

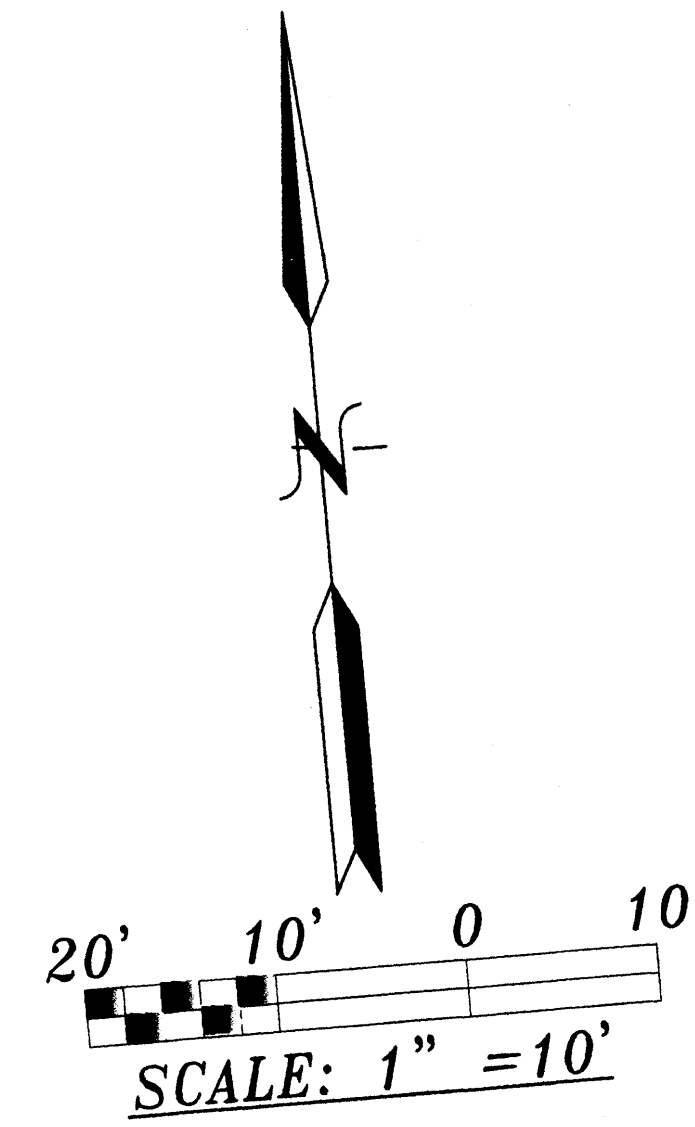
PROJECT # 1005513

Ron Montoya Custom Designs  
Residential Design and Drafting Services  
4801 Alameda N.E. Suite G-1 New Mexico Design Center  
(505) 825-6474 Cell: (505) 307-1005

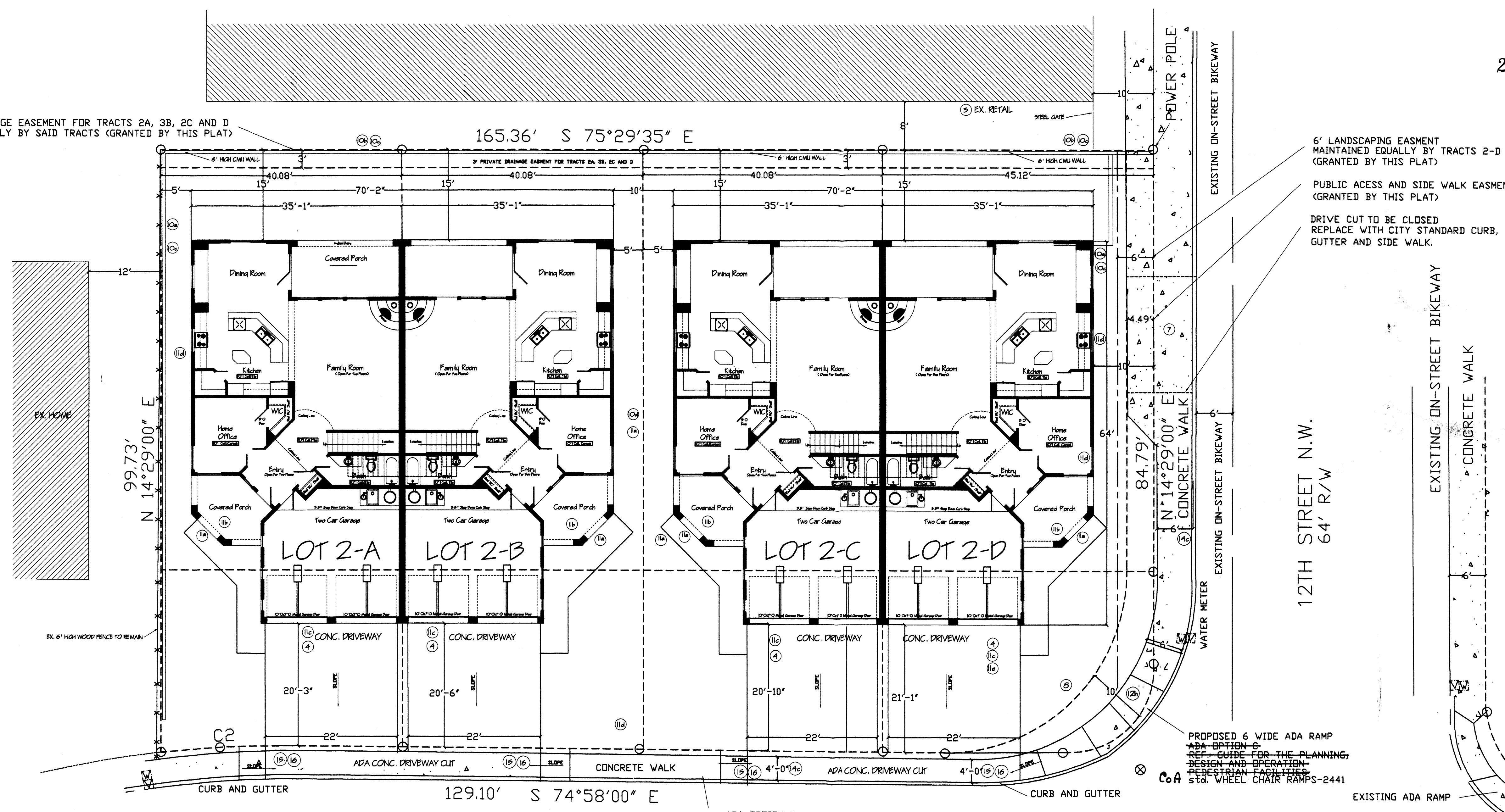
Barela Development Group  
Albuquerque New Mexico  
Site Plan

- KEYED DRB CONDITIONS OF APPROVAL - 07 EPC 00573, JULY 19, 2007, SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- EPC DELEGATES FINAL SIGN OFF TO DRB
  - PRIOR TO SUBMITTAL APPLICANT SHALL MEET WITH STAFF PLANNER AND NEAR NORTH VALLEY NEIGHBORHOOD ASSOCIATION.
  - EXISTING BUILDING TO THE NORTH SHOWN.
  - EACH DRIVE WAY SHALL BE A MIN OF 20' LONG TO COMPLY WITH ZONING CODE SETBACK FOR R-LT ZONE.
  - TYPOGRAPHICAL ERRORS CORRECTED.
  - PARKING CALCULATIONS SHALL SHOW NUMBER OF BATHS PER UNIT.
  - THE EXISTING CURB CUT ON 12TH STREET SHALL BE CLOSED AND RESTORED TO CURB HEIGHT MATCHING SURROUNDING AREAS.
  - GRADING, DRAINAGE AND UTILITY PLAN SHALL BE REVIEWED AND APPROVED BY APPROPRIATE AGENCIES BEFORE FINAL SIGN.
  - THE UPPER LEVEL OF EACH UNIT SHALL BE LIMITED TO 90% OF THE BUILDING FOOTPRINT AND SHALL BE STEPPED BACK FROM DON FRANCISCO.
- LANDSCAPING
- REMOVED NOTE: "FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN." see sheet 2
  - A SHRUB PLANTING DETAIL IS PROVIDED. see sheet 2
  - ALL GROUND COVER SHALL BE INDICATED. see sheet 2
  - THE AMOUNT OF HIGH WATER TURF SHALL BE REDUCED. see sheet 2
  - THE APPLICANT SHALL CORRECT PLANT COUNTS FOR OCOTILLO. see sheet 2
  - EXISTING CITY MAINTAINED LANDSCAPING TO THE NORTH OF THE CURB CUT ON 12TH STREET SHALL BE DESIGNED TO MATCH THE EXISTING CITY LANDS TO THE NORTH. see sheet 2
  - THE APPLICANT SHALL REPAIR DAMAGE DONE TO CITY-INSTALLED LANDSCAPING ADJACENT TO TO OR ON THE SUBJECT SITE TO MATCH THE LANDSCAPE PLANS FOR THE LOS CANCELARAS VILLAGE CENTER STREETSCAPE IMPROVEMENT. THE APPLICANT SHALL COORDINATE WITH THE METROPOLITAN REDEVELOPMENT AGENCY TO ENSURE THAT THIS CONDITION IS MET. see sheet 2
  - THE PLANTING AREA SOUTH AND EAST OF THE POINTS CURVATURE AT THE SOUTHEAST CORNER SHALL BE REPLACED WITH SIDEWALK TO MATCH EXISTING SIDEWALKS ALONG 12TH STREET IN MATERIALS, COLOR, STYLE. WILDFLOWERS SHOWN IN THE LANDSCAPE PLAN SHALL BE RELOCATED WITHIN THE SITE. SHEETS 1 AND 2
  - THE APPLICANT SHALL COMPLY WITH ALL WASTE MANAGEMENT DEPARTMENT ORDINANCES AND REQUIREMENTS.
- DESIGN
- FRONT COURTYARD WALLS SHALL BE REMOVED FROM THE SITE PLAN.
  - TURRETS SHALL BE REMOVED FROM PLAN.
  - DOORS FOR THE TWO-CAR GARAGES SHALL BE PROVIDED IN THE FORM OF TWO SEPARATE SINGLE DOORS.
  - ADDITIONAL ARTICULATION TO INCLUDE WINDOWS SHALL BE PROVIDED ON THE EAST ELEVATION OF LOT A AND THE WEST ELEVATION ON LOT D.
  - BUILDING SHALL BE DESIGNED IN TERRITORIAL STYLE.

- CITY ENGINEER CONDITIONS
- THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN. THOSE IMPROVEMENTS WILL INCLUDE ANY ADDITIONAL RIGHT-OF-WAY REQUIREMENTS, PAVING, CURB AND GUTTER, SIDEWALK AND ADA ACCESSIBLE RAMPS THAT HAVE NOT ALREADY BEEN PROVIDED FOR. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT ARE NOT LIMITED TO SIDEWALKS (std. dwn. 2450) DRIVEWAYS (std. dwn. 2425), PRIVATE ENTRANCES (std. dwn. 2426) AND WHEEL CHAIR (std. dwn. 2441).
  - PROVIDE PARKING CALCULATIONS.
  - SHOW SIDEWALK (4' ON DON FRANCISCO AND 6' ON 12TH STREET) AND LANDSCAPE BUFFER ON SITE PLAN. SIDEWALKS TO BE LOCATED AT PROPERTY LINE CITY RIGHT-OF-WAY.
  - SITE PLAN SHALL COMPLY AND BE DESIGNED PER DPM STANDARDS.
  - PLATTING MUST BE CONCURRENT DRB ACTION.
  - SIDEWALK TRANSITIONS AT THE DRIVE PADS ON DON FRANCISCO SHALL BE CONSTRUCTED TO 12:1 RATIO TO MAINTAIN ADA ACCESSIBILITY.
  - SIDEWALK ALONG DON FRANCISCO SHALL NOT EXCEED A 2% CROSS SLOPE.



3' PRIVATE DRAINAGE EASEMENT FOR TRACTS 2A, 3B, 2C AND D MAINTAINED EQUALLY BY SAID TRACTS (GRANTED BY THIS PLAT)



6' LANDSCAPING EASMENT MAINTAINED EQUALLY BY TRACTS 2-D (GRANTED BY THIS PLAT)

PUBLIC ACCESS AND SIDE WALK EASMENT (GRANTED BY THIS PLAT)

DRIVE CUT TO BE CLOSED REPLACE WITH CITY STANDARD CURB, GUTTER AND SIDE WALK.

3621 12TH STREET NW ZONE: SU-1/ R-LT USES ZONE ATLAS: G4
LEGAL DESCRIPTION OF TRACT 2 LANDS OF ALBERT L. MATTHEW ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FEBRUARY, 2007
FRONT AND EAST SIDE SETBACK - 10' REAR SETBACK - 15' WEST SETBACK - 5'
SQUARE FOOTAGE 1ST AND 2ND FLOORS TOTAL LOT A - 4,068 SQ FT 1ST FL - 2261 sq ft 2ND FL - 1076 sq ft LOT B - 4,068 SQ FT 1ST FL - 2261 sq ft 2ND FL - 1076 sq ft LOT C - 4,068 SQ FT 1ST FL - 2261 sq ft 2ND FL - 1076 sq ft LOT D - 4,960 SQ FT 1ST FL - 2261 sq ft 2ND FL - 1076 sq ft
PARKING CALCULATIONS 2 BATH ROOMS PER TOWNHOUSE 2 ON SITE PARKING 5 PER RESIDENCE 8 PARKING 5 TOTAL ON SITE LOT A - 2 BATHS LOT B - 2 BATHS LOT C - 2 BATHS LOT D - 2 BATHS

ADA OPTION C  
REF - GUIDE FOR THE PLANNING,  
DESIGN AND OPERATION  
PEDESTRIAN FACILITIES  
std. WHEEL CHAIR RAMPS - 2441  
std. DRIVEWAYS - 2425  
std. PRIVATE ENTRANCE - 2426  
std. SIDEWALKS - 2430

SITE PLAN SHALL COMPLY WITH DPM STANDARDS

DON FRANCISCO PLACE N.W. 50' R/W

Site Development plan  
For Building Permit

CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO CONSTRUCTION

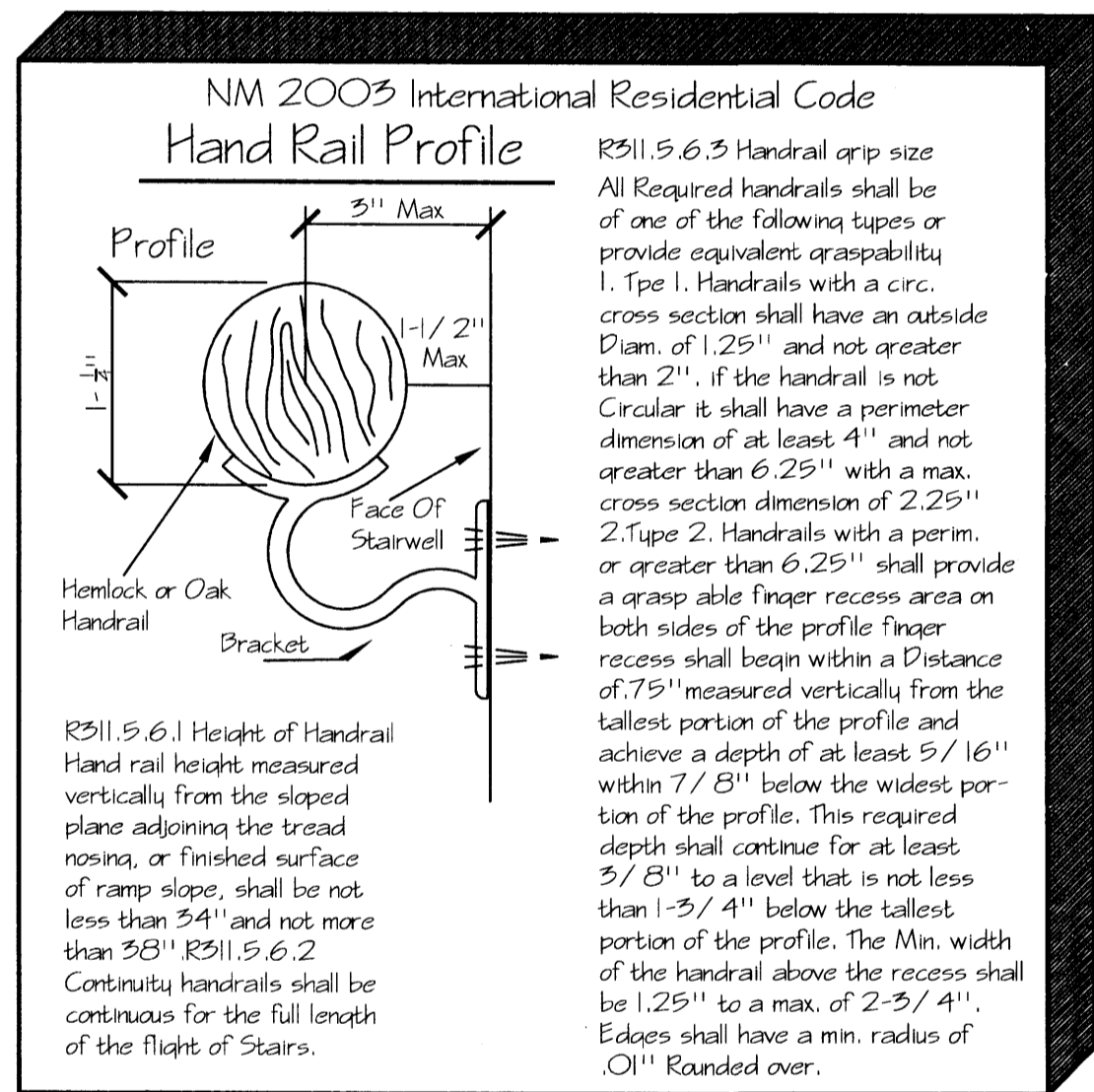
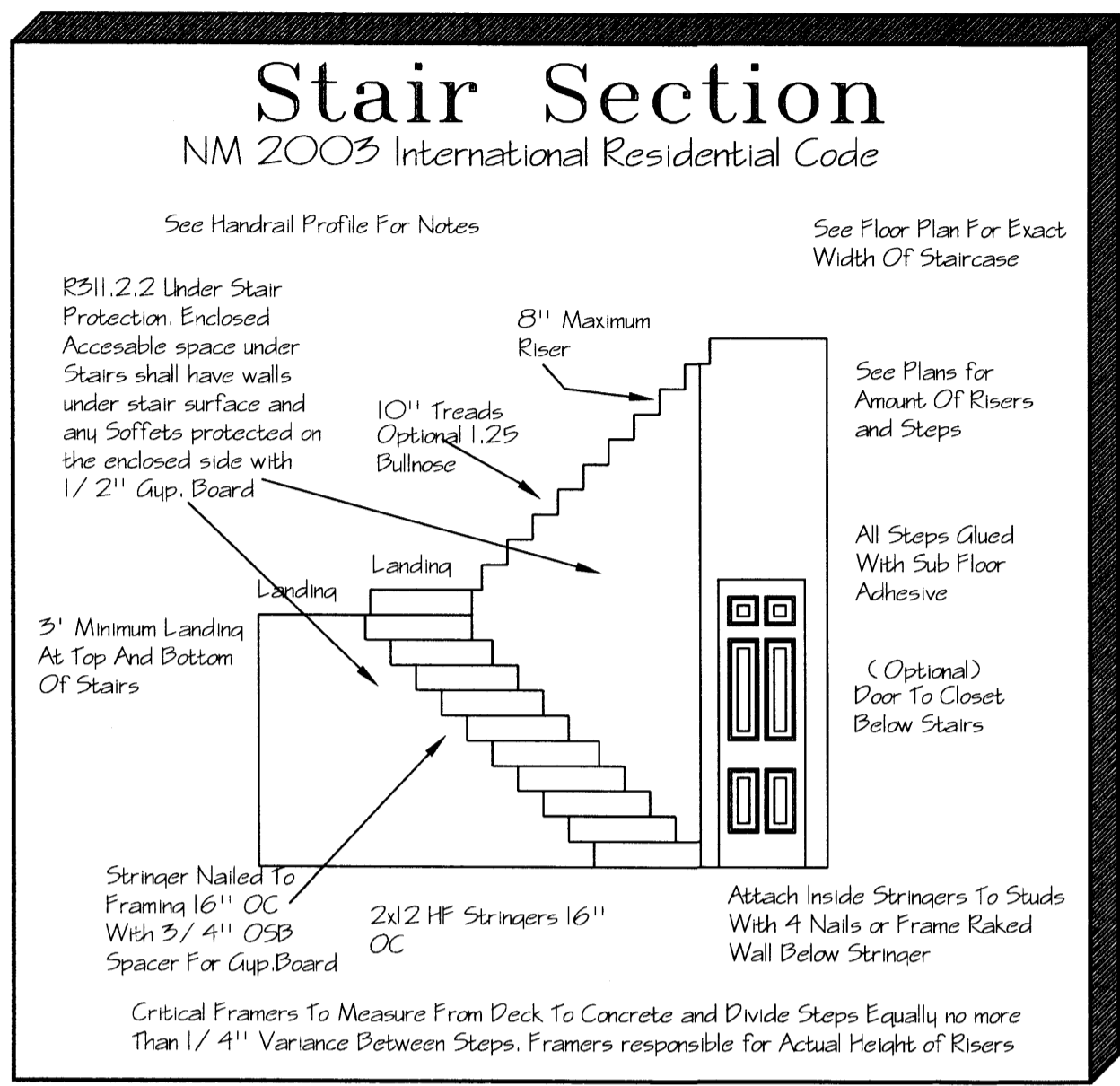
PROJECT NUMBER: 1005513  
APPLICATION NUMBER: 07EPC-70242

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 7/19/07, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:	
2-13-08	Date
2-13-08	Date
2/13/08	Date
2/13/08	Date
N/A	Date
N/A	Date
11-3-08	Date

Final Drawings Checked By	Sheet
1. R. Montoya	
2. C. Montoya	
3. 02-06-08	Of 7 Sheets

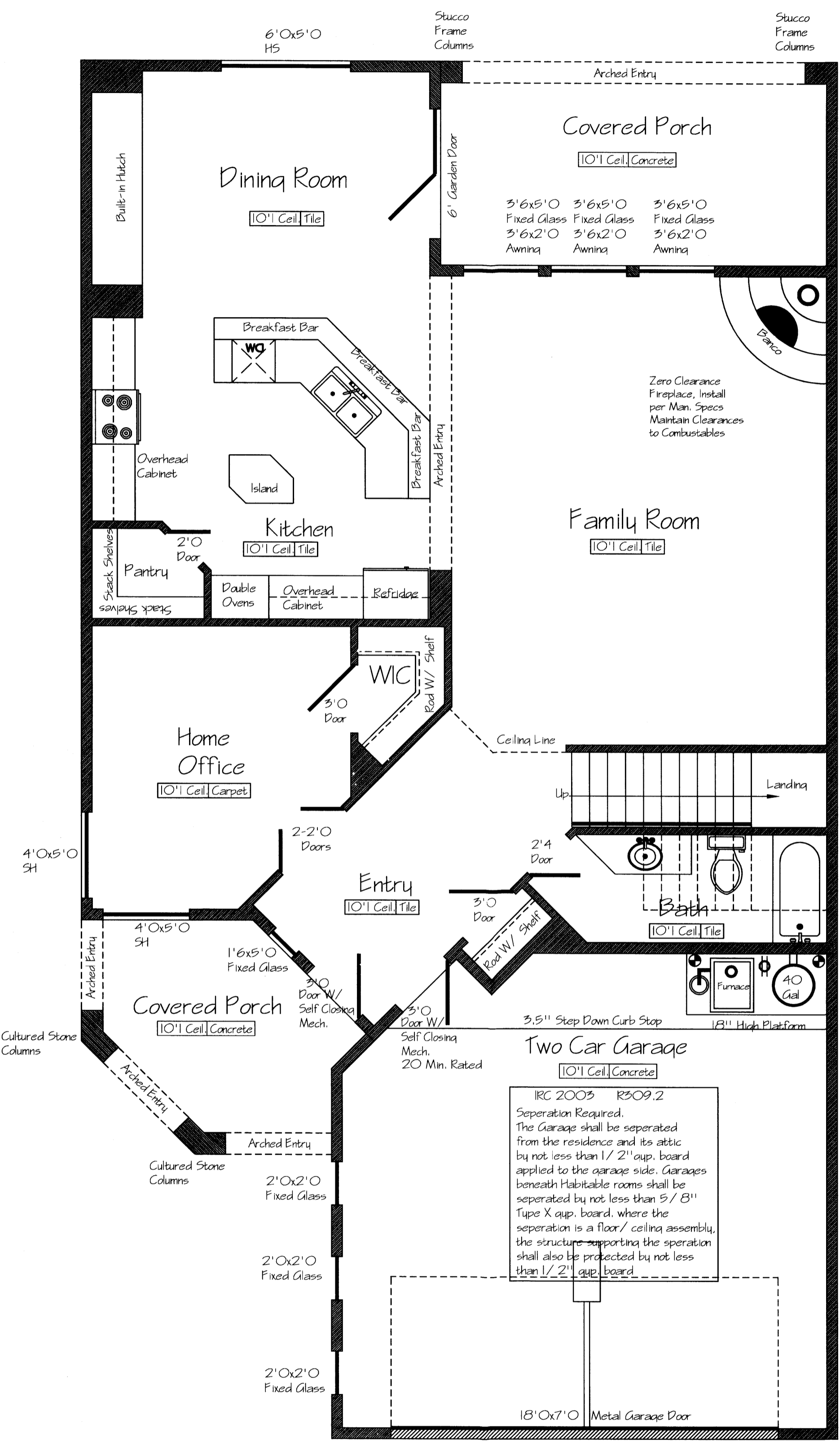


**Note:** NM 2003 IRC R310.1.1 / R310.1.2 / R310.1.3  
All Windows in Bedrooms To Have A Min. 5.7 Sq. Ft. Opening with a Max. 44" Sill Height. Window Min. 24" Height, 20" width  
Exception: Grade floor openings shall have a Min. net clear opening of 5 Sq. Ft.  
All Exterior Doors including Door From Garage To Heated To Have at Least One Deadbolt, with Door Jamb Solid Filled Between Frame And Jamb. Address Numbers Should Be Legible and Easily Read From The Street.

**Glass Block Notes:**  
All Glass Block To Have Double Sills and Cripples 12" OC To Support Weight Of Masonry. Water Proof Membrane at Wood To Block Connections

**Note:**  
An Electrode Encased In at Least 2" Of Concrete, Located Within and Near The Bottom of a Concrete Foundation or Footing That is in Direct Contact with the Earth, Consisting of at Least 20' of one or more electrically conductive Steel Reinforcing Re-bar of Not less than 1/2" Diam.

**Note:**  
Arc-Fault Circuit-Interrupter Protection Shall Be Provided in All Dwelling Bedrooms, 15 and 20 Amp Receptacles and all Branch Circuits to be Protected by Arc-Fault Circuit Interrupter's



**Electrical Panel Note:**  
At Electrical Panel, Place (2) Full Height Studs on Either side of Blockout. Wall Top plates to be continuous over box Blockout and support studs. Max. Blockout opening width is 16". Actual R.O. Width is 14.5".

### NM 2003 International Residential Code

Specifications:

Concrete  
2500 PSI For Concrete Slab, Footings, and Retaining Walls Unless Noted.  
3.5" Concrete Slab Minimum W/ Optional 6x6 10/10 Welded Wire Mesh.  
Broom Finish All Exterior Concrete.  
2-#4 Re-bar Continuous in Footings and Thickened Slabs Min. 30 Diameters Lap, and Wire Tight. All Stem Walls Fully Grouted.  
1/2"x10" Anchor Bolts A-36 To Protrude 2-1/2" Embedded 8" At stem Wall.  
1" Urethane Insulation at Perimeter of Building and at heated, Unheated Transition at Garage.

Walls/ Exterior  
All Walls To be Framed with #2 or Better Grade Lumber 5FT, 7/16" OSB at Corners For Shear Strength and every 20", AIS or Optional 1/2" Exterior Gypsum Board Sheathing Between OSB. Exterior Walls To be Covered With Jumboex Building paper or Optional Tysack House Wrap. 17 Gauge Stucco Netting W/ 3 Coat Stucco or Optional 20 Gauge Netting W/ 2 Coat Power Wall or Western 1 Coat Fiberglass Reinforced Stucco System.  
All Exterior Windows Double Glass Units.  
All Exterior Doors To Have Threshold and Weather stripping Caulked To Concrete or Subfloor.

Walls Interior  
2x4 Studs 16" OC on all Non-loadbearing Walls, and at garage 1hr separation wall.  
1/2" Gypsum board at walls and ceiling with texture per Owners Preference. Tape and Bed all joints.  
1/2" Water Resistant Gypsum board at all bathroom and Kitchen high water Areas.  
5/8" Type X Gypsum Board at Garage Ceiling and Walls Supported 16" OC at ceiling and Walls.

Roof  
All Membranes to meet or exceed 900 lb. 7/16" OSB with H clips at Roof sheathing Stagger all Joints. 6 mil. Poly vapor Barrier Optional w/ R30 Batt Insulation at Ceilings. R-19 At Floor Between 1st Floor Unheated and 2nd Floor Heated.  
All Sloping Flat Roofs to have Min. 1/4" PLF Slope with 3-ply Built-up Roofing.  
All Trusses To be Installed per Manufacturers Specifications and all Lateral Bracing per Truss Engineering Locations.  
Sloping Roof Trusses Min. 5/12 Pitch. See attached Engineering For Exact truss Construction and Installation Specs.

Mechanical \* Plumbing \* Electrical  
All Mechanical, Electrical, and Plumbing Contractors To Permit all Work on Project and install Per UPC, and all applicable Codes and Code Books. When Reviewing Notify Builder Of All Conflicts for Chase Locations and Chase Sizes See Electrical Mechanical Plan For Further Notes.

Heated Area  
1st Floor 1592 Total Heated 2428  
2nd Floor 1056  
Basement 0  
Garage 502  
Front Porch 117  
Back Porch 173  
Deck 0  
Total Living Area 3220

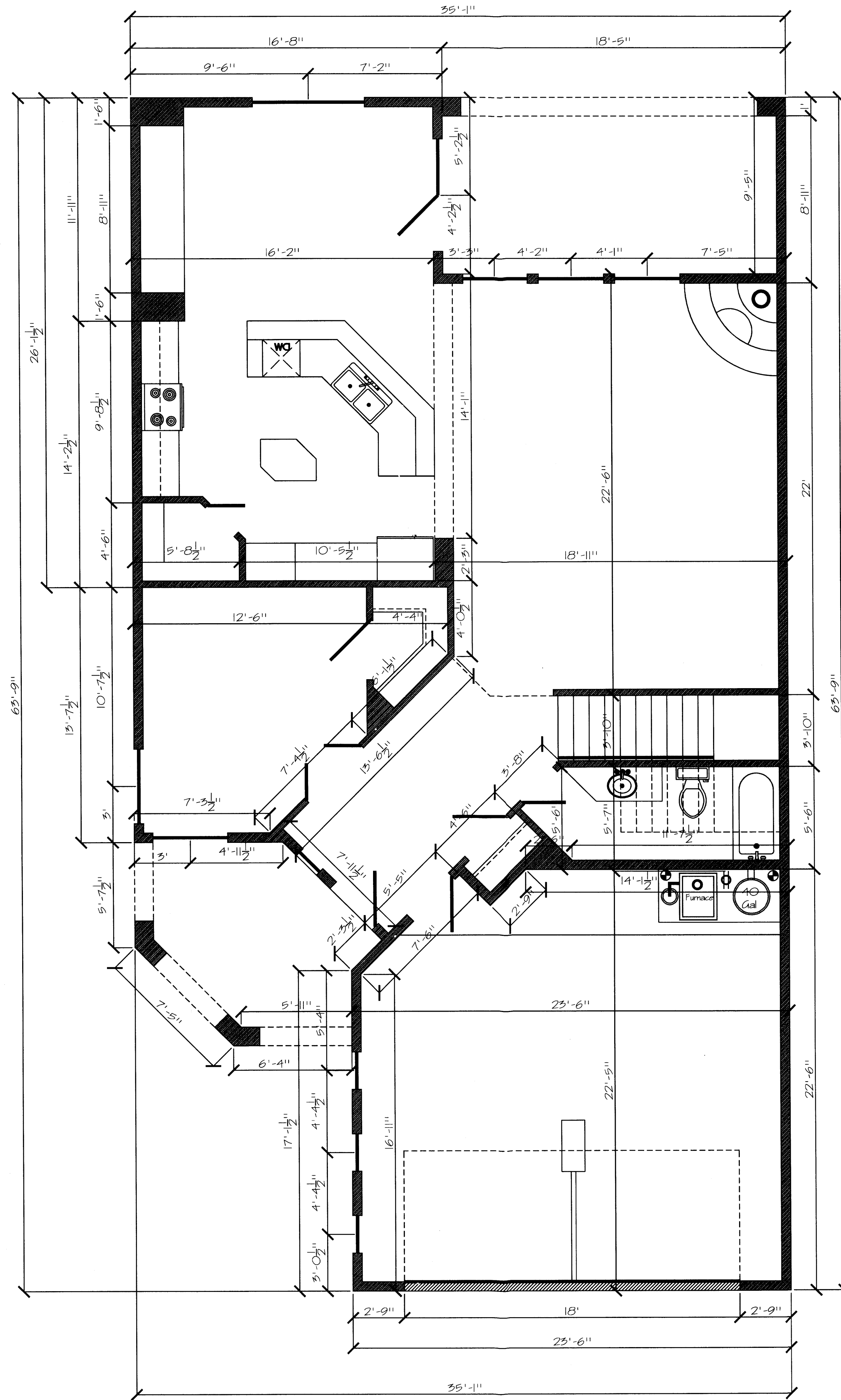
Ron Montoya Custom Designs  
Residential Design and Drafting Services  
8724 Alameda Park Drive N.E., Suite A Albuquerque  
(505) 823-6474 Cell: (505) 823-6777  
Fax: 823-6487

RH Barela Dev. Model A  
Albuquerque New Mexico  
Feb. 4, 2008  
Floor Plan

# Floor Plan

Scale: 1/4" = 1'

Final Drawing Checked By:	Sheet
1. R. Montoya	2
2.	Of 11 Sheets



# Dimensions

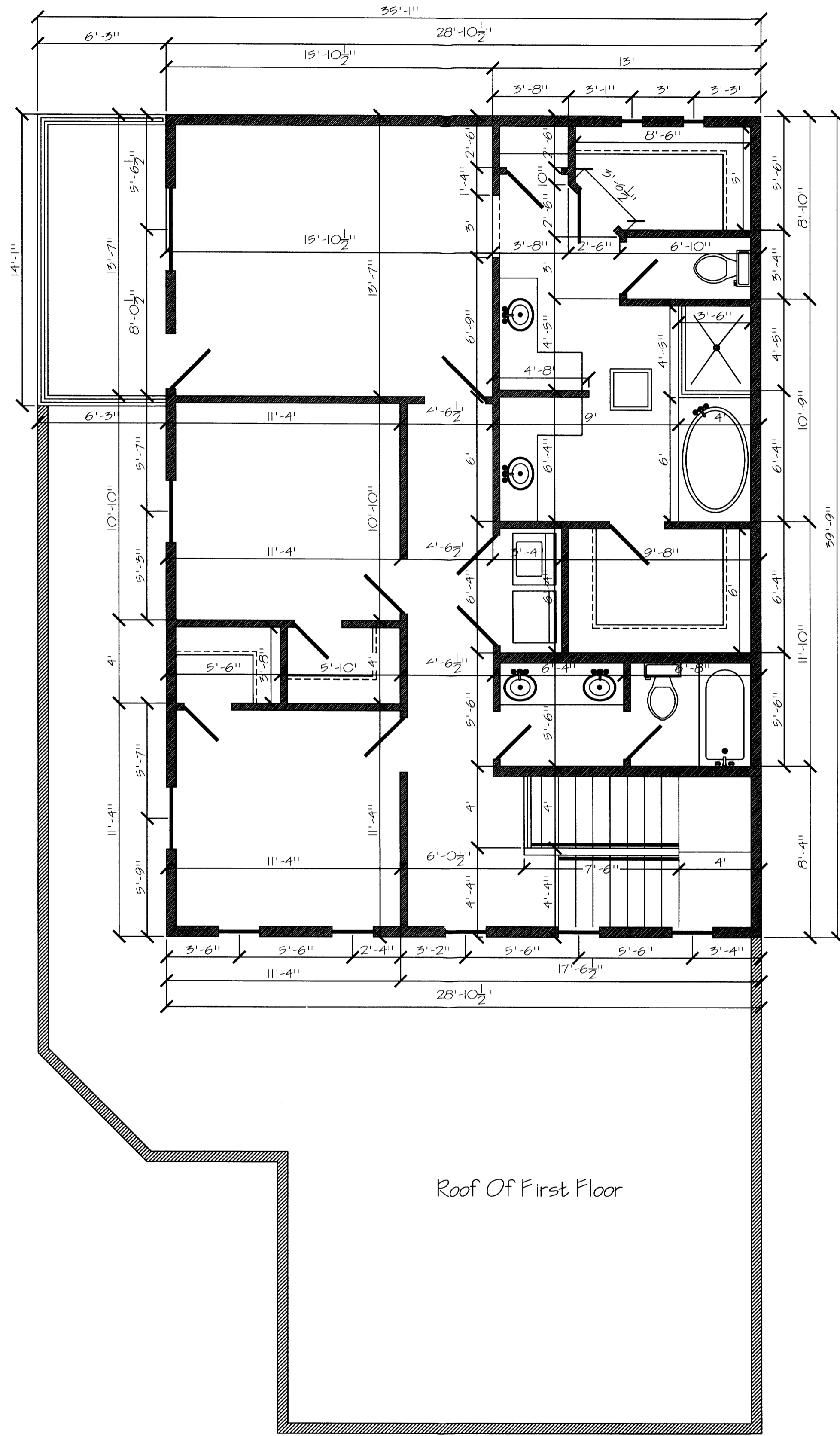
Scale 1/4" = 1'

Final Drawing Checked By:	Sheet
1. R. Montoya	3
2. M. Prent	
	Of 11 Sheets

RH Barela Dev. Model A  
 Albuquerque New Mexico  
 Feb. 4, 2008  
 Dimensions

Ron Montoya Custom Designs  
 Residential Design and Drafting Services  
 8724 Alameda Park Drive N.E. Suite A Albuquerque  
 (505) 823-6474 Cell. (505) 823-6777  
 Fax 823-6487





# 2nd Dimensions

Scale 1/4" = 1'

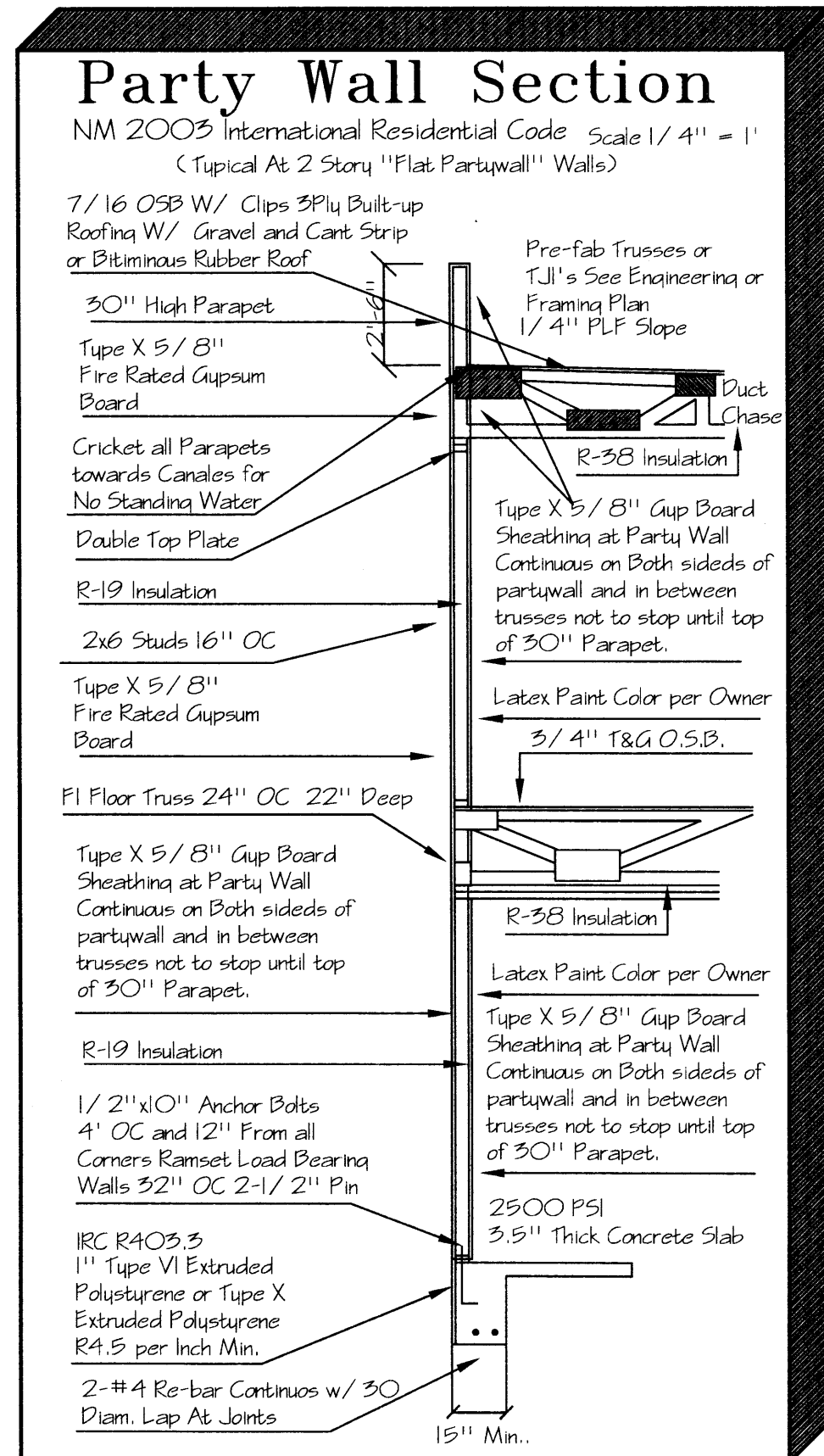
Final Drawing Checked By:	Sheet
1. R. Montoya	5
2. C. Montano	
	Of 11 Sheets

RH Barela Dev. Model A  
Albuquerque New Mexico

Feb. 4, 2008  
2nd Dimensions

Ron Montoya Custom Designs  
Residential Design and Drafting Services  
8724 Alameda Park Drive N.E., Suite A Albuquerque  
(505) 823-6474 Cell. (505) 823-6777  
Fax 823-6487

# Framers To Verify Actual Amount of Plys on Girders W/ Truss Engineering



### Framing Notes:

NM 2003 International Residential Code

All Headers at Exterior Walls to be Doubled 2x12 or a Single 4x12 PP-975 E-1. Unless Otherwise Noted.

Solid Bearing Points under all Beams, if Beam is on Second Floor Continue Bearing Between Trusses and First Floor To Solid Concrete Footing.

Minimum 1.5" Bearing at All Headers and Beams to 6" Width. All Headers 6" and Bluger to Have Doubled Trimmers at Both Bearing Points.

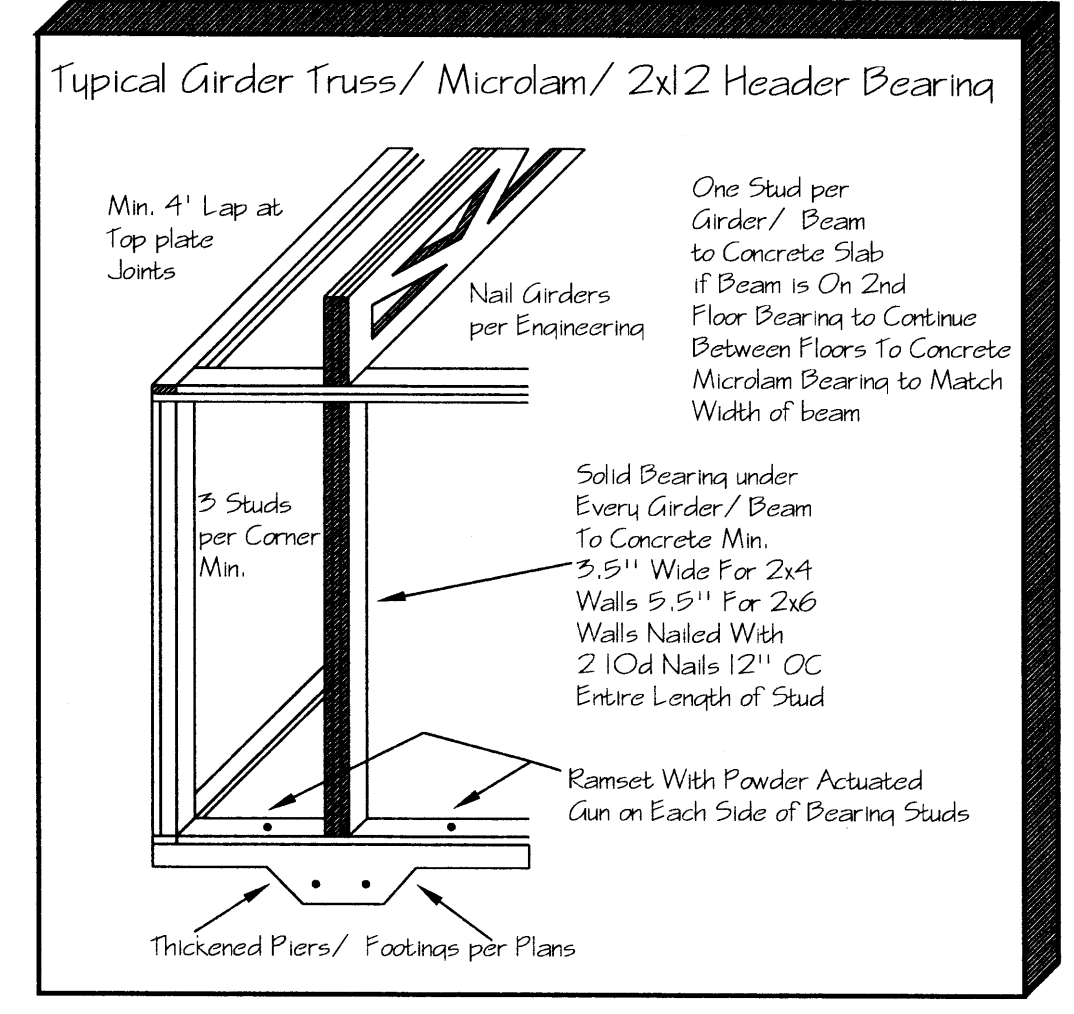
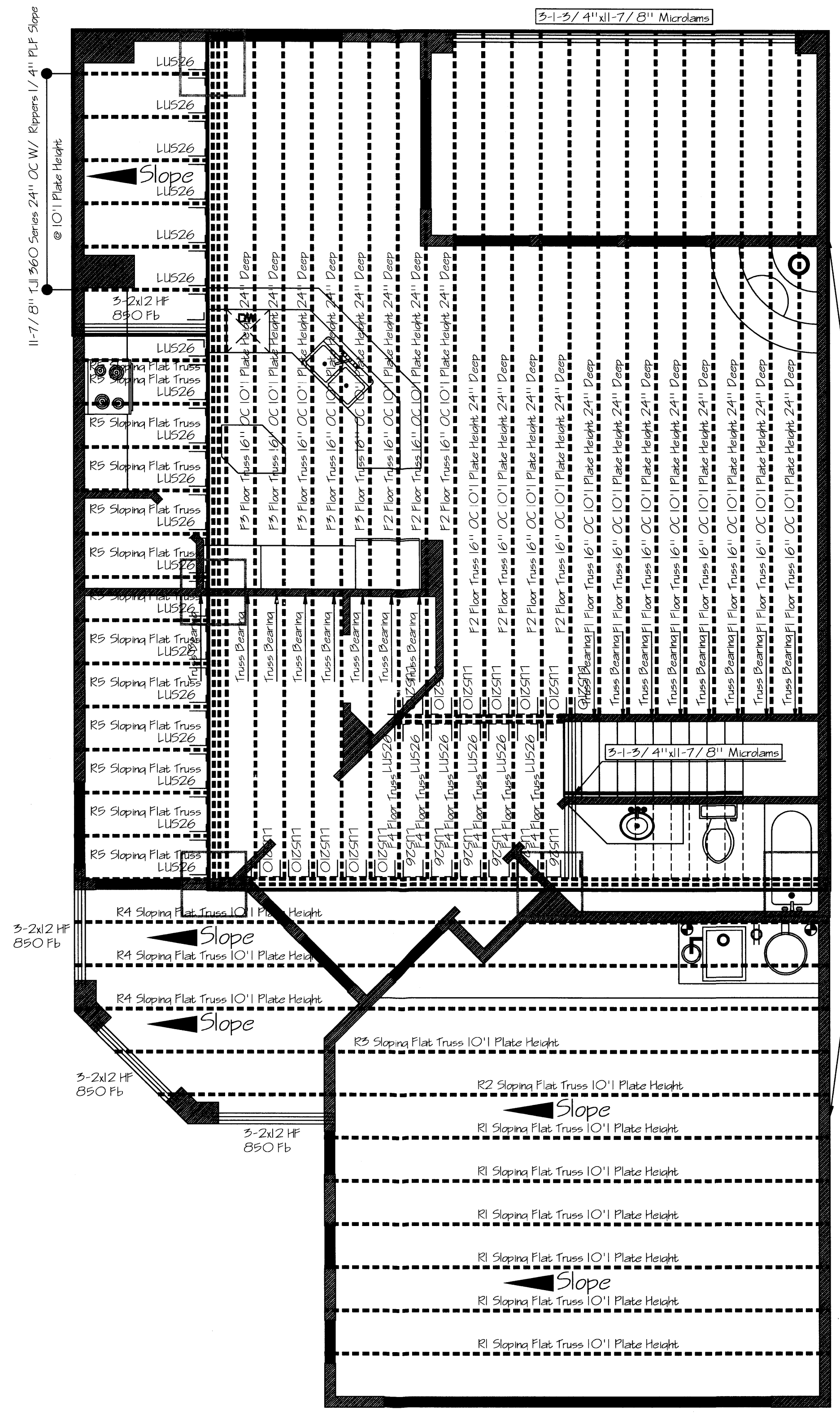
All Trusses 24" OC Unless Noted on Plans. All "Flat" Roof's and "Flat Trusses" To have Positive Drainage Min. 1/4" PLF Slope.

All Interior Load Bearing Walls to be Spaced 16" OC to 10" Plate Height.

All Micro lams to be Nailed 12" OC. With 4- #10 Nails All 4 Member Micro lams and 4 Member Trusses to be Bolted 16" OC, with 1/2" x 3" Bolts.

All Post's in Direct Contact with Concrete to have Post Base with Min. 1" Air Gap or 1-1/2" Treated Plate Ramset to Concrete with Post Nailed on Top.

All Splices in Bottom Plates at All Load Bearing Walls to be Shot With 2-1/2" Ramset Powder Activated pins. Also 12" From All Corners Unless an Anchor Bolt is Present. Ramset all Interior Load Bearing Walls 3/2" OC. With 2-1/2" Pins.



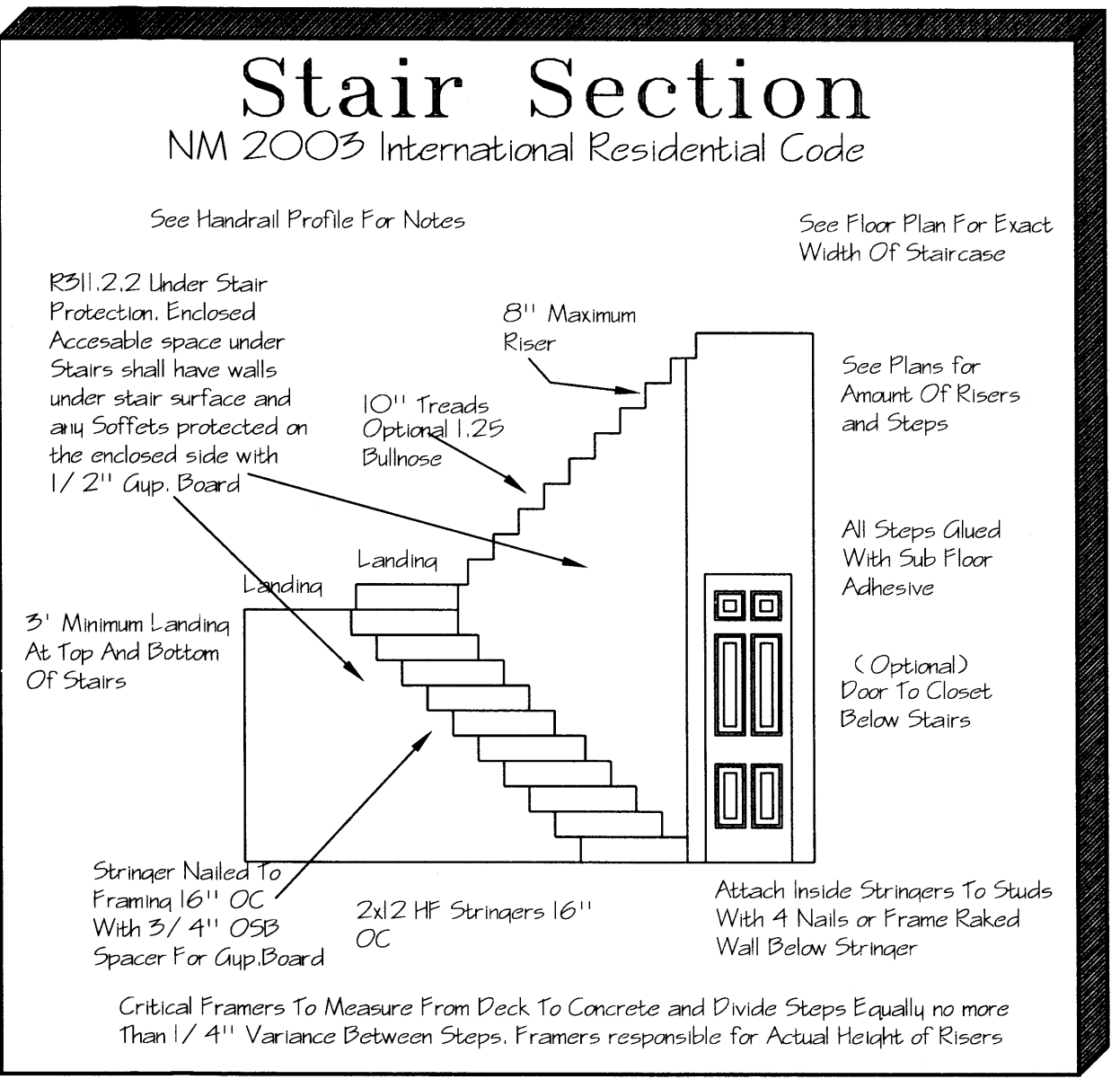
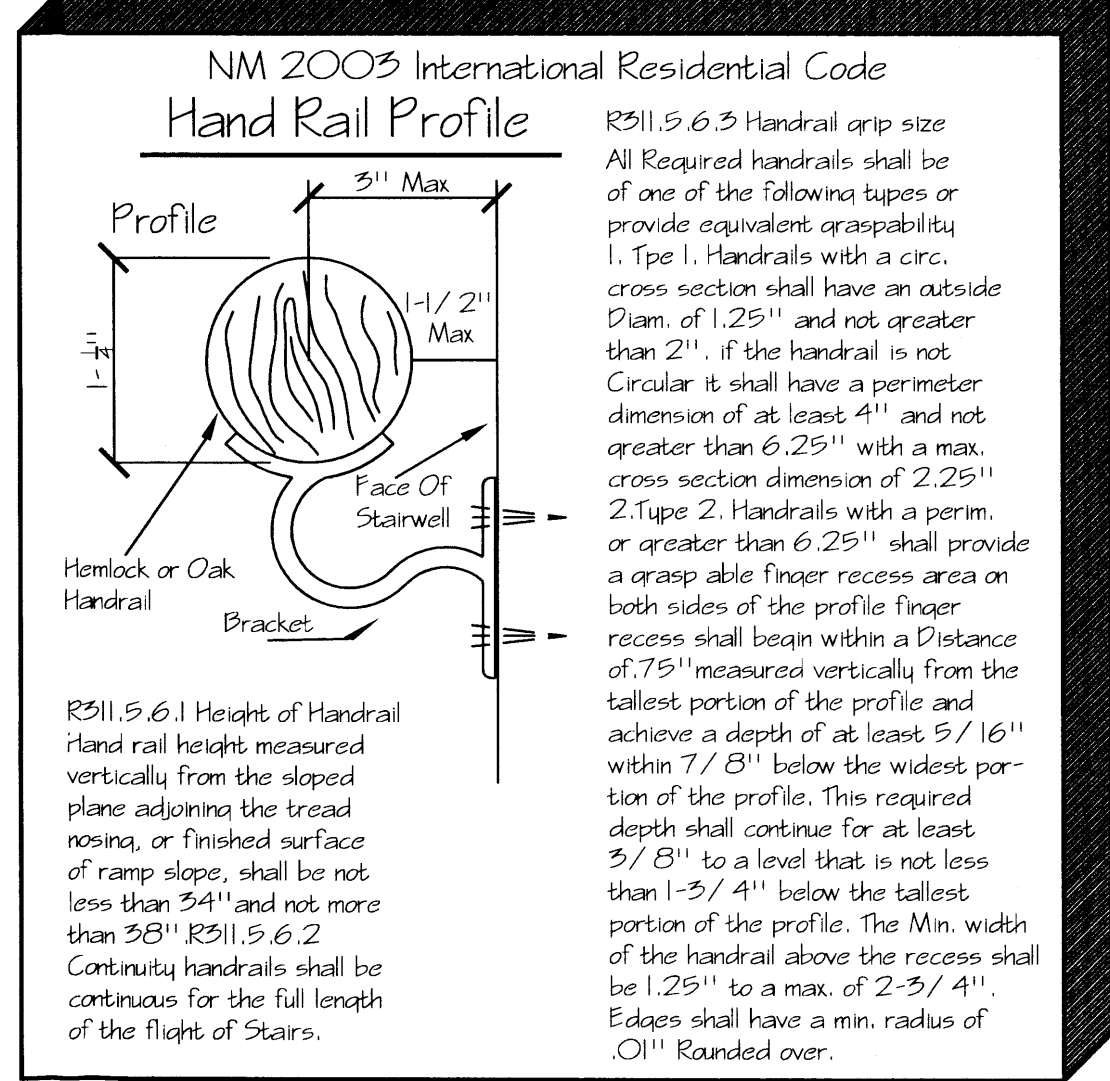
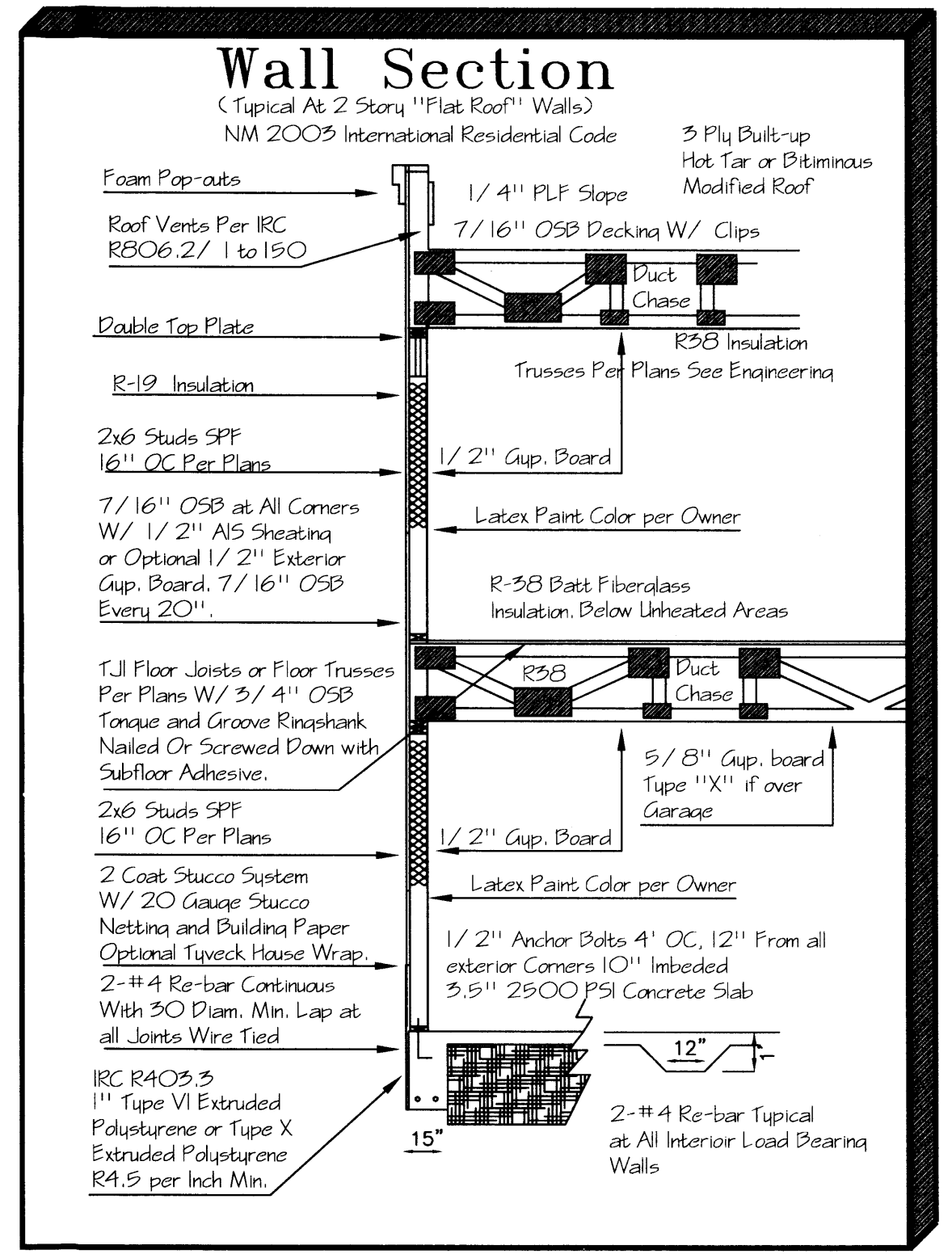
**Note:** NM 2003 IRC R310.1.1/R310.1.2/R310.1.3

All Windows in Bedrooms To Have A Min. 5.7 Sq. Ft. Opening with a Max. 44" Sill Height. Window Min. 24" Height, 20" width Exception: Grade floor openings shall have a Min. net clear opening of 5 Sq. Ft.

All Exterior Doors including Door From Garage To Heated To have at Least One Deadbolt, with Door Jamb Solid Filled Between Frame And Jamb. Address Numbers Should Be Legible and Easily Read From The Street.

**Critical Note;**

All Trusses To Have Simpson H2.5A For Uplift At Top Plates



Note; All Sloping Flat Trusses To Have Duct Chase Thru Center of Truss

# Frame Plan

Scale 1/4" = 1'

RH Barela Dev. Model A  
Albuquerque New Mexico

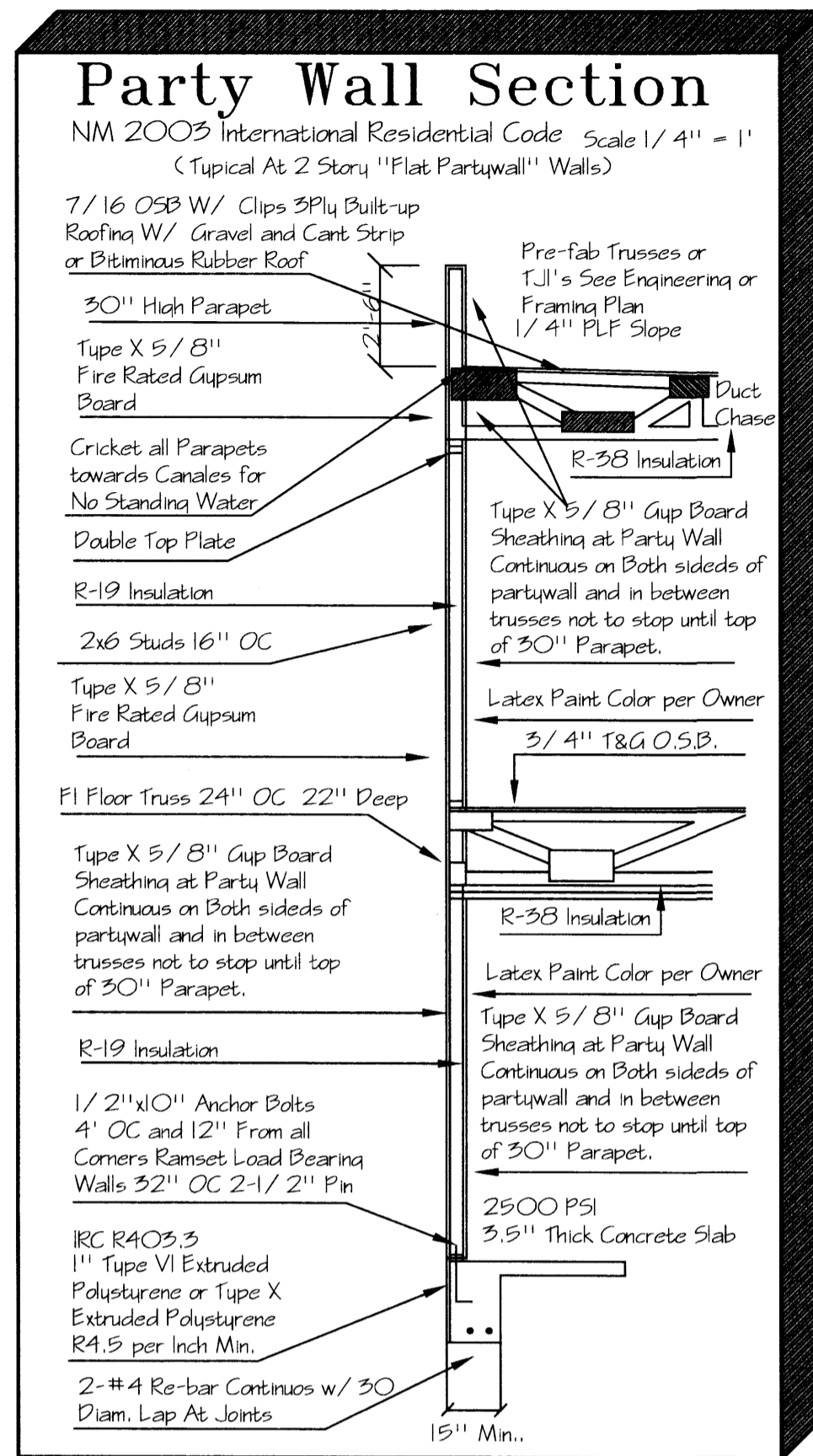
Ron Montoya Custom Designs  
Residential Design and Drafting Services  
8724 Alameda Park Drive N.E., Suite A Albuquerque  
(505) 823-6474 Cell: (505) 823-6474 Fax: 823-6487

Feb. 4, 2008

Frame Plan

Final Drawing Checked By:	Sheet
1. R. Montoya	6
2. C. Montoya	
3.	
Of 11 Sheets	

# Framers To Verify Actual Amount of Plys on Girders W/ Truss Engineering



**Framing Notes:**  
 NM 2003 International Residential Code

All Headers at Exterior Walls to be Doubled 2x12 or a Single 4x12 P.P.-975 E-1 Unless Otherwise Noted.

Solid Bearing Points under all Beams, if Beam is on Second Floor Continue Bearing Between Trusses and First Floor To Solid Concrete Footing.

Minimum 1.5" Bearing at All Headers and Beams to 6" Width. All Headers 6" and Bigger to Have Doubled Trimmers at Both Bearing Points.

All Trusses 24" OC Unless Noted on Plans. All "Flat" Roof's and "Flat Trusses" To have Positive Drainage Min. 1/4" PLF Slope.

All Interior Load Bearing Walls to be Spaced 16" OC to 10'1" Plate Height.

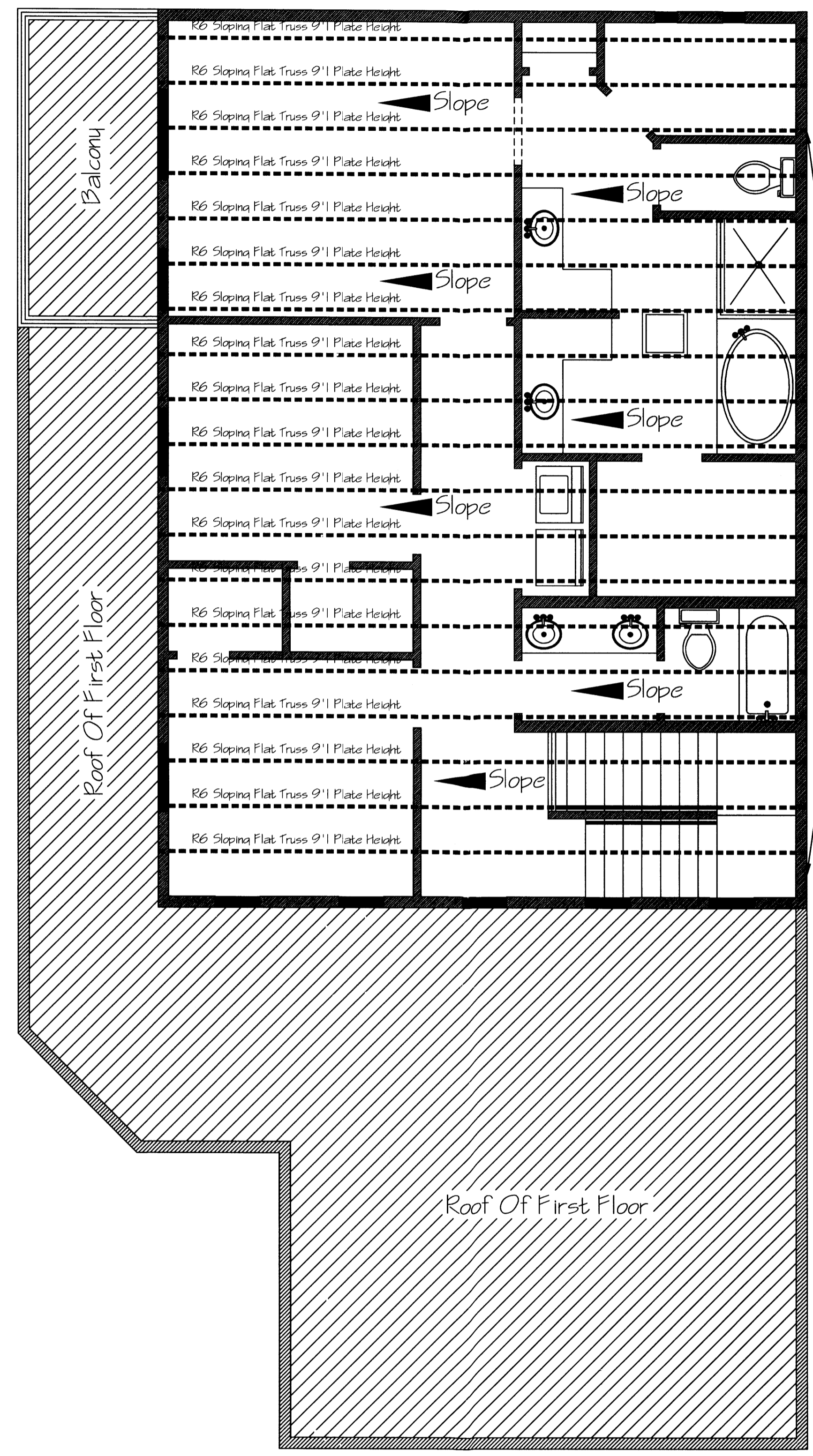
All Micro lams to be Nailed 12" O.C. With 4- #10 Nails All 4 Member Micro lams and 4 Member Trusses to be Bolted 16" O.C. with 1/2" x 8" Bolts.

All Post's in Direct Contact with Concrete to have Post Base with Min. 1" Air Gap or 1-1/2" Treated Plate Ramset to Concrete with Post Nailed on Top.

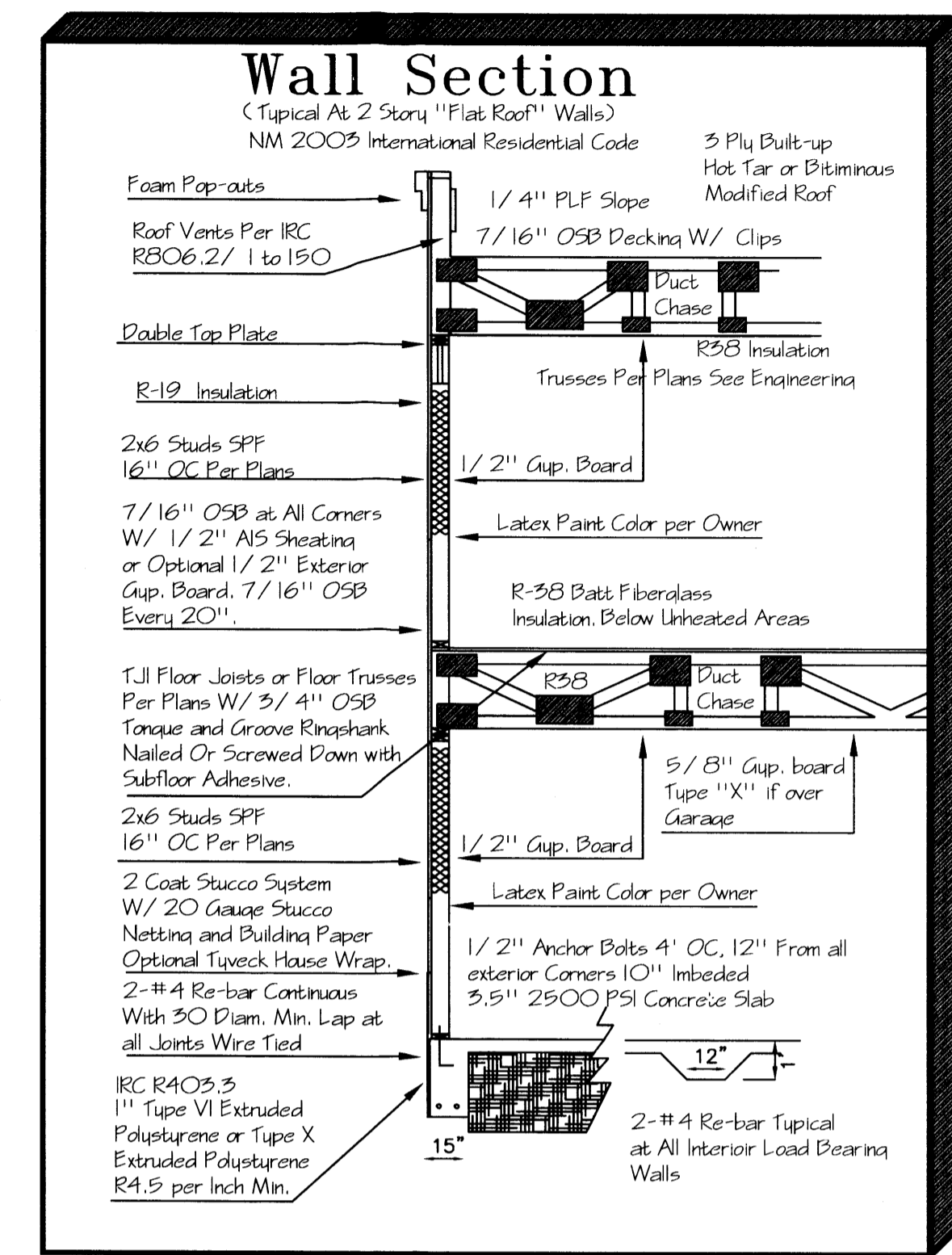
All Splices in Bottom Plates at All Load Bearing Walls to be Shot With 2-1/2" Ramset Powder Actuated pins. Also 12" From All Corners Unless an Anchor Bolt is Present. Ramset all Interior Load Bearing Walls 32" O.C. With 2-1/2" Pins.

**Critical Note:**  
 All Trusses To Have Simpson H2.5A For Uplift At Top Plates

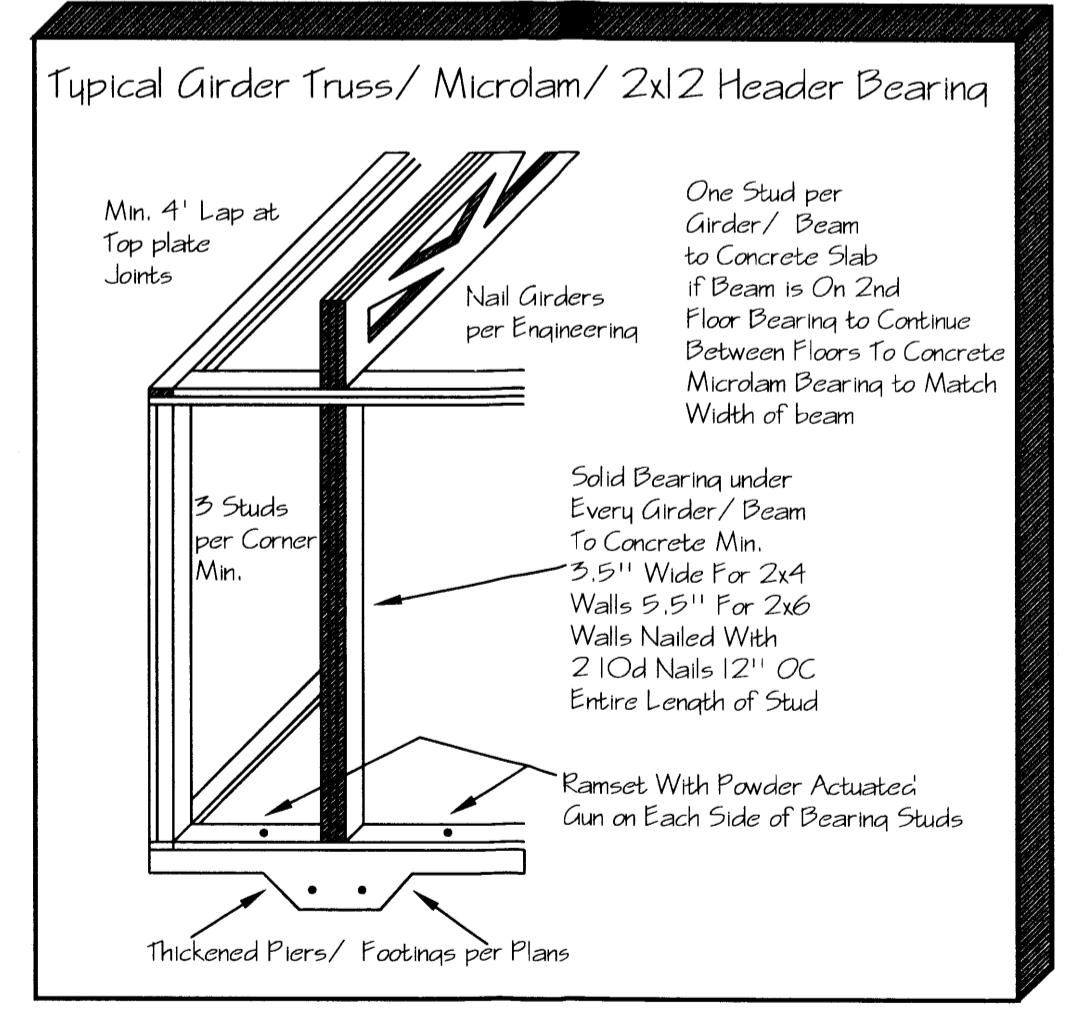
**Skylights**  
 NM IRC 2003 R308.6.B  
 Curbs for skylights. All Unit Skylights installed in a roof with a pitch flatter than 3/12 shall be mounted on a curb extending at least 4" above the plane of the Roof unless otherwise specified in the manufacturers installation instructions.



Party Wall Sheath Both Sides of this Wall With Type X Fire Rated Gup. Board Continuous from Concrete Slab To Top of 30" Parapet including in-between trusses. Insulate With R-19 Batt's Fiberglass Insulation.



**Note:** NM 2003 IRC R310.1.1/ R310.1.2/ R310.1.3  
 All Windows in Bedrooms To Have A Min. 5.7 Sq. Ft. Opening with a Max. 44" Sill Height. Window Min. 24" Height, 20" Width Exceptions: Grade floor openings shall Have a Min. net clear opening of 5 Sq. Ft. All Exterior Doors including Door From Garage To Heated To have at Least One Deadbolt, with Door Jamb Solid Filled Between Frame And Jamb. Address Numbers Should Be Legible and Easily Read From The Street.



Ron Montoya Custom Designs  
 Residential Design and Drafting Services  
 8724 Alameda Park Drive N.E., Suite A Albuquerque  
 (505) 823-6474 Cell: (505) 823-6777  
 Fax: 823-6487

RH Barela Dev. Model A  
 Albuquerque New Mexico  
 Feb. 4, 2008  
 2nd Frame

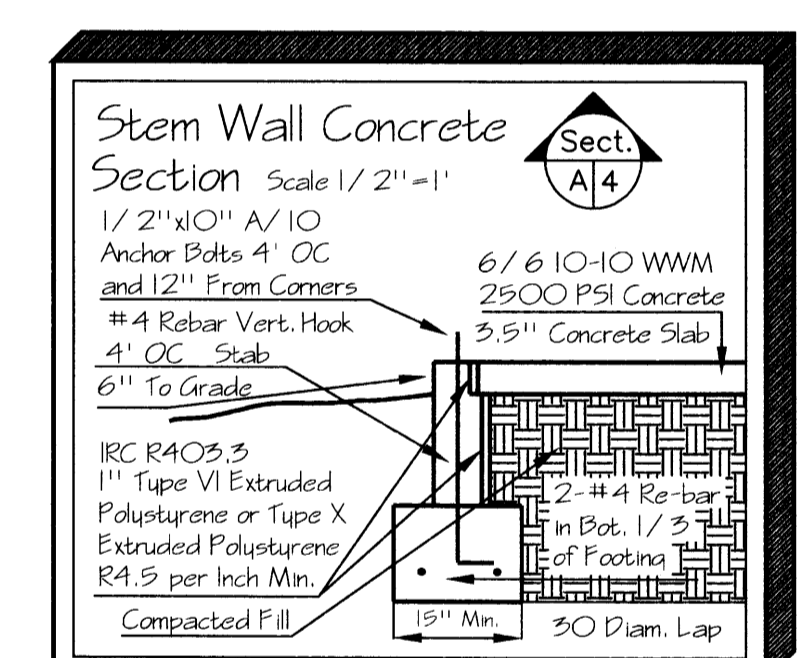
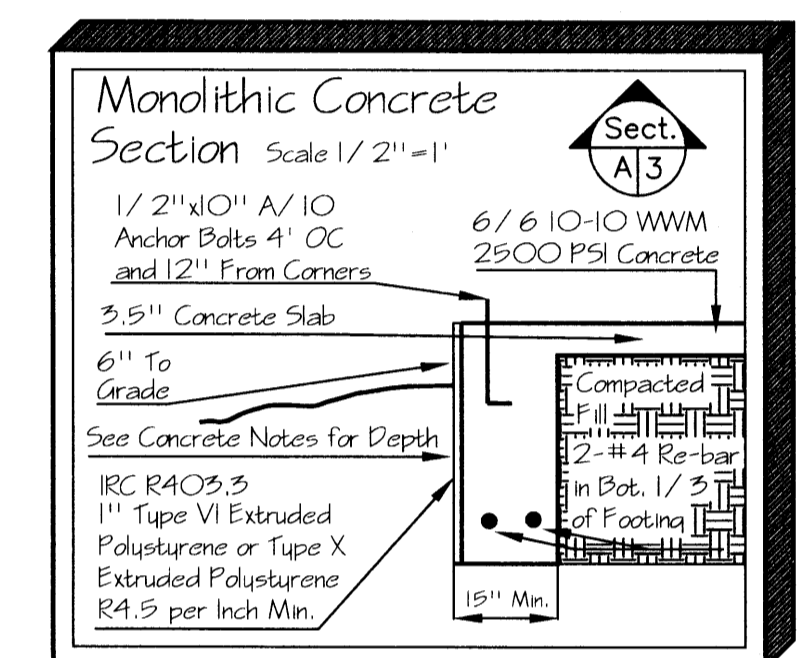
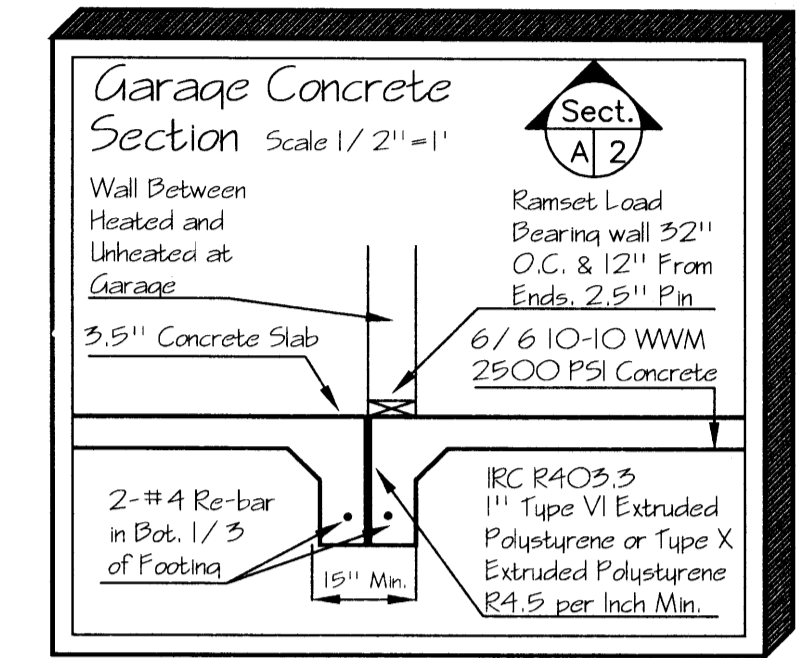
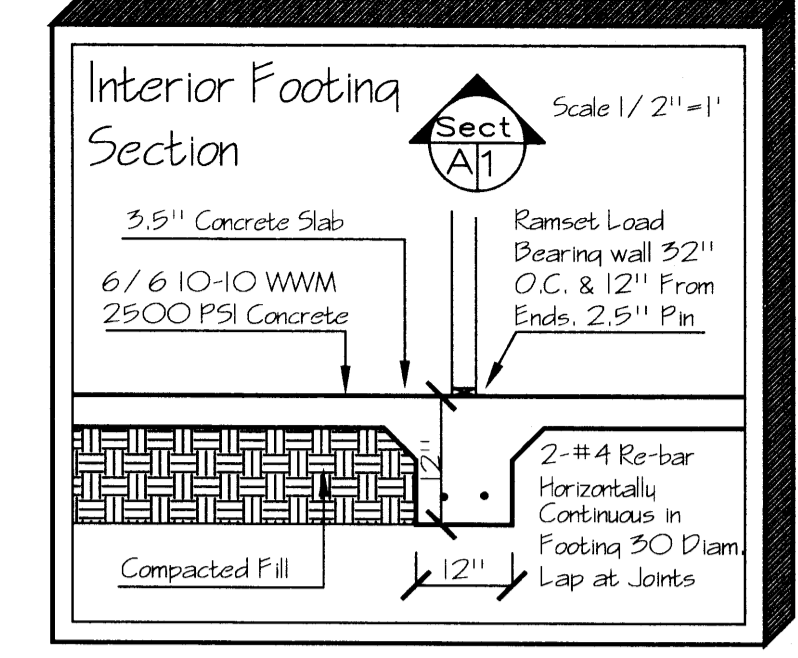
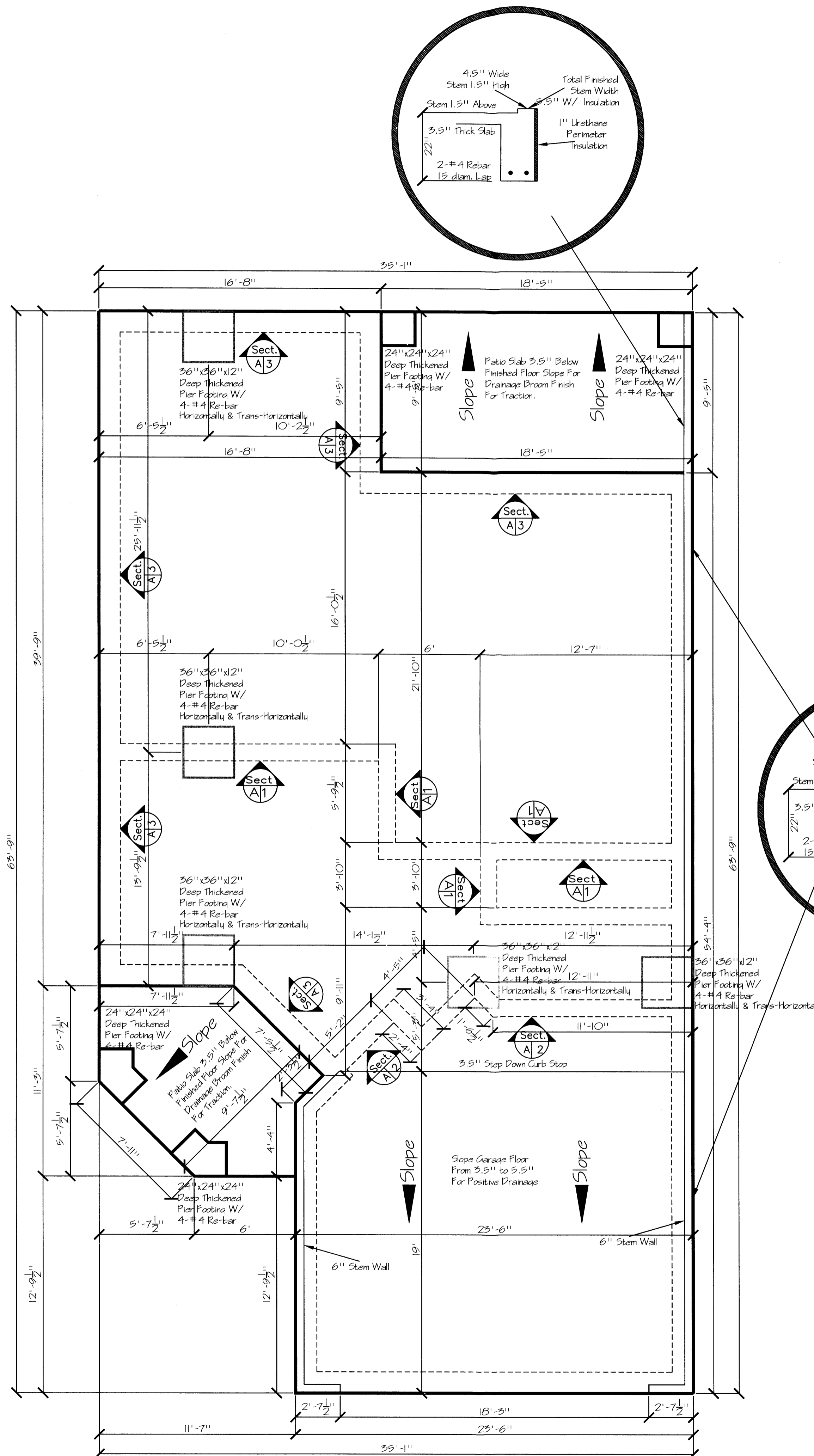
Note; All Sloping Flat Trusses To Have Duct Chase Thru Center of Truss

**2nd Frame**  
 Scale 1/4" = 1"

Final Drawing Checked By:	Sheet
1. R. Montoya	7
2. C. Montoya	Of 11 Sheets

Note: Min. 3' Landing Outside Of All Doors Leading Outside Of Building See Dimension Plan For Exact Locations.

Note:  
An Electrode Encased In, at Least 2" OF Concrete, Located Within and Near The Bottom of a Concrete Foundation or Footing That is in Direct Contact with the Earth, Consisting of at Least 20' of one or more electrically conductive Steel Reinforcing Re-bar of Not less than 1/2" Diam.



**Concrete Notes**  
NM 2003 International Residential Code

- Concrete Strength: 2500 PSI Min. 3/2" Minimum Thick Slab on Compacted Fill.
- All Footings Min. 15" Wide, 22" Thick with a Excavation Depth of 18" West of Santa Mountains, 21" East Of Mountains at All Exterior Walls.
- All CMU Walls For Foundation To Be 8" x 8" x 16" Min. With Joint Reinforcement 16" OC Vertical, 48" OC Max.
- Anchoring: Min. 1/2" #10 #10 Anchor Bolts @ 4' OC Max. and Within 12" From End Of Plate. Powder Actuated Fasteners @ 24" OC Max. and Within 12" From End Plate For Interior Bearing Sole Plates Not Permitted For CMU Stem Walls.
- Re-bar: 2-#4 Re-bar Continuous at All Footings with Min. 30 Diam. Lap At Joints, Reinforcement Steel Secured in Place, Min. 3" Coverage.
- Interior Load Bearing Footings: 12" Min Width x 12" Min. Depth at All Interior Footings.
- All Adbke Wall Footings To Be 2" Wider Than Wall, 4" Above Floor Stabilized Plym Beam Min. 6" x 10" With 2#4 Re-bar.
- Foundation Insulation: 1" x 24" R 4.0 As Exterior Perimeter Of Heated Spaces and at Garage/ House Wall. Wood Floors Require a Minimum OF R-19 Insulation. Insulation Shall Extend From Top Of Slab 24" Down, or continue Horizontally Under Slab For a Total Of 24".
- Under Floor Clearance: 18" To The Bottom Of Wood Joists and 12" To The Bottom Of Wood Girders. Provide a Min. Under Floor Access of 18" x 24" Provide cross Ventilation of Minimum 1 Sq. Ft. Per 150 Sq. Ft. of Under Floor Area.
- Excavations and Foundations: To Conform To Chapter 13 and 35, Ascending and Descending Slopes, Cuts, Cut/Fills, All Footings Must Extend a Minimum of 12" into Undisturbed Soil or a Soil Investigation Report and a Report of Satisfactory Placement. OF F.I. Shall Be Provided To Permit Office For Review and Approval Prior To Any Concrete Being Poured. Engineers Certification Required For Any Concrete Poured Without Inspection.

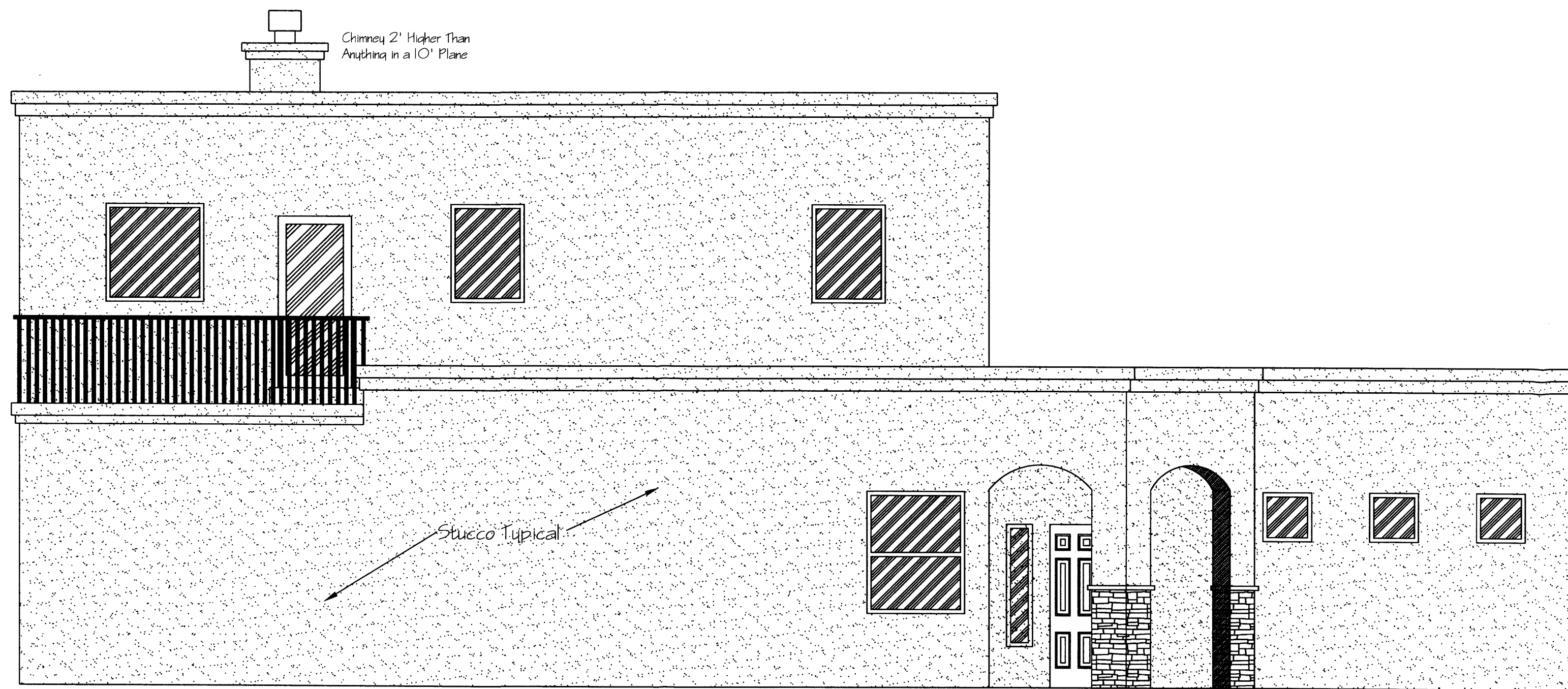
**Concrete Plan**  
Scale 1/4" = 1'

Final Drawing Checked By:	Sheet
1. R. Montoya	80
2. C. Montoya	
3.	
Of 11 Sheets	

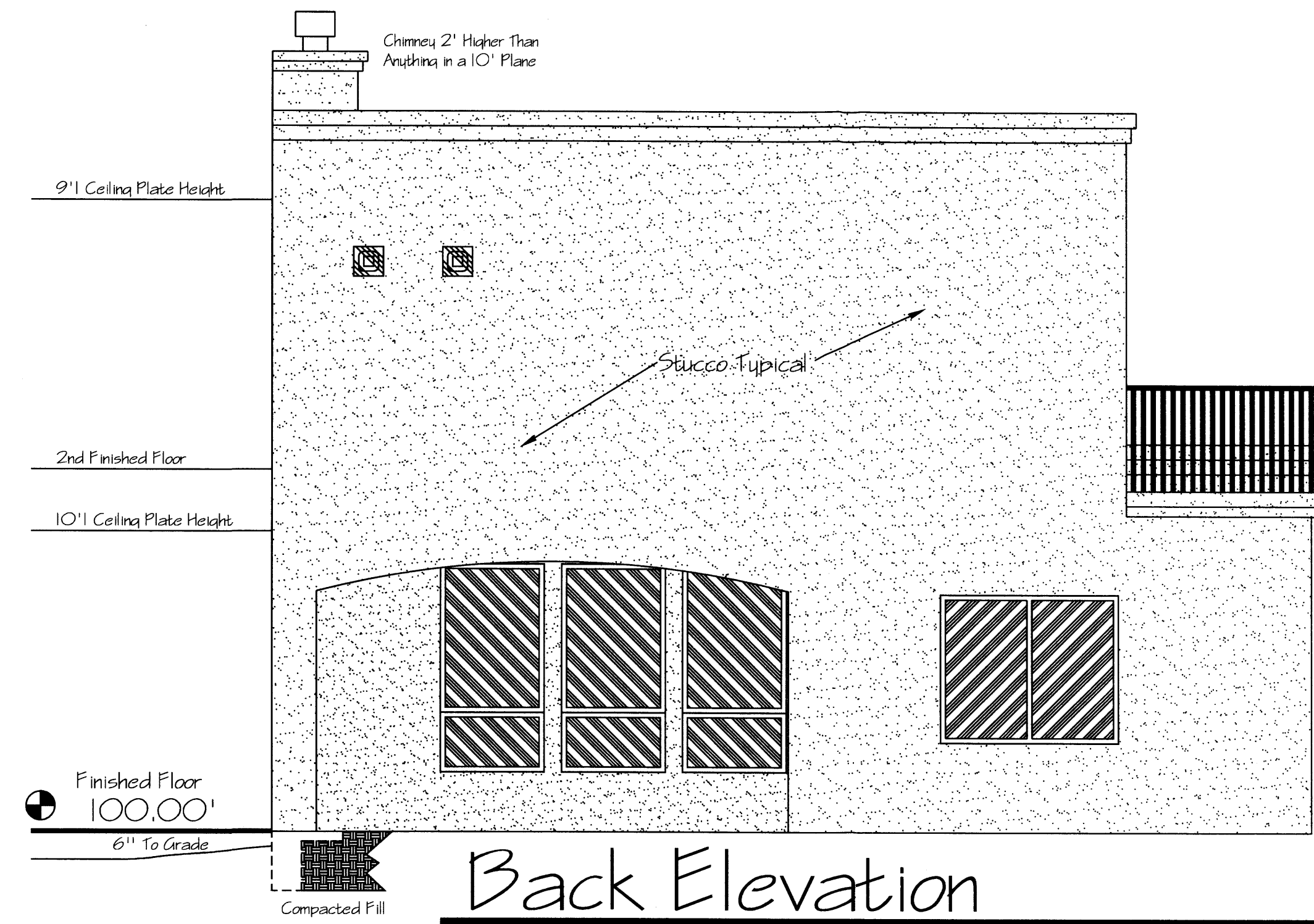
Ron Montoya Custom Designs  
Residential Design and Drafting Services  
8724 Alameda Park Drive N.E. Suite A Albuquerque  
(505) 823-6474 Cell. (505) 823-6777  
Fax 823-6487

Feb. 4, 2008  
RH Barela Dev. Model A  
Albuquerque New Mexico  
Concrete Plan

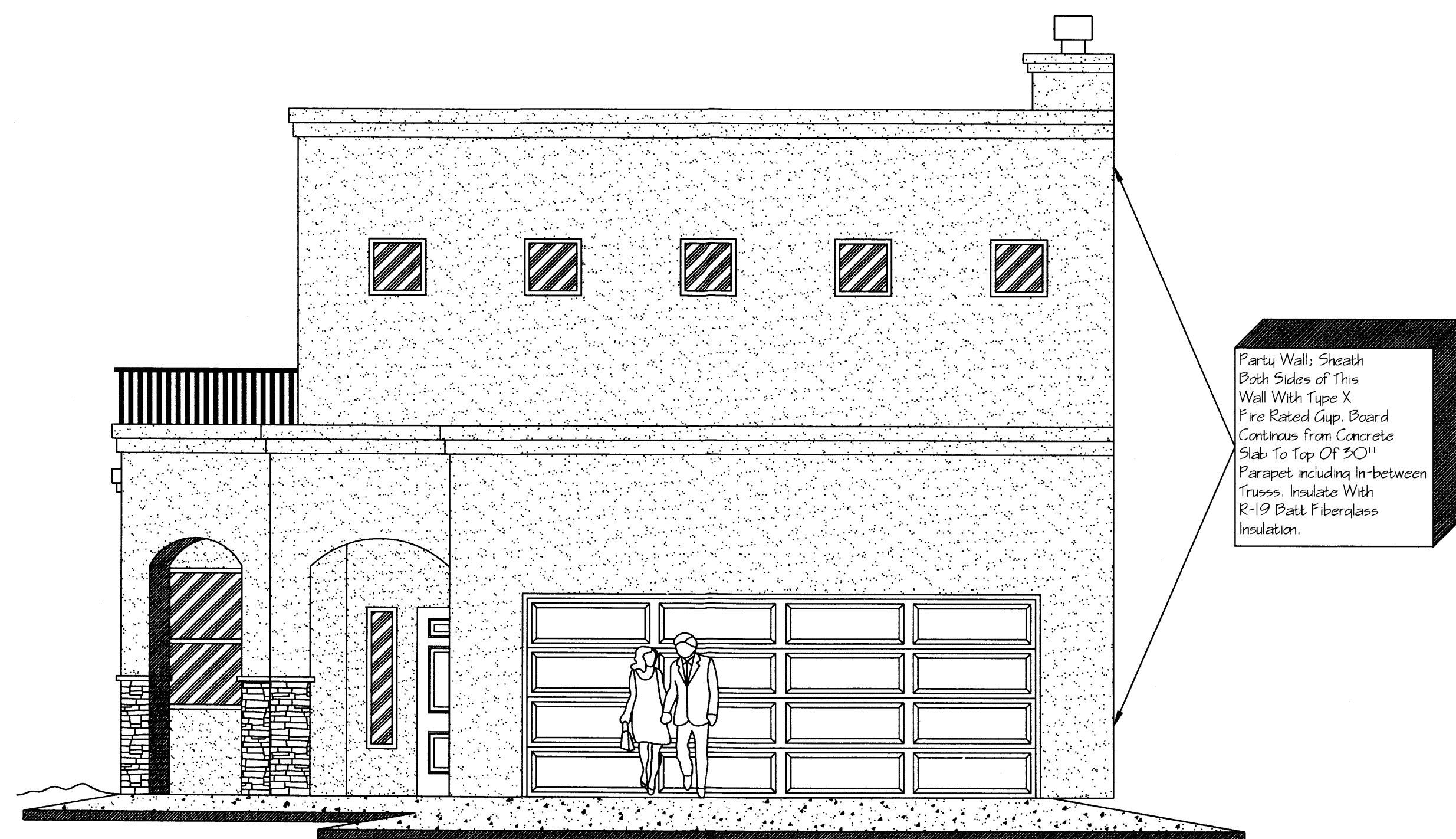




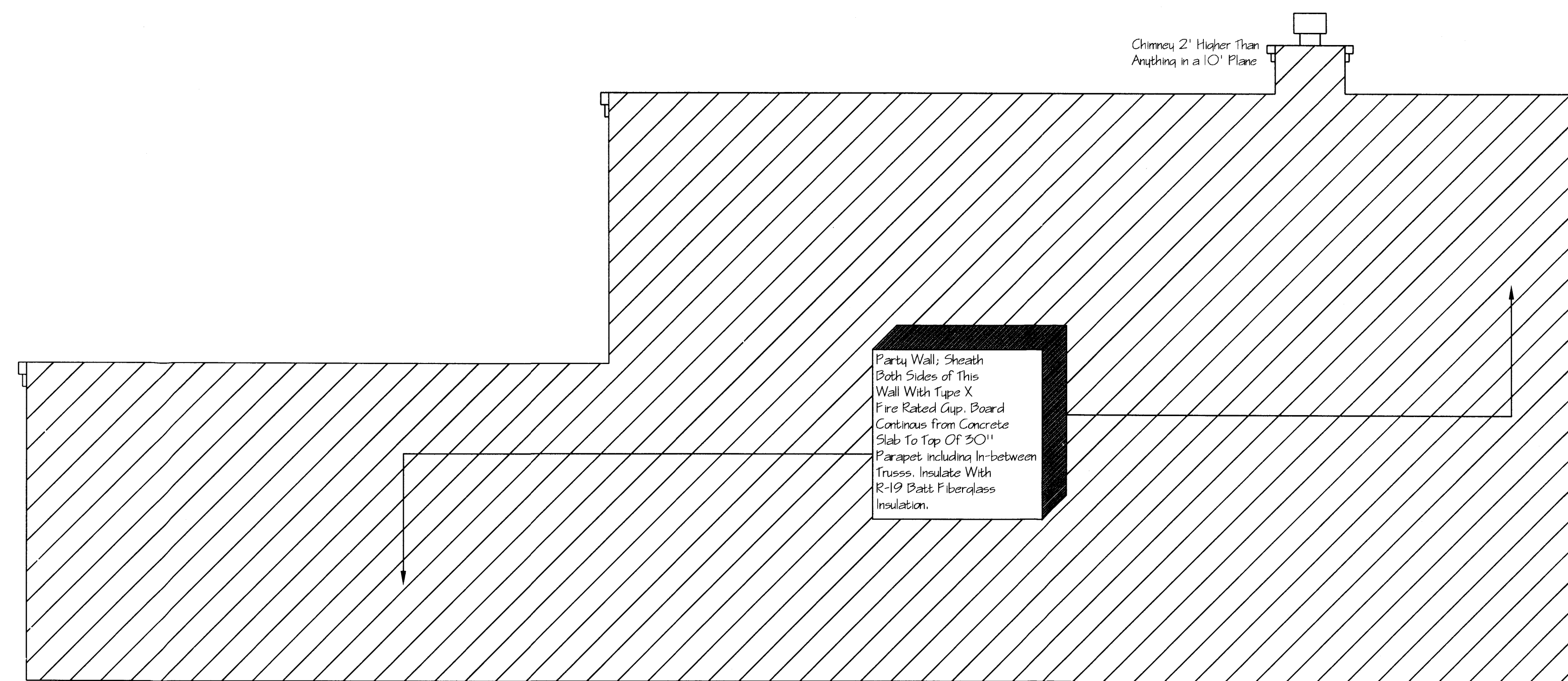
Left Elevation



Back Elevation



Front Elevation



Right Elevation

# Elevations

Scale 1/4" = 1'

Final Drawing Checked By:	Sheet
1. R. Montoya	9
2. C. Montano	
3.	
Of 11 Sheets	

Ron Montoya Custom Designs  
Residential Design and Drafting Services Fax 823-6487  
8724 Alameda Park Drive NE, Suite A Albuquerque  
(505) 823-6474 Cell: (505) 823-6777

Feb. 4, 2008

RH Barela Dev. Model A

Albuquerque New Mexico Elevations

Ron Montoya Custom Designs  
Residential Design and Drafting Services  
8724 Alameda Park Drive N.E., Suite A Albuquerque  
(505) 825-6474 Cell: (505) 825-6777  
Fax: 825-6487

Feb. 6, 2008  
Elec./ Mech.

RH Barela Dev. Model A  
Albuquerque New Mexico

Sheet  
1. R. Montoya  
2. M. Pruitt  
OP11-Sheets

**Electrical Notes:**

All Outlets Shall Be 12" Form Finish Floor unless Otherwise Noted.  
All Outlets in Kitchen, Utility Room, and Garage to Be 44" above Floor and To Be Ground Fault Interrupt Protected.

Copper Wire To Be Used Throughout House and all Exterior light fixtures, outlets, and switches to be Weatherproof, and Ground Fault Interrupt.

All Bathroom Outlets To Be Ground Fault interrupt, device Equipped.

Swamp Coolers To have High-Low Switch Settings and To be Located per Owner, Mech. Contractor Locations.

All Smoke Detectors To have Battery Back-up and To be Hardwired Together in a loop with an Audible Alarm.

If Required Whirlpool Switch to be located not less than 5' from tub or to have an air activated Switch.

All Ceiling Fans to have variable speed control.

**Plumbing Notes:**

1" Lead-in pipe from well or public water supply. Minimum 100' from well to septic system.  
Hose Bib to be Located at front, Back, sides per Owners Locations.  
All Plumbing to be permitted and Executed as per Uniform Plumbing Code. Ice Maker Rough-in to be located behind Refrigerator.

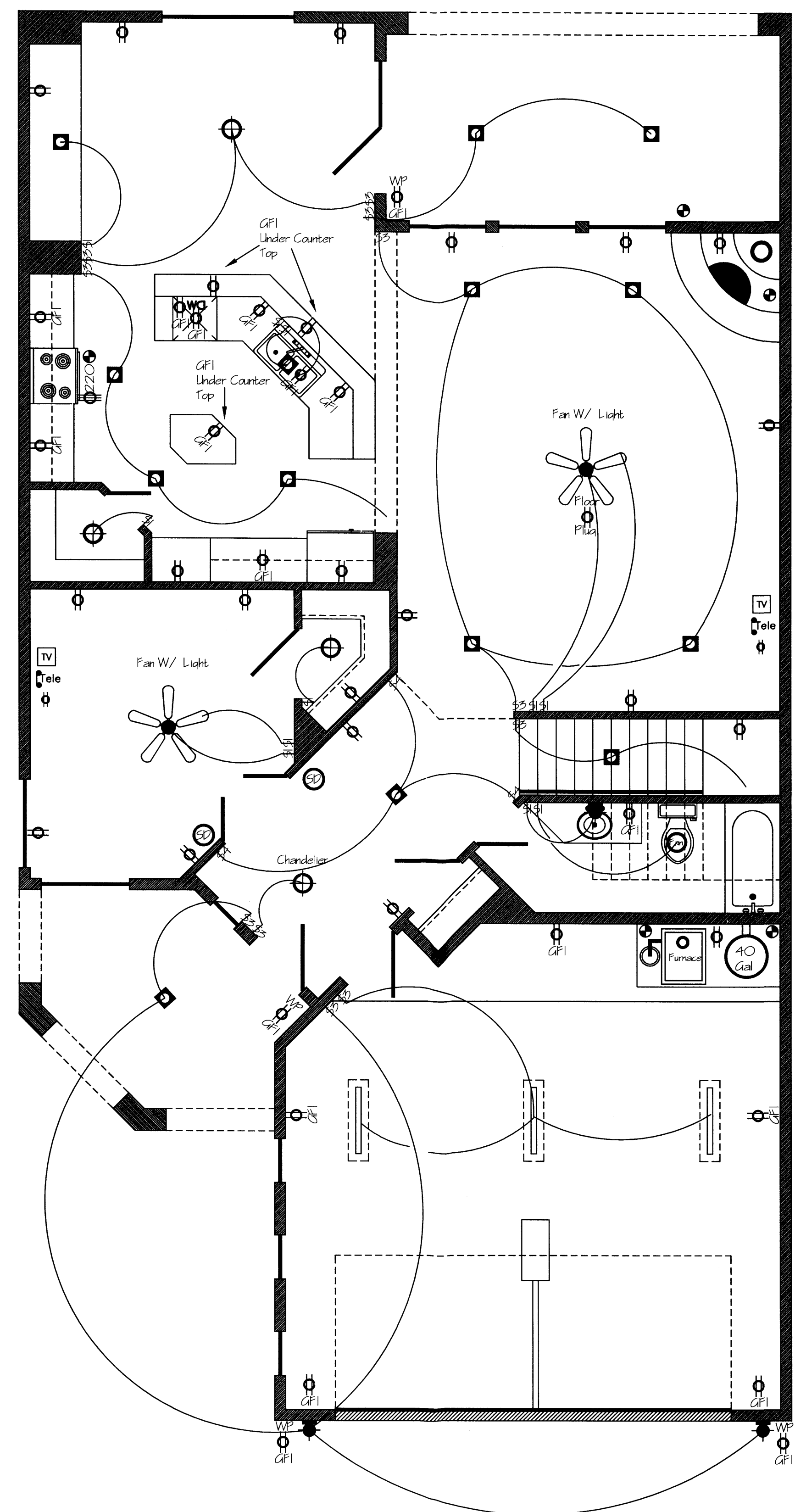
Electrical to be Grounded to Copper water Lines as Well as with a grounding rod. See Attached note For Grounding specs to Foundation Re-bar.

**Critical Note:**

Provide Electrical for Two Refrigerated Air Units Locations per Owner HVAC Contractor  
Units to have Back up Heat as well as Cooling Size per UAC/LPC for Altitude and Square Footage of House  
Plumber To Be Responsible For Condensation Line From Condenser

**Electrical Panel Note:**

At Electrical Panel, Place (2) Full Height Studs on Either side of Blockout. Wall Top plates to be continuous over box Blockout and support studs.  
Max. Blockout opening width is 16".  
Actual R.O. Width is 14.5".



**Note: (Optional)**

Pre-Wire House For Alarm, Intercom, Built-in Vacuum, Final Locations of Plug Cable and Telephone per Owners Locations. Hose Bibs to Be Located at Front back and sides of House per Owners Locations. Motion Lighting and Grands Lighting per Owners Specifications. Pre-wire for Sprinkler System and Sub Out for Sprinklers at Front and Back of House, Control box at Garage.

**Note:**

An Electrode Encased by at Least 2" of Concrete, Located Within and Near The Bottom of a Concreted Foundation or Footing That is in Direct Contact with the Earth, Consisting of at Least 20' of one or more electrically conductive Steel Reinforcing Re-bar of Not less than 1/2" Diam.

**Note:**

Arc-Fault Circuit-Interrupter Protection Shall Be Provided in All Dwelling Bedrooms, 15 and 20 Amp Receptacles and all Branch Circuit's to be Protected by Arc-Fault Circuit Interrupter's

Elec./ Mech.

Scale 1/4" = 1'

**Electrical Notes:**

All Outlets Shall Be 12" Form Finish Floor unless Otherwise Noted.  
 All Outlets in Kitchen, Utility Room, and Garage to Be 44" above Floor and To Be Ground Fault Interrupt Protected.

Copper Wire To Be Used Throughout House and all Exterior light fixtures, outlets, and switches to be Weatherproof and Ground Fault Interrupt Protected.

All Bathroom Outlets To Be Ground Fault interrupt device Equipped.

Swamp Coolers To have High-Low Switch Settings and To be Located per Owner, Mech. Contractor Locations.

All Smoke Detectors To Have Battery Back-up and To be Hardwired Together in a loop with an Audible Alarm.

If Required Whirlpool Switch to be located not less than 5' from tub or to have an air activated Switch.

All Ceiling Fans to have variable speed control.

**Plumbing Notes:**

1" Lead-in pipe from well or public water supply. Minimum 100' from well to septic system.

Hose Bib to be Located at front, Back, sides per Owners Locations.

All Plumbing to be permitted and Executed as per Uniform Plumbing Code. Ice Maker Rough-in to be located behind Refrigerator.

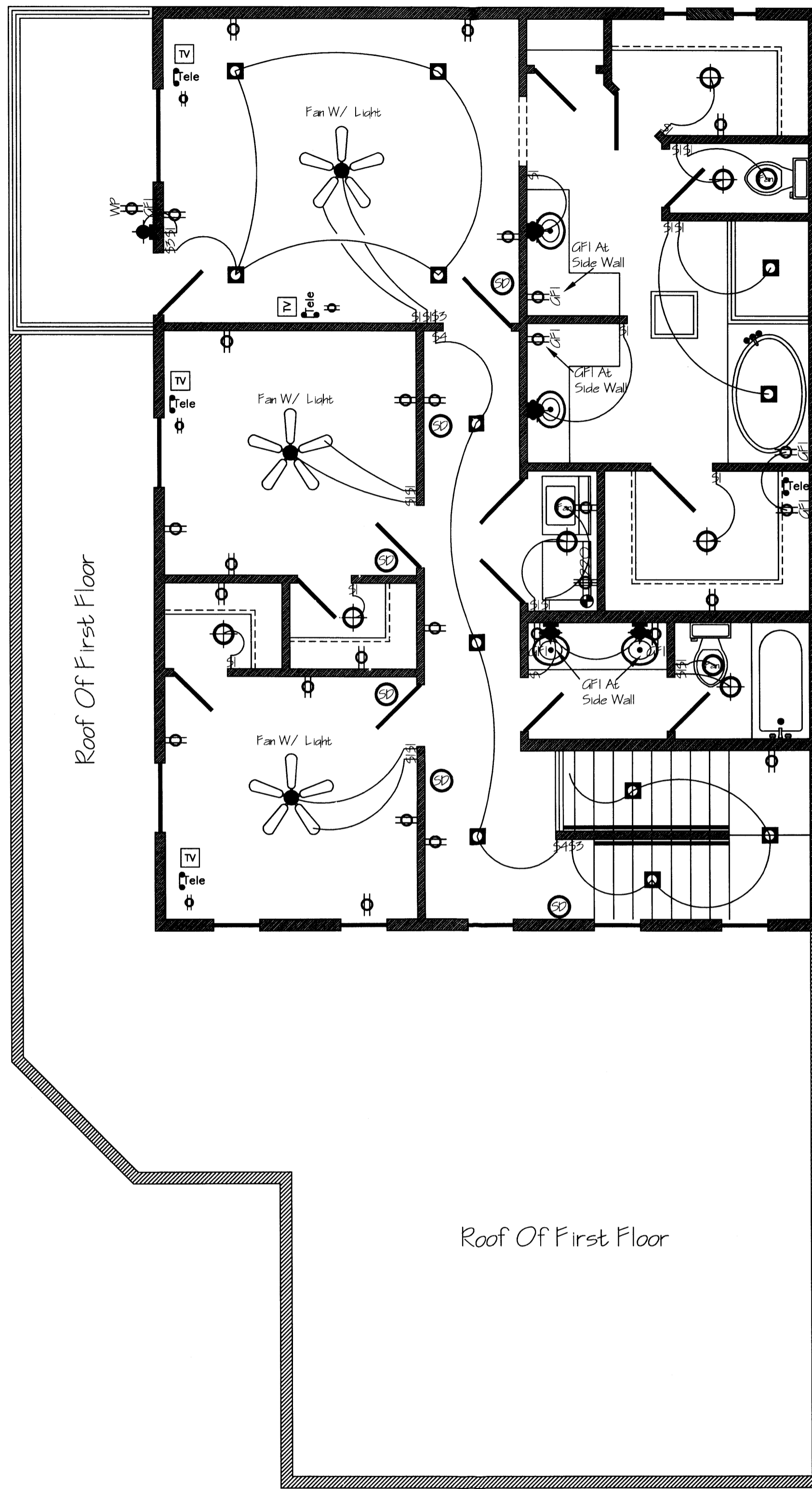
Electrical to be Grounded to Copper water Lines as Well as with a grounding rod. See Attached note For Grounding specs to Foundation Re-bar.

**Electrical Panel Note:**

At Electrical Panel, Place (2) Full Height Studs on Either side of Blockout. Wall Top plates to be continuous over Box Blockout and support studs. Max. Blockout opening width is 16". Actual R.O. Width is 14.5".

**Critical Note:**

Provide Electrical for two Refrigerated Air Units Locations per Owner HVAC Contractor Units to have Back up Heat as well as Cooling Size per UMG / UIC for Altitude and Square footage of House Plumber To Be Responsible For Condensation Line From Condenser



**Note: (Optional)**

Pre-Wire House For Alarm, Intercom, Built-in Vacuum. Final Locations of Pliers Cable and Telephone per Owners Locations. Hose Bib to be Located at Front, back and sides of House per Owners Locations. Motion Lighting and Grounds Lighting per Owners Specifications. Pre-wire for Sprinkler System and Shut-Off for Sprinklers at front and Back of House, Control box at Garage.

**Note:**

An Electrode Encased By at Least 2" of Concrete, Located Within and Near The Bottom of a Concrete Foundation or Footing That is in Direct Contact with the Earth, Consisting of at Least 20' of one or more electrically conductive Steel Reinforcing Re-bar of Not less than 1/2" Diam.

**Note:**

Arc-Fault Circuit-Interrupter Protection Shall Be Provided in All Dwelling Bedrooms, 15 and 20 Amp Receptacles and all Branch Circuit's to be Protected by Arc-Fault Circuit Interrupter's

# 2nd Electrical

Scale 1/4" = 1"

Final Drawing Checked By:	Sheet
1. R. Montoya	—
2.	—
3.	Of 11 Sheets

Ron Montoya Custom Designs  
 Residential Design and Drafting Services  
 8724 Alameda Park Drive NE, Suite A Albuquerque  
 (505) 823-6474 Cell: (505) 823-6777  
 Fax: 823-6487

RH Barela Dev. Model A  
 Albuquerque New Mexico  
 Feb. 4, 2008  
 2nd Electrical