

March 9, 2018

DEKKER
PERICH
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Design Review Board
City of Albuquerque
Development Review Services/Planning Department
600 2nd Street
Albuquerque, NM 87102

**RE: Independence Square
Project 1005517 18DRB-70021**

To Whom it May Concern:

The following are the DRB comments we received from the original hearing on February 14th along with our response in bold print for revision clarification.

Planning Comments

1. General note #4 on sheet AS101 has a typo for the word 'standards'.
Spelling has been corrected for the word 'standards'.
2. At the primary entry drive shared between the two subject lots, there is a keynote #2 that appears misplaced.
Key note 2 has been removed from this area.
3. The SPS design standards state light fixtures shall be located on the SPBP. Symbols for lights are on the proposed plan sheet AS101 and noted as 12' max height, but there are details for both 12' and 26' lights on sheet ASS01. Please be clear as to which light type and height are shown on the site plan and in which locations.
Light pole height maximum required note has been changed to 26'-0".
4. The SPS requires screening of parking along Jefferson by a small wall or landscaping. As landscaping appears to be the option utilized, evidence of proper height to ensure effective screening is required per Zoning Code Section 14-16-3-1(F)(4).
Shrubs have been added in random patterns to help screen the view of parking from Jefferson Street.
5. Required parking shall be provided for each use on their own lot. Breaking out each lot in the calculations may be helpful. The Shops building requires 45 of the total 55 spaces, but only 44 are provided on that property. Please update as needed: is a transit reduction or shared parking agreement applicable, etc.? Otherwise, perhaps a lot line adjustment to put one more space onto the Shops lot instead of Lot 3?
Parking calculations have been changed to reflect the two separate building requirements. Required parking factors in transit reduction since site is within 300 ft. of an existing bus stop.
6. Bike parking is OK, but that applicant may consider providing a rack at the south end of the Shops building in addition to at the north end for greater distribution and proximity to multiple entrances.
Bike parking is currently located at patio areas for both buildings where adequate concrete paving exists. Bike parking provided meets the code requirement for both buildings.

7. The shops building appears to have a drive-up window on the south end, but no queuing is indicated. Defer to transportation if there is enough room to allow for proper vehicle movements in that drive aisle.
The window at the Shops building will be utilized as a pick-up window for a potential future tenant.
8. The landscape plan does not conform to the SPS required plant palette. Please update.
The SPS required palette is extremely limiting and out of date with current cultivars. All shrubs and trees have been changed to match the approved palette.
9. Lot two landscape calculation includes a decimal place that is hard to read and appears at first glance to be a typo for the total requirement. Please update with the update to chosen species in conformance with the SPS.
Number for landscape area required has been revised on landscape plan.
10. Please show street tree and parking lot tree calculations on the landscape plan.
Street tree calculations currently are located on the plan but have been relocated for better visibility.
11. Evergreen height (Austrian pine is proposed on the landscape plan) per the SPS is 10-foot minimum.
Austrian Pine Height has been changed to 10'.
12. The SPS design standards include a maximum gravel size of 1" but larger are shown on the plan.
Gravel is the required size with the exception of the Starbucks site, there is one small area of oversize cobble accents in the rear of the building that doubles as Storm Water Runoff control and water ponding area.
13. Pedestrian connections shall be shaded per the SPS design standard IV.a.iii. Some connections appear to have much better shading than others.
Trees have been placed to provide shade for all pedestrian paths to the extent possible.
14. Per the SPS and Zoning Code Section 14-16-3-18(C)(3), the Shops building must provide outdoor seating along its major facade facing Jefferson.
Shops building has a sizable patio area for seating on the north side of the building that partially fronts along Jefferson Street.
15. SPS requires LID techniques for capture of drainage in parking lot islands, etc. This appears to be minimally used, but defer to Hydrology for grading and drainage approval.
Per the approved G&D plan for the entire center, the first flush requirements are met in the drainage pond located in the NW corner of the property.
16. Signage area designated for the shops building meets the maximums allowed, but additional notation for maximum square footage allowed on each facade or a note regarding any signage to be approved via separate permit if in accordance with the zoning may be helpful for future sign applications.
The following note has been added to the elevations sheet for the Shops building: "Tenant signage shall be submitted to the City for review and approval under separate permit and will meet the maximum area allowed for each façade in accordance with the City zoning code".

17. Starbucks signage looks fine, but additional dimensions or generalized notes regarding signage to be approved by separate permit like the previous comment may be helpful to ensure efficient review of future sign applications.

The following note has been added to the elevations sheet for the Starbucks building: "Tenant signage shall be submitted to the City for review and approval under separate permit and will meet the maximum area allowed for each façade in accordance with the City zoning code".

ABCWUA Comments:

1. A water and sanitary sewer availability statement must be requested and completed prior to approval of the Site Development Plan for Building Permit. The request can be made online at the following link: <http://www.abcwua.org/AvailabilityStatements.aspx>. The request must include the fire marshal requirements for the subject development.
Availability request was made January 15. ABCWUA indicated that availability letter has been drafted and is awaiting review by Kris Cadena who is out of the office the week of 3/5-3/9. The approved letter should be in hand before the DRB hearing date of 3/14.
2. The nature of the site utility plan public vs. private water and sanitary sewer facilities is confusing and will be sorted out during preparation of the availability statement. The Site Utility Plan will need to be consistent with the availability statement and the Fire 1 plan and must clearly identify the public and private water and sanitary sewer utilities. An approved infrastructure list may be required.
Confusion is partially due to past improvement being accepted but not input into their GIS mapping system. Clarification should come with the issuance of the availability letter. No public improvements are required and no infrastructure list is required.

Engineering Comments:

1. List radii on curves through Starbucks drive-thru.
Radii on Starbucks drive-thru curves have been added to the site plan.
2. Call out signs for ADA parking at all locations.
All ADA parking signs are key noted on site plan.
3. Add "Do Not Enter" sign at exit of Starbucks drive-thru.
"Do Not Enter" signs has been added to Starbucks drive-thru lane egress.
4. Provide dimensions and angles for the angled parking at Shops building.
Dimensions and angles for the Shops angled parking have been added to the site plan.
5. The STOP sign located at the exit between the Shops and Starbuck should be located as close as possible to the eastbound stop bar. It is currently shown too far to be effective.
This stop sign is existing. Please see photo included with revised package showing actual stop sign location as it relates to the traffic lane.
6. A detail for the STOP sign at the exit between the Shops and Starbucks needs to be added showing it mounted on a breakaway post at the appropriate height per MUTCD standards.
Please see comment #5 response.

7. The sidewalk located on Lot 3 needs radii and dimensions.
Dimensions and radii for the sidewalk located in lot 3 has been added to site plan.

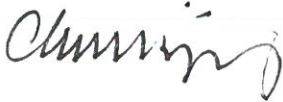
Engineering Comments:

- Hydrology approved a G&D Plan with engineer's stamp dated 1-3-2018 for Grading Permit and Building Permit. The G&D Plan in the Site Plan for Building Permit is dated 1-16-2018 and the engineer's stamp is missing. Did the plan change after it was approved?
 - o If so it must be resubmitted to Hydrology with a new engineer's stamp date on it.
 - o If not then the 1-3-2018 plan must be approved by Hydrology for Site Plan for Building Permit, and that plan must be included in the Site Plan for Building Permit.

Please see Hydrology approval letter dated 2/21/2018 included with this revised package.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Christopher Gunning, AIA, LEED AP
Principal