust "Cost Share" table at DRB
Approved by: *[Signature]* DATE: 19 Mar 07



SITE UTILITY PLAN



LEGEND

- POWER EASEMENT WITH OVERHEAD POWER LINE
- DRAINAGE EASEMENT
- MIXED EASEMENT
- UNIT BOUNDARY

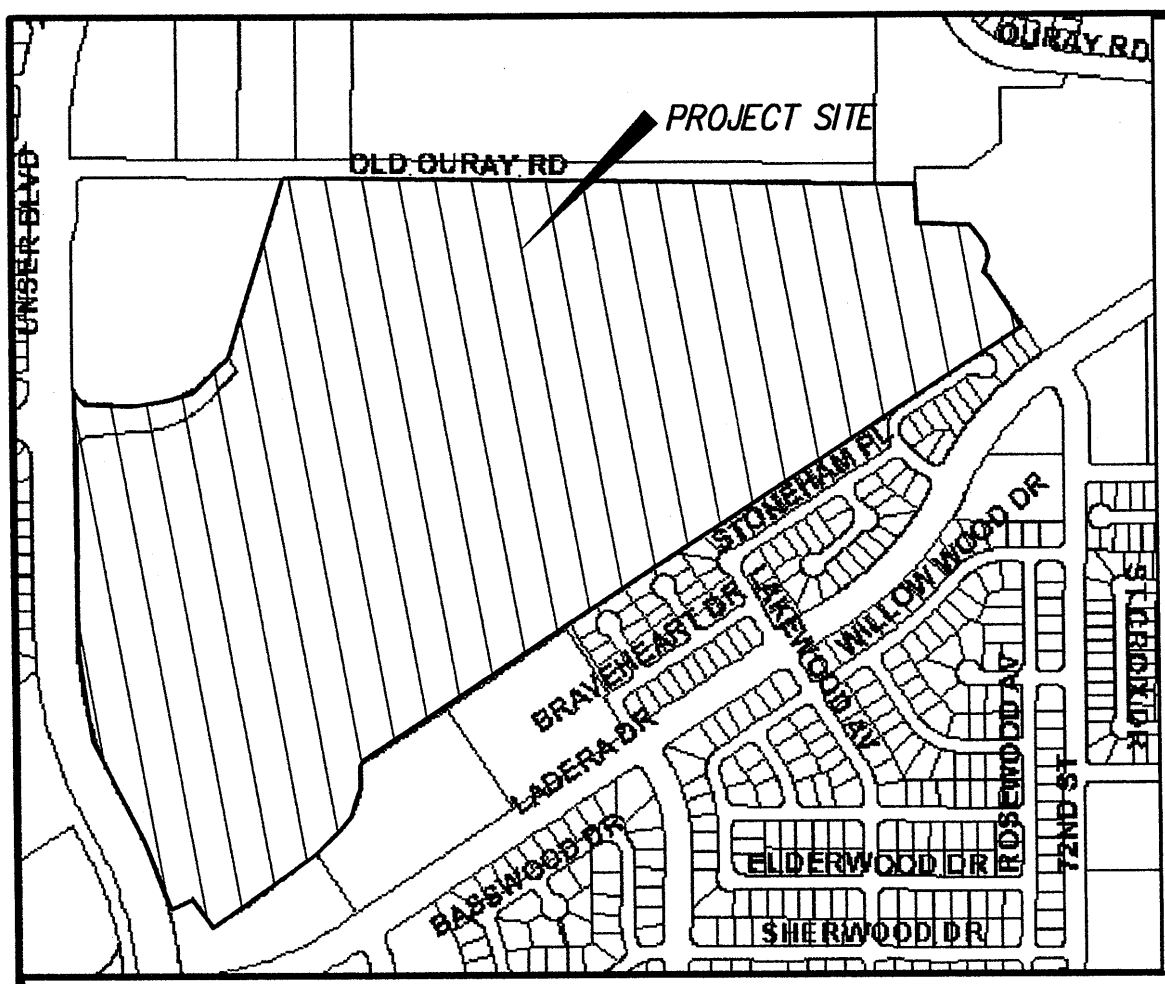
LADERA BUSINESS PARK

AMENDED SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: *DMG* Drawn: *SPS* Checked: *DMG* Sheet 1 of 1

Scale: 1" = 200' Date: 2/13/07 Job: A06095



VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER

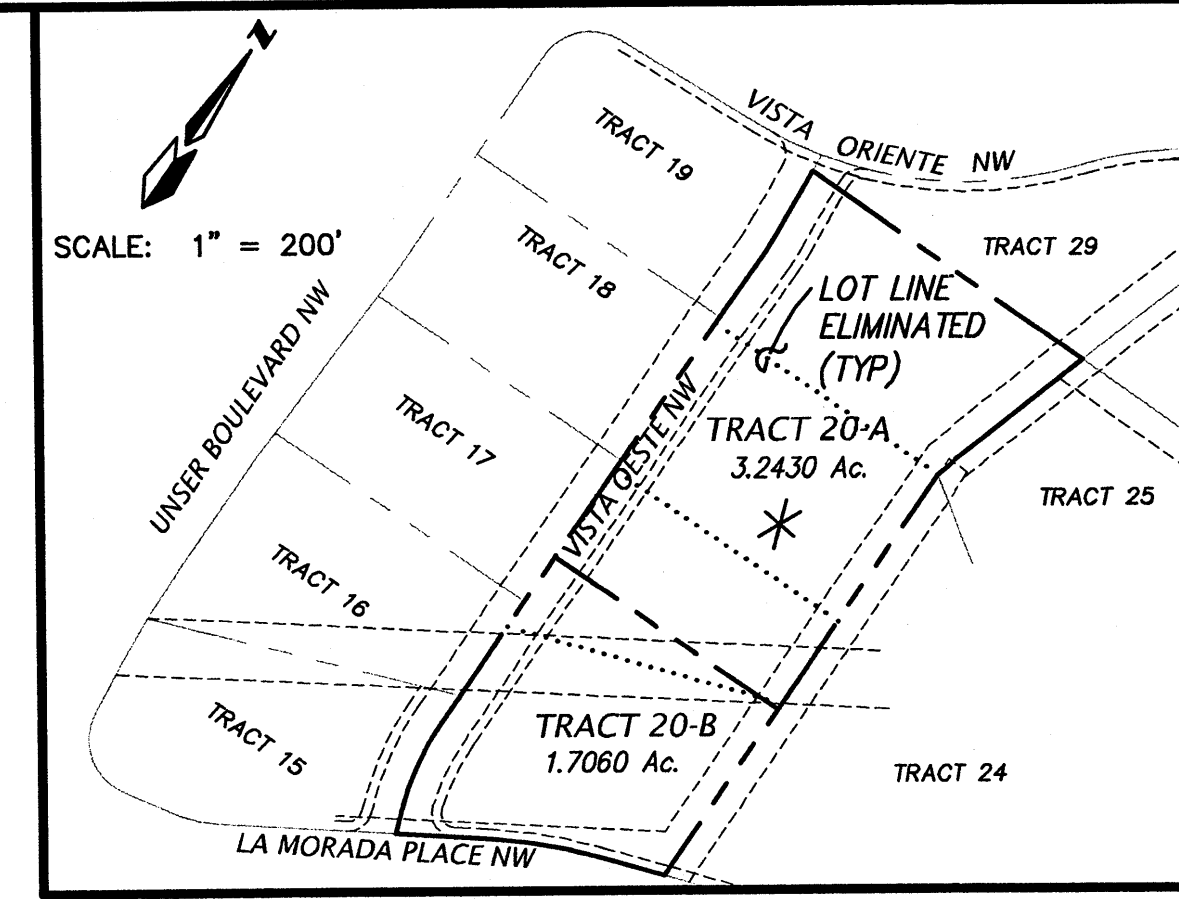
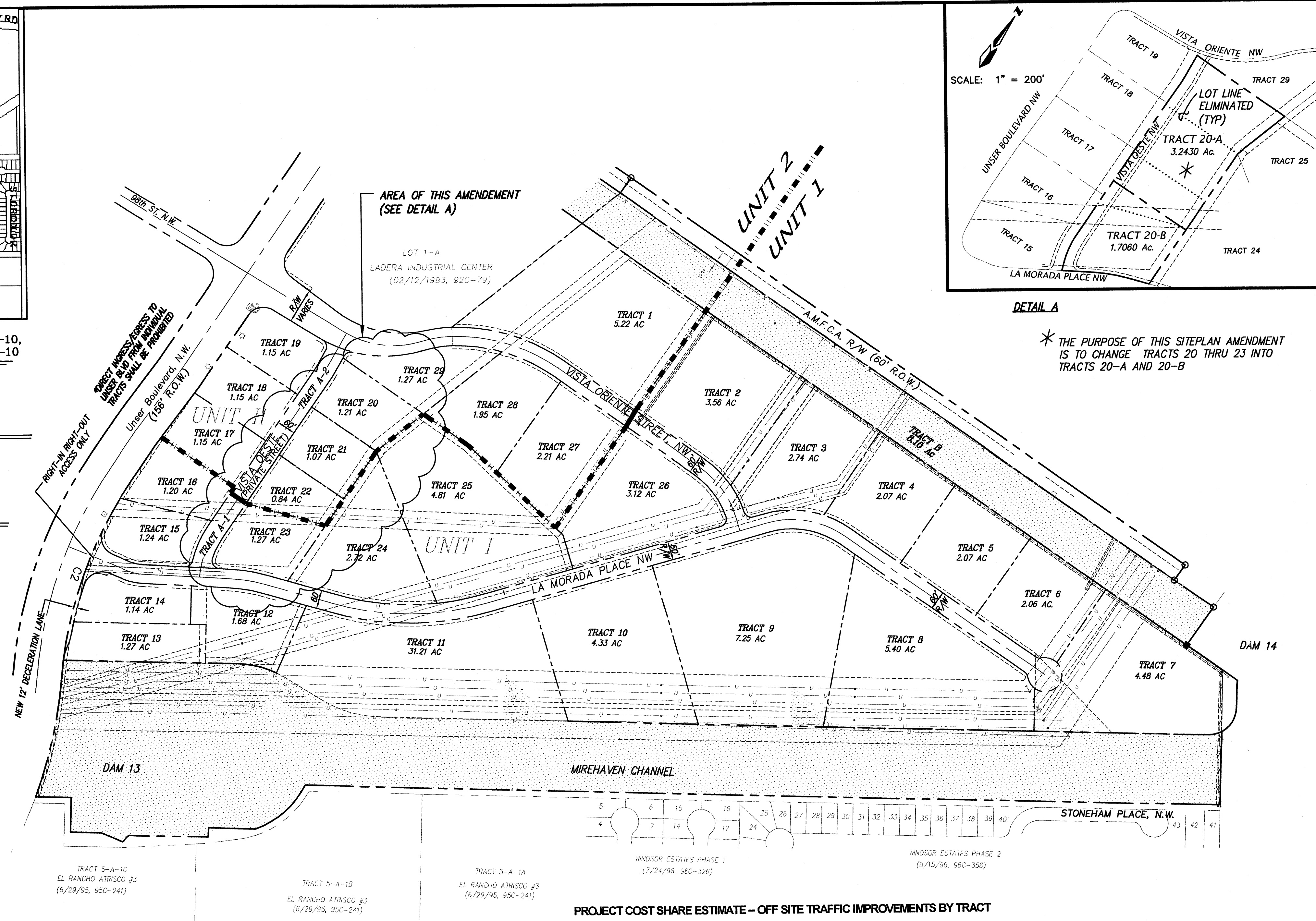
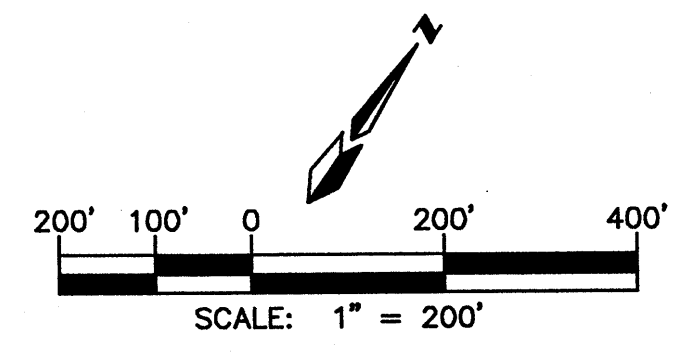
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SCALE: 1" = 200'
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APPROVED AND ACCEPTED BY:

Project No. 1001523

Application No. _____

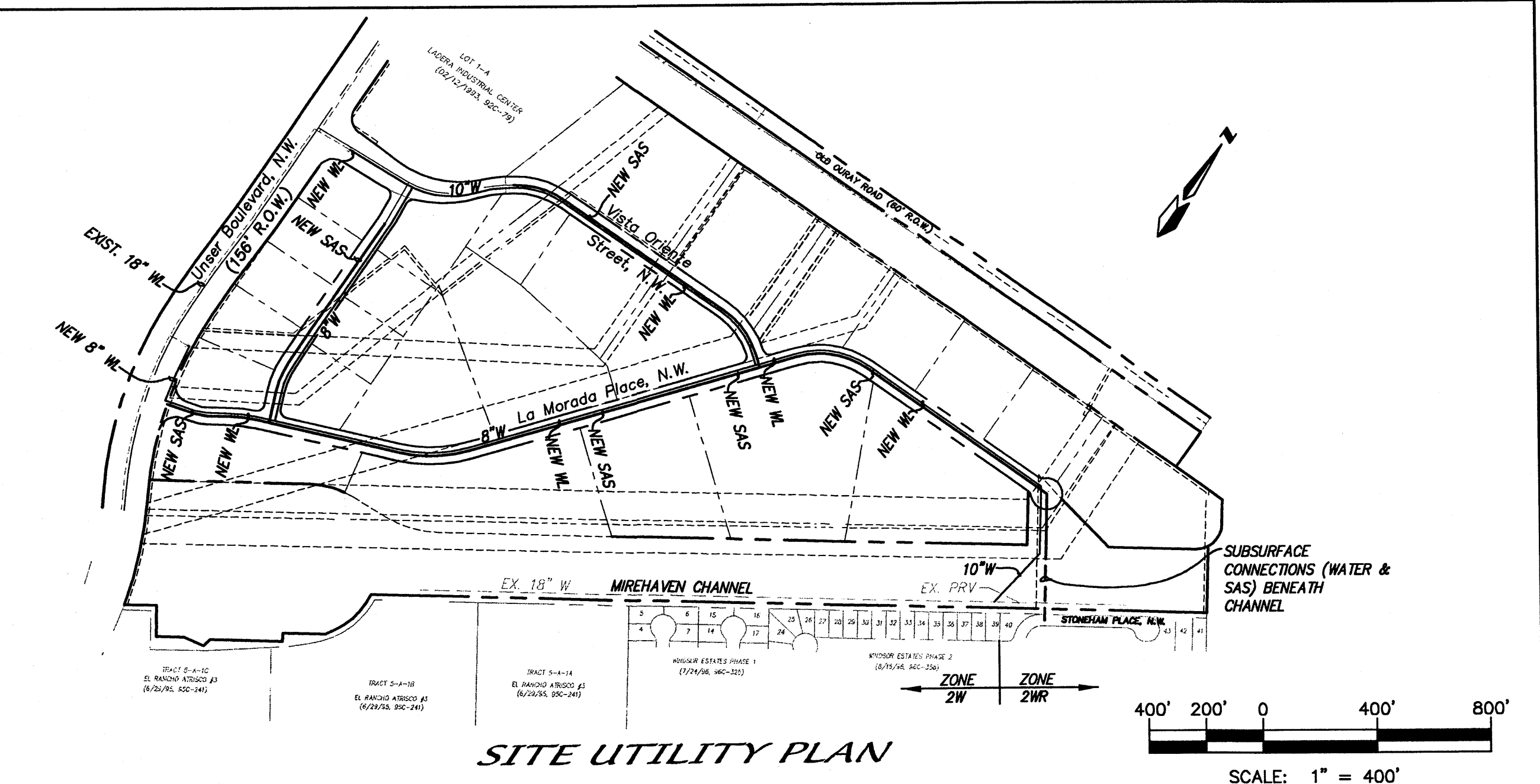
Planning Department/ DRB Chair _____

City Engineer _____

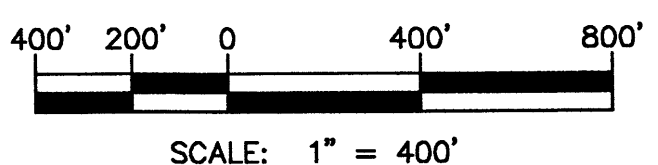
Transportation Development _____

Utility Development _____

Parks and Recreation _____



SITE UTILITY PLAN



PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

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- DRAINAGE EASEMENT
- MIXED EASEMENT
- UNIT BOUNDARY

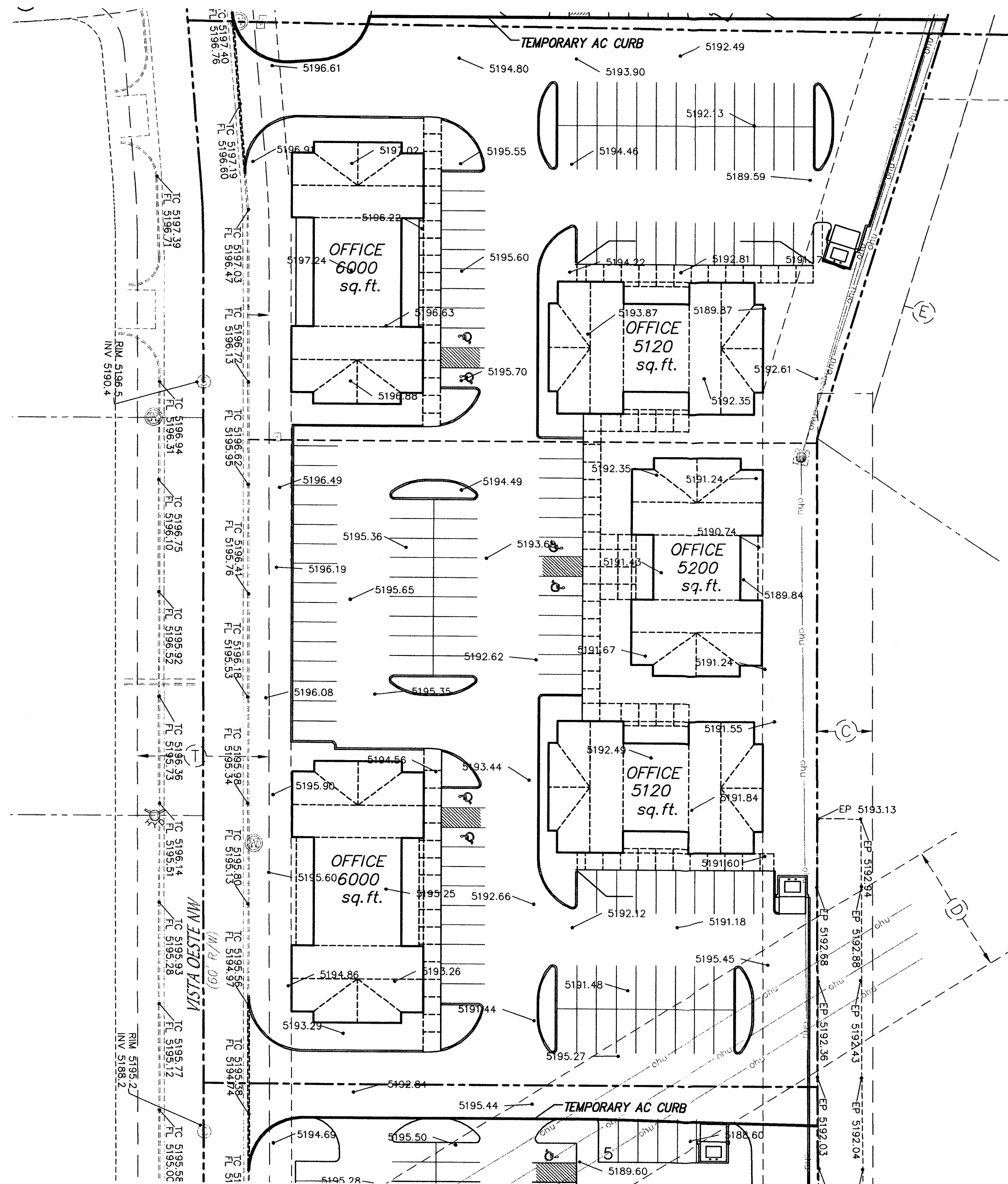
LADERA BUSINESS PARK

AMENDED SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
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P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
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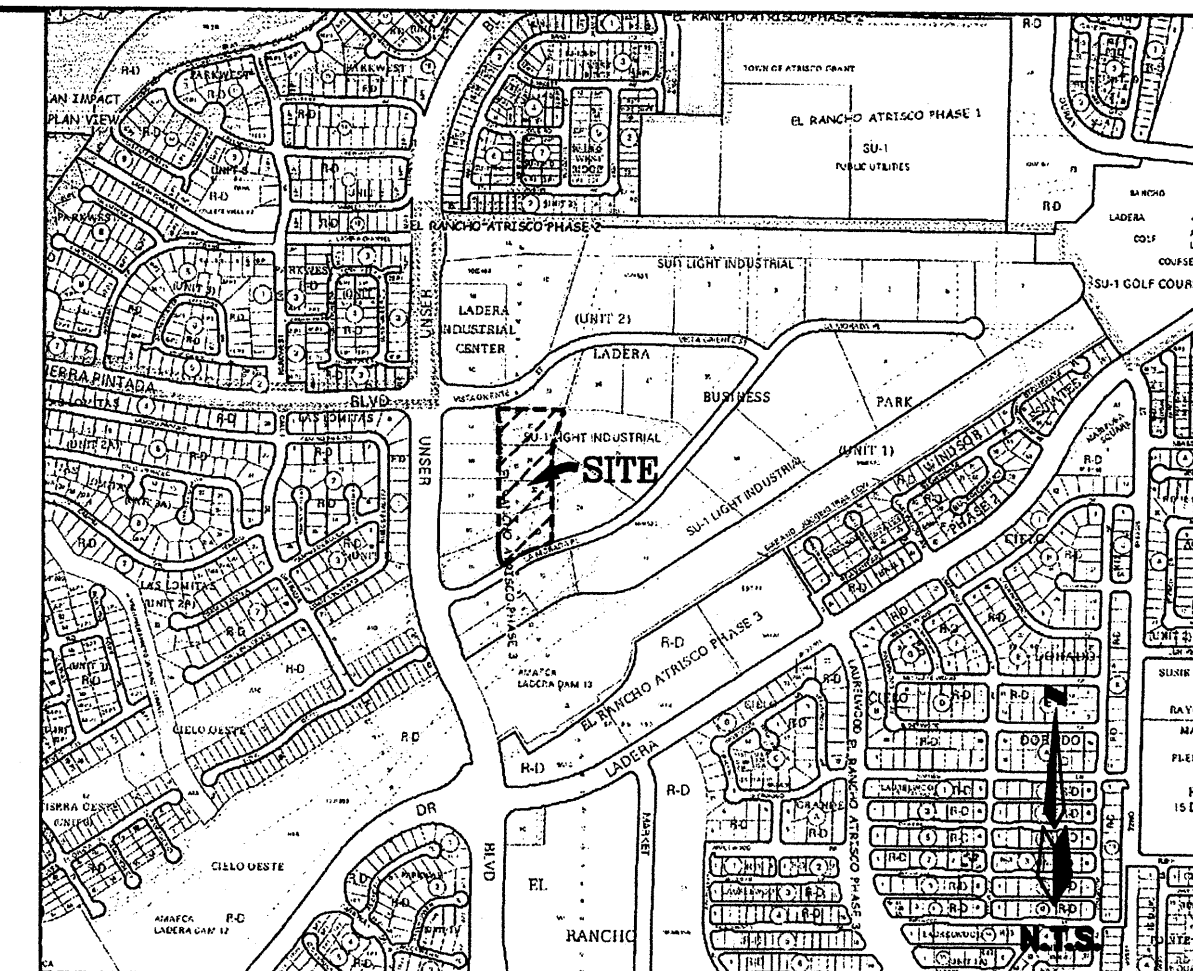
Designed: DMG Drawn: SPS Checked: DMG Sheet 1 of 1

Scale: 1" = 200' Date: 2/13/07 Job: A06095



EASEMENT DESCRIPTION

- ⓑ EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
- ⓒ EXISTING 25' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
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- ⓕ EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/2004, 2004C-24)
- ⓖ EXISTING 30' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- ⓓ EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- ⓙ EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)



VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK

ACS MONUMENT "2-H9" HAVING AN ELEVATION OF 5207.23 (NGVD29).

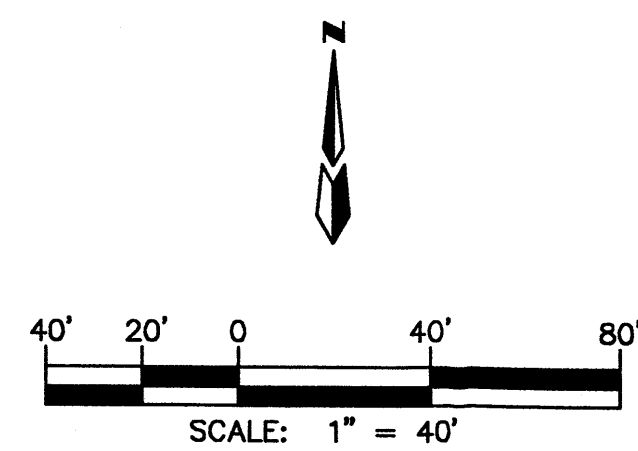
LEGAL DESCRIPTION

TRACTS TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), AND TWENTY-NINE (29), OF "LADERA BUSINESS PARK, UNIT 2" AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004C, PAGE 325.

1. PROPERTY CURRENTLY ZONED: SU-1.

LEGEND

- EXISTING CURB
- TC=5082.00 EXISTING TOP OF CURB
- FL=5081.50 EXISTING FLOWLINE
- EXISTING SPOT ELEVATION
- STANDARD 8" CURB & GUTTER
- 28.53+ PROPOSED SPOT ELEVATION
- FF= 30.38 FINISHED PAD ELEVATION
- NEW BUILDINGS
- PROPOSED PROPERTY LINE
- TEMPORARY AC CURB

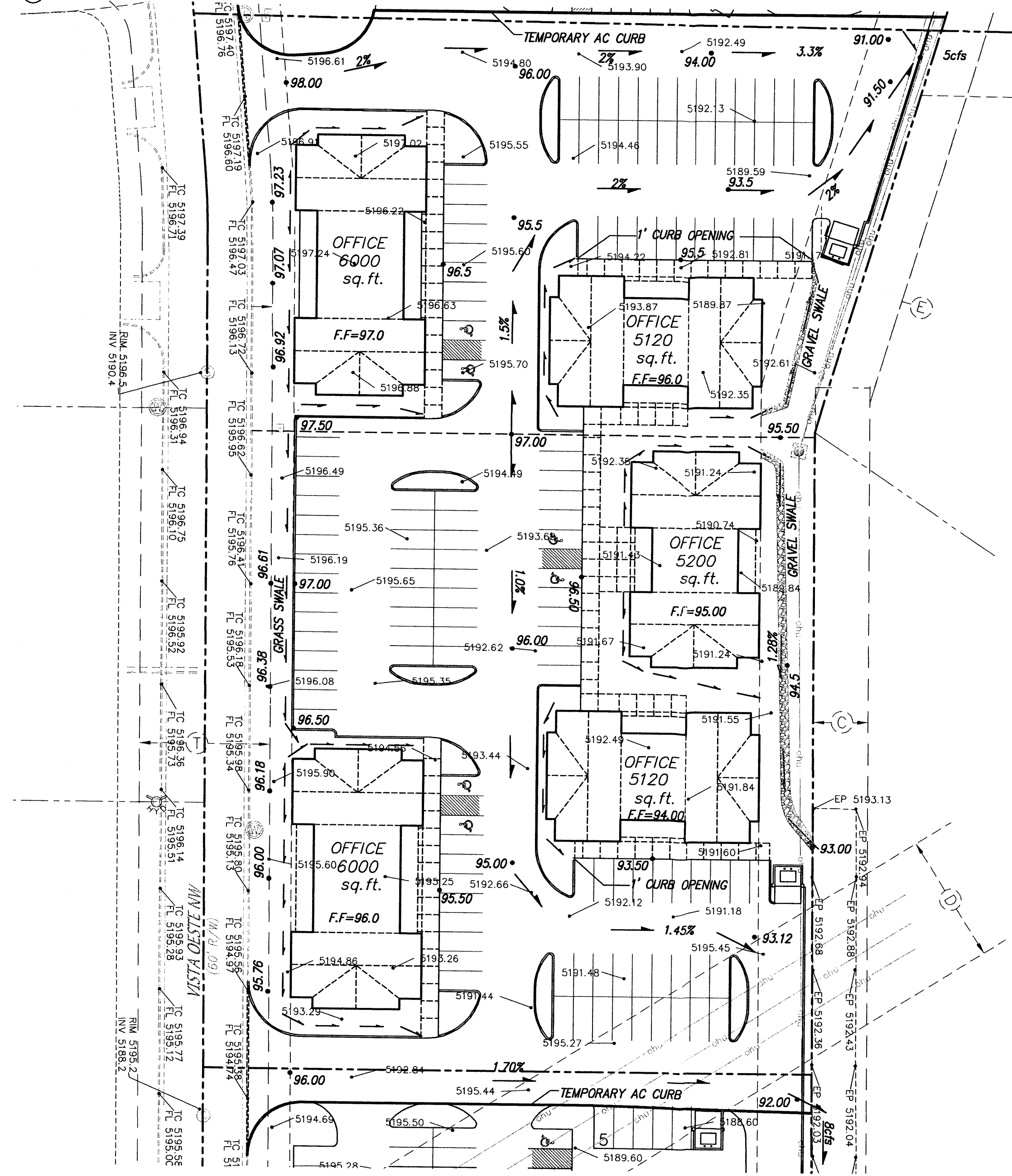


**LADERA BUSINESS PARK
CONCEPTUAL SITE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

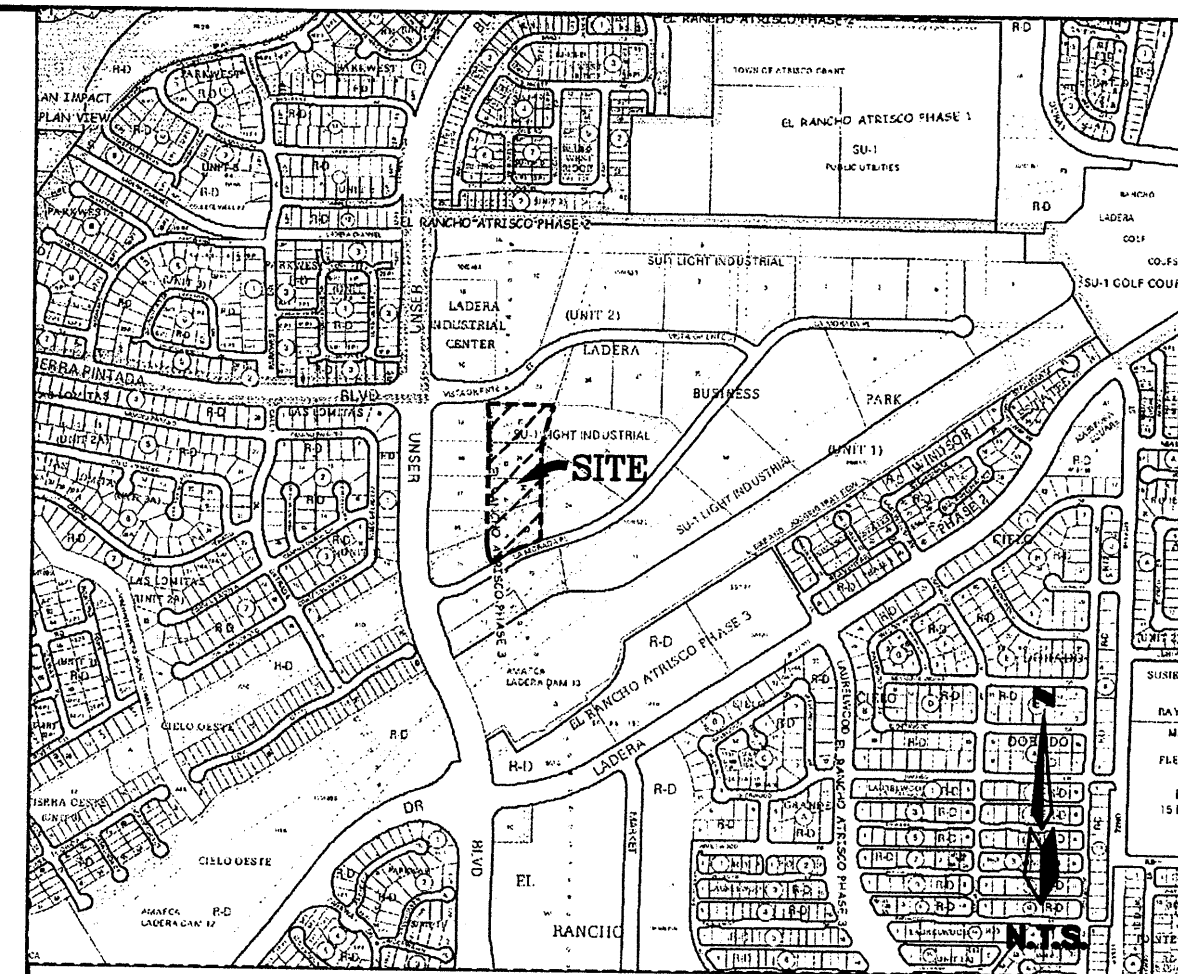
Designed: BJC Drawn: CAR Checked: JMM Sheet 1 of 3
Scale: 1" = 40' Date: 12/13/06 Job: A6095

F:\A06\JOB\A6095 Ladera Business Park\dwg\Grade & Drain\A6095qd.dwg, 12/22/07 1:17:37 PM, charles



EASEMENT DESCRIPTION

- (B) EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
- (C) EXISTING 25' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (D) EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (3/16/1953, BOOK MISC. D 235, PGS. 619-622)
- (E) EXISTING 50' PNM EASEMENT (1/22/2004, 2004C-24)
- (F) EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/2004, 2004C-24)
- (G) EXISTING 30' PRIVATE DRAINAGE EASEMENT (1/22/2004, 2004C-24)
- (H) EXISTING 60' PUBLIC ROADWAY EASEMENT (1/22/2004, 2004C-24)
- (J) EXISTING 10' PUBLIC UTILITY EASEMENT (10/11/2004, 2004C-325)



VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK

ACS MONUMENT "2-H9" HAVING AN ELEVATION OF 5207.23 (NGVD29).

LEGAL DESCRIPTION

TRACTS TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), AND TWENTY-NINE (29), OF "LADERA BUSINESS PARK, UNIT 2" AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004C, PAGE 325.

1. PROPERTY CURRENTLY ZONED: SU-1.

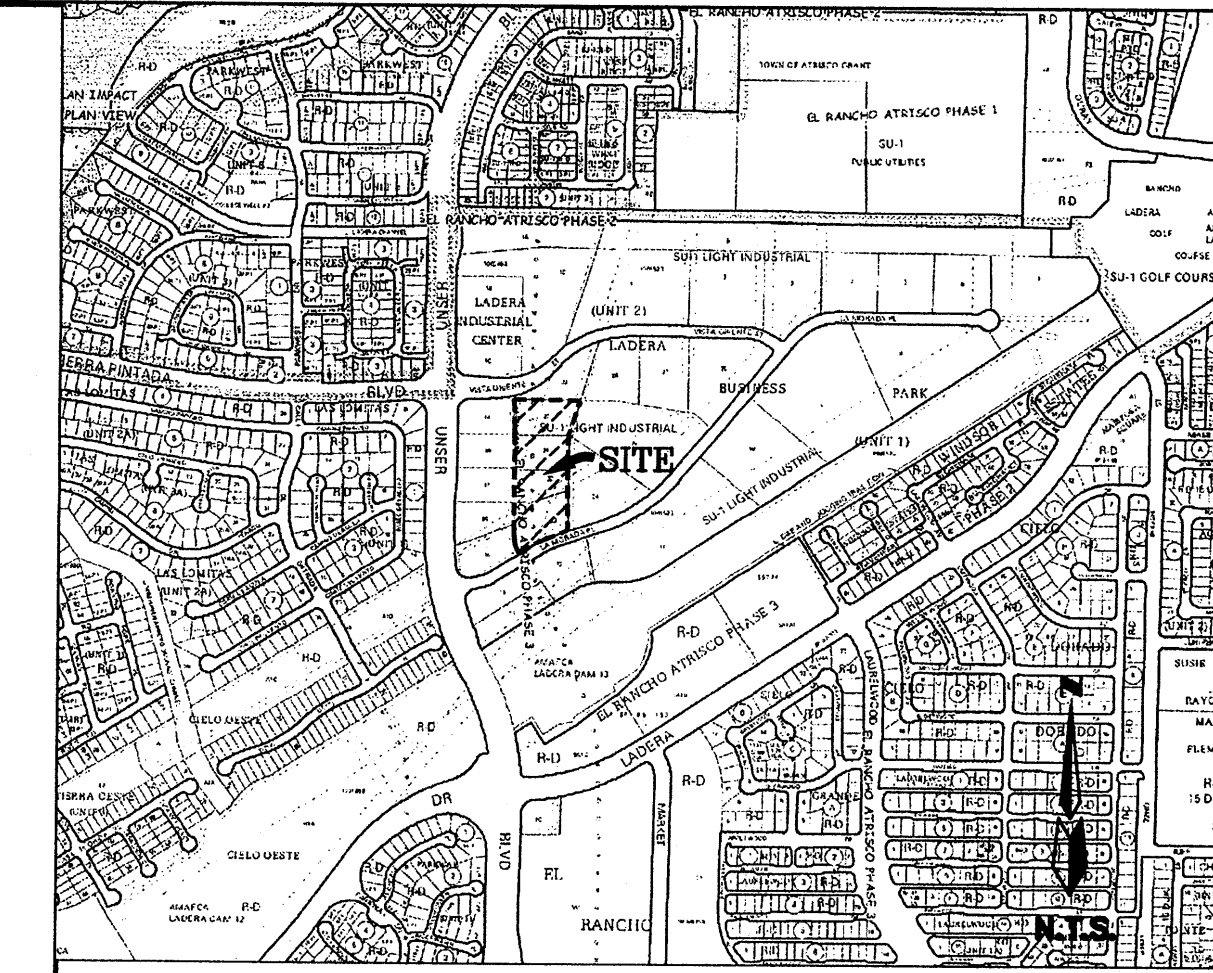
LEGEND

- EXISTING CURB
- TC=5082.00 EXISTING TOP OF CURB
- FL=5081.50 EXISTING FLOWLINE
- 00.00 EXISTING SPOT ELEVATION
- STANDARD 8" CURB & GUTTER
- 28.53* PROPOSED SPOT ELEVATION
- FF= 30.38 FINISHED PAD ELEVATION
- NEW BUILDINGS
- PROPOSED PROPERTY LINE
- TEMPORARY AC CURB
- PROPOSED DRAINAGE FLOW
- PROPOSED DRAINAGE GRAVEL SWALE

**LADERA BUSINESS PARK
CONCEPTUAL GRADING & DRAINAGE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: BJC	Drawn: CAR	Checked: JMM	Sheet 2 of 3
Scale: 1" = 40'	Date: 12/13/06	Job: A6095	



VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK

LEGAL DESCRIPTION

TRACTS TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), AND TWENTY-NINE (29), OF "LADERA BUSINESS PARK, UNIT 2" AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004C, PAGE 325.

1. PROPERTY CURRENTLY ZONED: SU-1.

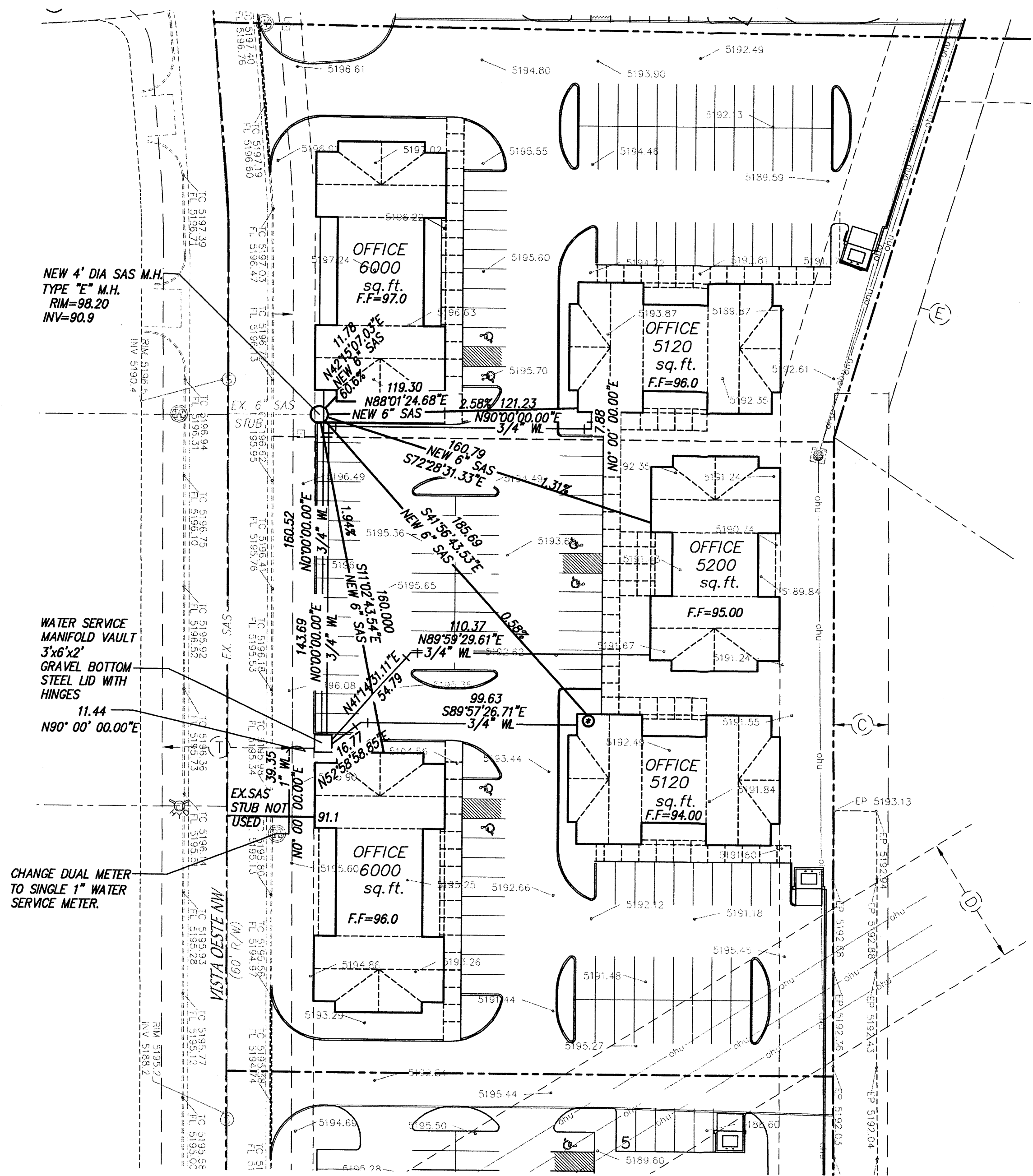
LEGEND

=====	EXISTING CURB
TC=5082.00	EXISTING TOP OF CURB
FL=5081.50	EXISTING FLOWLINE
00.00	EXISTING SPOT ELEVATION
-----	STANDARD 8" CURB & GUTTER
28.53	PROPOSED SPOT ELEVATION
FF= 30.38	FINISHED PAD ELEVATION
[Box]	NEW BUILDINGS
-----	PROPOSED PROPERTY LINE
---	NEW 6" SAS
---	PROPOSED SAS SERVICE LINE
---	PROPOSED WATER SERVICE LINE
1.31%	PROPOSED LEVEL OF FLOW OF SAS

EASEMENT DESCRIPTION

- (B) EXISTING 60' WIDE ACCESS EASEMENT (10/11/04, 2004C-325)
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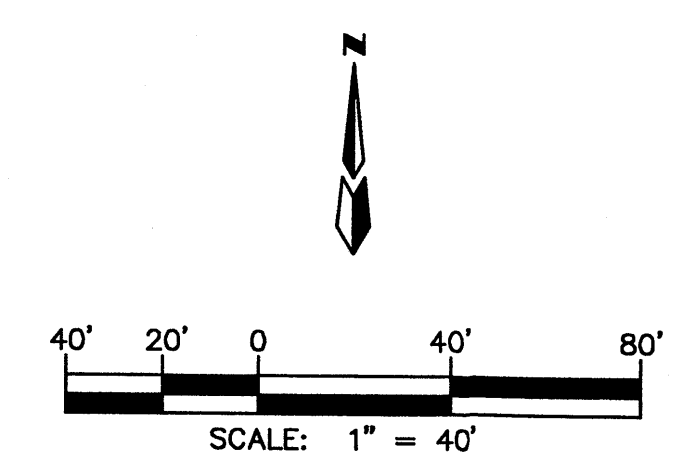
SEWAGE LIFT PUMP REQUIRED.
NOTE: ALL SEWER SERVICE TO EACH BUILDING TO BE 6" DIAMETER



NEW 4' DIA SAS M.H. TYPE "E" M.H. RIM=98.20 INV=90.9

WATER SERVICE MANIFOLD VAULT 3'x3'x2' GRAVEL BOTTOM STEEL LID WITH HINGES 11.44 N90° 00' 00.00"E

CHANGE DUAL METER TO SINGLE 1" WATER SERVICE METER.



LADERA BUSINESS PARK
CONCEPTUAL UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
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Designed: BJC	Drawn: CAR	Checked: JMM	Sheet 3 of 3
Scale: 1" = 40'	Date: 01/22/07	Job: A6095	