

LEGAL DESCRIPTION

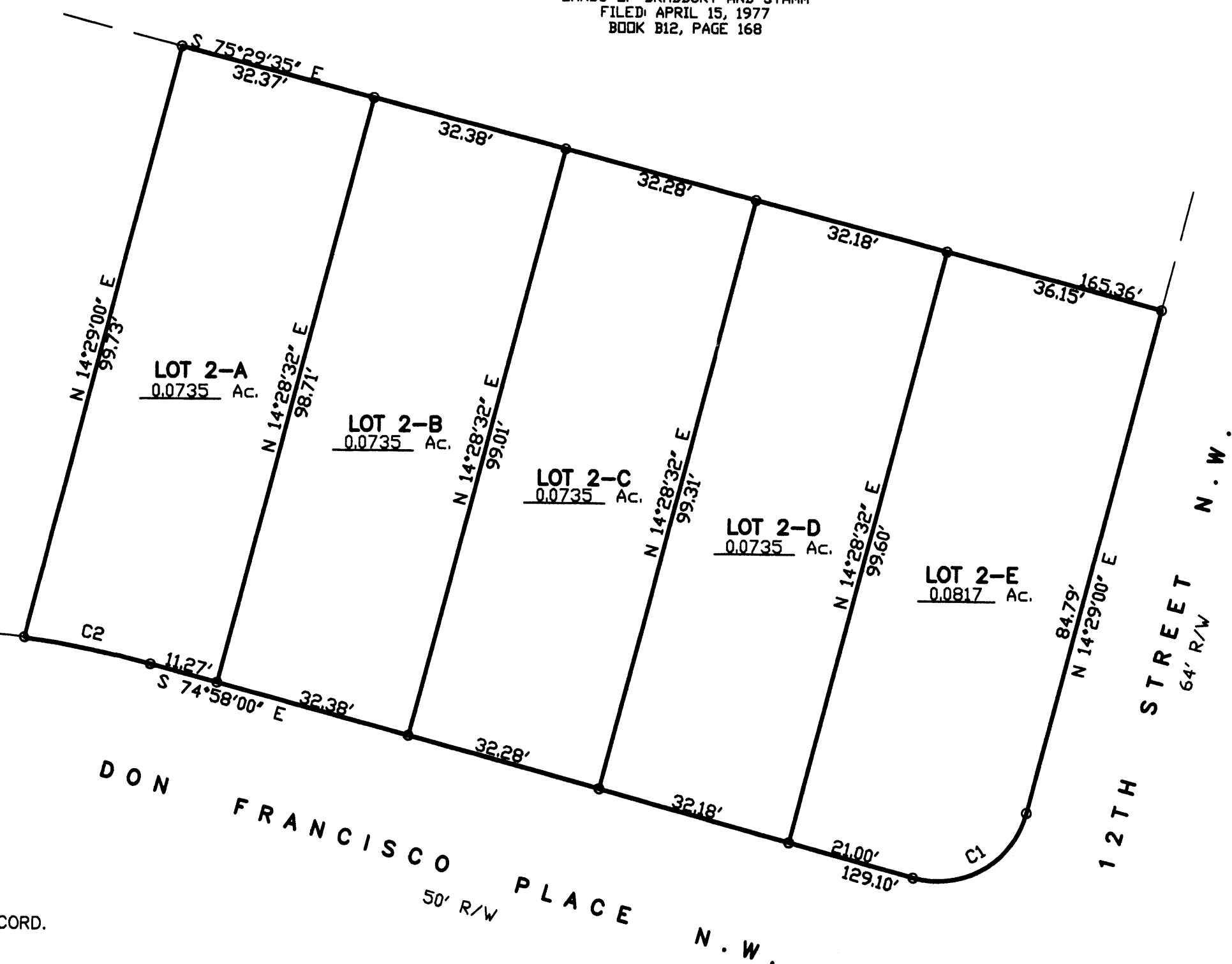
TRACT NUMBERED TWO (2) OF THE PLAT OF DIVISION OF LAND OF ALBERT L. MATTHEW, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 29, 1975 IN VOLUME B10, FOLIO 178

**PLAT OF
LOTS 2-A, 2-B, 2-C, 2-D, AND 2-E
LANDS OF ALBER L. MATTHEW**

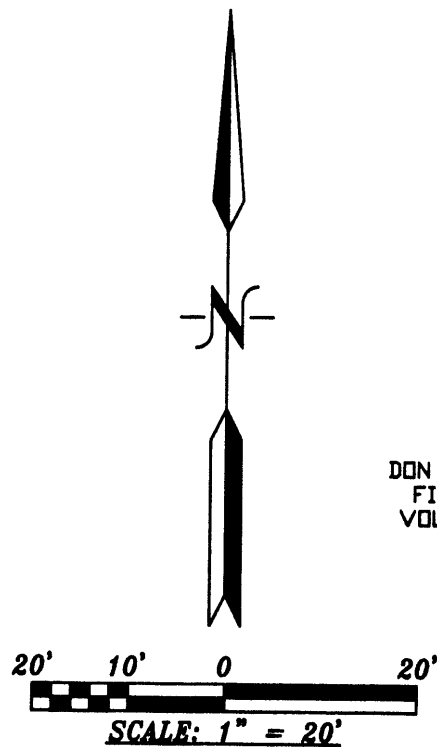
WITHIN
SECTION 5, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2007

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 UTILITY APPROVALS:
 PNM ELECTRIC SERVICES _____ DATE _____
 PNM GAS SERVICES _____ DATE _____
 QWEST TELECOMMUNICATIONS _____ DATE _____
 COMCAST _____ DATE _____
 NEW MEXICO UTILITIES _____ DATE _____
 CITY APPROVALS:
 CITY SURVEYOR _____ DATE _____
 *REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____
 **ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 AMAFCA _____ DATE _____
 CITY ENGINEER _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

TRACT B
LANDS OF BRADBURY AND STAMM
FILED: APRIL 15, 1977
BOOK B12, PAGE 168



LOT 1
DON FRANCISCO COMPOUND
FILED: MARCH 7, 1986
VOLUME C29, FOLIO 168



PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO DIVIDE LOT 2 INTO 5 LOTS AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 0.3755 ACRES.
- 4: TALOS LOG NO. 2007304168
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: MARCH, 2007
- 9: CURRENT ZONING: RLT

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°31'27"	N 59°45'30" E	15.00	23.70	21.31
C2	07°07'58"	N 78°31'56" W	170.00	21.16	21.15

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

DATE _____

ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS _____ DAY OF _____, 20____

BY: _____
OWNERS NAME

MY COMMISSION EXPIRES: _____ BY: _____
NOTARY PUBLIC

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS _____ DAY OF _____, 2007.

ANTHONY L. HARRIS, P.S. # 11463

HARRIS SURVEYING, INC.
2412-D MONROE STREET N.E.
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 889-8056
FAX: (505) 889-8845

RE06-2477.DWG (MARCH, 2007)

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# _____

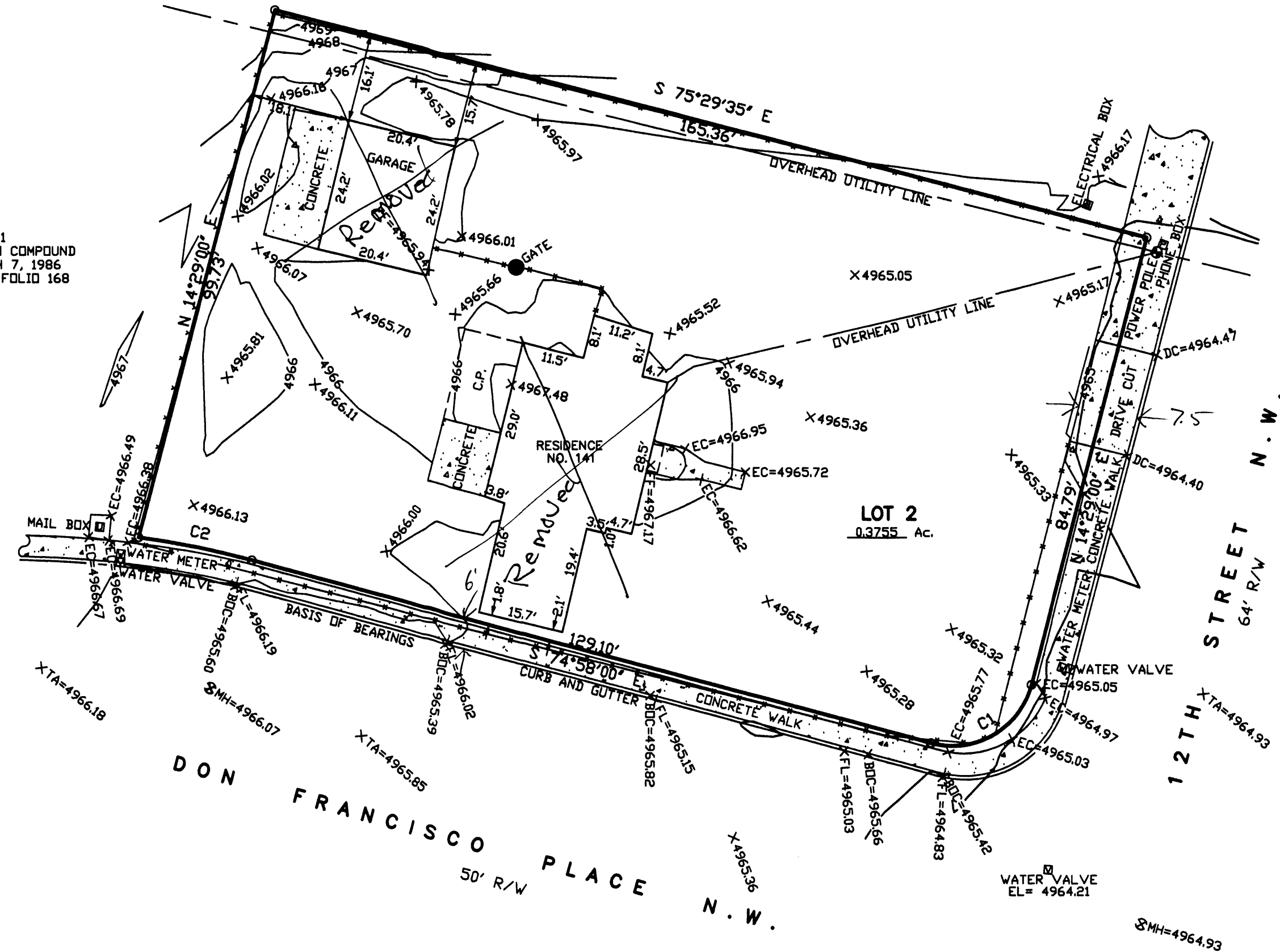
PROPERTY OWNER OF RECORD: _____

BERNALILLO CO. TREASURER'S OFFICE: _____

PLAT OF TOPOGRAPHY
OF
TRACT 2
LANDS OF ALBERT L. MATTHEW
—
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

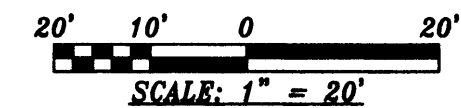
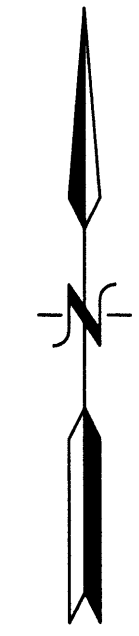
TRACT B
LANDS OF BRADBURY AND STAMM
FILED: APRIL 15, 1977
BOOK B12, PAGE 168

LOT 1
DON FRANCISCO COMPOUND
FILED: MARCH 7, 1986
VOLUME C29, FOLIO 168



GENERAL NOTES:

- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "23-G14", HAVING AN ELEVATION OF 4967.69'
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



LEGEND

BOC	=	BACK OF CURB
CC	=	CURB CUT
DI	=	DRAINAGE INLET
EA	=	EDGE OF ASPHALT
EC	=	EDGE OF CONCRETE
EL	=	ELEVATION
EDW	=	EDGE OF WALL
ER	=	EDGE OF ROAD
FF	=	FINISH FLOOR
FL	=	FLOW LINE
FND	=	FOUND
FP	=	FENCE POST
G	=	GROUND
INV	=	INVERT

Anthony L. Harris, N.M.P.S.#11463 HARRIS SURVEYING, INC.
2412-D Monroe Street, NE • Albuquerque, New Mexico 87110
Telephone (505) 889-8056 • FAX (505) 889-8845



VICINITY MAP No. G-14

LEGAL DESCRIPTION

TRACT NUMBERED TWO (2) OF THE PLAT OF DIVISION OF LAND OF ALBERT L. MATTHEW, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 29, 1975 IN VOLUME B10, FOLIO 178

GENERAL NOTES "CONTINUED":

- 11: THE 3 FOOT PRIVATE DRAINAGE EASEMENT IS FOR THE BENEFIT OF TRACTS 2-A, 2-B, 2-C AND 2-D AND IS TO BE MAINTAINED EQUALLY BY SAID TRACTS
- 12: THE 6 FOOT LANDSCAPE EASEMENT IS FOR THE BENEFIT OF TRACT 2-D AND IS TO BE MAINTAINED BY TRACT 2-D

**PLAT OF
TRACTS 2-A, 2-B, 2-C, AND 2-D
LANDS OF ALBERT L. MATTHEW**

WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 5, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2008

PROJECT NUMBER: 1005513
APPLICATION NUMBER: 08DRB70035

UTILITY APPROVALS:

PNM ELECTRIC SERVICES [Signature] 1/29/2008 DATE

PNM GAS SERVICES [Signature] 1/29/2008 DATE

QWEST TELECOMMUNICATIONS [Signature] 1/29/08 DATE

COMCAST [Signature] 3-26-08 DATE

NEW MEXICO UTILITIES N/A DATE

CITY APPROVALS:

CITY SURVEYOR [Signature] 1-7-08 DATE

*REAL PROPERTY DIVISION (CONDITIONAL) N/A DATE

**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) N/A DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION [Signature] 3/26/08 DATE

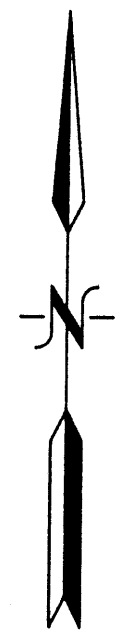
ABCWAU [Signature] 3/26/08 DATE

PARKS AND RECREATION DEPARTMENT [Signature] 3/26/08 DATE

AMAFCA [Signature] 3/26/08 DATE

CITY ENGINEER [Signature] 4/15/08 DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT [Signature] 3/26/08 DATE



LOT 1
DON FRANCISCO COMPOUND
FILED: MARCH 7, 1986
VOLUME C29, FOLIO 168

SCALE: 1" = 20'

ACS STATION "3-G12"
X=372,889.43
Y=1,498,606.10
GRD TO GRID=0.9996812
Δα = -00° 14' 40"
CENTRAL ZONE, NAD 1927

PURPOSE OF PLAT:
THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT 2 INTO 4 LOTS, AND GRANT ALL EASEMENTS AS SHOWN.

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- 8: DATE OF FIELD WORK: MARCH, 2007
- 9: CURRENT ZONING: RLT
- 10: NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

FREE CONSENT

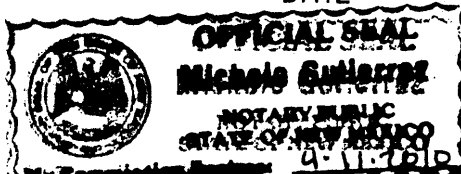
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ACKNOWLEDGMENT
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
THIS 4 DAY OF Jan, 2008

BY: Frank Baule
OWNERS NAME

MY COMMISSION EXPIRES: 4-11-2010 BY: Michelle Gutierrez
NOTARY PUBLIC



DATE 01-03-08

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°31'27"	S 60°18'13" W	15.00	23.70	21.31
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DOC# 2008043142

04/16/2008 11:58 AM Page 1 of 1
PLAT R 57 00 B 2008 P 0073 N Toulouse, Bernalillo County

SURVEYORS CERTIFICATE:

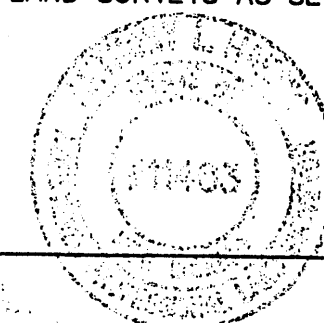
STATE OF NEW MEXICO) S.S.
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GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 3rd DAY OF January, 2008.

[Signature]
ANTHONY L. HARRIS, S.S. # 11463

HARRIS SURVEYING, INC. PHONE: (505) 889-8056
4418-D MONROE STREET, N.E. ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 889-8645





VICINITY MAP No. G-14



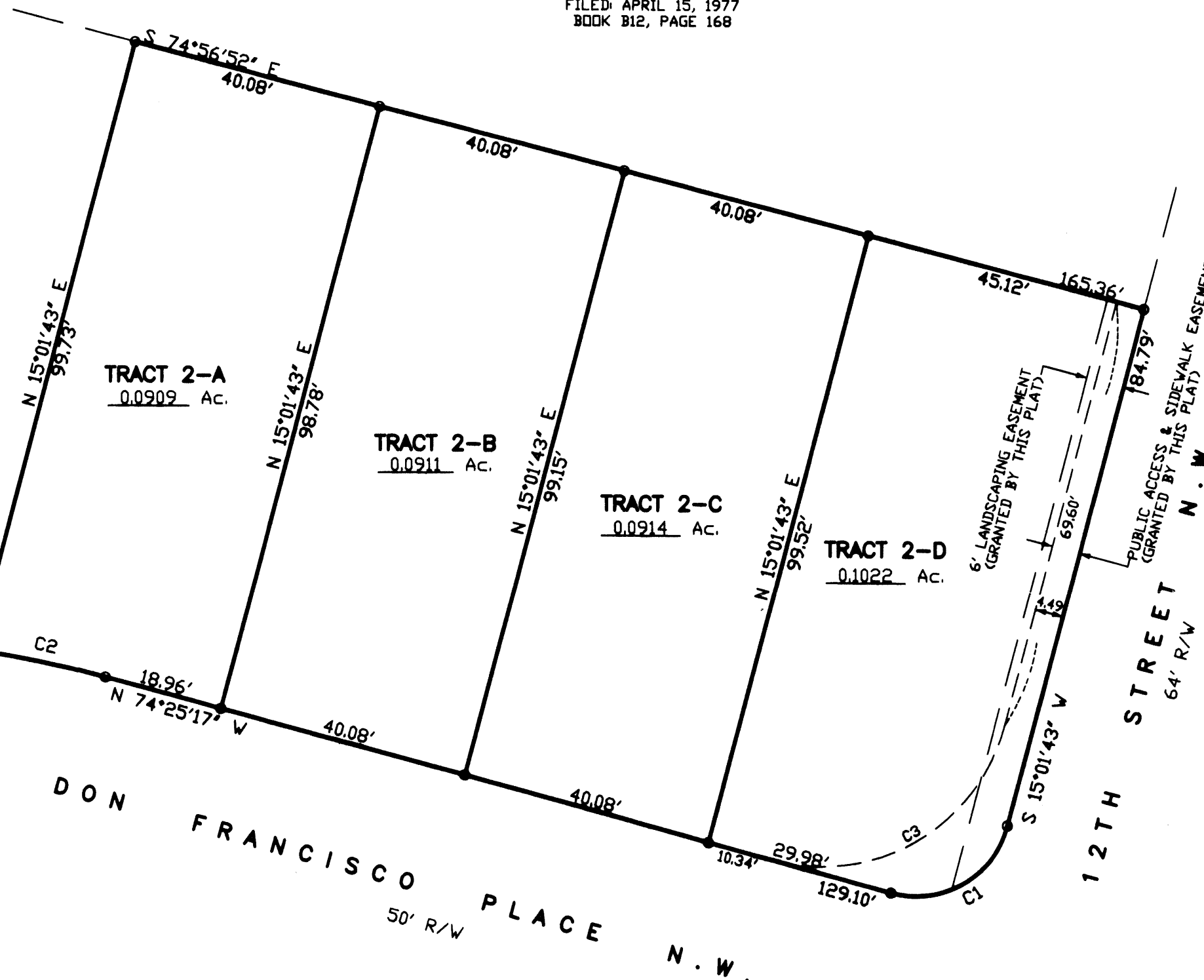
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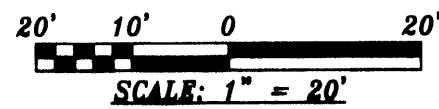
PLAT OF TRACTS 2-A, 2-B, 2-C, AND 2-D LANDS OF ALBERT L. MATTHEW

WITHIN THE TOWN OF ALBUQUERQUE GRANT PROJECTED SECTION 5, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JANUARY, 2008

TRACT B LANDS OF BRADBURY AND STAMM FILED APRIL 15, 1977 BOOK B12, PAGE 168



LOT 1 DON FRANCISCO COMPOUND FILED MARCH 7, 1986 VOLUME C29, FOLIO 168



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THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO CO. TREASURER'S OFFICE: _____

FREE CONSENT

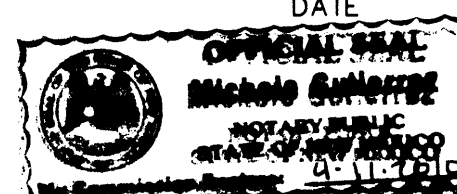
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COUNTY OF BERNALILLO)

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BY: Frank Baula
OWNERS NAME

MY COMMISSION EXPIRES: 4-11-2010 BY: Nicholas Gutierrez
NOTARY PUBLIC



PROJECT NUMBER: _____

APPLICATION NUMBER: _____

UTILITY APPROVALS:

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST _____ DATE _____

NEW MEXICO UTILITIES _____ DATE _____

CITY APPROVALS: [Signature] 1-7-08
CITY SURVEYOR _____ DATE _____

*REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____

**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

ABCWAU _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

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GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 3rd DAY OF January, 2008.

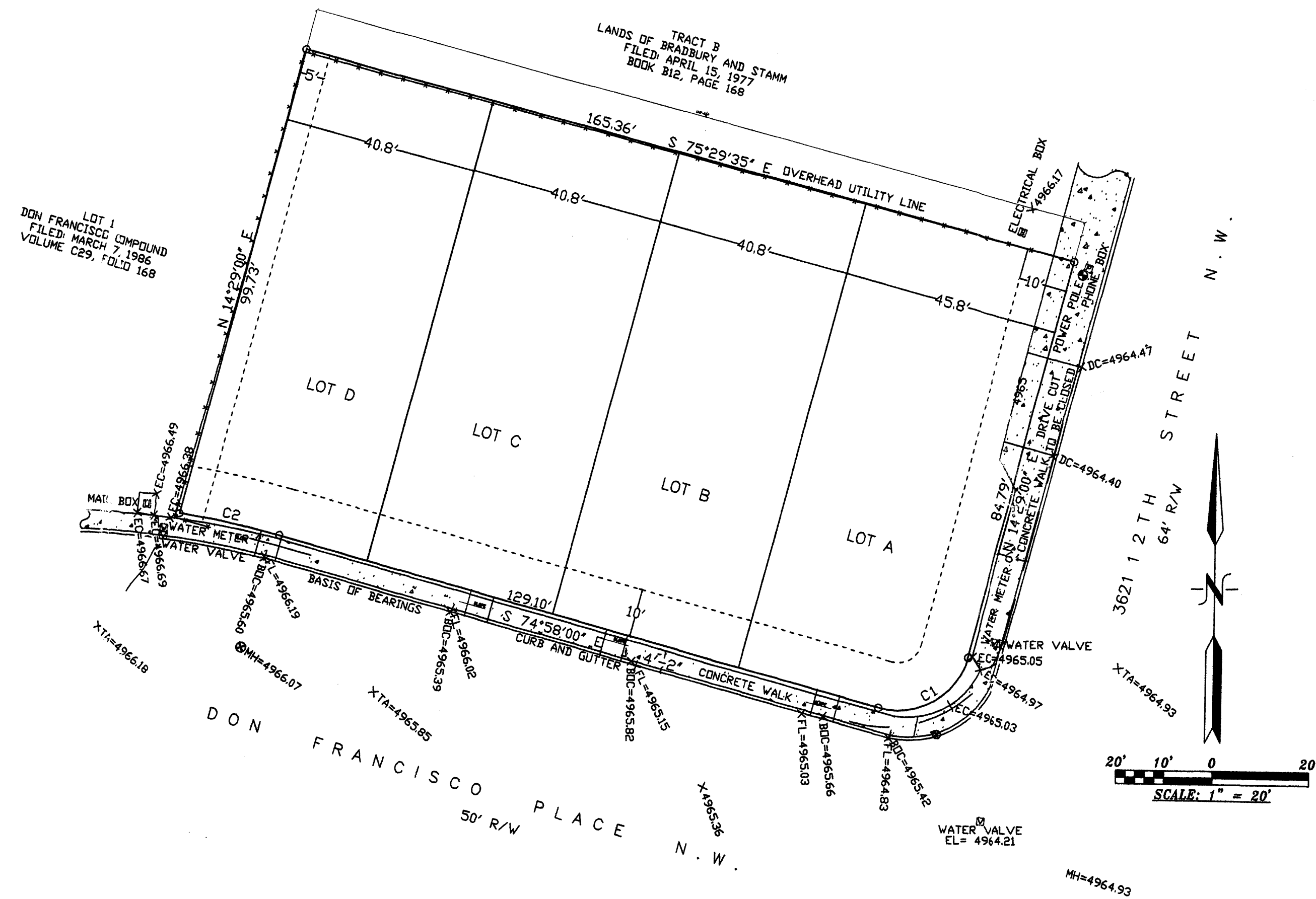
[Signature]
ANTHONY L. HARRIS, S.S. # 11463

ALB HARRIS SURVEYING, INC.
4418-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 889-8056 FAX: (505) 889-8045

~~PLAT OF TOPOGRAPHY~~
OF
TRACT 2
LANDS OF ALBERT L. MATTHEW

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

*SITE PLAN FOR SUBDIVISION
Development*



GENERAL NOTES:

- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
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LEGEND

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- DI = DRAINAGE INLET
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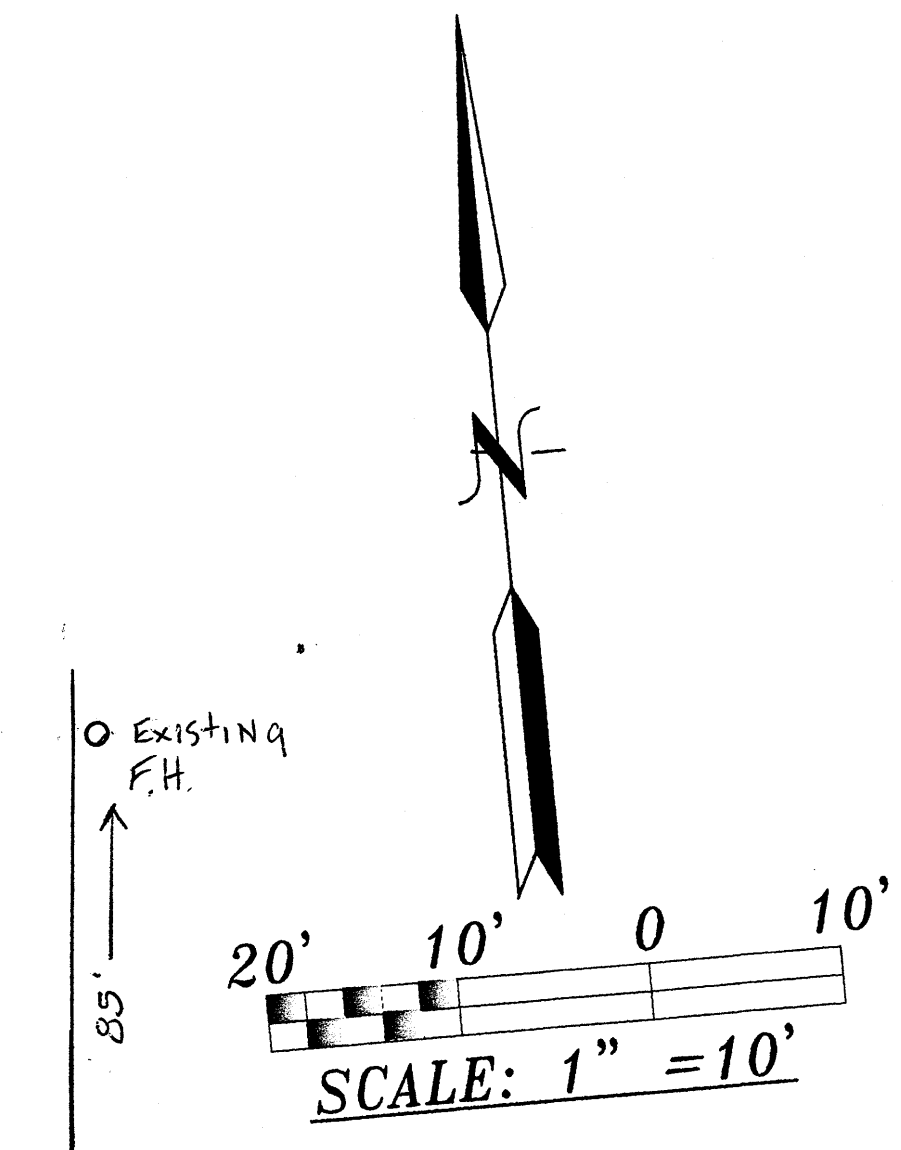
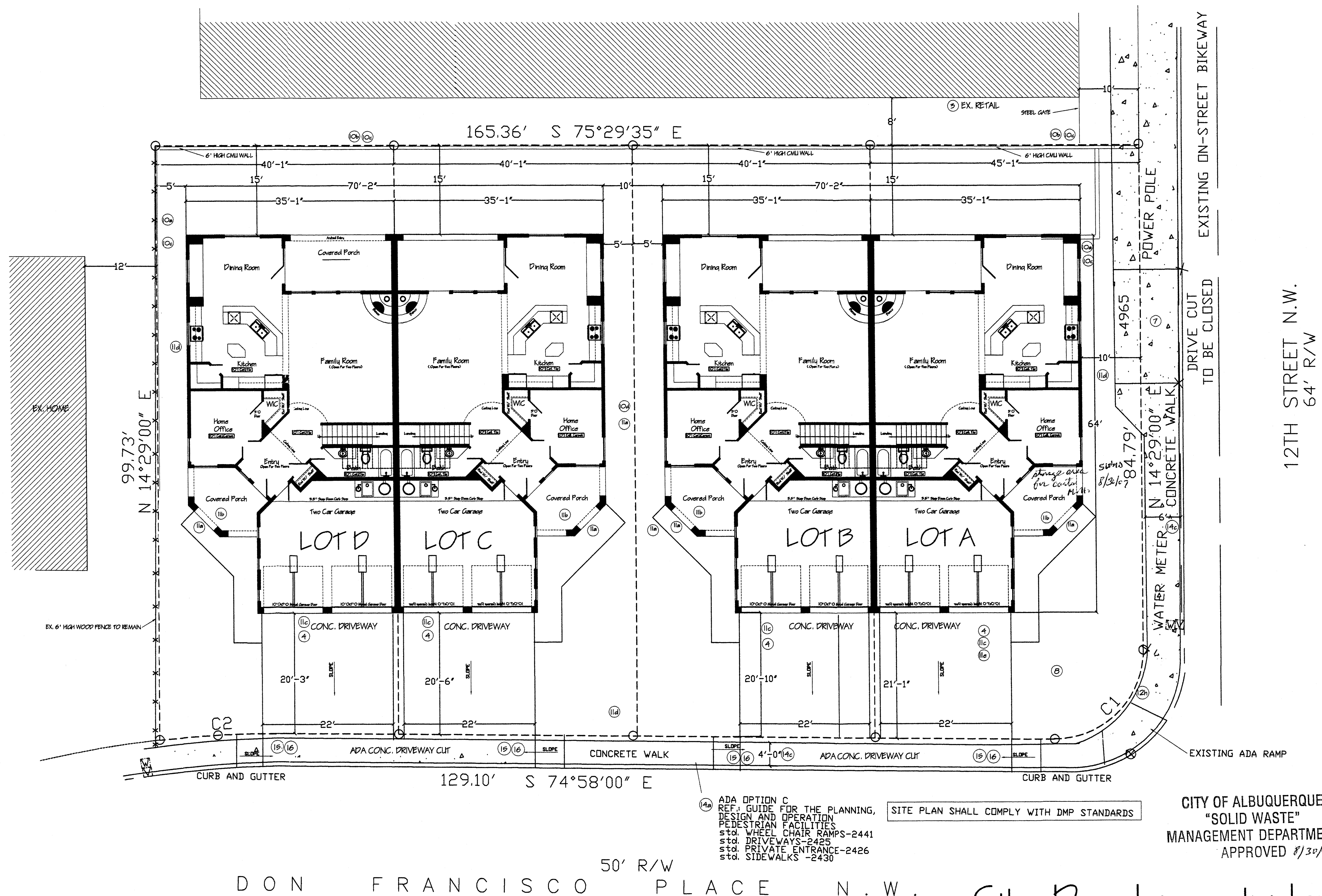
Anthony L. Harris, N.M.P.S.#11463 HARRIS SURVEYING, INC.
2412-D Monroe Street, NE Albuquerque, New Mexico 87110
Telephone (505) 889-8056 FAX (505) 889-8845

- KEYED DRB CONDITIONS OF APPROVAL - 07 EPC 00879, JULY 19, 2007, SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- EPC DELEGATES FINAL SIGN OFF TO DRB
- PRIOR TO SUBMITTAL APPLICANT SHALL MEET WITH STAFF PLANNER AND NEAR NORTH VALLEY NEIGHBORHOOD ASSOCIATION.
- EXISTING BUILDING TO THE NORTH SHOWN.
- EACH DRIVE WAY SHALL BE A MIN OF 20' LONG TO COMPLY WITH ZONING CODE SETBACK FOR R-1.1 ZONE.
- TOPOGRAPHICAL ERRORS CORRECTED.
- PARKING CALCULATIONS SHALL SHOW NUMBER OF BATHS PER UNIT.
- THE EXISTING CURB CUT ON 12TH STREET SHALL BE CLOSED AND RESTORED TO CURB HEIGHT MATCHING SURROUNDING AREAS.
- GRADING, DRAINAGE AND UTILITY PLAN SHALL BE REVIEWED AND APPROVED BY APPROPRIATE AGENCIES BEFORE FINAL SIGN.
- THE UPPER LEVEL OF EACH UNIT SHALL BE LIMITED TO 50% OF THE BUILDING FOOTPRINT AND SHALL BE STEPPED BACK FROM DON FRANCISCO.

- PERIMETER WALLS SHALL BE SPLIT FACED CMU OR SHALL BE STUCCOED.
- THE NORTH PERIMETER WALL SHALL INCLUDE ELEMENTS ALLOWING VISIBILITY TO THE NORTH.
- APPLICANT SHALL PROVIDE A DETAIL DRAWING OF THE PERIMETER WALL INDICATING MATERIALS, COLORS, AND DESIGN ELEMENTS. see sheet 2
- THE WALL BETWEEN THE TWO BUILDINGS SHALL BE REMOVED.
- DESIGN
- FRONT COURTYARD WALLS SHALL BE REMOVED FROM THE SITE PLAN.
- TURRETS SHALL BE REMOVED FROM PLAN.
- DOORS FOR THE TWO-CAR GARAGES SHALL BE PROVIDED IN THE FORM OF TWO SEPARATE SINGLE DOORS.
- ADDITIONAL ARTICULATION TO INCLUDE WINDOWS SHALL BE PROVIDED ON THE EAST ELEVATION OF LOT A AND THE WEST ELEVATION ON LOT D.
- BUILDING SHALL BE DESIGNED IN TERRAZZAL STYLE.

- LANDSCAPING
- REMOVED NOTE: "FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN." see sheet 2
- A SHIELD PLANTING DETAIL IS PROVIDED. see sheet 2
- ALL GROUND COVER SHALL BE INDICATED. see sheet 2
- THE AMOUNT OF HIGH WATER TURF SHALL BE REDUCED. see sheet 2
- THE APPLICANT SHALL CORRECT PLANT COUNTS FOR OCOTILLO. see sheet 2
- EXISTING CITY MAINTAINED LANDSCAPING TO THE NORTH OF THE CURB CUT ON 12TH STREET SHALL BE DESIGNED TO MATCH THE EXISTING CITY LANDS TO THE NORTH. see sheet 2
- THE APPLICANT SHALL REPAIR DAMAGE DONE TO CITY-INSTALLED LANDSCAPING ADJACENT TO TO OR ON THE SUBJECT SITE TO MATCH THE LANDSCAPE PLANS FOR THE LOS CANGELARAS VILLAGE CENTER STREETSCAPE IMPROVEMENT. THE APPLICANT SHALL COORDINATE WITH THE METROPOLITAN REDEVELOPMENT AGENCY TO ENSURE THAT THIS CONDITION IS MET. see sheet 2
- THE PLANTING AREA SOUTH AND EAST OF THE POINTS CURVATURE AT THE SOUTHEAST CORNER SHALL BE REPLACED WITH SIDEWALK TO MATCH EXISTING SIDEWALKS ALONG 12TH STREET IN MATERIALS, COLOR, STYLE. MULTIFLOWERS SHOWN IN THE LANDSCAPE PLAN SHALL BE RELOCATED WITHIN THE SITE. SHEETS 1 AND 2
- THE APPLICANT SHALL COMPLY WITH ALL WASTE MANAGEMENT DEPARTMENT ORDINANCES AND REQUIREMENTS.

- CITY ENGINEER CONDITIONS
- THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN. THOSE IMPROVEMENTS WILL INCLUDE ANY ADDITIONAL RIGHT-OF-WAY REQUIREMENTS, PAVING, CURB AND GUTTER, SIDEWALK AND ADA ACCESSIBLE RAMPS THAT HAVE NOT ALREADY BEEN PROVIDED FOR. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT ARE NOT LIMITED TO SIDEWALKS (std. spec. 2450) DRIVEWAYS (std. spec. 2425), PRIVATE ENTRANCES (std. spec. 2426) AND WHEEL CHAIR (std. spec. 2441).
- PROVIDE PARKING CALCULATIONS.
- SHOW SIDEWALK (4' ON DON FRANCISCO AND 6' ON 12TH STREET) AND LANDSCAPE BUFFER ON SITE PLAN. SIDEWALKS TO BE LOCATED AT PROPERTY LINE CITY RIGHT-OF-WAY.
- SITE PLAN SHALL COMPLY AND BE DESIGNED PER DPM STANDARDS.
- PLANTING MUST BE CONCURRENT DRB ACTION.
- SIDEWALK TRANSITIONS AT THE DRIVE PADS ON DON FRANCISCO SHALL BE CONSTRUCTED TO 12:1 RATIO TO MAINTAIN ADA ACCESSIBILITY.
- SIDEWALK ALONG DON FRANCISCO SHALL NOT EXCEED A 2% CROSS SLOPE.



3621 12TH STREET NW ZONE: S-U1/ R-LT USES ZONE ATLAS: G14
LEGAL DESCRIPTION OF TRACT LANDS OF ALBERT L. MATTHEW ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FEBRUARY, 2007
FRONT AND EAST SIDE SETBACK - 10' REAR SETBACK - 15' WEST SETBACK - 5'
SQUARE FOOTAGE 1ST AND 2ND FLOORS TOTAL LOT A = 4,068 SQ FT 1 ST FL = 2561 sq ft 2 ND FL = 1076 sq ft LOT B = 4,068 SQ FT 1 ST FL = 2561 sq ft 2 ND FL = 1076 sq ft LOT C = 4,068 SQ FT 1 ST FL = 2561 sq ft 2 ND FL = 1076 sq ft LOT D = 4,960 SQ FT 1 ST FL = 2561 sq ft 2 ND FL = 1076 sq ft
PARKING CALCULATIONS 2 BATH ROOMS PER TOWNHOUSE 2 ON SITE PARKING S PER RESIDENCE 8 PARKING S TOTAL ON SITE LOT A = 2 BATHS LOT B = 2 BATHS LOT C = 2 BATHS LOT D = 2 BATHS

ADA OPTION C
REF: GUIDE FOR THE PLANNING,
DESIGN AND OPERATION
PEDESTRIAN FACILITIES
std. WHEEL CHAIR RAMPS-2441
std. DRIVEWAYS-2425
std. PRIVATE ENTRANCE-2426
std. SIDEWALKS -2430

SITE PLAN SHALL COMPLY WITH DMP STANDARDS

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 8/30/07

DON FRANCISCO PLACE N.W. 50' R/W

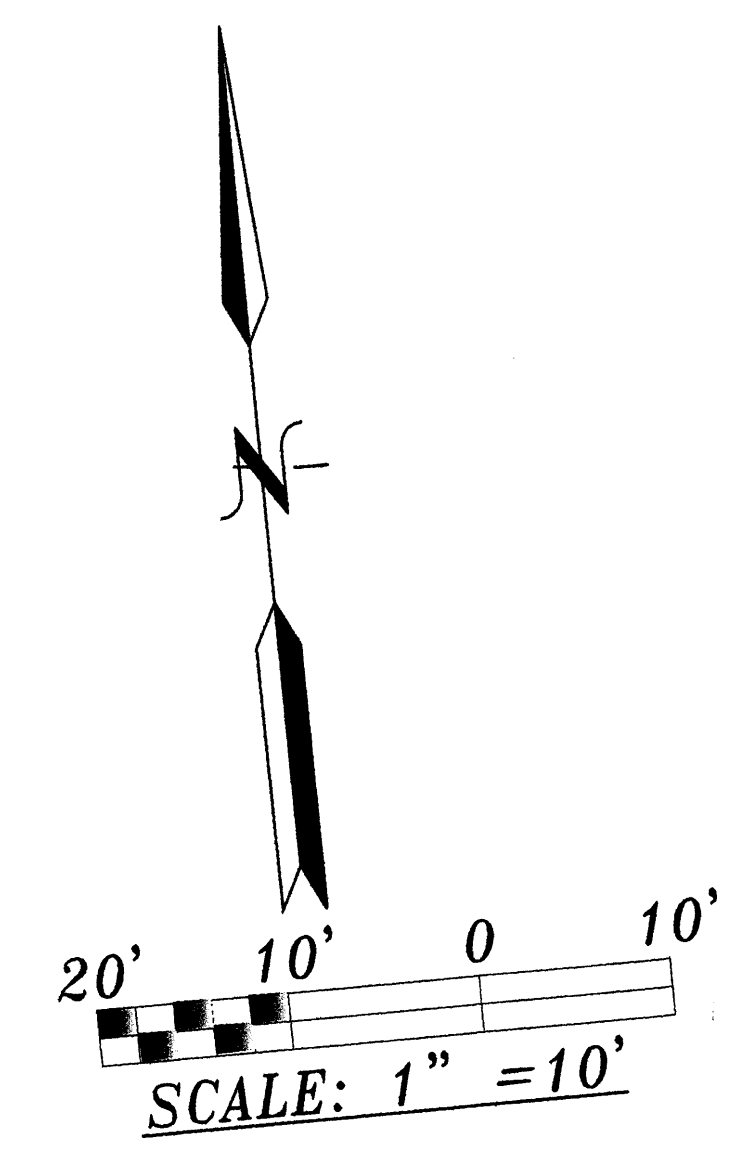
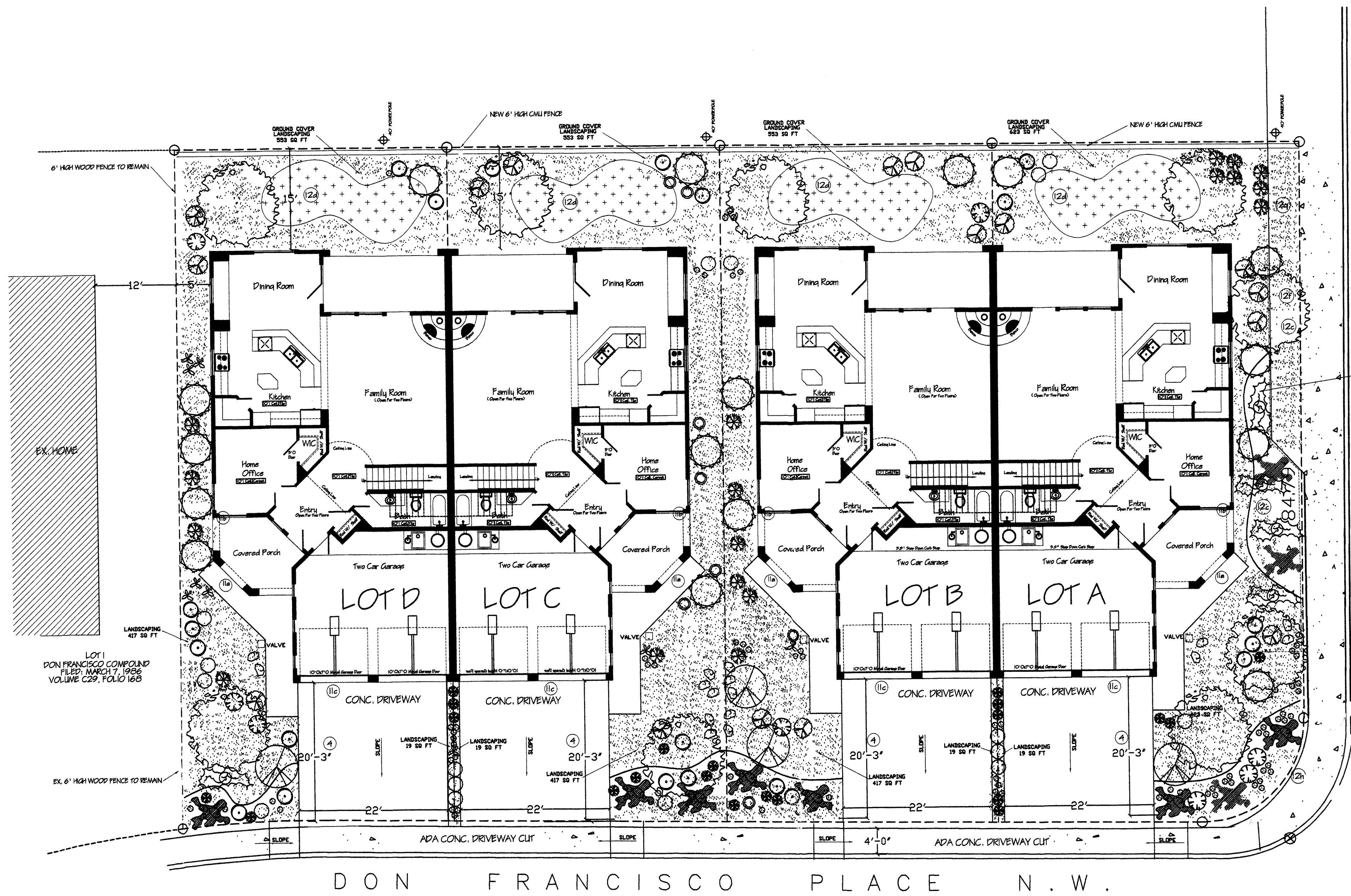
Site Development plan For Building Permit

Ron Montoya Custom Designs
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(505) 825-6474 Call: (505) 507-1005 Fax: 825-6487

April 25, 2007
Site Plan

Barela Development Group
Albuquerque New Mexico

Final Drawings Checked By:	Sheet
1. R. Montoya	1
2. C. Montoya	
3. 07-29-07	Of 7 Sheets

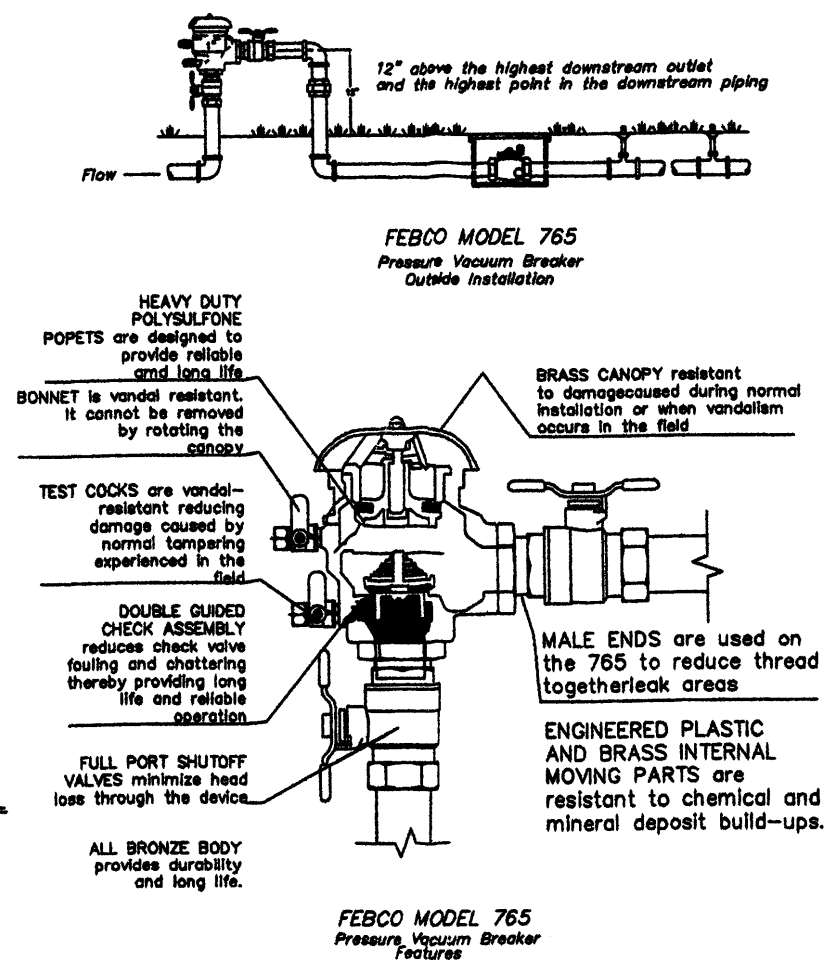
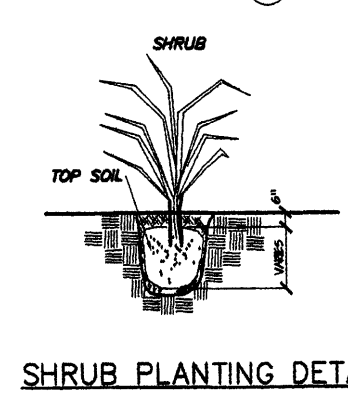
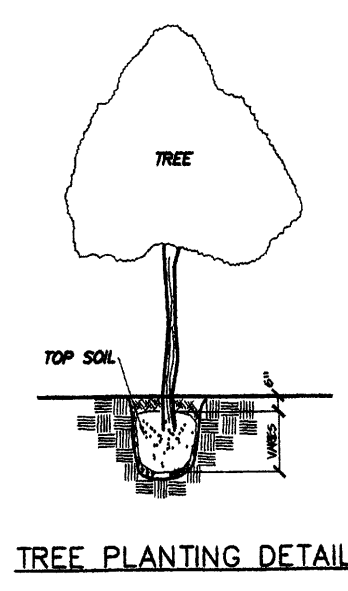


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April 25, 2007
LANDSCAPING

Barela Development Group
Albuquerque New Mexico

Landscaping Plan



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at maturity.
Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

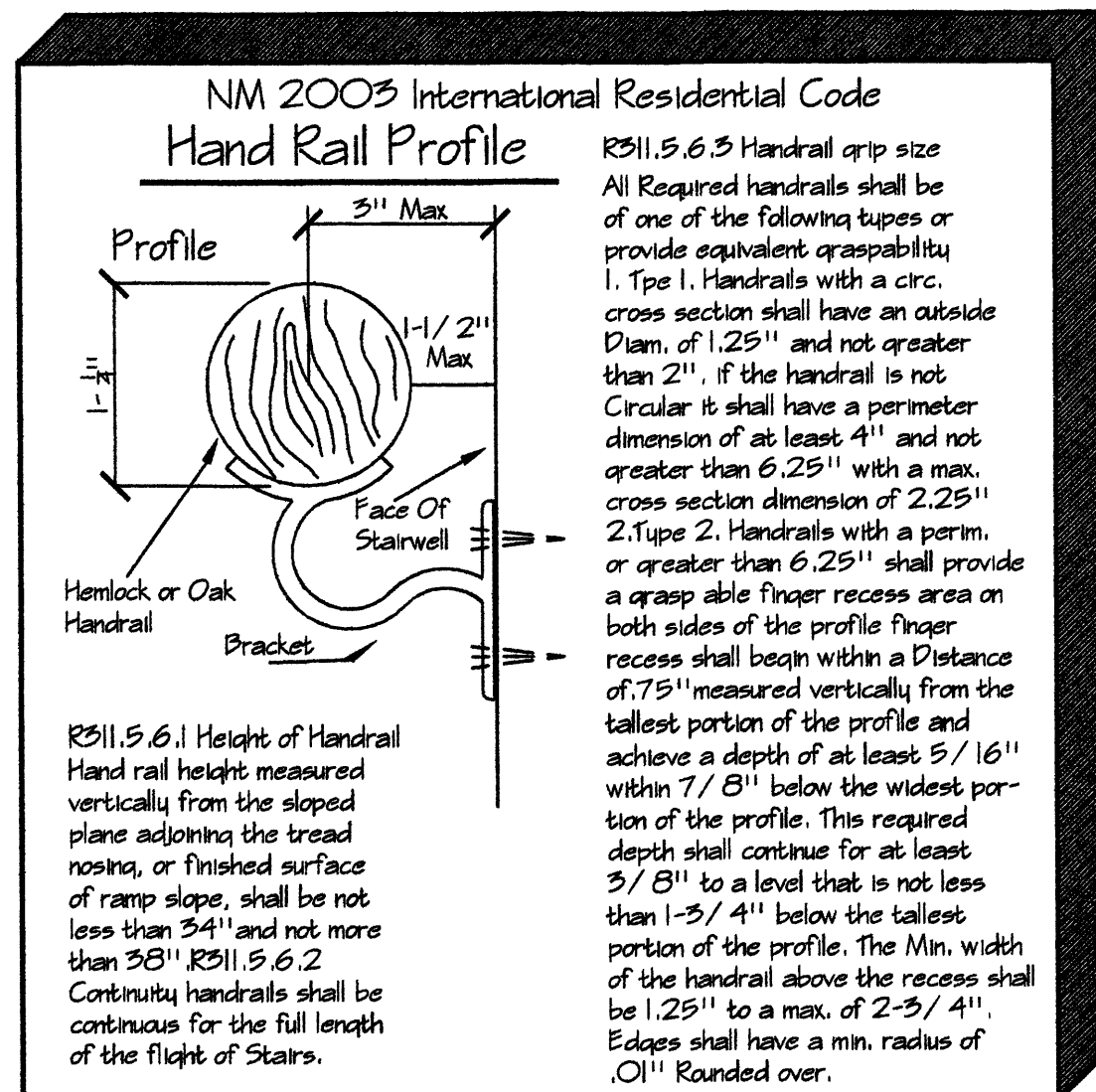
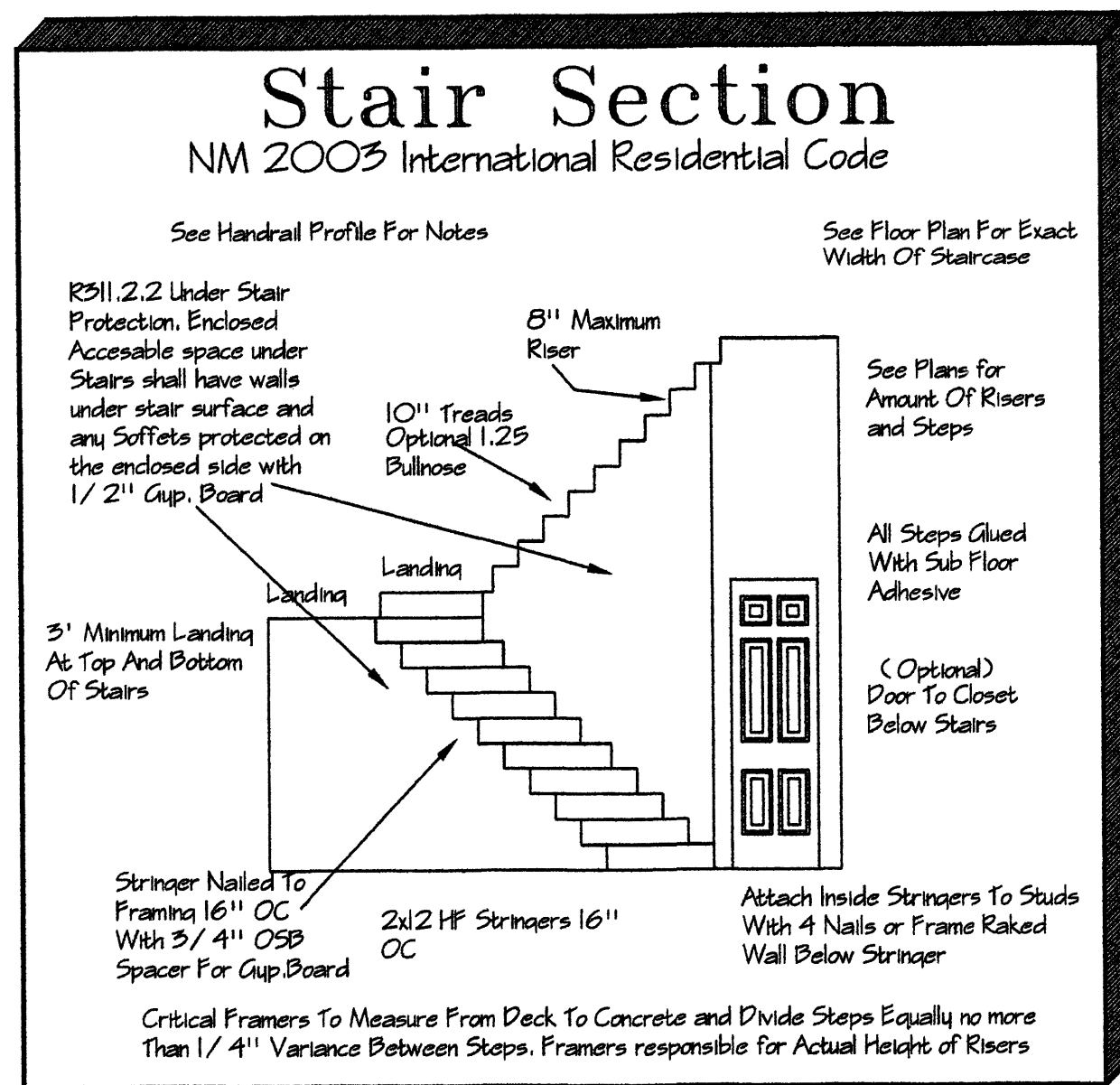
IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

PLANT LEGEND

- ASH (H) OR HONEY LOCUST (M) 9
Fraxinus pennsylvanica
Gleditsia triacanthos
2' Cal.
- DESERT WILLOW (L) 16
Chilopsis linearis
15 Gal.
- RUSSIAN SAGE (M) 20
Perovskia atriplicifolia
5 Gal. 36sf
- APACHE PLUME (L) 15
Fallugia parviflora
5 Gal. 25sf
- ARP ROSEMARY (M) 8
Rosmarinus officinalis
5 Gal. 36sf
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- COMMERCIAL GRADE STEEL EDGE
- FLOWERING PEAR (M+) 4
Pyrus calleryana
2' Cal.
- OCOTILLO (L) 39
Fouquieria splendens
- PRICKLY PEAR (L) 8
Opuntia macrocentra
9 sf
- HALLS HONEYSUCKLE (M) 14
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- CHAMISA (L) 20
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 41
1 Gal. 4sf
- CREEPING ROSEMARY (L) 9
1 Gal. 36sf
Symbol indicates 3 plants
- OVERSIZED GRAVEL & 3 BOULDERS
- 75% GROUND COVER SOD
- LARGE BOUNDER
Rosmarinus officinalis 'Prostrata'

LANDSCAPE CALCULATIONS

LOT A-TOTAL LOT AREA	4818	square feet
TOTAL BUILDINGS AREA	1638	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	3180	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	477	square feet
ACTUAL PROVIDED	1174	square feet
LOT B-TOTAL LOT AREA	3706	square feet
TOTAL BUILDINGS AREA	1638	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	2068	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	310	square feet
ACTUAL PROVIDED	989	square feet
LOT C-TOTAL LOT AREA	3686	square feet
TOTAL BUILDINGS AREA	1638	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	2048	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	307	square feet
ACTUAL PROVIDED	989	square feet
LOT D-TOTAL LOT AREA	4154	square feet
TOTAL BUILDINGS AREA	1638	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	2516	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	377	square feet
ACTUAL PROVIDED	989	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	1121	square feet
TOTAL GROUNDCOVER PROVIDED	1121	square feet
TOTAL LANDSCAPE PROVIDED	4141	square feet



Note: NM 2003 IRC RS10.1.1/RS10.1.2/RS10.1.3

All Windows in Bedrooms To Have A Min. 5.7 Sq. Ft. Opening with a Max. 44" Still Height. Window Min. 24" Height, 20" width Exception: Grade floor openings shall have a Min. net clear opening of 5 Sq. Ft.

All Exterior Doors including Door From Garage To Heated To have at Least One Deadbolt, with Door Jamb Solid Filled Between Frame And Jamb. Address Numbers Should Be Legible and Easily Read From The Street.

Glass Block Notes:

All Glass Block To Have Double Sills and Cripples 12" OC To Support Weight Of Masonry. Water Proof Membrane at Wood To Block Connectors

Note:

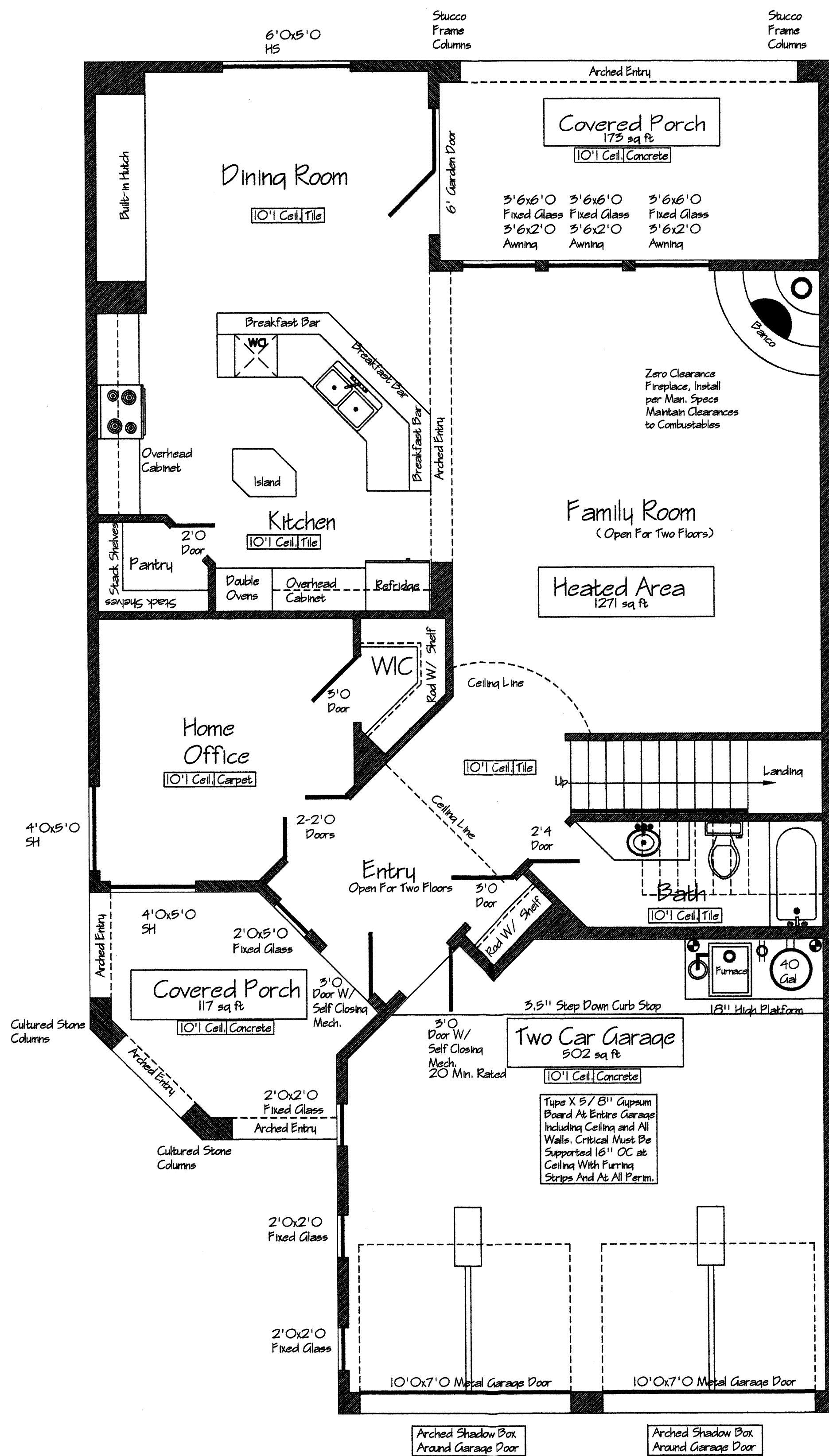
An Electrode Encased By at Least 2" Of Concrete, Located Within and Near The Bottom of a Concreted Foundation or Footing That is in Direct Contact with the Earth, Consisting of at Least 20' of one or more electrically conductive Steel Reinforcing Re-bar of Not less than 1/2" Diam.

Note:

Arc-Fault Circuit-Interrupter Protection Shall Be Provided in All Dwelling Bedrooms, 15 and 20 Amp Receptacles and all Branch Circuit's to be Protected by Arc-Fault Circuit Interrupter's

Electrical Panel Note:

At Electrical Panel, Place (2) Full Height Studs on Either side of Blockout. Wall Top plates to be continuous over box Blockout and support studs. Max. Blockout opening width is 16". Actual R.O. Width is 14.5".



Critical Note:

Provide Electrical For Two Refrigerated Air Units Locations per Owner HVAC Contractor Units to have Back up Heat as well as Cooling Size per UMC/LPC for Abilute and Square footage of House Plumber To Be Responsible For Condensation Line From Condenser

NM 2003 International Residential Code

Specifications:

Concrete

2500 PSI For Concrete Slab, Footings, and Retaining Walls Unless Noted.

3.5" Concrete Slab Minimum W/ Optional 6x6 10'10' Exterior Concrete.

Form Finish All Exterior Concrete.

2-#4 Re-bar Continuous in Footings and Thickened Slabs Min. 20 Diameters Lap and Wire Tight. All Stem Walls Fully Grouted.

1/2"x10" Anchor Bolts A-26 To Protrude 2-1/2" Embedded 8" At stem Wall.

1" Urethane Insulation at Perimeter of Building and at heated, Unheated Transition at Garage.

Walls/ Exterior

All Walls To Be framed with #2 or Better Grade Lumber SPF, 7/16" OSB at Corners For Shear Strength and every 20' AIS or Optional 1/2" Exterior Gypsum Board Sheathing Between OSB. Exterior Walls To Be Covered With Jambotex Building paper or Optional Tyvek House Wrap. 17 Gauge Stucco Netting W/ 3 Coat Stucco or Optional 20 Gauge Netting W/ 2 Coat Power Wall or Western 1 Coat Fiberglass Reinforced Stucco System.

All Exterior Windows Double Glass Units.

All Exterior Doors To Have Threshold and Weather stripping Caulked To Concrete or Subfloor.

Walls Interior

2x4 Studs 16" OC on all Non-loadbearing Walls, 2x4 studs 16" OC at all interior Load bearing walls and at garage lin. separation wall.

1/2" Gypsum board at walls and ceiling with texture per Owners Preferences, Tapes and Bed all Joints.

1/2" Water Resistant Gypsum board at all bathroom and Kitchen high water Areas.

5/8" Type X Gypsum Board at Garage Ceiling and Walls Supported 16" OC at ceiling and Walls.

Roof

All Membranes to meet or exceed 900 lb. 7/16" OSB with H clips at Roof sheathing Stagger all Joints. 6 mil. Poly vapor Barrier Optional w/ R20 Batt Insulation at Ceilings, R19 At Floor Between 1st Floor Unheated and 2nd floor Heated.

All Sloping Flat Roofs to have Min. 1/4" PLF Slope with 3-ply Built-up Roofing.

All Trusses To Be Installed per Manufacturers Specifications and all Lateral Bracing per Truss Engineering Locations.

Sloping Roof Trusses Min. 3/12 Pitch.

See attached Engineering For Exact Truss Construction and Installation Specs.

Mechanical Plumbing Electrical

All Mechanical, Electrical, and Plumbing Contractors To Permit all Work on Projects and install Per UPC, and all applicable Codes and Code Books. When Reviewing Notify Builder Of All Conflicts for Chase Locations and Chase Sizes See Electrical Mechanical Plan For Further Notes.

AREAS

1st Floor	1271 Total Heated
Garage	902
Front Porch	117
Back Porch	173
Total 1st Floor Area	2063
2nd Floor	1090 Total Heated
	2063 151 FL SQ FT X 90% = 1091 SQ FT

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July 23, 2007
Floor Plan

RH Barela Dev. Model A
Albuquerque New Mexico

Floor Plan

Scale 1/4" = 1'

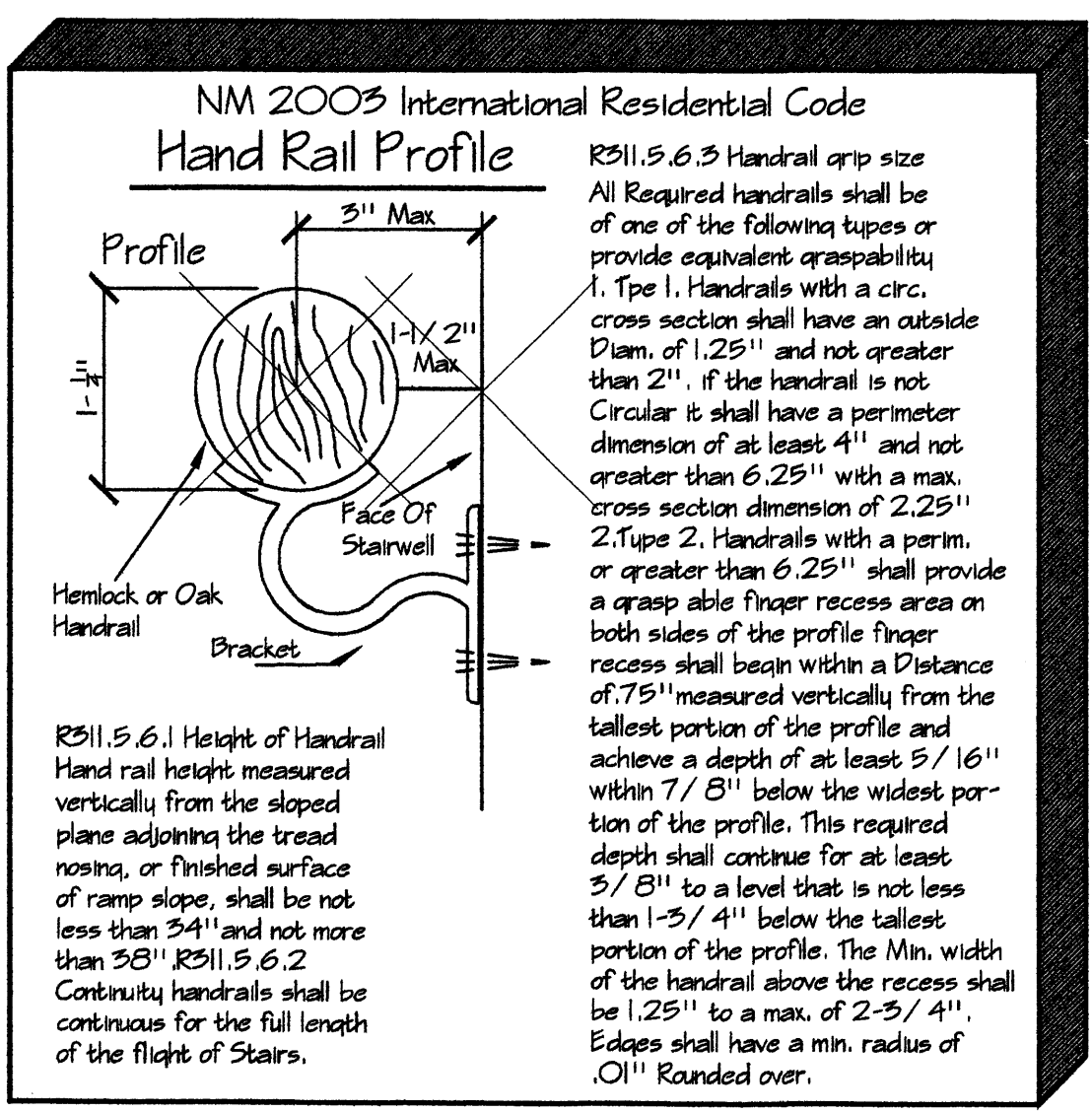
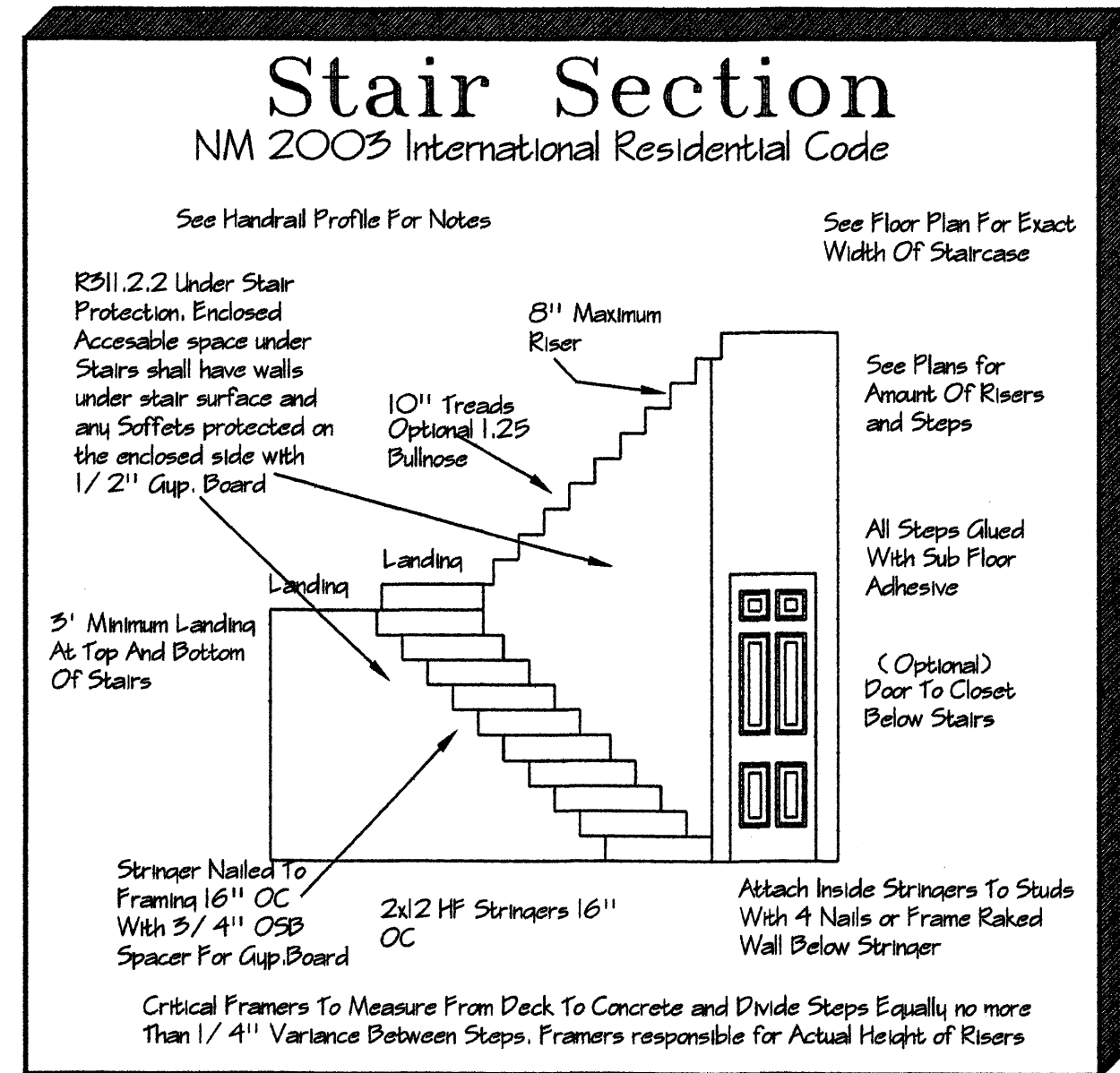
Final Drawing Checked By:	Sheet
1. R. Montoya	2
2. J. Richardson	
9.08-01-07	Of 12 Sheets

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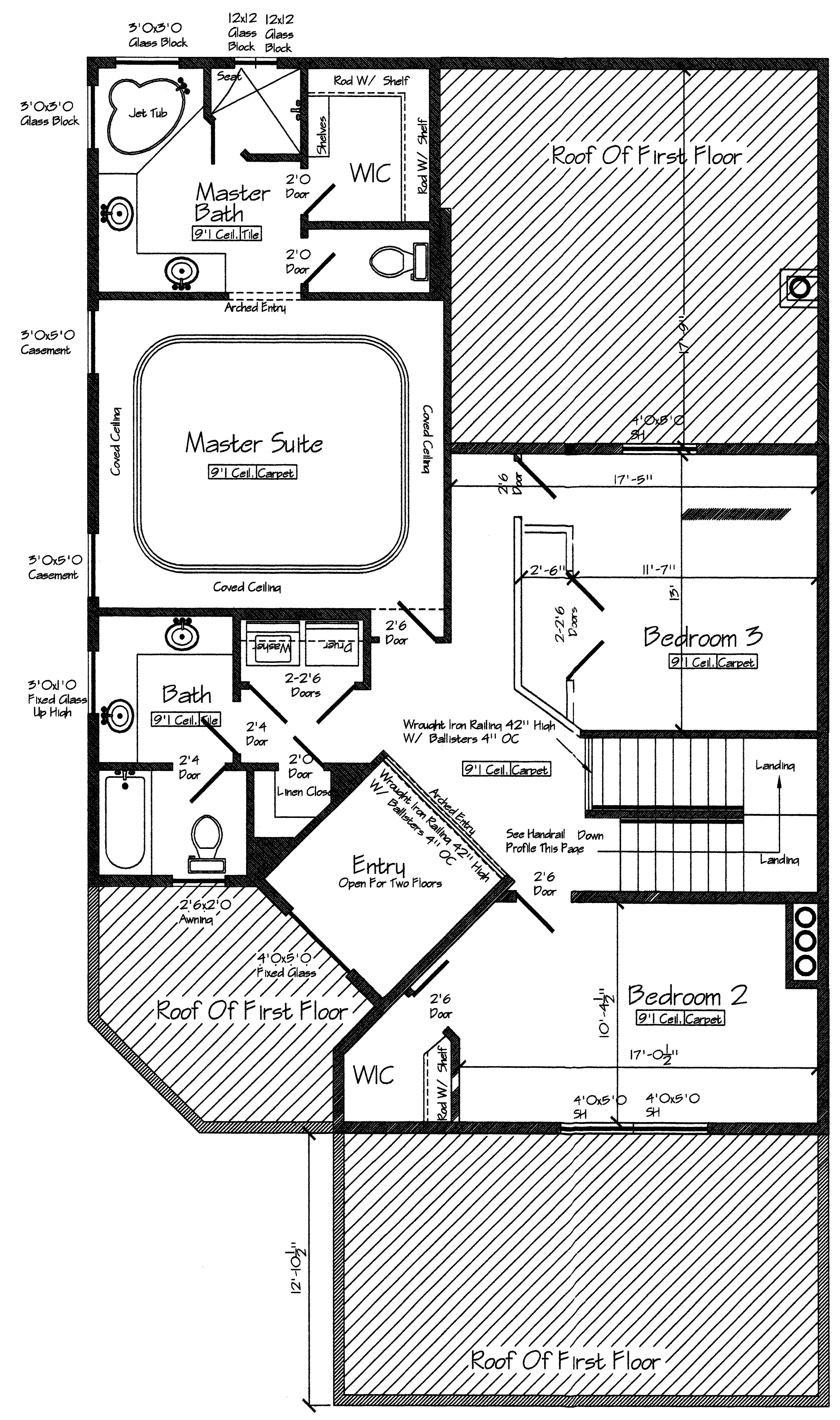
July 23, 2007
 2nd Floor Plan

RH Barela Dev. Model A
 Albuquerque New Mexico

Final Drawing Checked By: Sheet 4 of 12 Sheets
 1. R. Montoya
 2.
 08-10-07



Note: NM 2003 IRC R510.1.1, R510.1.2, R510.1.3
 All Windows in Bedrooms To Have A Min. 5.7 Sq. Ft. Opening with a Max. 44" sill Height. Window Min. 24" Height, 20" width Exception: Grade floor openings shall have a Min. net clear opening of 5 Sq. Ft.
 All Exterior Doors including Door From Garage To Heated To have at Least One Deadbolt, with Door Jamb Solid Filled Between Frame And Jamb. Address Numbers Should Be Legible and Easily Read From The Street.



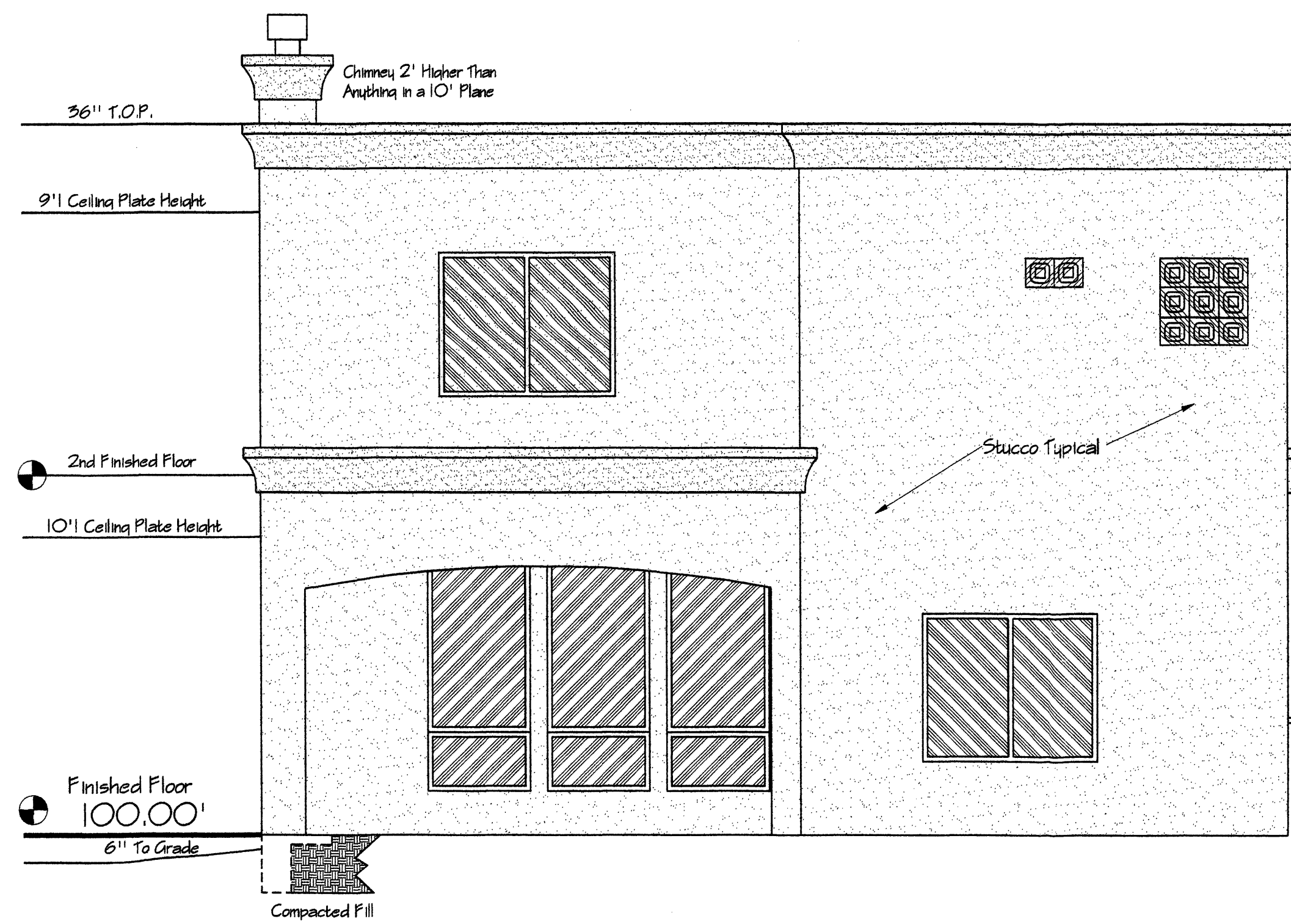
Critical Note:
 Provide Electrical for Two Refrigerated Air Units Locations per Owner HVAC Contractor Units to have Back up Heat as well as Cooling Size per UAC/LPC for Altitude and Square Footage of House Plumber To Be Responsible For Condensation Line From Condenser

Note:
 Arc-Fault Circuit-Interrupter Protection Shall Be Provided in All Dwelling Bedrooms, 15 and 20 Amp Receptacles and all Branch Circuits to be Protected by Arc-Fault Circuit Interrupter's

Electrical Panel Note:
 At Electrical Panel, Place (2) Full Height Studs on Either side of Blockout. Wall Top plates to be continuous over box Blockout and support studs. Max. Blockout opening width is 16". Actual R.O. Width is 14.5"

2nd Floor 1030 Total Heated
 2063 151 FL SQ FT X 50% = 1031 SQ FT

2nd Floor
 Scale 1/4" = 1'



Back Elevation



Front Elevation

Elevations

Scale 1/4" = 1'

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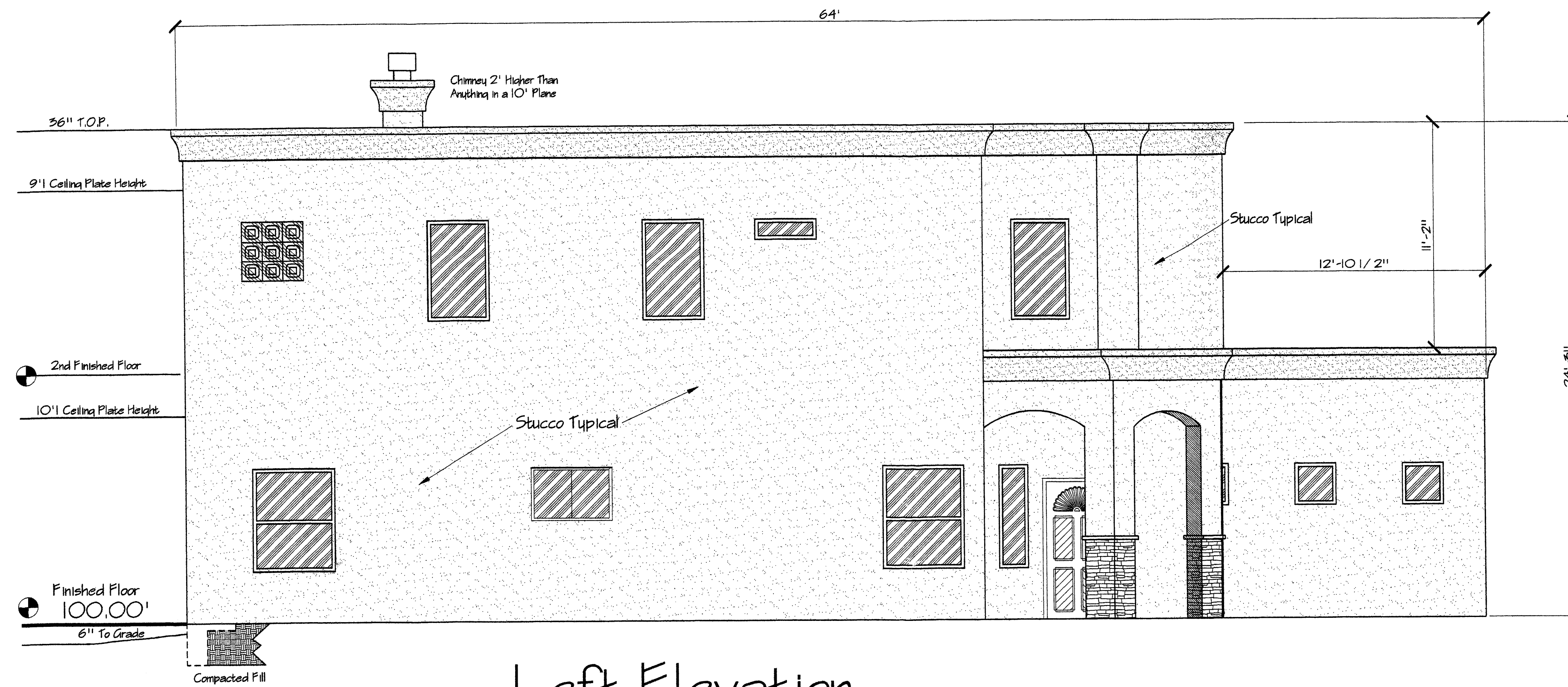
July 23, 2007

Elevations

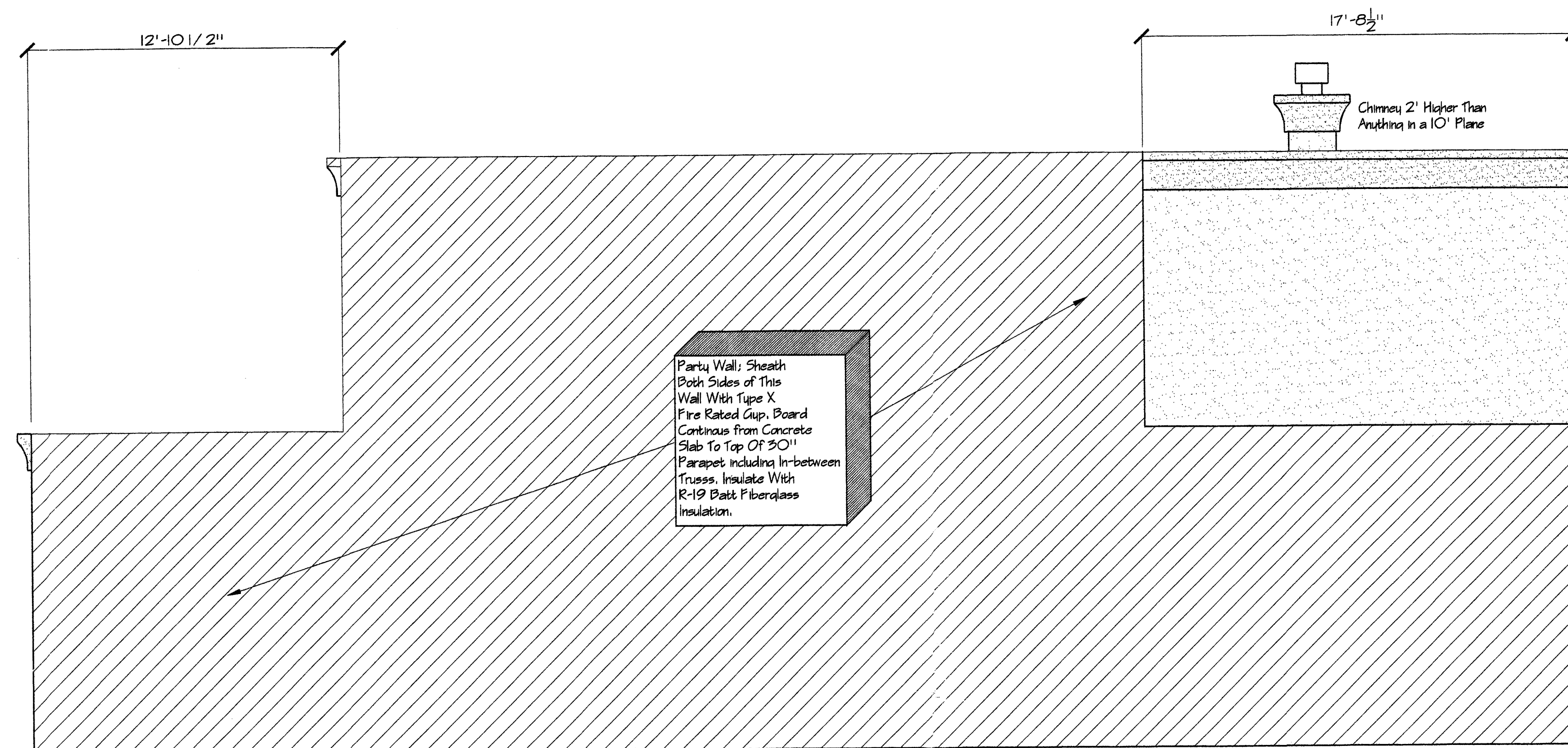
RH Barela Dev. Model A

Abuquerque New Mexico

Final Drawing Checked By:	Sheet
1. R. Montoya	9
2. R. Ortiz	
3. 08-13-07	Of 12 Sheets



Left Elevation



Right Elevation

Elevations

Scale 1/4" = 1'

Final Drawing Checked By:	Sheet
1. R. Montoya	○
2. R. Ortiz	
3.08-13-07	Of 12 Sheets

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RH Barela Dev. Model A
Albuquerque New Mexico
July 23, 2007
Elevations

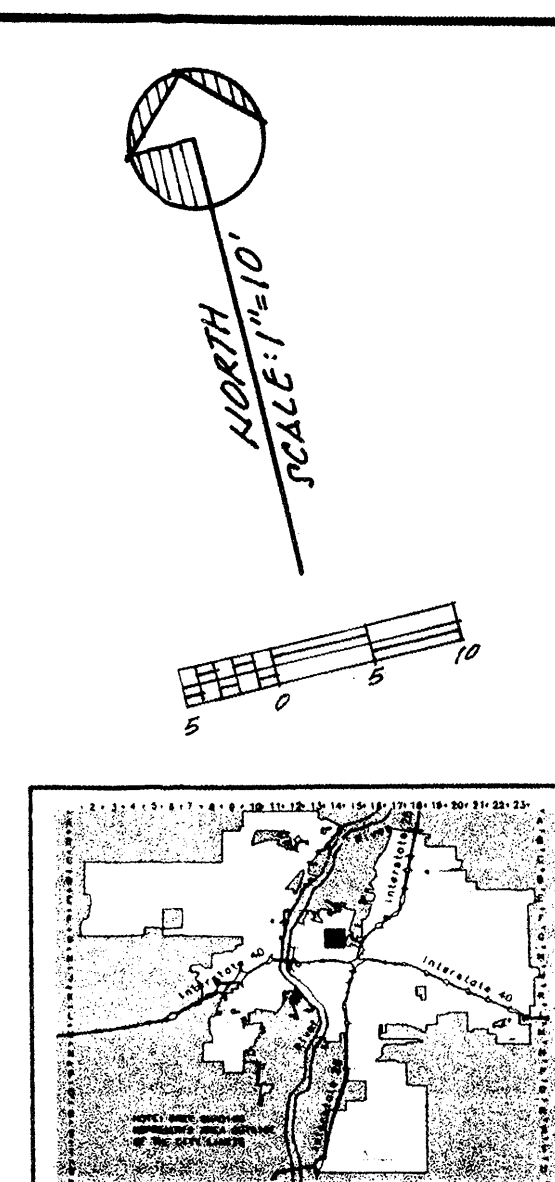
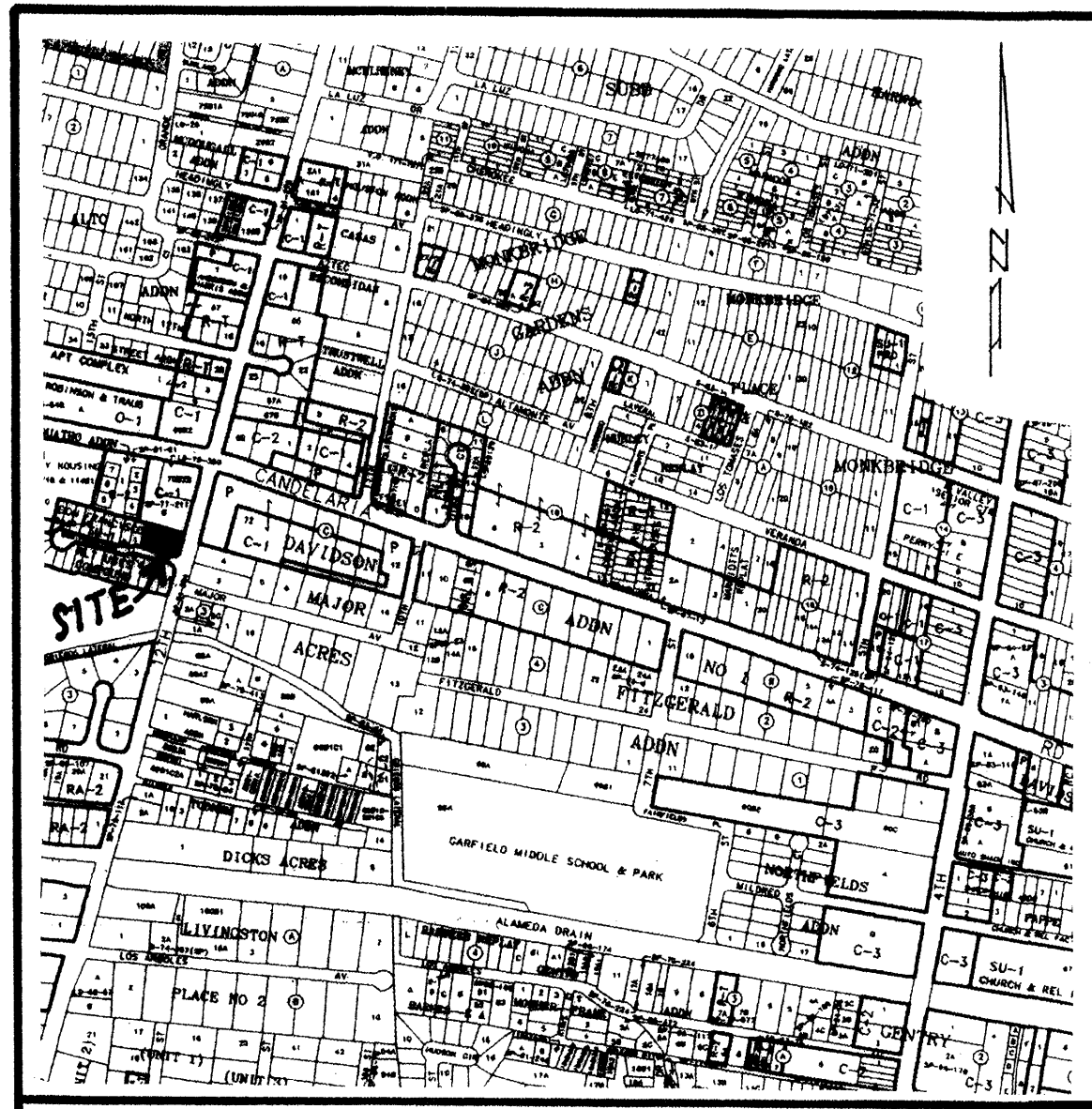


TABLE A-9. PEAK DISCHARGE (cfs/acre)

Zone	Treatment			
	A	B	C	D
1	1.29 [0.00, 0.24]	2.03 [0.05, 0.76]	2.87 [0.47, 1.49]	4.37 [1.89, 2.89]
2	1.56 [0.00, 0.38]	2.28 [0.08, 0.96]	3.14 [0.80, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.58]	2.60 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.05, 0.87]	2.92 [0.36, 1.45]	3.73 [1.00, 2.28]	5.26 [2.17, 3.57]

TABLE A-10. PEAK INTENSITY (IN/HR at $t_c = 0.2$ hour)

Zone	Intensity [2-YR, 10-YR]
1	4.70 [1.86, 3.14]
2	5.05 [2.04, 3.41]
3	5.38 [2.21, 3.65]
4	5.61 [2.34, 3.83]

A.1 PRECIPITATION ZONES
Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

DPM SECTION 22.2 - HYDROLOGY
January, 1993 Page A-4

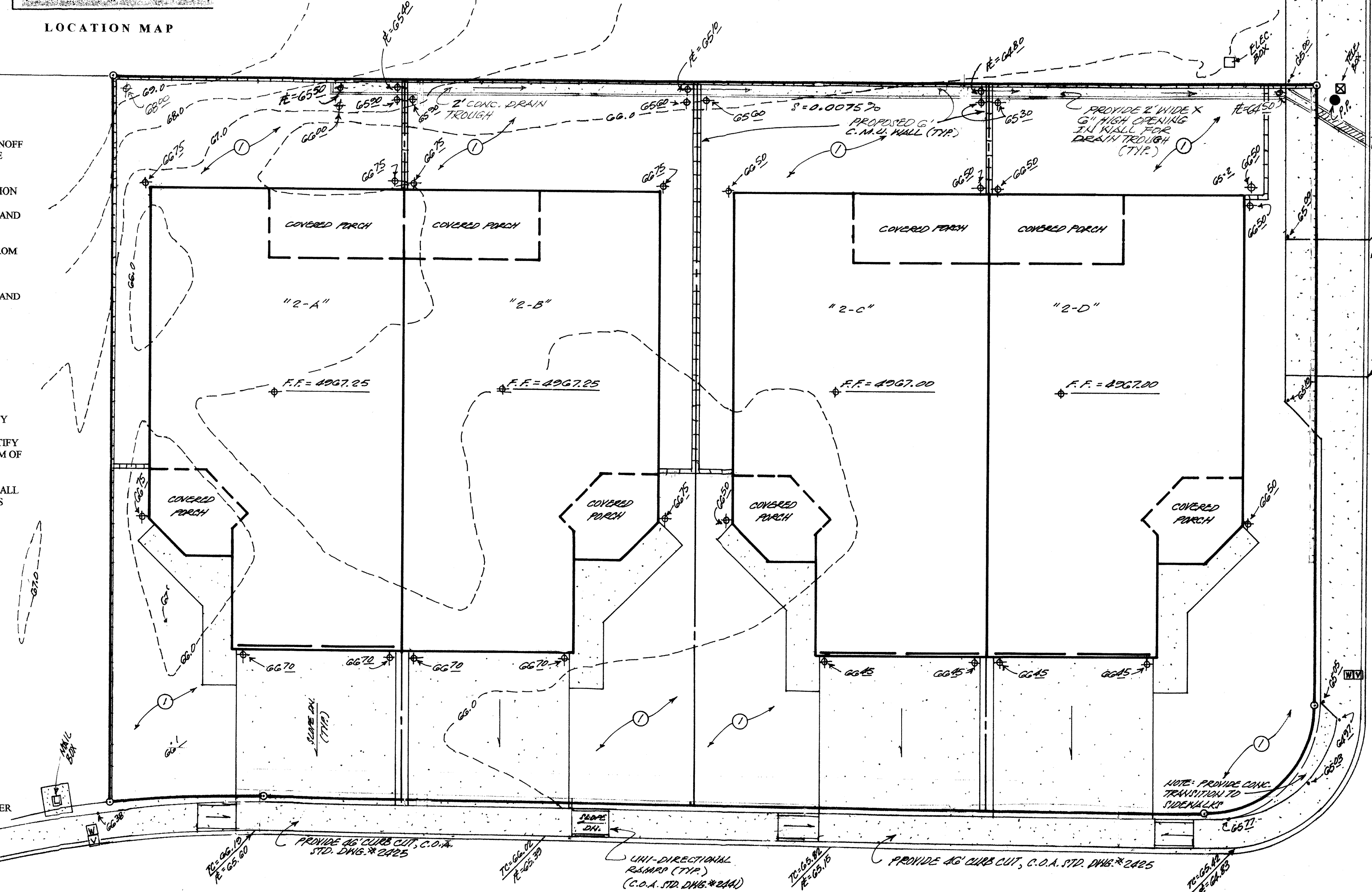
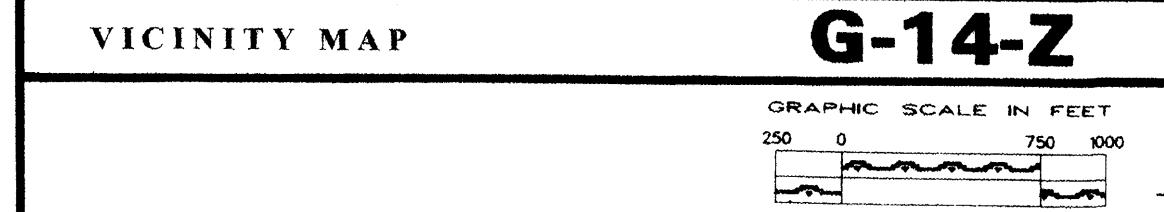
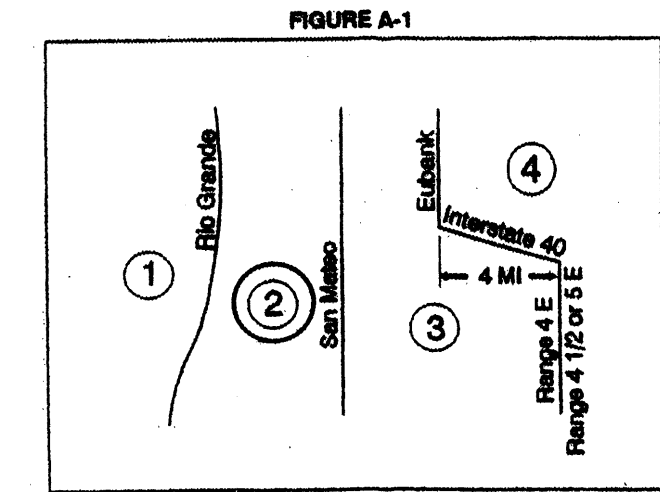
TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil uncompact by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands, United Cityways.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompact by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompact by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the area percentages in TABLE A-5 may be employed.

LEGAL DESCRIPTION: TRACT TWO (2), LANDS OF ALBERT L. MATTHEW, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
BENCH MARK REFERENCE: ACS STATION "23-G14", ELEVATION = 4967.69; PROJECT BENCH MARK AS SHOWN ON THE PLAN HEREON.



DRAINAGE COMMENTS:

As shown on the Vicinity Map hereon, the subject site is located at the northwest corner of the intersection of 12th Street N.W. and Don Francisco Place N.W., in the City of Albuquerque, Bernalillo County, New Mexico, (Zone Atlas Map "G-14").

The subject site, 1.) presently has an existing single family residence and detached garage onsite, 2.) does not accept offsite flows from adjacent properties, 3.) does not contribute flows to adjacent properties, 4.) is not located adjacent to a natural or artificial water course, 5.) according to F.E.M.A. Firm Panel 331 of 825 is located within Zone 'X', areas of 500 - year flood plain, 6.) will have no adverse affect to downstream properties by the free-discharge of proposed developed flows.

The calculations hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event.

DRAINAGE CALCULATIONS:

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2., Design Criteria for The City of Albuquerque, Bernalillo County, New Mexico.
Site Area: 0.38 acre
Precipitation Zone: Two (2), Table A-1
Peak Intensity: In/HR. at $t_c =$ Twelve (12) Minutes, 100-Year = 5.05, Table A-10
"Land Treatment Method" for calculation of "Qp", Tables A-8 & A-9
"Land Treatment Factors", Table A-4

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.33	X 3.14	= 1.04
D	0.05	X 4.70	= 0.24

"Qp" = 1.28 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.10	X 3.14	= 0.31
D	0.28	X 4.70	= 1.32

"Qp" = 1.63 CFS

INCREASE = 1.63 - 1.28 = 0.35 CFS

EROSION CONTROL MEASURES:
THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

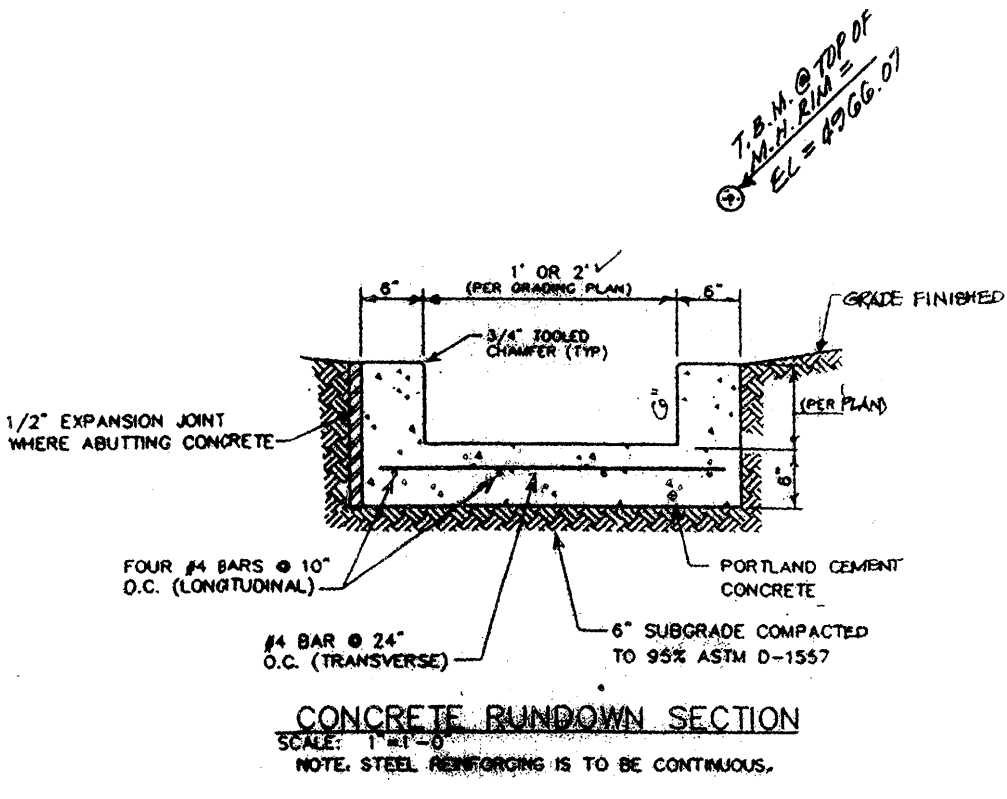
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

- LEGEND:**
- TOP OF CURB ELEVATION = TC = 65.20
 - CURB FLOWLINE ELEVATION = LF = 65.30
 - EXISTING SPOT ELEVATION = SE = 66.1
 - EXISTING CONTOUR ELEVATION = CE = 66.0
 - PROPOSED SPOT ELEVATION = PE = 67.20
 - PROPOSED CONTOUR ELEVATION = CE = 67.20
 - PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]
 - EXISTING FENCE LINE = [Symbol]
 - PROPOSED LANDSCAPE AREA = [Symbol]

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

UTILITY PRECAUTIONS
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

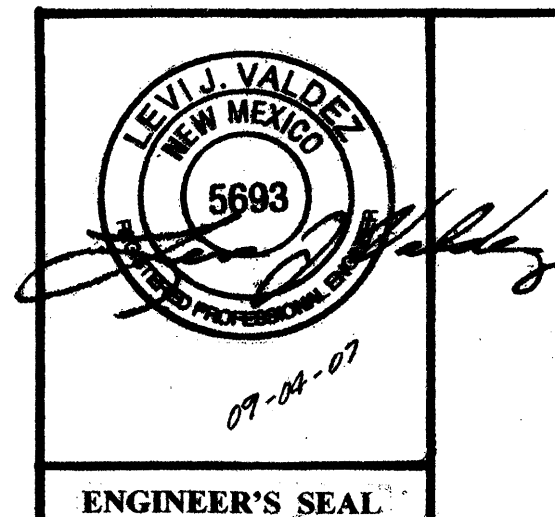


DON FRANCISCO PLACE N.W.

- Drainage Facilities within City Right-of-Way Notice to Contractor
- An excavation permit will be required before beginning any work within City Right-of-Way.
 - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 - Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, for the location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to traffic/street use.
 - Maintenance of the facility shall be the responsibility of the owner of the property being served.
 - Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS	NAME	DATE
	HYDROLOGY INSPECTOR	

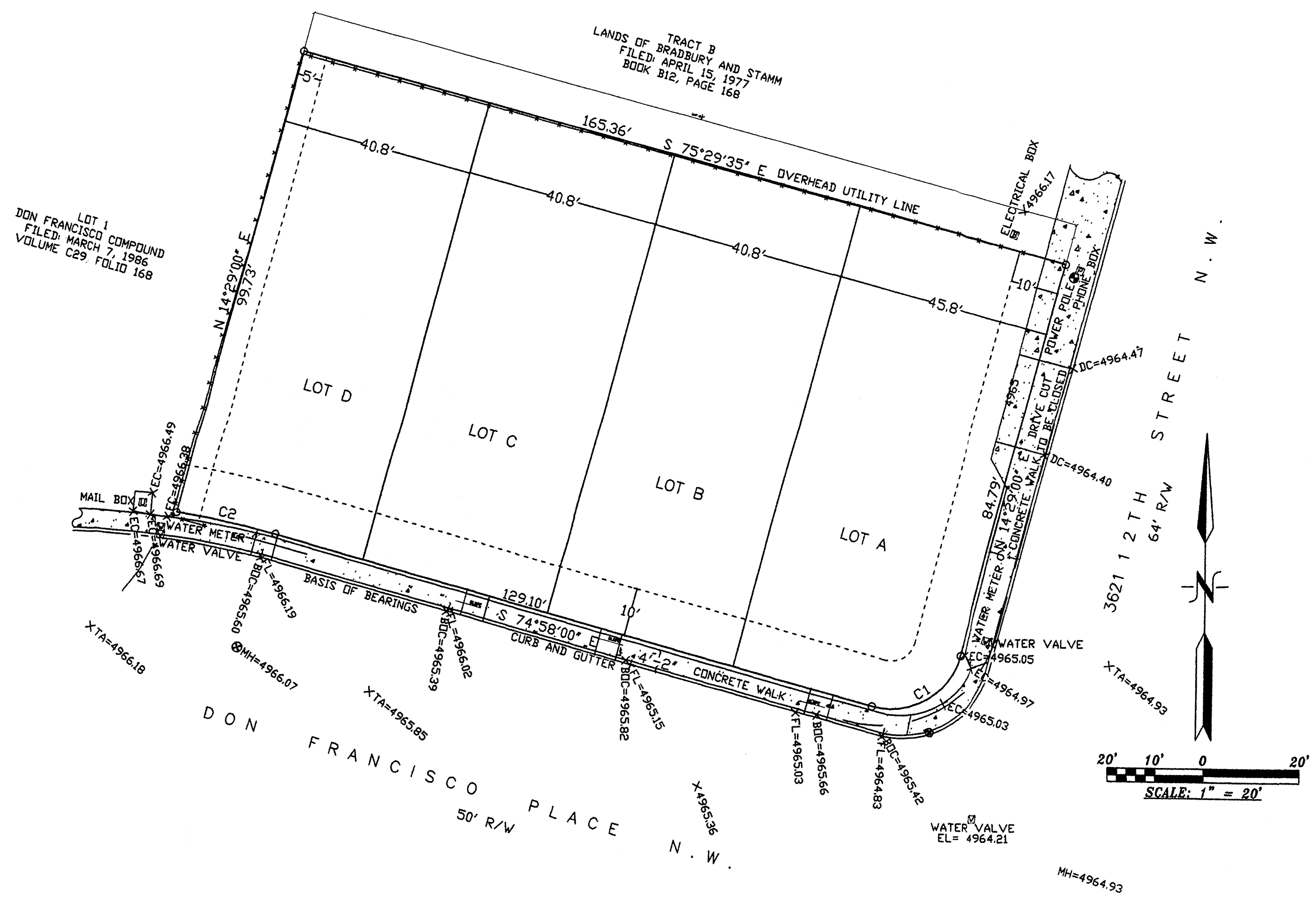
NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.



GRADING AND DRAINAGE PLAN

A PROPOSED PLAN FOR TWELTH STREET TOWNHOMES ALBUQUERQUE, NEW MEXICO APRIL, 2007

TRACT 2
 LANDS OF ALBERT L. MATTHEW
 —
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007



GENERAL NOTES:

- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "23-G14", HAVING AN ELEVATION OF 4967.69'
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

SITE DEVELOPMENT PLAN FOR SUBDIVISION

LEGEND

- B/C = BACK OF CURB
- CC = CURB CUT
- DI = DRAINAGE INLET
- EA = EDGE OF ASPHALT
- EC = EDGE OF CONCRETE
- EL = ELEVATION
- EDW = EDGE OF WALL
- ER = EDGE OF ROAD
- FF = FINISH FLOOR
- FL = FLOW LINE
- FND = FOUND
- FP = FENCE, POST
- G = GROUND
- INV = INVERT

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

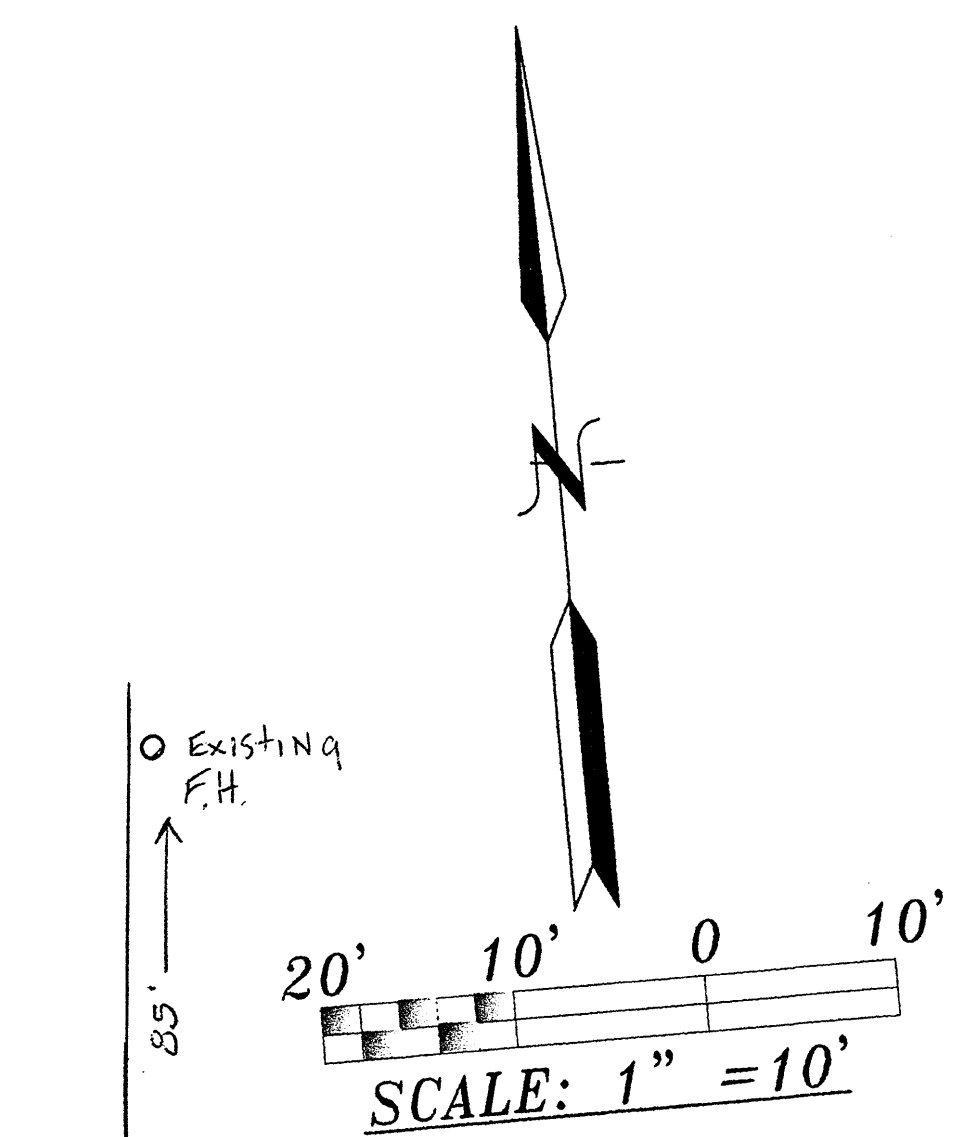
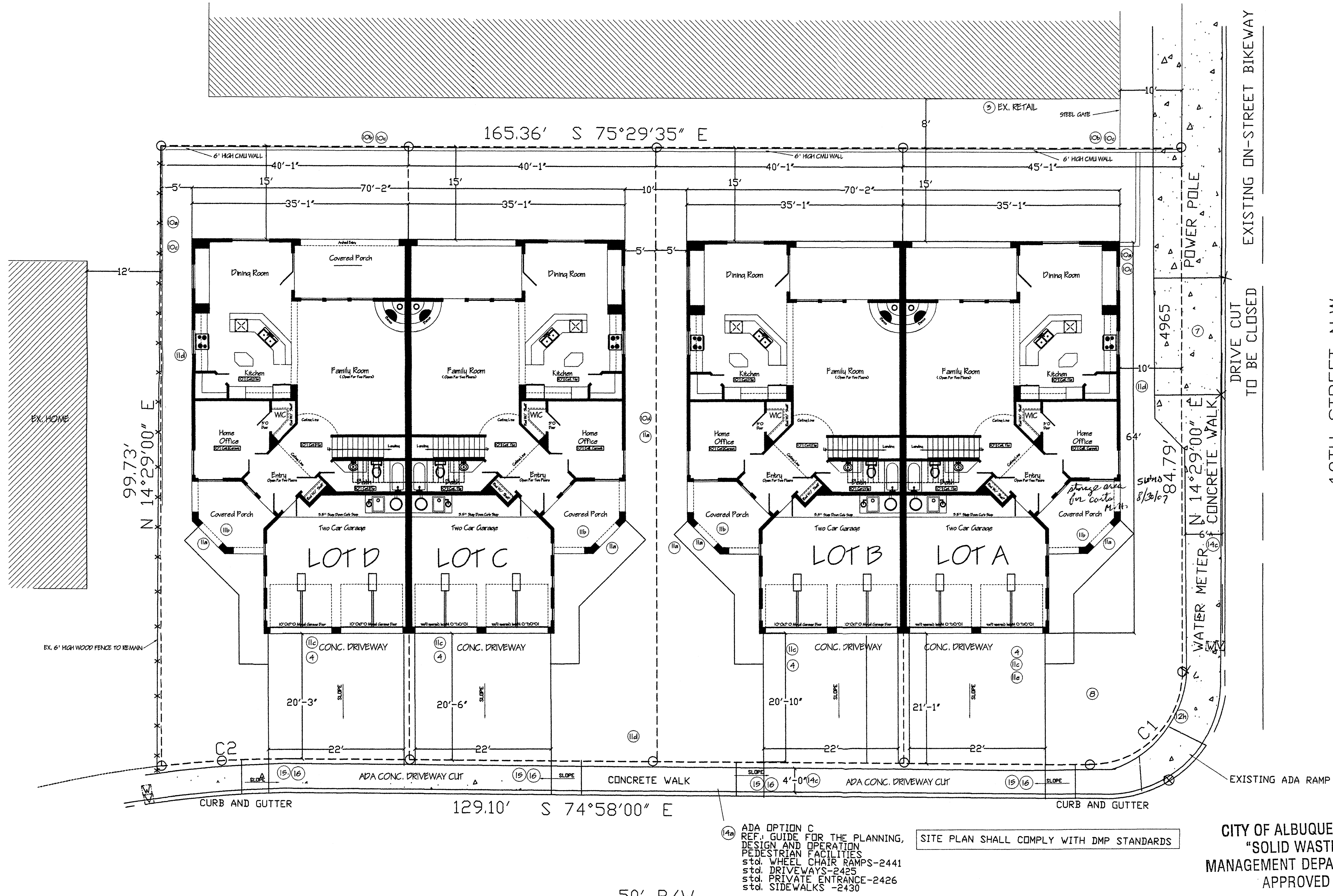
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
Water-Utility Department- ABCWUA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

* Environmental Health, if necessary

Anthony L. Harris, N.M.P.S.#11463 HARRIS SURVEYING, INC.
 2412-D Monroe Street, NE · Albuquerque, New Mexico 87110
 Telephone (505) 869-8066 · FAX (505) 869-8645

- 1 KEVED DRB CONDITIONS OF APPROVAL - 07 EPC 00873, JULY 19, 2007, SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- 2 EPC DELEGATES FINAL SIGN OFF TO DRB
- 3 PRIOR TO SUBMITTAL APPLICANT SHALL MEET WITH STAFF PLANNER AND NEAR NORTH VALLEY NEIGHBORHOOD ASSOCIATION.
- 4 EXISTING BUILDING TO THE NORTH SHOWN.
- 5 EACH DRIVE WAY SHALL BE A MIN OF 20' LONG TO COMPLY WITH ZONING CODE SETBACK FOR R-1-T ZONE.
- 6 TYPOGRAPHICAL ERRORS CORRECTED.
- 7 PARKING CALCULATIONS SHALL SHOW NUMBER OF BATHS PER UNIT.
- 8 THE EXISTING CURB CUT ON 12TH STREET SHALL BE CLOSED AND RESTORED TO CURB HEIGHT MATCHING SURROUNDING AREAS.
- 9 GRADING, DRAINAGE AND UTILITY PLAN SHALL BE REVIEWED AND APPROVED BY APPROPRIATE AGENCIES BEFORE FINAL SEAL.
- 10 THE UPPER LEVEL OF EACH UNIT SHALL BE LIMITED TO SOUL OF THE BUILDING FOOTPRINT AND SHALL BE STEPPED BACK FROM DON FRANCISCO.
- 11 PERIMETER WALLS SHALL BE SPLIT FACED CMU OR SHALL BE STUCCOED.
- 12 THE NORTH PERIMETER WALL SHALL INCLUDE ELEMENTS ALLOWING VISIBILITY TO THE NORTH.
- 13 APPLICANT SHALL PROVIDE A DETAIL DRAWING OF THE PERIMETER WALL INDICATING MATERIALS, COLORS, AND DESIGN ELEMENTS, see sheet 3
- 14 THE WALL BETWEEN THE TWO BUILDINGS SHALL BE REMOVED.
- 15 DESIGN
- 16 FRONT COURTYARD WALLS SHALL BE REMOVED FROM THE SITE PLAN.
- 17 TURRETS SHALL BE REMOVED FROM PLAN.
- 18 DOORS FOR THE TWO-CAR GARAGES SHALL BE PROVIDED IN THE FORM OF TWO TWO SEPARATE SINGLE DOORS.
- 19 ADDITIONAL ARTELICATION TO INCLUDE WINDOWS SHALL BE PROVIDED ON THE EAST ELEVATION OF LOT A AND THE WEST ELEVATION ON LOT D.
- 20 BUILDING SHALL BE DESIGNED IN TERRITORIAL STYLE.
- 21 REMOVED NOTE: "FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN." see sheet 2
- 22 A SHEED PLANNING DETAIL IS PROVIDED, see sheet 2
- 23 ALL GROUND COVER SHALL BE INDICATED, see sheet 2
- 24 THE AMOUNT OF HIGH WATER TURF SHALL BE REDUCED, see sheet 2
- 25 THE APPLICANT SHALL CORRECT PLANT COUNTS FOR OCOTILLO, see sheet 2
- 26 EXISTING CITY MAINTAINED LANDSCAPING TO THE NORTH OF THE CURB CUT ON 12TH STREET SHALL BE DESIGNED TO MATCH THE EXISTING CITY LANDS TO THE NORTH, see sheet 2
- 27 THE APPLICANT SHALL REPAIR DAMAGE DONE TO CITY-INSTALLED LANDSCAPING ADJACENT TO TO OR ON THE SUBJECT SITE TO MATCH THE LANDSCAPE PLANS FOR THE LOS CADELARIAS VILLAGE CENTER STREETSCAPE IMPROVEMENT, THE APPLICANT SHALL COORDINATE WITH THE METROPOLITAN RECREATION AGENCY TO ENSURE THAT THIS CONDITION IS MET, see sheet 2
- 28 THE PLANNING AREA SOUTH AND EAST OF THE POINT'S CURVATURE AT THE SOUTHEAST CORNER SHALL BE REPLACED WITH SIDEWALK TO MATCH EXISTING SIDEWALKS ALONG 12TH STREET IN MATERIALS, COLOR, STYLE, WILDFLOWERS SHOWN IN THE LANDSCAPE PLAN SHALL BE RELOCATED WITHIN THE SITE, SHEETS 1 AND 2
- 29 THE APPLICANT SHALL COMPLY WITH ALL WASTE MANAGEMENT DEPARTMENT ORDINANCES AND REQUIREMENTS.
- 30 CITY ENGINEER CONDITIONS
- 31 THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN. THOSE IMPROVEMENTS WILL INCLUDE ANY ADDITIONAL RIGHT-OF-WAY REQUIREMENTS, PAVING, CURB AND GUTTER, SIDEWALK AND ADA ACCESSIBLE RAMPS THAT HAVE NOT ALREADY BEEN PROVIDED FOR. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT ARE NOT LIMITED TO SIDEWALKS (std. div. 2420), DRIVEWAYS (std. div. 2425), PRIVATE ENTRANCES (std. div. 2426) AND WHEEL CHAIR (std. div. 2441).
- 32 PROVIDE PARKING CALCULATIONS.
- 33 SHOW SIDEWALK (4' ON DON FRANCISCO AND 6' ON 12TH STREET) AND LANDSCAPE BUFFER ON SITE PLAN. SIDEWALKS TO BE LOCATED AT PROPERTY LINE CITY RIGHT-OF-WAY.
- 34 SITE PLAN SHALL COMPLY AND BE DESIGNED PER DPM STANDARDS.
- 35 PLATTING MUST BE CONCURRENT DRB ACTION.
- 36 SIDEWALK TRANSITIONS AT THE DRIVE PADS ON DON FRANCISCO SHALL BE CONSTRUCTED TO 1:21 RATIO TO MAINTAIN ADA ACCESSIBILITY.
- 37 SIDEWALK ALONG DON FRANCISCO SHALL NOT EXCEED A 2% CROSS SLOPE.



2621 12TH STREET NW ZONE: RH-1 R-LT USES ZONE ATLAS: G14
LEGAL DESCRIPTION OF TRACT 2 LANDS OF ALBERT I. MATHEW ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FEBRUARY, 2007
FRONT AND EAST SIDE SETBACK - 10' REAR SETBACK - 15' WEST SETBACK - 5'
SQUARE FOOTAGE 1ST AND 2ND FLOORS TOTAL LOT A = 4,068 sq ft 1st FL = 2,261 sq ft 2nd FL = 1,076 sq ft LOT B = 4,068 sq ft 1st FL = 2,261 sq ft 2nd FL = 1,076 sq ft LOT C = 4,068 sq ft 1st FL = 2,261 sq ft 2nd FL = 1,076 sq ft LOT D = 4,560 sq ft 1st FL = 2,261 sq ft 2nd FL = 1,076 sq ft
PARKING CALCULATIONS 2 BATH ROOMS PER TOWNHOUSE 2 ON SITE PARKING 5 PER RESIDENCE 8 PARKING 5 TOTAL ON SITE LOT A = 2 BATHS LOT B = 2 BATHS LOT C = 2 BATHS LOT D = 2 BATHS

PROJECT NUMBER: _____
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DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department AGWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	Date

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 1/30/07

Ron Montoya Custom Designs
Residential Design and Drafting Services
4801 Alameda NE, Suite G-1 New Mexico Design Center
(505) 825-6474 Call (505) 307-1005 Fax 825-6487

Barela Development Group
Albuquerque New Mexico
April 25, 2007
Site Plan

Final Drawing Checked By:	Sheet
I. R. Montoya	1
2. C. Montoya	Of 7 Sheets
3. 07-29-07	

Site Development plan For Building Permit

DON FRANCISCO PLACE N.W.